



PLAN COMMISSION AGENDA
Monday, March 31, 2025 at 6:00 p.m.
Caledonia Village Hall – 5043 Chester Lane
Caledonia, WI 53402

1. Meeting Called to Order

2. Roll Call

3. Approval of Minutes

A. Meeting Minutes – February 24, 2025

4. Public Comment: Provides citizens a two-minute opportunity to voice their opinions to the Plan Commission. The Plan Commission is unable to respond as any discussion may conflict with open meeting requirements.

5. Public Hearing and Possible Action on Items set for Public Hearing

A. CONDITIONAL USE REVIEW – Review a request for a conditional use allowing the applicant to construct a detached accessory building that consists of a storage area on the first floor and an agricultural laborer’s quarters (not for rent) on the second floor of the building located at 6208 STH 31 submitted by Kjell Erlandsson and Elizabeth Cameron, Applicants and Owners. (Parcel ID No. 104-04-22-13-042-000) More Information at Caledonia ZoningHub:

<https://s.zoninghub.com/4094CWKROH>

6. New Business

A. CERTIFIED SURVEY MAP – Review a proposed certified survey map creating three lots for the parcel located directly west of 5015 3 Mile Road submitted by Christin Cech, Applicant & Owner. (Parcel ID No. 104-04—22-36-013-020) More information at Caledonia ZoningHub:

<https://s.zoninghub.com/WF705YIP83>

B. FINAL SUBDIVISION PLAT REVIEW – Review a final subdivision plat for Phase 1 of the Homestead Acres Subdivision creating 21 lots located along Northwestern Avenue north of 7208 Northwestern Avenue submitted by Nancy Washburn, Applicant, Newport Group LTD, Owner. (Parcel ID No. 104-04-22-35-029-030) More Information at Caledonia ZoningHub:

<https://s.zoninghub.com/NAXH69MY56>

C. PRELIMINARY SUBDIVISION PLAT REVIEW - Review a preliminary subdivision plat creating 62 lots for the two parcels located north of 1913 5 Mile Road submitted by Daniel Szczap, Applicant, Thomas Tree Plantation LLC, Owner. (Parcel ID Nos. 104-04-23-17-077-000 & 104-04-23-17-081-000) More information at Caledonia ZoningHub: <https://s.zoninghub.com/D528OLBZTF>

D. COOPERATIVE BOUNDARY AGREEMENT PLAN REVIEW – Review a building, site, and operation plan for the construction and utilization of a ±53,000 square-foot commercial building located at 3030 CTH K submitted by Mark Molinaro Jr., Applicant, Top Flight LLC, Owner. (Parcel ID Nos. 168-14-21-25-005-010 & 168-14-21-25-005-020) More Information at Caledonia ZoningHub: <https://s.zoninghub.com/7L8IGFGFD5>

7. Continuing Business

- A. PARK & OPEN SPACE PLAN REVIEW** – Review and make a recommendation on the proposed update to the Park & Open Space Plan for the Village of Caledonia: 2050. Its purpose is to help guide the future development, preservation, and enhancement of parks, trails, and recreational spaces within the Village; submitted by the Village of Caledonia, Applicant. More information at ZoningHub: <https://s.zoninghub.com/2GMXM1ZI52>

8. Adjournment

Dated March 27, 2025

Jennifer Bass
Caledonia Village Clerk

Only Commission members are expected to attend. However, attendance by all Board members (including non-members of the Plan Commission) is permitted. If additional (non-commission) Board members attend, three or more Board members may be in attendance. Section 19.82(2), Wisconsin Statutes, states as follows: If one-half or more of the members of a governmental body are present, the meeting is rebuttably presumed to be for the purposes of exercising the responsibilities, authority, power or duties delegated to or vested in the body. To the extent that three or more members of the Caledonia Village Board actually attend, this meeting may be rebuttably presumed to be a “meeting” within the meaning of Wisconsin’s open meeting law. Nevertheless, only the commission’s agenda will be discussed. Only commission members will vote. Board members who attend the commission meeting do so for the purpose of gathering information and possible discussion regarding the agenda. No votes or other action will be taken by the Village Board at this meeting.

1. Meeting called to order

President Tom Weatherston called the meeting to order at 6:00 pm at the Village Hall, 5043 Chester Lane Caledonia, WI.

2. Roll Call/Introductions

PRESENT: 6 – President Tom Weatherston, Vice President Joe Kiriaki, Trustee Nancy Pierce, Jeff Hintz, Ami May, and Michael Moore

EXCUSED: 1 – Ron Bocciardi (participated by phone)

STAFF: Village Administrator Todd Willis, Development Director Peter Wagner, Deputy Village Clerk Norgie Metzinger, and Village Clerk Jennifer Olsen

ALSO IN ATTENDANCE: Trustees Fran Martin and Dale Stillman

3. Approval of Minutes

Motion by Pierce to approve the minutes from January 27, 2025, seconded by Kiriaki.
Motion carried unanimously.

4. Public Comment

The following people appeared to speak before the Commission:

1. Marissa Shultz, 5491 Short Rd – Drainage issue along road from storm damaged trees clogging.
2. Martha Hutsick, 4502 Harvest Ln – Gave thanks to the Planning Department and the Village for taking care of property clean up issues on Highway 31.

5. Public Hearing and Possible Action on Items Set for Public Hearing

A. PARK & OPEN SPACE PLAN REVIEW – Review and make a recommendation on the proposed update to the Park & Open Space Plan for the Village of Caledonia: 2050. Its purpose is to help guide the future development, preservation, and enhancement of parks, trails, and recreational spaces within the Village; submitted by the Village of Caledonia, Applicant.

Staff presented on the item, summarizing the material provided in the packet. Brian Walter from SEWRPC Wisconsin Southeast Regional Planning Commission gave a presentation.

Public Hearing opened at 6:22 PM

1. Martha Hutsick, 4502 Harvest Ln – Requests delaying a vote on the item to allow her and others to finish reading it.
2. Marissa Schultz, 5491 Short Rd – Has questions about the survey respondent demographics. Approves of the recognition of the Caledonia Conservancy in the

plan, but would like to see it mentioned that horse trails are maintained by volunteers and what, if anything, is planned for them.

3. Maureen Wolff, 7617 Michna Rd – Requests delaying a vote on the item to allow her and others to finish reading it. Thinks parks are not maintained well enough now, and doesn't think more parks are a good idea.
4. Charles Michna, 4326 7 Mile Rd – Recommends bike trail connection between 6 and 7 Mile road be reconsidered, and to look for federal assistance on lakeside cliff erosion.
5. Fran Martin, 5630 5 Mile Rd – Requests delaying a vote on the item to allow her and others to finish reading it.
6. Sandy Welsher, 8804 Foley Rd – Requests delaying a vote on the item to allow her and others to finish reading it. Would like to see the horse community included more.
7. Wendy McC, 5825 Richmond Dr – Requests delaying a vote on the item to allow her and others to finish reading it. Would like to see the horse community included more.

President Weatherston asked three times if anyone else wanted to speak for or against.

- None

Public Hearing closed at 6:44 PM

Motion by Kiriaki to table the item until the next meeting and to keep public comment open until the next meeting.

Seconded by Pierce. Motion passed by the following roll call vote:

Ayes: 4 – Joe Kiriaki, Nancy Pierce, Ami May, Ron Bocciardi

Nays: 3 – Tom Weatherston, Jeff Hintz, Michael Moore

6. New Business

- A. BUILDING, SITE, AND OPERATION PLAN REVIEW** – Review a building, site, and operation plan for the construction and utilization of a 32-acre private solar utility located at 7444 CTH V submitted by Peter Murphy, Applicant, J&L Trading-Investments LLC, Owner. (Parcel ID No. 104-04-22-07-033-000)

Motion by Kiraki to recommend to the Village Board that the building, site, and operation plan for the constructions of a ±32-acre solar power generation facility located at 7444 CTH V be approved for the following reason:

1. The proposed use is allowed by underlying zoning through the building, site, and operation plan review process.

Seconded by Pierce.

Motion carried 6-0.

- B. BUILDING, SITE, AND OPERATION PLAN REVIEW** – Review a building, site, and operation plan for the construction and utilization of a 13,542 square-foot building addition to Gifford School with parking lot and school interior modifications located at

**Planning Commission Meeting
Monday, February 24, 2025**

8332 Northwestern Avenue submitted by Jeffrey Bridleman, Applicant, Racine Unified School District, Owner. (Parcel ID No. 104-04-22-34-064-000)

Motion by Kiriaki to recommend to the Village Board that the site plan for the construction of a 13,542 square-foot school addition to Gifford School with parking lot and school interior modifications at 8332 Northwestern Avenue be approved with conditions in Exhibit A for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed use is compatible with the existing use of a school on the property.

Seconded by Hintz.

Motion carried 6-0.

7. Continuing Business

- A. TEMPORARY USE REVIEW** – Consider a request to utilize a 20’ x 40’ canopy tent and 8’ x 20’ cargo container for the sale of fireworks from June 7, 2025, through July 7, 2025 located at 7952 USH 41 submitted by Jacob Zamora, Applicant; Kidangayil, Inc., Owner (Parcel ID No. 104-04-22-07-076-000) (*Plan 1/27/25 layed over*)

Motion by Pierce approve a temporary use with conditions listed in Exhibit A, for fireworks sales in a 20’ x 40’ canopy tent and the storage of fireworks in an 8’ x 20’ shipping container located on the property, as illustrated on the submitted site plan, at 7952 USH 41 for the following reasons:

1. The temporary use is allowed by underlying zoning.
2. The proposed temporary use is absent of detriment to the uses in the zoning district.

Seconded by Moore.

Motion carried 6-0.

8. Adjournment

Meeting adjourned at 7:24 PM.

Respectfully submitted,

*Jennifer Olsen
Village Clerk*



PLAN COMMISSION REPORT

Proposal: Conditional Use

Description: Review a request for a conditional use allowing the applicant to construct a detached accessory building that consists of a storage area on the first floor and an agricultural laborer’s quarters (not for rent) on the second floor of the building located at 6208 STH 31.

Applicant(s): Kjell Erlandsson & Elizabeth Cameron

Address(es): 6208 STH 31

Suggested Motion: That the Plan Commission recommends that the Village Board approves the Conditional Use request allowing the applicant to construct a detached accessory building that consists of a storage area on the first floor and an agricultural laborer’s quarters (not for rent) on the second floor of the building for the following reasons:

1. The proposed use is allowed by underlying zoning through the conditional use process.
2. The proposed use will not negatively impact neighboring parcels.

Owner(s): Kjell Erlandsson & Elizabeth Cameron

Tax Key(s): 104-04-22-13-042-000

Lot Size(s): 39.58 acres

Current Zoning District(s): A-2, Agricultural District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Low Density Residential

Background: The applicant is requesting approval of a conditional use allowing the applicant to construct a detached accessory building that consists of a storage area on the first floor and an agricultural laborer’s quarters (not for rent) on the second floor of the building located at 6208 STH

31. Detached accessory buildings are permitted use in the A-2 District, the inclusion of a laborer's quarters requires Village approval.

The applicant has provided a rationale for the request, along with location and building design details. Staff has reviewed the proposal and recommends approval based on the following considerations:

- The parcel is large, and the proposed structure is set back a significant distance from neighboring homes and buildings.
- Granting the conditional use will not negatively impact adjacent properties.
- The request does not present a threat to public health, safety, or welfare.
- If approved, the applicant will proceed with the building permit approval process in coordination with staff.

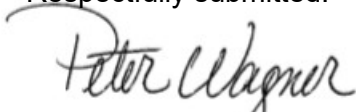
The Plan Commission has the authority to apply conditions to mitigate any negative impacts this use may have in the area and can require the applicant to mitigate those impacts with neighboring properties. Please note that Act 67 of the Wisconsin State Statutes requires a municipality to provide substantial evidence if denying a conditional use request. Below is a summary of the requirements relating to Act 67:

- The requirements and conditions specified in the ordinance or imposed by the zoning board must be reasonable, and to the extent practicable, measurable.
- Substantial evidence means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that a reasonable person would accept in support of a conclusion.
- Any condition imposed must relate to the purpose of the ordinance and be based on substantial evidence.
- If an applicant meets, or agrees to meet, all of the requirements and conditions specified in the ordinance or imposed by the zoning board, the local government must grant the CUP.
- The applicant must provide substantial evidence that the application and all requirements and conditions are, or shall be, satisfied.
- If an applicant does not meet one or more of the requirements (for example the application is incomplete) or conditions specified in the ordinance or imposed by the zoning board, the local government can deny the CUP.
- A local government's decision to approve or deny a conditional use permit must be supported by substantial evidence.

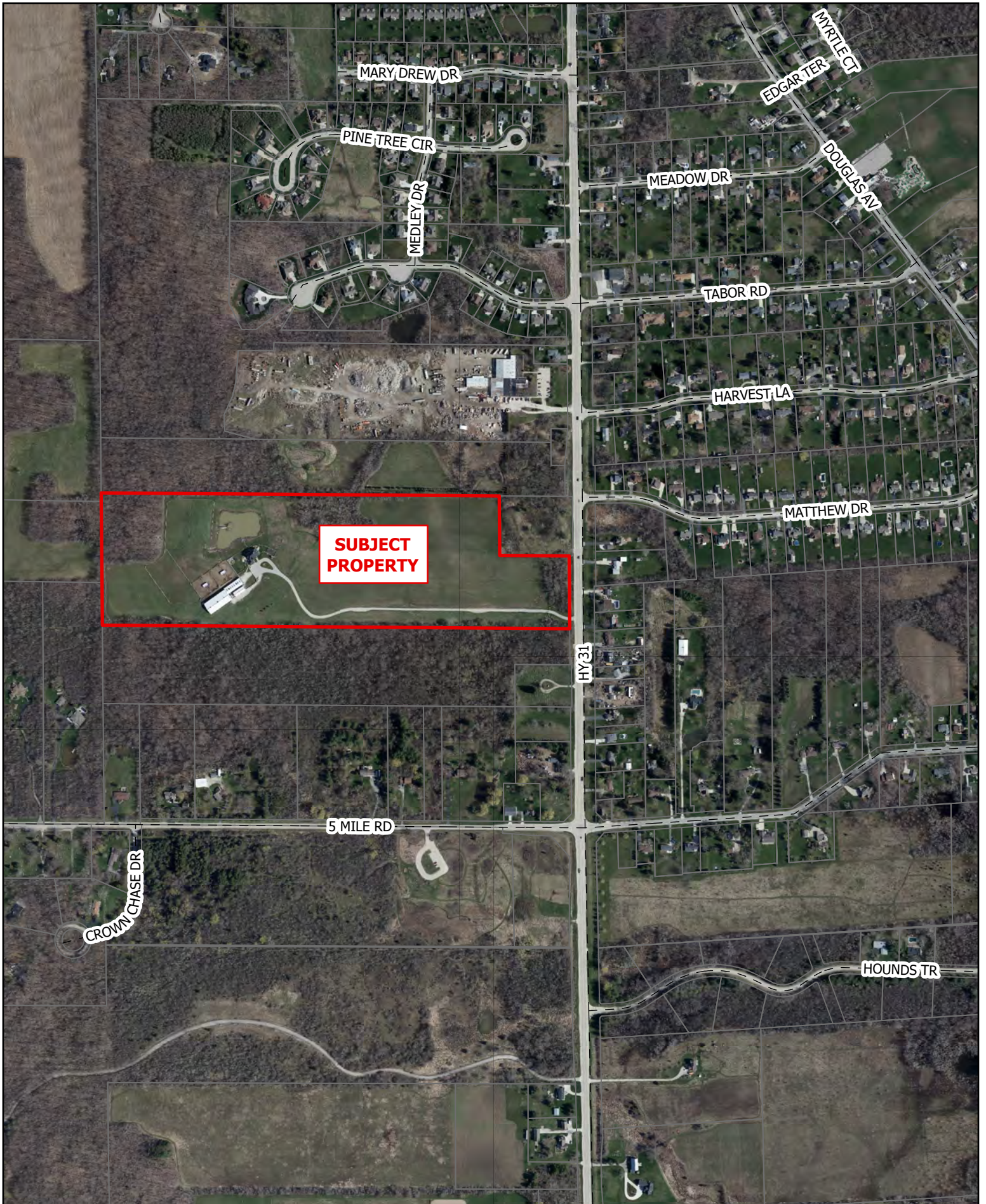
Source: Brian Ohm, Professor, UW-Madison, UW-Extension

If the Plan Commission is comfortable with the proposed use, a suggested motion is provided at the beginning of this report.

Respectfully submitted:



Peter Wagner, AICP
Development Director



**SUBJECT
PROPERTY**

5 MILE RD

HY 31

CROWN CHASE DR

MARY DREW DR

PINE TREE CIR

MEDLEY DR

MEADOW DR

TABOR RD

HARVEST LA

MATTHEW DR

MYRLECT

EDGAR TER

DOUGLAS AV

HOUNDS TR

PLAN COMMISSION APPLICATION

6208 State Road 31
Caledonia, WI 53402
Tax Key 104-04-22-13-042-000

1. Proposed Project
 - a. Site grading
 - b. 2-level building
 - c. Garage for farm equipment on lower level
 - d. Living quarters for farm labor on the upper level as allowed in Village Ordinances under Conditional Use Permit in Agricultural Zoning District.
 - e. Septic system as required
 - f. Plumbing as required
 - g. Electrical service as required
 - h. HVAC system as required
2. Conceptual plan
 - a. Attached site plan
 - b. Attached building illustration. Architects will be engaged for project.
3. Legal Description of project site
 - a. PARCEL 104-04-22-13-042-000: That part of the Southeast 1/4 of Section 13, Township 4 North, Range 22 East of the Fourth Principal Meridian, bounded and described as follows: Commencing at the Southeast corner of the Southeast 1/4 of said Section 13, run thence N00°26'40"W, 1088.99 feet along the East line of the Southeast 1/4 of said Section 13; thence N89°34'13"W, 75.01 feet parallel with the South line of the Southeast 1/4 of said Section 13 to the West right-of-way line of Ole Davidson Road - State Trunk Highway "31" (S.T.H. "31") and the point of beginning of this description; continue thence N89°34'13"W, 2555.99 feet parallel with the South line of the Southeast 1/4 of said Section 13 to the West line of the Southeast 1/4 of said Section 13; thence N00°31'02"W, 729.98 feet along the West line of the Southeast 1/4 of said Section 13; thence S89°22'48"E, 2177.05 feet parallel with the North line of the Southeast 1/4 of said Section 13; thence S00°26'40"E, 324.69 feet parallel with the East line of the Southeast 1/4 of said Section 13; thence S89°34'13"E, 379.99 feet parallel with the South line of the Southeast 1/4 of said Section 13 to the West right-of-way line of said Ole Davidson Road - S.T.H. "31"; thence S00°26'40"E, 398.05 feet parallel with the East line of the Southeast 1/4 of said Section 13 and along the West right-of-way line of said Ole Davidson Road - S.T.H. "31" to the point of beginning of this description. Said lands being in the Village of Caledonia, County of Racine and State of Wisconsin. Containing 39.760 acres.



New Building Site Plan



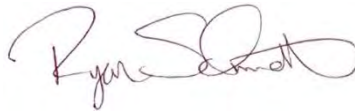
New building Concept

MEMORANDUM

Date: March 21, 2025

To: Plan Commission
Village Board

From: Ryan Schmidt, P.E.
Village Engineer



Re: Certified Survey Map – 3 Mile Road
Parcel ID 104-04-22-36-013-020
Lot 2 of CSM 3230
Christin Cech – Applicant & Owner

Recommended Motion

That the Plan Commission recommends to the Village Board to approve

- 1. A waiver to 14-1-5-(g)(3)(b) for exceeding the lot size ratio of 2.5:1**
- 2. A waiver to 18-1-4-(d)(1)-(4) for allowing multiple access points onto a principal thoroughfare**
- 3. The Certified CSM for Parcel ID 104-04-22-36-013-020 subject to the 11 conditions listed in Exhibit A of this report.**

Background Information

The Village Planning Department and Engineering Department has received a Certified Survey Map for the above-mentioned parcel on 3 Mile Road by Owner and Applicant Christin Cech. The proposed land division is for 3 lots along 3 Mile Road approximately 650' west of Newman Road. The property is 12 acres in size and primarily consists of vacant agricultural farmland. The parcel is otherwise identified as Lot 2 of CSM 3230 that was recorded in December of 2016 which will be referenced periodically in this memo.

Zoning & Planning

The proposed land division is located in the A-2 zoning district which requires a minimum 5-acre lot and 150' feet of frontage. However, this property is in the sewer and water district and is allowed to be a minimum of 40,000 sq. ft. for a single-family dwelling. The proposal meets and exceeds these requirements. The setbacks are designated as 75' from the street yard and 25 from the side and rear yard. This has been shown graphically on the CSM but shall be listed as well in the notes.

The Village Comprehensive Land Use Plan calls for Low Density Residential (19,000 sq. ft. to 1.49 acres per dwelling unit) for this property. The proposed lots have a lower density than recommended by the Land Use Plan. The necessary 75' structural setback and 300' shoreland overlay district from the unnamed navigable stream have been highlighted in the southeast corner of the lot and meets the Village Requirements.

The proposed lot creation shows 3 lots that exceed the 2.5 length to width ratio called out in Ordinance 14-1-5-(g)-(3)(b). Staff recommend that a waiver be authorized for this application for the 2.5:1 ratio. The lots are currently 3.76:1.

Engineering

The proposed land division contains a 50' wide drainage easement along the navigable waterway located in the southeast corner of the parcel. The overall lot does drain to this area and has been depicted accurately. There is also a Storm Water Drainage Easement called out from the previous CSM 3230 at the northeast corner of the parcel. If the owner of this lot intends to relocate this tile at any point in the future, it must be coordinated with the Village, a set of site grading and drainage plans will need to be provided, and the easement will need to be adjusted as necessary.

As was required on the previous CSM, a Storm Water Management Plan and Site Grading and Drainage Plan will be required for each individual parcel developed on this proposed CSM prior to the release of any building permits. A note shall be provided on the front of the CSM. The 100-year post development peak runoff needs to be reduced to the 10 year pre-development peak runoff and the 10 year down to the 2 year. Total Suspended Solids must also be reduced by a minimum of 80%. It is preferred that the property owner create an Outlot and have a regional basin for all 3 lots. This information has been provided to the Owner. A minimum \$10,000 Financial Guarantee (refundable) will be required at the time of the building permit issuance for each storm water facility to ensure it is completed to Village Standards.

Access to 3 Mile Road will be restricted to only one access per individual lot and a waiver has been requested for this. Per CSM 3230, only one access would be allowed for Lot 2 and now that Lot 2 is being further divided, a waiver is needed to gain access outside of a shared one. In addition, it is recommended that, at minimum, the future access for Lot 3 has a site distance study completed to ensure appropriate line of sight for the access is achieved. 3 Mile Road is posted 35mph but there is a grade change immediately east of the property that could impact the location of the access. This shall be submitted with the building permit.

Utility

The property is located within the Urban Service Area & Utility District. The property owner will need to coordinate all sewer and water needs for the lots with the Caledonia Utility District. This includes creating the necessary plans for new utility connections and pulling the appropriate permits.

Environmental

A wetland delineation was performed in 2017 and provided on a recorded copy of CSM 3230 via Affidavit of Correction Doc #2480321. These wetlands have been represented on the proposed land division but a new wetland delineation will be required as the current delineation has expired.

Village Staff has reviewed the proposed Certified Survey Map and recommends the motion listed at the top of the page subject to the 11 conditions attached in Exhibit A.

Exhibit A

Conditions of approval for the Certified Survey Map at 104-04-22-36-013-020:

1. The Owner/Developer must submit an individual site grading and Storm Water Management Plan conforming to Village Ordinance Title 9-2 for each lot prior to any building permits being released for that lot. A note shall be placed on the CSM stating such.
2. The Owner/Developer is restricted to one access per lot and that a note shall be placed on the CSM.
3. The Owner/Developer performs a site distance study for the proposed Lot 3 upon submittal of any building permits.
4. The Owner/Developer completes and updated wetland delineation and provides this to the Village prior to recording of the CSM.
5. The Owner/Developer lists the zoning requirements on the CSM.
6. The Owner/Surveyor cleans up the CSM to remove unnecessary gaps in the document and places only one Village Certificate for the Village of Caledonia to be signed only by the Village Clerk – Jennifer Bass.
7. Prior to any construction or earthmoving activities, the Owner and or his/her Contractor shall obtain a Land Disturbance Permit with the Village and DNR (if over one acre).
8. The Owner shall obtain all State or County Permits as required.
9. The Owner shall ensure the CSM conforms to all Ordinances in Title 9, 14, and 18.
10. The Owner is subject to the individual land division fee per parcel created.
11. The CSM is recorded within 1 year of approval.

CERTIFIED SURVEY MAP NO. _____

LOT 2 OF CERTIFIED SURVEY MAP #3230 LOCATED IN THE NW. 1/4 OF THE NE. 1/4 OF SECTION 36, T.4N., R.22E., VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

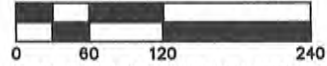
LANDMARK
ENGINEERING SCIENCES, INC.
119 COOLIDGE AVE., SUITE 100
WAUKESHA, WI 53186
(414) 719-2769
LANDMARK-ENGINEERING@LIVE.COM

SURVEYOR:
MARK AUGUSTINE, PLS
SURVEY FOR:
CHRISTIN CECH
PROPERTY:
3 MILE RD RACINE, WI 53406

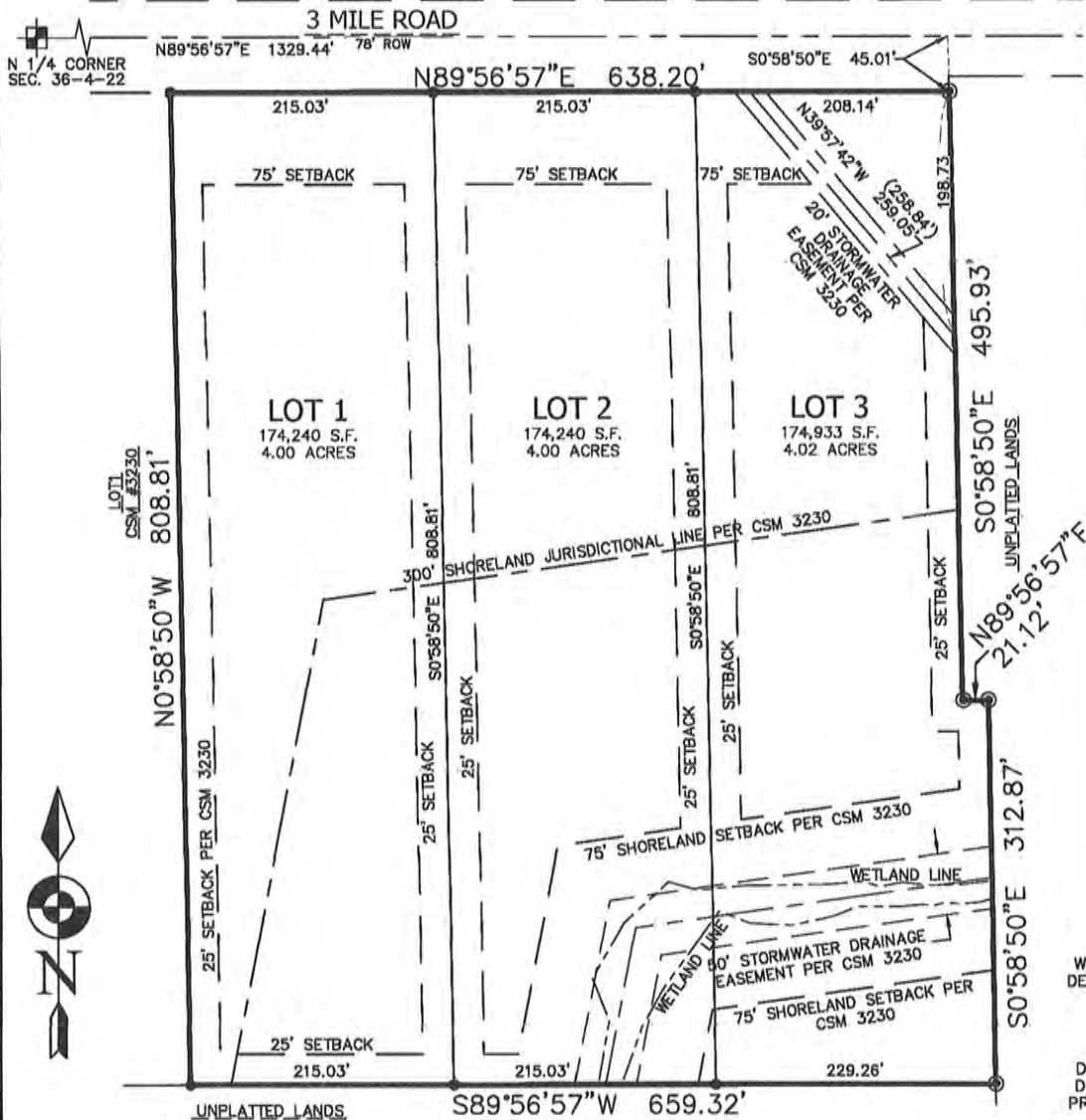


- LEGEND
- ⊕ - CONC. MON. W/ BRASS CAP FND.
 - ⊙ - 1" IRON PIPE FOUND
 - - 3/4" DIA. REBAR SET, 18" LONG, WT. = 1.13 LBS./LIN. FT.

SCALE: 1" = 120'



BEARINGS ARE REFERENCED TO NAD27, WISCONSIN STATE PLANE, SOUTH ZONE, GRID NORTH ON THE NORTH LINE OF THE NE 1/4 OF SECTION 36-4-22 AS N89°56'57"E.

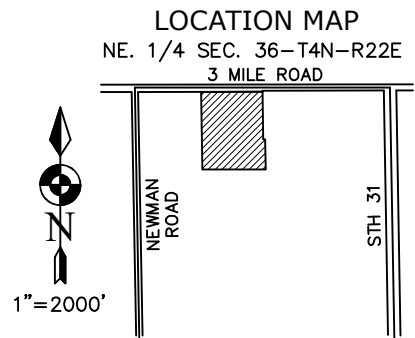


CERTIFIED SURVEY MAP NO. _____

LOT 2 OF CERTIFIED SURVEY MAP #3230 LOCATED IN THE NW. 1/4 OF THE NE. 1/4 OF SECTION 36, T.4N., R.22E., VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

NOTES:

1. EASEMENTS SHOWN PER CERTIFIED SURVEY MAP 3230, DOC.#2453444, RECORDED 20 DEC 2016.
2. THE SURVEYOR TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL INSPECTION.
3. THE INITIAL FIELD WORK WAS COMPLETED ON JUNE 14, 2017.
- 4.



SURVEYOR'S CERTIFICATE:

I, MARK AUGUSTINE, Professional Land Surveyor hereby certify;

That I have surveyed, divided and mapped all of Lot 2 of Certified Survey Map #3230 located in the NW. 1/4 of the NE. 1/4 of Section 36, T.4N., R.22E., Village of Caledonia, Racine County, Wisconsin, more fully described as follows:

All of Lot 2 of Certified Survey Map #3230.

That I have made such survey, land division and Certified Survey Map by the direction of _____, owner of said lands.

That such survey is a correct representation of all the exterior boundaries of the lands surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the subdivision regulations of the VILLAGE OF CALEDONIA in surveying, dividing and mapping the same.

Dated this _____ day of _____, 20_____.

MARK AUGUSTINE, PLS S-2780

CERTIFIED SURVEY MAP NO. _____

LOT 2 OF CERTIFIED SURVEY MAP #3230 LOCATED IN THE NW. 1/4 OF THE NE. 1/4 OF SECTION 36,
T.4N., R.22E., VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

OWNER'S CERTIFICATE OF DEDICATION:

As owner, I hereby certify that I caused that land described on this plat to be surveyed, divided, mapped and dedicated as represented on the Certified Survey Map. I also certify that this Certified Survey Map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- 1) Department of Administration
- 2) VILLAGE OF CALEDONIA

WITNESS the hand and seal of said owner this _____ day of _____.

In Presence of:

CHRISTIN CECH

STATE OF WISCONSIN)

_____ COUNTY) SS

Personally came before me this _____ day of _____, 20_____, the above named CHRISTIN CECH to me known to be the same person who executed the foregoing instrument and acknowledged the same.

Notary Public

_____ County, Wisconsin

My Commission Expires _____

CERTIFIED SURVEY MAP NO. _____

LOT 2 OF CERTIFIED SURVEY MAP #3230 LOCATED IN THE NW. 1/4 OF THE NE. 1/4 OF SECTION 36,
T.4N., R.22E., VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

VILLAGE BOARD APPROVAL CERTIFICATE:

Resolved that the Certified Survey Map, in the VILLAGE OF CALEDONIA, is hereby approved by the Village Board.

All conditions have been met as of the _____ day of _____, 20____.

Date: _____ Signed _____
Tom Weatherston, Village President

I hereby certify that the foregoing is true and correct copy of a resolution adopted by the Village Board of the VILLAGE OF CALEDONIA.

Date: _____ Signed _____
Jennifer Bass, Village Clerk

PLAN COMMISSION APPROVAL CERTIFICATE:

APPROVED, that the Certified Survey Map, in the VILLAGE OF CALEDONIA, is hereby approved by the Plan Commission.

Approved as of the _____ day of _____, 20____.

Date: _____ Signed _____
President Tom Weatherston, Chair

I hereby certify that the foregoing is true and correct copy of a resolution adopted by the Plan Commission of the VILLAGE OF CALEDONIA.

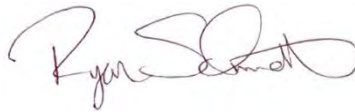
Date: _____ Signed _____
Jennifer Bass, Village Clerk

MEMORANDUM

Date: March 19, 2025

To: Plan Commission
Village Board

From: Ryan Schmidt, P.E.
Village Engineer



Re: Homestead Acres Phase 1 – Final Plat

Recommended Motion

That the Plan Commission recommends to the Village Board to approve the Final Plat for the Homestead Acres subdivision subject to the 7 conditions listed in Exhibit A of this report.

Background Information

The Village Planning Department and Engineering Department has received a Final Plat for Phase 1 of the Homestead Acres subdivision located at Dunkelow & Long Furrow Road. The proposed subdivision phase includes 21 lots at the northeast corner of the parcel. The total subdivision as proposed is for 80 lots and 106 dwelling units (54 single family and 21 2-family). The first 21 lots are all single family lots and proposed to be along newly constructed public roadways.

The Homestead Acres Amended Preliminary Plat was approved by the Village Board on February 13, 2024 after it was initially approved back in 2005. The property exceeded the 40% Open Space and includes a conservation easement over these open spaces (primarily wetland). The first phase as proposed also includes 2 Outlots containing stormwater ponds.

Zoning & Planning

Homestead Acres Phase I is zoned R-3 Suburban Residential PUD allowing flexible design and use of a reduced square footage and width in areas. The Village's Comprehensive Land Use Plan calls for Low Density Residential. The average lot size falls below the Land Use Plan but is allowed under the PUD. The Final Plat as proposed meets the zoning requirements as proposed.

Engineering

The first phase of the Final Plat was submitted with a completed set of engineering plans and storm water management plans that had previously been approved. Technical corrections will be reviewed and approved by Staff for construction as required. All other engineering-related improvements from the amended preliminary plat for this portion of the subdivision appear to have been met. There is only a slight change in the geometry of the proposed Farm Meadow Road Right-of-Way compared to what was initially accepted with

the Preliminary Plat. This is due to an updated Wetland Delineation in 2024 which allowed the road to become more “straight” at its terminus. A copy of the updated wetland report shall be provided to the Village.

An executed Development Agreement, copy of the Stewardship Plan, Conservation Easement, and Restrictive Covenants will be required as a condition of acceptance for the Final Plat. Staff and the Developer are currently working with legal counsel and the Developer/Owner to complete this.

Utility

Homestead Acres is part of the Urban Service Area & Utility District. As mentioned above, Utility Plans and SWMP have been previously submitted and approved. The property includes two storm water ponds which have been held to more stringent standards than other areas in the Village (specifically the reduction of the 100-year post-developed condition down to the 2 year pre-developed). The developer has approvals for the extension of Sanitary Sewer and Watermain per the Wisconsin DNR and Racine Wastewater Utility from 2019. All other Utility requirements have been met.

Environmental

A wetland delineation was performed in 2018 and now in 2024 as mentioned above. They are shown and the updated 2024 report needs to be submitted to the Village. The OHWM has been highlighted with the required 75’ zoning setback and 300’ shoreland setback.

Village Staff has reviewed the first phase of the Homestead Acres Final Plat and recommends the motion listed at the top of the page subject to the 7 conditions attached in Exhibit A.

Exhibit A

Conditions of approval for the proposed first phase Final Plat of Homestead Acres Subdivision:

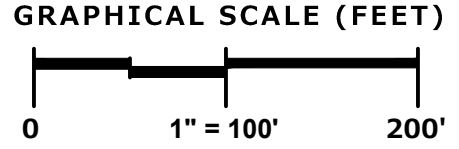
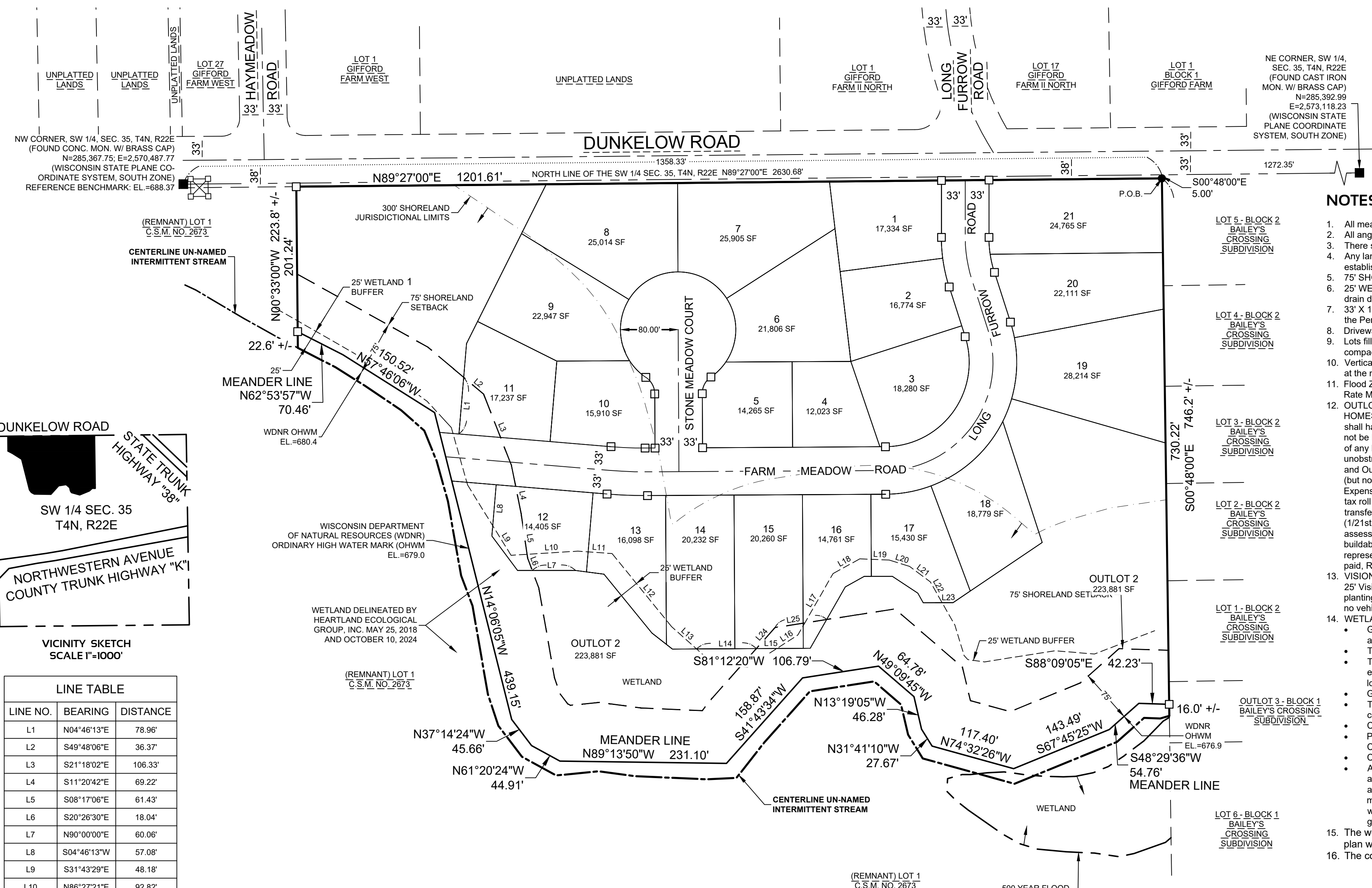
1. The Developer executes a Development Agreement with the Village for the proposed phase and all subsequent phases prior to the issuance of any building permits.
2. The Developer provides the Stewardship Plan, Conservation Easement, and Restrictive Covenants for review and approval by the Village prior to the recording of the Final Plat.
3. The Developer submits and gets all DOA approvals and signatures as required by Wisconsin State Statutes 236.
4. Prior to any construction or earthmoving activities, the Developer or his/her Contractor shall obtain a Land Disturbance Permit with the Village and DNR.
5. The Developer shall obtain all State or County Permits as required.
6. Final As-Builts for all infrastructure shall be prepared, submitted, reviewed, and approved prior to the release of any building permits.
7. The Developer shall ensure the Homestead Acres subdivision conforms to all Ordinances in Title 9, 14, and 18.



SUBJECT PROPERTIES

HOMESTEAD ACRES

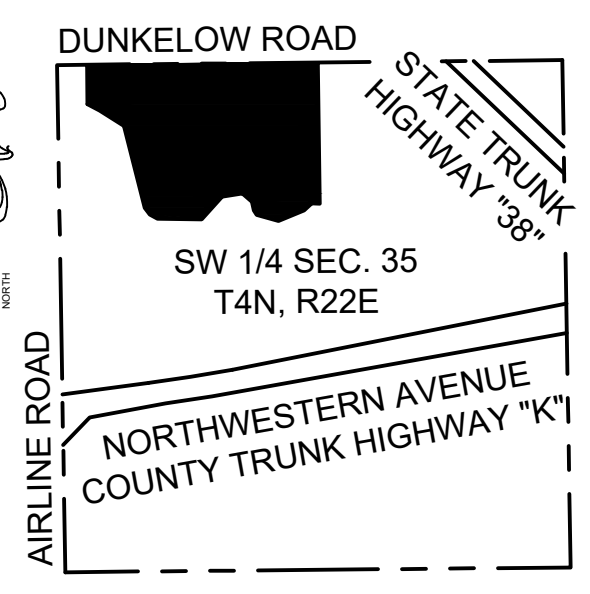
Being a part of Lot 1 of Certified Survey Map No. 2673, in the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 35, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.



Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The north line of the Southwest 1/4 of Section 35, Township 4 North, Range 22 East bears N89°27'00\"/>

NOTES:

- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- There shall be no direct vehicular access allowed on to Dunkelow Road from Lots 1, 7, 8 and 21.
- Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution.
- 75' SHORELAND SETBACK: All Primary and Accessory structures shall require a 75' Setback from the Ordinary High Water Mark.
- 25' WETLAND BUFFER: No development or alteration shall occur within the 25 foot Wetland Buffer. No impervious area should drain directly into the wetlands.
- 33' X 132' PERMANENT TEE TURNAROUND EASEMENT: No driveways shall be authorized to serve the private residence off the Permanent Tee Turnaround.
- Driveways shall not have a centerline slope steeper than 6%.
- Lots filled greater than 3 feet may require additional courses in the foundations to reach suitable soil. Will need to provide a soil compaction certification for the areas of greater than 3 feet of fill.
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Reference Benchmark: Concrete monument with brass cap at the northeast corner of the Southwest 1/4 Section 34, Township 4 North, Range 22 East, Elevation = 688.37.
- Flood Zone Classification: The property lies within "Zone X - 0.2% Annual Chance Flood Hazard Area" per the Flood Insurance Rate Map Community Panel No. 55101C0113E dated FEBRUARY 1, 2019.
- OUTLOT OWNERSHIP AND PURPOSE: Outlot 1 and Outlot 2 of the plat of HOMESTEAD ACRES shall be maintained by the HOMESTEAD ACRES Homeowners Association for storm water retention purposes and open space and each individual lot owner shall have an undivisible fractional ownership of Outlot 1 and Outlot 2 and that Racine County and the Village of Caledonia shall not be liable for any fees or special assessments in the event Racine County or the Village of Caledonia should become the owner of any lot in the subdivision by reason of delinquency. The Homeowners Association shall maintain said Outlot 1 and said Outlot 2 in an unobstructed condition so as to maintain their intended purpose. Construction of any buildings, grading, or filling in said Outlot 1 and Outlot 2 is prohibited unless approved by the Village of Caledonia. The Homeowners Association grants to the Village the right (but not the responsibility) to enter upon the Outlots in order to inspect, repair, or restore said Outlots to their intended purpose. Expense incurred by the Village for said inspection, repair, or restoration of said Outlot 1 and Outlot 2 may be placed against the tax roll for said association and collected as a special charge by the Village. The developer and all subsequent owners shall transfer to any subsequent purchaser of any buildable lot within the plat of HOMESTEAD ACRES an undivisible one-ninth (1/21st) interest in Outlot 1 and Outlot 2. The developer and all subsequent owners warrant and represent that said Outlots for assessment purposes will have no value per se, and the 1/21st interest in said Outlots would be assessed with each of the buildable lots. In the event that said Outlots are not assessed as above, the developer and all subsequent owners warrant and represent that each will pay 1/21st per buildable lot, of the taxes due on said Outlots. In the event that these said taxes are not paid, Racine County reserves the right to collect from each and every developer or subsequent owner individually for all taxes due.
- VISION CORNER EASEMENT RESTRICTION: All corner lots within the plat of HOMESTEAD ACRES shall be subject to a 25' X 25' Vision Corner Easement and a 50' X 50' No Access Restriction. Within the area of the vision corner easement, the height of all plantings, berms, fencing, signs, any other structure shall be limited to 24 inches above the intersection elevation. There shall be no vehicular access over any vision corner easement.
- WETLAND PRESERVATION RESTRICTIONS
 - Grading and filling shall be prohibited unless specifically authorized by the municipality in which they are located and, if applicable, Racine County, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
 - The removal of topsoil or other earthen materials shall be prohibited.
 - The removal or destruction of any native vegetative cover, i.e., trees, shrubs, grasses, etc., shall be prohibited, with the exception of the removal of dead, dying or diseased vegetation, non-indigenous species or noxious weeds (as defined by local ordinance) at the discretion of a forester or naturalist and the approval of Racine County.
 - The introduction of plant material not indigenous to the existing environment of the wetland area or primary environmental corridor shall be prohibited.
 - Creation of a mown landscape, gardening, cultivating, or depositing yard waste of any type shall be prohibited.
 - Ponds may be permitted subject to the approval of the municipality in which they are located and, if applicable, the Racine County, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
 - Construction of buildings within the wetland boundary is prohibited.
 - All wetlands on site will have a 25' buffer to which no impervious surface may drain. Houses and any other structures (such as concrete patios) within the 25' wetland buffer must have a drainage system to direct all storm water runoff at least 25' away from the designated wetland area. Storm water runoff that will not be discharged at least 25' away from the wetland must be first routed through a Wisconsin Department of Natural Resources approved device which will provide adequate water treatment prior to discharging closer than 25'. Wood deck patios with spacing between the boards and draining onto a gravel base or naturally vegetated area including mowed lawn are not considered impervious surfaces.
- The wetlands in Outlot 2 have a stewardship plan for maintenance initially prepared by Heartland Ecological. The plan will be managed by the Homeowners Association.
- The common open space in Outlots 1 & 2 is restricted from any further land divisions or development.



LINE NO.	BEARING	DISTANCE
L1	N04°46'13\"/>	



Jesse Zoltowski
MARCH 11, 2025

Prepared for:
THE NEWPORT GROUP, LTD
8338 Corporate Drive
Mount Pleasant, WI 53406

Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



- LEGEND:**
- Denotes High Tension Tower
 - Denotes Wetland
 - Denotes Area in Square Feet
 - Denotes Found 1" Iron Pipe
 - Denotes Found 3/4" Iron Rod
 - Denotes Set 1-1/4" X 18" Iron Rebar, 430 LBS./FT.
 - All other Lot and Outlot corners are Set 3/4" X 18" Iron Rebar, 15 LBS./FT.

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by

THE NEWPORT GROUP, LTD, Grantor, to:

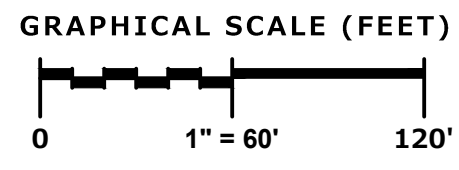
WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin corporation doing business as We Energies, Grantee,
Wisconsin Bell, Inc. d/b/a AT&T Wisconsin, a Wisconsin corporation, Grantee,
and SPECTRUM MID-AMERICA, LLC, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

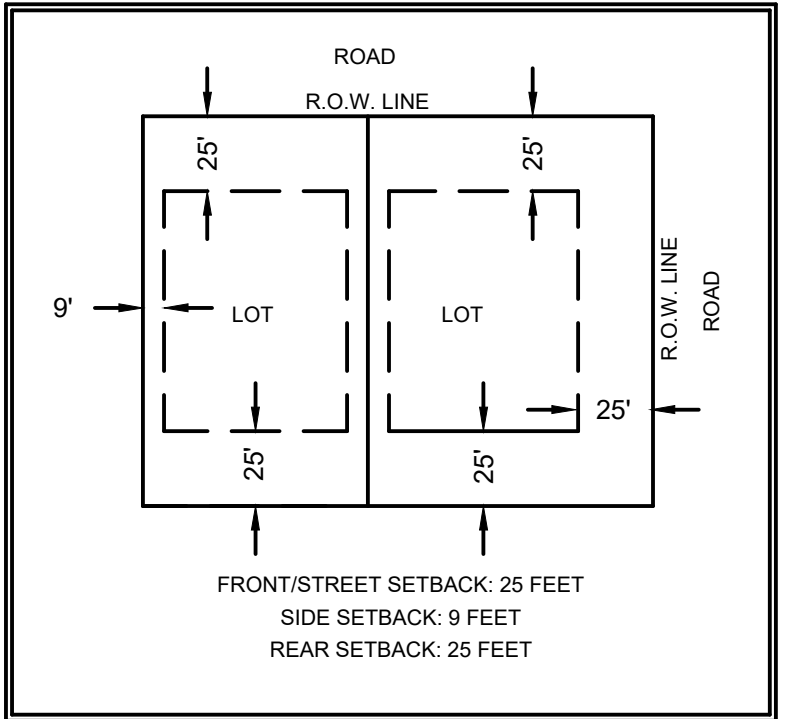
The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.



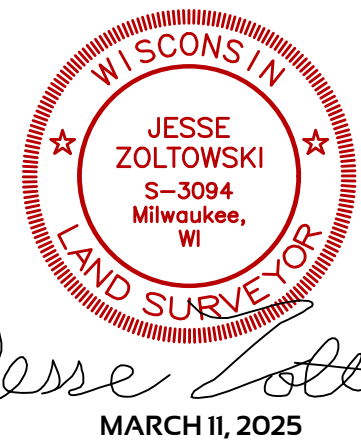
- LEGEND:**
- Denotes High Tension Tower
 - Denotes Wetland
 - Denotes Area in Square Feet
 - Denotes No Direct Vehicular Access
 - Denotes Found 1" Iron Pipe
 - Denotes Found 3/4" Iron Rod
 - Denotes Set 1-1/4" X 18" Iron Rebar, 4.30 LBS./FT.
 - All other Lot and Outlot corners are Set 3/4" X 18" Iron Rebar, 15 LBS./FT.



TYPICAL BUILDING SETBACK DETAIL NOT TO SCALE



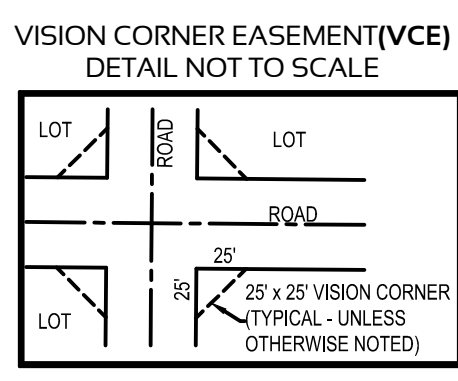
CURVE TABLE									
CURVE NO.		LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT IN	TANGENT OUT	
C1	CENTERLINE	59.67'	192.00'	017°48'24"	S08°54'12"E	59.43'	S00°00'00"E	S17°48'24"E	
	WEST R.O.W.	69.93'	225.00'	017°48'24"	S08°54'12"E	69.65'	S00°00'00"E	S17°48'24"E	
	LOT 1	28.99'	225.00'	007°22'56"	S03°41'28"E	28.97'	S00°00'00"E	S07°22'56"E	
	LOT 2	40.94'	225.00'	010°25'28"	S12°35'40"E	40.88'	S07°22'56"E	S17°48'24"E	
	EAST R.O.W.	49.42'	159.00'	017°48'24"	S08°54'12"E	49.22'	S00°00'00"E	S17°48'24"E	
C2	LOT 20	25.94'	159.00'	009°20'50"	S13°07'59"E	25.91'	S08°27'34"E	S17°48'24"E	
	LOT 21	23.48'	159.00'	008°27'34"	S04°13'47"E	23.45'	S00°00'00"E	S08°27'34"E	
	WEST R.O.W.	219.48'	117.00'	107°28'47"	S35°55'59"W	188.68'	S17°48'24"E	S89°40'23"W	
	EAST R.O.W.	343.29'	183.00'	107°28'47"	S35°55'59"W	295.12'	S17°48'24"E	S89°40'23"W	
	LOT 20	22.27'	183.00'	006°58'16"	S14°19'18"E	22.25'	S17°48'24"E	S10°50'08"E	
C3	LOT 19	85.78'	183.00'	026°51'29"	S02°35'36"W	85.00'	S10°50'08"E	S16°01'21"W	
	OUTLOT 2	33.76'	183.00'	010°34'14"	S21°18'28"W	33.71'	S16°01'21"W	S26°35'35"W	
	LOT 18	137.11'	183.00'	042°55'39"	S48°03'25"W	133.92'	S26°35'35"W	S69°31'14"W	
	LOT 17	64.37'	183.00'	020°09'09"	S79°35'49"W	64.03'	S69°31'14"W	S89°40'23"W	
	EAST R.O.W.	27.18'	28.00'	055°36'38"	N27°28'42"E	26.12'	N00°19'37"W	N55°17'01"E	
	C4	R.O.W.	406.62'	80.00'	291°13'16"	S89°40'23"W	90.37'	S55°56'15"E	N55°17'01"E
		LOT 5	29.28'	80.00'	020°58'05"	N44°47'58"E	29.11'	N55°17'01"E	N34°18'56"E
		LOT 6	93.67'	80.00'	067°04'58"	N00°46'27"E	88.41'	N34°18'56"E	N32°46'03"W
		LOT 7	80.24'	80.00'	057°28'08"	N61°30'06"W	76.92'	N32°46'03"W	S89°45'50"W
		LOT 8	81.32'	80.00'	058°14'33"	S60°38'33"W	77.87'	S89°45'50"W	S31°31'17"W
C5	LOT 9	102.10'	80.00'	073°07'28"	S05°02'27"E	95.31'	S31°31'17"W	S41°36'12"E	
	LOT 10	20.01'	80.00'	014°20'04"	S48°46'13"E	19.96'	S41°36'12"E	S55°56'15"E	
	WEST R.O.W.	27.18'	28.00'	055°36'38"	S28°07'56"E	26.12'	S55°56'15"E	S00°19'37"E	
C6	CENTERLINE	53.38'	600.00'	005°05'50"	S87°46'42"E	53.36'	S85°13'47"E	N89°40'23"E	
	NORTH R.O.W.	50.44'	567.00'	005°05'50"	S87°46'42"E	50.43'	S85°13'47"E	N89°40'23"E	
	SOUTH R.O.W.	56.31'	633.00'	005°05'50"	S87°46'42"E	56.30'	S85°13'47"E	N89°40'23"E	



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



HOMESTEAD ACRES

Being a part of Lot 1 of Certified Survey Map No. 2673, in the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 35, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.

HOMESTEAD ACRES

Being a part of Lot 1 of Certified Survey Map No. 2673, in the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 35, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.

OWNER'S CERTIFICATE

THE NEWPORT GROUP, LTD, a Limited company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited company caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

THE NEWPORT GROUP, LTD, as owner, does further certify that this certified survey map is required by s.236.10 or s 236.12 of the Wisconsin State Statutes to be submitted to the following for approval:

- Village of Caledonia
- County of Racine
- Department of Administration

IN WITNESS WHEREOF, the said THE NEWPORT GROUP, LTD, has caused these presents to be signed by (name - print) _____, (title) _____, at (city) _____ County, Wisconsin, on this _____ day of _____, 2025.

In the presence of: THE NEWPORT GROUP, LTD

Name (signature) - Title _____

STATE OF WISCONSIN)
COUNTY) SS

Personally came before me this _____ day of _____, 2025, (name) _____, of the above named THE NEWPORT GROUP, LTD, to me known to be the person who executed the foregoing instrument, and to me known to be such _____ (title) of said limited company, and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited company, by its authority.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____

CONSENT OF CORPORATE MORTGAGEE

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the _____ above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described in the foregoing affidavit of John P. Konopacki, surveyor, and does hereby consent to the above certification of owners.

IN WITNESS WHEREOF, the said _____ has caused these presents to be signed by _____, its Senior Vice-President, and its corporate seal to be hereunto affixed this _____ day of _____, 2025.

Date _____ Senior Vice-President _____

STATE OF WISCONSIN)
COUNTY) SS

Personally came before me this _____ day of _____, 2025, _____, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____

VILLAGE OF CALEDONIA CERTIFICATE

RESOLVED that the plat of HOMESTEAD ACRES in the Village of Caledonia, is hereby approved by the Village Board of the Village of Caledonia.

Date _____ Jennifer Bass, Village Clerk _____

CERTIFICATE OF VILLAGE FINANCE DIRECTOR

STATE OF WISCONSIN)
RACINE COUNTY) SS

I, Wayne Krueger, being duly elected, appointed, qualified and acting Village of Caledonia Finance Director do hereby certify that in accordance with the records in my office, there are no unpaid taxes or special assessments as of this _____ day of _____, 2025 on any of the land included in the Plat of HOMESTEAD ACRES.

Date _____ Wayne Krueger, Village of Caledonia Finance Director _____

CERTIFICATE OF COUNTY TREASURER

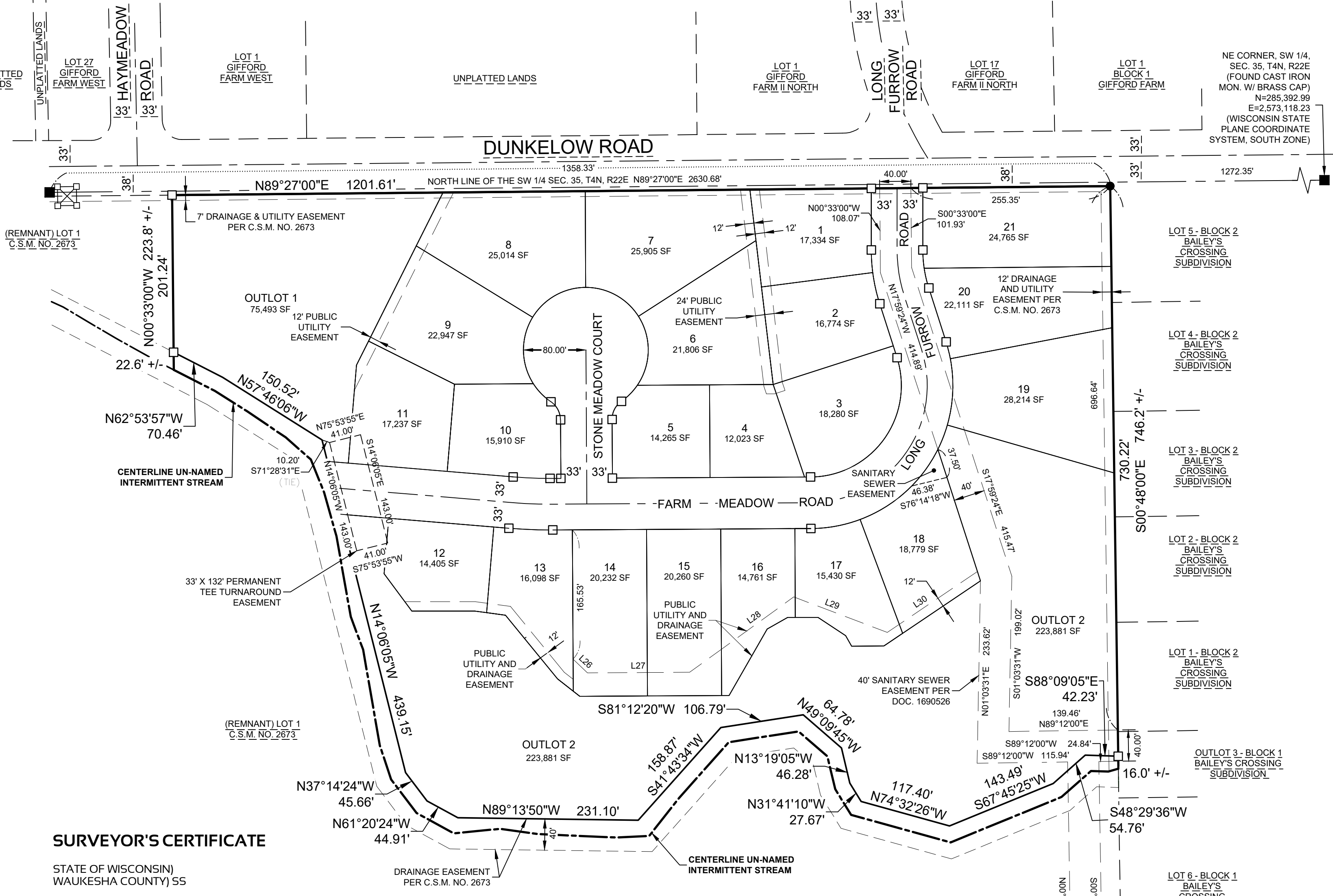
STATE OF WISCONSIN)
RACINE COUNTY) SS

I, Jeff Latus, being duly elected, qualified and acting Treasurer of Racine County, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____, 2025 affecting the lands included in the Plat of HOMESTEAD ACRES.

