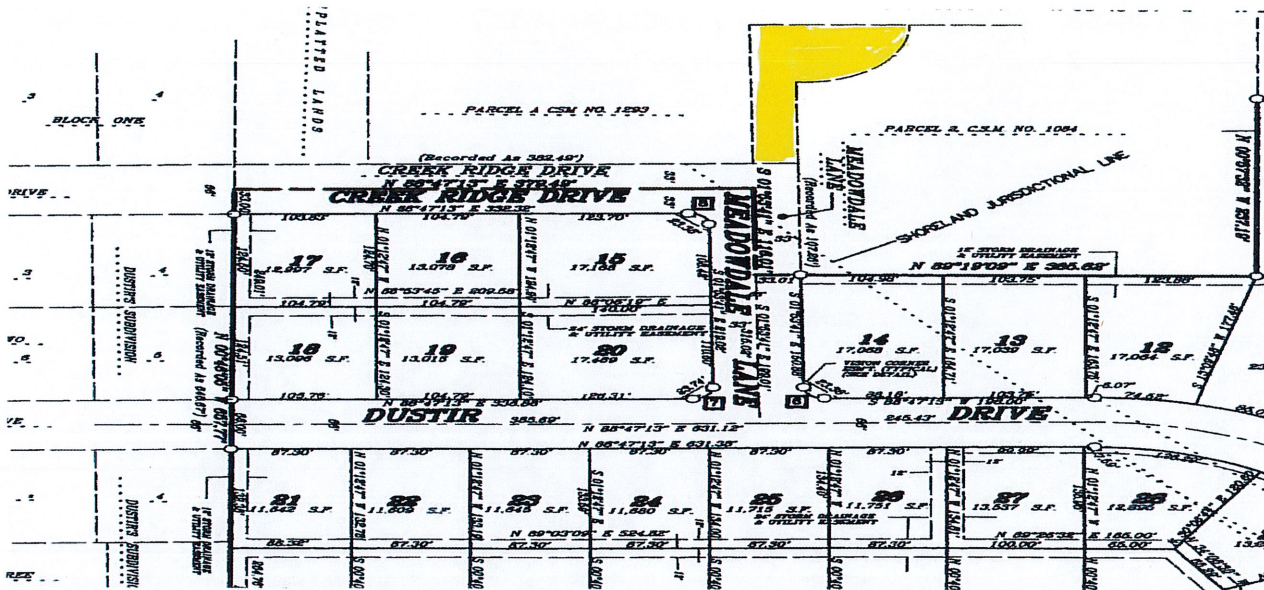


Notice of a Public Hearing on Release and Vacation of a Road Reservation for a portion of a future public right-of-way that would have extended Meadowdale Lane, November 5, 2018 at 6:45 p.m. at the Village of Caledonia Village Hall, 5043 Chester Lane, Village of Caledonia, Wisconsin.

NOTICE IS HEREBY GIVEN that a public hearing will be held before the Village Board of the Village of Caledonia on November 5, 2018 at 6:45 p.m. at Village of Caledonia Village Hall, 5043 Chester Lane, Village of Caledonia, Wisconsin to consider vacating a portion of a road reservation for future right-of-way that is unimproved that would have extended Meadowdale Lane which was reserved as a part of the approval for Certified Survey Map No. 1084 in the Village of Caledonia as highlighted and depicted on the maps below that is not necessary for public safety and convenience:



and legally described as follows:

Being part of the SW 1/4 of the NE 1/4 of Section 17, T4N, R23E, in the Village of Caledonia, Racine County, Wisconsin, bounded and described as follows:

Commencing at the Southeast corner of said NE 1/4 Section 17; Thence N 36°04'09" W 859.60 feet along the centerline of Charles Street to a point; Thence N 57°45'05" W 89.32 feet to a point; Thence S 53°55'51" W 67.00 feet to a point; Thence N 36°04'09" W 94.31 feet to a point;

Thence S 87°45'16" W 180.40 feet to point, point also being the Northwest corner of Lot 1 of Lakeside Estates, and a point along the East lot line of Parcel 2 Certified Survey Map No. 1084;

Thence S 00° 57'32" E 237.19 feet along the East lot line of Parcel 2 Certified Survey Map No. 1084, to a point, point also being the Southwest corner of Lot 1 of Lakeside Estates, and point also being the Southeast corner of Parcel 2 Certified Survey Map No. 1084; Thence S 89°19'09" W 332.62 feet along the South lot line of Parcel 2 Certified Survey Map No. 1084, to a point, point also being the Southwest corner of Parcel 2 Certified Survey Map No. 1084, and point also being along the East Right of Way of Meadowdale Drive; Thence N 1°53'41" W 149.32 feet along the West lot line of Parcel 2 Certified Survey Map No. 1084, to a point, point also being the point of beginning of the road reservation vacation; Thence S 88°47'13" W 32.99 feet along the North right of way line of Creek Ridge Drive to a point; Thence N 1°53'41" W 186.06 feet to a point; Thence N 89°19'09" E 117.03 feet to a point, point being the Northwest corner of Parcel 2 Certified Survey Map No. 1084; Thence Southwesterly along an arc of a curve with a length of 127.40 feet, whose radius is 75.00 feet and whose chord is S 46°20'15" W at 112.64 feet to a point; Thence S 1°53'41" E 108.94 feet to the point of beginning.

Said Road Reservation containing 11,348.69 square feet of land more or less.

If you have any questions, contact the Village Clerk's office at (262) 835-6415.

Dated this 19th day of September, 2018.

By: _____
Karie Torkilsen, Village Clerk