Date _____ Jeff Latus, County Treasurer _____

This instrument drafted by John P. Konopacki, PLS-Registration No. 5-3094

PINNACLE ENGINEERING GROUP



SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, Jesse Zoltowski, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and divided part of Lot 1 of Certified Survey Map No. 2673, in the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 35, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

Commencing at the northwest corner of the Southwest 1/4 of said Section 35;
Thence North 89°27'00" East along the north line of said Southwest 1/4, 1358.33 feet;
Thence South 00°48'00" East, 5.00 feet to the north east corner of Lot 1 of said Certified Survey Map No. 2673 and the Point of Beginning;

Thence continuing South 00°48'00" East along the east line of said Lot 1, 730.22 feet to a point on a meander line for an un-named intermittent stream and the north line of a 40' Drainage Easement;
Thence the following courses along said meander line and north line of a 40' Drainage Easement:

South 88°09'05" East, 42.23 feet;
South 48°29'36" West, 54.76 feet;
South 67°45'25" West, 143.49 feet;
North 74°32'26" West, 117.40 feet;
North 31°41'10" West, 27.67 feet;
North 13°19'05" West, 46.28 feet;
North 49°09'45" West, 64.78 feet;
South 81°12'20" West, 106.79 feet;
South 41°43'34" West, 158.87 feet;
North 89°13'50" West, 231.10 feet;
North 61°20'24" West, 44.91 feet;
North 37°14'24" West, 45.66 feet;
North 14°06'05" West, 439.15 feet;
North 57°46'06" West, 150.52 feet;
North 62°53'57" West, 70.46 feet;

Thence North 00°33'00" West, 201.24 feet to the south right of way line of Dunkelow Road;
Thence North 89°27'00" East along said south right of way line, 1201.61 feet to the Point of Beginning.
Including all that land between the meander line and the centerline of the un-named intermittent stream.

Dedicating that portion of subject property as graphically shown for public right of way purposes.

Containing 834,499 square feet (19.16 acres) of land, more or less to the centerline of the un-named intermittent stream and 800,703 square feet (18,3816 acres) of land to the Meander line and 702,343 square feet (16,1236 acres) of land Net.

That I have made such survey, land division and map by the direction of THE NEWPORT GROUP, LTD, owner of said land.

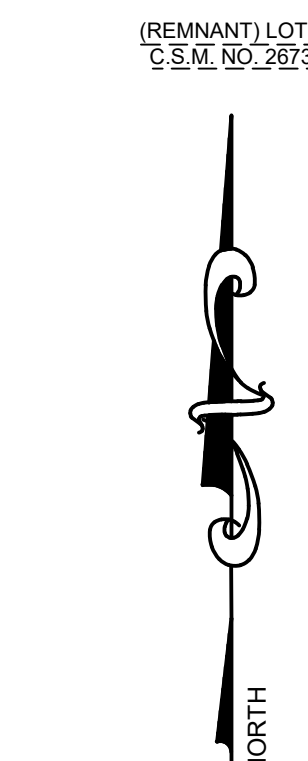
That such plat is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes, the Village of Caledonia Land Division Ordinance and Racine County Code of Ordinances in surveying, mapping and dividing the land within the subdivision.

Date: FEBRUARY 6, 2025



Jesse Zoltowski
Jesse Zoltowski
Professional Land Surveyor S-3094



GRAPHICAL SCALE (FEET)

0 1" = 100' 200'

LINE NO.	BEARING	DISTANCE
L26	S46°21'26"E	25.54'
L27	N89°40'23"E	76.62'
L28	N54°05'40"E	114.42'
L29	S69°14'38"E	128.18'
L30	N55°59'39"E	139.32'

LEGEND:
 - Denotes High Tension Tower
 - Denotes Wetland
 - Denotes Area in Square Feet
 - Denotes Found 1" Iron Pipe
 - Denotes Found 3/4" Iron Rod
 - Denotes Set 1/4" X 18" Iron Rebar, 4.30 LBS./FT.
 - All other Lot and Outlot corners are Set 3/4" X 18" Iron Rebar, 15 LBS./FT.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20 _____

Department of Administration

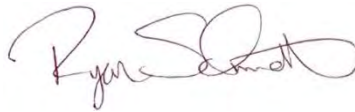


MEMORANDUM

Date: March 26, 2025

To: Plan Commission
Village Board

From: Ryan Schmidt, P.E.
Village Engineer



Re: Thomas Farms Subdivision – Preliminary Plat

Recommended Motion

That the Plan Commission recommends to the Village Board to approve the Preliminary Plat for the Thomas Farms subdivision subject to the 23 conditions listed in Exhibit A of this report.

Background Information

The Village Planning Department and Engineering Department has received a Preliminary Plat for the Thomas Farms Subdivision located along 5 Mile Road. The proposed subdivision includes 62 lots on approximately 28.2582 acres (gross). All lots are proposed to be placed along new Village Roadways and includes the extension of 5 Mile Road west from Charles Street across the Klema Ditch. This subdivision is also within the newly created TID 6.

The Thomas Farms Subdivision Concept Plan was approved by the Village Board on October 8, 2024. This included waivers to the 40% Open Space and Conservation Easement requirements and established a Base Development Yield of 3.46 units per acre. A Comprehensive Plan Amendment was adopted by the Village Board on January 14, 2025 via Ordinance 2025-01 to change the parcels proposed for this subdivision from low density residential to medium density residential. In addition, a Zoning District and Map Amendment was approved on January 14, 2025 for the Rezoning of the proposed subdivision parcels to R-5.

Zoning & Planning

The proposed subdivision, as described above, is required to meet the R-5 Zoning District requirements. The major points of this zoning district are the minimum lot size of 10,890 sq. ft. and 75' of frontage. All the proposed lots meet and exceed these values. The smallest lot is 10,907 sq. ft. and the largest is 14,242 sq. ft. with frontages varying from 87-90 feet typically. The proposed density has not changed since the concept plan and meets and/or exceeds the required 3.64 units per acre. The density needs to be displayed on the Preliminary Plat per Ordinance requirements. There is a need to define and represent the shoreland zoning district from the navigable waterway (Klema Ditch). The 75' structural setback from the OHWM and the 300' shoreland zoning setback shall be placed on the Plat.

Engineering

The subdivision was submitted with a set of preliminary engineering and storm water management plans. Staff will review these separately and provide feedback to the Design Engineer and Developer. The Preliminary Plat is missing information from name/ownership of lands 100' from the property and all easements (public/private), streets, widths, conditions, primary environmental corridors, etc. within 300' of the property. A phase 1 ESA is still required to be submitted on this property. The proposed Right-of-Way widths are missing and the proposed/required drainage easements and vision triangles. While it is listed on the Notes of the Preliminary Plat, all properties are restricted to 1 access each to the Village Road Network. Lots 3, 30, 31, 40, 45, and 56 will be limited to No Access along 5 Mile Road. This shall be shown on the Plat and a note provided. No Access shall also be included 50' from the corner of the Right-of-Way at each intersection along with the 25'x25' vision triangle. It is recommended to include these dimensions and other information in an updated version of the Preliminary Plat prior to the Village Board approval. Understandably, any easements may be modified upon completion of the civil/site design and shall ultimately be shown with the Final Plat.

Draft plans have been provided including estimated Finished Yard Grades of homes with potential lookouts/exposures. Due to the proximity of the Klema Ditch, all FYG's shall be a minimum of 2' above the High-Water Mark of the Klema Ditch. This shall be included in all Final Engineering/Utility Plans.

Per Title 14-3, the layout of proposed streets, walkways, and other improvements are to be shown on the Plat. It is recommended that the Developer provides the basic geometric outline for this data, including 5 Mile Road which should have a 40' flange to flange urban roadway and the proposed pedestrian trail along the east side of the Klema Ditch. By definition, a temporary turnaround tee will need to be provided at the north end of Oriole Road. This shall be done via temporary easement onto the abutting property to the north or onto Lots 7 and 8 per Village Ordinance Title 18. It is understood that future phases may make this negligible, but at this time, it is required until the future development occurs.

Roadway naming will need to be updated to reflect the extension of existing roads adjacent to the proposed subdivision. "Road A" shall be listed as Leawood Lane. "Road B" shall be listed as October Drive. The furthest west roadway that runs North and South shall be named North Meadows Drive and transition to the proposed Oriole Road at a point along the curve. This should be done to best plan for any future extension of the roads to the south of 5 Mile Road.

There is a legal description gap along the property line abutting the Village Owned land to the north. This shall be resolved upon submittal of the Final Plat. Lots 8-19 shall resolve the any lot line issue with the neighboring Audubon Arboretum Subdivision and abutting landowners as required. The future extension of 5 Mile Road will also require the acquisition of Right-of-Way to be dedicated to the public along the abutting property to the south. This will need to be done via CSM or other means of dedication and coordinated with the Village upon submittal of the Final Plat. There is also a permanent turnaround tee located on the north half of the existing 5 Mile Road that shall be shown and vacated as part of the Plat process.

A Development Agreement will be required prior to the acceptance of the Final Plat. Staff are currently working with legal counsel and the Developer/Owner to complete this. This will include language regarding the TID and all other related information for this specific development.

Utility

As mentioned above, the preliminary civil/site/utility plans have been submitted to staff and will be reviewed separately. The property includes two storm water ponds; one in each Outlot. Easements will be required over the storm water ponds including the areas that are on abutting property. The Storm Water Management Plan shall be reviewed and approved by the Utility District along with final Civil/Utility Plans prior to or along with the Final Plat approval. This includes meeting the Village Ordinance requirements of Title 9 Chapter 2. The developer shall submit and get approvals for the extension of Sanitary Sewer and Watermain to the Wisconsin DNR and Racine Wastewater Utility.

A separate sanitary sewer utility easement is required for the proposed sewer and water main to connect at the current north end of North Meadows Drive. Current proposals show the water running west along 5 Mile Road across the Klema Ditch, which is a different pressure zone. This will not be acceptable and the watermain shall run south to North Meadows Drive through said easement and looped to that system. Staff are coordinating with the Developer and Owner to execute this easement agreement and ensure Village Standards are maintained.

The Utility District will review the potential for an Oak Creek/Racine Distribution System interconnect with Valve to remain closed. This will be discussed with the Developer and their Engineer as part of the Engineering/Utility Plan Review and Approval process. A future tee and stub should be accounted for at the intersection of the proposed Leawood Lane to the south for future development.

Environmental

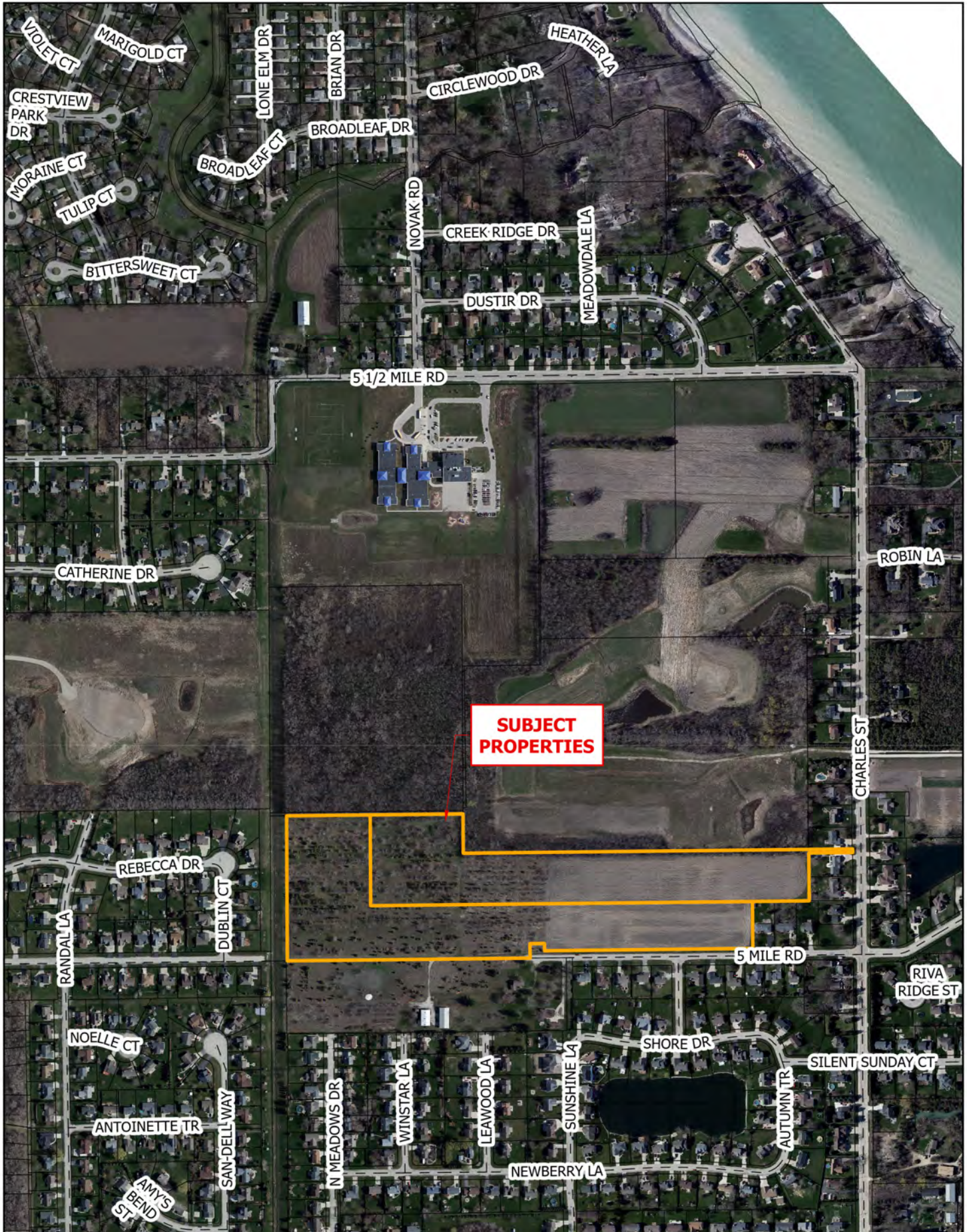
A wetland delineation was performed in 2022 and included both the Audubon Arboretum and the proposed subdivision. They are shown on the Preliminary Plat as required and a copy is on file with the Village. The proposed subdivision does show the encroachment of some wetlands on the buildable footprint of Lots 9-19. It is recommended that these are resolved via exemption or other means and evidence is provided to the Village upon the Final Plat submittal. The proposed 50' wetland buffer for impervious surface drainage will impact these same lots and will require the Developer to account for in the Civil/Site Design.

Village Staff has reviewed the proposed Preliminary Plat and recommends the motion listed at the top of the page subject to the 23 conditions attached in Exhibit A.

Exhibit A

Conditions of approval for the proposed Preliminary Plat of Thomas Farms Subdivision:

1. The Developer submits for review and approval the sewer and water extension plans to the DNR and Racine Wastewater Utility.
2. The Developer works with the Engineering and Utility Departments to create a set of Site Grading, Drainage, Utility, Engineering, and Storm Water Management Plans for the proposed subdivision that are approved by both the Utility District and Village Board.
3. The Developer executes a Pre-Development Agreement with the Village with appropriate securities for the proposed subdivision.
4. The Developer executes a Development Agreement with the Village prior to, or as a condition of the Final Plat Approval.
5. The Developer provides and executes the necessary easements for the proposed storm water ponds, including area that is on abutting property.
6. The Developer provides the Phase 1 ESA to the Village.
7. The Developer shows the 75' and 300' shoreland setbacks from the Klema Ditch OHWM.
8. The Developer executes and provides the necessary Utility Easements on abutting Thomas Plantation property.
9. The Developer and their Engineer ensures that the proposed water main for this system is looped south into North Meadows Drive through the proposed Utility Easement.
10. The Developer executes and dedicates the necessary Public Right-of-Way to the Village along 5 Mile Road on abutting Thomas Plantation property (min 70' total).
11. The Developer resolves the gap in legal descriptions along the Village Owned Parcel.
12. The Developer shows the existing turnaround tee on 5 Mile and vacates this as part of the Plat Process.
13. The Developer shows the 25'x25' Vision Triangle Easements at all intersections prior to Village Board approval.
14. The Developer places No Access Restrictions on Lots 3, 30-31,40,45, and 56 along 5 Mile Road and for 50' at each intersection corner prior to Village Board approval.
15. The Developer shall resolve the wetland encroachment onto Lots 8-19 via exemption or other means to ensure the buildable footprint of the lot is unaffected and provide evidence to the Village.
16. The Developer corrects the roadway names as described above to account for the existing road network to the south prior to Village Board approval.
17. The Developer provides for a temporary turnaround tee at the end of Oriole Road until a future development occurs per Ordinance Title 18.
18. The Developer and their Engineer ensures all FYG's are a minimum of 2' above the High Water Mark of the Klema Ditch.
19. The Developer shows the required 100' and 300' radius of information for the Preliminary Plat prior to Village Board Approval.
20. The Developer shows the proposed drainage and utility easements as required on the Preliminary Plat prior to Village Board approval.
21. Prior to any construction or earthmoving activities, the Developer or his/her Contractor shall obtain a Land Disturbance Permit with the Village and DNR.
22. The Developer shall obtain any and all State or County Permits as required.
23. The Developer shall ensure the Thomas Farms subdivision conforms to all Ordinances in Title 9, 14, and 18.



March 17, 2025

Mr. Pete Wagner
Village of Caledonia
5043 Chester Lane
Caledonia, WI 53402

Re: Thomas Farms – Preliminary Plat

Dear Mr. Wagner:

Bear Development, LLC is pleased to submit this letter and the enclosed submittal materials as formal application for Preliminary Plat review. Bear Development is acting with the authorization of the owner of record, Thomas Tree Plantation, LLC.

Project Summary

Thomas Tree Plantation, LLC is the owner of record of approximately 28.26 acres of vacant land in the Village of Caledonia, specifically Tax Key Parcels 103032317081000 and 14042317077000. The property is located on the north side of 5 Mile Road approximately 500 feet west of Charles Street. Bear Development, LLC is respectfully requesting Preliminary Plat approval to facilitate a 62 lot single-family residential neighborhood.

Current Land Use

The subject property is unimproved and is actively farmed for row crops and nursery stock.

Proposed Use

Bear Development, LLC is seeking approval for a single-family residential neighborhood consisting of sixty-two (62) homesites and two (2) outlots.

Village of Caledonia Land Use Map

The subject property is designated Medium Density Residential.

Existing Zoning

The subject property is zoned R-5 Single Family Residential.

Current Entitlements

- Conceptual Plan Approval (Village Resolution 2024-100)
- Comprehensive Land Use Plan Amendment (Village Ordinance 2025-01)
- Rezoning (Village Resolution 2025-01)
- TID #6 Project Plan (Village Resolution 2024-042)





Providing Creative Real Estate Solutions to Build Better Communities

Proposed Preliminary Plat

Bear Development, LLC, respectfully request Village of Caledonia review and approval of the enclosed Preliminary Plat. The Preliminary Plat includes:

- Gross Land Area of 28.26 acres
- A total of 62 Lots and 2 Outlots
- Lots 1-62 are Single Family lots with bulk requirements meeting the R-5 Residential zoning standards.
- Outlot 1 is designated for Stormwater Retention and Open Space.
- Outlot 2 is designated for Stormwater Retention and Open Space.
- All Lots are to be serviced by public water and sanitary sewer service.

Should you have any questions regarding this request, please do not hesitate to contact me. I can be reached at (262) 842-0556 or by email, dan@beardevelopment.com

Thank you for your time and consideration.

Sincerely,

A handwritten signature in blue ink, appearing to read "Daniel Szczap".

Daniel Szczap
Bear Development, LLC

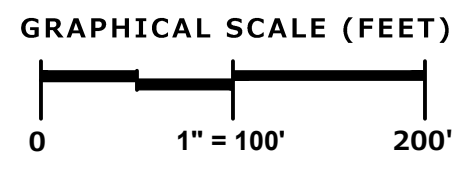


THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

LEGEND OF SYMBOLS & ABBREVIATIONS

Table with 3 columns: Symbol, Description, and Abbreviation. Includes symbols for sanitary manhole, storm manhole, cleanout, catch basin, lateral, unknown manhole, well, hydrant, water valve, down spout, sprinkler valve, water shut off, standpipe, water manhole, flood light, light pole, traffic signal pole, utility pole, guy wire, sanitary sewer, storm sewer, water main, fiber optic line, telephone line, electric line, overhead wires, cable television, gas main, wetlands, tree line, and no access.

Prepared by: PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD | SUITE 100 BROOKFIELD, WI 53186 OFFICE: (262) 754-8888



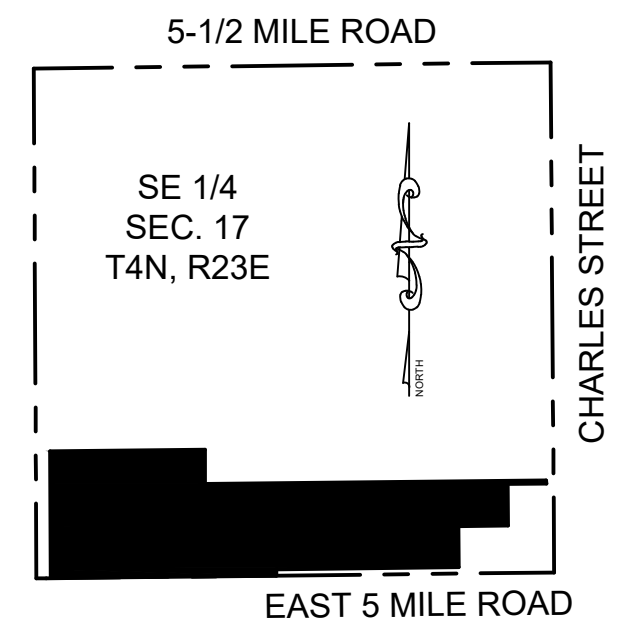
Coordinates referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1983/2011). Bearings referenced to the East line of the Southeast 1/4 of Section 17, Township 4 North, Range 23 East which has a bearing of N00°24'44"W.



I, John P. Konopacki, Professional Land Surveyor, hereby certify that this survey map is correct to the best of my knowledge and belief with the information provided and complies with requirements of Chapter A-E 7 s.35.93 of the Wisconsin State Statutes.

SIGNED JOHN P. KONOPACKI, PROFESSIONAL LAND SURVEYOR S-2461

VICINITY MAP SCALE 1"=1000'

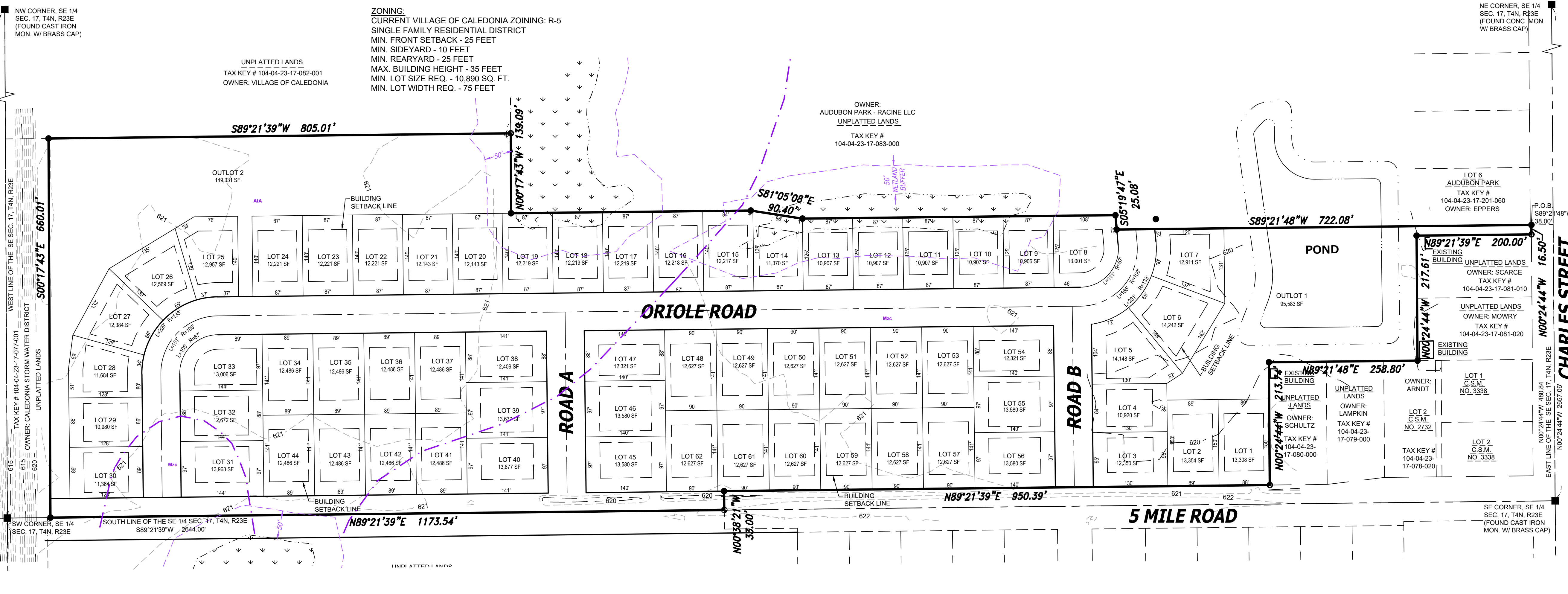


NOTES:

- 1. Tax Parcel Numbers: 104-04-23-17-077-000, 104-04-23-17-081-000, 104-04-23-17-086-005 & a portion of 104-04-23-17-083-000.
2. Gross land area of the subject property is 1,230,927 square feet (28.2582 acres). Net land area is 1,018,681 square feet (23.3857 acres).
3. All lots to be serviced by public sanitary sewer and water main.
4. All streets will be improved to Village of Caledonia specifications.
5. Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. Reference Benchmark: Concrete monument with brass cap at the southeast corner of the Southeast 1/4 Section 17, Town 4 North, Range 23 East, Elevation = 621.02.
6. Flood Zone Classification: The property lies within Zone "X" of the Flood Insurance Rate Map Community Panel No. 55101C0116E with an effective date of JANUARY 11, 2024. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.
7. Utilities on or above the surface of the surveyed property observed in the process of conducting the fieldwork graphically shown on the survey. Underground utility locations shown are based on field location markings by Digger's Hotline ticket #20250404611, 20250404609 & 20250404600 with a clear date of FEBRUARY 3, 2025. The location and size of underground structures and utilities shown hereon have been located based on a reasonable visual observation and are shown for informational purposes only. PINNACLE ENGINEERING GROUP, LLC. does not guarantee the location of utilities shown. Contact Digger's Hotline prior to the start of any activity.
8. Soil Classification per the United States Department of Agriculture - Natural Resource Conservation Service Web Soil Survey. The subject property includes the following soils: ATA - Ashkum silty clay loam, 0-2 % slopes; Mzc - Montgomery silty clay.
9. Subdivision contains 52 Lots and 2 Outlots.
10. Legal Description as surveyed: Being a part of the Southeast 1/4 and Southwest 1/4 of the Southeast 1/4 of Section 17, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin, described as follows: Commencing at the southeast corner of the Southeast 1/4 of said Section 17; thence North 00°24'44" West along the east line of said Southeast 1/4, 480.84 feet; thence South 89°21'48" West, 38.00 feet to the west right of way line of Charles Street and the Point of Beginning; thence South 00°24'44" East, 217.61 feet to the north line of Certified Survey Map No. 2732; thence South 89°21'48" West along said north line and its westerly extension, 258.80 feet; thence South 00°24'44" East, 213.74 feet to the north right of way line of East 5 Mile Road; thence South 89°21'39" West along said north right of way line, 950.39 feet; thence South 00°38'21" East, 33.00 feet to the south line of said Southeast 1/4; thence South 89°21'39" West along said south line, 1173.54 feet; thence North 00°17'43" West, 660.01 feet; thence North 89°21'39" East, 805.01 feet; thence South 00°17'43" East, 139.26 feet; thence North 89°21'28" East, 418.14 feet; thence South 81°05'08" East, 90.35 feet; thence North 89°21'28" East, 545.00 feet; thence South 05°19'47" East, 25.01 feet; thence North 89°21'48" East, 722.08 feet to the Point of Beginning.
11. OUTLOT OWNERSHIP AND PURPOSE: Outlot 1 & Outlot 2 of the plat of THOMAS FARMS shall be maintained by the THOMAS FARMS Homeowners Association for storm water retention purposes. Each individual lot owner shall have an undivided fractional ownership of Outlot 1 & 2 and Racine County and the Village of Caledonia shall not be liable for any fees or special assessments in the event Racine County or the Village of Caledonia should become the owner of any lot in the subdivision by reason of delinquency. The Homeowners Association shall maintain said Outlot 1 & 2 in an unobstructed condition so as to maintain their intended purpose. Construction of any buildings, grading, or filling in said Outlot 1 & 2 is prohibited unless approved by the Village of Caledonia. The Homeowners Association grants to the Village the right (but not the responsibility) to enter upon the Outlot 1 & 2 in order to inspect, repair, or restore said Outlots to their intended purpose. Expense incurred by the Village for said inspection, repair, or restoration of said Outlot 1 & 2 may be placed against the tax roll for said association and collected as a special charge by the Village. The developer and all subsequent owners shall transfer to any subsequent purchaser of any buildable lot within the plat of THOMAS FARMS an undivided one-sixty second (1/62nd) interest in Outlot 1 & 2. The developer and all subsequent owners warrant and represent that said Outlots of assessment purposes will have no value per se, and the 1/62nd interest in said Outlots would be assessed with each of the buildable lots. In the event that said Outlots 1 & 2 are not assessed as above, the developer and all subsequent owners warrant and represent that each will pay 1/62nd per buildable lot, of the taxes due on said Outlots. In the event that these said taxes are not paid, Racine County reserves the right to collect from each and every developer or subsequent owner individually for all taxes due.
12. VISION CORNER EASEMENT (VCE) RESTRICTION: Within the area of the vision corner easement, NO vegetative plantings exceeding 6" in height, berms, fencing, signs, any other structures allowed.
13. WETLAND PRESERVATION RESTRICTIONS: Grading and filling shall be prohibited unless specifically authorized by the municipality in which they are located and, if applicable, Racine County, the Wisconsin Department of Natural Resources and the Army Corps of Engineers. The removal of topsoil or other earthen materials shall be prohibited. The removal or destruction of any native vegetative cover, i.e., trees, shrubs, grasses, etc., shall be prohibited, with the exception of the removal of dead, dying or diseased vegetation, non-indigenous species or noxious weeds (as defined by local ordinance) at the discretion of a forester or naturalist and the approval of Racine County. Grazing by domesticated animals, i.e., horses, cows, etc., shall be prohibited. The introduction of plant material not indigenous to the existing environment of the wetland area or primary environmental corridor shall be prohibited. Creation of a mown landscape, gardening, cultivating, or depositing yard waste of any type shall be prohibited. Ponds may be permitted subject to the approval of the municipality in which they are located and, if applicable, the Racine County, the Wisconsin Department of Natural Resources and the Army Corps of Engineers. Construction of buildings within the wetland boundary is prohibited. All wetlands on site will have a 50' buffer to which no impervious surface may drain. Houses and any other structures (such as concrete patios) within the 50' wetland buffer must have a drainage system to direct all storm water runoff at least 50' away from the designated wetland area. Storm water runoff that will not be discharged at least 50' away from the wetland must be first routed through a Wisconsin Department of Natural Resources approved device which will provide adequate water treatment prior to discharging closer than 50'. Wood deck patios with spacing between the boards and draining onto a gravel base or naturally vegetated area including mown lawn are not considered impervious surfaces.
14. BASEMENT RESTRICTION: Although all lots in the Subdivision have been reviewed and approved for development with single-family residential use in accordance with Section 236 Wisconsin Statutes, some lots contain soil conditions which, due to the possible presence of groundwater near the surface, may require soil engineering and foundation design with regard to basement construction. It is recommended that either a licensed professional engineer or other soils expert design a basement and foundation which will be suitable to withstand the various problems associated with saturated soil conditions on basement walls or floors or that special measures be taken. Soil conditions should be subject to each owners special investigation prior to construction and no specific representation is made herein.
15. Wetlands delineated by Heartland Ecological Group November 01, 2022.
16. WETLAND BUFFERS: All wetlands on site have a 50 foot buffer to which no impervious surface may drain.
17. All Lots shall be restricted to 1 access per single family lot.
18. Lots filled greater than 3 feet may require additional courses in the foundations to reach suitable soil. Will need to provide a soil compaction certification for the areas of greater than 3 feet fill.
19. Driveways shall not have a centerline slope steeper than 6%.

ZONING: CURRENT VILLAGE OF CALEDONIA ZONING: R-5 SINGLE FAMILY RESIDENTIAL DISTRICT MIN. FRONT SETBACK - 25 FEET MIN. SIDEYARD - 10 FEET MIN. REARYARD - 25 FEET MAX. BUILDING HEIGHT - 35 FEET MIN. LOT SIZE REQ. - 10,890 SQ. FT. MIN. LOT WIDTH REQ. - 75 FEET

UNPLATTED LANDS TAX KEY # 104-04-23-17-082-001 OWNER: VILLAGE OF CALEDONIA



PINNACLE ENGINEERING GROUP logo and contact information: 20725 WATERTOWN ROAD SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888

THOMAS FARMS VILLAGE OF CALEDONIA PRELIMINARY PLAT

Table with columns for REVISIONS, SHEET 1 OF 1, and other project details like PEG JOB No. 3002.00 and DATE 03-14-25.



PLAN COMMISSION REPORT

Proposal: Cooperative Boundary Agreement Review

Description: Review a building, site, and operation plan for the construction and utilization of a ±53,000 square-foot commercial building located at 3030 CTH K to ensure compliance with the Cooperative Boundary Agreement between the Village of Raymond and the Village of Caledonia.

Applicant(s): Mark Molinaro Jr.

Address(es): 3030 CTH K

Suggested Motion: That the Plan Commission recommends to the Village Board that the proposed building, site, and operation plan for the construction and utilization ±53,000 square-foot commercial building located at 3030 CTH K in the Village of Raymond be approved for the following reasons:

1. The Village of Raymond Plan Commission and Village Board granted approval of the proposed building, site, and operation plan.
2. The proposed use meets the intent of the Village of Caledonia development standards and finds that the proposed use is a spectacular use for this parcel without connecting to sewer and water in accordance with the Cooperative Boundary Agreement between the Villages of Caledonia and Raymond.
3. Any change of use will require review by the Village of Raymond and the Village of Caledonia.

Owner(s): Top Flight LLC

Tax Key(s): 168-04-21-25-005-010 & 168-04-21-25-005-020

Lot Size(s): ±9.4 acres

Current Zoning District(s): B-3, Commercial Service District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Commercial

Background

The applicant is seeking approval for a sign plan to construct utilize a ±53,000 square-foot commercial building for a future Milwaukee Powersports business located at 3030 CTH K in the Village of Raymond.

The Boundary Agreement aims to ensure consistent and high-quality development along the Interstate. The Plan Commission has the discretion to determine whether the proposed development meets the standards of a “spectacular” development as outlined in Exhibit K of the Boundary Agreement which will allow a development not to have to connect to sewer and water services. Included with this report is the Village of Raymond staff report summarizing the proposed development and how it complies with the Village of Raymonds development regulations.

Zoning & Land Use Compliance

The project is proposed in the B-3 Commercial Service District, which allows automotive and marine sales, service, and repairs as a conditional use. The future land use designation for the site is commercial, aligning with the planned intent of the area. The Village of Raymond has approved the conditional use request.

Design & Architectural Standards

The agreement emphasizes four-sided architecture, appropriate roof styles, and building materials that match existing developments along the I-94 corridor. The Milwaukee Powersports facility incorporates 4-sided architecture that includes metal siding with wood grain textures, glass windows, and branding elements, which isn't a stated material considered to be a quality exterior finish. The Plan Commission does have the discretion to determine if the proposed metal panels are to be considered a quality exterior material. Overall, the proposed design complies with the design standards stated in Exhibit K.

Landscaping & Screening Requirements

The agreement requires screening of service areas, storage, and mechanicals with fences, evergreen plantings, or opaque materials at least 7 feet high. Exhibit K states that landscaping along roadways should include having deciduous trees located a minimum of 50 feet apart. In addition, there should be a secondary landscape layer to screen parking areas. The development plan incorporates landscape screening with staggered plantings of white pine and Norway spruce to shield outdoor storage. However, based on the linear frontage along the frontage road, the development should include 24 trees where only 12 are being proposed. A minimum of six trees should be planted along CTH G. Furthermore, design standards require a secondary landscape layer behind the trees screening parking areas. No secondary layer of landscaping is being proposed on the western side of the parking lot. A future storage building in the area does not exempt the applicant from complying with the landscape requirements.

Screening requirements state that all rooftop mechanicals need to be screened from the roadway. The proposed site plan and building renderings do not illustrate any ground or rooftop mechanicals and how they will be screened from the road. All building mechanicals will be required to be screened from the public right-of-way and the interstate. The site plan does note that the area designated for outdoor storage of vehicles will be screened from the roadway by utilizing fencing with privacy slats. This method of screening is permitted.

Outdoor Display of Merchandise

The applicant is proposing to display their merchandise of powersport equipment on the west, north, and east side of the building as illustrated in the site plan. This is a conditional use and has been approved by the Village of Raymond. Staff is comfortable with the proposed outdoor display based on the location of the site along the interstate.

Lighting Requirements

Exhibit K states that any light poles installed on a property should not exceed 15'-20' in height. The applicant is proposing 30' tall light poles. To comply with the guidelines, the applicant should modify the lighting plan to reduce the light pole height.

Signs

The applicant has illustrated multiple wall signs for the building on multiple elevations of the building. Signs should conform to the Village of Raymonds design standards. The Village of Caledonia prohibits any wall sign that is an electronic message center (EMC). No EMCs are proposed currently.

Stormwater Management & Environmental Compliance

The Village of Raymond Engineering Department has reviewed the proposed stormwater management plan and has determined compliance with the Village of Raymond's regulations. The Village of Caledonia does not review this plan for compliance with Caledonia's stormwater management regulations.

Traffic & Access Control

The agreement encourages vehicle cross-access between non-residential sites. The development includes a 32-foot driveway access from 27th Street, and WisDOT approval is required for vacating the Furman Drive ROW that currently exists.

Staff believes the proposal mostly complies with the Cooperative Boundary Agreement by adhering to zoning requirements and architectural standards. However, the proposed landscape plan does not meet the minimum requirements in Exhibit K nor does it address how building mechanicals will be screened from the roadways. If the Plan Commission agrees that the proposed building, site, and operation plan complies with the design standards outlined in Exhibit K, the Plan Commission can recommend approval which staff has drafted a suggested motion for consideration.

Respectfully submitted:


Peter Wagner, AICP
Development Director





Partners in Design
ARCHITECTS

December 30, 2024

Plan Commission
Village of Raymond
2255 76th Street
Franksville, Wisconsin 53216

Re: Milwaukee Powersports

Honorable Plan Commission:

We are pleased to submit the attached application and required documentation for your consideration of a Conditional Use Permit for the construction of a new building and site improvements for Milwaukee Powersports (MPS) at 3030 CTH K.

We have previously appeared before the commission for consideration of a Concept Plan for the project. We continue to work with the property owner on the sale of the property currently owned by the Wisconsin DOT and expect the sale and property transfer to be complete in a timely manner. This will allow us to vacate Fuhrman Road. We will leave an easement in place to provide access to the property at 2860 County Road K.

Milwaukee Powersports is part of a larger group with locations in Oak Creek, Cedarburg among others. They are a powersport sales and service dealership selling UTV, motorcycle, ATV and watercraft across all of the powersport genres and seasons. In addition to sales and service of both new and use vehicles, MPS provides a wide offering of accessories and parts.

The hours of operation are Tuesday, Wednesday and Thursday 9 am – 7 pm; Friday 9 am – 5 pm and Saturday 9 am – 3 pm. They are closed on Sunday and Monday.

This location will employ approximately 40 people across sales, service, parts and accessories.

The proposed project includes an approximately 53,000 sf building that will support the vehicle and accessories sales as well as vehicle service. Outdoor vehicle display is planned on the north, east and west sides of the building. Outdoor vehicle display will be limited to hours of operation, with all vehicles stored inside the building during overnight hours and when the business is closed.

Fenced and screened vehicle storage is planned on the south side of the building adjacent to the service bays. The service vehicle storage area will be gravel and screened with a secured chain link fence with privacy slats. The parking lot is fully paved with a sufficient number of parking spaces to meet the ordinance while accommodating the customer traffic and employee count.

The exterior building architecture includes a significant amount of glass for both visibility to the vehicles on the sales floor as well as natural light into the showroom

**Partners in Design
Architects, Inc.**

W I S C O N S I N
600 Fifty Second Street
Suite 220
Kenosha, WI 53140
262.652.2800

I L L I N O I S
2610 Lake Cook Road
Suite 280
Riverwoods, IL 60015
847.940.0300

www.pidarchitects.com

and service areas. The use of prefinished architectural metal panels and provide a durable and attractive exterior building skin that compliments the uses within the building.

Additionally, exterior "lifestyle" graphics compliment the manufacturer required exterior building signage to further highlight the type of business that defines Milwaukee Powersports. MPS fully expects this location to be their flagship store along I-94 and the building architecture speaks to that expectation.

The property master plan contemplates the future construction of two additional buildings. The buildings would be used for the storage of non-seasonal vehicles when the showroom is swapped out from season to season.

We look forward to formally presenting our project in January.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark A. Molinaro Jr.", written in a cursive style.

Mark A. Molinaro Jr., AIA, ALA, LEED AP

TO: Village of Raymond Plan Commission
CC: Barbara Hill, Jeff Muenkel, Kari Morgan, Mark Molinero
FROM: Ben Kohout, AICP, Planning Consultant
RPT DATE: February 18, 2025
MTG DATE: February 24, 2025
APRVL DATE: February 24, 2025
RE: Milwaukee Powersports, Inc. –Conditional Use Permit & Site Plan Plan Operations
(SPPO) Review, Soils Disturbance Request (Greater than one acre)

BACKGROUND:

1. Petitioner/Agent: Mark Molinero, Jr. (Partners in Design Architects, Inc.)
2. Property Owner: Top Flight, LLC
3. Location/Address: 3030 CTH K
4. Tax Key Numbers: 168-04-21-25-005-010 and 168-04-21-25-005-020
5. Area: 8.08 AC (not including Furman Dr. ROW)
6. Existing Zoning: B-3 Commercial Service District
7. Proposed Zoning: N/A
8. Future Land Use: Commercial

OVERVIEW:

The petitioner is requesting approval of a conditional use permit and approval of the associated site plan, plan of operation, and soils disturbance request for operation of an approximately 51,787 sq. ft. building for a complete sales and service dealership including motorcycles, ATV's, jet skis, snowmobiles, and other powersport vehicles. Approximately 30,885 square feet of sales floor and 20,902 square feet of service-related space, a parking lot, storm water management pond for, LLC) on property owned by Top Flight, LLC and located at 3030 CTH K (168-04-21-25-005-010 and 168-04-21-25-005-020). The subject parcels are currently vacant. The submitted site plan includes:

- A single-story sales/repair building (approximately 51,787 s.f.)
- Outdoor display
- Screened outdoor storage
- Off-street parking stalls
- Plans for Vacating the existing Furman Drive ROW at future Village Board meeting
- Stand alone storage building

The request requires a public hearing for marine sales, service and repairs and for uses involving extensive outdoor display and storage. and that was held on January 27, 2025. Further recommended action on this item is now being sought at the Plan Commission meeting.

PLANNER COMMENTS:

The subject property is zoned B-3 Commercial Service District. The B-3 District allows both boat sales, repair and service and motorcycle sales, repair, and service as a conditional use. As such, the proposed commercial use of a sales and service dealership including motorcycles, ATV's, jet skis, snowmobiles, and other powersport vehicles is allowed in the B-3 Commercial Service District. The proposed commercial use is consistent with the existing Future Land Use of Commercial.

Below, is a list of items submitted for consideration noted during the February 2024 Concept Review with Milwaukee Motorsports by the Planning Commission and utilized in the review of this application request:

- Future approval would be contingent upon a Conditional Use Permit for a development within a specified distance of of an existing mapped right-of-way of a freeway per Section 20-1339 (b) of the Village Zoning Ordinance.
- Future approval would be contingent upon Village Board approval of a soil disturbance permit.
- Future approval would be contingent upon a detailed review of the Site Plan for consistency with the B-3 District standards and other pertinent portions of the Village zoning ordinance.
- Future approval would require a detailed landscape plan.
- Future approval would require a detailed lighting plan with photometrics, luminaire cut-sheets, mounting heights, and pole details for full cut-off lights.
- Future approval would require a detailed stormwater management plan.
- Future approval would be contingent upon the Village's consideration of whether the proposed amount and location of outdoor storage and outdoor display is appropriate.
- Future approval would be contingent upon Village of Caledonia review and approvals as this property is within the Boundary Agreement area.
- Future approval would be contingent upon WisDOT review and approval of vacating the Furman Drive right-of-way.

Staff notes upon review of the submitted site plan and materials, the details below highlight the review, with the above mentioned items being brought before the Plan Commission meeting in the submitted plan set.

1. **Zoning District Requirements.** The zoning for the property is B-3 District in which Section 25-6-12 (e) of the Village of Raymond Zoning Ordinance provides for operation of Automotive and marine sales, service and repairs with a conditional use permit.

- Section 25-9-9(f)(1) requires :
 - Automotive and marine sales, service and repairs including related towing.
 - (1) All servicing and repair work shall be within an enclosed structure. Repair materials, new, used or junk parts shall not be stored outside unless the storage area has a solid fence enclosure. Junk materials shall be removed at least once a month to avoid unsightliness of the site. Fences

shall be of uniform design and height and be properly maintained for aesthetic purposes.

- (2) No cars or boats shall be parked within the vision triangle, and all parking lots shall meet all yard requirements.
- (3) Lights shall not be beamed directly onto adjoining property.

Staff notes the above requirements appear to be met with the proposal, with details to be discussed with the applicants for further clarification should be warranted.

2. **Plan of Operation.** The proposed plan of operation includes:

- a. **Uses and activities:** The primary reason for the Conditional Use Permit request is to have a 53,000 s.f. building that will support the vehicle and accessories sales as well as vehicle service.

Outdoor Display planned on the north, east and west sides of the building.

Display Limited to hours of operation, with vehicles stored inside the building during overnight hours when business is closed.

The Village Board and Plan Commission should seek clarification on how to ensure stored during non-operations hours and determine if allowing it is appropriate.

- b. **Number of Employees:** The number of employees will be 40.

- c. **Standard hours of operation:** The project narrative indicates hours will be Tuesday, Wednesday and Thursday 9am-7pm; Friday 9am-5pm and Saturday 9am-3pm. Closed Sundays and Mondays.

- o **The Plan Commission should determine whether the proposed hours of operation are appropriate.**

- d. **Outdoor Storage:** The applicant has indicated they will have outdoor storage and the provided Plan of Operations notes that landscape screening will be provided in an updated landscaping plan and **a recommendation from the Plan Commission on if this screening meets the needs of the property will need to be addressed before final consideration.**

The applicant is proposing a staggered planting of white pine and Norway spruce evergreens to be planted on the east and southern sides of the proposed outside vehicle display area, on the south side of the main building.

- e. **Landscaping:** The applicant has provided a landscape plan including landscaped islands in the parking lot area and grass and tree plantings around the vehicle display area. The Village code is silent as to a prescribed landscaping planting schedule minimums, and leaves it up to the Village to decide if what is proposed is appropriate as to the nature of the property and its surroundings.

Staff generally finds the plans acceptable in terms of detailing the limits of grass areas, and noting the sizes and species of plantings are called out, which meet minimum standards specified in the ordinance.

The applicant should provide plans for ongoing maintenance of landscaping, including mowing and weed management on landscaped berms. This can be a short statement on the landscape plan describing maintenance procedures should a planting be damaged or die.

- f. **Parking:** Section 25-12-1 addresses parking. The applicant has provided for 141 off-street parking stalls (including five (5) ADA accessible stalls) are provided. For repair shops, retail areas, requires 1 space for every 150 s.f. of floor area. For the proposed 51,000 s.f. sales and service structure, would require 345 spaces. Staff thinks the Plan Commission should determine if the number of spaces provided is adequate to meet the needs of employees (40), plus shopping customers and waiting customers while their recreational vehicles are being serviced or repaired.

Regarding surfacing, the proposed outside storage and display area is planned to be large stone gravel, which may not meet the surface requirements called out in Section 25-12-1 (g). The Plan Commission will want to determine if they are okay with the proposal of gravel in light of this:

SURFACING: Any driveway or off-street parking area (other than that provided for a residence) shall be hard surfaced or maintained in a reasonably dustless condition by dustproofing applications. The method of surfacing shall be approved by the Plan Commission/Board.

- g. **Exterior Lighting:** Section 25-7-16 addresses lighting standards for the Village. The applicant has provided a photometric plan for the proposed lighting. The lighting plans shows a range of 0.0-0.3 footcandles at the property lines. Generally 0.5 foot candles is considered appropriate at adjoining property lines. This standard is met.

The proposed light poles are not to 30 feet above ground level for parking lots with more than 20 spaces. This pole height was not clearly identified on the submitted plans and is a condition of approval.

- h. **Signage:** Any business signage shall be required to obtain signage approval through the Village of Raymond sign application process.

- i. **Chemicals/Hazardous Materials:** No.

- j. **Stormwater Management and Erosion Control:** Drainage will be adequately captured and utilize a newly proposed storm water pond as depicted on the civil plans.

The plans were reviewed by the Village Engineer and a letter was submitted to the applicants with minor clarifications and corrections to the plans. These will be a condition of approval to clarify and correct and resubmit and reviewed once again prior to building permit submittals to ensure proper stormwater management is accomplished per the Village Code standards.

- k. **Refuse Disposal:** A dumpster enclosure is not defined on the submitted plans.

Section 25-4-1 (c) (3) (d)(15) calls out a need to screen any dumpster enclosure areas, and to provide for a dumpster enclosure area.

(15) The location of all outdoor storage and refuse disposal areas and the design of all screening devices;

Staff recommends following guidance from the Caledonia and Raymonda agreement language calling out a need for densely planted evergreen trees, shrubs or utilizing opaque fencing at least seven (7) feet high. Staff is proposing this as a condition of approval to clarify and correct and resubmit and reviewed by the Zoning administrator prior to building permit issuance. Should the Zoning administrator cite non agreement with the applicant's proposal, it may be brought back to the Commission and Board for Site Plan approval.

3. **Architecture.** The petitioner has provided architectural elevations.

The submittal shows architectural elements proposed to include single story metal sided structure at 27'8" in height. There is shown a dark gray smooth metal siding with a horizontal brown wood grain texture metal siding with glass windows and larger changeable image graphics and permanent logo signage on the walls on the East (facing the I-94 Corridor) and the West (Service Road frontage).

The Village of Raymond Zoning ordinance Section 25-4-1 (d) provides guidance to the Commission on how they are to review and judge the proposal, as long as it is four sided architecture and conforms to the following standards:

- a. No building shall be permitted a design or exterior appearance which is unorthodox or has abnormal character in relation to the surrounding properties as to be unsightly or offensive to generally accepted tastes of the community and professional judgment of the Planning Commission.*
- b. No building shall be permitted where any exterior surface is not constructed or faced with a finished material which is aesthetically compatible with the exterior surface of adjacent buildings and presents an attractive appearance to the public and to surrounding properties.*
- c. No building or addition to any building shall be permitted to be sited on the property in a manner which would interfere with the peaceful enjoyment and natural light of adjacent buildings.*

Staff finds the proposal generally meeting the standards, as two tones and textures of metal provided, as well as windows and proposed graphics may be appropriate and in line with similar buildings already in existence on the I-94 corridor and will allow the Commission to ultimately determine the outcome. **The Commission will want to determine if they agree with the assessment of compliance with the architecture standards from the Zoning staff on the proposal.**

A Village of Caledonia Plan Commission review will occur following a review and determination of the SPPO by the Village Board. The standards for this can be found in Exhibit K of the Raymond and Caledonia agreement.

4. **Traffic, Circulation and Access.** The site is accessible to employees and customers via a 32' wide driveway off 27th Street (West Frontage Road) on the west side of the property.
5. **Caledonia Boundary Agreement.** The Village of Caledonia has not yet reviewed this proposal.
6. **Conditional Use Permit**

Petitioner has included the following items as part of their submittal:

- Plan Commission Review Application
- Cover Letter
- Site Plan
- Grading Plan (showing stormwater management systems and calculations)
- Erosion Control Plan
- Lighting Plan
- Landscape Plan
- Civil Plans
- Architectural Building Elevations

7. **Conditional Use Permit**

Per 2017 Wisconsin Act 67, conditional use authority is now specifically addressed within the statutes. In summary, conditional use decisions must be made based on substantial evidence – facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion. The applicant must present substantial evidence demonstrating that the application and all requirements and conditions established by the Village relating to the conditional use are or shall be satisfied. Any condition imposed by the Village through ordinance or by the Village Board must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer or renewal. The Village's decision to approve or deny the application must be supported by substantial evidence. In addition, per Wis. Stats. 66.1001(2m)(b), a conditional use permit that may be issued by a political subdivision does not need to be consistent with the political subdivision's comprehensive plan.

ENGINEER COMMENTS:

Mike Yeager, P.E., Village Engineer has reviewed the project for drainage considerations and any action by the Plan Commission and Village Board will be conditioned upon the applicant fulfilling any Village Engineer comments prior to final Staff approval in provided separate correspondence.

STAFF RECOMMENDATION:

Conditional Use Permit

If the Village of Raymond Plan Commission wishes **to Approve** the Conditional Use Permit Request and associated Site Plan and Plan of Operations for the Motorsports building facility and associated outside vehicle display and storage area and associated parking area requested by Mark Molinero,

Jr. (Partners in Design Architects, Inc.), for the property located at 3030 CTH K (168-04-21-25-005-010 and 168-04-21-25-005-020) then it is recommended the approval be subject to the following conditions:

1. This conditional use approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Raymond Plan Commission on February 24, 2025.
2. Subject to the petitioner submitting a detailed stormwater management plan addressing items presented by the Village Engineer for correction in a letter dated February 14, 2025, for review and approval by the Village Engineer prior to the commencement of any land disturbing activities on the property.
3. Subject to the petitioner submitting an approval letter from the Wisconsin Department of Transportation to the Village Clerk, signing off on approval of the vacation of the right of way of "Fuhrman Drive". In addition, an approval by the WisDOT of the establishment of one lot Certified Survey Map approvable by the Village of Raymond, and an easement of access for the benefit of lot with Tax Parcel Number 168-04-21-25-006-002, and satisfactory to Village, County, and State Standards for establishing access to an adjacent property to the South of the subject property.
4. Operator must obtain a zoning permit and building permit prior to commencement of the construction of the new motorsports facility and associated parking facilities.
5. Operator shall provide the following plans or plan updates for staff approval prior to receiving a zoning permit:
 - a. Lighting Plan including cut-sheets depicting full cut-off fixtures, mounting heights, pole heights at 30 feet or less for the fixtures around the perimeter of the property;
 - b. Landscaping plan shall be in accordance with plans presented to the Commission on February 24, 2025, and updated to include details in a statement that there are "plans for ongoing maintenance of landscaping, including mowing and weed management on landscaped berms" and specifying "should a planting be damaged or die, it shall be replaced within the next available growing season".
 - c. Outside dumpster area shall be called out on the site plan, with appropriate screening of said dumpster area, with closeable gates providing a four-sided visual screening effect. Said addition including either densely planted evergreens, shrubs, or opaque fencing at least 7 feet high shall be shown on an amended plan and presented to the Village Zoning administrator for review. Should there be questions on said plans, following review and determination by the Zoning administrator said plans may be inadequate to achieve screening, resubmittal to the Commission and Village Board for review and approval may be reserved by the Zoning administrator.
6. Hours of operation for the Motorsports business shall be: Tuesday, Wednesday and Thursday 9am-7pm; Friday 9am-5pm and Saturday 9am-3pm. Closed Sundays and Mondays.

7. Outdoor storage of any equipment shall be screened in accordance with the submitted landscaping plan by the applicant.
8. Plans shall be sent to the Village of Caledonia for architectural review and any Village of Caledonia review conditions shall be met.
9. Any business signage shall be required to obtain signage approval through the Village of Raymond sign application process.
10. Any additional or different landscaping, or lighting plans require separate staff review and determination before implementation.
11. The Conditional Use approval shall not be in full force and effect until such time as the Petitioner obtains the necessary approvals and satisfies all comments, conditions, and concerns of the:
 - a. Village of Raymond Plan Commission and Board, Village Engineer, Village Planner with respect to the submitted plans, documents, and specifications.
 - b. Racine County Public Works and Development Services Department for onsite water and wastewater treatment.
12. This conditional use permit will expire nine (9) months from the date of the Village Board approval unless substantial work has commenced following said approval. If the Village determines that no substantial work has commenced, the project may not occur unless the Village Board grants a written extension. Written extension requests shall be submitted to the Village at least 30 days prior to permit/approval expiration.
13. The property shall comply with all rules and regulations of the Village of Raymond and the Raymond Fire Department, including submission to routine inspections by the Village and Fire Department Staff.
14. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Raymond for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions. Additionally, any unpaid bills owed to the Village of Raymond by the Subject Property Owner and/or Agent, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees or forfeitures owed to the Village of Raymond must be paid on demand and prior to issuance of any permits and shall be placed upon the tax roll for the Subject Property if not paid within thirty (30) days of the billing by the Village of Raymond, pursuant to Section 66.0627, Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional approval

that is subject to all remedies available to the Village of Raymond, including possible cause for termination of the conditional approval.

15. Other Conditions.

- a. No use is hereby authorized unless the use is conducted in a lawful, orderly, and peaceful manner. Nothing in this permit shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order, or rule of either the municipal governing body, the County of Racine, the State of Wisconsin, the United States of America, or other duly constituted authority, except only to the extent that it authorizes the use of the subject property above described in any specific respects described herein. This permit shall not be deemed to constitute a building permit, nor shall this permit constitute any other license or permit required by Village ordinance or other law.
- b. This Conditional Use hereby authorized shall be confined to the subject property described, without extension or expansion other than as noted herein, and shall not vary from the purposes herein mentioned unless expressly authorized in writing by the Village of Raymond Plan Commission as being in compliance with all pertinent ordinances.
- c. Should the permitted Conditional Use be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the petitioner be delinquent in payment of any monies due and owing to municipality, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area or for similar cause based upon consideration of public health, safety or welfare, the Conditional Use may be terminated by action of the Village of Raymond Plan Commission, pursuant to the enforcement provisions of this Conditional Use Permit.
- d. Any change, addition, modification, alteration and/or amendment of any aspect of this Conditional Use, including but not limited to an addition, modification, alteration, and/or amendment to the use, premises, structures, lands, or owners, other than as specifically authorized herein, shall require a new permit and all procedures in place at the time must be followed.
- e. Unless this Conditional Use Permit expressly states otherwise, plans that are specifically required by this Conditional Use Permit may be amended upon the prior approval of the Village of Raymond Board, upon receipt of a recommendation from the Plan Commission, if the Village of Raymond Plan Commission finds the plan amendment to be minor and consistent with the Conditional Use Permit. Any change in any plan that the Village of Raymond Plan Commission feels, in its sole discretion, to be substantial, shall require a new permit, and all procedures in place at the time must be followed.

- f. Should any paragraph or phrase of this Conditional Use Permit be determined by a Court to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the Conditional Use and the remainder shall continue in full force and effect.
- g. If any aspect of this Conditional Use Permit or any aspect of any plan contemplated and approved under this Conditional Use is in conflict with any other aspect of the Conditional Use or any aspect of any plan of the Conditional Use, the more restrictive provision shall be controlling as determined by the Village of Raymond Plan Commission.

EXHIBIT:

- A. GIS Location Map
- B. Application/Submittal



MILWAUKEE POWERSPORTS

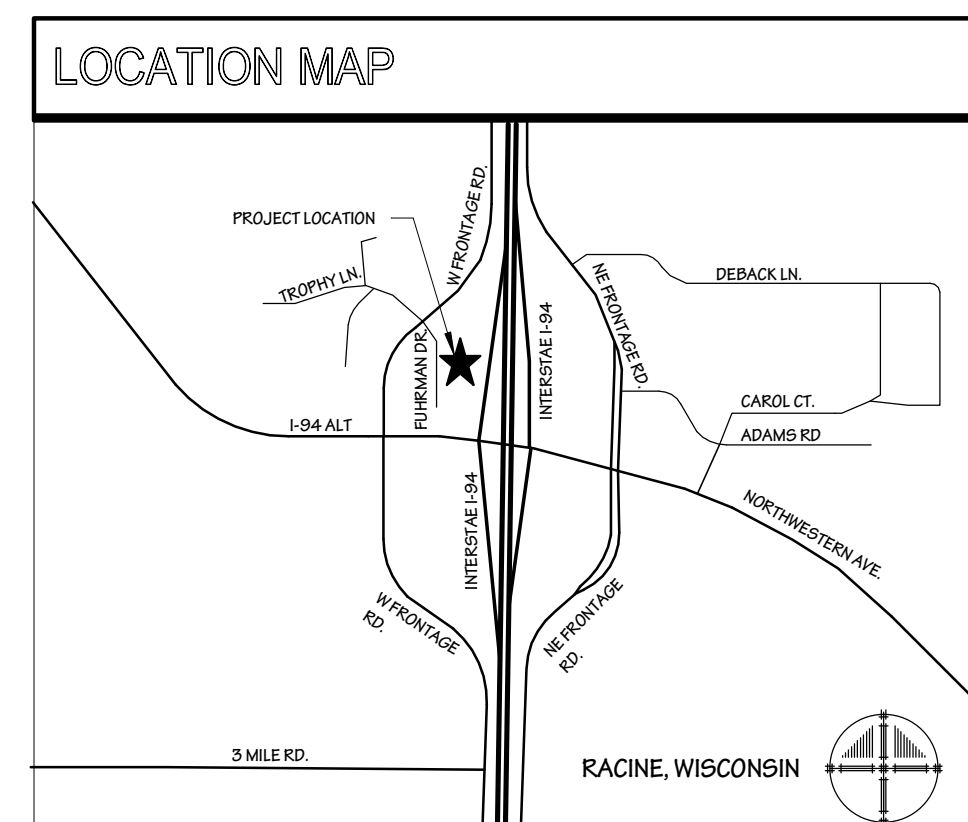
3030 CTH K, VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

PROJECT DATA
APPLICABLE CODES: 2015 IBC - INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS 2015 IBC - INTERNATIONAL EXISTING BUILDING CODE
BUILDING USE AND OCCUPANCY CLASSIFICATION:
CONSTRUCTION CLASSIFICATION:
BUILDING AREA: 53,484 SQUARE FEET

GENERAL NOTES
1. DO NOT SCALE DRAWINGS. 2. CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS AND DIMENSIONS. 3. EACH CONTRACTOR SHALL REVIEW AND COMPLETE PLANS FOR RELATED WORK. 4. ALL WORK SHALL BE IN COMPLIANCE WITH STATE AND LOCAL CODES FOR RESPECTIVE TRADES.

ABBREVIATIONS			
ALT	ALTERNATE	HM	HOLLOW METAL
A/E	ARCHITECT/ENGINEER	HT	HEIGHT
AFF	ABOVE FINISH FLOOR	HW	HOT WATER
ALUM	ALUMINUM	INT	INTERIOR
BD	BOARD	INSUL	INSULATION
B/O	BOTTOM OF	JT	JOINT
CPT	CARPET	LAV	LAVATORY
CLG	CENTER LINE	MFR	MANUFACTURER
CLJ	CEILING	MIN	MINIMUM
CJ	CONTROL JOINT	MO	MASONRY OPENING
CMU	CONCRETE MASONRY UNIT	MTL	METAL
CONC	CONCRETE	NIC	NOT IN CONTRACT
CONT	CONTINUOUS	NTS	NOT TO SCALE
CO	CLEAN OUT	OC	ON CENTER
CW	COLD WATER	OFCI	OWNER FURNISHED, CONTRACTOR TO INSTALL
CT	CERAMIC TILE		
DBL	DOUBLE	OPP	OPPOSITE
DF	DRINKING FOUNTAIN	PLYWD	PLYWOOD
DIA	DIAMETER	PL	PLASTIC LAMINATE
DIM	DIMENSION	F	PLATE
DN	DOWN	FT	PORCELAIN TILE
DR	DOOR	QT	QUARRY TILE
DS	DOWNSPOUT	REQD	REQUIRED
DTL	DETAIL	RO	ROUGH OPENING
DWG	DRAWING	SHT	SHEET
EA	EACH	SV	SHEET VINYL
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	SIM	SIMILAR
EL	ELEVATION	SS	SOLID SURFACE
EJ	EXPANSION JOINT	SST	STAINLESS STEEL
EQ	EQUAL	STD	STANDARD
EQUIP	EQUIPMENT	SAT	SUSPENDED ACOUSTIC TILE CEILING
EXIST	EXISTING	TBD	TO BE DETERMINED
EXT	EXTERIOR	TEMP	TEMPORARY
EWC	ELECTRIC WATER COOLER	T/O	TOP OF
FEC	FIRE EXTINGUISHER	T&G	TONGUE AND GROOVE
FIN	FINISH	TYP	TYPICAL
FD	FLOOR DRAIN	UNO	UNLESS NOTED OTHERWISE
FLR	FLOOR	VCT	VINYL COMPOSITION TILE
FRP	FIBERGLASS REINFORCED PLASTIC	VB	VINYL BASE
GA	GAUGE	VIF	VERIFY IN FIELD
GALV	GALVANIZED	WD	WOOD
GYP BD	GYP SUM BOARD	WWF	WELDED WIRE FABRIC

SHEET INDEX	
ARCHITECTURAL	
AD.0	TITLE SHEET
DS-C2.1	SITE PLAN AND FLOOR PLAN
DS-C.2	ELEVATIONS AND 3D VIEWS
CIVIL	
C-1	TITLE SHEET
C-2	EXISTING CONDITIONS & SITE DEMOLITION PLAN
C-3	DIMENSIONED SITE PLAN
C-4	SITE GRADING & EROSION CONTROL PLAN
C-5	PAVEMENT GRADING, MARKING & SIGNAGE PLAN
C-6	SITE UTILITY PLAN
C-7	TYPICAL SECTIONS & CONSTRUCTION DETAILS
C-8	TYPICAL SECTIONS & CONSTRUCTION DETAILS
C-9	TYPICAL SECTIONS & CONSTRUCTION DETAILS
ELECTRICAL	
E-1	SITE PLAN LIGHTING
E-2	SITE PLAN LIGHTING
E-3	SITE PLAN LIGHTING
E-4	SITE PLAN LIGHTING
E-5	SITE PLAN LIGHTING
LANDSCAPE	
L-1.0	NORTH AREA LANDSCAPE PLAN
L-2.0	SOUTH AREA LANDSCAPE PLAN
L-3.0	LANDSCAPE SCHEDULES AND DETAILS



CLIENT:
CEDAR CREEK MOTORSPORTS
7518 STATE HIGHWAY 60
CEDARBURG, WISCONSIN 53012
PHONE: 262.377.5700
ATTN: BRETT GOTTLRELL



ARCHITECT:
PARTNERS IN DESIGN ARCHITECTS
600 52nd STREET, SUITE 220
KENOSHA, WISCONSIN 53140
PHONE: 262.652.2800
ATTN: MARK MOLINARO JR. AIA



CIVIL ENGINEER:
NIELSEN MADSEN + BARBER SC
1458 HORIZON BLVD, SUITE 200
RACINE, WISCONSIN 53406
PHONE: 262.634.5588
ATTN: MARK D. EBERLE, PE
JASMINE McDERMIT, PE



ELECTRICAL ENGINEER:
DAVID L. HANSON AND ASSOCIATES, INC.
3940 - 85TH STREET
KENOSHA, WISCONSIN 53142
PHONE: 262.654.2010
ATTN: DAVID L. HANSON, PE

LANDSCAPE ARCHITECT:
THOMAS NORDLOH ASSOCIATES
4111 TAFT ROAD
KENOSHA, WISCONSIN 53142
PHONE: 262.496.9191
ATTN: THOMAS NORDLOH



MILWAUKEE POWERSPORT

PROJECT NUMBER: 0000.23.101

PLAN COMMISSION SUBMITTAL

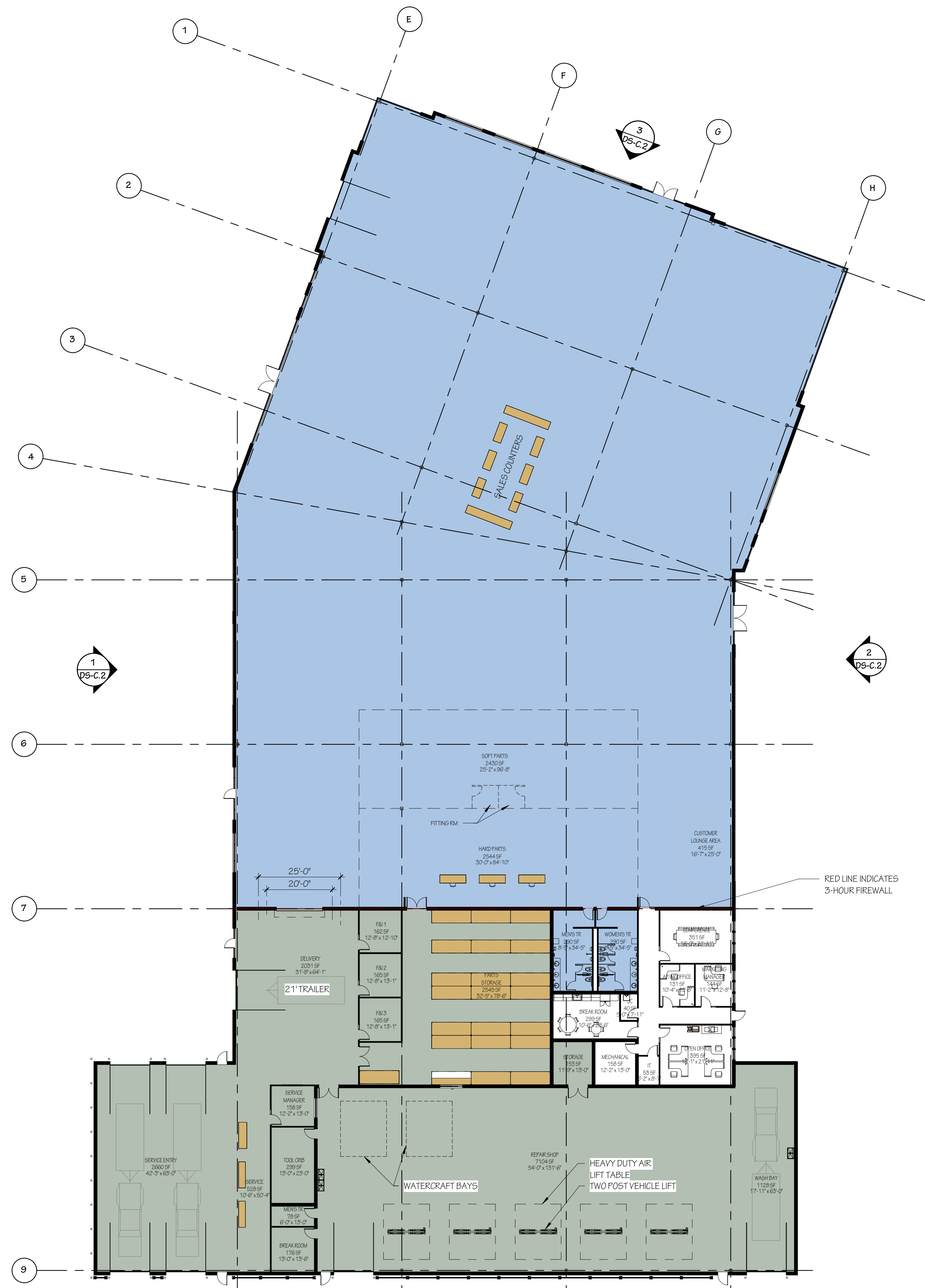
ISSUE DATE: 12.30.2024

OPTION C.2 DATA

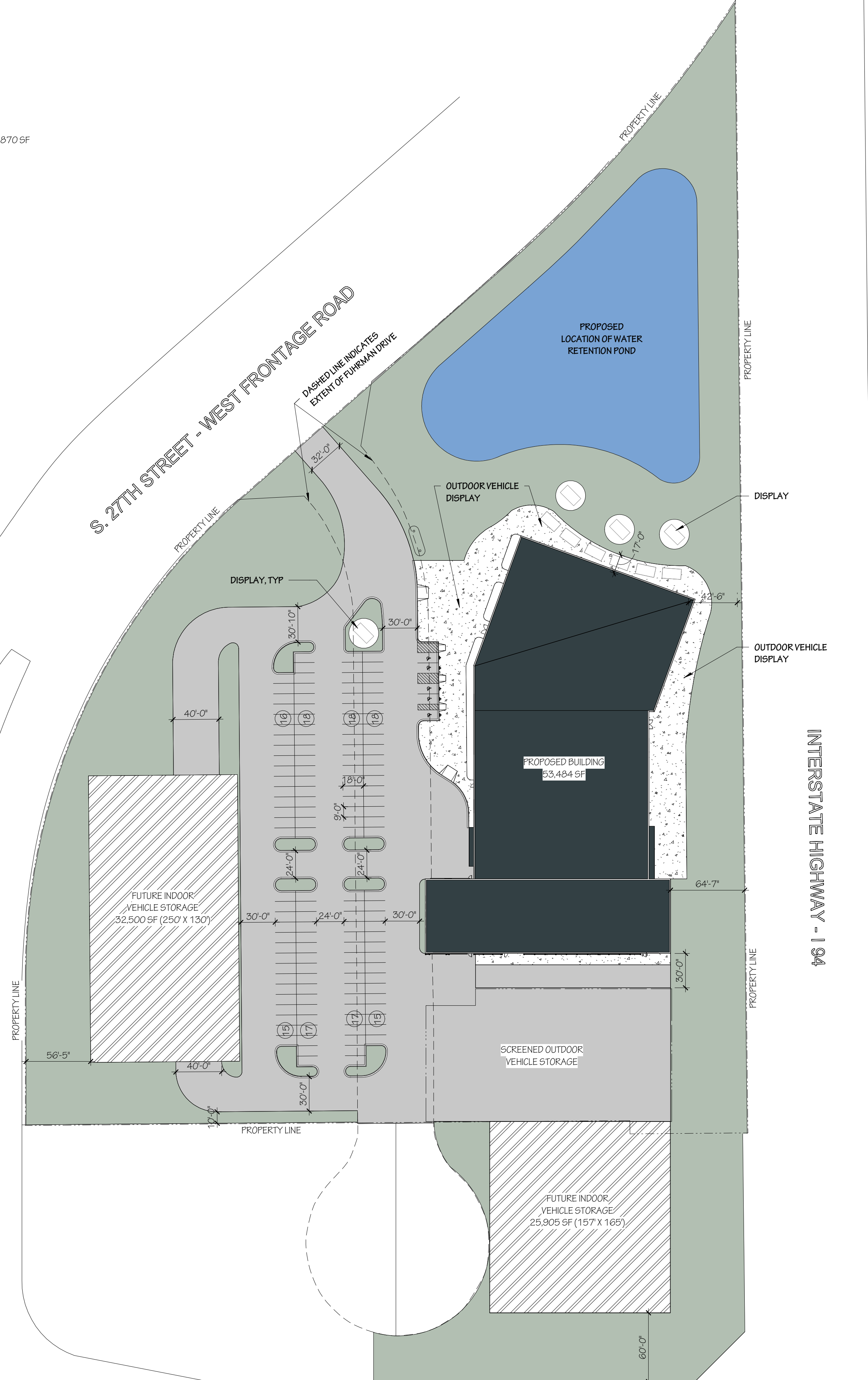
TOTAL BUILDING AREA: 53,484 SF

CHAPTER 3. USE AND OCCUPANCY CLASSIFICATION:

- (SALES FLOOR (INCL. HARD PARTS AND SOFT PARTS)) 34,870 SF
- (SERVICE RELATED PORTION) 16,580 SF
- (SUPPORT SUITE) 2,034 SF



1 OPTION C.2 - FLOOR PLAN
PS-C.2.1 1" = 20'-0"



2 OPTION C.2 - SITE PLAN
PS-C.2.2 1" = 60'-0"

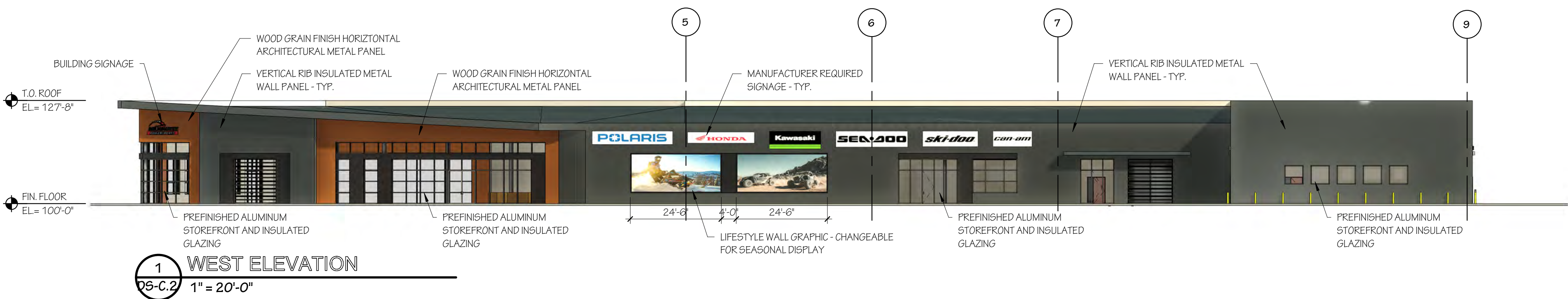
MILWAUKEE POWERSPORTS
SITE PLAN & FLOOR PLAN

OPTION C.2
RAYMOND, WI
12.30.2024

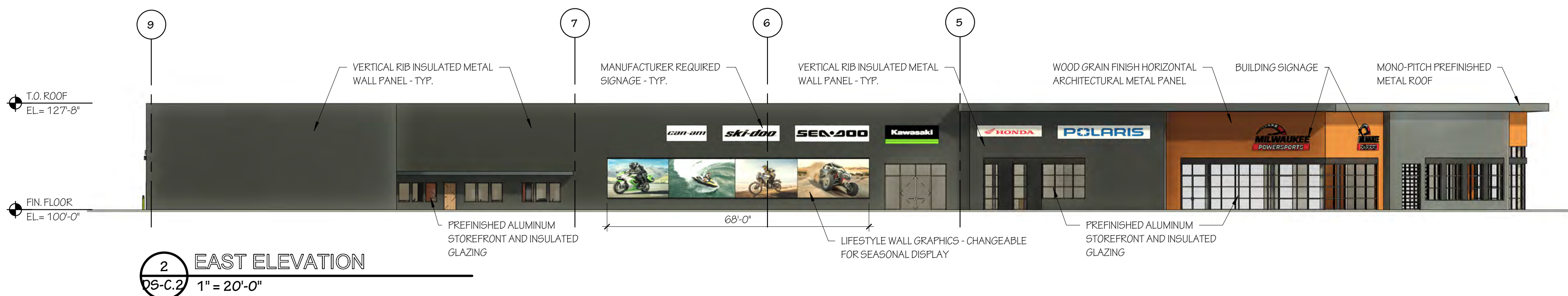


262.652.2800
Kenosha, WI

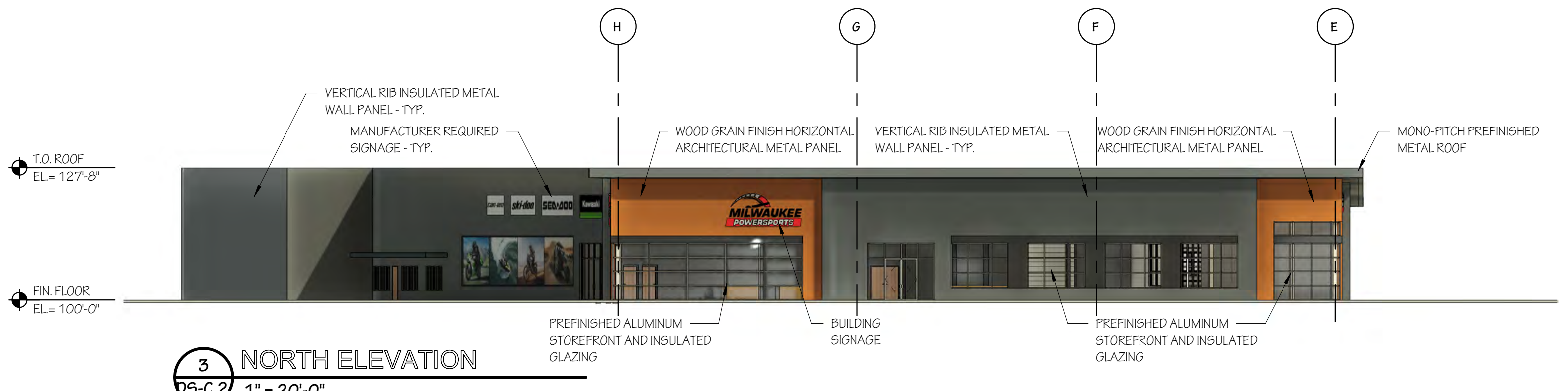
847.940.0300
Riverwoods, IL



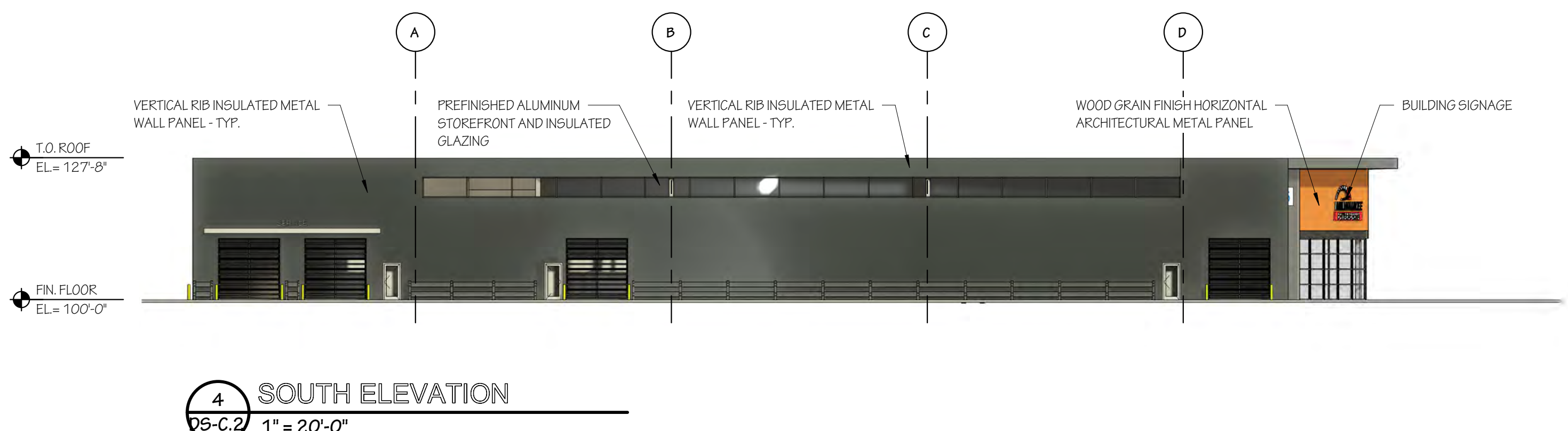
1 WEST ELEVATION
95-C.2 1" = 20'-0"



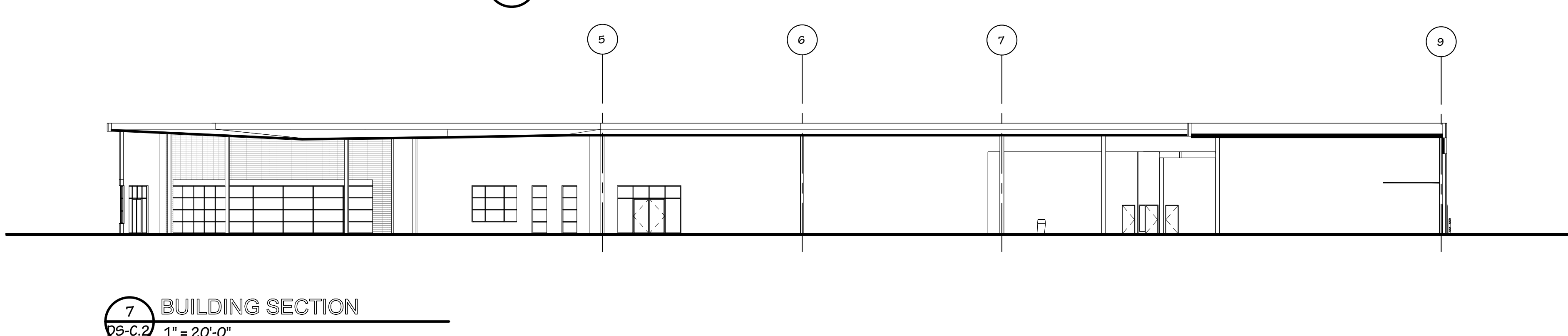
2 EAST ELEVATION
95-C.2 1" = 20'-0"



3 NORTH ELEVATION
95-C.2 1" = 20'-0"



4 SOUTH ELEVATION
95-C.2 1" = 20'-0"



7 BUILDING SECTION
95-C.2 1" = 20'-0"



5 NORTH-WEST PERSPECTIVE
95-C.2



6 NORTH-EAST PERSPECTIVE
95-C.2

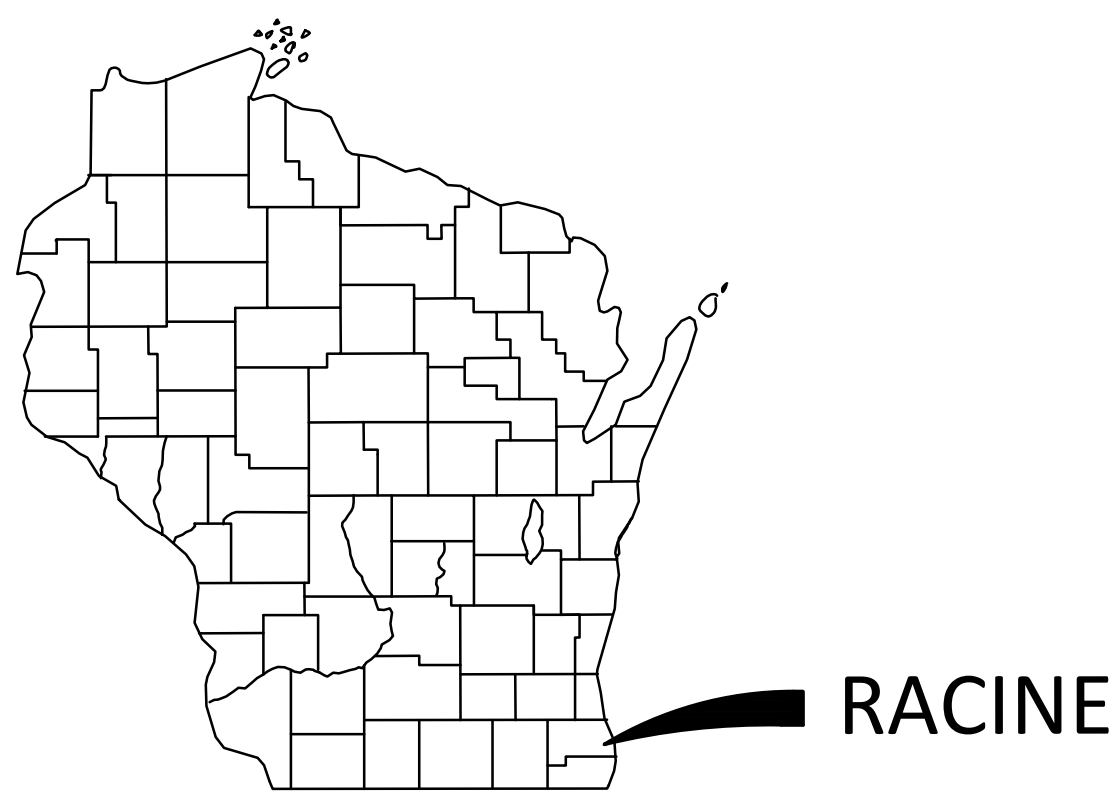
MILWAUKEE POWERSPORTS
ELEVATIONS AND 3D VIEWS

OPTION C.2
RAYMOND, WI
12.30.2024



262.652.2800
Kenosha, WI

847.940.0300
Riverwoods, IL



CONSTRUCTION PLANS
for
MILWAUKEE POWERSPORTS
SITE GRADING, DRAINAGE, UTILITY & PAVEMENT IMPROVEMENTS
for
CEDAR CREEK MOTORSPORTS
Village of Raymond, Racine County, Wisconsin



SHEET INDEX

PLAN SHEET	SHEET NO.
TITLE SHEET	C-1
EXISTING CONDITIONS & SITE DEMOLITION PLAN	C-2
DIMENSIONED SITE PLAN	C-3
SITE GRADING & EROSION CONTROL PLAN	C-4
PAVEMENT GRADING, MARKING & SIGNAGE PLAN	C-5
SITE UTILITY PLAN	C-6
TYPICAL SECTIONS & CONSTRUCTION DETAILS	C-7 - C-9
SITE LIGHTING PLAN	E-1 - E-5
LANDSCAPING PLAN	L-1.0 - L-3.0

OWNER

CEDAR CREEK MOTORSPORTS
BRETT COTTRELL
7518 STATE HIGHWAY 60
CEDARBURG, WI 53012
OFFICE: 262-377-5700
EMAIL: brettccm7518@gmail.com

GOVERNMENT AGENCY CONTACTS

VILLAGE OF RAYMOND
KARI MORGAN
VILLAGE PRESIDENT
PHONE: 262-930-8953
EMAIL: president@raymondwi.com

RACINE COUNTY PUBLIC WORKS AND DEVELOPMENT
PATRICE BRUNETTE
HIGHWAYS AND PARKS SUPERINTENDENT
OFFICE: 262-886-8440
EMAIL: patrice.brunette@racinecounty.com

DEPARTMENT OF NATURAL RESOURCES
PETER C. WOOD, PE
WATER RESOURCE ENGINEER
OFFICE: 262-884-2360
EMAIL: peterwood@wisconsin.gov

RACINE COUNTY PUBLIC WORKS AND DEVELOPMENT
ROLEY BEHM
DIRECTOR
OFFICE: 262-886-8440
EMAIL: roland.behm@racinecounty.com

UTILITY CONTACTS

SPECTRUM CHARTER COMMUNICATIONS
JERRY SCHULTZ
CONSTRUCTION COORDINATOR
1320 N DR. MARTIN LUTHER KING JR DR.
MILWAUKEE WI 53212-4002
EMAIL: gerald.schultz@charter.com
CELL: 414-232-7178
OFFICE: 414-908-4863

WE-ENERGIES
ALLIE KLAWINSKI
KENOSHA SOUTH
OFFICE: 262-552-3227
EMAIL: Allie.Klawinski@we-energies.com

NATURAL GAS EMERGENCY: (800) 261-5325
ELECTRICAL EMERGENCY: (800) 662-4797

AT&T
BRENT LEWIS
MANAGER OSP PLANNING &
ENGINEERING DESIGN
411 7TH STREET, RACINE, WI 53403
OFFICE: 262-636-0549
CELL: 414-429-4214
EMAIL: bl521d@att.com

AMERICAN TRANSMISSION COMPANY
BRIAN MCGEE
OFFICE: 262-506-68955
EMAIL: bmcgee@atcllc.com
EMERGENCY NUMBER: (800) 972-5341

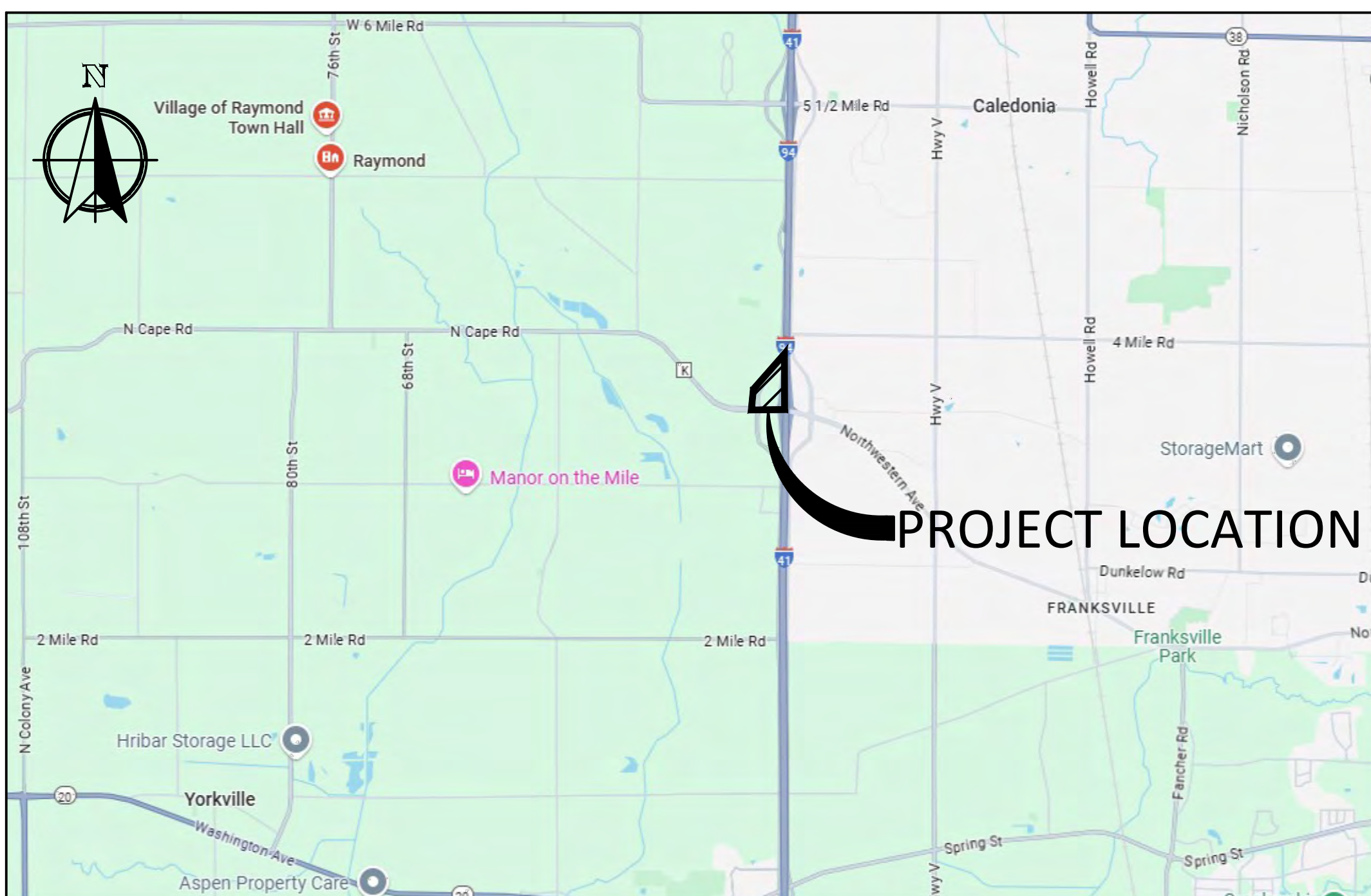
TDS TELECOM
SOUTHEAST WISCONSIN
OFFICE: 877-483-7142

LEGEND

Description	Existing	Description	Existing	Proposed
EDGE OF WOODS		WATER SHUT OFF		
DECIDUOUS TREE		WATER MAIN VALVE		
DECIDUOUS TREE REMOVAL		HYDRANT		
CONIFEROUS TREE		WATER MAIN REDUCER		
CONIFEROUS TREE REMOVAL		SANITARY MANHOLE		
BUSH		SANITARY CLEAN OUT		
SOIL BORING		STORM MANHOLE		
TELEPHONE BOX		CATCH BASIN		
GUY WIRE		LIGHT POLE		
UTILITY POLE		ENDWALL		
GAS VALVE		STORM SEWER		
GAS METER		SANITARY SEWER		
SEPTIC VENT		WATERMAIN		
ELECTRIC MANHOLE		CONTOURS		
COMMUNICATION MANHOLE		FIRE PROTECTION		
WATER MANHOLE		UTILITY CROSSING		
HVAC UNIT		DITCH OR SWALE		
UNDERGROUND VAULT		CULVERT		
SECTION CORNER		RAILROAD TRACKS		
MAIL BOX		FENCE		
GUARD POST		NO VEHICULAR ACCESS		
STREET SIGN		UNDERGROUND ELECTRIC		
ELECTRIC PEDESTAL		UNDERGROUND GAS MAIN		
ELECTRIC METER		UNDERGROUND COMMUNICATIONS		
PAD MOUNT TRANSFORMER		SILT FENCE		
FOUND IRON PIPE		OVERHEAD ELECTRIC		
SET IRON PIPE		FORCE MAIN		

ABBREVIATIONS

BASE LINE	BL	INVERT ELEVATION	IE
LONG CURVE OF CURVE	CHD	LENGTH OF CURVE	ARC
CURB AND GUTTER	C&G	MANHOLE	MH
CATCH BASIN	CB	NORMAL WATER LEVEL	NWL
CENTERLINE	CL	POINT OF CURVATURE	PC
EDGE OF PAVEMENT	EOP	POINT OF TANGENCY	PT
FINISHED FIRST FLOOR	FFF	TANGENCY OF CURVE	TAN
FINISHED GRADE	FG	POINT OF VERTICAL INTERSECTION	PVI
FLOW LINE	FL	RADIUS	R
FLOODPLAIN	FP	RIGHT OF WAY	ROW
ORDINARY HIGH WATER MARK	OHWM	SANITARY SEWER	SAN
TOP OF BANK	TOB	STORM SEWER	STM
TOP OF CURB	TOC	TOP OF FOUNDATION	TOF
TOP OF WALK	TOW	WATER MAIN	WM



UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS

1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

MILWAUKEE POWERSPORTS
CONSTRUCTION PLANS
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: _____ MDE
DRAFTED: _____ JPL
DATE: 12-20-2024
CHECKED: _____ MDE
DATE: 12-20-2024

2023.0160.01

SHEET
C-1

INTERSTATE HIGHWAY "94" - INTERSTATE HIGHWAY/UNITED STATES HIGHWAY "41"



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

MILWAUKEE POWERSPORTS
SITE GRADING & EROSION CONTROL PLAN
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: MDE
DRAFTED: JPL
DATE: 12-20-2024
CHECKED: MDE
DATE: 12-20-2024
2023.0160.01
SHEET
C-4

ISSUE FOR REVIEW (12-20-2024)

REFERENCES

STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS." THE CURRENT VERSION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WISDOT WEBSITE AT <http://roadwaystandards.dot.wi.gov/standards/stndspecindex.htm>

SITE GRADING & SUB-GRADE PREPARATION

EXISTING TOPSOIL AND OTHER NON-STRUCTURAL MATERIAL WITHIN THE PROPOSED BUILDING PAD, PAVEMENT SECTIONS AND STRUCTURAL FILL AREAS SHALL BE STRIPPED (REGARDLESS OF DEPTH) AND HAUL OFF SITE.

EXCAVATE, GRADE, AND SHAPE SUBGRADES TO THE LINES AND GRADES SHOWN ON THE PLANS. SEE TYPICAL SECTIONS AND CONSTRUCTION DETAILS FOR PAVEMENT THICKNESS AND MATERIALS.

FOR STRUCTURAL FILL DEPTHS LESS THAN 20 FEET, THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION OF THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL HAVE A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS.

THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF THE OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY RECOMMENDED / APPROVED BY THE SOILS ENGINEER MONITORING THE PLACEMENT AND COMPACTION. COHESIVE SOILS WITH MODERATE TO HIGH EXPANSIVE POTENTIALS (PI>15) SHOULD, HOWEVER, BE PLACED, COMPACTED AND MAINTAINED PRIOR TO CONSTRUCTION AT A MOISTURE CONTENT OF 3± PERCENT ABOVE OPTIMUM MOISTURE CONTENT TO LIMIT FUTURE HEAVE.

FILL MATERIAL SHALL BE PLACED IN LAYERS WITH A MAXIMUM LOOSE THICKNESS OF 9 INCHES. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION.

UPON COMPLETION OF THE SUBGRADE, A PROOF ROLL SHALL BE CONDUCTED BY THE CONTRACTOR ON ALL SUBGRADES TO RECEIVE DENSE AGGREGATE BASE COURSE. THE CONTRACTOR SHALL PROVIDE A FULLY LOADED QUAD-AXLE TRUCK (16 TON MINIMUM LOAD) TO PERFORM THE PROOF ROLL. CONTRACTOR SHALL COORDINATE THE PROOF ROLL WITH THE OWNER OR HIS REPRESENTATIVES TO ENSURE THEY ARE PRESENT.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

EROSION & SEDIMENT CONTROL NOTES

THE EROSION AND SEDIMENT CONTROL PROVISIONS DETAILED ON THE DRAWINGS AND SPECIFIED HEREIN ARE THE MINIMUM REQUIREMENTS FOR EROSION CONTROL.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE ANY REVISIONS, ADJUSTMENTS OR PROPOSED ALTERATIONS TO THE EROSION CONTROL PLAN. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND REGULATORY OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BEST MANAGEMENT PRACTICES (BMP'S). ALL SIGNIFICANT DEVIATIONS FROM THE PLANS MUST BE SUBMITTED AND APPROVED BY THE VILLAGE OF RAYMOND.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF ALL EROSION CONTROL DEVICES REQUIRED FOR THE PROJECT WHICH SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND VILLAGE OF RAYMOND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. SEE VILLAGE OF RAYMOND AND WDNR EROSION CONTROL PERMITS FOR ADDITIONAL DETAILS OR REQUIREMENTS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AS REQUIRED IN THE WISCONSIN ADMINISTRATIVE CODE (SPS 360.21) AND MAINTAINED PER SPS 360.22.

INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL CHECK THE EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS AT ALL THE FOLLOWING INTERVALS UNTIL THE SITE IS STABILIZED.

- A. AT LEAST WEEKLY.
- B. WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES IMMEDIATELY REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.

THE CONTRACTOR SHALL MAINTAIN A MONITORING RECORD WHEN THE LAND DISTURBING CONSTRUCTION ACTIVITY INVOLVES ONE OR MORE ACRES. THE MONITORING RECORD SHALL CONTAIN AT LEAST THE FOLLOWING INFORMATION:

- A. THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED ABOVE.
- B. A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES. EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE VILLAGE OF RAYMOND OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT.

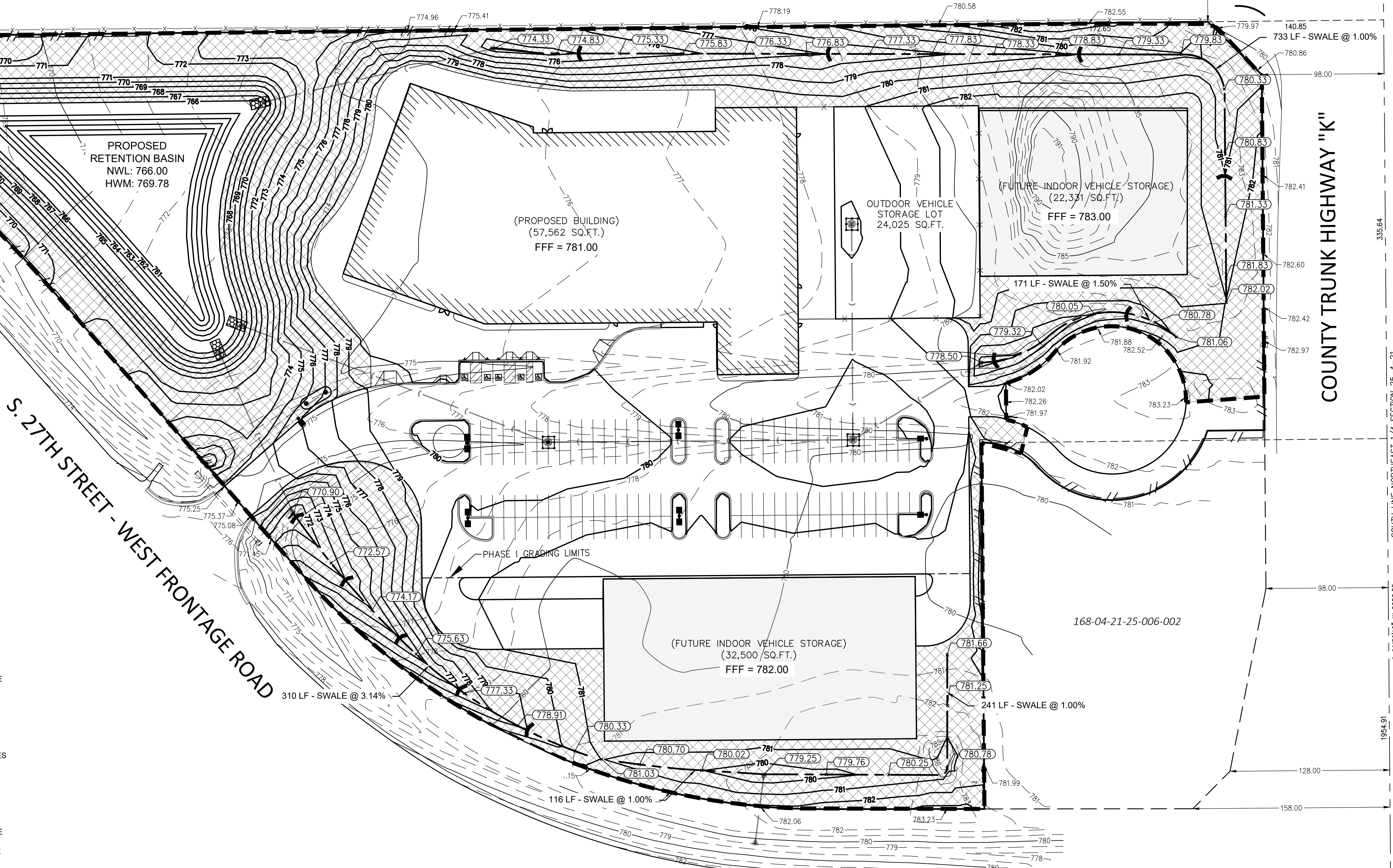
EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, DSPS, VILLAGE OF RAYMOND OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE OR LOCAL INSPECTORS AND/OR THE ENGINEER OF RECORD, SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

ALL SEDIMENT AND EROSION CONTROL DEVICES, INCLUDING PERIMETER EROSION CONTROL MEASURES SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES UNTIL THE SITE HAS ESTABLISHED A VEGETATIVE COVER AND IS STABILIZED.

INSTALL SILT FENCE PER SECTION 628 OF THE "STATE SPECIFICATIONS" AND WDNR TECHNICAL STANDARD 1056 AT THE LOCATIONS SHOWN ON THE PLAN. ERECT SILT FENCE PRIOR TO STARTING A CONSTRUCTION OPERATION THAT MIGHT CAUSE SEDIMENTATION OR SILTATION AT THE SITE OF THE PROPOSED SILT FENCE. CONTRACTOR SHALL INSTALL SILT FENCING AT DOWNSLOPE SIDE OF STOCKPILES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL REQUIRED SILT FENCE MATERIAL.

ALL PROPOSED STORM SEWER STRUCTURES AND ADJACENT EXISTING STORM INLETS SHALL HAVE A LAYER OF GEOTEXTILE FABRIC (TYPE "FF") INSTALLED BETWEEN THE FRAME & GRATE TO PREVENT SEDIMENT OR SILT FROM ENTERING THE SYSTEM. THE INLET PROTECTION SHALL BE INSPECTED BY THE CONTRACTOR AND REPLACED EVERY 14 DAYS AND AFTER EACH RAINFALL EVENT. FABRIC TO BE REPLACED AS NEEDED TO MEET FIELD CONDITIONS.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE (WHEN NECESSARY OR AS REQUIRED BY LOCAL INSPECTORS AND/OR ENGINEER OF RECORD).



EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):

- A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- B. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
- C. ANY WATER PUMPED FROM PITS, TRENCHES, WELLS OR PONDS SHALL BE DISCHARGED INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 AND BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM OR DRAINAGE DITCH. PUMPED WATER CAN BE TREATED IN FILTER BAGS, STONE FILTERS OR SIMILAR DEVICES. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING OPERATIONS.

CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES, OTHER THAN SHOWN ON THE PLANS, MUST HAVE PRIOR APPROVAL BY THE VILLAGE OF RAYMOND.

DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.

ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 7 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND VILLAGE OF RAYMOND ORDINANCE.

EXCESS SOILS ARE TO BE HAUL OFF SITE OR ENCLOSED WITH AN APPROVED SEDIMENT CONTROL DEVICE WITHIN 24 HOURS. SOIL PILES LEFT UNDISTURBED FOR 7 OR MORE DAYS WILL NEED TO BE STABILIZED BY AN APPROVED METHOD. ALL DISTURBED AREAS NOT COVERED BY PERMANENT STRUCTURES OR PAVEMENT SHALL BE FINISHED GRADED WITH 3"-6" TOPSOIL, SEEDDED AND STABILIZED WITHIN 7 DAYS OF REACHING FINAL GRADE. IF DISTURBANCE OCCURS AFTER NOVEMBER 15TH AND BEFORE MAY 15TH, TYPE A SOIL STABILIZER SHALL BE USED.

ALL DISTURBED AREAS SHALL BE STABILIZED WITH CLASS I, TYPE A EROSION MATTING, EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052.

PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AT THE END OF EACH WORK DAY AND AS REQUESTED BY THE VILLAGE OF RAYMOND.

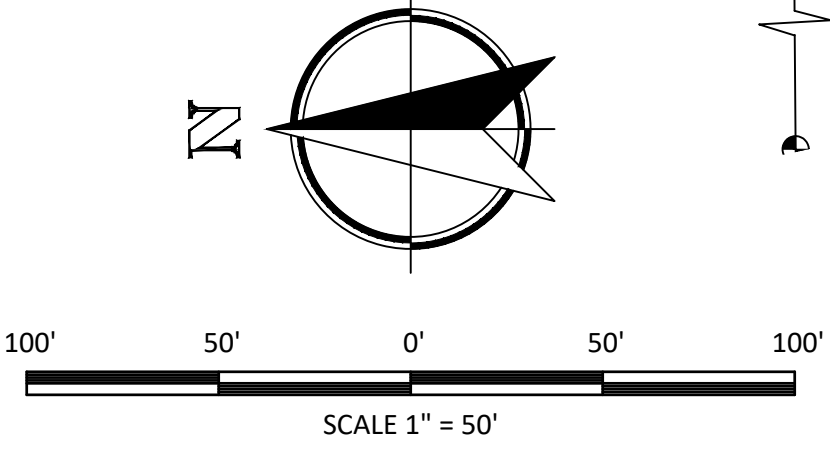
EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

SITE GRADING & EROSION CONTROL LEGEND

- 692 - EXISTING CONTOURS
- 702 - PROPOSED CONTOURS
- (4/5 C-7) EROSION MAT - CLASS 1, TYPE B
- (1 C-7) SILT FENCE
- (2 C-7) STORM SEWER INLET PROTECTION
- (4 C-8) MEDIUM RIP RAP (8' X 15')
- 780.00 - PROPOSED YARD GRADE
- DISTURBED AREA (464,890 S.F. = 10.67 AC)
- DRAINAGE SWALE CENTERLINE
- (3 C-7) EROSION BAILE & TEMPORARY DITCH CHECK
- NWL NORMAL WATER LEVEL
- HWM HIGH WATER MARK
- FFF FINISHED FIRST FLOOR

UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERE TO. CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.



MILWAUKEE POWERSPORTS
PAVEMENT GRADING, MARKING
& SIGNAGE PLAN

FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

PAVEMENT SPECIFICATIONS

DENSE AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 305 OF THE "STATE SPECIFICATIONS". THE COMPLETED BASE SHALL BE IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SHALL BE CONSTRUCTED IN FOUR-INCH (4") LIFTS AND COMPACTED ACCORDING TO SUBSECTION 305.3.2 OF THE "STATE SPECIFICATIONS".

ASPHALTIC CONCRETE PAVEMENT SHALL BE WISDOT LT 58-28 S MEETING THE REQUIREMENTS OF SECTION 460 OF THE "STATE SPECIFICATIONS". PAVEMENT SHALL BE INSTALLED IN TWO (2) LIFTS IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET. A TACK COAT SHALL BE INSTALLED BETWEEN THE LOWER AND UPPER COURSES IN ACCORDANCE WITH SECTION 455.3.2 OF THE "STATE SPECIFICATIONS".

CONCRETE FOR PAVEMENTS, SIDEWALKS, CURB & GUTTER AND APRONS SHALL BE GRADE A-FA, AIR-ENTRAINED, AS SPECIFIED IN SUBSECTION 501.3.1 OF THE "STATE SPECIFICATIONS". ALL EXTERIOR CONCRETE SHALL BE "READY-MIXED" AND RECEIVE A BROOM FINISH. ALL CONCRETE WORK SHALL BE CURED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBSECTION 415.2.4 OF THE "STATE SPECIFICATIONS".

ALL CONCRETE CURB AND GUTTER SHALL BE 18" CONFORMING TO THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SECTION 601 OF THE "STATE SPECIFICATIONS". CURB & GUTTER SHALL BE "REVERSE PAN CURB" OR "STANDARD CURB" AS INDICATED BY THE LEGEND BELOW AND INSTALLED IN A MANNER TO SHED ALL STORM WATER RUNOFF TOWARDS THE DRAINAGE STRUCTURES.

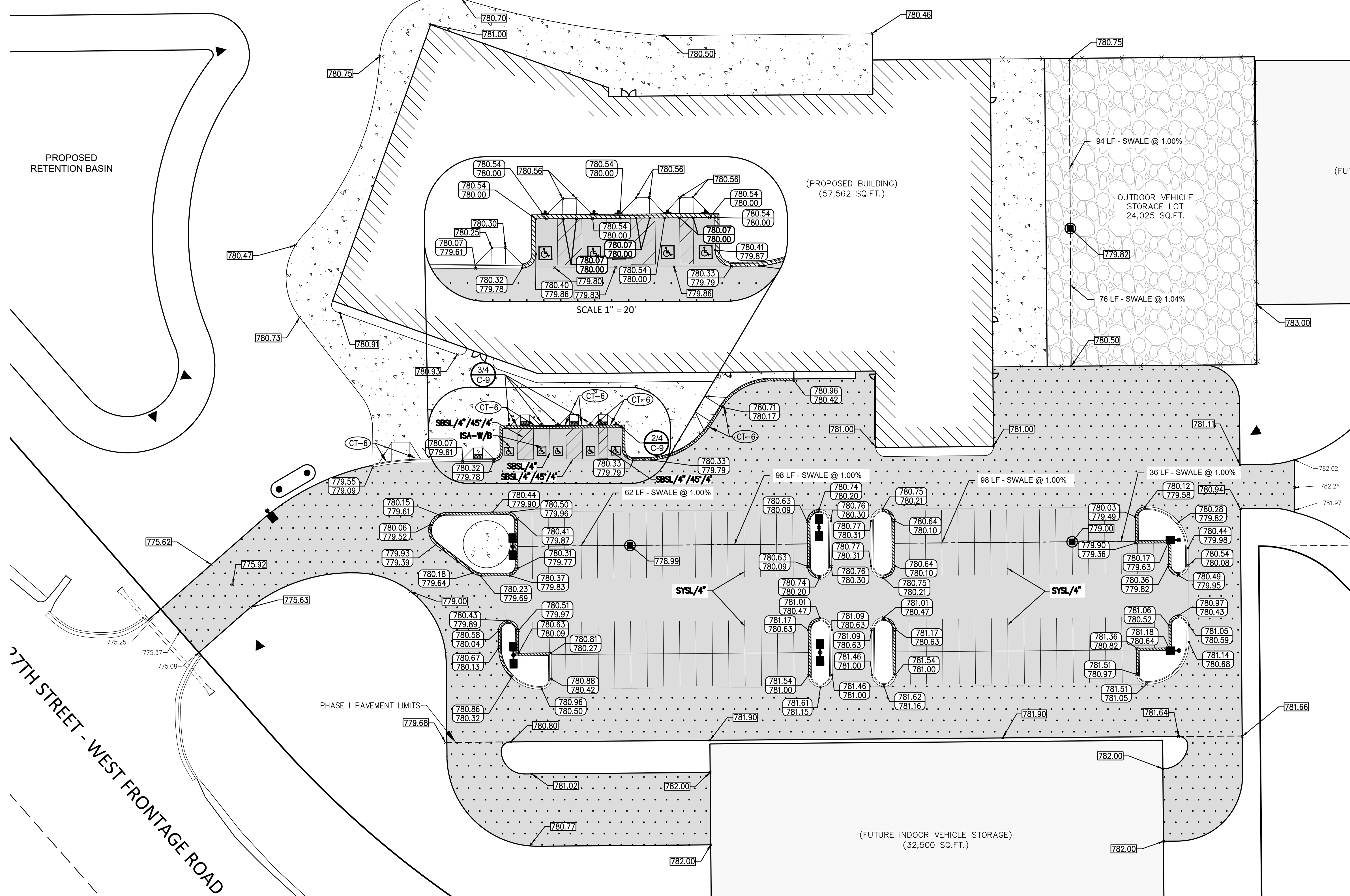
CONTRACTION JOINTS SHALL BE AT TEN-FOOT (10') INTERVALS FOR CURB AND GUTTER AND FIVE-FOOT (5') INTERVALS FOR FIVE-FOOT (5') WIDE SIDEWALK. FINAL JOINTING PLAN FOR CONCRETE PAVEMENT TO BE PREPARED BY THE CONTRACTOR.

EXPANSION JOINTS SHALL BE PLACED AS OUTLINED IN SUBSECTION 601.3.6 OF THE "STATE SPECIFICATIONS". FILLER MATERIAL FOR EXPANSION JOINTS SHALL BE 1/2" FIBER MATERIAL.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLES, VALVE BOXES, ETC.) TO MATCH THE FINISHED GRADES OF THE AREA AFFECTED BY THE CONSTRUCTION.

PARKING LOT STRIPING, STOP BARS AND HANDICAPPED ACCESSIBLE SYMBOLS SHALL BE INSTALLED WITH WISCONSIN DOT APPROVED TRAFFIC PAINT IN ACCORDANCE WITH SECTION 646 OF THE "STATE SPECIFICATIONS". ALL PARKING STALL STRIPING SHALL BE FOUR INCHES (4") IN WIDTH AND SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER. SEE THE TYPICAL SECTIONS AND CONSTRUCTION DETAILS SHEET(S) OF THE PLAN SET FOR ADDITIONAL INFORMATION REGARDING PAVEMENT MARKINGS.

PROPOSED
RETENTION BASIN



DIGGERS HOTLINE
Call 811 or (800) 242-8511
www.DiggersHotline.com

UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.

PAVEMENT LEGEND

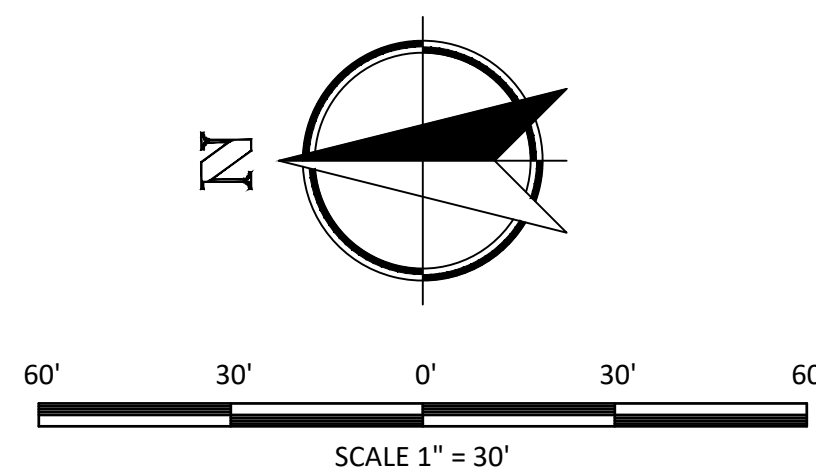
- 18" VERTICAL FACE, ACCEPTING PAN CURB & GUTTER
- 18" VERTICAL FACEREVERSE PAN CURB & GUTTER
- MEDIUM-DUTY (3 3/4") ASPHALT PAVEMENT
- HEAVY-DUTY (4 1/2") ASPHALT PAVEMENT
- HEAVY-DUTY (16") AGGREGATE BASE
- LIGHT DUTY (5") CONCRETE PAVEMENT
- CURB HEAD TAPER
- EXISTING SPOT GRADES
- FINISHED PAVEMENT GRADES
- FINISHED TOP OF CURB/SIDEWALK GRADES
- FINISHED PAVEMENT FLANGE GRADES
- PAVEMENT SWALE CENTELINE
- CURB HEAD TAPER

PAVEMENT MARKING LEGEND

- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- SBSL/4" - SINGLE BLUE SOLID LINE / 4" WIDE EACH
- SBSL/4"/45"/4" - SINGLE BLUE SOLID LINE / 4" WIDE EACH, 45°, 4' O.C.
- ISA-W/B - INTERNATIONAL SYMBOL FOR ACCESSIBILITY - WHITE ON BLUE BACKGROUND

SIGN / POST LEGEND

- SIGN (DETAIL 2) MOUNTED ON POST (DETAIL 4) AS SHOWN ON SHEET C-9



NO.	REVISION	BY	DATE

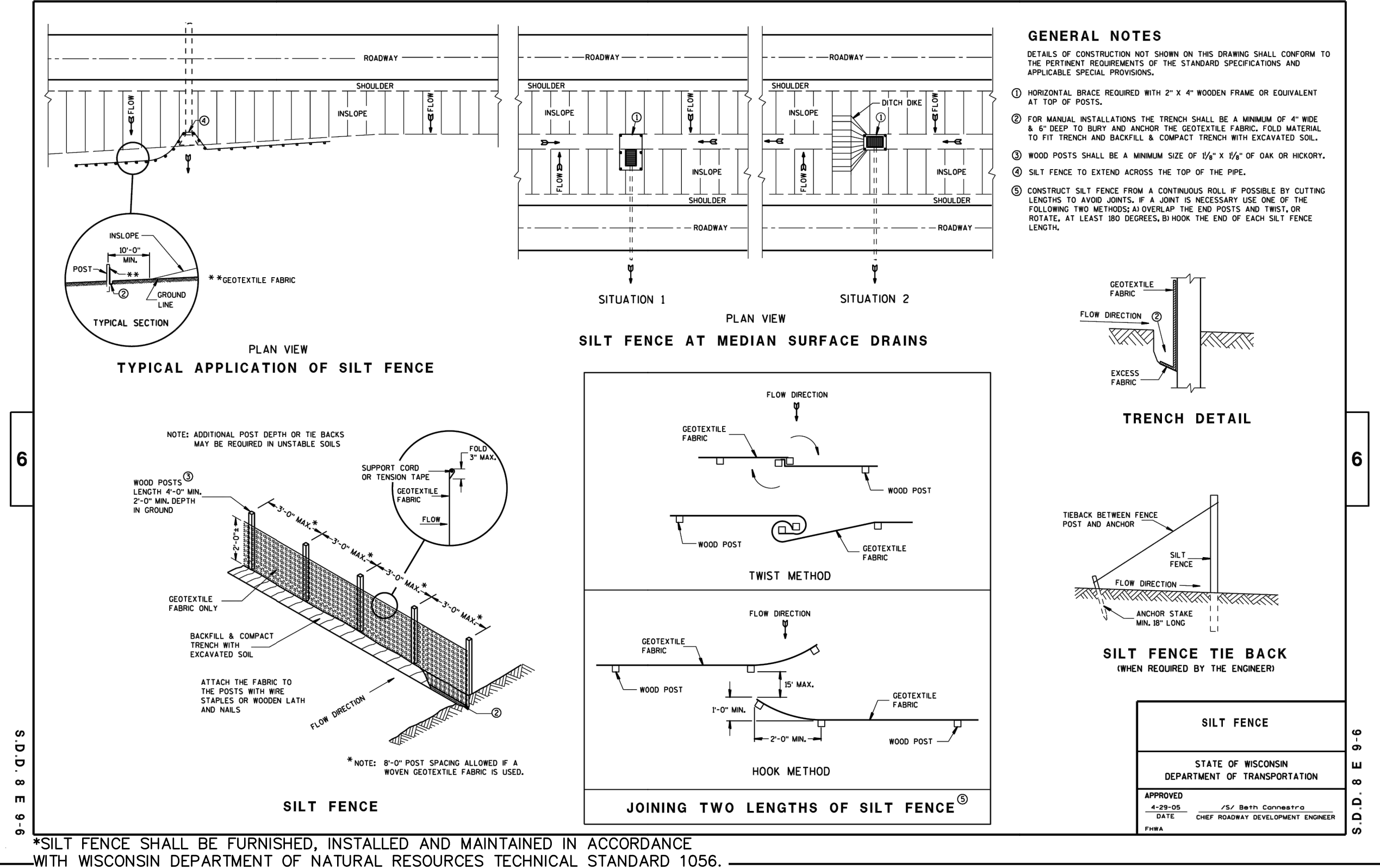
PROJ. MGR: _____ MDE
DRAFTED: _____ JPL
DATE: 12-20-2024
CHECKED: _____ MDE
DATE: 12-20-2024

2023.0160.01

SHEET
C-5

Friday, December 20, 2024 10:06:24 AM

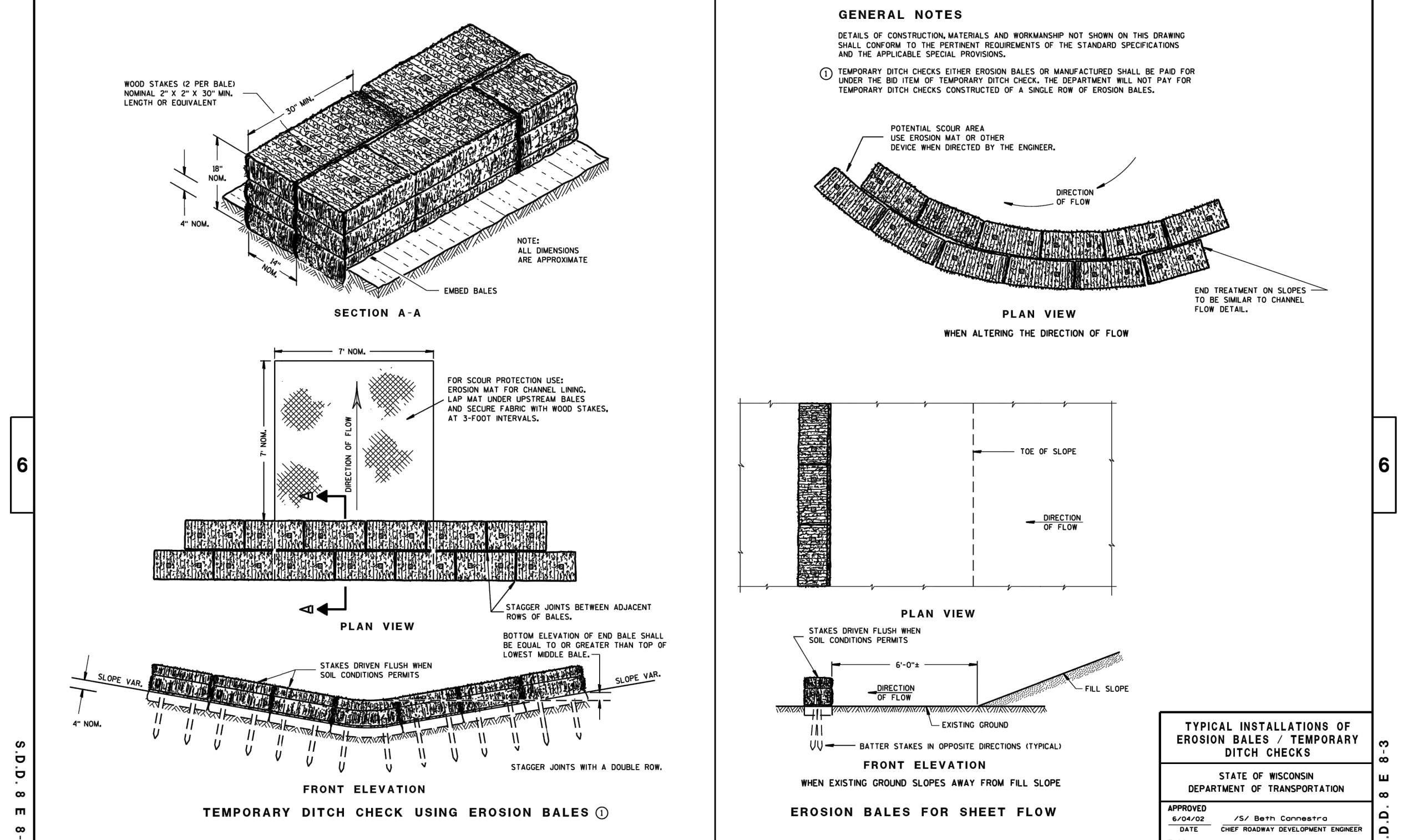
SDD 8e9 Silt Fence



1 SILT FENCE DETAIL

N.T.S.

SDD 8e8 Typical Installations of Erosion Bales/Temporary Ditch Checks

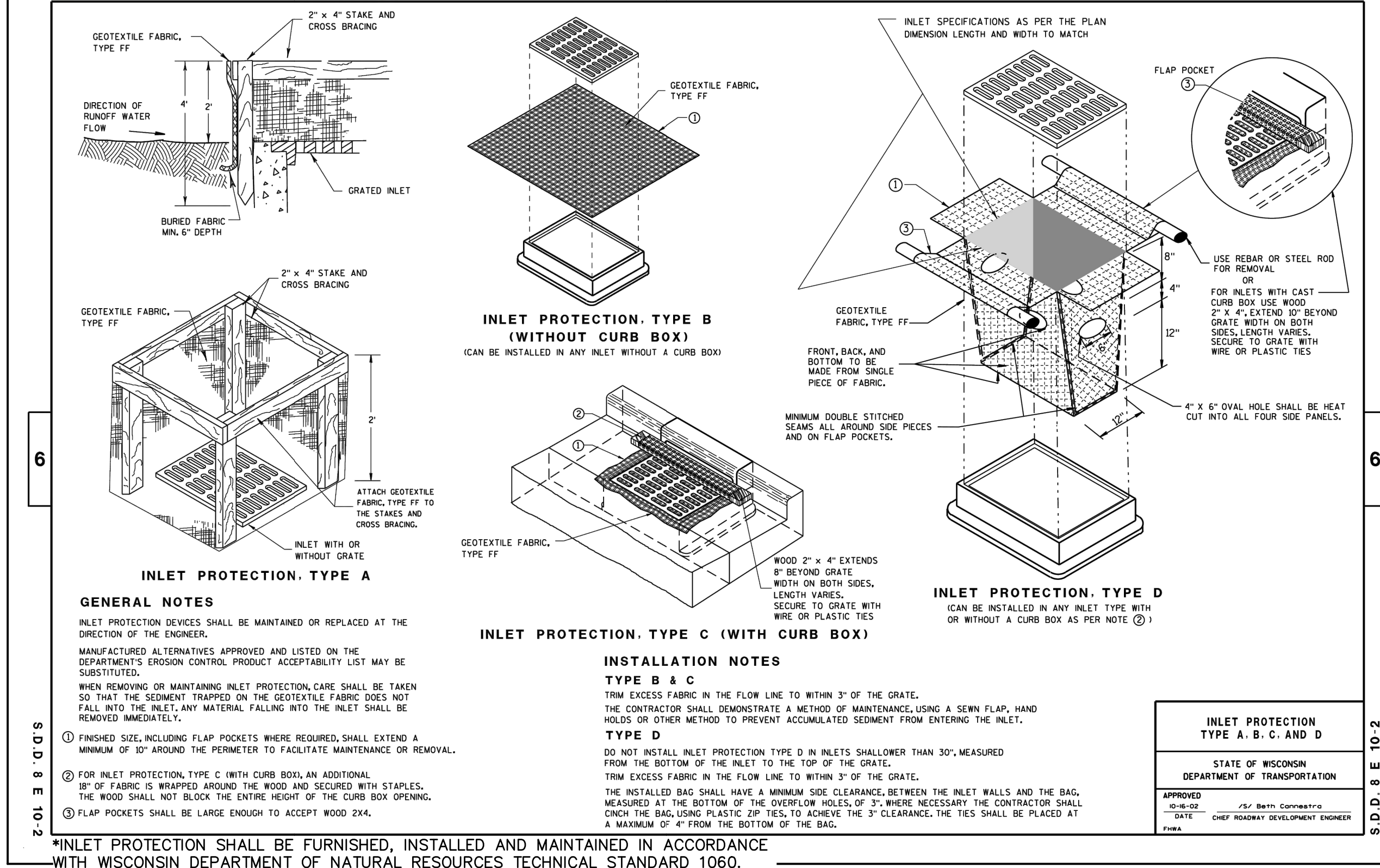


3 EROSION BALE & TEMPORARY DITCH CHECK DETAIL

N.T.S.

*TEMPORARY DITCH CHECKS SHALL BE FURNISHED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD 1062. MANUFACTURED DITCH CHECK PRODUCTS FOUND ON WISCONSIN DEPARTMENT OF TRANSPORTATION'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) MAY BE USED.

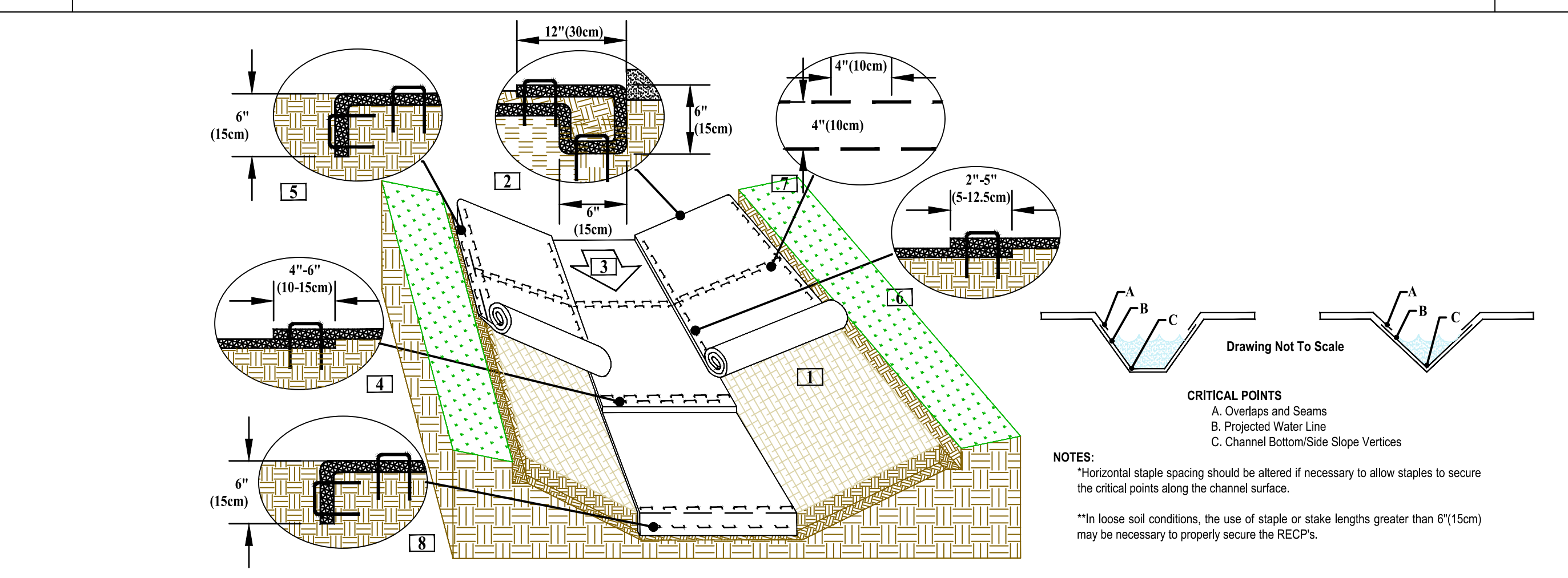
SDD 8e10 Inlet Protection Type A, B, C and D



2 INLET PROTECTION DETAIL

N.T.S.

4 SLOPE INSTALLATION OF EROSION MAT DETAIL



5 SWALE INSTALLATION OF EROSION MAT DETAIL

N.T.S.

mb
 Nielsen Madsen + Barber
 CIVIL ENGINEERS AND LAND SURVEYORS
 1458 Horizon Blvd, Suite 200, Racine, WI. 53406
 Tel: (262)634-5588 Website: www.nmbssc.net

MILWAUKEE POWERSPORTS
 TYPICAL SECTIONS & CONSTRUCTION DETAILS
 FOR
 CEDAR CREEK MOTORSPTS
 VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

BY DATE

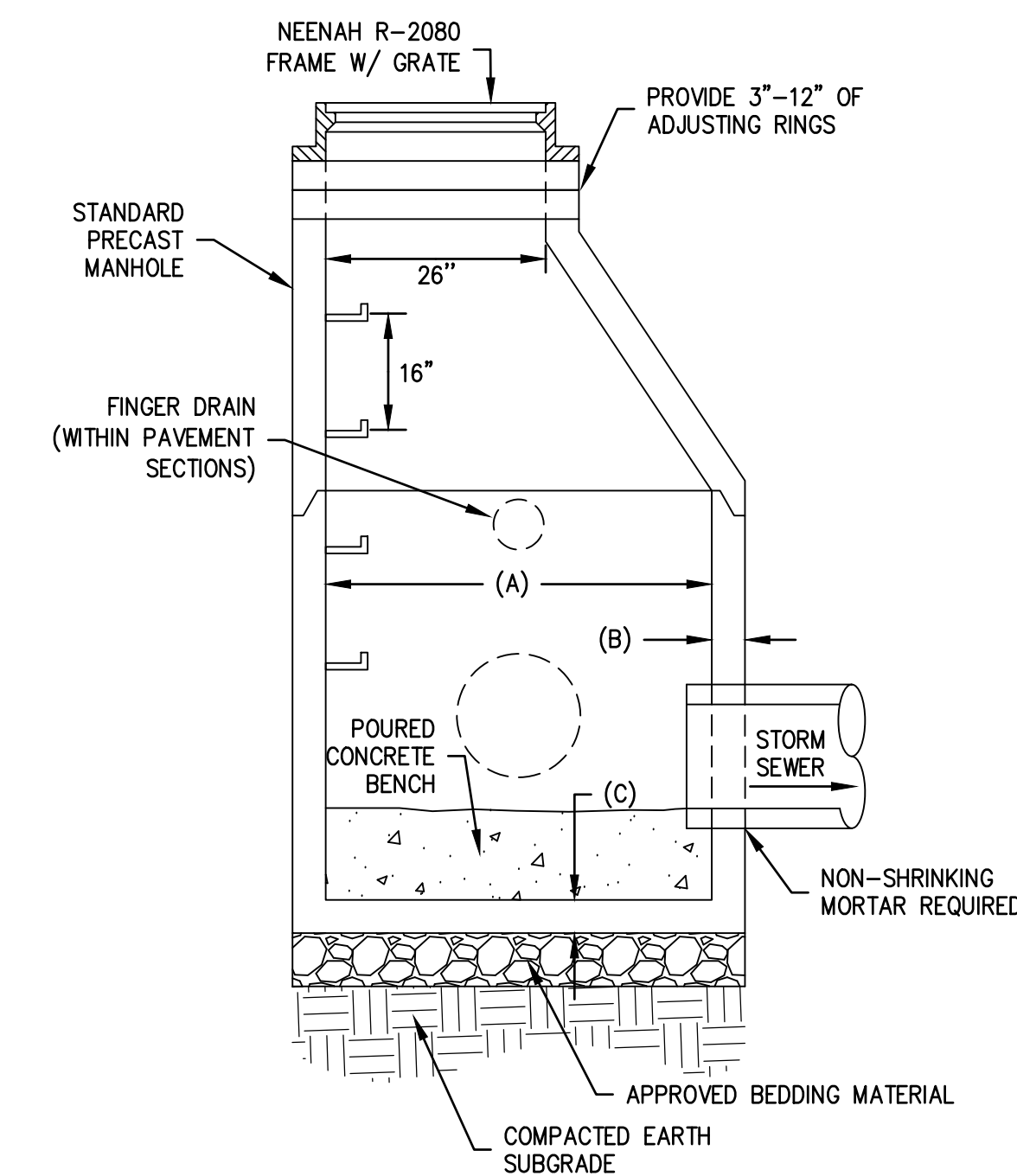
REVISION

NO.		

PROJ. MGR: MDE
 DRAFTED: JPL
 DATE: 12-20-2024
 CHECKED: MDE
 DATE: 12-20-2024

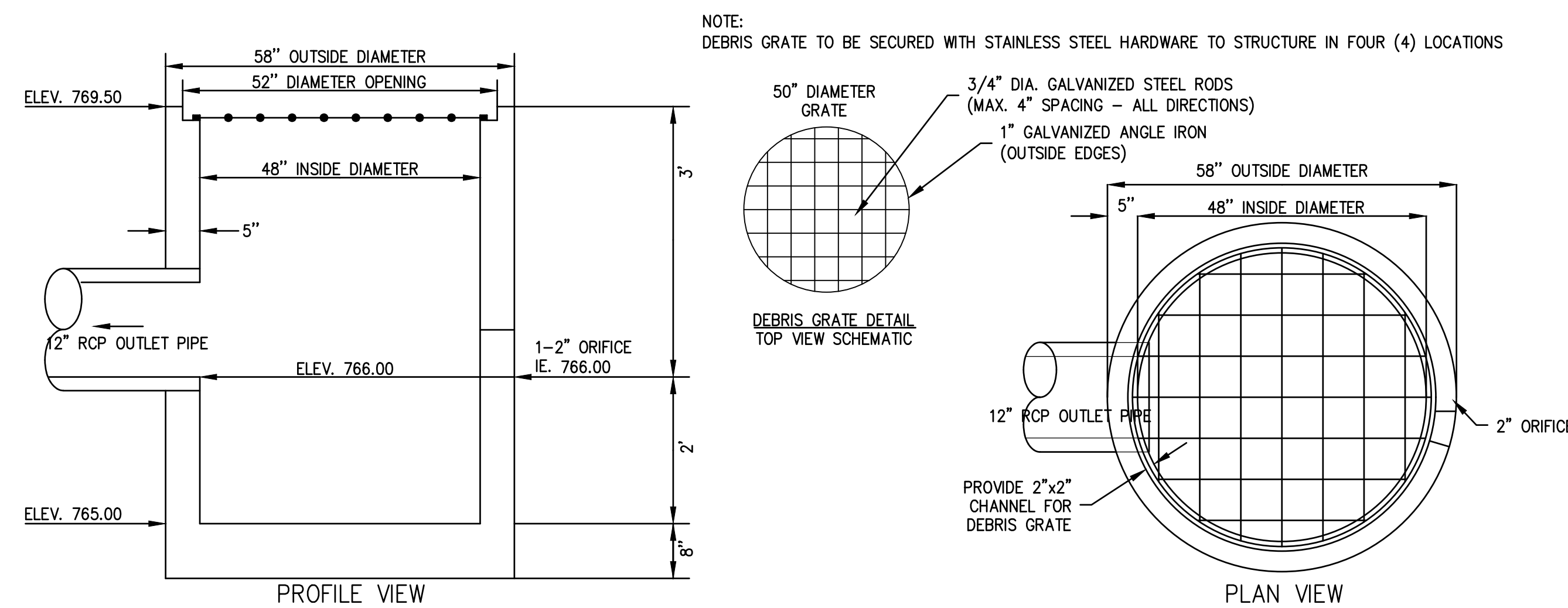
2023.0160.01
 SHEET
C-7

ISSUE FOR REVIEW (12-20-2024)



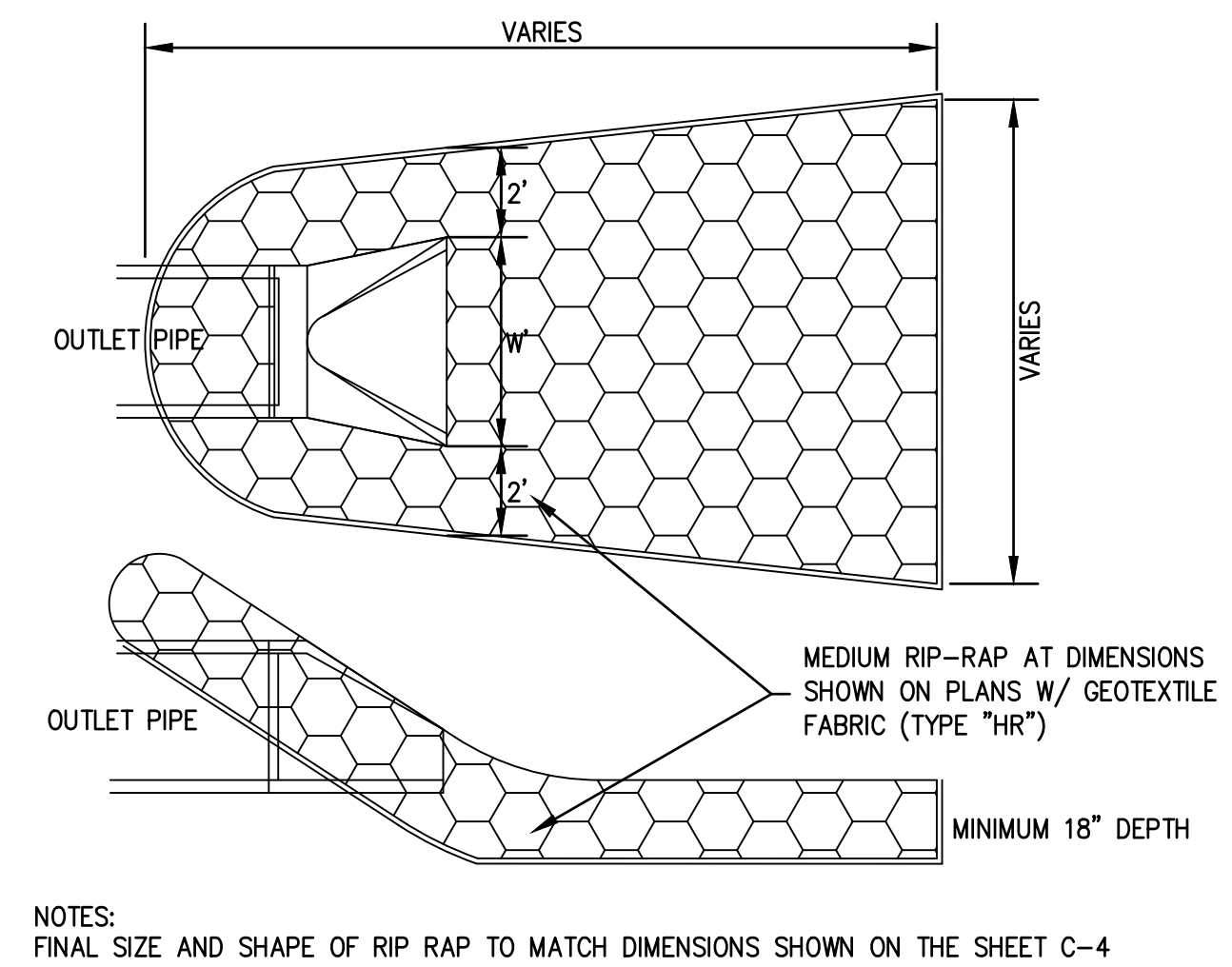
STRUCTURE DIAMETER (A)*	MINIMUM WALL THICKNESS (B)**	MINIMUM BASE AND TOP THICKNESS (C)**
4'	5"	6"
5'	6"	8"
6'	7"	8"
7'	8"	8"
8'±	9"	8"

*STRUCTURE DIAMETER SHALL BE STANDARD 48" UNLESS OTHERWISE NOTED ON PLAN
**MINIMUM THICKNESS SHALL NOT BE LESS THAN THAT REQUIRED TO MEET AASHTO H-20 LOADINGS

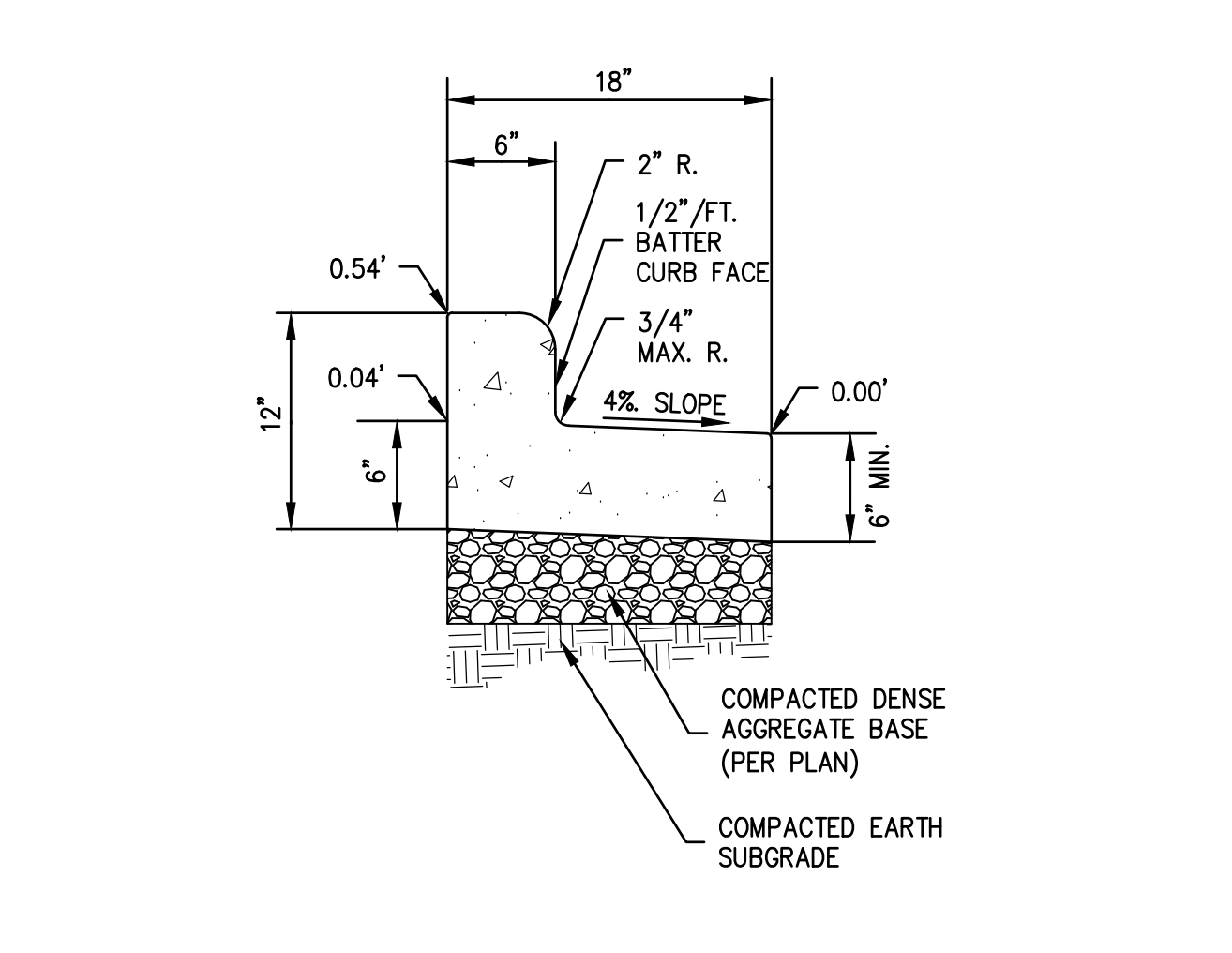
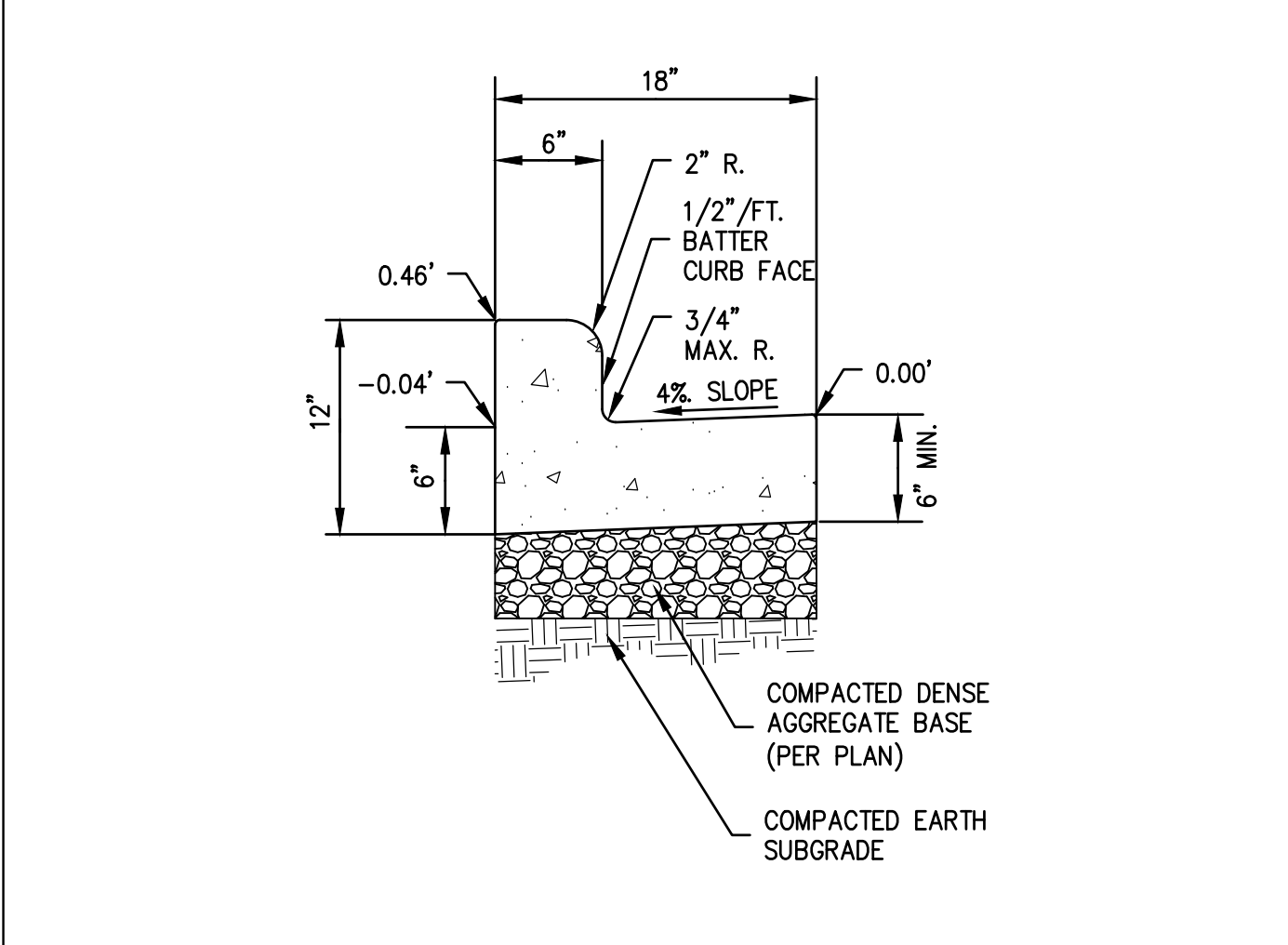


- INSTALLATION NOTES FOR CURB AND GUTTER DETAILS
- CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED DENSE AGGREGATE BASE COURSE EXTENDING A MINIMUM OF 12 INCHES BEHIND THE BACK OF CURB.
 - CURB PAN SHALL BE A MINIMUM OF SIX INCHES (6") THICK, EXCEPT AT DRIVEWAY LOCATIONS WHERE IT SHALL BE A MINIMUM OF EIGHT INCHES (8") THICK.
 - INSTALL TWO (2) NO. 4, 18-INCH LONG EPOXY COATED TIE BARS ANCHORED WITH AN EPOXY, EVENLY SPACED, DRIVEN NINE INCHES (9") INTO TO EXISTING OR PREVIOUSLY INSTALLED CURB AND GUTTER.
 - WHEN PLACED ADJACENT TO NEW CONCRETE, INSTALL NO. 4 18-INCH LONG EPOXY COATED TIE BARS, 36" ON CENTER PLACED A MINIMUM OF THREE AND ONE HALF INCHES (3½") BELOW THE TOP OF THE CURB PAN.
 - LATERAL CONTRACTION JOINTS TO BE PLACED AT AN INTERVAL OF 10 FEET TO A MINIMUM DEPTH OF TWO INCHES (2").
 - EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT POINTS OF CURVATURE, ANGLE POINTS, THREE FEET (3') FROM EACH SIDE OF EVERY INLET AND EVERY 300 FEET ALONG TANGENT SECTIONS OR AS DIRECTED BY THE ENGINEER. EXPANSION JOINT FILLER MATERIAL SHALL MEET WSDOT SPECIFICATIONS HAVING THE SAME DIMENSIONS AS THE CURB & GUTTER WITH A 3/4" THICKNESS.
 - APPLY CONCRETE CURING COMPOUND PER WSDOT SPECIFICATIONS.

2 OUTLET CONTROL STRUCTURE DETAIL N.T.S. 3 CONCRETE CURB AND GUTTER DETAIL NOTES N.T.S.

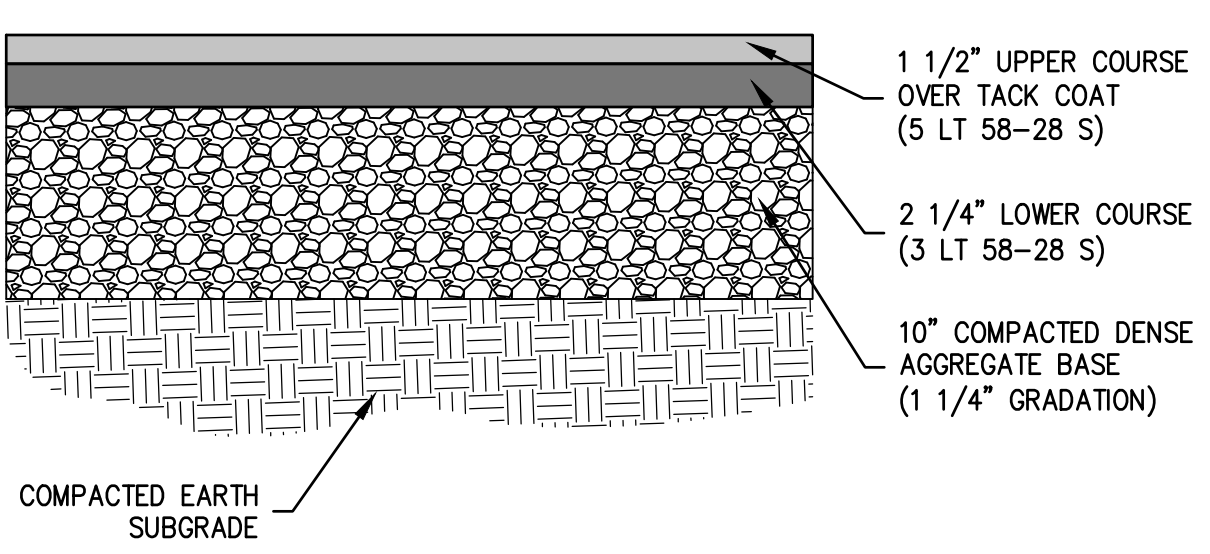


NOTES:
FINAL SIZE AND SHAPE OF RIP RAP TO MATCH DIMENSIONS SHOWN ON THE SHEET C-4

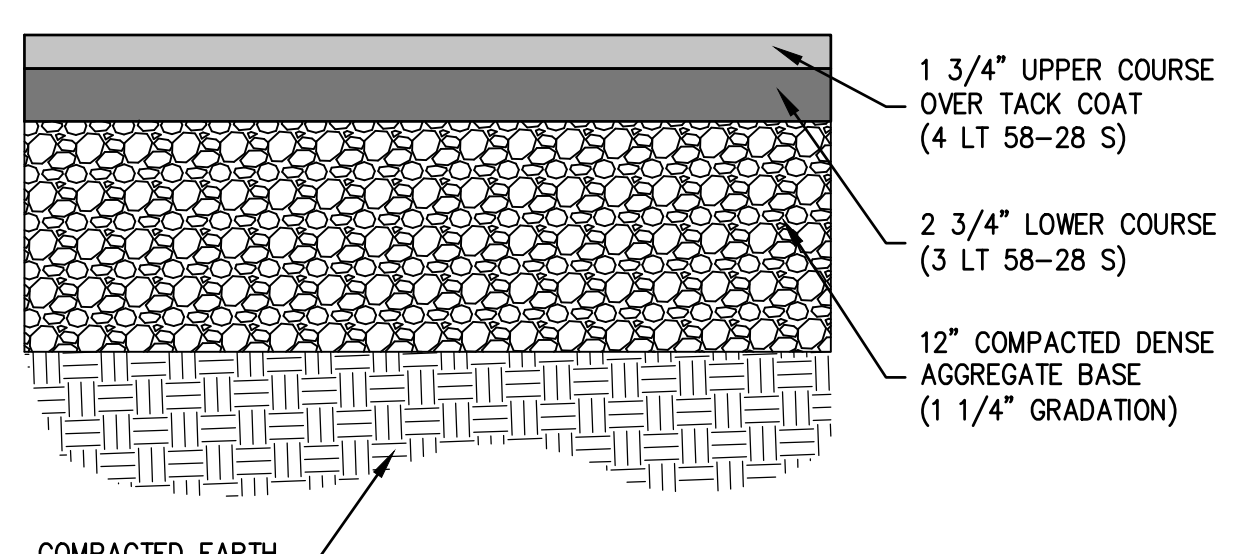


4 RIP RAP DETAIL N.T.S. 5 18" VERTICAL FACE CONCRETE CURB AND GUTTER DETAIL N.T.S. 6 18" VERTICAL FACE REVERSE PAN CONCRETE CURB AND GUTTER DETAIL N.T.S.

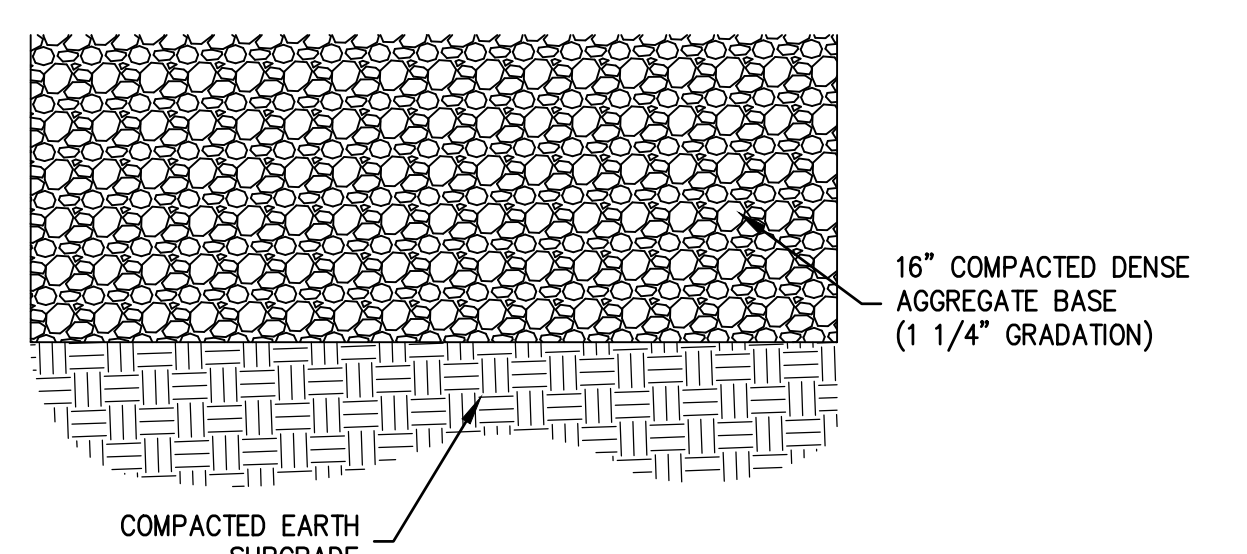
1 STANDARD STORM SEWER MANHOLE DETAIL N.T.S.



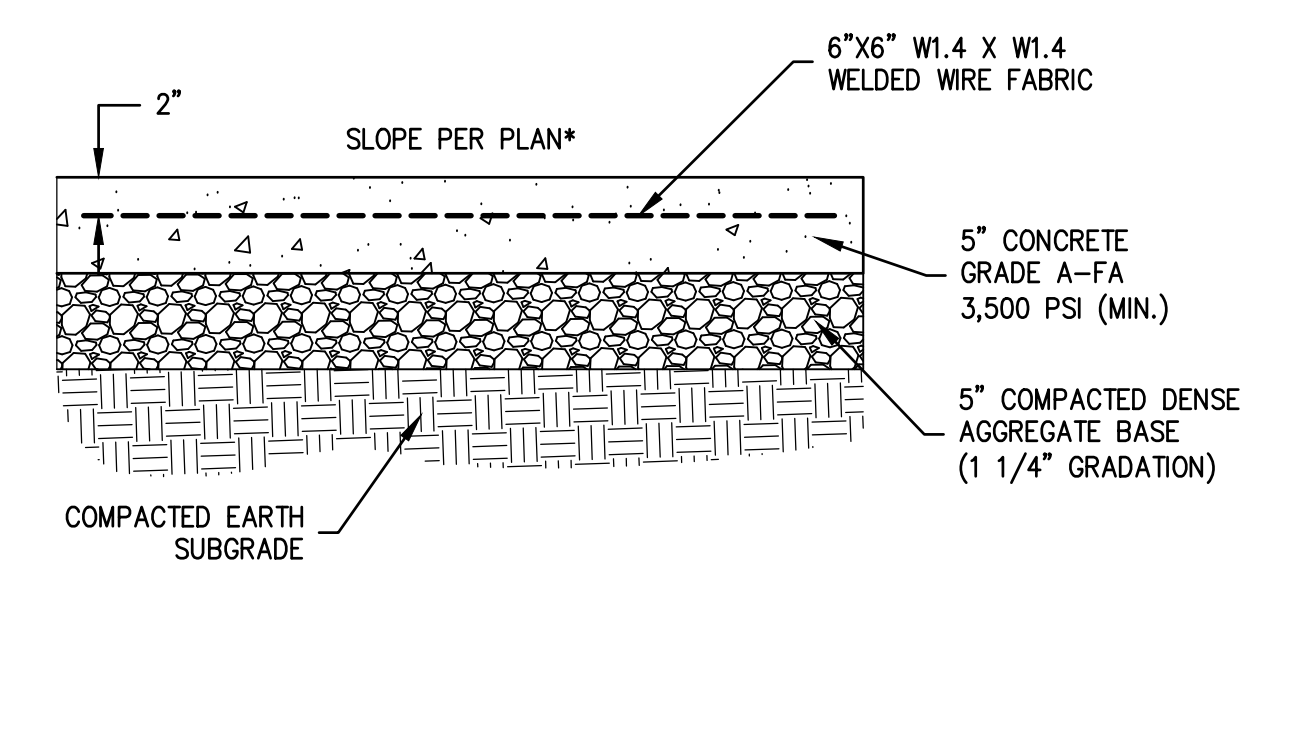
7 MEDIUM-DUTY ASPHALT PAVEMENT (3 3/4") (TYPICAL SECTION) N.T.S.



8 HEAVY-DUTY ASPHALT PAVEMENT (4 1/2") (TYPICAL SECTION) N.T.S.



9 HEAVY-DUTY AGGREGATE BASE (16") (TYPICAL SECTION) N.T.S.



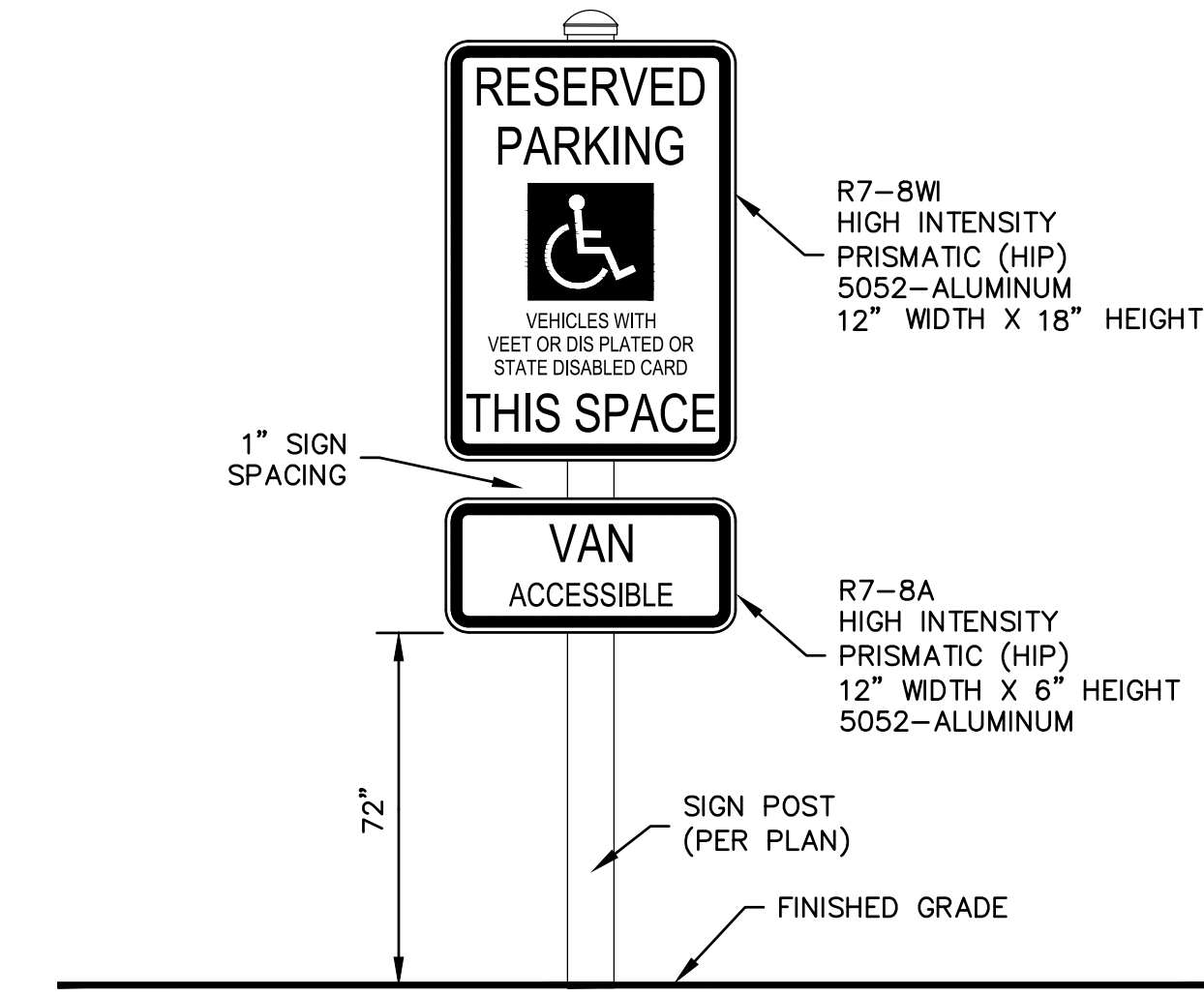
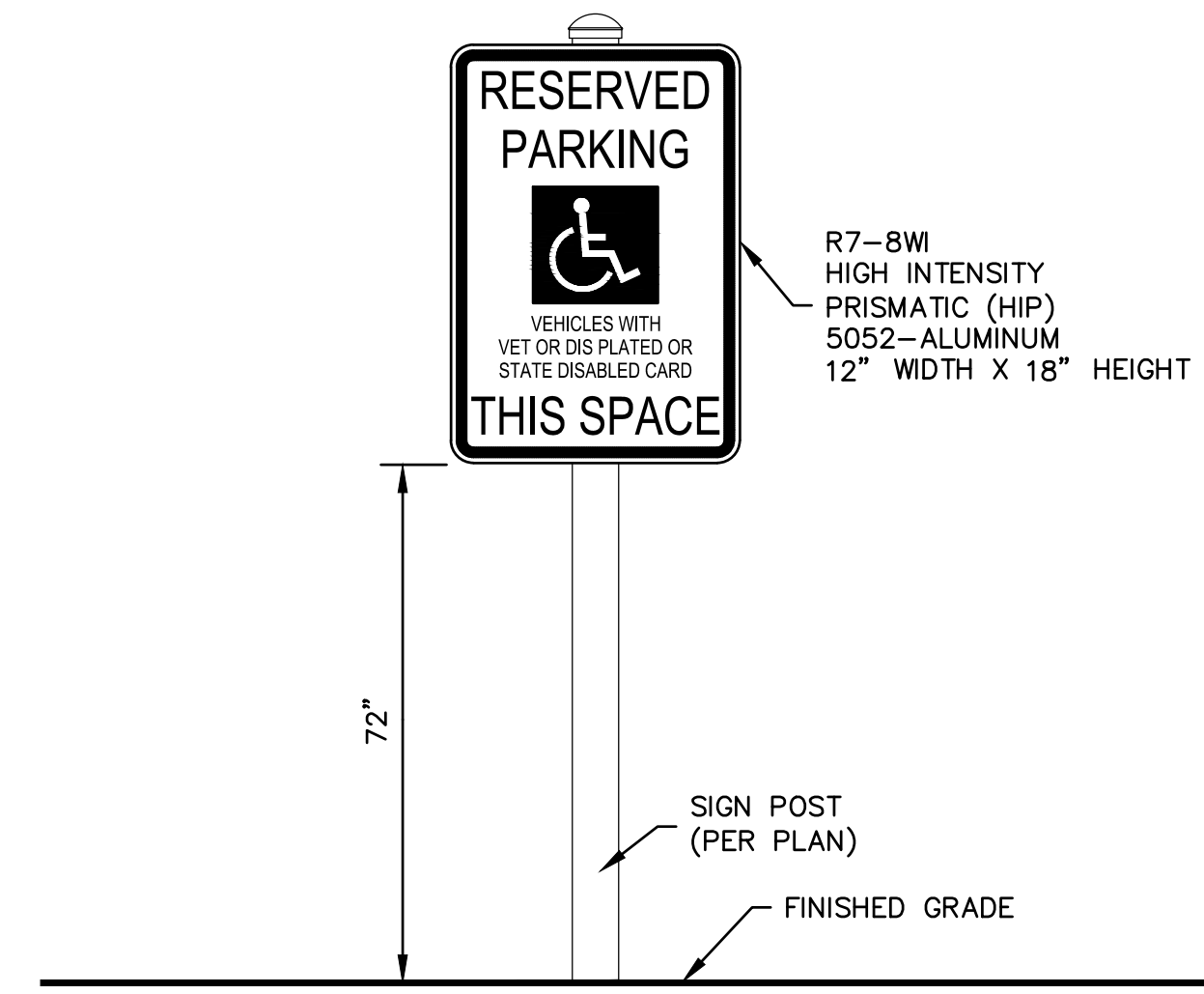
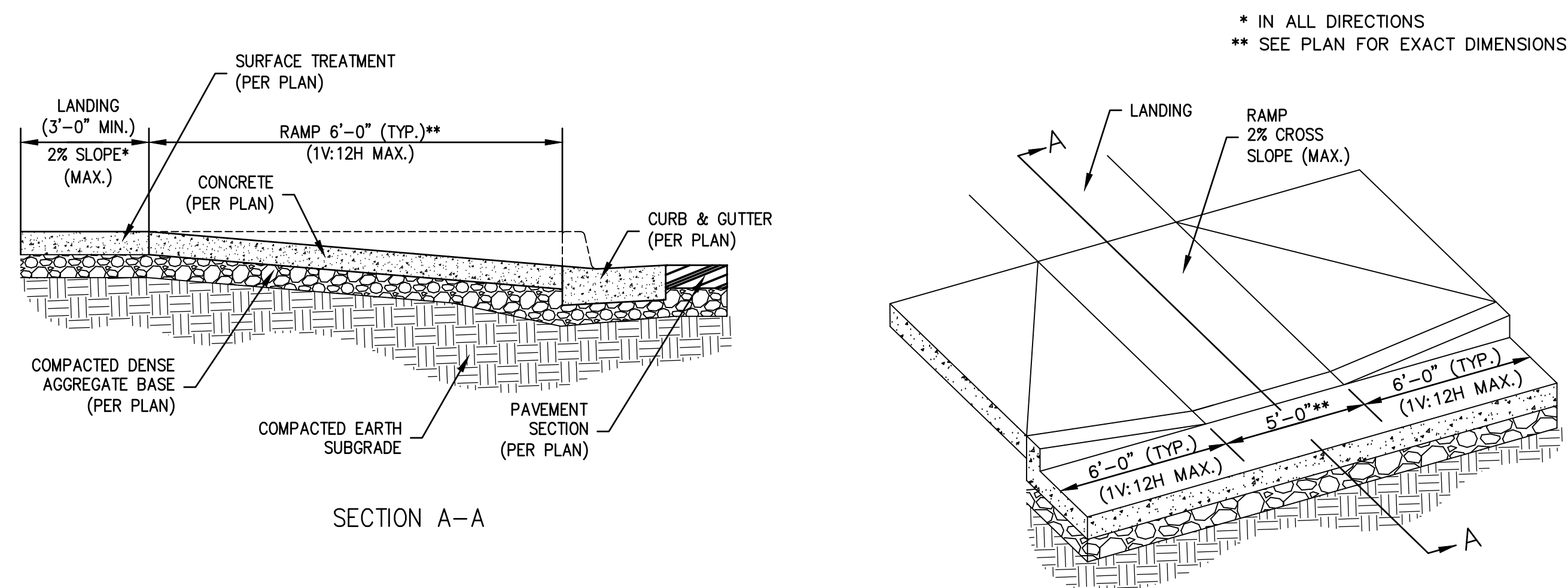
* SIDEWALKS: 1.5% CROSS-SLOPE (TYP.) 2.08% CROSS-SLOPE (MAX.)
PATIOS, PLAZAS, AND LANDINGS: 2.08% SLOPE IN ANY DIRECTION (MAX.)
ALL OTHER PAVEMENTS: SLOPE PER PLAN

10 LIGHT-DUTY CONCRETE PAVEMENT (5") (TYPICAL SECTION) N.T.S.

NO.	REVISION	BY	DATE

PROJ. MGR: _____ MDE
DRAFTED: _____ JPL
DATE: 12-20-2024
CHECKED: _____ MDE
DATE: 12-20-2024

2023.0160.01
SHEET
C-8



1 CONCRETE CURB AND GUTTER (72" TAPER) ACCESSIBLE RAMP DETAIL

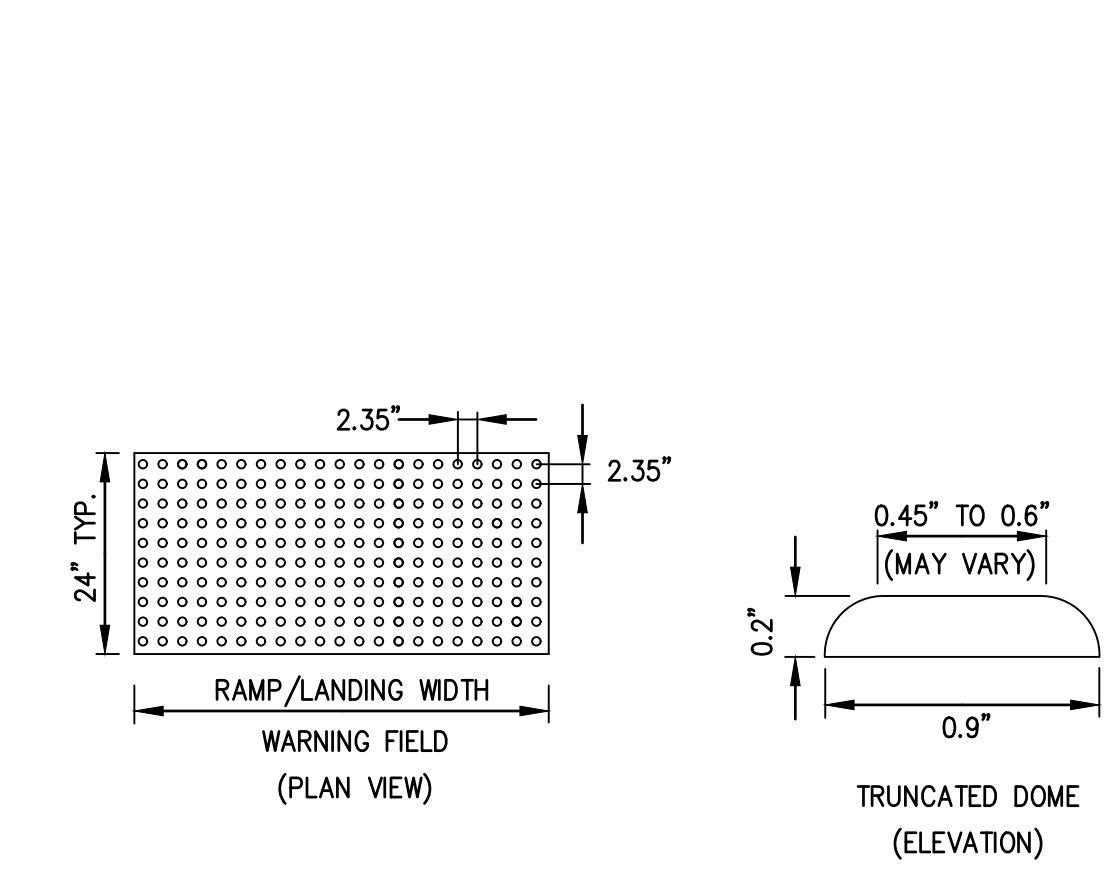
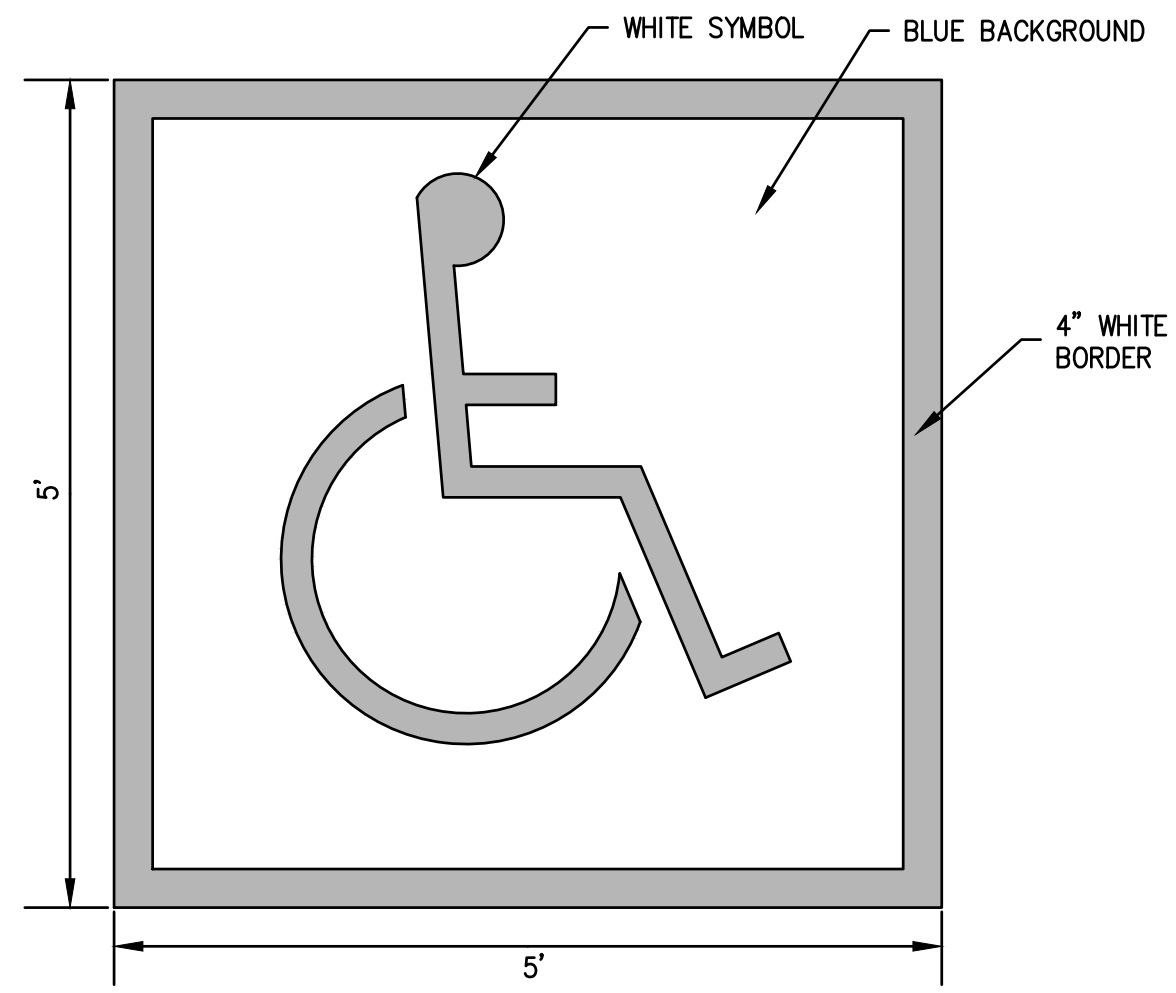
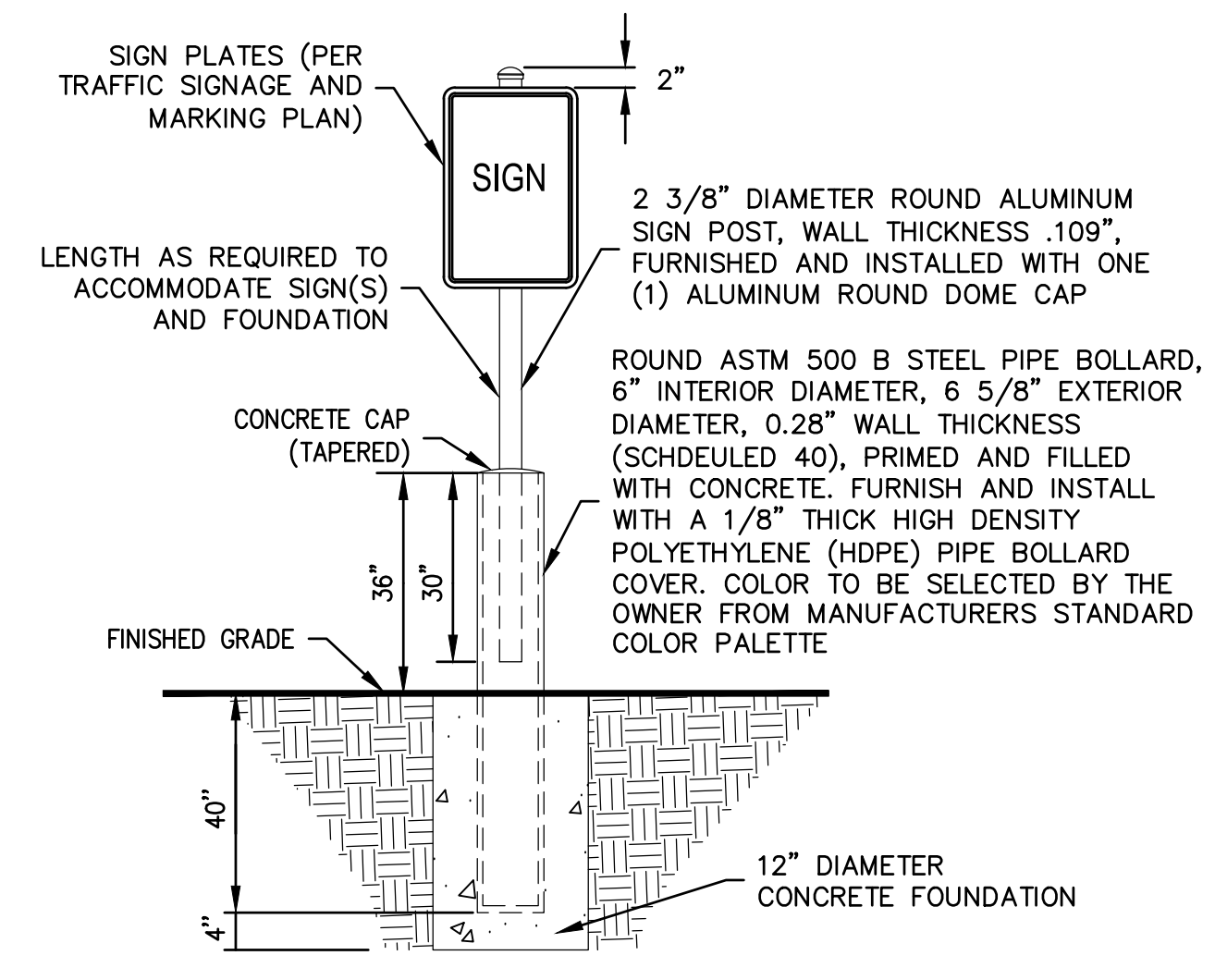
N.T.S.

2 ADA "RESERVED PARKING" SIGN DETAIL

N.T.S.

3 ADA "RESERVED PARKING VAN ACCESSIBLE" SIGN DETAIL

N.T.S.



- NOTES:**
- THIS WORK WILL CONSIST OF FURNISHING ALL MATERIAL, EQUIPMENT AND LABOR NECESSARY FOR THE PLACEMENT OF DETECTABLE WARNING DEVICES, COMPLETE AND READY FOR SERVICE AT ALL NEW SIDEWALK CURB RAMPS OR WHERE SHOWN ON THE PLAN.
 - DETECTABLE WARNING FIELDS SHALL COMPLY WITH "THE DETECTABLE WARNINGS ON WALKING SURFACES" SECTION OF THE AMERICANS WITH DISABILITIES ACT (TITLE 49 CFR TRANSPORTATION, PART 37.9 STANDARDS FOR ACCESSIBLE TRANSPORTATION FACILITIES, APPENDIX A, SECTION 4.29.2 DETECTABLE WARNINGS ON WALKING SURFACES).
 - DETECTABLE WARNING FIELDS SHALL EXTEND 24 INCHES (610 MM) MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP FLUSH SURFACE.
 - THE DETECTABLE WARNING FIELD SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB OR EDGE OF PAVEMENT IS 6 INCHES (150 MM) MINIMUM AND 8 INCHES (205 MM) MAXIMUM FROM THE FACE OF THE CURB OR EDGE OF PAVEMENT.
 - TRUNCATED DOMES SHALL BE ALIGNED ON A SQUARED GRID, ALIGNED IN ROWS PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. DOMES MUST NOT BE SKEWED DIAGONALLY TO THE DIRECT OF TRAVEL.
 - AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED IN THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - CAST IN PLACE REPLACEABLE TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ADA SOLUTIONS, INC., CHELMSFORD, MA OR PRE-APPROVED EQUAL.
 - COLOR OF THE DETECTABLE WARNING FIELD SHALL BE SELECTED BY THE OWNER.
 - SPECIFICATIONS FOR CONCRETE SEALANT AND OTHER RELATED MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE GUIDELINES SET BY THEIR RESPECTIVE MANUFACTURERS.

4 ALUMINUM ROUND SIGN POST W/ 6" STEEL PIPE BOLLARD DETAIL

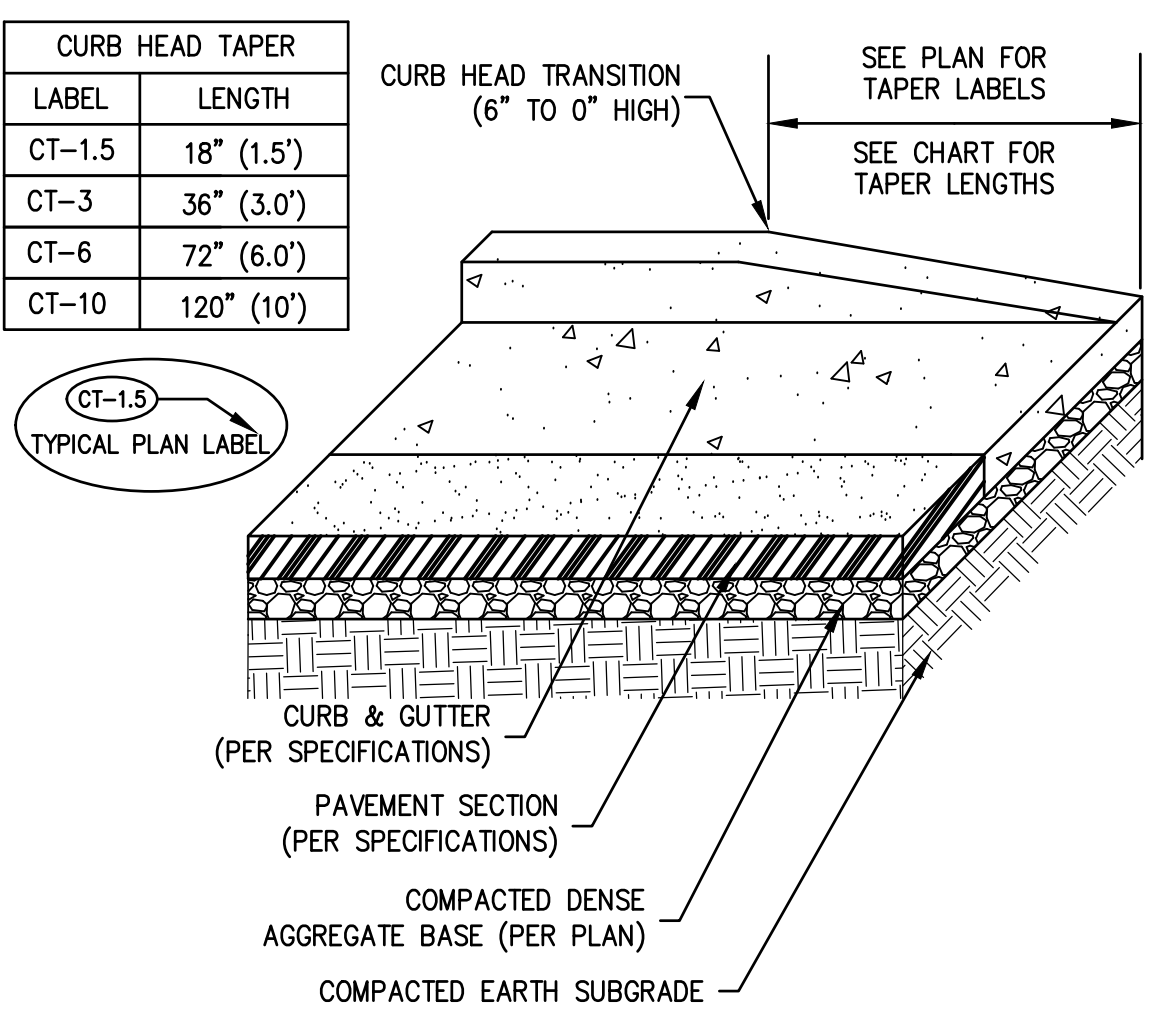
N.T.S.

5 PAINTED INTERNATIONAL SYMBOL FOR ACCESSIBILITY DETAIL

N.T.S.

6 DETECTABLE WARNING FIELD DETAIL

N.T.S.



7 CURB HEAD TAPER DETAIL

N.T.S.

NO.	REVISION	BY	DATE

PROJ. MGR: _____ MDE
 DRAFTED: _____ JPL
 DATE: 12-20-2024
 CHECKED: _____ MDE
 DATE: 12-20-2024

2023.0160.01

SHEET
C-9

ISSUE FOR REVIEW (12-20-2024)

INTERSTATE HIGHWAY "94" INTERSTATE HIGHWAY/UNITED STATES HIGHWAY "41"

COUNTY TRUNK HIGHWAY "K"

S 27TH STREET - WEST FRONTIER ROAD

PROPOSED RETENTION BASIN

PROPOSED BUILDING
(37,562 SQ.FT.)

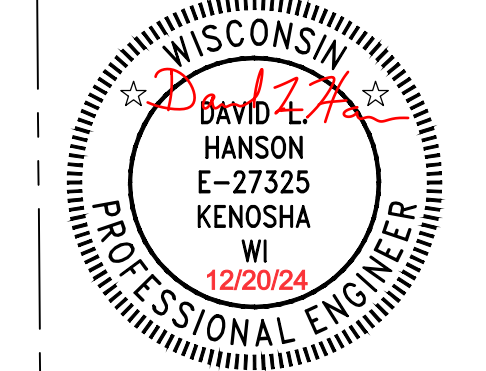
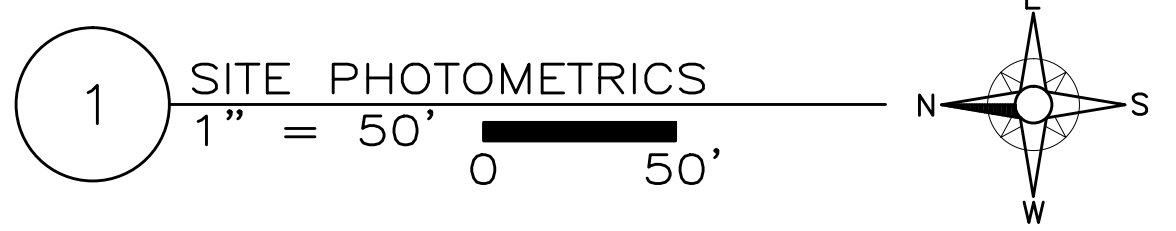
OUTDOOR VEHICLE STORAGE LOT
(24,025 SQ.FT.)

(FUTURE INDOOR VEHICLE STORAGE)
(22,331 SQ.FT.)

(FUTURE INDOOR VEHICLE STORAGE)
(32,500 SQ.FT.)

168-04-21-25-006-002

- SHEET NOTES
- ① GENERAL NOTE: FOOT CANDLES SHOWN WITH 1.00 LIGHT LUMEN DEPRECIATION FACTOR.
 - ② GENERAL NOTE: LIGHT COLOR TEMPERATURE IS 4000K.
 - ③ GENERAL NOTE: EXTERIOR LIGHTING SHALL BE CONTROLLED BY PHOTOCELL, TIME CLOCK AND CONTACTORS, AN ASTRONOMICAL TIME CLOCK AND LIGHTING CONTACTORS OR A LIGHTING CONTROL PANEL WITH ASTRONOMICAL TIME CLOCK FUNCTION WITH PHOTOCELL INPUT. ANY TIME CLOCKS AND LIGHTING CONTROL PANELS SHALL HAVE TEN HOUR MINIMUM BATTERY BACK UP OR EQUAL. CONTROLS SHALL BE DESIGNED TO MEET STATE AND IECC ENERGY CODES. EXTERIOR LIGHTING TO BE CONTROLLED PER INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015 AND WISCONSIN SPS 363 ENERGY CONSERVATION CODE. PARKING LOT LIGHTING SHALL BE REDUCED BY NOT LESS THAN 30% FROM ONE HOUR AFTER CLOSING TO ONE HOUR BEFORE OPENING. VERIFY LIGHTING CONTROL OPERATION WITH OWNER.
 - ④ GENERAL NOTE: VERIFY BUILDING VOLTAGES FOR LIGHTING CIRCUITS.
 - ⑤ CENTER LIGHT APPROXIMATELY 18' 9" AFG.
 - ⑥ CENTER LIGHT APPROXIMATELY 14' 9" AFG.



SHEET INDEX

- E1 SITE LIGHTING PLAN
- E2 LIGHT FIXTURE SCHEDULE, DETAILS, ENERGY CALCULATIONS
- E3 LIGHT FIXTURE CUT SHEETS
- E4 LIGHT FIXTURE CUT SHEETS
- E5 LIGHT FIXTURE CUT SHEETS

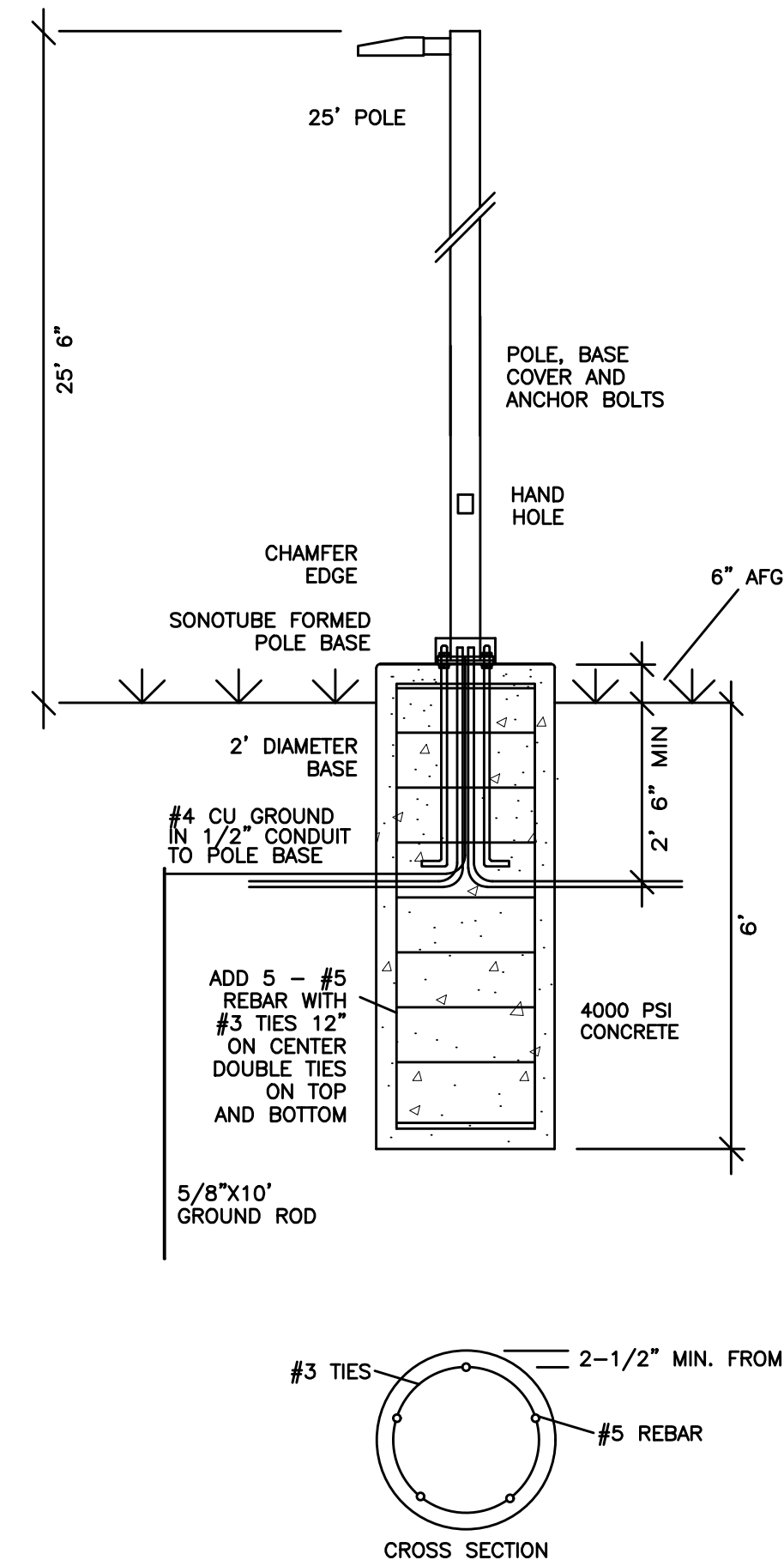
REVISIONS	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DAVID L. HANSON AND ASSOCIATES, INC.
3940 - 85 STREET
KENOSHA, WI 53142
(262) 654-2010

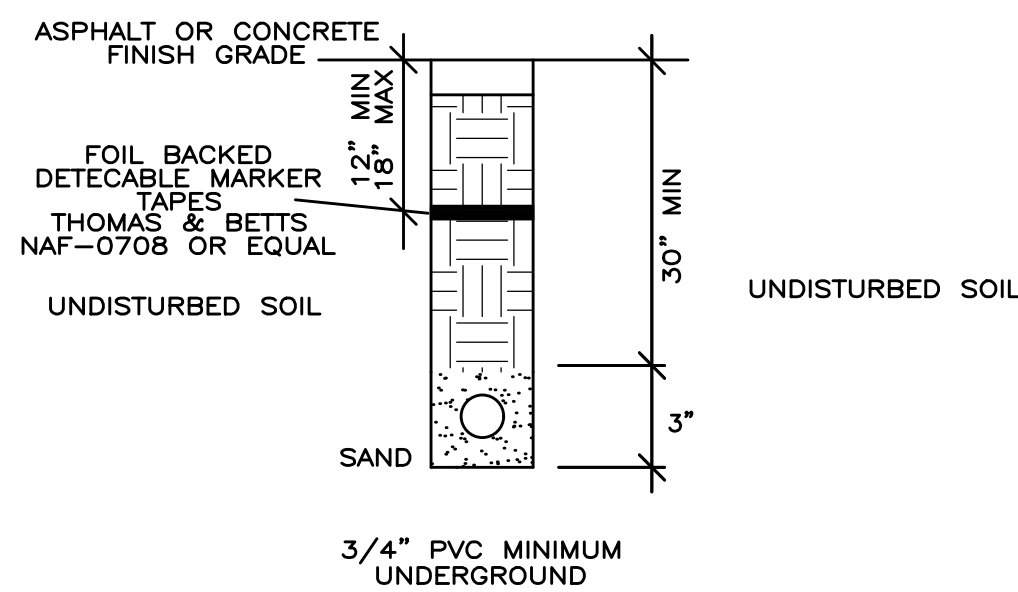
DATE: 12/20/24
BY: DLH

MILWAUKEE POWERSPORTS SITE LIGHTING PLAN FOR CEDAR CREEK MOTORSPORTS VILLAGE OF RAYMOND, RACINE COUNTY, STATE OF WISCONSIN

SHEET E1 OF 5



1 TYPICAL 25' LIGHT POLE BASE



2 TYPICAL TRENCHING DETAIL

COMcheck Software Version 4.1.5.5
Exterior Lighting Compliance Certificate

Project Information
 Energy Code: 2015 IECC
 Project Title: Milwaukee Powersports
 Project Type: New Construction
 Exterior Lighting Zone: 4 (High activity metropolitan commercial district (L24))

Construction Site: South 27th Street and I-94, Raymond, WI
Owner/Agent: Milwaukee Powersports
Designer/Contractor: David Hanson, Hanson and Associates, Inc., 3940 - 85 Street, Kenosha, WI 53142

Area/Surface Category	Quantity	Allowed Watts / Unit	Tradable Wattage	Allowed Watts (B X C)
Parking/Drive (Parking area)	78095 ft2	0.13	Yes	10152
South Drive/Storage (Driveway)	12535 ft2	0.13	Yes	1630
Main entry	6 ft of door	30	Yes	180
Other door (not main entry)	27 ft of door	20	Yes	540
Total Tradable Watts (a) =				12502
Total Allowed Watts =				12502
Total Allowed Supplemental Watts (b) =				1300

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.
 (b) A supplemental allowance equal to 1300 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D E Watt. (C X D)
Parking/Drive (Parking area 78095 ft2): Tradable Wattage			
LED 1: OA: Other	1	1	125
LED 2: OB: Other	2	4	250
LED 3: OC: Other	1	2	167
LED 4: copy 1: OD: Other	1	2	94
South Drive/Storage (Driveway 12535 ft2): Tradable Wattage			
LED 4: OD: Other	1	4	376
Main entry (6 ft of door width): Tradable Wattage			
LED 6: OE: Other	1	1	69
Other door (not main entry) (27 ft of door width): Tradable Wattage			
LED 6: OF: Other	1	3	207
LED 8: OS: Other	1	2	38
LED 9: OS: Other	1	2	28
Total Tradable Proposed Watts = 2363			

Project Title: Milwaukee Powersports
 Data Filename: C:\Users\12626\Documents\MILWAUKEE POWER SPORTS\comcheck\Milwaukee Powersports.cck
 Report date: 12/20/24
 Page 1 of 6

COMCHECK LIGHTING ENERGY CALCULATIONS

LIGHTING FIXTURE SCHEDULE															
TYPE	DESCRIPTION	MFG.	CATALOG NO.	VOLTAGE	NO.	LAMP	BALLAST/DRIVER	TOTAL FIXTURE LBS	POLE (MAX. FIXTURE LBS @ 90 MPH)	TOTAL FIXTURE EPA	MAX POLE EPA (90MPH WIND)	LINE AMPS	WATTS	MOUNT	NOTES
OA	PARKING POLE: SINGLE TYPE T3M OPTIC	LITHONIA	DSX1-LED-P4-40K-70CRI-T3M-MVOLT-SPA-DDBXD	-	1	LED, 4,000K, 16,032 LUMENS, 129 LPW	1250mA LED	34 LBS	50 LBS	.69	2	-	125	25' POLE/6" AFG BASE	1,2,3,5
OB	PARKING POLE: DOUBLE TYPE T3M OPTIC	LITHONIA	(2) DSX1-LED-P4-40K-70CRI-T3M-MVOLT-SPA-DDBXD	-	2	LED, 4,000K, 16,032 LUMENS, 129 LPW	1250mA LED	68 LBS	138 LBS	1.38	5.5	-	250	25' POLE/6" AFG BASE	1,2,4,5
OC	PARKING POLE: SINGLE TYPE T3M OPTIC	LITHONIA	DSX1-LED-P6-40K-70CRI-T3M-MVOLT-SPA-DDBXD	-	1	LED, 4,000K, 20,989 LUMENS, 127 LPW	1250mA LED	34 LBS	50 LBS	.69	2	-	167	25' POLE/6" AFG BASE	1,2,3,5
OD	WALL MOUNT AREA TYPE T3M OPTIC	LITHONIA	DSX0-LED-P4-40K-70CRI-T3M-MVOLT-WBA-HS-DDBXD	-	1	LED, 4,000K, 11,374 LUMENS, 122 LPW	-	-	-	-	-	-	94	SURFACE	1
OE	WALL MOUNT AREA TYPE T3M OPTIC	LITHONIA	DSX0-LED-P3-40K-70CRI-T3M-MVOLT-WBA-HS-DDBXD	-	1	LED, 4,000K, 8,795 LUMENS, 128 LPW	-	-	-	-	-	-	69	SURFACE	1
OF	8" CANLESS WAFER DOWNLIGHT	JUNO	WF8-SWW5-90CRI-COLOR	120	1	LED, 4,000K, 1,690 LUMENS, 89 LPW	-	-	-	-	-	.17	19	RECESSED	6
OG	6" CANLESS WAFER DOWNLIGHT	JUNO	WF6-SWW5-90CRI-COLOR	120	1	LED, 4,000K, 1,000 LUMENS, 76 LPW	-	-	-	-	-	.11	13	RECESSED	6

1. BRONZE.
 2. VERIFY VOLTAGE AT BUILDING PANELS TO PROVIDE CIRCUITS TO LIGHTS (120V-277V).
 3. 4" SQUARE, .12" THICK, DARK BRONZE, 25' POLE FOR ONE LIGHT AT 90 DEGREES. LITHONIA SSS-25-4C-DM19AS-DDBXD. INCLUDE TEMPLATE AND ANCHOR BOLTS.
 4. 4" SQUARE, .179" THICK, DARK BRONZE, 25' POLE FOR TWO LIGHTS AT 90 DEGREES. LITHONIA SSS-25-4G-DM28AS-DDBXD. INCLUDE TEMPLATE AND ANCHOR BOLTS.
 5. EPA WITH 3 SECOND GUST PER AASHTO 2013.
 6. TRIM RING COLOR (MATTE WHITE, MATTE BLACK, BRUSHED NICKEL, OIL RUBBED BRONZE) TO BE SELECTED BY OWNER. INCLUDE CONSTRUCTION PAN AND EXTENSION CABLES AS REQUIRED.

REV	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DAVID L. HANSON AND ASSOCIATES, INC.
 3940 - 85 STREET
 KENOSHA, WI 53142
 (262) 654-2010

DATE:
 12/20/24

BY:
 DLH

MILWAUKEE POWERSPORTS
 SITE LIGHTING PLAN
 FOR
 CEDAR CREEK MOTORSPORTS
 VILLAGE OF RAYMOND, RACINE COUNTY, STATE OF WISCONSIN

D-Series Size 1 LED Area Luminaire

Specifications

Length: 0.69 ft (8.1 in)
 Depth: 32.21" (831 mm)
 Width: 14.26" (362 mm)
 Height H1: 7.80" (198 mm)
 Height H2: 2.73" (69 mm)
 Weight: 34 lb (15 kg)

Ordering Information

EXAMPLE: DSK1 LED P7 40K 70CRI T3M MVOLT SPA NLTARIRRH DNBDX

Series	Model	Coloring (temp)	LEDs (nominal)	Beam Angle	Mounting	Material	Notes
NLTARIRRH	P7	40K	40000	70CRI	T3M	MVOLT	SPA

Accessories

- NLTARIRRH - Replacement LED modules
- NLTARIRRH - Replacement LED modules with diffusers
- NLTARIRRH - Replacement LED modules with diffusers and bezel

Shielding Accessories

- External Glare Shield (EGSR)
- House Side Shield (HS)

Drilling

Handle Orientation

Handhole Orientation

Tenon Mounting Slipfitter

Model	Mounting	Length	Width	Material
DSK1	DSK1	1.50	1.50	Aluminum

DSK1 Area Luminaire - EPA

Model	Mounting	Length	Width	Material
DSK1	DSK1	1.50	1.50	Aluminum

Commercial Outdoor

TYPE OA, OB AND OC LIGHTS

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTARIRRH DNBDX

Accessories

- NLTARIRRH - Replacement LED modules
- NLTARIRRH - Replacement LED modules with diffusers
- NLTARIRRH - Replacement LED modules with diffusers and bezel

Shielding Accessories

- External Glare Shield (EGSR)
- House Side Shield (HS)

Drilling

Handle Orientation

Handhole Orientation

Tenon Mounting Slipfitter

Model	Mounting	Length	Width	Material
DSX1	DSX1	1.50	1.50	Aluminum

DSX1 Area Luminaire - EPA

Model	Mounting	Length	Width	Material
DSX1	DSX1	1.50	1.50	Aluminum

Commercial Outdoor

TYPE OA, OB AND OC LIGHTS

Photometric Diagrams

To see complete photometric reports or download .IES files for this product, visit Lithonia Lighting's homepage.

Commercial Outdoor

TYPE OA, OB AND OC LIGHTS

Performance Data

Lumen Ambient Temperature (LAT) Multiplier

Temp	Multiplier	Temp	Multiplier
65°F	1.00	105°F	0.80
70°F	0.95	110°F	0.75
75°F	0.90	115°F	0.70
80°F	0.85	120°F	0.65
85°F	0.80	125°F	0.60
90°F	0.75	130°F	0.55
95°F	0.70	135°F	0.50
100°F	0.65	140°F	0.45
105°F	0.60	145°F	0.40
110°F	0.55	150°F	0.35
115°F	0.50	155°F	0.30
120°F	0.45	160°F	0.25
125°F	0.40	165°F	0.20
130°F	0.35	170°F	0.15
135°F	0.30	175°F	0.10
140°F	0.25	180°F	0.05
145°F	0.20	185°F	0.00
150°F	0.15		

Electrical Load

Model	Power (W)	Voltage (V)	Current (A)	Notes
P7	40000	120V	333	
P7	40000	208V	192	
P7	40000	240V	167	

Projected LED Lumen Maintenance

Hours	% Maintenance
0	100%
10000	90%
20000	80%
30000	70%
40000	60%
50000	50%
60000	40%
70000	30%
80000	20%
90000	10%
100000	0%

FAO Dimming Settings

Level	Dimming %
1	100%
2	90%
3	80%
4	70%
5	60%
6	50%
7	40%
8	30%
9	20%
10	10%

LED Color Temperature / Color Rendering Multipliers

Model	Temp	Availability	Notes
P7	4000K	Standard	
P7	5000K	Standard	
P7	6000K	Standard	
P7	7000K	Standard	
P7	8000K	Standard	
P7	9000K	Standard	
P7	10000K	Standard	

Motion Sensor Default Settings

Model	Delay	On/Off	Notes
NLTARIRRH	30s	Standard	
NLTARIRRH	30s	Standard	

Controls Options

Model	Description	Availability	Notes
DSK1	Light adjustable remote dimmer	Standard	
DSK1	Handheld remote dimmer	Standard	
DSK1	Switch control	Standard	

Commercial Outdoor

TYPE OA, OB AND OC LIGHTS

REVISIONS	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DAVID L. HANSON AND ASSOCIATES, INC.
 3940 - 85 STREET
 KENOSHA, WI 53142
 (262) 654-2010

Performance Data

Lumen Output

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTARIRRH DNBDX

Model	Temp	Beam	Height	Area	Lumens	Foot-candles
DSX1	40K	70CRI	T3M	MVOLT	40000	100

Accessories

- NLTARIRRH - Replacement LED modules
- NLTARIRRH - Replacement LED modules with diffusers
- NLTARIRRH - Replacement LED modules with diffusers and bezel

Shielding Accessories

- External Glare Shield (EGSR)
- House Side Shield (HS)

Drilling

Handle Orientation

Handhole Orientation

Tenon Mounting Slipfitter

Model	Mounting	Length	Width	Material
DSX1	DSX1	1.50	1.50	Aluminum

DSX1 Area Luminaire - EPA

Model	Mounting	Length	Width	Material
DSX1	DSX1	1.50	1.50	Aluminum

Commercial Outdoor

TYPE OA, OB AND OC LIGHTS

FEATURES & SPECIFICATIONS

INSTALLATION

ANCHOR BASE POLES

Anchor Base Pole

SQUARE STRAIGHT STEEL

Commercial Outdoor

TYPE OA, OB AND OC POLES

Technical Information

Ordering Information

EXAMPLE: SSS 30 SC DM19 D0B0D

Series

Minimum Finish

Normal Finish

Mounting

Options

Finish

Notes

Annotations

Commercial Outdoor

TYPE OA, OB AND OC POLES

Technical Information

Ordering Information

EXAMPLE: SSS 30 SC DM19 D0B0D

Series

Minimum Finish

Normal Finish

Mounting

Options

Finish

Notes

Annotations

Commercial Outdoor

TYPE OA, OB AND OC POLES

PROJECT

MILWAUKEE POWERSPORTS SITE LIGHTING PLAN

FOR

CEDAR CREEK MOTORSPORTS VILLAGE OF RAYMOND, RACINE COUNTY, STATE OF WISCONSIN

DATES

12/20/24

BY:

DLH

SHEET

E3

OF

5

SHEET INDEX

E1 SITE LIGHTING PLAN
 E2 LIGHT FIXTURE SCHEDULE, DETAILS, ENERGY CALCULATIONS
 E3 LIGHT FIXTURE CUT SHEETS
 E4 LIGHT FIXTURE CUT SHEETS
 E5 LIGHT FIXTURE CUT SHEETS

SSS Square Straight Steel Poles

BASE DETAIL

ANCHORAGE AND TEMPLATE INFORMATION

Shaft base size	Bolt circle A	Bolt projection B	Base square C	Base plate thickness	Template description	Anchor bolt description	Bolt size (in. x lbs.)	Anchor bolt and template description
4" x 4"	8" - 1/2"	3.15" - 3.25"	8" x 8"	0.57"	ATTMPLAT-FS0004	ANB-0	1/4" x 3/16"	ANB04-AC
4" x 4"	8" - 1/2"	3.15" - 3.25"	8" x 8"	0.875"	ATTMPLAT-FS0004	ANB-0	1/4" x 3/16"	ANB04-AC
6" - 1/2"	10" - 1/2"	4.5" - 4"	12" x 12"	1"	ATTMPLAT-FS0010	ANB-0	3/8" x 1/4"	ANB06-AC
6" - 1/2"	10" - 1/2"	4.5" - 4"	12" x 12"	1"	ATTMPLAT-FS0011	ANB-0	3/8" x 1/4"	ANB06-AC

HANDHOLE ORIENTATION

IMPORTANT INSTALLATION NOTES:

- Do not use poles without handhole brackets.
- Factory supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claims for incorrect anchor bolt placement due to failure to use Lithonia Lighting factory templates.
- Poles are sized outside all projected mounting holes to prevent overloading poles due to general flexing.
- Lithonia Lighting is not responsible for the foundation design.
- Bolt circles have +/- 1/2" tolerance.

CAUTION: These specifications are intended for general purpose only. Lithonia Lighting reserves the right to change material design, without prior notice, in a continuing effort to upgrade its products.

LITHONIA LIGHTING

One Lithonia Way • Corning, Georgia 30012 • Phone: 1-800-705-SERV (3778) • www.lithonia.com

© 2011-2024 Acuity Brands Lighting, Inc. All rights reserved.

TYPE OA, OB AND OC POLES

D-Series Size 0 LED Area Luminaire

Specifications

Length: 0.66 ft (8.0 in)

Height: 26.1" (670 mm)

Width: 14.06" (357 mm)

Height H1: 2.26" (57 mm)

Height H2: 7.46" (190 mm)

Weight: 23 lbs (10 kg)

Ordering Information

EXAMPLE: DSKO LED P6 40K 70CRI T3M MVOLT SPLA NLTAR2 PIRHN DBXD

Ordering Information

Series	LED	Color Temperature	Beam Spread	Mounting	Finish	Shipping	Mounting
DSK012	Forward optics	40K	70CRI	AR	Black	1000	DSK012
	PI	40K	70CRI	AR	Black	1000	DSK012-PI
	PI2	40K	70CRI	AR	Black	1000	DSK012-PI2
	PI3	40K	70CRI	AR	Black	1000	DSK012-PI3
	PI4	40K	70CRI	AR	Black	1000	DSK012-PI4
	PI5	40K	70CRI	AR	Black	1000	DSK012-PI5
	PI6	40K	70CRI	AR	Black	1000	DSK012-PI6
	PI7	40K	70CRI	AR	Black	1000	DSK012-PI7
	PI8	40K	70CRI	AR	Black	1000	DSK012-PI8
	PI9	40K	70CRI	AR	Black	1000	DSK012-PI9
	PI10	40K	70CRI	AR	Black	1000	DSK012-PI10
	PI11	40K	70CRI	AR	Black	1000	DSK012-PI11

TYPE OD, OE

Ordering Information

Accessories

Shield Accessories

External Shield (EGSR)

House Side Shield (HS)

Drilling

HANDHOLE ORIENTATION

Tenon Mounting Slipfitter

Mounting Type	DSK012	DSK012-PI	DSK012-PI2	DSK012-PI3	DSK012-PI4	DSK012-PI5	DSK012-PI6	DSK012-PI7	DSK012-PI8	DSK012-PI9	DSK012-PI10	DSK012-PI11
DSK012	0.66	0.66	0.66	0.66	0.66	0.66	0.66	0.66	0.66	0.66	0.66	0.66

DSKO Area Luminaire - EPA

Color Temperature	Beam Spread	Mounting	Shipping	Mounting
40K	70CRI	AR	Black	1000

CAUTION: These specifications are intended for general purpose only. Lithonia Lighting reserves the right to change material design, without prior notice, in a continuing effort to upgrade its products.

LITHONIA LIGHTING

One Lithonia Way • Corning, Georgia 30012 • Phone: 1-800-705-SERV (3778) • www.lithonia.com

© 2011-2024 Acuity Brands Lighting, Inc. All rights reserved.

TYPE OD, OE

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's homepage.

LEGEND

- 0.1%
- 0.5%
- 1.0%
- 5.0%
- 10.0%
- 20.0%
- 30.0%
- 40.0%
- 50.0%
- 60.0%
- 70.0%
- 80.0%
- 90.0%
- 100.0%

CAUTION: These specifications are intended for general purpose only. Lithonia Lighting reserves the right to change material design, without prior notice, in a continuing effort to upgrade its products.

LITHONIA LIGHTING

One Lithonia Way • Corning, Georgia 30012 • Phone: 1-800-705-SERV (3778) • www.lithonia.com

© 2011-2024 Acuity Brands Lighting, Inc. All rights reserved.

TYPE OD, OE

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Temp (°C)	Multiplier
0	1.00
5	0.98
10	0.96
15	0.94
20	0.92
25	0.90
30	0.88
35	0.86
40	0.84
45	0.82
50	0.80
55	0.78
60	0.76

Projected LED Lumen Maintenance

Hours	LM-79 LM-80	LM-81
10,000	90%	90%
20,000	85%	85%
30,000	80%	80%
40,000	75%	75%
50,000	70%	70%
60,000	65%	65%
70,000	60%	60%
80,000	55%	55%
90,000	50%	50%
100,000	45%	45%

FAO Dimming Settings

Dimming Level	Dimming Factor	Dimming Curve
0	100%	100%
1	95%	100%
2	90%	100%
3	85%	100%
4	80%	100%
5	75%	100%
6	70%	100%
7	65%	100%
8	60%	100%
9	55%	100%
10	50%	100%

Motion Sensor Default Settings

Series	Occupancy Sensitivity	Occupancy Delay	Occupancy Timeout	Occupancy Delay	Occupancy Timeout
DSK012	30%	100%	100%	10 sec	5 min
NLSR2	30%	100%	100%	10 sec	5 min

Controls Options

Option	Description	Availability	Notes
NO	Photoelectric sensor (PI) is not available for this luminaire.	Not available	
PI	Photoelectric sensor (PI) is available for this luminaire.	Available	
PI2	Photoelectric sensor (PI2) is available for this luminaire.	Available	
PI3	Photoelectric sensor (PI3) is available for this luminaire.	Available	
PI4	Photoelectric sensor (PI4) is available for this luminaire.	Available	
PI5	Photoelectric sensor (PI5) is available for this luminaire.	Available	
PI6	Photoelectric sensor (PI6) is available for this luminaire.	Available	
PI7	Photoelectric sensor (PI7) is available for this luminaire.	Available	
PI8	Photoelectric sensor (PI8) is available for this luminaire.	Available	
PI9	Photoelectric sensor (PI9) is available for this luminaire.	Available	
PI10	Photoelectric sensor (PI10) is available for this luminaire.	Available	
PI11	Photoelectric sensor (PI11) is available for this luminaire.	Available	

TYPE OD, OE

Performance Data

Lumen Output

Series	Model	Beam Spread	Mounting	Shipping	Mounting
DSK012	PI	40K	70CRI	AR	Black
	PI2	40K	70CRI	AR	Black
	PI3	40K	70CRI	AR	Black
	PI4	40K	70CRI	AR	Black
	PI5	40K	70CRI	AR	Black
	PI6	40K	70CRI	AR	Black
	PI7	40K	70CRI	AR	Black
	PI8	40K	70CRI	AR	Black
	PI9	40K	70CRI	AR	Black
	PI10	40K	70CRI	AR	Black
	PI11	40K	70CRI	AR	Black
	PI12	40K	70CRI	AR	Black

TYPE OD, OE

Dimensions

DSK012 with BPA, SPAS, SPAS, SPAN mount

DSK012 with WBA mount

DSK012 with MA mount

DSK012 with SPA (STANDARD ARM) mount

DSK012 with BPA mount

DSK012 with SPAS mount

DSK012 with SPAS mount

DSK012 with SPAN mount

TYPE OD, OE

JUNO Juno Wafer™ LED Downlight Series

4", 6" & 8" LED Ultra-Thin Wafer Switchable Downlight

5CCT Switchable White Downlight

WF4/WF6/WF8 SWSWS Series

Product Features

- Residential and light commercial applications including multi-family, hospital, assisted living, dormitories and other multi-level construction.
- Shallow slim profile allows for easy removal or new construction insulated and drop ceiling installations.
- Weathered and airtight: perfect for showers, bathrooms, and outdoor soffits.

Applications

- Residential and light commercial applications including multi-family, hospital, assisted living, dormitories and other multi-level construction.
- Shallow slim profile allows for easy removal or new construction insulated and drop ceiling installations.
- Weathered and airtight: perfect for showers, bathrooms, and outdoor soffits.

Performance

Delivered Lumens: 670 (WF4), 970 (WF6) and 1640 (WF8)

LED Color Temperature: Switchable White (27K, 30K, 35K, 40K, 50K) Default set at 3000K

CR: 90+

Voltage: Dedicated 120V

Dimming: Dimmable to 10% with 120V

Specifications

Series	Aperture	Ceiling Opening	Overlap Trim	Height
WF4	3.3"	4.25"	5"	1.2"
WF6	5.1"	6.25"	7"	1.2"
WF8	7.2"	8.25"	9"	1.2"

TYPE OF, OG

REVISIONS	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DAVID L. HANSON AND ASSOCIATES, INC.
3940 - 85 STREET
KENOSHA, WI 53142
(262) 654-2010

DATE: 12/20/24

BY: DLH

MILWAUKEE POWERSPORTS SITE LIGHTING PLAN FOR CEDAR CREEK MOTORSPORTS VILLAGE OF RAYMOND, RACINE COUNTY, STATE OF WISCONSIN

PROJECT SHEET E4 OF 5

SHEET INDEX
E1 SITE LIGHTING PLAN
E2 LIGHT FIXTURE SCHEDULE, DETAILS, ENERGY CALCULATIONS
E3 LIGHT FIXTURE CUT SHEETS
E4 LIGHT FIXTURE CUT SHEETS
E5 LIGHT FIXTURE CUT SHEETS

Juno Juno Wafer™ LED Downlight Series
4', 6' & 8' LED Ultra-Thin Wafer Switchable Downlight
SCCT Switchable White Downlight

ORDERING INFORMATION

Example: W6 500K 100W 120V 80-180

Series	Size Style	Color Temperature	Beam Angle	Finish
W4	4" Wafer Thin LED Downlight	SWWS	Switchable White (2700K, 3000K, 3500K, 4000K, 5000K)	ROSE 70-18
W6	6" Wafer Thin LED Downlight			ROSE 70-18
W8	8" Wafer Thin LED Downlight			ROSE 70-18

1. W6 only offered in Rose White finish.

Accessories: Order as separate catalog number:

Series	Description
WF643 PAN	Universal New Construction Pan
WF4 PAN F12	4" New Construction pan, sold pack of 12
WF6 PAN F12	6" New Construction pan, sold pack of 12
WF8 PAN F12	8" New Construction pan, sold pack of 12
WF4B	4" Wafer Thin 1/4" x 1/4" x 1/4"
WF6B	6" Wafer Thin 1/4" x 1/4" x 1/4"
WF8B	8" Wafer Thin 1/4" x 1/4" x 1/4"
WF643 SWIPAN F14	3/16" x 1/4" x 1/4"
WF643 SWIPAN F16	3/16" x 1/4" x 1/4"

1. W6 only offered in Rose White finish.

PERFORMANCE DATA

W4 SERIES	W6 SERIES	W8 SERIES
Input Voltage	120V	120V
Input Power Typical	10W (1/250)	13W (1/250)
Frequency	60Hz	60Hz
UL/ETL	ULC 164, Part 15, Class 1 (Commercial)	ULC 164, Part 15, Class 1 (Commercial)
Minimum Starting Temp	-40°F (-40°C)	-40°F (-40°C)

Lighting Performance Data

DOWNLIGHT SIZE & DIMENSIONS	DOWNLIGHT SIZE & DIMENSIONS	DOWNLIGHT SIZE & DIMENSIONS
4" (102mm) diameter, 1/4" (6mm) depth	6" (152mm) diameter, 1/4" (6mm) depth	8" (203mm) diameter, 1/4" (6mm) depth
1200 lumens @ 1000 lux (1000lm/1000lx)	1800 lumens @ 1000 lux (1800lm/1800lx)	2400 lumens @ 1000 lux (2400lm/2400lx)
1200 lumens @ 2000 lux (600lm/2000lx)	1800 lumens @ 2000 lux (900lm/2000lx)	2400 lumens @ 2000 lux (1200lm/2000lx)
1200 lumens @ 3000 lux (400lm/3000lx)	1800 lumens @ 3000 lux (600lm/3000lx)	2400 lumens @ 3000 lux (800lm/3000lx)
1200 lumens @ 4000 lux (300lm/4000lx)	1800 lumens @ 4000 lux (450lm/4000lx)	2400 lumens @ 4000 lux (600lm/4000lx)
1200 lumens @ 5000 lux (240lm/5000lx)	1800 lumens @ 5000 lux (360lm/5000lx)	2400 lumens @ 5000 lux (480lm/5000lx)

AcuityBrands One Ikonius Way • Conyers, GA 30012 • Phone 1-800-735-SEV (7378) • Visit us at www.acuitybrands.com
Printed in U.S.A. © 2021-2024 Acuity Brands Lighting, Inc. Rev. 12/11/24

TYPE OF, OG

Juno Juno Wafer™ LED Downlight Series
4', 6' & 8' LED Ultra-Thin Wafer Switchable Downlight
SCCT Switchable White Downlight

Specifications

Housing
Polycarbonate injection molded outer frame, with steel back plate. Nonconductive dead-front trim design suitable for a wide range of applications and codes requiring a nonconductive lens. • F14 3-pin plenum rated cable connector to connect from module to remote driver box • Steel spring clip for easy installation. 4", 6" or 8" cut out template is provided to ensure a correct sized hole is cut into ceiling for proper installation of the trim. Size of hole should not exceed 4 1/4" for the W4, 6 1/4" for the W6 and 8 1/4" for the W8. • Can be installed from 5/8" to 1 1/2" ceiling thickness • Can be removed from below the ceiling for service or replacement.

Optical System
Edge™ LED technology uses light-guided plate to distribute light • Polycarbonate lens provides even illumination throughout the space • Efficient system that can produce over 670 lumens while using 9W (W4), 970 lumens while using 13W (W6) and 1440 lumens while using 19W (W8) • Replaces 65W incandescent (W4), 75W incandescent (W6) and 100W incandescent (W8).

Life
Rated for 50,000 hours at 70% lumen maintenance.

Labels
CSA certified to US and Canadian safety standards • ENERGY STAR™ certified product • Suitable for wet location, covered ceiling • AULOC certified in accordance with ASTM E283-2004 • NDM Certified • Can be used to comply with California Title 24 Part 6 High Efficiency LED Light Source Requirements • U.S. Patent No. 10,681,784.

Testing
All reports are based on published industry procedures; field performance may differ from laboratory performance.

Driver
Connect directly to 120V Class 2 (CAN ICES-005 [B] / NMB-005 [B]) LED driver • 120V 60Hz constant current driver provides noise free operation • IC rated driver with convenience of a switch to choose between 5 selectable color temperature options ranging from 2700K (warm white), 3000K, 3500K, 4000K or 5000K (daylight) • The isolated driver is integrated inside steel remote box with four 7/8" knockouts with slots for ground. Suitable for pulling wires with the 12 conductor wiring compartment to accommodate up to (6) 14 gauge insulated conductor or (4) 12 gauge insulated conductors, making the Wafer LED Downlights much easier to wire in 2x4/2x6 (plus ground) dry-chain applications and contractor friendly • 2" plenum space required for the installation of the W4 driver box • Suitable for installation in tgrid and drop ceiling applications with universal new construction pan.

Warranty
5 year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

AcuityBrands One Ikonius Way • Conyers, GA 30012 • Phone 1-800-735-SEV (7378) • Visit us at www.acuitybrands.com
Printed in U.S.A. © 2021-2024 Acuity Brands Lighting, Inc. Rev. 12/11/24

TYPE OF, OG

REVISIONS	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DAVID L. HANSON AND ASSOCIATES, INC.
3940 - 85 STREET
KENOSHA, WI 53142
(262) 654-2010

DATE:
12/20/24

BY:
DLH

PROJECT
MILWAUKEE POWERSPORTS
SITE LIGHTING PLAN
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, RAGINE COUNTY, STATE OF WISCONSIN

SHEET
E5
OF 5

SHEET INDEX
E1 SITE LIGHTING PLAN
E2 LIGHT FIXTURE SCHEDULE, DETAILS, ENERGY CALCULATIONS
E3 LIGHT FIXTURE CUT SHEETS
E4 LIGHT FIXTURE CUT SHEETS
E5 LIGHT FIXTURE CUT SHEETS

CONTRACT NOTES:
 THIS LANDSCAPE PLAN HAS BEEN CREATED BY THOMAS NORDLOH ASSOCIATES LANDSCAPE ARCHITECTURE AND IS PROTECTED BY U.S. COPYRIGHT LAW. UNAUTHORIZED USE OF THIS PLAN AND/OR MATERIALS IS STRICTLY PROHIBITED. ANY REVISIONS OR MODIFICATIONS TO THIS PLAN MUST BE APPROVED BY THOMAS NORDLOH ASSOCIATES LANDSCAPE ARCHITECTURE, LLC.



No.	Revision/Issue	Date
1		
2		
3		
4		

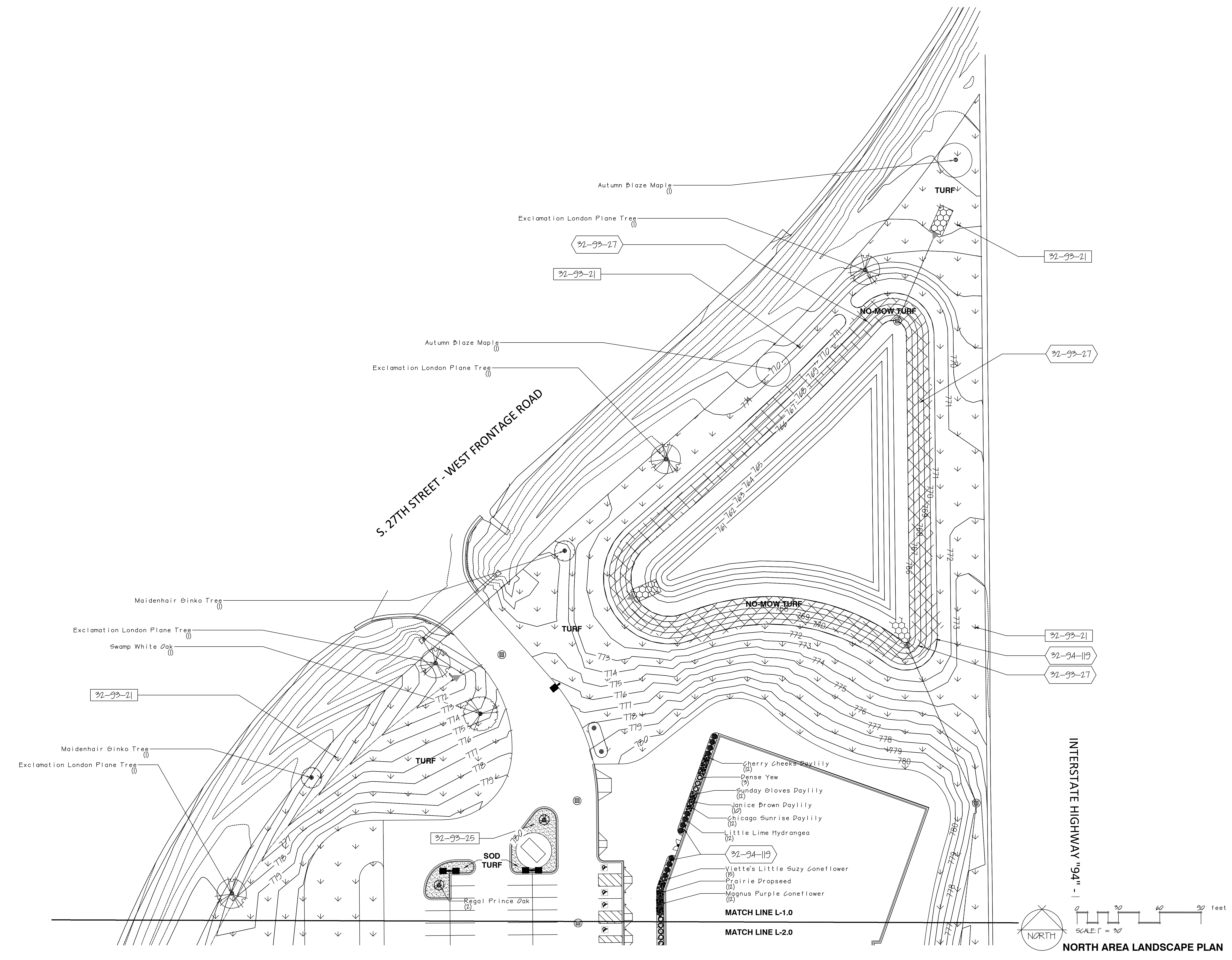
**LANDSCAPE PLAN
 MILWAUKEE POWERSPORTS
 RAYMOND, WISCONSIN**

Thomas H. Nordloh
 Landscape Architect
 Reg. # 057-000624

Project: **20241212**
 Date: **12-26-24**

Scale:
 Sheet

L-1.0



COPYRIGHT NOTICE
 THIS LANDSCAPE PLAN HAS BEEN CREATED BY THOMAS NORDLOH ASSOCIATES LANDSCAPE ARCHITECTURE. ANY REPRODUCTION OR USE OF THIS PLAN OR ANY PART OF IT WITHOUT THE WRITTEN PERMISSION OF THOMAS NORDLOH ASSOCIATES LANDSCAPE ARCHITECTURE IS STRICTLY PROHIBITED. ANY UNAUTHORIZED USE OF THIS PLAN OR ANY PART OF IT IS SUBJECT TO LEGAL ACTION.



No.	Revision/Issue	Date
1		
2		
3		
4		

**LANDSCAPE PLAN
 MILWAUKEE POWERSPORTS
 RAYMOND, WISCONSIN**

Thomas H. Nordloh
 Landscape Architect
 Reg. # 057-000629

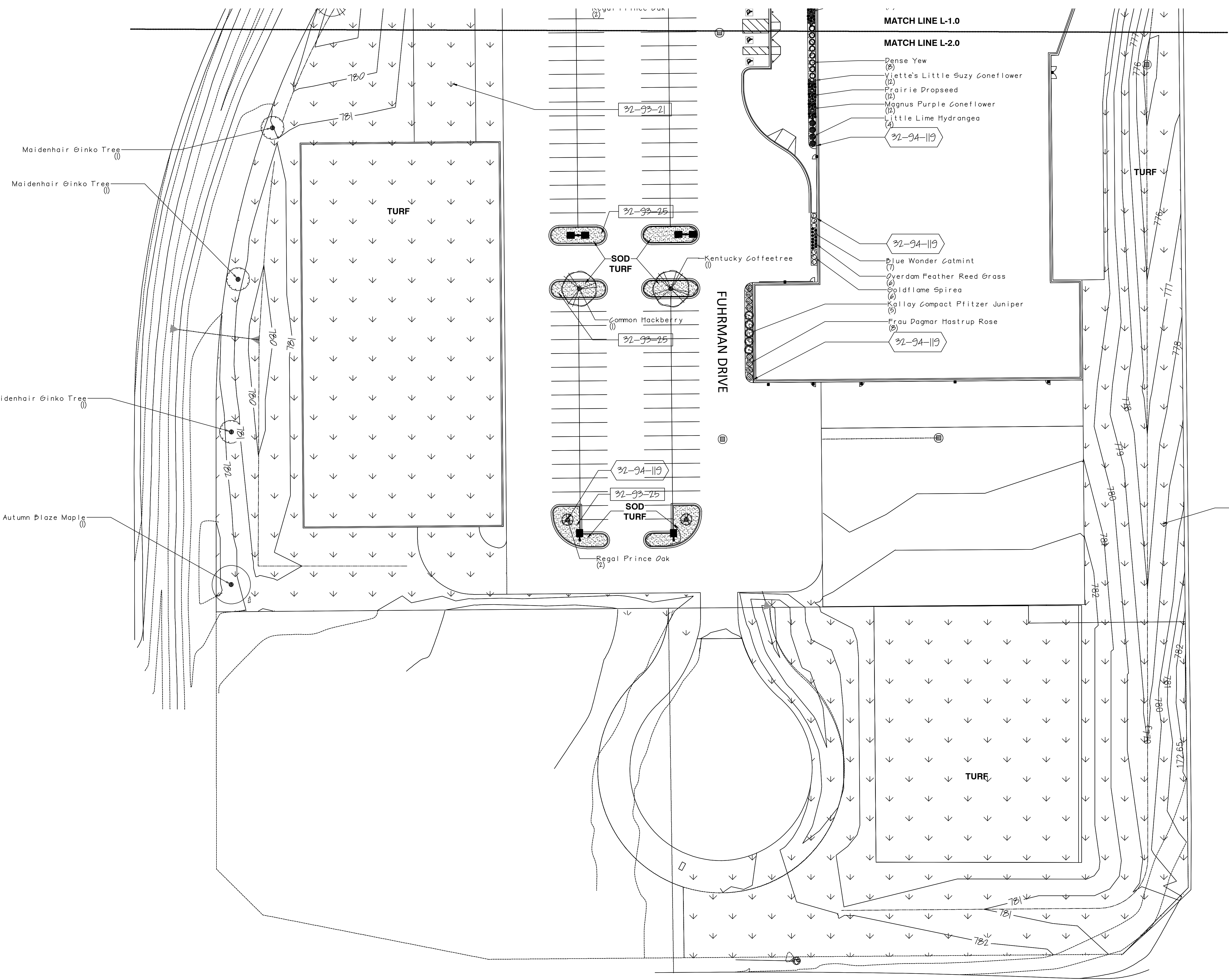
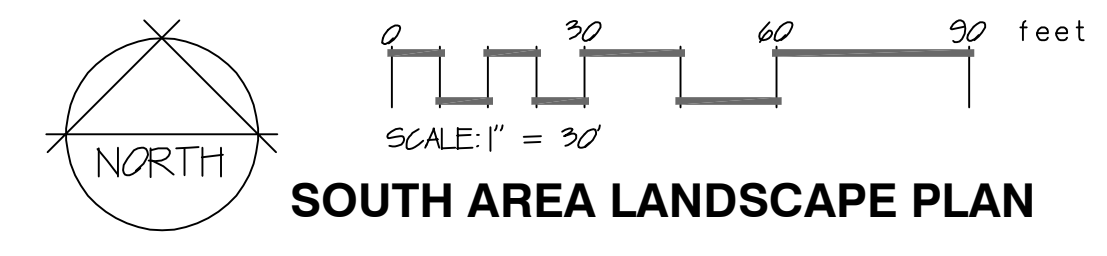
Project **20241212**
 Date **12-26-24 1**

Scale
 Sheet

L-2.0

INTERSTATE HIGHWAY/UNITED STATES HIGHWAY "41"

COUNTY TRUNK HIGHWAY "K"



COPYRIGHT NOTICE
 THIS LANDSCAPE PLAN HAS BEEN CREATED BY THOMAS NORDLOH ASSOCIATES LANDSCAPE ARCHITECTURE. UNAUTHORIZED USE OF DIGITAL AND/OR PRINTED REPRODUCTIONS OF THIS PLAN AND/OR ANY PART THEREOF IS STRICTLY PROHIBITED UNLESS WRITTEN PERMISSION IS OBTAINED BY THOMAS NORDLOH ASSOCIATES LANDSCAPE ARCHITECTURE, LLC.

DATE	
REVISION/ISSUE	
NO.	1 2 3 4

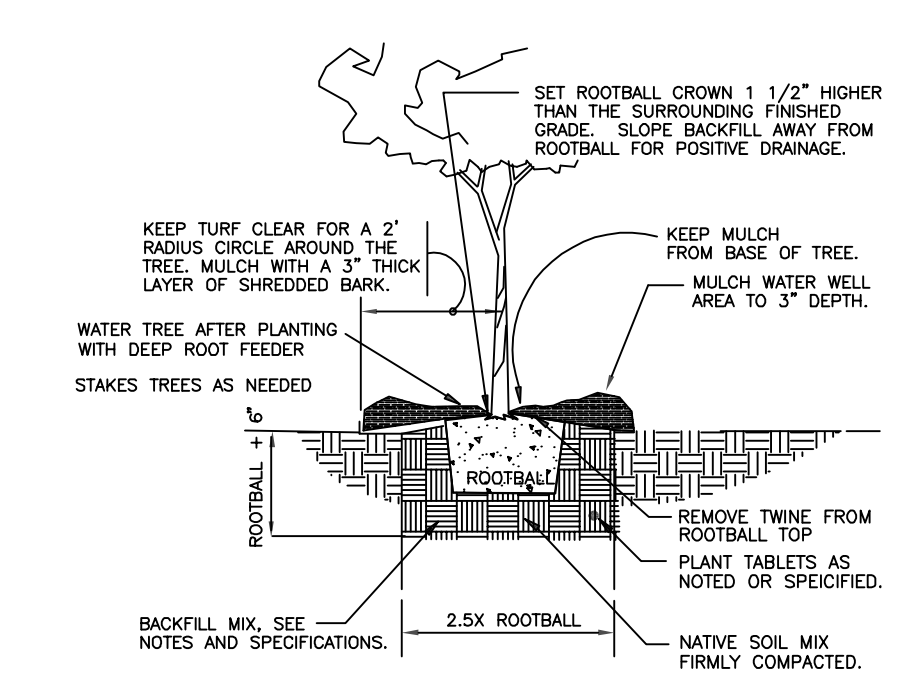
- GENERAL LANDSCAPE NOTES;**
1. Topsoil return to depth of 6" minimum is by excavating contractor. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.
 2. Always contact Diggers Hotline (800-242-8511) or JULIE 811 (or 1-800-892-0123) before proceeding with any work.
 3. Landscape contractor is required to visit the site and review all civil plans related to the project. The civil plans take precedence over the landscape plans.
 4. Plant material to be of the highest quality available and should not include # 2 grade trees, evergreens or shrubs. Landscape contractor is to verify plant quantities Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by city forester.
 5. Planting beds shall receive a 3" layer of high quality non-dyed shredded hardwood mulch. 3" diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive between a 1-2" layer of shredded bark mulch.
 6. Spade cut plant beds and tree rings with a 4" deep shovel cut.
 7. Perennial and annual beds to have a 2" layer of compost mulch incorporated 6" deep into the planting bed before installation of plants.
 8. Seeded lawn areas to have high quality Bluegrass seed blend for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on fertilizer application rates.
 9. Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade. Peat sod is not acceptable.
 10. Erosion blanket shall be installed using 90 day single net, double net or Turf Reinforcement Mats shall be installed per the required use. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1st) or mid-summer installations or where ever applicable to promote healthy turf establishment.
 11. Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth of the landscape.
 12. If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. Seed areas may require additional time for proper establishment.
 13. Warranty of plants, trees, evergreens, shrubs shall be for a period of 18 months from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.

REFERENCE NOTES SCHEDULE OVERALL LANDSCAPE

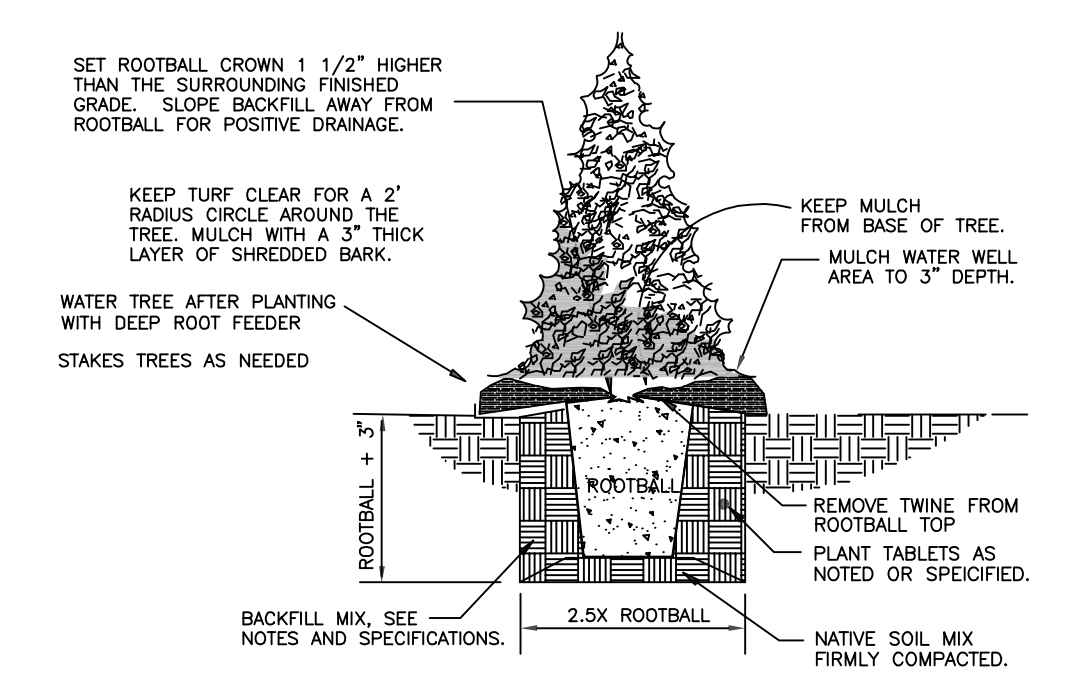
CODE	DESCRIPTION	QTY
Planting		
32-93-21	SHORT TERM DOUBLE NET STRAW EROSION CONTROL BLANKET OVER MULCH BEFORE INSTALLING PLANTS, INSTALL WITH METAL STAKES FULLY INSTALLED IN SOIL. DO NOT USE LONG TERM EROSION BLANKET.	233,512 sf
32-93-25	BLUEGRASS SOD, MINERAL BASED ONLY, PEAT SOD IS NOT PERMITTED	3,408 sf
32-93-27	NO-MOW FESCUE AND DN SHORT TERM EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. LONG TERM AND GREEN NETTED BLANKET AND BENT OVER STAPLES WILL NOT BE ACCEPTED	123,331 sf
Planting Accessories		
32-94-119	SHREDDED BARK MULCH, 3-4" DEPTH	1,466 sf
32-94-136	3" DIAMETER MULCH TREE RING	19

PLANT SCHEDULE OVERALL LANDSCAPE

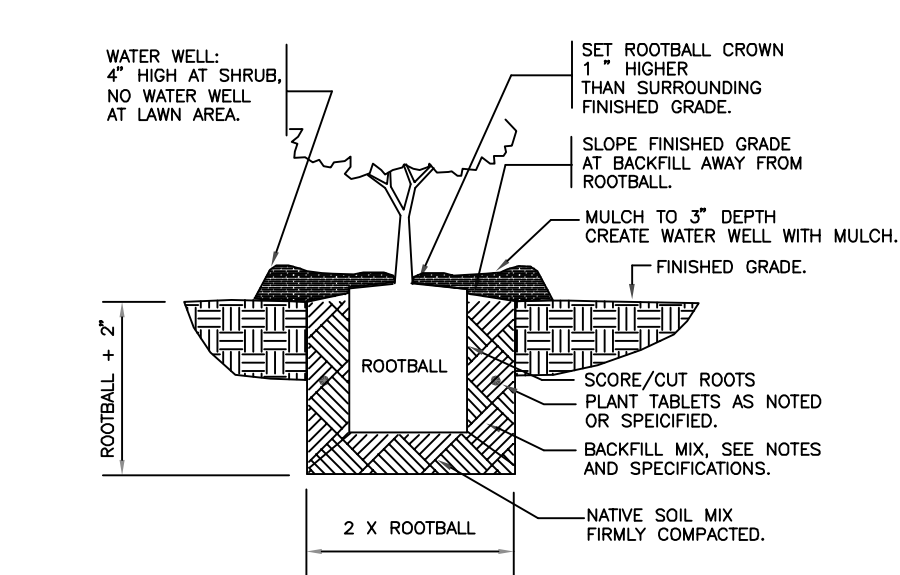
COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER	QTY
TREES				
Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2" Cal.	B&B	3
Common Hackberry	Celtis occidentalis	2" Cal.	B&B	1
Maidenhair Ginkgo Tree	Ginkgo biloba 'Autumn Gold' TM	2" Cal.	B&B	5
Kentucky Coffeetree	Gymnocladus dioica 'Espresso'	2" Cal.	B&B	1
Exclamation London Plane Tree	Platanus x acerifolia 'Exclamation' TM	2" Cal.	B&B	4
Swamp White Oak	Quercus bicolor	2" Cal.	B&B	1
Regal Prince Oak	Quercus x warei 'Regal Prince'	2" Cal.	B&B	4
SUBTOTAL:				19
SHRUBS				
Little Lime Hydrangea	Hydrangea paniculata 'Little Lime'	3 gal.		16
Frau Dagmar Hastrup Rose	Rosa rugosa 'Frau Dagmar Hastrup'	3 gal.		8
Goldflame Spirea	Spiraea x bumalda 'Goldflame'	3 gal.		6
SUBTOTAL:				30
GRASSES				
Overdam Feather Reed Grass	Calamagrostis x acutiflora 'Overdam'	1 gal.		6
Prairie Dropseed	Sporobolus heterolepis 'Tara'	1 gal.		24
SUBTOTAL:				30
ANNUALS/PERENNIALS				
Magnus Purple Coneflower	Echinacea purpurea 'Magnus'	1 gal.		24
Cherry Cheeks Daylily	Hemerocallis x 'Cherry Cheeks'	1 gal.		12
Chicago Sunrise Daylily	Hemerocallis x 'Chicago Sunrise'	1 gal.		12
Janice Brown Daylily	Hemerocallis x 'Janice Brown' TM	1 gal.		10
Sunday Glories Daylily	Hemerocallis x 'Sunday Glories'	1 gal.		12
Blue Wonder Catmint	Nepeta x faassenii 'Blue Wonder'	1 gal.		7
Viette's Little Suzy Coneflower	Rudbeckia fulgida speciosa 'Viette's Little Suzy'	1 gal.		27
SUBTOTAL:				104
SHRUB EVERGREENS				
Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	5 gal.		5
Dense Yew	Taxus x media 'Densiformis'	24"		11
SUBTOTAL:				16



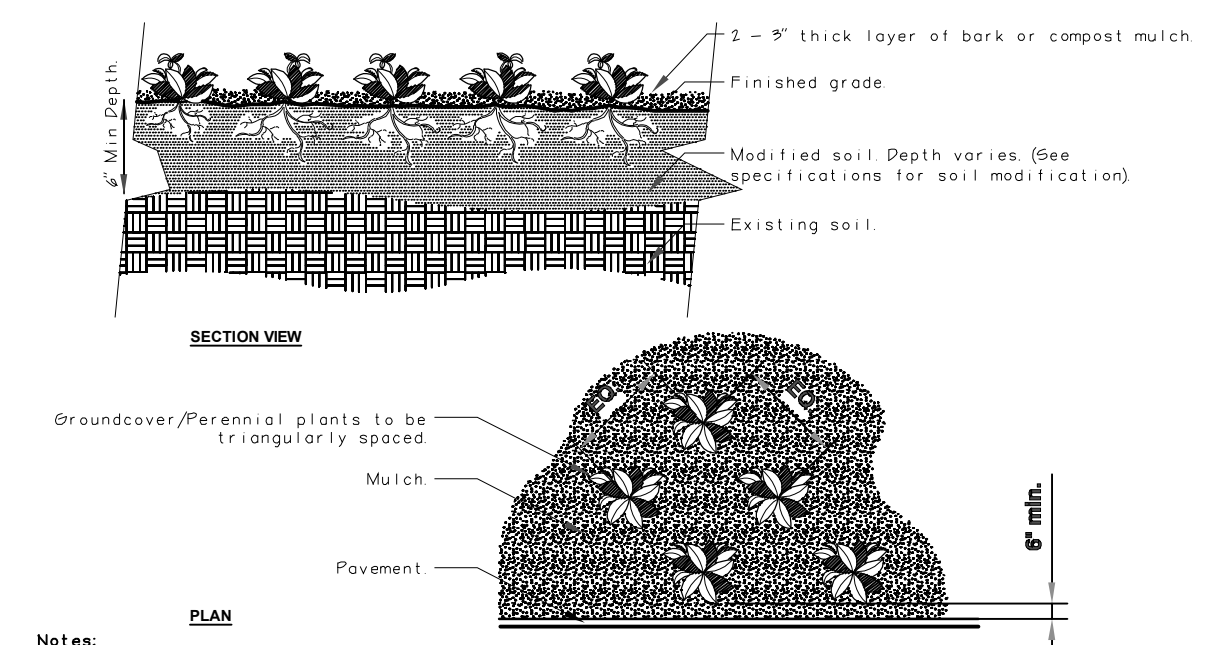
101 TREE PLANTING DETAIL
 1/4" = 1'-0"



102 EVERGREEN PLANTING DETAIL
 1/4" = 1'-0"



103 SHRUB PLANTING
 1/4" = 1'-0"



104 GROUND COVER AND PERENNIAL DETAIL
 3/4\"/>

PLAN COMMISSION REPORT

Proposal:	Park & Open Space Plan for the Village of Caledonia: 2050
Description:	Review and make a recommendation regarding the proposed update to the Village's Park & Open Space Plan.
Applicant(s):	Village of Caledonia
Address(es):	n/a
Suggested Motion:	That the Plan Commission recommends to the Village Board that the Park & Open Space Plan for the Village of Caledonia: 2050 be adopted as presented.

Background

The Village of Caledonia has maintained a Park and Open Space Plan since 1989, with multiple updates over the years. The plan currently under review by the Plan Commission represents the fourth edition of this plan. The primary purpose of this plan is to provide a strategic framework for the development, design, and management of the Village's parks and natural areas. It aims to enhance the quality of life for residents and visitors by ensuring recreational opportunities, preserving green/open spaces, and sustainability is prioritized.

Plan Development and Public Engagement

In 2024, the Village Parks & Recreation Advisory Committee was tasked with updating the plan. To assist in this process, the Village collaborated with the Southeastern Wisconsin Regional Planning Commission (SEWRPC). Throughout the summer, SEWRPC, the Parks & Recreation Advisory Committee, and Village staff worked together to design an inclusive and effective planning process that engaged the community.

To gather public input, Village staff developed an online survey and placed QR codes throughout the park system, at Village Hall, and on social media platforms such as Facebook. This approach allowed residents to share their feedback and priorities for the future of Caledonia's parks and open spaces. Over 500 individual responses were received. Survey results can be found in the plan's appendix. The Village also hosted an open house on February 19th providing the public the opportunity to learn more about the plan and share their opinions on the plan.

Plan Overview

The updated Park and Open Space Plan is structured into five chapters and four appendices, offering a detailed inventory of the Village's parks, open spaces, and amenities. Additionally, the plan outlines specific goals and objectives for both the short-term (five years) and long-term (twenty-five years), ensuring a comprehensive vision for the Village's recreational and natural spaces.

Review and Recommendation:

The Parks and Recreation Advisory Committee reviewed the updated plan during their meeting on February 11th, 2024. The committee reviewed and recommended that the Village Board adopt the plan as presented.

If the Plan Commission finds the proposed Park and Open Space Plan satisfactory, staff has prepared a motion recommending that the Village Board formally adopt the updated plan.

Respectfully submitted:


Peter Wagner, AICP
Development Director

Date Received Commentor Comment

2/17/2025 Marla could I get the following information: How was the questionnaire distributed to the public? How many total Caledonia Residents completed the questionnaire? Can I get a rough location of where those respondents live in Caledonia?

2/25/2025 Lisa I'd like to see native flowers planted in the county area on Lake Michigan at the corner of 5 1/2 Mile and Charles Street. I would be willing to help. I may be able to secure a grant to purchase native seeds and plants.

2/25/2025 Lisa I would like all new subdivisions to be required to have a park and or green space. Recently at least two propose subdivisions were deemed to be exempt from having the previously required green space and I think that is a mistake.

3/9/2025 Darlene We live here in Caledonia and own e-bikes but because the trail situation here isn't very good at all, we actually load up our bikes and go to Illinois where they have BEAUTIFUL trails to enjoy. Land set aside for people to enjoy bike riding, walking etc. (beautiful parks). Not everyone can physically walk any distance or want to ride horses so e-bikes are a wonderful alternative to get (especially older people) out of the house. Unfortunately there isn't ANYTHING around here during the cold weather for us to do but that too is for another time. I as a biker ride avoid the "bike lanes" as they prove too dangerous to use and unfortunately use sidewalks instead. Crossing most of the roads prove not to be a good situation for bikers. The way the current trails are you can't avoid the crossing the roads. And the trail right now from 6 Mile to County Line Road you are forced to use what is marked as a "bike trail" (Douglas Ave.) which as you can imagine just how dangerous that can prove to be. The bike trail ends at 6 Mile Road and to connect with Milwaukee County you are taking matters (your own safety) into your own hands. It is really unfortunate that the trails are so "broke up" and one cannot enjoy a simple, safe bike ride. And having to ride on sidewalks is not the answer either but riding on the roads is just too dangerous. When someone asks me where I ride my bike, I tell them that I go to Illinois to enjoy a nice, safe ride. I can also say, for the most part I'm not impressed with Kenosha trails either. The idea is to get us "old folks" and everyone in general out to enjoy fresh air, exercise, meet people etc but Caledonia fails terrible. Caledonia is not a very "resident" friendly place to be in regards to having things to do or enjoy. Just putting in my "two cents" for what it is worth. Thanks

3/9/2025 Danielle I live in pioneer trails. This neighborhood is flooded with children of all ages. As a new mom, taking a simple walk in this neighborhood can be challenging. For one, we have no side walks. Cars have been seen flying down the street at all hours of the day, I was almost hit while walking my 1.5 year old daughter. Two, we have open spaces begging to be used as a park. Please consider us when planning to build more neighborhood parks.

3/13/2025 Sharon Honestly, I did not read all 181 pages of the park proposal. It's overwhelming & confusing. Residents would like a dog park. Both Gorney & Crawford seem to have space to create fenced in areas of paths, trees/shade and recreational area for dogs & residents to enjoy a good walk or workout. Caledonia is lacking in this benefit for residents. PLEASE BUILD A DOG PARK. (Not cursing, just want request noticed). Thank you for your consideration. The current park on Hwy 38 has too many risks of fungal infections in the wet areas.

3/13/2025 Julia Please add a dog park to Crawford

from Tom Willis 2/24/25 which is included below in quotations, I am replying to his dates in his email where he states that the public was properly notified 1/9/2024, 2/13/24, 4/9/24, 9/10/24, 10/8/24, 11/12/24, 1/14/25, 2/11/25. 1/9/24 Park and Open Space Plan – This meeting was purely a discussion and Review of Bike/Trail Systems funding opportunities available like the Stewardship Grant. 2/13/24 Park and Open Space Plan – Review Proposed Timeline for Plan Update. Bryan Walter and Rochelle Brien with SEWRPC presented to the Committee about the timing and general information for the update to the Parks and Open Space Plan. The plan would take about 1 year to complete and include public input, committee interaction and cooperation, surveys, and more. The Committee asked questions about types of public engagement, notices, and budget which created discussion between SEWRPC, Staff and the Committee. Staff described the process being similar to the Crawford Master Plan and that completing this update assists with grants. No motions made or required. 4/9/24 Park and Open Space Plan – Review Draft Survey Todd Roehl presented the draft survey that will be utilized online and provided at our parks with a QR code link. Discussion amongst the committee occurred. No motion required. 9/10/24 Review and discuss the first 2 chapters of the Updated Park and Open Space Plan. Motion made by Pagel to take this item out of order and revisit after Item 4a. Seconded by Larry Pedrazoli. All aye. Now as the last item on the agenda, SEWRPC staff Brian Walter and Kendall Johnson made a small presentation summarizing the first two chapters of the updated Park and Open Space Plan. General discussion occurred by the committee and SEWRPC supporting the POSP as a framework for future development of Village Parks. The next 2 chapters would be available for the November 12 meeting. No motion required. 10/8/24 Review and discuss the Park and Open Space Plan comments from past meetings in preparation for November Meeting. Staff presented the copy of the current POSP chapter 4 tables with proposed amenities. Staff also described what was considered removed from the last year’s meetings regarding each park and what may or may not be a recommended feature for the park moving forward. Staff provided this as homework to the committee to bring back prior to the future November meeting so that SEWRPC and the Committee can have a good conversation. Minor discussion occurred. No motion required. 11/12/24 Review and discuss the Park and Open Space Plan Chapters 3 and 4. Brian with SEWRPC presented the summary of the new Chapters 3 and 4 for the Park and Open Space Plan. The

3/18/2025 Dorothy

One piece of public land (county owned) in Caledonia is unaccounted for. It’s the end of 5 1/2 Mile on Charles Street. It is environmentally sensitive (drains directly into the lake). I’d like to propose having native plants put in that require minimal management.

3/21/2025 Lisa

7 Mile Road was cut off a few years ago. It would be great if an elevated walkway bridge could be built over it so that bicyclist and pedestrians living east of Douglas Avenue would have a safe way to connect with the trails around We Energies. 6 Mile Road could be taken to Michna Road and then the elevated path would give safe passage connecting to the trail opening at 7 Mile (west of railroad tracks).

3/22/2025 Lisa

.....
Mile from HY 31 and drive West to HY 38 there is access to 4 parks and conservation areas in less .25 mile increments. I stopped there on 3/23/25 and no one was present at any of this open space, they were empty; no children playing, no one walking dogs, no one hiking. It felt very isolated and most of the locations did not allow dogs. The largest Park in the Village of Caledonia is Cliffside park which is equally isolated and especially crime ridden in the Summer months...I know because I live near this park and we have called in multiple times for suspicious vehicles, drug dealers, and prostitution in vehicles. This park is primarily a park used by a Christian group on Monday nights for baseball and for little leagues, pony leagues, and baseball tournaments yet the facilities are terrible and I would never allow any child to use those bathrooms unsupervised (built in the 1970's); these bathrooms are dark, isolated, cold, and writh with drug paraphernalia. The campground bathrooms and park facilities are similar and need updating. There is a rough soccer field with no nets, and a poor basketball court. The woods are used for random homeless and is so isolated that people from out of state and locals go there to shoot their guns; just yesterday my husband and I were going for a walk and planned to walk the wood and we heard a handgun go off near the lake bank so we turned around and left. In addition, mud ponds were put in place of marsh meadow which eliminated much of the wildflowers and milkweed replacing an important stopping ground for monarchs and breeding grounds for wood cocks. These ponds do not attract water fowl as most water fowl use Lake Michigan which is 500 feet away! The ponds have increased the water flowing to the ravines and have made a mess of passages along with devastating the lake banks at an accelerated rate. Whose great idea was this to put in ponds that accelerate the damage to the greatest asset of the Village of Caledonia. Caledonia has allowed We Energies to destroy and pollute Cliffside Parks lake banks without anyone at the Village doing anything to make them accountable...the Village of Caledonia CAN DO BETTER! The placement of the most recent plant has cause all the sand to disappear allowing our cliffs to be eroded at around 10 feet per year without anyone pushing back on them to pay for damages to the cliff of our Village. The greatest asset of the people of the Village of Caledonia is our shoreline along Cliffside Park but there is no access to it...everyone wants access at Chappla Park but the Village does nothing to serve the people of Crestview so they can access the shoreline; we need an access at Chappla Park! There is another access point at Novak and Charles street but the Village hasn't

3/26/2025 Dorothy

There need to be pickleball courts built immediately if not sooner. I brought the issue of the lack of dedicated pickleball courls over 8 years ago with other individuals meeting with the park committee. It is shameful that the lack of pickleball courts in our community. Every city around Celedonia has built pickleball courts for theie residents and yet Caledonia has dragged and dragged it's feet in building courts for the fastest growing sport in America. Thier needs to be at least 4 to 6 or more dedicated courts for players to use. Caledonia has underserved that part of it's residents. Shame.

3/26/2025 John

Hi I moved here a couple years ago and have been having to travel for t ball for my children! I would really love if our town of Caledonia had t ball through the park and rec department

3/27/2025 Kaitlin

Dorothy Bocciardi

3.18.25

This is in addition to my email dated 2/24/25 to Tom Weatherson and Jennifer Bass and email I received from Tom Willis 2/24/25 which is included below in quotations, I am replying to his dates in his email where he states that the public was properly notified 1/9/2024, 2/13/24, 4/9/24, 9/10/24, 10/8/24, 11/12/24, 1/14/25, 2/11/25. 1/9/24 Park and Open Space Plan – This meeting was purely a discussion and Review of Bike/Trail Systems funding opportunities available like the Stewardship Grant. 2/13/24 Park and Open Space Plan – Review Proposed Timeline for Plan Update. Bryan Walter and Rochelle Brien with SEWRPC presented to the Committee about the timing and general information for the update to the Parks and Open Space Plan. The plan would take about 1 year to complete and include public input, committee interaction and cooperation, surveys, and more. The Committee asked questions about types of public engagement, notices, and budget which created discussion between SEWRPC, Staff and the Committee. Staff described the process being similar to the Crawford Master Plan and that completing this update assists with grants. No motions made or required. 4/9/24 Park and Open Space Plan – Review Draft Survey Todd Roehl presented the draft survey that will be utilized online and provided at our parks with a QR code link. Discussion amongst the committee occurred. No motion required. 9/10/24 Review and discuss the first 2 chapters of the Updated Park and Open Space Plan. Motion made by Pagel to take this item out of order and revisit after Item 4a. Seconded by Larry Pedrazoli. All aye. Now as the last item on the agenda, SEWRPC staff Brian Walter and Kendall Johnson made a small presentation summarizing the first two chapters of the updated Park and Open Space Plan. General discussion occurred by the committee and SEWRPC supporting the POSP as a framework for future development of Village Parks. The next 2 chapters would be available for the November 12 meeting. No motion required. 10/8/24 Review and discuss the Park and Open Space Plan comments from past meetings in preparation for November Meeting. Staff presented the copy of the current POSP chapter 4 tables with proposed amenities. Staff also described what was considered removed from the last year's meetings regarding each park and what may or may not be a recommended feature for the park moving forward. Staff provided this as homework to the committee to bring back prior to the future November meeting so that SEWRPC and the Committee can have a good conversation. Minor discussion occurred. No motion required. 11/12/24 Review and discuss the Park and Open Space Plan Chapters 3 and 4. Brian with SEWRPC presented the summary of the new Chapters 3 and 4 for the Park and Open Space Plan. The presentation concluded with a park by park review of items that were considered short term and long term goals. The committee discussed each park in length, minus Crawford since that was recently subject to a Master Plan, utilizing discussions from previous park meetings and feedback from SEWRPC. Comments were noted by Brian for changes to add or subtract certain goals and would be addressed in the final report. 1/14/24 Review and Discuss the Park and Open Space Plan Chapter 5 Brian Walter with SEWRPC presented the Chapter 5 slide show presentation to the committee summarizing the previous meetings discussion and the information provided in the draft chapter 5. Development Director Wagner added the anticipated timeline for the committee and further explained the functionality of the POSP. No motion required. 2/11/24 A Park and Open Space Plan for the Village of Caledonia 2050: Review and consider a recommendation to approve the updated Park and Open Space Plan. Bryan Walter with SEWRPC presented a slide show summarizing the efforts made by the Village, SEWRPC, and the Parks Committee on the Final Draft of the 2050 Park and Open Space Plan. Minor discussion occurred amongst the committee after the presentation. Motion was made by Christian De Jong to recommend to the Village Board to approve the 2050 Park and Open Space Plan. Seconded by Eugene Pagel. All aye. I took the time to summarize the above meetings as I feel that there was disconnect in timeliness of community involvement. At the 2/13/24 meeting: minutes state, there was discussions of how this the Parks commission was

going to have community involvement (see meeting 2/13/24 meeting minutes above): "take about 1 year to complete and include public input, committee interaction and cooperation, surveys, and more). When I pull the agenda & minutes from the Village of Caledonia website the Draft Minutes show the following timeline: 1. The Parks department approved the Updated Parks and Open Space Plan on 2/11/25. 2. Open house for the public was held on 2/19/25. (Why was an open house held a week after the plan was already approved by the Parks department?). 3. Plan was fast passed on 2/24/25 for a vote by the Planning Commission. a. On February 5, 2025 – Information was posted on the Village's main page about the upcoming Park and Open Space Plan open house. b. On roughly February 10, 2025 – information related to the Park and Open Space Plan and open house was uploaded to the Village's Zoning Hub. c. On roughly February 12, 2025 – The graphic that is currently on the Village's main page was added to the previously posted information. 4. Note: This timeline made it impossible for the public to voice their concerns at the open house prior to the Parks department approving the plan. Per Todd Willis' response to my email (see below), "As shown above, all these items were completed well before the required 24-hour notice threshold for a normal meeting of an elected body in the Village. Since this was not a "meeting" by definition, and no quorum of any duly elected body was present, no actual notice requirements were required"... Parks Commission approved the plan 2/11/25 and the Open House to the Public was 2/19/25, this commission is there to represent the public that they serve, not less than 1% of the population they took a survey from. They did not take a year to get community involvement, this plan states weighted calculations in Appendix D, Questions 6, 8, and 13. You took responses from less than 1% of the population, 534 people, and weighted their answers to get the percentage which are misstated on pages throughout this document, specifically stating on page 90...."Over 80 percent of respondents felt that preserving natural spaces was somewhat or very important..." which is direct conflict with Appendix D, Question 8 which shows that people want: More amenities (31%) or features in existing parks. Better maintenance of existing parks (22%). See Appendix D, Question 6 (NUMBERS DO NOT ADD UP / why is this is a WEIGHTED Calculation? "534 people selected all that apply" Yet you took the denominator based on 534 people vs. 2,153 selections, skewing the percentages?" example: (A) Corrected Number of Responses and (B) Village of Caledonia Calculation Answers, # of responses corrected, % Town's calculated % Walking/Jogging, 365, Correct %: 17% Incorrect %: 68.4 Hiking, 139, Correct %: 6%, Incorrect %: Incorrect %: 26.0% Enjoying nature, 290, Correct %: 13% Incorrect %: 54.3% I have discussed our parks plan with several land consultants and other villages' commissioners and they told me their towns & villages have well defined plans as to land that they put forth for future developments. See Map 4.1 Village of Caledonia Land Use Plan - I am formally requesting that you remove our land from the "Isolated Natural Resource Area" designation. This designation is restrictive, aggressive, and UnAmerican. This is big state over reaching into my property rights. The open space in this village IS DUE TO old families like ours who have stewards of this land for over 150 years and have worked to preserve our lands, under our stewardship they have survived, and we will not let liberal big government knock on our back door through a greedy grab by designating our families land worthless and unbuildable for future generation. The Michna family has been here for 150 year and will dam well be here for another 150 years under my watch. My lawyer is in copy of this communication. We need the Village to slow down and sure everyone has a chance to comment, especially the property owners who are affected by this new "Caledonia Park and Open Space Plan". I In October we went in front of the Sewer Commission with a proposal and what is shown here is completely at odds with their position to my land. We are being told one thing by the Village of Caledonia Utility District with regards to our property and you are moving forward to approve a completely contradictory plan within the Caledonia Park and Open Space Plan. Slow Down. Included here is an email from Todd Willis, Village of Caledonia Town Administrator: "I am responding to the email that you recently sent to the Village Clerk. While I am not going to disagree with you checking on the website regularly, I did have staff investigate when specifically, things were posted to the website related to the Park and Open Space Plan open house. Here is what I found: On February 5, 2025 – Information was posted on the Village's main page about the upcoming Park and Open Space Plan open house.

On roughly February 10, 2025 – information related to the Park and Open Space Plan and open house was uploaded to the Village’s Zoning Hub. On roughly February 12, 2025 – The graphic that is currently on the Village’s main page was added to the previously posted information. This open house was not a meeting, but an open house style presentation of the Park and Open Space Plan for the public to view, ask questions, and make comments. As shown above, all these items were completed well before the required 24-hour notice threshold for a normal meeting of an elected body in the Village. Since this was not a “meeting” by definition, and no quorum of any duly elected body was present, no actual notice requirements were required: Wis. Stat. 19.82(2) - “Meeting” means the convening of members of a governmental body for the purpose of exercising the responsibilities, authority, power or duties delegated to or vested in the body. If one-half or more of the members of a governmental body are present, the meeting is rebuttably presumed to be for the purpose of exercising the responsibilities, authority, power or duties delegated to or vested in the body. The term does not include any social or chance gathering or conference which is not intended to avoid this subchapter, any gathering of the members of a town board for the purpose specified in s. 60.50 (6), any gathering of the commissioners of a town sanitary district for the purpose specified in s. 60.77 (5) (k), or any gathering of the members of a drainage board created under s. 88.16, 1991 stats., or under s. 88.17, for a purpose specified in s. 88.065 (5) (a). The Village’s Parks and Recreation Advisory Committee has properly noticed and placed on the agenda discussion of various chapters, maps, and the survey for the current preliminary Park and Open Space Plan up for review by the Plan Commission tonight on February 24, 2025. The dates which the Parks and Recreation Advisory Committee discussed the makeup of the document were: 1/9/2024, 2/13/24, 4/9/24, 9/10/24, 10/8/24, 11/12/24, 1/14/25, 2/11/25. Based on the number of meetings and the length of time that the Parks and Recreation Advisory Committee has reviewed the chapters and elements of the document, I don’t think the Village has rushed and has allowed ample amount of time for public input. It is unfortunate that Mr. Bocciardi and yourself will be out of town, but the placing of this item on an agenda would have nothing to do with his absence since we do not ask for members of the any committee or board to provide a calendar. I will say that I take very seriously that items follow the correct path to completion, and that every opportunity is given for public input on any topic, and this item had reached the endpoint with the Parks and Recreation Advisory Committee at their last meeting on February 11, 2025. In your email, you requested that this item be taken up at a future meeting so that all comments or concerns from residents can be heard. This item if recommended for adoption by the Plan Commission would be on the Village Board agenda for March 11, 2025. In my discussions with Trustee’s Martin and Pierce, I explained I will ask President Weatherston to keep the comment period open until March 10th affording the most opportunity for public comment under the current approval path for the plan. The Plan Commission meeting was properly noticed by Class 2 Notice on February 7th and February 14th, so removing the item and public hearing from the agenda would cause confusion to the public and be out of compliance with public notice requirements: Wis Stat. 19.84(3) - Public notice of every meeting of a governmental body shall be given at least 24 hours prior to the commencement of such meeting unless for good cause such notice is impossible or impractical, in which case shorter notice may be given, but in no case may the notice be provided less than 2 hours in advance of the meeting. Feel free to reach out to me if you have any other questions?" I am respectfully requesting that the Planning Commission reject Revision 4 until further review of this plan. We need to put forth meaning and not just fast pass a plan that is not in the best interest of our population. Thank you for your time in reviewing this and for your forthcoming response. Thank you, Dorothy Bocciardi Cc: Attorney, Bradley Dagen.

Dorothy Bocciardi

3.22.25

Parks in the Village of Caledonia are unsafe. There are plenty of Village of Caledonia Parks; if you take 5 Mile from HY 31 and drive West to HY 38 there is access to 4 parks and conservation areas in less .25 mile increments. I stopped there on 3/23/25 and no one was present at any of this open space, they were empty; no children playing, no one walking dogs, no one hiking. It felt very isolated and most of the locations did not allow dogs. The largest Park in the Village of Caledonia is Cliffside park which is equally isolated and especially crime ridden in the Summer months...I know because I live near this park and we have called in multiple times for suspicious vehicles, drug dealers, and prostitution in vehicles. This park is primarily a park used by a Christian group on Monday nights for baseball and for little leagues, pony leagues, and baseball tournaments yet the facilities are terrible and I would never allow any child to use those bathrooms unsupervised (built in the 1970's); these bathrooms are dark, isolated, cold, and writh with drug paraphernalia. The campground bathrooms and park facilities are similar and need updating. There is a rough soccer field with no nets, and a poor basketball court. The woods are used for random homeless and is so isolated that people from out of state and locals go there to shoot their guns; just yesterday my husband and I were going for a walk and planned to walk the wood and we heard a handgun go off near the lake bank so we turned around and left. In addition, mud ponds were put in place of marsh meadow which eliminated much of the wildflowers and milkweed replacing an important stopping ground for monarchs and breeding grounds for wood cocks. These ponds do not attract water fowl as most water fowl use Lake Michigan which is 500 feet away! The ponds have increased the water flowing to the ravines and have made a mess of passages along with devastating the lake banks at an accelerated rate. Whose great idea was this to put in ponds that accelerate the damage to the greatest asset of the Village of Caledonia. Caledonia has allowed We Energies to destroy and pollute Cliffside Parks lake banks without anyone at the Village doing anything to make them accountable...the Village of Caledonia CAN DO BETTER! The placement of the most recent plant has cause all the sand to disappear allowing our cliffs to be eroded at around 10 feet per year without anyone pushing back on them to pay for damages to the cliff of our Village. The greatest asset of the people of the Village of Caledonia is our shoreline along Cliffside Park but there is no access to it...everyone wants access at Chappla Park but the Village does nothing to serve the people of Crestview so they can access the shoreline; we need an access at Chappla Park! There is another access point at Novak and Charles street but the Village hasn't provided any access to that area either. I remember taking my boys there along with my mother who showed me this access and the neighbors to the south came out screaming at us saying we were trespassing and my mother told him this was owned by the residents of Caledonia and not him! We witnessed the neighbor across the street (in the red house) cutting the grass at that location because the town can't keep up with all the green space they have; all of this green space needs to be maintained and the. Pillage can not keep up with the maintenance! I would like to summarize by saying that the village can't keep do better. Better by taking care of what they have and better by keeping our parks safe by patrolling and keeping the drug dealers, prostitutes, and criminal activity out of our parks. Please work take better care of the parks we have in the Village.

PRELIMINARY DRAFT

Community Assistance Planning Report No. 179 (4th Edition)

**A PARK AND OPEN SPACE PLAN FOR THE
VILLAGE OF CALEDONIA: 2050**

Prepared by the

Southeastern Wisconsin Regional Planning Commission
W239 N1812 Rockwood Drive
P.O. Box 1607
Waukesha, WI 53187-1607
www.sewrpc.org

February 2025

Community Assistance Planning Report No. 179 (4th Edition)

A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

EXECUTIVE SUMMARY

The Village of Caledonia Park and Open Space Plan is intended to assess current and future park, recreation, and open space needs within the Village; guide the preservation, development, and acquisition of land for park, outdoor recreation, and open space purposes; and assist the Village in promoting environmental stewardship. While the plan looks ahead to the year 2050, it includes short-term recommendations targeted for implementation in the next five years and long-term recommendations to the year 2050 with some of those recommendations not likely to occur until after 2050.

This Plan also ensures that the Village remains eligible to apply for and potentially receive Federal and State aids through the Wisconsin Department of Natural Resources (WDNR) to support acquiring and developing park and open space sites and facilities. The WDNR typically requires that a local community has a park and open space plan that was adopted within the five years preceding the submittal of any grant application to remain eligible for available State and Federal outdoor recreation grants.

The Village of Caledonia has an extensive history of park and open space planning. The first edition of the park and open space plan for the then-Town of Caledonia was designed to the year 2000 and was adopted in 1989. The Town subsequently adopted an update to the park and open space plan in 2000, and, after incorporating as a Village in 2005, in 2009 and 2018. This Village of Caledonia Park and Open Space Plan has a design year of 2050.

PLAN CONTENT

This Village of Caledonia Park and Open Space Plan is comprised of five chapters and four appendices. The first four chapters provide background information about the Village and how the Plan was developed;

review the implementation status of the recommendations from the previous park and open space plan; identify the other plans and planning programs affecting the Village's park and open space plan; identify the objectives, principles, and standards used to guide this plan; and summarize the results of a Village parks survey. The fifth chapter includes park, outdoor recreation facility, trail, and open space recommendations for Village-owned sites and facilities. It also provides recommendations for those park and open space sites and facilities owned by Racine County located within or near the Village.

The Village of Caledonia also has an extensive history of land use planning. Other localized plans that help guide the growth and development of the Village are also incorporated into this Plan. In particular, this includes those plans that provide recommendations for parks, outdoor recreation, or open space uses, such as the Multi-Jurisdictional Comprehensive Plan for Racine County, the Crawford Park Master Plan, the Park and Open Space Plan for Racine County, the Regional natural areas plan, and the Root River Watershed Restoration Plan.

PLAN RECOMMENDATIONS

The recommendations included in this Park and Open Space Plan are the most important output of this planning effort, providing guidance to the Village as it seeks to maintain a high-quality park system that meets the needs of the Village, Village residents, and visitors, and enhances the natural resource base in the Village. Some of the key Village recommendations include:

- Providing three Village community parks (including two existing sites), 13 Village neighborhood parks (including three existing sites), four conservancy areas, and six open space areas to adequately serve the existing and future population of the Village
- Developing or improving recreational facilities at nine existing Village sites between 2025 and 2030
- Acquiring land in the western portion of the Village for a new community park between 2025 and 2030
- Acquiring additional land for park expansion and resource protection at Nicholson Wildlife Refuge
- Acquiring land for the development of ten additional Village neighborhood parks and developing recreational facilities at those sites between 2031 and 2050

- Developing or improving recreational facilities at nine existing Village sites between 2031 and 2050
- Continuing to implement the Crawford Park Master Plan
- Continuing to develop and maintain the Village trail system
- Developing additional recreational trails and bikeways for bicycle and pedestrian use
- Continuing to maintain and improve all existing Village parks and nature preserves
- Preserving and protecting open spaces associated with environmental corridors, natural areas

The Village of Caledonia Park and Open Space Plan can be accessed online at:

www.sewrpc.org and
www.caledonia-wi.gov

For more information, please contact the Village of Caledonia Planning and Zoning Department.

Community Assistance Planning Report No. 179 (4th Edition)
A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Chapter 1

INTRODUCTION

1.1 INTRODUCTION

The park and open space plan for the Village of Caledonia serves as a strategic guide for developing, designing, and managing a system of parks and natural areas within the Village. The plan aims to enhance the quality of life and foster a vibrant and healthy community by providing recreational opportunities for residents and visitors and ensuring that green spaces are accessible, functional, and sustainable. A comprehensive system of parks and open space lands provides numerous community benefits, including opportunities for social interaction, promoting physical health and mental well-being, protecting natural resources, attracting tourism and development, and potentially increasing property values.

Recognizing the importance of outdoor recreation¹ and natural resource protection, this fourth edition of the Village's plan promotes environmental stewardship and assesses current and future needs for parks, open spaces, and outdoor recreation in the Village. Recreational preferences vary between individuals, demographic groups, and geographic areas. The recommendations outlined in the plan will guide the preservation, acquisition, and development of park and open space lands in alignment with Caledonia's unique characteristics and specific needs. Implementing the plan will ensure that the Village offers diverse recreational sites and facilities tailored to the community's preferences while protecting and enhancing the Village's natural resources.

¹ In the context of this report, recreation is considered as including only typically outdoor recreational activities.

1.2 PLANNING FRAMEWORK

Regional and County Park and Open Space Planning

On December 1, 1977, the Southeastern Wisconsin Regional Planning Commission (Commission) adopted a Regional Park and Open Space Plan² that identifies existing and probable future park and open space needs within the Region and recommends a system of large resource-oriented parks, recreational corridors, a regional trail system, smaller nonresource-oriented urban parks, and attendant recreational facilities. County-level plans, adopted as amendments to the regional park and open space plan, refined and detailed the analysis and recommendations. The first Racine County Park and Open Space Plan was prepared in 1988 and was subsequently updated in 2001 and 2012.³ Recommendations from the County plan that are related to the Village are summarized in Chapter 4 of this report.

Village Plans

Village Comprehensive Plan

The Town of Caledonia, which incorporated as a Village in November 2005, adopted a land use plan in 1999 and neighborhood plans that refined and detailed the land use plan in 2006. In 2009, the Village adopted the Multi-Jurisdictional Comprehensive Plan for Racine County,⁴ which incorporated the Village land use plan, as the Village's comprehensive plan. Chapter 4 provides additional information regarding plans that provided a framework for this park and open space plan.

² *Southeastern Wisconsin Regional Planning Commission Planning Report No. 27, A Regional Park and Open Space Plan for Southeastern Wisconsin: 2000, November 1977.*

³ *Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 134, 3rd Edition, A Park and Open Space Plan for Racine County, Wisconsin, February 2013, has a design year of 2035 and was adopted as an amendment to the regional park plan by the Commission in March 2013.*

⁴ *Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 301, A Multi-Jurisdictional Comprehensive Plan for Racine County: 2035, November 2009.*

Village Park and Open Space Plans

The first edition of this park and open space plan, adopted in 1989, was created for the Town of Caledonia with a design year of 2010. The Town Board adopted update to the plan,⁵ with a design year of 2020, in April 2000. After Caledonia's incorporation, the Village Board adopted two subsequent updates to the park plan in 2009⁶ and 2018.⁷ In September 2023, the Village of Caledonia requested that the Commission assist the Village in updating the park plan, which is documented in this report.

This updated plan reflects recent park and open space acquisition and development activities within the Village and considers the recommendations of the Village comprehensive plan and other relevant plans. In addition to establishing updated park and open space recommendations to guide Village policy, this plan is intended to maintain Village eligibility to apply for and receive Federal and State aid in support of the acquisition and development of park and open space sites and related facilities.

1.3 ADVISORY COMMITTEE

The planning process was conducted under the guidance of Village officials and residents serving on the Caledonia Parks and Recreation Advisory Committee. Staff support was provided by the Village's Public Works Department and Planning & Zoning Department. Caledonia Parks and Recreation Advisory Committee members and Village support staff are listed on the inside front cover of this report.

1.4 PUBLIC PARTICIPATION AND PLAN ADOPTION

Public participation was encouraged throughout the planning process to guide the development of the updated park and open space plan. Throughout 2024 and early 2025, the park and open space plan update was reviewed and discussed at a series of Village Parks and Recreation Advisory Committee. All meetings were open to the public with meeting agendas posted on the Village website in advance. An online public community input survey, which received over 500 responses, was available from April through September

⁵ *Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 179, 2nd Edition, A Park and Open Space Plan for the Town of Caledonia, Racine County, Wisconsin, April 2000.*

⁶ *Village of Caledonia, Parks and Open Space Plan for the Village of Caledonia 2007-2012, 2007.*

⁷ *Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 179, 3rd Edition, A Park and Open Space Plan for Village of Caledonia, Racine County, Wisconsin, October 2018.*

2024. Draft chapters and a comment form were made available on the Village’s website during the plan’s development.

Call Out: Over 500 people responded to the public input survey

Upon completion of a draft plan report, the Parks and Recreation Advisory Committee sponsored a public open house on February 19, 2025 to provide an opportunity for the public to discuss and review the plan with Commission and Village staff and provide comments. The draft plan, a plan summary, and a comment form were available at the open house and at the Village Hall prior to the public hearing on the plan. Written comments on the draft plan, summarized in Chapter 5, were accepted through February 20, 2025. The Village Plan Commission held a public hearing and provided an additional opportunity for public comment on the plan on February 24, 2025.

This updated plan was approved by the Village of Caledonia Parks and Recreation Advisory Committee on February 11, 2025. The Village Planning Commission approved the plan on [DATE TBA]. The updated plan was adopted by the Village Board on [DATE TBA].

1.5 PLANNING AREA

The planning area, shown on Map 1.1, consists of the entire Village of Caledonia,⁸ located along the Lake Michigan shoreline in the northeastern portion of Racine County. The Village encompasses 29,175 acres, or about 46 square miles. The planning area includes Johnson Park and Golf Course and Johnson Park Dog Run, both of which are within the City of Racine but are completely surrounded by the Village of Caledonia.

1.6 REPORT FORMAT

Following this introductory chapter, Chapter 2 of this report presents information about the Village pertinent to park and open space planning, including information on the resident population; the land use pattern; existing park and open space sites and facilities; and important natural resource areas and features within the Village. Chapter 3 reviews the implementation status of recommendations from the previous plan update. Chapter 4 summarizes other planning programs affecting this park and open space plan; describes

⁸ The Village of Caledonia is located in U.S. Public Land Survey Township 4 North and Ranges 22 and 23 East.

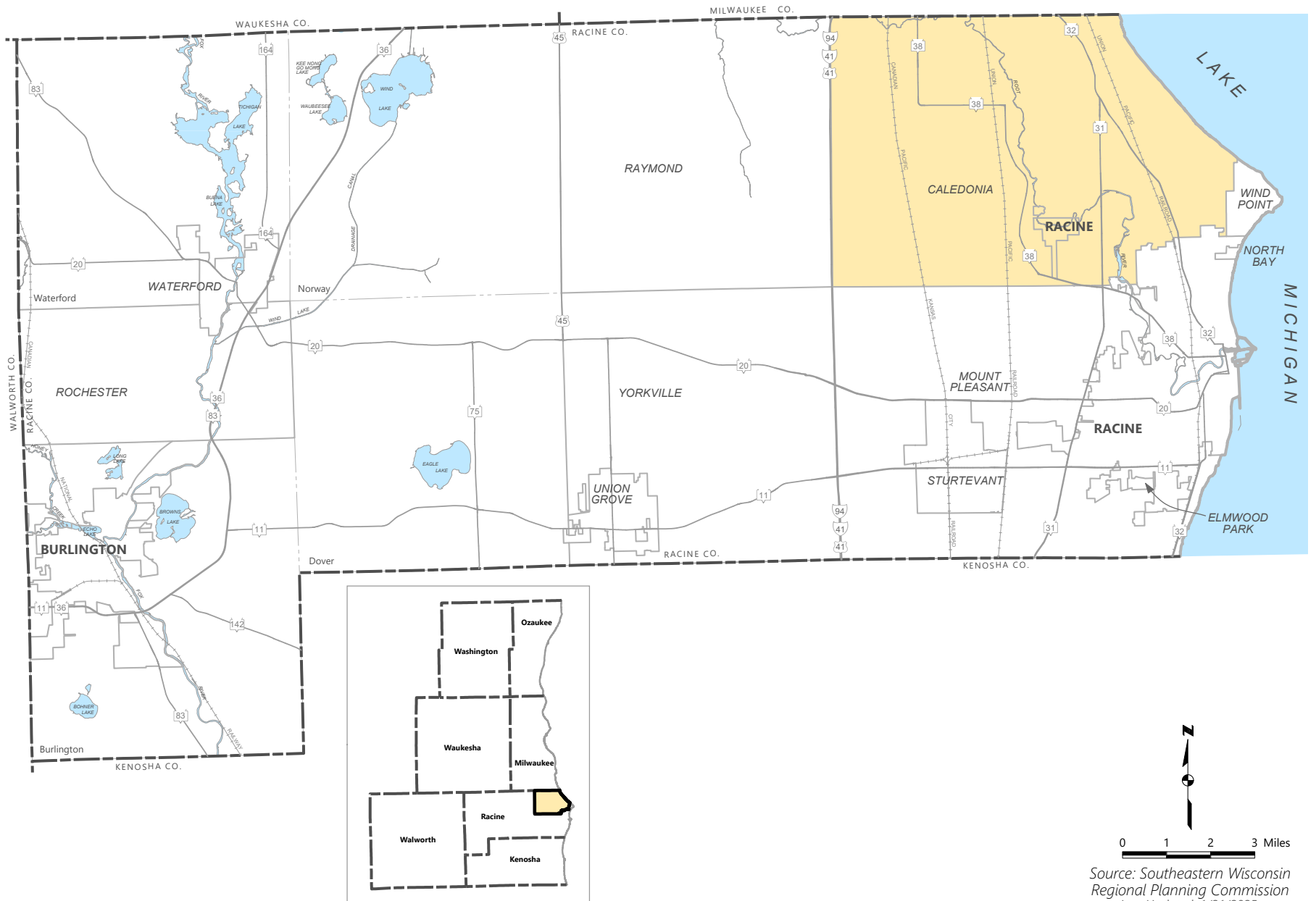
the park and open space objectives, principles, and standards used to prepare this plan; assesses the Village's provision of parks and recreational facilities relative to peer communities; and the results of applying those standards and benchmarks to the existing park system. Updated park and open space recommendations are presented in Chapter 5.

Community Assistance Planning Report No. 179 (4th Edition)
A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Chapter 1

MAPS

Map 1.1
Village of Caledonia Planning Area: 2024



Source: Southeastern Wisconsin
 Regional Planning Commission
 Last Updated: 1/21/2025

Community Assistance Planning Report No. 179 (4th Edition)
A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Chapter 2

INVENTORY FINDINGS

2.1 INTRODUCTION

Demographic data, land use information, and existing resources within the Village of Caledonia were inventoried for the park and open space plan update to assist with creating new and confirming previously established plan recommendations. This chapter presents inventory data and information about population, the land use pattern, existing park and open space sites and facilities, and natural resources within the Village.

2.2 RESIDENT POPULATION

Existing and projected¹ resident population levels are key factors in park and open space planning, and understanding historical growth can help anticipate and plan for future developments and needs. Figure 2.1 and Table 2.1 present data on the Village's historical, existing, and projected resident population.² By the end of the 20th century, Caledonia had grown to be the largest town in Wisconsin by population, with 23,614 residents reported by the 2000 Census. The Village's population has continued to grow, to 25,361 persons in 2020, according to the U.S. Census Bureau. The Wisconsin Department of Administration

¹More information about projected population levels is presented in Chapter 4 of this report, Framework for Plan Development.

² Population data prior to 2005 refer to the Town of Caledonia, which incorporated as a village in November 2005.

estimated the 2024 Village population at 25,428 residents. The projected 2050 Caledonia population is approximately 34,027 Village residents.³

Call Out: Caledonia's population is projected to grow more than 33% by 2050

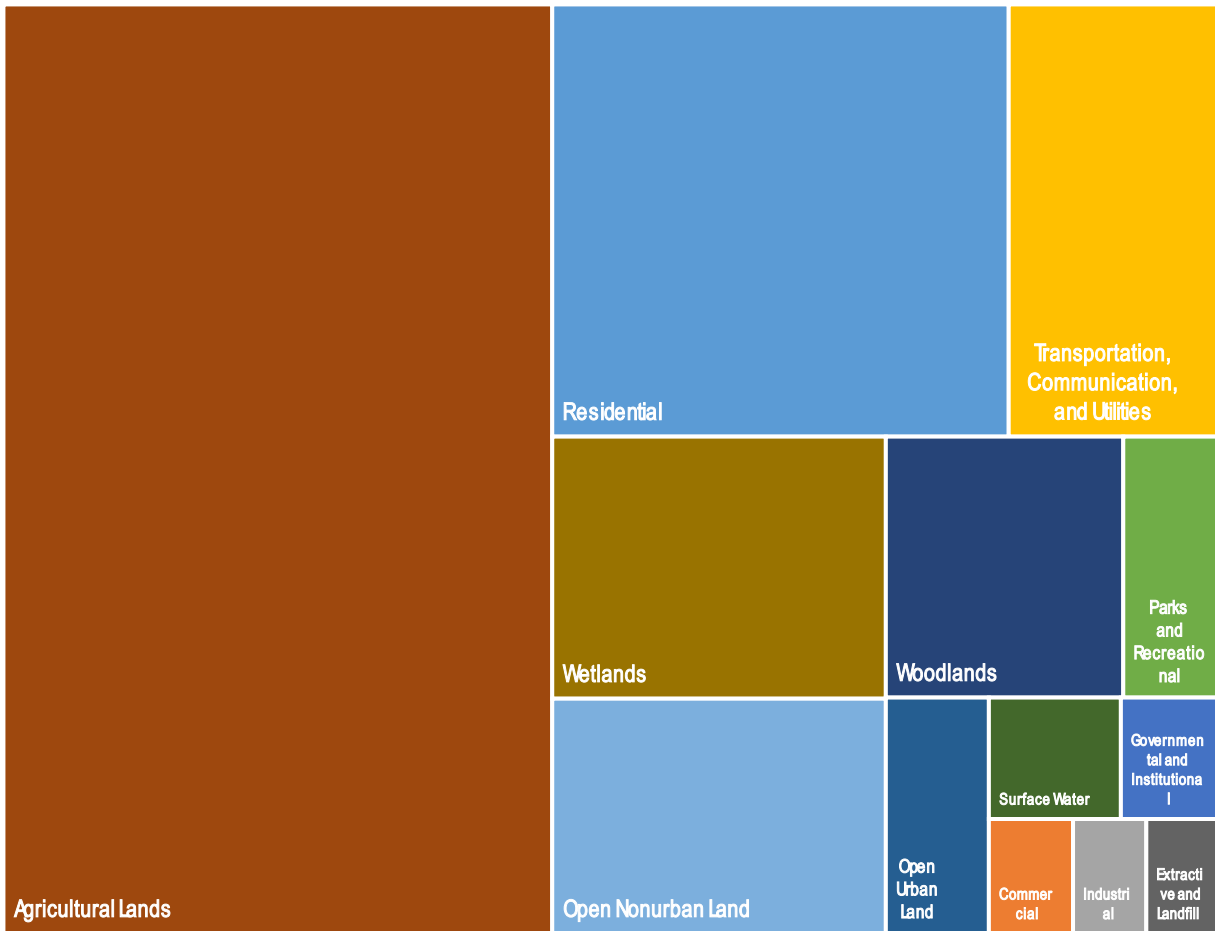
2.3 LAND USE BASE

The extent, type, and spatial distribution of urban and rural land uses, as well as the historical conversion of rural lands to urban uses, are important considerations in determining the supply of land and the demand for parks, open space sites, outdoor recreation, and related facilities.

Map 2.1 shows the historic pattern of urban growth, areas where concentrations of structures serving urban land uses have been built in relatively compact groups, within the Village since 1900. Development prior to 1950 was primarily concentrated along county highways and railways in Franksville and the eastern portion of Caledonia. Caledonia grew rapidly between 1950 and 1970, with new areas of urban development scattered throughout the Town. Urban development since 1970 has occurred primarily in the eastern and southern portions of Caledonia. In the 21st century, most urban development continues to be concentrated in these areas as well as along the IH-94 corridor in the western portion of the Village.

Information on the amount of land devoted to various types of land uses in the Village in 2020 is shown on Map 2.2 and enumerated in Table 2.2. Given that it is surrounded by other incorporated municipalities, the Village will be unable to annex land for additional future expansion.

³ *Population projections are based on Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 301, A Multi-Jurisdictional Comprehensive Plan for Racine County: 2035, November 2009 and Southeastern Wisconsin Regional Planning Commission Planning Report No. 55, VISION 2050: A Regional Land Use and Transportation Plan for Southeastern Wisconsin, July 2017.*



The Village's lands are approximately 1/3 urban and 2/3 nonurban uses.

A community's transportation network shapes land use and can help to predict areas of future growth by influencing accessibility and development patterns. The Village is served by a well-developed highway transportation system and a network of arterial streets. Three railway rights-of-way carry freight traffic through the Village, including two lines owned by the Union Pacific Railroad and one line owned by Canadian Pacific Kansas City (CPKC) Limited on which Amtrak trains also operate. John H. Batten Airport, located adjacent to the Village in the City of Racine, is the largest privately owned, public-use, reliever airport in the United States and provides services to corporate, business, and private aircraft. General Mitchell International Airport is also within a convenient distance for Village residents and businesses.

2.4 PARK AND OPEN SPACE SITES

Existing Park and Open Space Sites

Existing park and open space sites and outdoor recreation facilities in the Village of Caledonia planning area were inventoried in 2024. As shown on Map 2.3 and listed in Table 2.3, there are 67 park and open space sites in the planning area, including 27 publicly owned sites and 40 which are privately owned.

Public park and open space sites in Caledonia are owned by the State of Wisconsin, Racine County, Milwaukee County, the Village of Caledonia, the City of Racine, UW-Parkside, and the Racine Unified School District. Note that school events and school district policies may limit public access to recreational facilities that are located on public school grounds. Table 2.4 details the recreational facilities available at publicly and privately owned park and open space sites within the planning area.

Public sites in the planning area offer a full range of recreational facilities, including, but not limited to, baseball and softball diamonds, basketball hoops, playfields, playgrounds, sand volleyball courts, soccer fields, and tennis or pickleball courts. Public sites within the planning area also include an 18-hole regulation golf course, driving range, disc golf course, horseshoe pits, and a dog exercise area. Additional publicly owned recreational facilities include a boardwalk, campgrounds, canoe launches, a fieldhouse, fishing areas, a nature study area, a wayside, and a variety of trails suited to different activities.

Facilities at privately owned sites within the Village include swimming areas, miniature golf, waterslides, a ropes course, an outdoor theater, an equestrian center, horse and cross-country skiing trails, a shooting/archery range, a kennel club, an aquatic center, and a recreation and fitness center. In addition, opportunities at the numerous private, commercial horse-riding stables and equestrian facilities within the planning area may include horse riding lessons, boarding lessons, dressage lessons, horse maintenance and education, day camps, and training programs for finishing and showing horses.

Conservation Easements

A conservation easement is a voluntary, legally binding contract between a landowner and a conservation organization or government agency that restricts certain types of development and land use to protect a property's natural, ecological, or cultural values. The landowner retains ownership and can continue to use the land for purposes such as farming or recreation but agrees to limitations that preserve the land's conservation values in perpetuity. Future owners must abide by the terms of the conservation easement, helping to safeguard habitats and maintain open spaces. Conservation easements may or may not include

provision for public access. Nine conservation easements, shown on Map 2.4 and listed on Table 2.5, provide for the permanent protection of resources on 319 acres of land in the Village by the Caledonia Conservancy, the Kenosha Racine Land Trust, and the Wisconsin Department of Natural Resources.

Village of Caledonia Park System

As of 2024, the Village of Caledonia owns nine parks and six open space sites. Totaling 328 acres, these sites range from two acres (Maple Park) to 127 acres (Nicholson Wildlife Refuge) in size. Park and open space sites owned by the Village are shown on Map 2.5, listed in Table 2.6, and briefly described below.

Call Out: The Village of Caledonia owns 15 park and open space sites

5 ½ Mile Park

5 ½ Mile Park is a 21-acre undeveloped neighborhood park located in the eastern portion of the Village. The park is located south of 5 ½ Mile Road and Olympia Brown Elementary School and west of Charles Street. The entire site encompasses wetlands within an isolated natural resource area.⁴

Chapla Park

Chapla Park is a nine-acre neighborhood park located in the northeastern portion of the Village adjacent to Lake Michigan. The park is a passive use site that provides a scenic overlook of Lake Michigan and encompasses eight acres of primary environmental corridor.

County Line Park

County Line Park is an 18-acre undeveloped neighborhood park located in the northeastern portion of the Village, south of County Line Road and east of Foley Street. The site encompasses wetlands within 13 acres of an isolated natural resource area.

Crawford Park

Crawford Park is a 35-acre community park located in the southeastern portion of the Village, adjacent to the Village Campus north of Four Mile Road (CTH G) and east of Douglas Avenue (STH 32). Facilities at this site include two ball diamonds, two tennis courts, two basketball hoops, a playfield, three playgrounds, restrooms, concessions, pathways, a sledding hill, and picnic shelters. A wetland and stormwater retention

⁴ Information on natural resource features is presented later in this chapter.

pond are also located within the park. In October 2022, the Village adopted a multi-phased, \$10 million improvement plan for Crawford Park⁵ which is expected to be implemented over the next fifteen years. The Village had completed the initial phase of improvements and was in the process of implementing the master plan as this plan update was under preparation.

Gorney Park

Gorney Park is a 41-acre community park located in the north-central portion of the Village along Seven Mile Road and Nicholson Road. Facilities at this site include a two ball diamonds, two soccer fields, a playfield, two playgrounds, a hiking trail, shelters, picnic areas, and restrooms. The site also has a pond with a pier that provides opportunities for fishing and launching nonmotorized watercraft.

Linwood Park

Linwood Park is a 12-acre neighborhood park centrally located in the Village along Five Mile Road and east of STH 38. Facilities at this site include a playfield, a playground, horseshoe pits, a shelter, picnic areas, fishing, and an informal canoe launch. The site is adjacent to the Root River and encompasses wetlands and woodlands within 11 acres of primary environmental corridor.

Maple Park

Maple Park is a two-acre neighborhood park located in the southeastern portion of the Village south of Four Mile Road and east of Charles Street. Facilities at this site include pathways, a playfield, a playground, a picnic area, and an open-air shelter.

Nicholson Wildlife Refuge

Nicholson Wildlife Refuge is a 127-acre conservancy area centrally located in the Village between Four Mile Road and Five Mile Road and CTH H and Nicholson Road. The site, which is also used for educational purposes, contains nature trails and a boardwalk. Nicholson Wildlife Refuge is classified as a natural area of local significance and encompasses 103 acres of secondary environmental corridor, consisting of wetlands and woodlands.

⁵ Documented in the Village of Caledonia's Crawford Park Master Plan, October 2022.

Waters Edge Park

Waters Edge Park is a three-acre neighborhood park located in the eastern portion of the Village near the terminus of 5 Mile Road which consists of woodlands within a primary environmental corridor. The site was dedicated to the Village for park use by an adjacent residential development in 2023, and the Village has developed a walking trail at the park.

Village Land (Markay Stormwater Basin)

This site is a 22-acre open space site located in the southeastern portion of the Village south of Four Mile Road and west of Erie Street. The site is a stormwater detention basin, which is typically dry, except during periods of heavy rain.

Village Land (SCORe Stormwater Basin)

This site is a 21-acre open space site located in the south-central portion of the Village adjacent to the Franksville Memorial Park and the Soccer Complex of Racine (SCORe). The site includes six soccer fields. The stormwater detention basin, which is typically dry, may also serve as a playfield when the site is not inundated with water during periods of heavy rain.

Village Land (Caddy Vista Stormwater Basin)

This site is a seven-acre open space site located in the north-central portion of the Village south of the Caddy Vista South subdivision. The site is a stormwater detention basin, which is typically dry, except during periods of heavy rain.

Village Land (East Side of Terrace High and North of Richmond Drive)

This site is a four-acre open space site located in the southeastern portion of the Village, west of STH 31 and north of Northwestern Avenue (STH 38). The site contains wetlands and woodlands.

Village Land (South Side of Four Mile Road and West of Green Bay Road)

This site is a three-acre open space site located in the southeastern portion of the Village along Four Mile Road, east of STH 31, and west of Green Bay Road. The site is dedicated to the utility district.

Village Land (Southwest Quadrant of Six Mile Road and Union Pacific Railroad)

This site is a three-acre open space site located in the east-central portion of the Village along Six Mile Road, east of Douglas Avenue (STH 32), and the west side of the Union Pacific Railroad. The site is dedicated to the utility district and contains wetlands and a retention basin.

Racine County Parks

Racine County owns five park or open space sites within the Village of Caledonia: Cliffside Park, Franksville Memorial Park, River Bend Nature Center, Root River Parkway, and Tabor Sokol Memorial Park (see Map 2.3 and Table 2.3). The County also owns Horlick Park and Quarry Lake Park, both located along the Root River in the City of Racine just south of Caledonia.

Cliffside Park is 223-acre major park⁶ located in the northeastern portion of the Village along the Lake Michigan shoreline, north of Six Mile Road and on the east side of Michna Road. The park includes four ball diamonds, two soccer fields, a playground, a playfield, three basketball hoops, a 95-site campground, shelters, picnic areas, hiking and biking trails, and restrooms. The park also contains the Cliffside Park Woods and Clay Banks, a 55-acre natural area of countywide or regional significance consisting of woodlands and wetlands within a primary environmental corridor, and the Cliffside Park Old Field, a 55-acre critical species habitat site in which wetland portions of the site are within a primary environmental corridor or an isolated natural resource area. Both sites are identified in the regional natural areas plan,⁷ which is described later in this chapter.

⁶ *Southeastern Wisconsin Regional Planning Commission Planning Report No. 27, A Regional Park and Open Space Plan for Southeastern Wisconsin: 2000, November 1977, establishes the park and open space planning standards used as a basis for this report and describes a classification system for public park and open space sites. Major parks are defined as large, publicly owned outdoor recreation sites containing significant natural resource amenities which provide opportunities for resource-oriented activities and which are generally 100 acres or more in size.*

⁷ *Southeastern Wisconsin Regional Planning Commission Planning Report No. 42, A Regional Natural Areas and Critical Species Habitat Protection and Management Plan for Southeastern Wisconsin, September 1997. An update to the plan was adopted by the Commission in December 2010 and a second update was in progress as the park plan update was under preparation.*

Franksville Memorial Park is a 52-acre community park⁸ located in the southern portion of the Village in the Franksville area. The Villages of Caledonia and Mount Pleasant transferred ownership to the County in 2021. Facilities at this site include two basketball hoops, five soccer fields, a playfield, a playground, two ball diamonds, two tennis courts, sand volleyball courts, the Kids Connection Playground, horseshoe pits, informal and group picnic areas and shelters, and restrooms. Franksville Memorial Park also hosts a seasonal beer garden. The privately-owned Soccer Complex of Racine (SCORE) is adjacent on the west and north sides of the park. In 2023, the Racine County Board adopted a resolution⁹ supporting the creation of public-private partnership to develop an indoor ice skating center at the park. Fundraising and planning for the facility, tentatively the Racine County Ice Center, was underway at the time this plan update was completed.

The River Bend Nature Center is in the southeastern portion of the Village along the Root River, on the west side of Green Bay Road and south of Three Mile Road. The 75-acre site is operated through a public-private partnership between Racine County and River Bend Nature Center, Inc. and is self-sustaining through private support, program revenue, special events, and equipment and facilities rental. Amenities include two indoor facilities for staff and environmental education programs and meetings, hiking and cross-country skiing trails, a canoe launch, a pavilion/shelter, picnic areas, and restrooms. The site also includes the 14-acre River Bend Upland Woods, a critical species habitat site consisting of woodlands and wetlands within a primary environmental corridor.

The Root River Parkway consists of numerous areas of conservancy lands located along the Root River for natural resource protection purposes, including portions of four natural areas and five critical species sites. Racine County currently owns approximately 613 acres of parkway within the Village. Milwaukee County also owns a 38-acre portion of parkway lands within the Village, along the County line and north of the Caddy Vista subdivision. The public can use these areas for nature viewing and river access for canoeing or fishing.

Tabor Sokol Memorial Park is a one-acre passive use site located on the southeast corner of Douglas Avenue (STH 32) and Five Mile Road. The site has informal picnic areas.

Call Out: Racine County and the City of Racine maintain 7 parks within the Village planning area

⁸ Community parks are defined as moderately sized publicly owned outdoor recreation sites serving multiple neighborhoods, relying more on an area's development characteristics than natural resource features for location, and are generally 25-99 acres in size.

⁹ Resolution No. 2023-12-S was adopted by the County Board on June 27, 2023.

City of Racine Parks

The City of Racine owns and maintains two park and open space sites within the Village planning area, also shown on Map 2.3 and described in Table 2.3. These sites, Johnson Park and Golf Course and Johnson Park Dog Run, comprise the entirety of two 'islands' of the City of Racine which are completely surrounded by the Village of Caledonia in the south-central portion of the planning area.

Johnson Park and Golf Course is a 335-acre major park located between STH 38 and STH 31 on the banks of the Root River. The site includes an 18-hole regulation golf course, disc golf course, fishing, picnic areas with shelter, concessions, restrooms, and a clubhouse with a restaurant. Located at a separate site just north of the golf course, Johnson Park Dog Run is a 28-acre community park which includes wetlands within a primary environmental corridor. The site has a dog exercise area, trails, and informal access to the Root River.

Trail Facilities

Trail facilities within the Village provide opportunities for outdoor recreation activities including bicycling, hiking, nature study, and cross-country skiing. Trails included within park and open space sites primarily serve recreational purposes, while other trails may also provide connectivity within the Village's transportation network. Long-distance public trails and bikeways and private trails open to the public are shown on Map 2.6 and noted in Table 2.4.

Call Out: Trails within the Village provide important links within the regional trail network.

Racine County maintains approximately four miles of off-street trails within the planning area. The County-owned MRK Trail is approximately three linear miles within the Village and can be used for hiking, biking and cross-country skiing. The off-street trail runs north-south through the Village adjacent to the Union Pacific Railroad and also includes an on-street segment between Six Mile Road and Seven Mile Road. The County also maintains nearly one mile of the off-street WE Energies Trail from Seven Mile Road north to the County line. Portions of the MRK Trail are also connected to City of Racine's Lake Michigan Pathway and Root River Pathway, providing trail access to destination points in the City of Racine. Racine County has also developed nearly 100 miles of signed, on-street bike routes throughout the County, approximately ten of which are within the Village. Approximately 34 linear miles of on-street bike routes, shown on Map 2.6, are identified within the Village planning area. The facilities provided on roadways designated as on-street bike routes vary widely, and it should be noted that not all segments of the on-street bikeway network offer dedicated bicycle lanes.

The Caledonia Conservancy, a nonprofit conservation organization, also provides trails at numerous conservancy-owned sites within the Village. All of the Conservancy's sites in the Village are privately owned, but some of the sites are open to the public. Trails at these sites are typically intended for horse riding, hiking, and cross-country skiing.

2.5 NATURAL RESOURCE FEATURES

Natural resources are important part of providing a pleasant and habitable environment for all forms of life and maintaining the Village's social and economic well-being. The park and open space plan aims to preserve the most significant remaining features of the natural resource base to help maintain ecological balance and retain Caledonia's natural beauty. This section presents a description of natural resources within the Village, including surface water resources, wetlands, woodlands, environmental corridors and isolated natural resource areas, natural areas, critical species habitat and aquatic sites, and geological areas.

Call Out: Natural resource features are often focal points for park and open space sites.

Surface Water Resources

Surface water resources and associated floodplains, shown on Map 2.7, are important elements of the Village's natural resource base. The Village is encompassed by two watersheds that flow into Lake Michigan, the Root River watershed and a direct drainage tributary.

Surface water resources influence the Village's physical development, enhance the area's aesthetic quality, and provide recreational opportunities to residents and visitors. Lakes and streams constitute a focal point for water-related recreational activities. In addition to serving as the major water source for public water utilities serving portions of the Village, Lake Michigan provides numerous opportunities for water-related recreational activities, including swimming, fishing, canoe/kayaking, and other watercraft activities. Approximately 23 linear miles of perennial streams¹⁰ flow through the Village, including the Root River, Hoods Creek, Husher Creek, Crayfish Creek, and two unnamed tributaries and a drainage ditch that drain

¹⁰ *Perennial streams are defined as watercourses that maintain, at a minimum, a small continuous flow throughout the year except under unusual drought conditions. Intermittent streams are defined as watercourses that do not maintain a continuous flow throughout the year.*

directly into Lake Michigan. The Root River provides opportunities for fishing and canoe/kayaking within the Village.

Floodplains are the wide, gently sloping areas contiguous to a river or stream channel that experience occasional or periodic flooding. Stream discharges increase markedly during flood events to the point that the channel may not be able to contain and convey all of the flow. As a result, water levels rise and the river or stream spreads laterally over the floodplain. The periodic flow of a river or stream onto its floodplains is a normal phenomenon and can be expected to occur periodically in the absence of successful flood mitigation.

For planning and regulatory purposes, floodplains are normally defined as areas subject to inundation during a one-percent-annual-probability (100-year recurrence interval) flood event. The one-percent-annual-probability floodplain encompasses 1,737 acres of the planning area, or about 6 percent of the Village. These areas are generally unsuitable for development due to the flood hazard and the presence of high water tables and soils poorly suited to urban use. However, floodplain areas often contain woodlands, wetlands, and wildlife habitat which can make them prime locations for needed open space areas. The Federal Emergency Management Agency (FEMA) Map Modernization Program periodically updates floodplain maps for Racine County, most recently in January 2024. Floodplains in the Village have been identified along all major streams and tributaries, including the Root River, Hoods Creek, and Husher Creek and along the Lake Michigan shoreline. Map 2.7 includes both “detailed” delineated floodplains based on computed flood elevations and “approximate” floodplains delineated on less precise methods such as soil type and vegetative growth.

The increase in impervious areas resulting from the dispersal of urban land uses over large areas increases stormwater runoff, which must be accommodated by a stream network or by engineered stormwater management systems. Stormwater management facilities may include curbs and gutters, catch basins and inlets, storm sewers, infiltration facilities, and dry and wet detention basins for quantity and quality control, respectively. Detention basins serve to moderate peak rates of runoff following rainstorms and wet detention basins further provide a permanent volume of water to capture and store pollutants. In addition to floodwater and stormwater management, ponds or basins may provide opportunities for limited outdoor recreation use, such as fishing and ice skating. Dry basins are also sometimes used for field sports. There are numerous stormwater basins located in the Village, including within parks or open space sites. Three large Village-owned basins, the Markay Basin (22 acres), the SCORe Basin (21 acres), and the Caddy Vista Basin (seven acres), are shown on Map 2.3 and described in Table 2.3.

Wetlands

For planning and regulatory purposes,¹¹ wetlands are commonly defined as areas in which the water table is at, near, or above the land surface and which are characterized by both hydric soils and the growth of wetland vegetation including sedges and cattails. Wetlands generally occur in depressions and near the bottom of slopes, along lakeshores and stream banks, and on large areas of poorly drained land.

Wetlands perform an important set of natural functions and provide opportunities for scientific, educational, and recreational pursuits. These areas support a wide variety of desirable, and sometimes unique, forms of plant and animal life. Wetlands provide groundwater discharge areas and contribute to atmospheric oxygen and water supplies. They are also invaluable in protecting shorelines from erosion and maintaining the quality of surface water resources by stabilizing stream flows and lake levels, entrapping and storing plant nutrients in runoff that contribute to noxious weed and algae growth, and entrapping soil particles suspended in runoff that contribute to stream sedimentation.

Wetlands within the Village of Caledonia encompassed 2,260 acres, or nearly 8 percent of the Village, in 2020. As shown on Map 2.2, the majority of the Village's wetlands are located along the Root River and other perennial and intermittent streams.

Woodlands

The Commission defines woodlands as upland areas one acre or more in size with 17 or more deciduous trees per acre, each measuring at least four inches in diameter at breast height, and having 50 percent or more tree canopy coverage.

Woodlands provide an attractive natural resource of immeasurable value that serves a variety of beneficial functions. In addition to contributing to clean air and water and regulating surface water runoff, woodlands can support a diversity of plant and animal life. Woodlands may require a century or more to develop but can be destroyed through mismanagement within a comparatively short time. The deforestation of hillsides contributes to rapid stormwater runoff, the siltation of lakes and streams, and the destruction of wildlife habitat.

¹¹ *Wetlands are regulated under Chapters 103 and 117 of the Wisconsin Administrative Code and Section 404 of the Federal Clean Water Act.*

Woodlands, shown on Map 2.2, encompass 1,602 acres, or about 5.5 percent of the Village. Woodlands are scattered throughout the Village with larger areas of woodlands located in the northern and northeastern portions of the Village, including areas within the State-owned Renak-Polak Maple-Beech Woods area, Tabor Woods, and in and near the County-owned Cliffside Park.

Environmental Corridors and Isolated Natural Resource Areas

One of the most important tasks completed under the regional planning program for Southeastern Wisconsin has been identifying and delineating the areas in which concentrations of remaining natural resources occur, termed "environmental corridors" by the Commission. Protecting and preserving such areas in essentially natural, open uses is crucial in maintaining both the ecological balance and natural beauty of the Region, the County, and the Village. Environmental corridors within the Village are presented on Map 2.8 and Table 2.7.

Environmental corridors are identified based upon the presence of one or more of the following important natural resources: rivers, streams, lakes, and associated shorelands and floodplains; wetlands; woodlands; prairies; wildlife habitat areas; wet, poorly drained, and organic soils; and rugged terrain and high relief topography. Park and open space sites, natural areas, historic sites, and scenic viewpoints are also considered for their recreational, aesthetic, ecological, and natural resource values in the delineation of environmental corridors.¹² Delineating these natural resource and resource-related elements on a map results in an essentially linear pattern of relatively narrow, elongated areas which are classified as primary environmental corridors, secondary environmental corridors, and isolated natural resource areas, as described below.

Preserving the integrity of environmental corridors and isolated natural resource areas in essentially natural, open uses is important to the movement of wildlife and for the dispersal of seeds for a variety of plant species. Because of the many interrelationships between living organisms and their environment, damaging any one element of the natural resource base may lead to a chain reaction of deterioration and destruction. Although the effects of any one environmental changes may not in and of themselves be overwhelming, the combined effects will eventually create serious environmental and developmental problems including flooding, water pollution, deterioration and destruction of wildlife habitat, loss of groundwater recharge

¹² *Delineation of environmental corridors is described in detail in Southeastern Wisconsin is presented in Southeastern Wisconsin Regional Planning Commission Technical Record, Vol. 4, No. 2, Pages 1 through 21, Refining the Delineation of Environmental Corridors in Southeastern Wisconsin, March 1981.*

areas, and destruction of the unique natural beauty of the area. Preserving corridors can also help reduce flood flows, reduce noise pollution, and maintain air and water quality.

Primary Environmental Corridors

Primary environmental corridors include a wide variety of important natural resource and resource-related elements and are at least 400 acres in size, two miles in length, and 200 feet in width. Primary environmental corridors are composites of the best remaining residual elements of the Village's natural resource base and include the best remaining woodlands, wetlands, and wildlife habitat areas. These corridors have truly immeasurable environmental and recreational value which can be protected and maintained by preserving them in an essentially open, natural state.

As of 2020, primary environmental corridors encompassed a total area of 1,881 acres, or about 6.4 percent of the Village. Primary environmental corridors in Caledonia are located along the Lake Michigan shoreline, the Root River, portions of Hoods Creek and Husher Creek, and in the Hunts Woods, Renak-Polak Maple Beech Woods and Tabor Woods natural areas.

Secondary Environmental Corridors

Secondary environmental corridors encompass concentrations of natural resources between 100 and 400 acres in size and are at least one mile long. Secondary environmental corridors may also serve to link primary corridors, in which case no minimum area or length criteria apply. Secondary environmental corridors facilitate surface water drainage and provide for the movement of wildlife.

Secondary environmental corridors encompassed 406 acres, or about 1.4 percent of the Village in 2020. Secondary environmental corridors in the Village are located along a portion of Hoods Creek, along an intermittent stream in the eastern portion of the Village, and within the Nicholson Wildlife Refuge area.

Isolated Natural Resource Areas

Smaller concentrations of natural resource base elements at least five acres in size which are generally separated from the environmental corridors by urban or agricultural development are classified as isolated natural resource areas. These areas may provide the only available wildlife habitat in an area, provide good locations for local parks and open space areas, and lend aesthetic character and natural diversity to an area. Isolated natural resource areas are scattered throughout the Village and encompassed 1,469 acres, or about 5 percent of the Village, in 2020.

Natural Areas, Critical Species Habitat Sites, Aquatic Areas, and Geological Sites

The Wisconsin Department of Natural Resources (WDNR) and the Commission completed a comprehensive inventory of natural areas, critical species habitat sites, and geological sites in Southeastern Wisconsin in 1994. This inventory was subsequently updated in 2010 and 2020.¹³ Natural areas are defined as tracts of land or water so little modified by human activity, or sufficiently recovered from the effects of such activity, that they contain intact native plant and animal communities believed to be representative of the pre-European-settlement landscape. Natural areas are classified as natural areas of Statewide or greater significance (NA-1), natural areas of countywide or regional significance (NA-2), or natural areas of local significance (NA-3). Classification is based on consideration of the diversity of plant and animal species and community types present, the structure and integrity of the native plant or animal community, and the extent of disturbance by human activity, such as logging, grazing, water level changes, and pollution. The commonness of the plant and animal communities present, any unique natural features within the area, the size of the area, the educational value, and animal communities believed to be representative of the landscape before European settlement are also considered when classifying a natural area.

Fourteen natural areas encompassing 889 acres, shown on Map 2.9 and described in Table 2.8, were identified in the Village of Caledonia. The 138-acre Renak-Polak Maple-Beech Woods State Natural Area, identified as a site of Statewide or greater significance, is centrally located in the Village east of the Root River and along East River Road. Three natural areas considered to be of countywide or regional significance and ten natural areas of local significance were also identified within the Village. The 2020 inventory update reclassified the Nicholson Wildlife Refuge from NA-2 to NA-3 due to habitat degradation attributed to nearby agriculture.

Call Out: Habitat degradation and destruction are ongoing threats to the Village's natural environment.

Critical species habitat sites are defined by the Commission as areas outside natural areas that support rare, threatened, or endangered plant or animal species. Shown on Map 2.9 and listed on Table 2.8, 14 critical species habitat sites encompassing 338 acres have been identified within the Village. The 2020 inventory

¹³ *The results of the 1994 inventory are documented in Southeastern Wisconsin Regional Planning Commission Planning Report No. 42, A Regional Natural Areas and Critical Species Habitat Protection and Management Plan for Southeastern Wisconsin, September 1997. An amendment to this plan, including updated inventory information, was published in December 2010 and a second amendment was in progress as this park plan update was under preparation.*

update found that one critical species habitat site had been lost since the prior inventory and identified two additional sites.

Aquatic habitat areas consist of rivers, streams, and lakes that support endangered, threatened, or rare fish, herptile, or mussel species, support extensive beds of mussel species, or are located within or adjacent to a natural area. Aquatic areas are designated as aquatic areas of Statewide or greater significance (AQ-1), aquatic areas of countywide or regional significance (AQ-2), or aquatic areas of local significance (AQ-3). Two aquatic habitat areas of local significance, spanning approximately 13 linear miles within the Village, are also shown on Map 2.9 and described in Table 2.8. Approximately two linear miles of aquatic habitat along Husher Creek were lost between the 2010 and 2020 inventory updates.

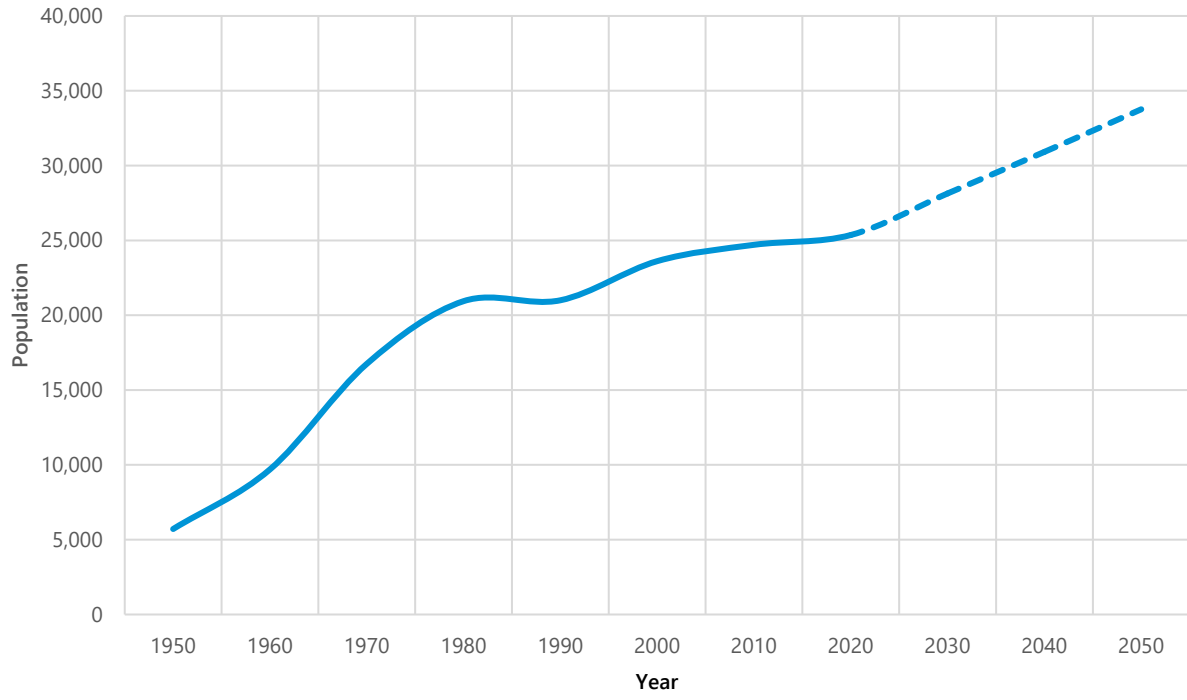
Geological sites are areas identified as having a significant glacial or bedrock feature, selected based on scientific importance, significance in industrial history, natural aesthetics, ecological qualities, educational value, and public access potential. Geological sites are designated as having Statewide or greater significance (GA-1), countywide or regional significance (GA-2), or local significance (GA-3). Two geological sites of local significance, the 14-acre Cliffside Park Clay Banks and the 19-acre Root River Outcrops, are located in the Village and are identified on Map 2.9 and in Table 2.8. The Cliffside Park Clay Banks is a glacial feature located along the Lake Michigan shoreline near the County-owned Cliffside Park and the Village-owned Chapla Park. The Root River Outcrops is a bedrock feature located along the Root River near the Johnson Park Dog Run site.

Community Assistance Planning Report No. 179 (4th Edition)
A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Chapter 2

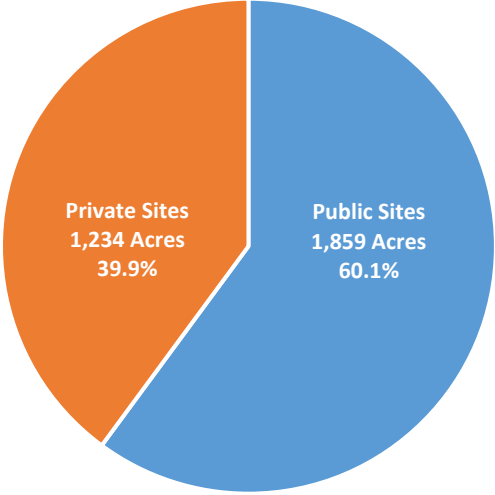
FIGURES

Figure 2.1
Historical and Projected Population Levels in the Village of Caledonia: 1950-2050



Source: U.S. Census Bureau and Southeastern Wisconsin Regional Planning Commission

Figure 2.2
Private and Public Ownership of Park and Open
Space Sites in the Village of Caledonia: 2024



Community Assistance Planning Report No. 179 (4th Edition)
A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Chapter 2

TABLES

Table 2.1
Resident Population of the
Village of Caledonia: 1900-2024

Year	Population	Change from Preceding Census	
		Number	Percent
1900	2,805	--	--
1910	3,073	268	9.6
1920	3,479	406	13.2
1930	3,031	-448	-12.9
1940	4,019	988	32.6
1950	5,713	1,694	42.1
1960	9,696	3,983	69.7
1970	16,748	7,052	72.7
1980	20,940	4,192	25.0
1990	20,999	59	0.3
2000	23,614	2,615	12.5
2010	24,705	1,091	4.6
2020	25,361	656	2.7
2024 ^a	25,428	67	0.3

^a Estimate from the Wisconsin Department of Administration, as of January 1, 2024.

Source: U.S. Census Bureau, Wisconsin Department of Administration, and Southeastern Wisconsin Regional Planning Commission

Table 2.2
Existing Land Uses in the Village of Caledonia: 2020

Land Use Category^a	Acres	Percent of Subtotal	Percent of Total
Urban			
Residential			
Single-Family Residential	4,949	52.2	17.0
Multi-Family Residential ^b	123	1.3	0.4
Residential Subtotal	5,072	53.5	17.4
Commercial	178	1.9	0.6
Industrial	171	1.8	0.6
Transportation, Communication, and Utilities (TCU)			
Streets and Highways	1,880	19.8	6.4
Airports and Railways	231	2.4	0.8
Communications, Utilities, and Other Transportation	393	4.1	1.3
TCU Subtotal	2,504	26.4	8.6
Governmental and Institutional	307	3.2	1.1
Parks and Recreational ^c	613	6.5	2.1
Undeveloped/Open Urban Land	633	6.7	2.2
Urban Subtotal	9,478	100.0	32.5
Nonurban			
Agricultural Lands	13,181	66.9	45.2
Extractive	175	0.9	0.6
Landfill	39	0.2	0.1
Wetlands	2,260	11.5	7.7
Woodlands	1,602	8.1	5.5
Surface Water	414	2.1	1.4
Undeveloped/Open Nonurban Land	2,026	10.3	6.9
Nonurban Subtotal	19,697	100.0	67.5
Total	29,175	--	100

^a Includes associated off-street parking areas for each land use category.

^b Includes two-family residential areas and mobile home parks in addition to buildings with three or more apartments.

^c Includes only those lands developed and used for intensive recreational purposes (ball fields, tennis courts, group picnic areas, etc.). Developed land within park sites used for hiking trails or other passive uses is included in the "undeveloped/open land" category. Additional information about the Village park system and the total area within park and open space sites is presented in Table 2.3.

Source: Southeastern Wisconsin Regional Planning Commission

Table 2.3
Park and Open Space Sites in the Village of Caledonia Planning Area: 2024

Number on Map 2.3	Site Name	Location	Ownership	Size (acres)
	Public			
1	5 ½ Mile Park	T4N, R23E, Section 17	Village of Caledonia	21
2	32nd Division Memorial Marker and Wayside	T4N, R22E, Section 12	State of Wisconsin	3
3	Chapla Park	T4N, R23E, Section 8	Village of Caledonia	9
4	Cliffside Park	T4N, R23E, Sections 7 and 8	Racine County	223
5	County Line Park	T4N, R22E, Section 2	Village of Caledonia	18
6	Crawford Park	T4N, R23E, Section 20	Village of Caledonia	35
7	Franksville Memorial Park	T4N, R22E, Section 33	Racine County	52
8	Gorney Park	T4N, R22E, Section 3	Village of Caledonia	41
9	Johnson Park and Golf Course	T4N, R22E, Sections 25, 26, and 35	City of Racine	335
10	Johnson Park Dog Run	T4N, R22E, Section 26	City of Racine	28
11	Linwood Park	T4N, R22E, Section 14	Village of Caledonia	12
12	Maple Park	T4N, R23E, Section 28	Village of Caledonia	2
13	Nicholson Wildlife Refuge	T4N, R22E, Section 21	Village of Caledonia	127
14	Olympia Brown Elementary School	T4N, R23E, Section 17	Racine Unified School District	29
15	Renak-Polak Maple Beech Woods	T4N, R22E, Section 14	University of Wisconsin – Parkside	122
16	River Bend Nature Center	T4N, R23E, Section 31	Racine County	75
17	Root River Parkway	T4N, R22E, Section 4	Milwaukee County	38 ^a
18	Root River Parkway	T4N, R22E, Sections 3, 4, 5, 10, 11, 14, 23, 25, and 26 T4N, R23E, Sections 19, 30, and 31	Racine County	613 ^b
19	Tabor Sokol Memorial Park	T4N, R23E, Section 19	Racine County	1
20	Village Land – Markay Stormwater Basin	T4N, R23E, Section 28	Village of Caledonia	22
21	Village Land – SCORE Stormwater Basin	T4N, R22E, Section 33	Village of Caledonia	21
22	Village Land – Caddy Vista Stormwater Basin	T4N, R22E, Section 4	Village of Caledonia	7
23	Village Land – (East Side of Terrace High and North of Richmond Drive)	T4N, R22E, Section 36	Village of Caledonia	4
24	Village Land – (South Side of Four Mile Road and West of Green Bay Road)	T4N, R23E, Section 19	Village of Caledonia	3
25	Village Land – (Southwest Quadrant of Six Mile Road and Union Pacific Railroad)	T4N, R23E, Section 18	Village of Caledonia	3
26	Waters Edge Park	T4N, R23E, Section 16	Village of Caledonia	3
27	W. Allen Gifford School	T4N, R22E, Section 34	Racine Unified School District	12
Subtotal – 27 Sites				1,859
	Private			
28	Armstrong Park	T4N, R23E, Sections 30 and 31	Private	142
29	Auburn Hills I/II Homeowners Open Space	T4N, R22E, Section 36	Private	33
30	Bear Paw Adventure Park	T4N, R22E, Section 4	Commercial	149
31	Caledonia Conservancy – Aboagye/South Country	T4N, R22E, Section 25	Organizational	7
32	Caledonia Conservancy – Ehrlich	T4N, R22E, Section 24	Organizational	58
33	Caledonia Conservancy – Ehrlich	T4N, R22E, Section 24	Organizational	2
34	Caledonia Conservancy – Ehrlich Right-of-Way	T4N, R22E, Section 14	Organizational	18
35	Caledonia Conservancy – Estes Family Right-of-Way	T4N, R22E, Section 14	Organizational	1

Table continued on next page.

Table 2.3 (Continued)

Number on Map 2.3	Site Name	Location	Ownership	Size (acres)
	Private (continued)			
36	Caledonia Conservancy – Halberstadt Right-of-Way	T4N, R22E, Section 14	Organizational	1
37	Caledonia Conservancy – King’s Corner	T4N, R22E, Section 24	Organizational	33
38	Caledonia Conservancy – Neighborhood Central Walk	T4N, R23E, Section 20	Organizational	15
39	Caledonia Conservancy – New Marshall Right-of-Way	T4N, R22E, Section 11	Organizational	2
40	Caledonia Conservancy – Rohner Right-of-Way	T4N, R22E, Section 11	Organizational	1
41	Caledonia Conservancy – Schumann Right-of-Way	T4N, R22E, Sections 2 and 3	Organizational	6
42	Caledonia Conservancy – Short Road/Lorence Woods	T4N, R22E, Sections 13 and 14	Organizational	21
43	Caledonia Conservancy – Short Right-of-Way	T4N, R22E, Section 13	Organizational	1
44	Caledonia Conservancy – Tabor Woods	T4N, R22E, Section 13	Organizational	35
45	Caledonia Conservancy – Trout Ponds Prairie	T4N, R22E, Sections 24 and 25	Organizational	28
46	Caledonia Conservancy – Topley	T4N, R22E, Section 24	Organizational	3
47	Caledonia Conservancy – Tracks Trail	T4N, R22E, Section 2	Organizational	33
48	Crestview Homeowners Park	T4N, R23E, Section 17	Organizational	16
49	Greater Racine Kennel Club	T4N, R22E, Section 11	Commercial	20
50	Husher’s Pub and Grill	T4N, R22E, Section 9	Commercial	2
51	Mulligan’s Mini-Golf	T4N, R23E, Section 18	Commercial	24
52	Oldfield Settlement Homeowners Open Space	T4N, R22E, Section 19	Private	43
53	Orrin C. Stearns Park	T4N, R22E, Section 35	Private	3
54	Prairie Pathways Homeowners Open Space	T4N, R22E, Section 33	Private	55
55	Prince of Peace Lutheran Church/School	T4N, R23E, Section 7	Organizational	3
56	Racine Area Soccer Association (Soccer Complex of Racine - SCORE)	T4N, R22E, Section 33	Organizational	59
57	Racine County Line Rifle Club Range	T4N, R23E, Section 6	Organizational	74
58	Racine County Pony Club	T4N, R22E, Section 25	Organizational	71
59	Racine Tennis Club	T4N, R23E, Section 21	Commercial	2
60	Serbian Soccer Club of Milwaukee/St. Nikola Church	T4N, R22E, Section 6	Organizational	46
61	St. Louis Church/Discovery Stage Preschool	T4N, R22E, Section 18	Organizational	9
62	St. Rita School	T4N, R23E, Section 29	Organizational	8
63	The Ponds I/II Homeowners Open Space	T4N, R22E, Sections 18 and 19	Private	118
64	Trinity Lutheran Church/School	T4N, R22E, Section 9	Organizational	4
65	Witt’s End	T4N, R22E, Section 17	Commercial	1
66	Wooded Valley Homeowners Open Space	T4N, R22E, Section 13	Private	14
67	Yogi Bear’s Jellystone Park	T4N, R22E, Section 4	Commercial	73
Subtotal – 40 Sites				1,234
Total – 67 Sites				3,093

^a Additional parkway lands are located in Milwaukee County.

^b Includes only the acreage located within the Village. The remaining lands (55 acres) under Racine County ownership are located in the Village of Raymond.

Source: Village of Caledonia and Southeastern Wisconsin Regional Planning Commission

Table 2.4
Selected Outdoor Recreation Facilities for General Use in the Village of Caledonia Planning Area: 2024

Number on Map 2.3	Site Name	Baseball Diamonds	Softball-League Diamonds	Softball-Sandlot Diamonds	Playfield	Play-Ground	Tennis Courts	Basketball Hoops	Soccer Field	Ice Skating Rink	Pool or Beach	Other
	Public											
1	5 ½ Mile Park	--	--	--	--	--	--	--	--	--	--	Undeveloped Park, Open Space
2	32nd Division Memorial Marker and Wayside	--	--	--	--	--	--	--	--	--	--	Passive Use, Informal Picnic Areas
3	Chapla Park	--	--	--	--	--	--	--	--	--	--	Passive Use, Scenic Overlook
4	Cliffside Park	1	3	--	X	X	--	3	2	--	--	Campgrounds (95 Sites), Group and Informal Picnic Areas, Bicycle and Hiking Trails, Shelters, Restrooms
5	County Line Park	--	--	--	--	--	--	--	--	--	--	Undeveloped Park, Open Space
6	Crawford Park	2	--	--	X	X	2	2	--	--	--	Sand Volleyball Courts, Shelters, Restrooms, Pathways, Concessions
7	Franksville Memorial Park	--	1 ^a	2	X	X	2	2	5	--	--	Sand Volleyball Courts, Formal Picnic Areas, Restrooms, Kids Connection Playground, Horseshoe Pits, Shelters
8	Gorney Park	1	1	--	X	X	--	--	2	--	--	Hiking Trail, Fishing, Shelters, Picnic Areas, Restrooms, Pier
9	Johnson Park and Golf Course	--	--	--	X	X	--	--	--	--	--	18-Hole Golf Course, Picnic Areas, Fishing, Driving Range, Disc Golf Course, Shelters, Restrooms, Concessions, Historical Exhibit, Nature Area
10	Johnson Park Dog Run	--	--	--	--	--	--	--	--	--	--	Dog Exercise Area
11	Linwood Park	--	--	--	X	--	--	--	--	--	--	Horseshoe Pits, Fishing, Shelter, Picnic Areas
12	Maple Park	--	--	--	X	X	--	--	--	--	--	Shelter
13	Nicholson Wildlife Refuge	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Nature Trails, Boardwalk
14	Olympia Brown Elementary School	--	--	--	X	X	--	2	1	--	--	--
15	Renak-Polak Maple Beech Woods	--	--	--	--	--	--	--	--	--	--	Conservancy Area
16	River Bend Nature Center	--	--	--	--	--	--	--	--	--	--	Nature Study Area, Canoe Launch, Hiking and Cross-Country Skiing Trails, Informal Picnic Areas, Pavilion/Shelter, Restrooms
17	Root River Parkway	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Fishing
18	Root River Parkway	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Canoe Launch, Fishing
19	Tabor Sokol Memorial Park	--	--	--	--	--	--	--	--	--	--	Passive Use, Informal Picnic Areas
20	Village Land – Markay Stormwater Basin	--	--	--	--	--	--	--	--	--	--	Open Space
21	Village Land – SCORe Stormwater Basin	--	--	--	--	--	--	--	6	--	--	--
22	Village Land – Caddy Vista Stormwater Basin	--	--	--	--	--	--	--	--	--	--	Open Space
23	Village Land – (East Side of Terrace High and North of Richmond Drive)	--	--	--	--	--	--	--	--	--	--	Open Space
24	Village Land – (South Side of Four Mile Road and West of Green Bay Road)	--	--	--	--	--	--	--	--	--	--	Open Space
25	Village Land – (Southwest Quadrant of Six Mile Road and Union Pacific Railroad)	--	--	--	--	--	--	--	--	--	--	Open Space

Table continued on next page.

Table 2.4 (Continued)

Number on Map 2.3	Site Name	Baseball Diamonds	Softball-League Diamonds	Softball-Sandlot Diamonds	Playfield	Play-Ground	Tennis Courts	Basketball Hoops	Soccer Field	Ice Skating Rink	Pool or Beach	Other
	Public (continued)											
26	W. Allen Gifford School	--	--	--	X	X	--	2	--	--	--	--
27	Waters Edge Park	--	--	--	--	--	--	--	--	--	--	Passive Use, Walking Trail
	Subtotal – 27 Sites	4	5	2	9	8	4	11	16	--	--	--
	Private											
28	Armstrong Park	--	2	--	X	X	4	2	--	--	--	Sand Volleyball Courts, Hiking Trails, Group and Informal Picnic Areas, Recreation and Fitness Center, Miniature Golf, Driving Range, Horseshoe Pits, Fishing, Shelters, Aquatic Center
29	Auburn Hills I/II Homeowners Open Space	--	--	--	--	--	--	--	--	--	--	Open Space
30	Bear Paw Adventure Park	--	--	--	--	--	--	--	--	--	X	Obstacle Course, Ropes Course
31	Caledonia Conservancy – Aboagye/South Country	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trail
32	Caledonia Conservancy – Ehrlich	--	--	--	--	--	--	--	--	--	--	Conservancy Area
33	Caledonia Conservancy – Ehrlich	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trails, Cross-Country Skiing, Horse Trails
34	Caledonia Conservancy – Ehrlich Right-of-Way	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trail
35	Caledonia Conservancy – Estes Family Right-of-Way	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trail
36	Caledonia Conservancy – Halberstadt Right-of-Way	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trail
37	Caledonia Conservancy – King’s Corner	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trails, Cross-Country Skiing, Horse Trails
38	Caledonia Conservancy – Neighborhood Central Walk	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trails
39	Caledonia Conservancy – New Marshall Right-of-Way	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trail
40	Caledonia Conservancy – Rohner Right-of-Way	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trail
41	Caledonia Conservancy – Schumann Right-of-Way	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trail
42	Caledonia Conservancy – Short Road/ Lorence Woods	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trail
43	Caledonia Conservancy – Short Right-of-Way	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trail
44	Caledonia Conservancy – Tabor Woods	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trails
45	Caledonia Conservancy – Trout Ponds Prairie	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trails, Horse Trail, Cross-Country Skiing, Fishing, Picnic Areas
46	Caledonia Conservancy – Tepley	--	--	--	--	--	--	--	--	--	--	Conservancy Area
47	Caledonia Conservancy – Tracks Trail	--	--	--	--	--	--	--	--	--	--	Conservancy Area, Hiking Trail, Horse Trail
48	Crestview Homeowners Park	--	--	--	X	X	1	2	--	--	--	Shelter
49	Greater Racine Kennel Club	--	--	--	--	--	--	--	--	--	--	Kennel Club
50	Husher’s Pub and Grill	--	--	--	--	--	--	--	--	--	--	Horseshoe Pits
51	LifeSport Tennis Club	--	--	--	--	--	9 ^b	1	--	--	--	Volleyball Court
52	Mulligan’s Mini-Golf	--	1	--	--	--	--	--	--	--	--	Miniature Golf, Driving Range

Table continued on next page.

Table 2.4 (Continued)

Number on Map 2.3	Site Name	Baseball Diamonds	Softball-League Diamonds	Softball-Sandlot Diamonds	Playfield	Play-Ground	Tennis Courts	Basketball Hoops	Soccer Field	Ice Skating Rink	Pool or Beach	Other
	Private (continued)											
53	Oldfield Settlement Homeowners Open Space	--	--	--	--	--	--	--	--	--	--	Open Space, Hiking Trails
54	Orrin C. Stearns Park	--	--	--	--	--	--	--	--	--	X	Informal Picnic Areas, Passive Use
55	Prairie Pathways Homeowners Open Space	--	--	--	X	X	--	--	--	--	--	Open Space, Hiking Trail
56	Prince of Peace Lutheran Church/School	--	--	--	--	X	--	--	--	--	--	--
57	Racine Area Soccer Association (Soccer Complex of Racine - SCORE)	--	--	--	--	--	--	--	35	--	--	Shelters, Restrooms
58	Racine County Line Rifle Club Range	--	--	--	--	--	--	--	--	--	--	Shooting Range, Archery Range
59	Racine County Pony Club	--	--	--	--	--	--	--	--	--	--	Equestrian Center
60	Serbian Soccer Club of Milwaukee/ St. Nikola Church	--	--	--	X	--	--	--	2	--	--	Shelters, Picnic Area, Restrooms
61	St. Louis Church/School	--	--	1	X	X	--	2	--	--	--	--
62	St. Rita School	--	--	1	X	X	--	5	1	--	--	--
63	The Ponds I/II Homeowners Open Space	--	--	--	--	--	--	--	--	--	--	Open Space, Hiking Trails, Gazebo
64	Trinity Lutheran Church/School	--	--	1	X	X	--	3	1	--	--	--
65	Witt's End	--	--	--	--	--	--	--	--	--	--	Horseshoe Pits
66	Wooded Valley Homeowners Open Space	--	--	--	--	--	--	--	--	--	--	Open Space
67	Yogi Bear's Jellystone Park	--	--	1	X	X	--	2	--	--	X	Campgrounds (280 Sites), Sand Volleyball Courts, Horseshoe Pits, Miniature Golf, Waterslide, Outdoor Theater, Fishing, Bath Houses
	Subtotal – 40 Sites	--	3	5	8	8	14	17	39	--	3	--
	Total – 67 Sites	4	8	8	19	18	18	36	57	--	3	--

^a May also serve as a baseball diamond.

^b The tennis courts are located indoors.

Source: Village of Caledonia and Southeastern Wisconsin Regional Planning Commission

Table 2.5
Conservation Easements in the Village of Caledonia: 2024

Number on Map 2.4	Site Name	Location	Holder of Easement	Size (acres)
1	Caledonia Conservancy Easement	T4N, R22E, Section 11	Caledonia Conservancy	1
2	Duda Easement	T4N, R22E, Section 14	Kenosha Racine Land Trust	12
3	Erlandsson Easement	T4N, R22E, Section 13	Caledonia Conservancy	1
4	Greater Racine Kennel Club Easement	T4N, R22E, Section 11	Caledonia Conservancy	1
5	McCalvy Easement	T4N, R22E, Section 12	Caledonia Conservancy	26
6	Myers Easement	T4N, R23E, Section 19	Kenosha Racine Land Trust	224
7	Neubauer Trail Easement	T4N, R22E, Section 24	Caledonia Conservancy	13
8	Ryder Easement	T4N, R22E, Sections 13 and 14	Kenosha Racine Land Trust	36
9	Wetland Easement	T4N, R22E, Sections 18 and 19	Wisconsin Department of Natural Resources	5
Total – 9 Sites				319

Source: Village of Caledonia and Southeastern Wisconsin Regional Planning Commission

Table 2.6
Village of Caledonia Park System: 2024

Number on Map 2.5	Site Name	Location	Type	Size (acres)
1	5 ½ Mile Park	T4N, R23E, Section 17	Undeveloped Neighborhood Park	21
2	Chapla Park	T4N, R23E, Section 8	Neighborhood Park	9
3	County Line Park	T4N, R22E, Section 2	Undeveloped Neighborhood Park	18
4	Crawford Park	T4N, R23E, Section 20	Community Park	35
5	Gorney Park	T4N, R22E, Section 3	Community Park	41
6	Linwood Park	T4N, R22E, Section 14	Neighborhood Park	12
7	Maple Park	T4N, R23E, Section 28	Neighborhood Park	2
8	Nicholson Wildlife Refuge	T4N, R22E, Section 21	Conservancy Area	127
9	Village Land – Markay Stormwater Basin	T4N, R23E, Section 28	Open Space Site	22
10	Village Land – SCORE Stormwater Basin	T4N, R22E, Section 33	Open Space Site	21
11	Village Land – Caddy Vista Stormwater Basin	T4N, R22E, Section 4	Open Space Site	7
12	Village Land – (East Side of Terrace High and North of Richmond Drive)	T4N, R22E, Section 36	Open Space Site	4
13	Village Land – (South Side of Four Mile Road and West of Green Bay Road)	T4N, R23E, Section 19	Open Space Site	3
14	Village Land - (Southwest Quadrant of Six Mile Road and Union Pacific Railroad)	T4N, R23E, Section 18	Open Space Site	3
15	Waters Edge Park	T4N, R23E, Section 16	Undeveloped Neighborhood Park	3
Total – 15 Sites				328

Source: Village of Caledonia and Southeastern Wisconsin Regional Planning Commission

Table 2.7
Environmental Corridors and
Isolated Natural Resource Areas in
the Village of Caledonia: 2020

Corridor Type	Acres	Percent^a
Primary Environmental Corridor	1,859	6.4
Secondary Environmental Corridor	393	1.3
Isolated Natural Resource Area	1,452	5.0
Total	3,704	12.7

^a Percent of the Village land area (29,175 acres) with corridor.

Source: Southeastern Wisconsin Regional Planning Commission

Table 2.8

Natural Areas, Critical Species Habitat Sites, Geological Sites, and Aquatic Habitat Areas in the Village of Caledonia: 2020

Site Type ^a	Number on Map 2.9	Area Name	Location	Ownership	Size (acres)	Description and Comments
NA-1 (SNA)	1	Renak-Polak Maple-Beech Woods State Natural Area	T4N, R22E Section 14	University of Wisconsin – Parkside, Caledonia Conservancy, and other private	138	Outstanding, mostly old-growth low-lying southern mesic forest on east side of Root River. Wet-mesic hardwoods, shrub-carr, and shallow marsh lie along an intermittent stream which crosses the tract. Noted for spectacular displays of spring wildflowers. Probably the best such woods remaining in the Region
NA-2	2	Cliffside Park Woods and Clay Banks	T4N, R23E Sections 7 and 8	Racine County and Village of Caledonia	55	Second-growth mesic woods, ravine, and steep clay banks along Lake Michigan harbor a rich and diverse flora, including such uncommon species as buffaloberry, cream gentian, stiff gentian, balsam poplar, and the State-designated endangered blue-stemmed goldenrod (<i>Solidago caesia</i>)
	3	Hunts Woods	T4N, R22E Sections 2 and 3	Racine County and private	36	A small but undisturbed remnant of southern mesic hardwoods, dominated by mature beeches and sugar maples. The woods to the south and east are younger, while to the north are lowland hardwoods. The relatively rich ground flora includes the State-designated endangered blue-stemmed goldenrod (<i>Solidago caesia</i>)
	4	Root River Wet-Mesic Woods—East	T4N, R22E Section 5	Racine County	2 ^b	Wet-mesic and mesic woods bordering a gravel-bottom stream that is tributary to the Root River. Contains a rich, diverse flora, including several rare species
NA-3	5	Caledonia Low Woods	T4N, R22E Sections 10, 11, and 14	Racine County and private	107	Moderate-quality lowland hardwoods bordering the Root River. Adjoining upland woods contains three State-designated special concern species: American gromwell (<i>Lithospermum latifolium</i>), red trillium (<i>Trillium recurvatum</i>), and black haw (<i>Viburnum prunifolium</i>)
	6	Dominican Ravine	T4N, R23E Section 21	Private	18	Small woodland containing blue-stemmed goldenrod (<i>Solidago caesia</i>), a State-designated endangered species
	7	Foley Road Woods—East	T4N, R22E Section 11	Private	24	Moderate-quality mesic woods with a rich ground flora; reportedly contains the State-designated endangered blue-stemmed goldenrod (<i>Solidago caesia</i>)

Table continued on next page.

Table 2.8 (Continued)

Site Type ^a	Number on Map 2.9	Area Name	Location	Ownership	Size (acres)	Description and Comments
NA-3 (continued)	8	Foley Road Woods—West	T4N, R22E Section 11	Private	19	Medium-age mesic and wet-mesic woods with a large population of black haw (<i>Viburnum prunifolium</i>)
	9	Nicholson Wildlife Refuge	T4N, R22E Section 21	Village of Caledonia and private	166	An open wetland with seasonal ponds that attract a large number of migrating birds such as whistling swans, snow geese, golden plovers, and willets. The pond is one of the few secure stopover areas in the Region, and it is a very good observation area
	10	Power Plant Ravine Woods	T4N, R23E Section 6	WE Energies	32	Mesic woods bordering a steep ravine that leads to Lake Michigan. Although the woods has suffered from disturbance, it contains a rich flora, including a large population of the State-designated endangered blue-stemmed goldenrod (<i>Solidago caesia</i>). The exposed ravine slopes and Lake Michigan clay banks contain a number of unusual species
	11	Root River Riverine Forest	T4N, R22E Sections 3, 4, 5, and 6	Racine County, Milwaukee County, and private	185 ^c	A significant portion of the Root River corridor
	12	Seven Mile Road Woods	T4N, R22E Section 8	Private	20	Second-growth maple-ash-oak woods of about 75 years of age that has been subjected to past selective cutting. Contains a rich and diverse ground flora. Low areas contain ephemeral ponds
	13	Tabor Woods	T4N, R22E Sections 13 and 14	Caledonia Conservancy and other private	106	Relatively large but irregularly shaped mesic, dry-mesic, and wet-mesic woods that have suffered various degrees of disturbance. Portions of the woods are dominated by beech. Threatened by increasing residential development in the area
	14	Zirbes Woods	T4N, R22E Section 9	Private	13	A small but relatively undisturbed mesic woods dominated by basswood, white ash, red oak, and sugar maple, with a rich ground flora. Future high-grading is indicated by a number of the larger oaks which were marked
	CSH	15	Caledonia Low Woods – South	T4N, R23E Section 30	Racine County and private	30
16		Caledonia Sanitary Sewer Right-of-Way	T4N, R22E Section 25	Caledonia Conservancy, Racine County, and private	74 ^d	Shrubland containing blue-stemmed goldenrod (<i>Solidago caesia</i>), a State-designated endangered species, and two species of special concern
17		Cliffside Park Old Field	T4N, R23E Sections 7 and 8	Racine County	55	Old field/grassland complex within county park containing breeding habitat for a number of grassland-nesting birds

Table continued on next page.

Table 2.8 (Continued)

Site Type ^a	Number on Map 2.9	Area Name	Location	Ownership	Size (acres)	Description and Comments
CSH (continued)	17	Cliffside Park Old Field	T4N, R23E Sections 7 and 8	Racine County	55	Old field/grassland complex within county park containing breeding habitat for a number of grassland-nesting birds
	18	Forked Aster Site	T4N, R22E Section 23	Racine County and private	18	Woodland supporting forked aster (<i>Aster furcatus</i>), a State-designated threatened species
	19	Four Mile Road Woods	T4N, R23E Sections 19 and 30	Private	31	Small woodland supporting a population of a State designated special concern species
	20	Lakeside Woods	T4N R23E Section 6	WE Energies	2	Small woodland on grounds of Oak Creek Power Plant containing blue-stemmed goldenrod (<i>Solidago caesia</i>), a State-designated endangered species
	21	River Bend Upland Woods	T4N, R23E Section 31	Racine County	14	Dry-mesic woods containing blue-stemmed goldenrod (<i>Solidago caesia</i>), a State-designated endangered species
	22	Riverpark Bluff Woods	T4N, R23E Section 31	Private	1	Thinly wooded river bluff supporting a rare species
	23	Root River Bluff	T4N, R22E Section 26	Racine County and private	39 ^e	Small woodland supporting hoptree (<i>Ptelea trifoliata</i>), a State-designated special concern species
	24	Root River Ravine Woods	T4N R23E Section 30	Private	5	Small woodland supporting red trillium (<i>Trillium recurvatum</i>), a State-designated special concern species
	25	Root River Strip Woods	T4N, R23E Section 31	Racine County and private	2	Small woodland supporting a State-designated special concern species, hoptree (<i>Ptelea trifoliata</i>)
	26	Sherwood Property	T4N, R22E Section 2	Private	4	Wetland containing a population of hoplike sedge (<i>Carex lupuliformis</i>), a State-designated endangered species
	27	WEPCO Oak Woods	T4N, R22E Section 1 T4N, R23E Section 6	WE Energies	14	Small woodland on grounds of Oak Creek Power Plant containing blue-stemmed goldenrod (<i>Solidago caesia</i>), a State-designated endangered species
	28	WEPCO Woods	T4N, R22E Section 1	WE Energies	18	Small woodland on grounds of Oak Creek Power Plant containing blue-stemmed goldenrod (<i>Solidago caesia</i>), a State-designated endangered species
GA-3	29	Cliffside Park Clay Banks	T4N, R23E Sections 7 and 8	Racine County, Village of Caledonia, and WE Energies	14	Clay banks along Lake Michigan shoreline
	30	Root River Outcrops	T4N, R22E Section 26	Racine County and private	19 ^f	Low outcrops of Racine Dolomite along Root River; one of few places in Racine County where rock is exposed
AQ-3 (RSH)	31	Root River downstream from County Line Road to Nicholson Road	T3N, R22E Sections 4 and 5	--	1.9 ^g miles	Bisects identified Natural Areas
	32	Root River downstream from Nicholson Road to STH 38	T3N, R22E Sections 3, 10, 11, 14, 23, 25, and 26 T3N, R23E Sections 19, 30, and 31	--	10.0 ^g miles	Critical herptile species habitat

Table continued on next page.

Table 2.8 (Continued)

^a Site types are classified as follows:

NA-1 identifies Natural Areas of statewide or greater significance

NA-2 identifies Natural Areas of countywide or regional significance

NA-3 identifies Natural Areas of local significance

CSH identifies Critical Species Habitat sites

GA-3 identifies Geological Areas of local significance

SNA, or State Natural Area, identifies those sites officially designated as State Natural Areas by the State of Wisconsin Natural Areas Preservation Council

RSH, or Rare Species Habitat, identifies those Aquatic Areas which support habitat for endangered, threatened, or "special concern" species officially designated by the Wisconsin Department of Natural Resources

AQ-3 identifies Aquatic Areas of local significance.

^b Includes only the acreage located in the Village. Total acreage is 52 acres. Milwaukee County owns the remaining 50-acre portion of the site.

^c Includes only the acreage located in the Village. Total acreage is 331 acres. Milwaukee County owns a 143-acre portion of the site and the Wisconsin Department of Transportation owns a two-acre portion of the site. The remaining one acre is under private ownership.

^d Includes only the acreage located in the Village. Total acreage is 94 acres. The remaining 20 acres are located in the City of Racine and owned by the City of Racine as part of Johnson Park and Golf Course.

^e Includes only the acreage located in the Village. Total acreage is 50 acres. The remaining 11 acres are located in the City of Racine and owned by the City of Racine as part of Johnson Park Golf Course or the Johnson Park Dog Run.

^f Includes only the acreage located in the Village. Total acreage is 25 acres. The remaining six acres are located in the City of Racine and owned by the City of Racine as part of the Johnson Park Dog Run.

^g Portion of the site extends outside of the Village and miles given are entirely within the Village.

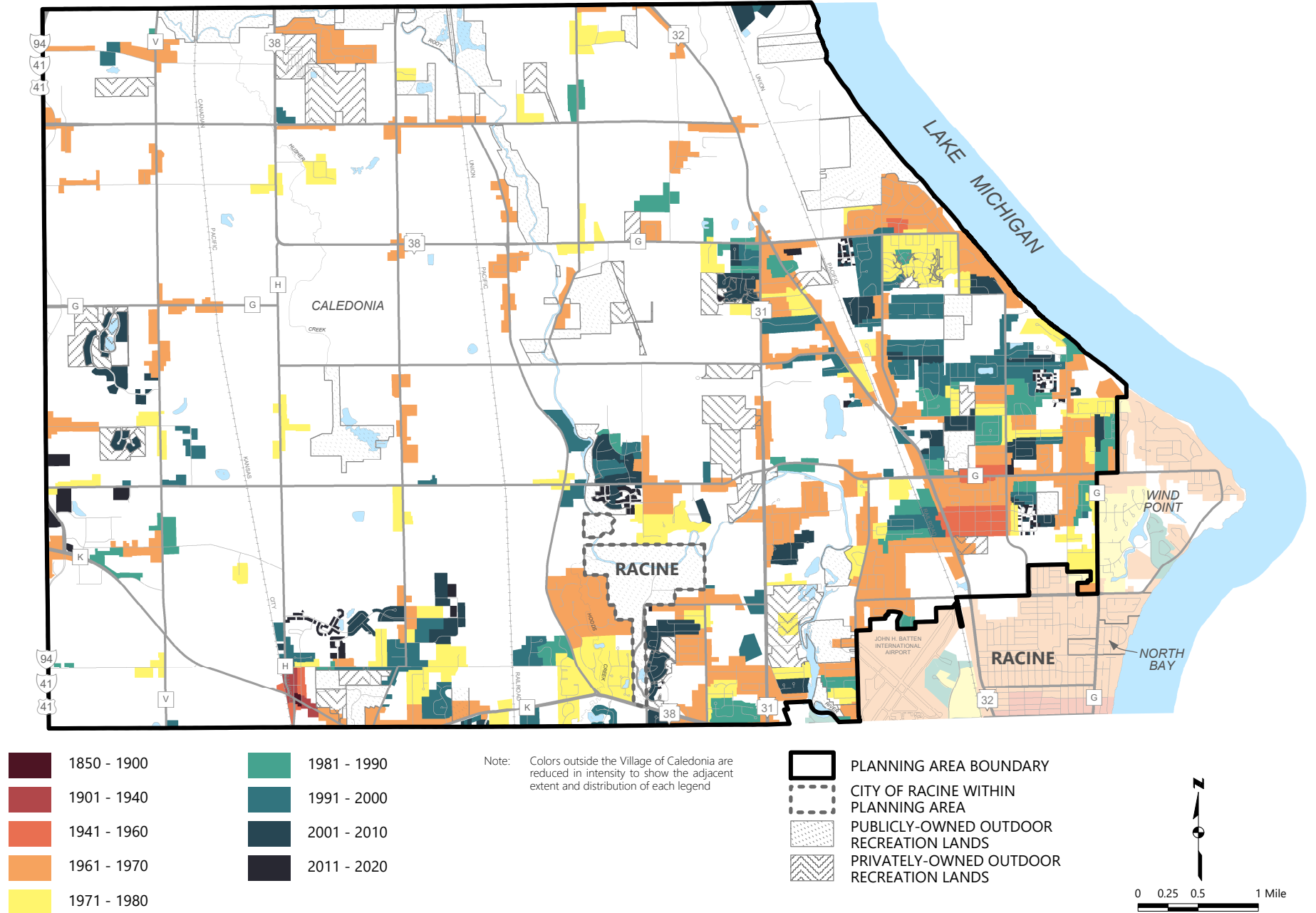
Source: Wisconsin Department of Natural Resources and Southeastern Wisconsin Regional Planning Commission

Community Assistance Planning Report No. 179 (4th Edition)
A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

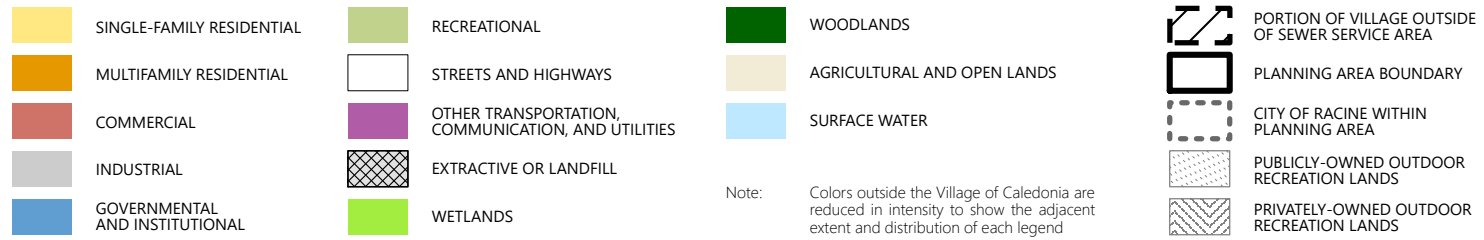
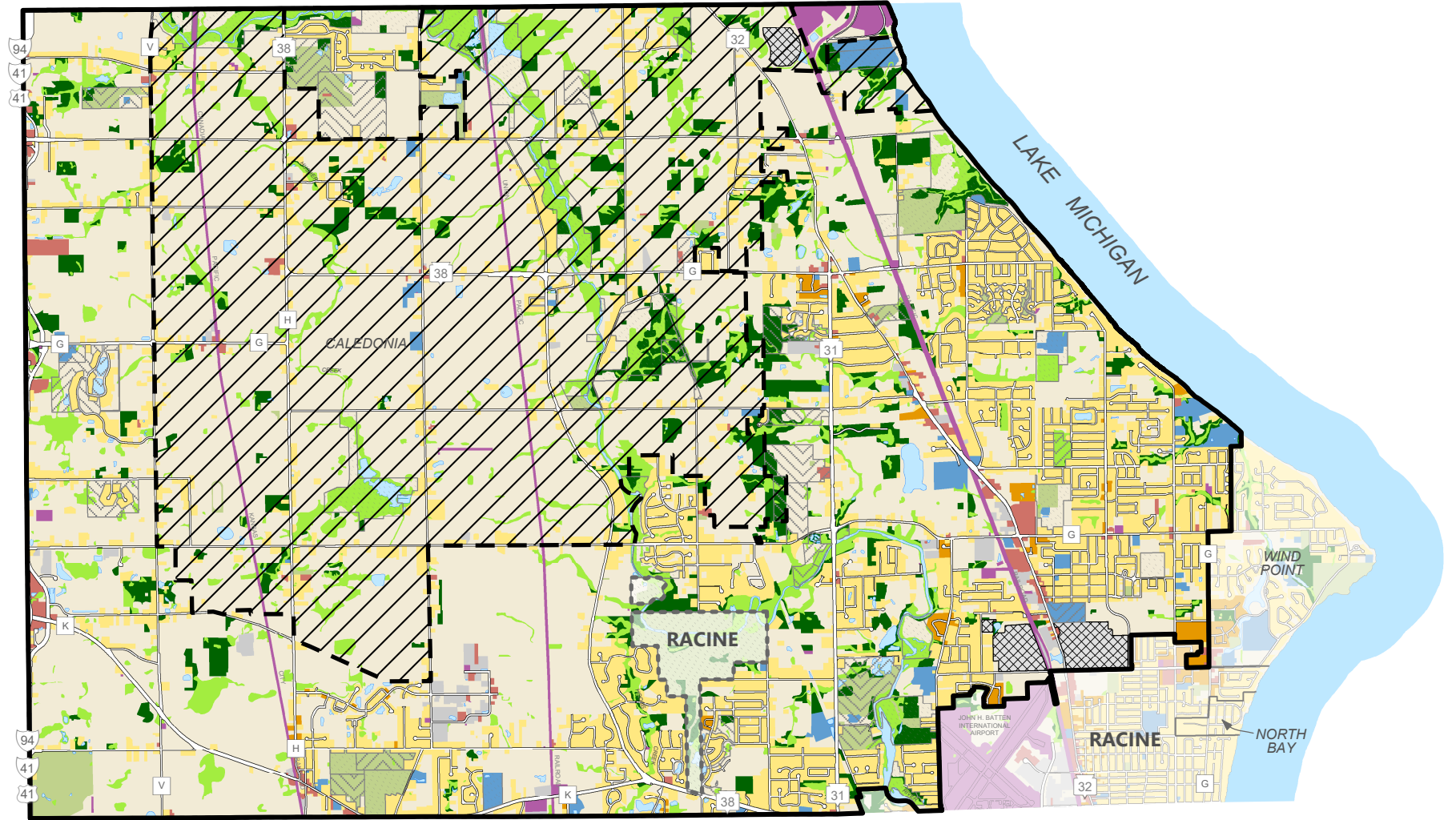
Chapter 2

MAPS

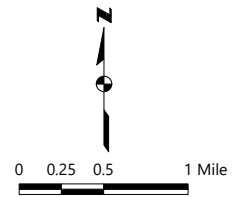
Map 2.1
Village of Caledonia Historical Urban Growth: 1850 - 2020



Map 2.2
Village of Caledonia Existing Land Use: 2020

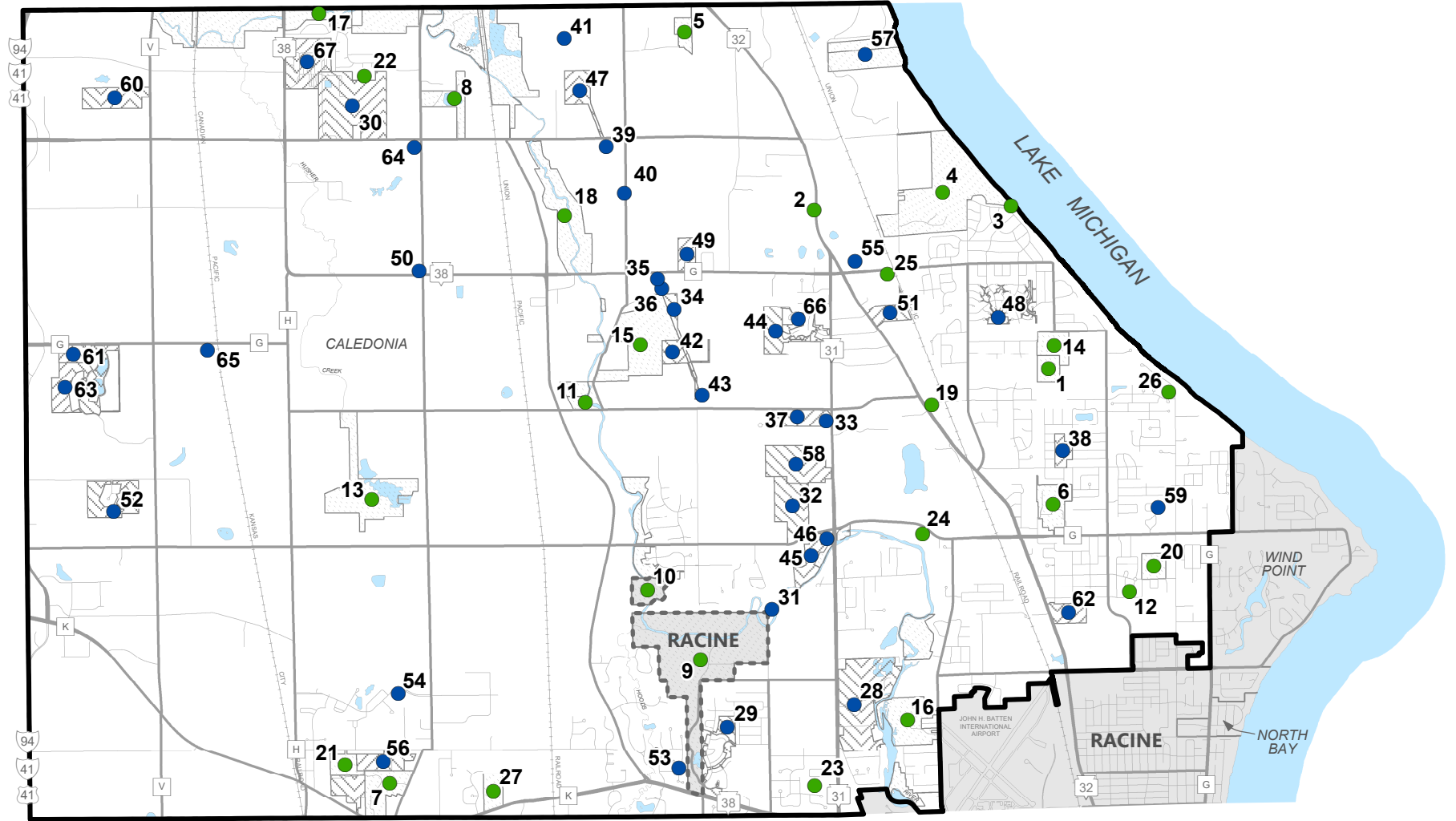


Note: Colors outside the Village of Caledonia are reduced in intensity to show the adjacent extent and distribution of each legend



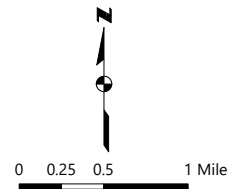
Source: Southeastern Wisconsin Regional Planning Commission
 Last Updated: 2/5/2025

Map 2.3
Park and Open Space Sites in the Village of Caledonia Planning Area: 2024



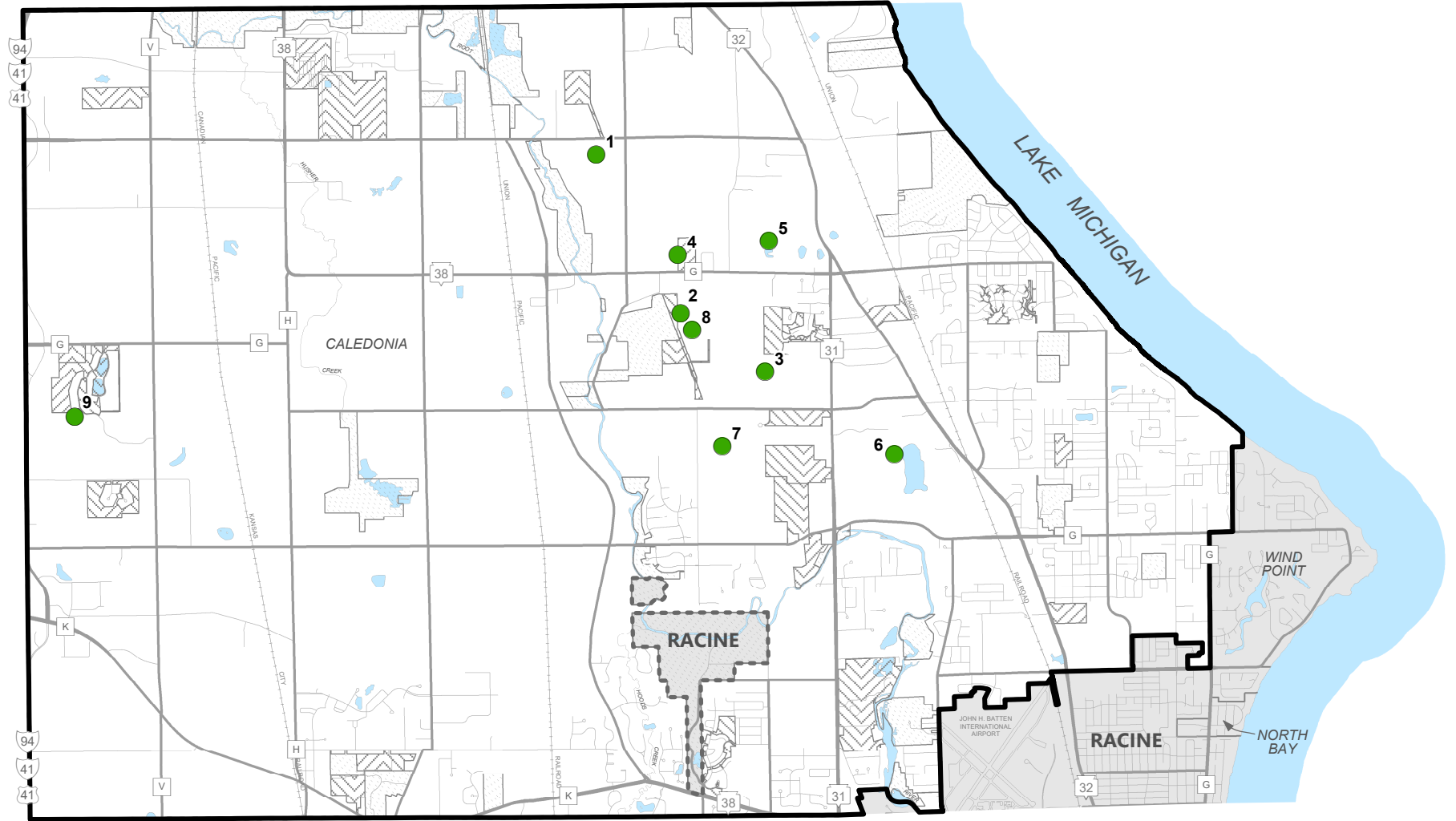
- PUBLICLY-OWNED SITE
- PRIVATELY-OWNED SITE
- 5** REFERENCE NUMBER
(SEE TABLE 2.3)

- PLANNING AREA BOUNDARY
- CITY OF RACINE WITHIN PLANNING AREA
- PUBLICLY-OWNED OUTDOOR RECREATION LANDS
- PRIVATELY-OWNED OUTDOOR RECREATION LANDS



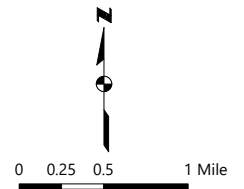
Source: Southeastern Wisconsin
 Regional Planning Commission
 Last Updated: 2/5/2025

Map 2.4
Conservation Easements in the Village of Caledonia Planning Area: 2024



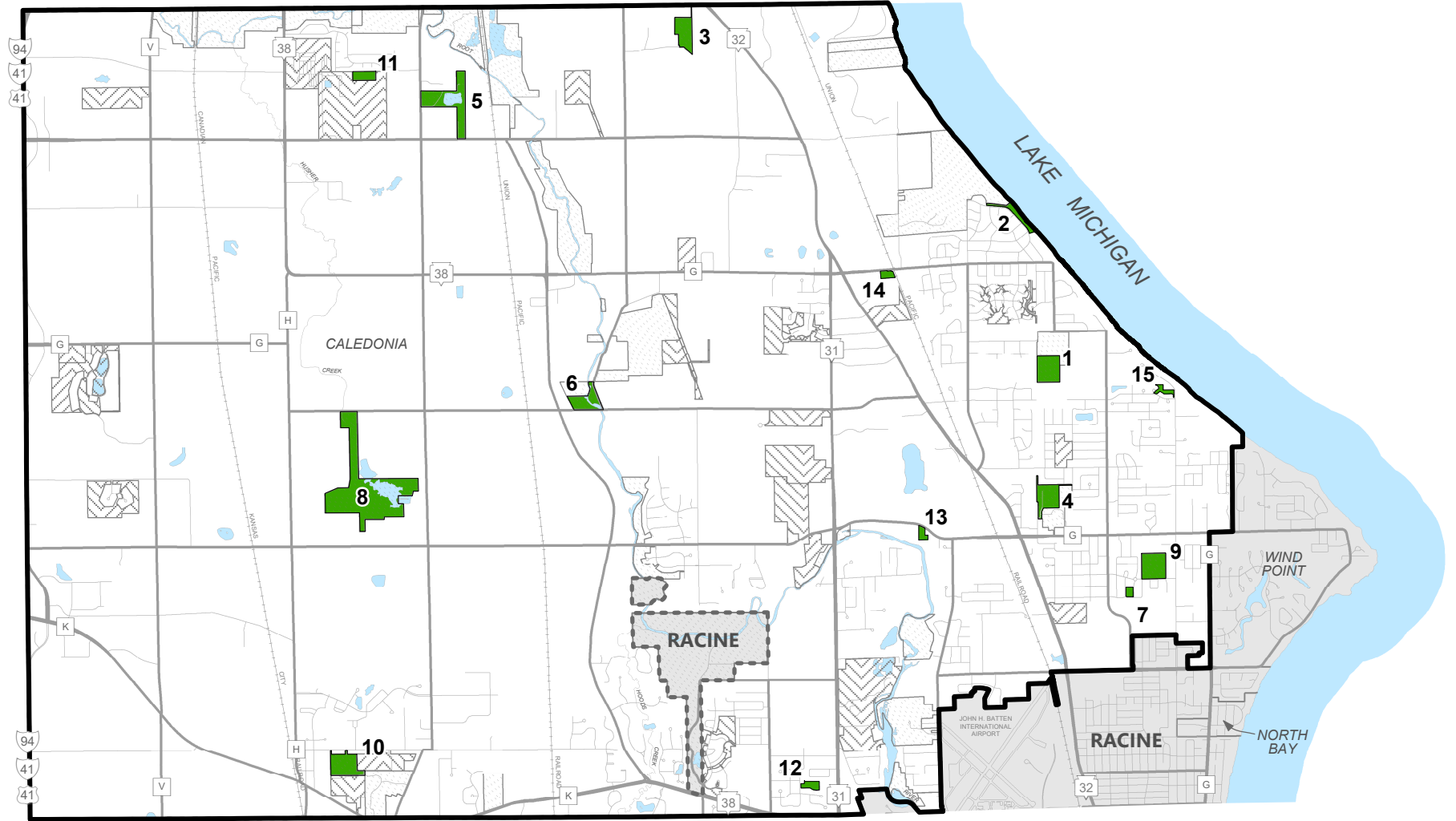
- CONSERVATION EASEMENT
- 5** REFERENCE NUMBER (SEE TABLE 2.5)


- PLANNING AREA BOUNDARY
- CITY OF RACINE WITHIN PLANNING AREA
- PUBLICLY-OWNED OUTDOOR RECREATION LANDS
- PRIVATELY-OWNED OUTDOOR RECREATION LANDS







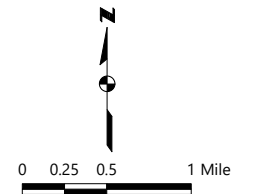
Source: Southeastern Wisconsin
 Regional Planning Commission
 Last Updated: 2/5/2025

Map 2.5
Village of Caledonia Park System: 2024



 VILLAGE-OWNED PARK OR OPEN SPACE SITE
5 REFERENCE NUMBER
 (SEE TABLE 2.6)

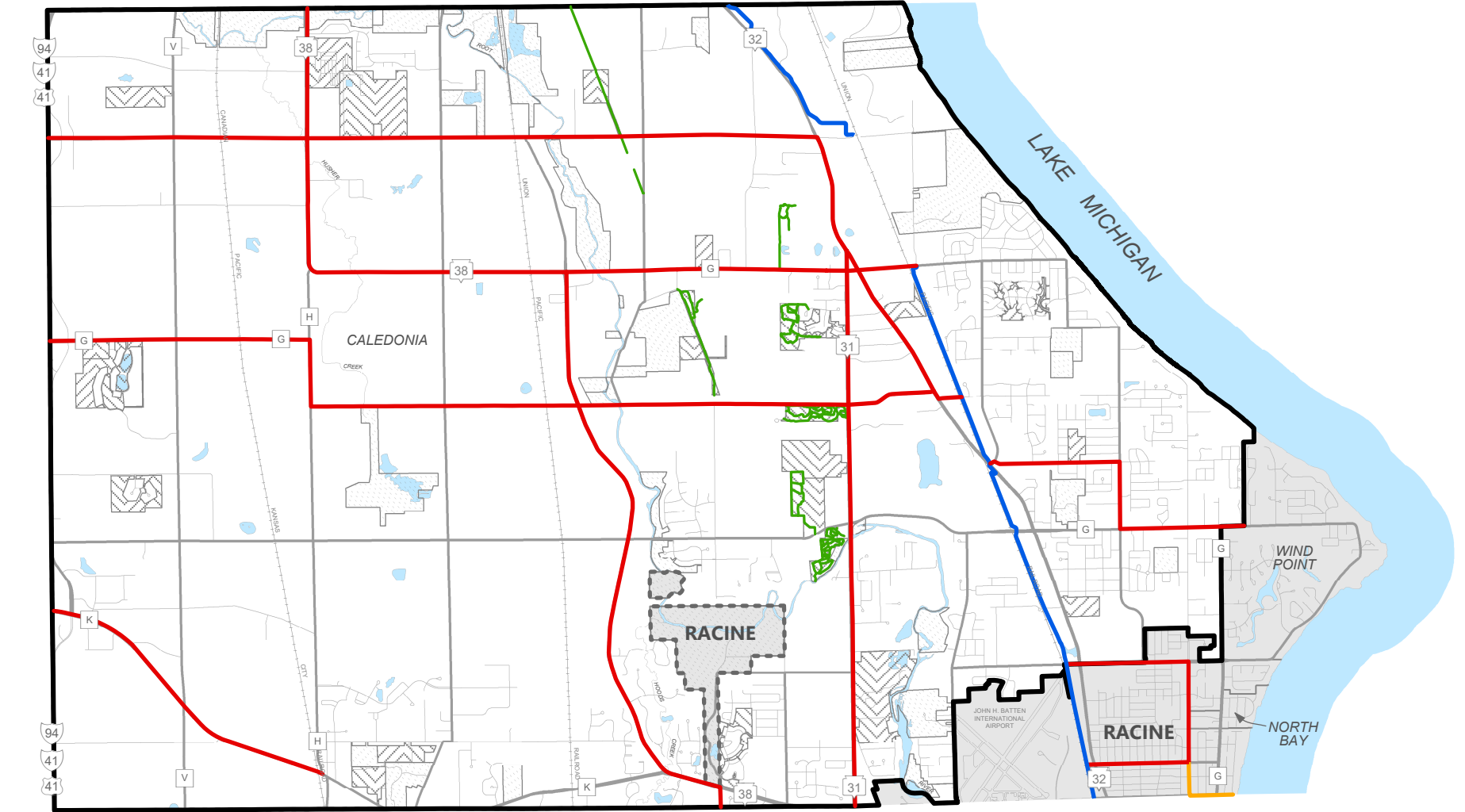
 PLANNING AREA BOUNDARY
 CITY OF RACINE WITHIN PLANNING AREA
 PUBLICLY-OWNED OUTDOOR RECREATION LANDS
 PRIVATELY-OWNED OUTDOOR RECREATION LANDS



Source: Village of Caledonia
 and Southeastern Wisconsin
 Regional Planning Commission

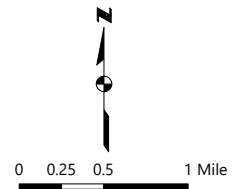
Last Updated: 2/5/2025

Map 2.6
Existing Public Trails and Bikeways in the Village of Caledonia: 2023



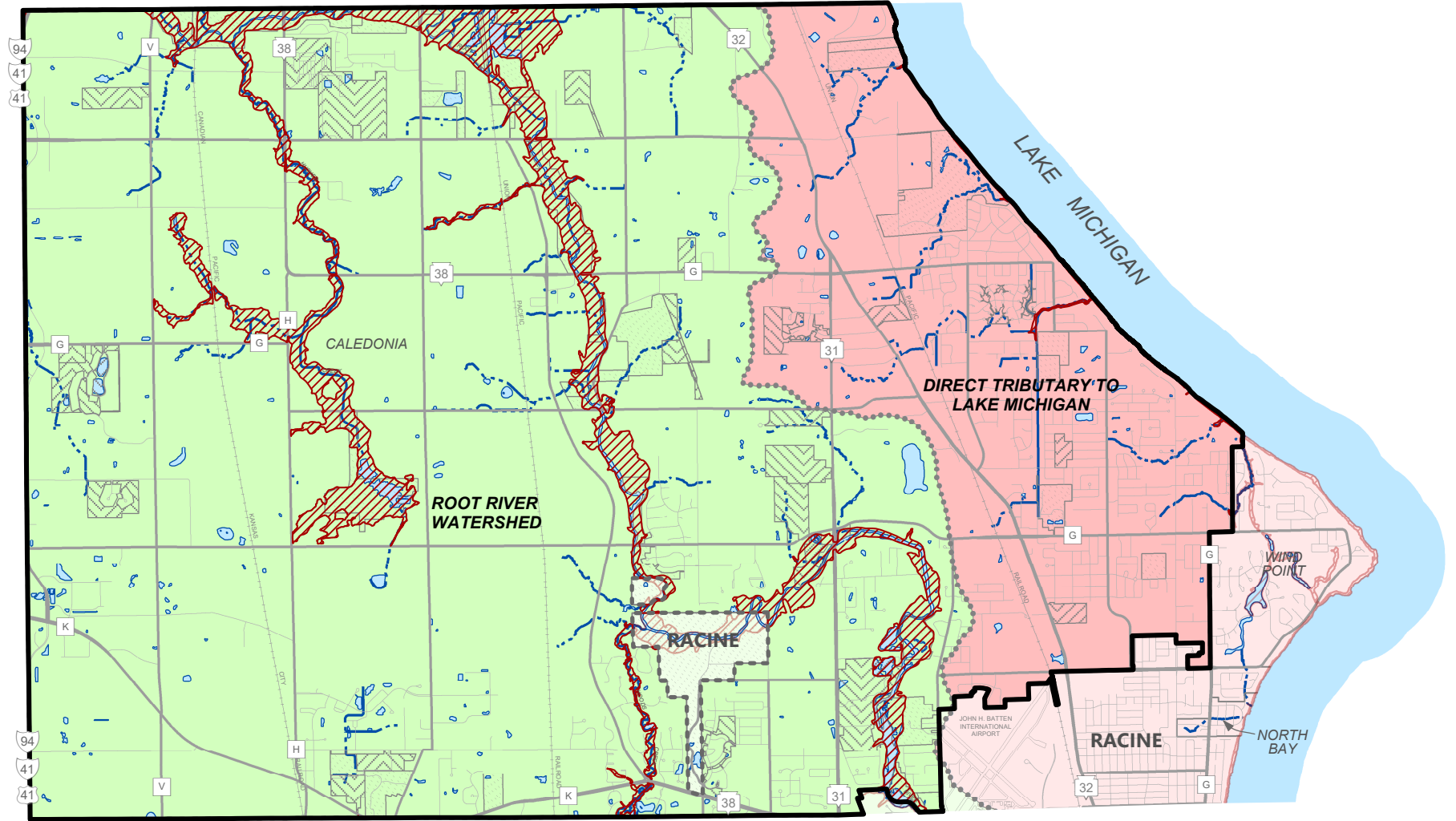
- RACINE COUNTY TRAIL (OFF-STREET)
- RACINE COUNTY TRAIL OR BIKEWAY (ON-STREET)
- CITY OF RACINE LAKE MICHIGAN PATHWAY
- CALEDONIA CONSERVANCY TRAIL (OPEN TO THE PUBLIC)





- PLANNING AREA BOUNDARY
- CITY OF RACINE WITHIN PLANNING AREA
- PUBLICLY-OWNED OUTDOOR RECREATION LANDS
- PRIVATELY-OWNED OUTDOOR RECREATION LANDS







Source: Southeastern Wisconsin Regional Planning Commission
 Last Updated: 2/5/2025

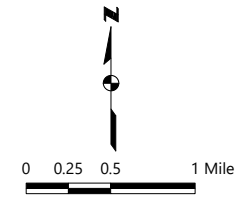
Map 2.7
Surface Water Resources in the Village of Caledonia: 2024



-  ONE-PERCENT-ANNUAL-PROBABILITY (100-YEAR RECURRENCE INTERVAL) FLOODPLAINS (FEMA FIS, JANUARY 2024)
-  PERENNIAL STREAM
-  INTERMITTENT STREAM
-  SURFACE WATER

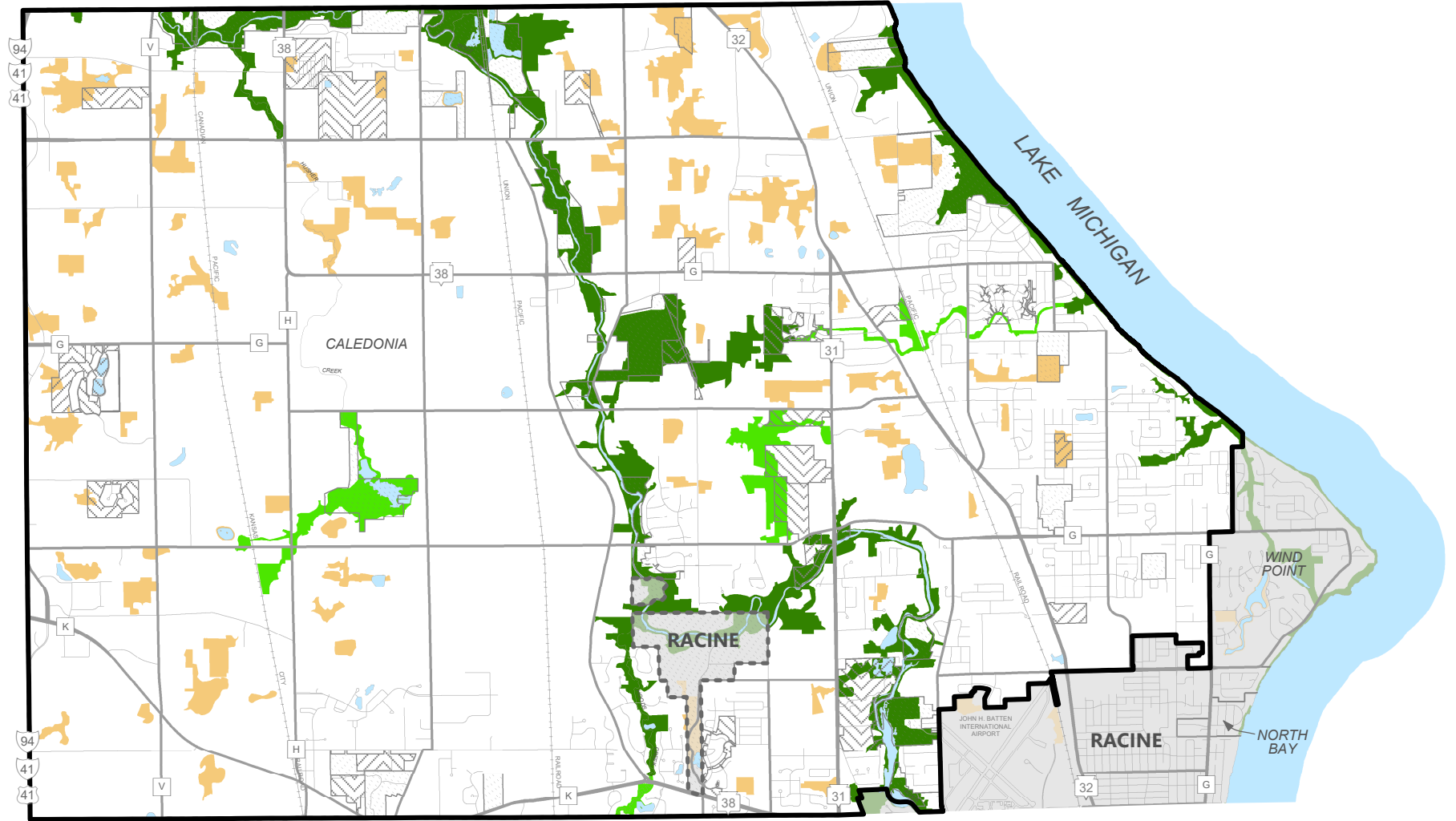
Note: Colors outside the Village of Caledonia are reduced in intensity to show the adjacent extent and distribution of each legend

-  PLANNING AREA BOUNDARY
-  CITY OF RACINE WITHIN PLANNING AREA
-  PUBLICLY-OWNED OUTDOOR RECREATION LANDS
-  PRIVATELY-OWNED OUTDOOR RECREATION LANDS



Source: Federal Emergency Management Agency and Southeastern Wisconsin Regional Planning Commission
 Last Updated: 2/5/2025

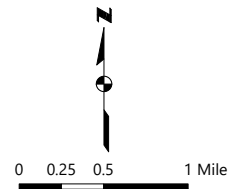
Map 2.8
Village of Caledonia Environmental Corridors: 2020



- PRIMARY ENVIRONMENTAL CORRIDOR
- SECONDARY ENVIRONMENTAL CORRIDOR
- ISOLATED NATURAL RESOURCE AREA
- SURFACE WATER

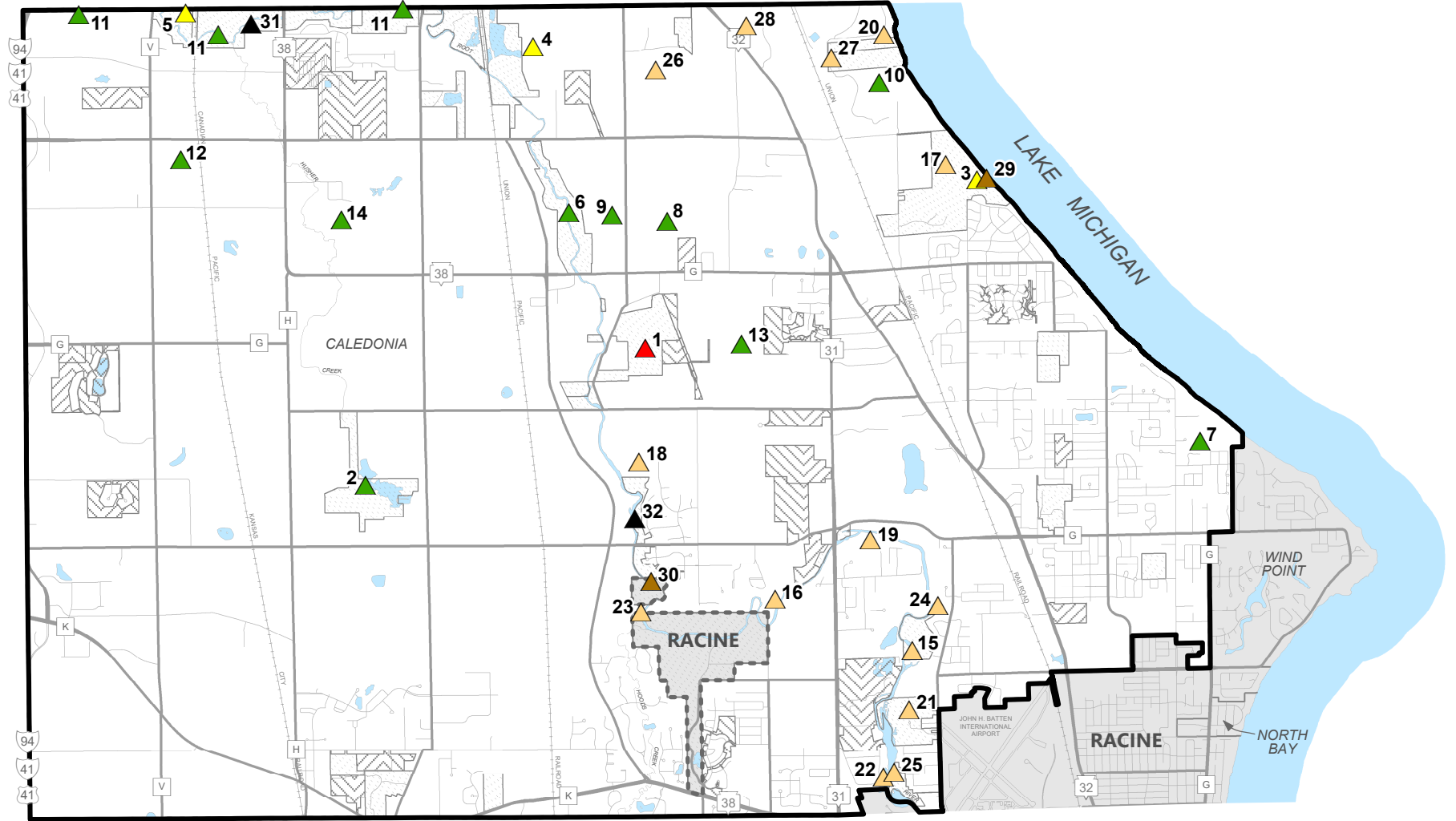
Note: Colors outside the Village of Caledonia are reduced in intensity to show the adjacent extent and distribution of each legend

- PLANNING AREA BOUNDARY
- CITY OF RACINE WITHIN PLANNING AREA
- PUBLICLY-OWNED OUTDOOR RECREATION LANDS
- PRIVATELY-OWNED OUTDOOR RECREATION LANDS

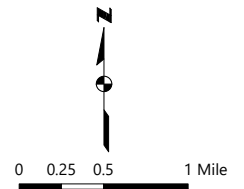


Source: Southeastern Wisconsin
 Regional Planning Commission
 Last Updated: 2/5/2025

Map 2.9
Natural Areas, Critical Species Habitat Sites, Geological Sites, and Aquatic Sites in the Village of Caledonia: 2024



- | | | | | | | | |
|--|--|--|---|--|---|--|--|
| | NATURAL AREA OF STATEWIDE OR GREATER SIGNIFICANCE (NA-1) | | GEOLOGICAL AREA OF LOCAL SIGNIFICANCE (GA-3) | | AQUATIC HABITAT AREA OF LOCAL SIGNIFICANCE (AQ-3) | | PLANNING AREA BOUNDARY |
| | NATURAL AREA OF COUNTYWIDE OR REGIONAL SIGNIFICANCE (NA-2) | | AQUATIC HABITAT AREA OF LOCAL SIGNIFICANCE (AQ-3) | | REFERENCE NUMBER (SEE TABLE 2.8) | | CITY OF RACINE WITHIN PLANNING AREA |
| | NATURAL AREA OF LOCAL SIGNIFICANCE (NA-3) | | | | | | PUBLICLY-OWNED OUTDOOR RECREATION LANDS |
| | CRITICAL SPECIES HABITAT SITE | | | | | | PRIVATELY-OWNED OUTDOOR RECREATION LANDS |



Source: Southeastern Wisconsin Regional Planning Commission
 Last Updated: 2/5/2025

Community Assistance Planning Report No. 179 (4th Edition)

A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Chapter 3

STATUS OF PREVIOUS VILLAGE PARK PLAN RECOMMENDATIONS

3.1 INTRODUCTION

The 2018 edition of the Park and Open Space Plan for the Village of Caledonia¹ includes comprehensive recommendations for the Village of Caledonia and other agencies regarding park and open space preservation and developing recreational facilities. This chapter summarizes and identifies the status of those recommendations as of the end of 2024. Recommendations that had not been implemented were reevaluated as part of this plan update. Plan recommendations for the year 2050 are presented in Chapter 5.

3.2 STATUS OF PARK PLAN RECOMMENDATIONS TO BE IMPLEMENTED BY THE VILLAGE OF CALEDONIA

The Village has continued to make improvements to its existing park system, including significant investments to improve existing facilities and develop new amenities. Notably, the Village has begun implementing a master plan for Crawford Park, which will enhance existing facilities and develop new

¹ *Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 179, 3rd Edition, A Park and Open Space Plan for the Village of Caledonia, Racine County, Wisconsin, October 2018.*

facilities to support a range of additional activities in the most densely populated area of the Village. The Village also recently acquired Waters Edge Park, a wooded site near Lake Michigan, where it has developed a walking trail. The following sections provide additional information on the status of recommendations for the Village which were included in the previous Village park plan.

Outdoor Recreation

Parks Recommendations

Through the end of 2024, the Village has completed the following recommendations cited in the previous plan relating to developing and improving parks and trails:

- Adopted a multi-phased, \$10 million master plan for Crawford Park, which is anticipated to be fully implemented over the next fifteen years.
- Acquired ten acres of land adjacent to Crawford Park and the Village Campus and completed grading and seeding of the site.
- Begun the development of a walking pathway at Crawford Park.
- Developed a playground near the lower shelter at Gorney Park.
- Added playground equipment at Linwood Park.
- Developed a picnic area with shelter, playground equipment, and pathways at Maple Park.
- Repaved the parking area² at Caledonia-Mt. Pleasant Memorial Park, which was transferred to Racine County ownership and renamed Franksville Memorial Park in 2022.
- Continued to maintain existing park facilities at Chapla Park, Crawford Park, Gorney Park, Linwood Park, Maple Park, and the Nicholson Wildlife Refuge.

² *Repaving the parking area was recommended as a Village improvement in the previous plan but was completed by the County after the transfer of ownership.*

The Village has also pursued new developments and improvements at various park sites that were not specifically recommended in the previous park plan. These include developing a stormwater retention pond at Crawford Park, adding pathways at Maple Park, and acquiring the site for Waters Edge Park,³ where a trail has been developed. Additional amenities at other parks, including a dog park and a kayak rental system, have also been explored, although these projects have not yet advanced further.

Call Out: The Village has made a substantial investment in Crawford Park since the 2018 park plan update

The following recommendations from the previous Village park plan have not been implemented as of 2024 and were reevaluated as part of this plan update:

- Acquiring and developing one new community park.
- Acquiring and developing fourteen new neighborhood parks.
- Developing hiking trails, a shelter with restrooms, a parking area, and a disc golf course at 5 ½ Mile Park.
- Developing playground equipment, a canoe/kayak access site, permanent benches and picnic tables, a shelter or gazebo, an outdoor fitness area, a boardwalk, and a beach volleyball court at Chapla Park.
- Developing a parking area, disc golf course, hiking trail, and shelter with restrooms at County Line Park.
- Developing an additional shelter with restrooms, dugouts, a dog park, a community center, additional picnic areas, a sledding hill, soccer fields, a skating area, an outdoor fitness area, an amphitheater, a full-court basketball or futsal court, a pickleball court, and a splash pad or water park at Crawford Park.

³ Waters Edge Park is approximately ½ mile north of a proposed neighborhood park site, indicated by number 13 on Map 4.2 in the 3rd edition of the Village park plan. The park may serve the need for a neighborhood park in that area of the Village if additional amenities are developed.

- Acquiring an additional 15 acres of land and developing soccer fields, additional parking areas, a maintenance garage, outdoor lighting, an additional shelter with restrooms, a concessions building, sand volleyball courts, a full-court basketball court, and fishing areas at Gorney Park.
- Developing basketball hoops, sand volleyball courts, and pickleball courts at Maple Park.
- Acquiring an additional 49 acres of land and developing a boardwalk to the rear of the site, an observation area, an outdoor classroom area, a shelter with restrooms, a picnic area, and a play area with the playground at the Nicholson Wildlife Refuge.

Call Out: The Parks and Recreation Advisory Committee reviewed all recommendations from the prior plan to determine if they were still priorities for the Village

Trails Recommendations

The previous Village park plan recommended developing a trail along Hoods Creek, connecting with the Village of Mt. Pleasant at the southern boundary of the Village. Additional trails running north from Crawford Park along the Klema Ditch and from CTH K to Five Mile Road, between STH 38 and the Union Pacific Railroad, were also recommended. The plan also recommended developing trail connections between park and open space sites. These trails remain undeveloped as of 2024.

The prior plan also recommended developing 32 miles of on-street bikeways and an additional five miles of off-street trails within the Village; as of 2024, the Village has not developed any additional on-street bikeways. Just over 1/3 mile of recreational trail segments have been added within Crawford Park and Waters Edge Park, but no significant off-street trail projects have been undertaken. Existing trails and bikeways within the Village are shown on Map 2.5 in Chapter 2. In addition, the plan recommended that the Village work with the County to develop the Root River Water Trail and maintain and enhance the Lake Michigan Water Trail, which was designated as a state trail in 2017. Water trail recommendations have not been implemented as of 2024.

Open Space Preservation

The previous edition of the plan recommended that all primary and secondary environmental corridors, isolated natural resource areas, 100-year recurrence interval floodplain areas, and stream and lakeshore buffers, together identified as open space preservation areas, currently in public ownership be preserved in essentially natural, open space uses. In 2018, 1,099 acres of open space preservation areas in the Village

were publicly owned. As of 2024, approximately 1,350 acres of open space preservation areas within the Village are publicly owned. Note that this change reflects both changes in ownership and in areas identified for open space preservation.

3.3 STATUS OF PLAN RECOMMENDATIONS TO BE IMPLEMENTED BY OTHER UNITS OF GOVERNMENT

Wisconsin Department of Natural Resources

To qualify for State and Federal grant programs for acquiring and developing land for outdoor recreation and resource protection purposes, the Village must adopt a park plan that complies with Wisconsin Department of Natural Resources (WDNR) requirements. The WDNR approved the previous Village park plan, and it is anticipated that this plan will also meet the WDNR standards. WDNR approval will maintain Caledonia's eligibility to apply for available State and Federal grant funds to support plan implementation.

Wisconsin Department of Transportation

Construction of bikeways within State trunk highways, under Wisconsin Department of Transportation (WisDOT) jurisdiction, was recommended during any reconstruction or resurfacing. Several resurfacing projects have occurred along STH-38, which runs through the central portion of the Village, since the prior plan was adopted, including a resurfacing underway as this plan update was under development. WisDOT plans for the 2024 resurfacing project included striping wider shoulders, which may improve comfort and safety for some bicyclists.

Racine County

County Parks Recommendations

The previous Village park plan recommended that Racine County continue to provide and maintain facilities at the River Bend Nature Center, Tabor Sokol Memorial Park, Quarry Lake Park, and Horlick Park. Since the 2018 plan was adopted, the County has also taken ownership of Franksville Memorial Park from the Villages of Caledonia and Mount Pleasant. In addition to maintaining existing facilities at the park, the County has developed the seasonal Franksville Craft Beer Garden and is planning for the addition of the Racine County Ice Center at the site.

The plan also recommended that the County acquire additional environmentally sensitive lands, especially along the Root River, and develop additional recreational facilities at Cliffside Park. These recommendations

had not been implemented as of 2024; however, the County began a wetland restoration project at Cliffside Park, funded by a WDNR grant, in 2023.

County Trails Recommendations

The previous Village park plan calls for Racine County to continue to maintain bicycle routes within the Village associated with the Racine County Route System. The County has continued to maintain existing facilities but has not developed additional on-street bicycle facilities or off-street trails. Notably, the previous plan recommended the County acquire additional lands along the Root River and develop recreational facilities, access sites, and other facilities for resource-oriented activities. These facilities would support the development of a recreational trail in the Root River corridor as well as the development of water trail on the river. Although the Root River water trail has also been identified as a recommendation in County plans, it has not been developed as of 2024.

Community Assistance Planning Report No. 179 (4th Edition)

A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Chapter 4

FRAMEWORK FOR PLAN DEVELOPMENT

This chapter describes the important factors that were considered, in conjunction with the information presented in prior chapters, to guide the updated park and open space plan for the Village of Caledonia. Specifically, this chapter describes relevant Village, County, and regional plans; projected 2050 population levels and land use in the Village; outlines regional park and open space objectives, principles, and standards; and summarizes the results of a public input survey.

4.1 VILLAGE PLANS AFFECTING THE PARK AND OPEN SPACE PLAN

To promote sound and cohesive planning, the updated Village park plan aligns with and relates to other adopted local, county, and regional plans. This section describes relevant plans which were considered and incorporated into the planning process.

Village of Caledonia Park and Open Space Plans

The Park and Open Space Plan for the Village of Caledonia: 2050 is the fourth park and open space plan prepared for the Village.¹ The Commission prepared the original 1989 plan, the 2018 third edition, and this plan update, and Village staff prepared the 2009 second edition. Chapter 3 provides background information and the implementation status of recommendations from the previous park and open space plan.

¹ *The first edition of the Commission-prepared park plan was adopted by the then-Town of Caledonia. In November 2005, the Town incorporated as the Village of Caledonia.*

Crawford Park Master Plan

In 2022, the Village of Caledonia consulted with MSA Professional Services to prepare a master plan for Crawford Park, centrally located in the eastern portion of the Village and adjacent to the recently constructed Village Hall and Public Safety Building. The prior edition of the Village park plan recommended acquiring additional land to expand the existing park, upgrading its facilities, and adding new recreational facilities to the park. The Crawford Park Master Plan incorporates the Village park plan's recommendations and community input and is intended to guide future development of the park.

Adopted by the Village Board in October of 2022, the completed Crawford Park Master Plan includes a phased \$10 million project to expand, develop, and enhance Crawford Park with a range of improvements prioritized into three tiers. The first phase focused on rough grading, improving stormwater management, restoring turf and native prairie on the site, and developing a sledding hill. The second phase, which was in progress as the 2050 Village park plan was under preparation, includes the addition of a trail loop, updates to the playground, sports court, and parking facilities, and continues work on phase one projects. Future phases will include a skatepark, splashpad, additional shelter with restrooms, and fine grading for sports fields and a winter skating rink. The plan incorporates tree plantings, landscaping enhancements, and installation of public art and benches into all phases of implementation.

Village of Caledonia Land Use Plan and Multi-Jurisdictional Comprehensive Plan for Racine County

The Caledonia Village Board adopted an updated land use plan and a series of detailed neighborhood plans² in 2006. In 2009, the Village Board adopted the Multi-Jurisdictional Comprehensive Plan for Racine County³ with a design year of 2035 as the Village's comprehensive plan. The multi-jurisdictional comprehensive plan includes population and household projections; recommendations for future land uses, parks, and natural resource preservation; and goals, objectives, policies, and programs relevant to park and open space planning. Map 4.1 shows the Village of Caledonia land use plan, with amendments adopted by the Village Board through January 14, 2025.

The "Environmental Linkage" Policy included in the 2006 Village land use plan encouraged the connection of environmental corridors, isolated natural resource areas, and other significant natural resource areas to form larger habitat systems or corridors. The Village's policy, highlighted below, is intended to preserve

² Documented in a report entitled, Village of Caledonia Final Land Use Plan, August 2006.

³ Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 301, A Multi-Jurisdictional Comprehensive Plan for Racine County: 2035, November 2009.

large tracts of land with the ability to support diverse wildlife habitats for conservation purposes. This policy has helped to shape development patterns within the Village and preserve the community's natural character, which has an important relationship to park and open space planning. Substantial and interconnected portions of the Village that have been preserved as open space provide abundant opportunities for both active and passive outdoor recreation and the development of new park sites. Recognizing the value of the Village's policy, Racine County incorporated the policy into the multi-jurisdictional plan as a land use objective:

Support carefully planned efforts to restore open space lands to more natural conditions that could result in the expansion of the environmental corridor network. This should include linkages between existing environmental corridors and isolated natural resources, especially those areas that are identified in local and neighborhood land use plans.

The multi-jurisdictional comprehensive plan anticipates that the Village will continue to maintain its existing park and open space sites, and the Village's land use plan map identifies both existing active park sites and areas that may serve as future parks as a "Recreational" land use. Chapter 5 of this park and open space plan identifies these sites as well as existing sites where future expansion and/or development of additional recreation facilities may serve Village residents.

Goals, Objectives, Policies, and Programs

The Multi-Jurisdictional Comprehensive Plan for Racine County identifies the following goals, objectives, policies, and programs⁴ that complement the Commission's Regional Park and Open Space Objectives, Principles, and Standards⁵ related to the development of the Village park and open space system:

Goals

- Preserve open space to enhance the total quality of the environment, maximize essential natural resource availability, give form and structure to urban development, and provide opportunities for a full range of outdoor recreation activities.

⁴ Detailed descriptions of and definitions related to the goals, objectives, policies, and programs referenced here are presented in Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 301, A Multi-Jurisdictional Comprehensive Plan for Racine County: 2035, November 2009

⁵ Regional Park and Open Space Objectives, Principles, and Standards are included in Appendix A of this report.

- Maintain the environmental assets of the community and develop methods to protect and preserve valuable natural features, including wetlands, wildlife habitats, lakes, woodlands, open spaces, groundwater resources, and floodplains.

Objectives

- Preserve the natural character and vistas in Racine County.
- Preserve open spaces and natural resources as part of future development proposals in the County.
- Provide a comprehensive system of parks and open spaces within Racine County to enhance the quality of the environment and life.
- Provide County residents adequate opportunities to participate in resource and non-resource-oriented outdoor recreation activities, including water-based outdoor recreation activities.
- Support recommendations in regional, county, and local plans related to land use, transportation, water quality management, water supply, lake districts, and parks and open spaces.
- Provide a comprehensive system of parks, and outdoor recreation sites and facilities to allow County residents adequate opportunities to participate in resource and non-resource-oriented outdoor recreation activities, including water-based outdoor recreation activities that are consistent with enjoyable surface water use and maintenance of adequate water quality.
- Provide an integrated and accessible system of trails that will provide County residents with a transportation alternative to motor vehicles.
- Foster social, educational, recreational, and leisure-time opportunities for residents.

Policies and Programs

- Implement strategies regarding the preservation and protection of environmental corridors, natural areas, and critical species habitat sites recommended in the County land and water resource management plan and the Racine County park and open space plan, including updates to the plans.

- Implement strategies regarding the protection and restoration of wetlands, stream corridors, floodplain areas, the Lake Michigan shoreline and bluff, and protection of natural systems, pollution reduction and control, and protection of public safety and public recreation and access recommended in the County land and water resource management plan.
- Implement the recommendations of the Racine County park and open space plan and any subsequent updates.
- Consider the preparation and implementation of local park and open space plans.
- Update County and local park and open space plans as necessary to maintain eligibility for Wisconsin Department of Natural Resources (WDNR) Stewardship funding.
- Continue to partner with appropriate Federal, State, and Nonprofit Conservation Organizations (NCOs) to promote natural resource enhancements and restorations in Racine County.
- Support carefully planned efforts to restore open space lands to more natural conditions that could result in the expansion of the environmental corridor network. This should include linkages between existing environmental corridors and isolated natural resources, especially those areas that are identified in local and neighborhood land use plans.
- Work with the Kenosha/Racine Land Trust and other NCOs to protect environmental corridors, natural areas, and critical species habitat sites through Purchase of Development Rights (PDR), easements, and/or land purchases.
- Work with local governments to provide a system of public neighborhood and community parks in urban areas that complement the County park and trail system.
- Continue to provide information to local governments about County park and open space sites and recreational facilities, and coordinate with local governments for the joint development and use of facilities, where appropriate.
- Identify and seek grant funds to study future needs and demands for recreational programs and facilities for school-age children and teenagers.

- Consider park and recreation standards developed by the Southeastern Wisconsin Regional Planning Commission, the National Recreation and Park Association, and the Wisconsin Park and Recreation Association when updating the County and local park and open space plans to ensure an appropriate number, size, and distribution of parks and recreational facilities.
- Coordinate county-wide on-street and off-street (multi-use) bicycle, pedestrian, equestrian, and waterway trail planning and development to provide connections to local trails and trails in adjacent counties.
- Racine County and its communities should continue to work with the WDNR and non-government organizations to acquire and develop parks, trails, and other recreation facilities, and to acquire and protect valuable natural resource areas as called for in County or local park and open space plans.

Population Projections

The Village previously selected a 2035 projection of 30,342 residents and 11,731 households for inclusion in the multi-jurisdictional comprehensive plan. Projections included in this Village park plan follow the same model, as updated in the Commission’s 2050 regional land use plan. In 2020, the Village’s population was 25,361 residents, and there were 10,263 households. This plan projects that the Village’s population and households will increase by approximately 34 and 39 percent, respectively, to 34,027 residents and 14,314 households in 2050. These projections represent significant growth at a faster rate than the Village has experienced in recent years, which necessitates careful planning for improvements to ensure that the park and open space needs of current and future residents are addressed.

4.2 COUNTY AND REGIONAL PLANS AFFECTING THE PARK AND OPEN SPACE PLAN

Regional and County Park and Open Space Plans

The adopted regional park, outdoor recreation, and open space plan⁶ identifies existing and probable future park and open space needs within the Region and recommends a system of large regional resource-oriented parks, recreation corridors, smaller urban parks, and recreational facilities to meet these needs. The Park and Open Space Plan for Racine County, originally adopted in 1988 and updated in 2001 and 2012,

⁶ *Southeastern Wisconsin Regional Planning Commission Planning Report No. 27, A Regional Park and Open Space Plan for Southeastern Wisconsin: 2000, November 1977.*

further revised and refined the regional park plan. The third edition of the County plan, adopted by the County Board in 2012, has the design year of 2035 and consists of both an open space preservation element and an areawide outdoor recreation element intended to, respectively, protect areas containing important natural resources and to provide resource-oriented recreational sites and facilities, including trails. Map 4.2 summarizes the outdoor recreation element of the County park plan.

Outdoor recreation sites recommended by the County park plan include one major park within the Village of Caledonia, the 223-acre Cliffside Park, located in the northeastern portion of the Village along the Lake Michigan shoreline. The plan recommends that the County provide additional picnic facilities and trails and develop a nature study center focused on lakeshore resources at the park. The plan also recommends that the County consider establishing a public-private partnership to fund the development of a disc golf course at the park. Johnson Park and Golf Course, a 335-acre park located in and maintained by the City of Racine, is surrounded by the Village in the south-central portion of the planning area. The plan recommends that the City of Racine continue to maintain and provide additional facilities for resource-oriented activities at the park.

The County park plan recommends continued maintenance at other County-owned sites within the Village of Caledonia, including the River Bend Nature Center, Root River Parkway lands, and Tabor Sokol Memorial Park. The plan recommends that the County continue to maintain the nature center and accommodate resource-oriented activities through a public-private partnership with a nonprofit organization. The plan also recommends that the County continue to acquire lands along the Root River as part of the parkway system for resource protection, where feasible, and develop appropriate recreational facilities associated with the Root River and other resource-oriented activities in these areas. Recommendations for continued maintenance and additional facilities provision are also included for other County parks located near the Village, including the 39-acre Quarry Lake Park and the 15-acre Horlick Park, both located just south of the Village in the City of Racine and the Village of Mount Pleasant, respectively.

Call Out: Nearby parks in other municipalities may serve some recreational needs for Village residents

The Racine County plan recommends that the County develop trails within the Lake Michigan and Root River Recreation Corridors in the Village. The MRK Trail has been developed within the Lake Michigan corridor, approximately three miles of which are within the Village on a combination of off-street and on-street segments. The majority of the trail is located on WE Energies property or in a utility corridor. The City of Racine has developed the Lake Michigan Pathway within the City, which links the MRK Trail in the Village

of Caledonia to the North Shore Trail in the Village of Mount Pleasant. The Racine County trail connects to the North Shore Trail in Kenosha County and is planned to, but does not currently, connect with the Oak Leaf Trail in Milwaukee County. It is recommended that Racine County continue to maintain those portions of the trail located within the Villages of Caledonia and Mount Pleasant.

The plan also recommends that Racine County develop a Root River Trail within the Village. The proposed trail would connect to the existing four-mile Root River Pathway within the City of Racine and continue north along the Root River into Milwaukee County, eventually connecting to an existing segment of the trail in the City of Franklin. The County plan also recommends the County continue to maintain signage and other route amenities associated with the on-street Racine County Bicycle Route, approximately 34 miles of which are within the Village planning area.

The County park plan recognizes the popularity of water-related activities and recommends the development of water trails on the Root River and along the Lake Michigan⁷ shoreline within and adjacent to the Village, connecting with water trails in adjacent counties. The plan recommends providing public canoe/kayak access points along with parking every 10 miles on major streams within Racine County. Existing public canoe access sites are currently located at River Bend Nature Center and Horlick Park, and specific locations for the development of additional access sites are recommended in the Root River watershed plan (see Appendix C). As lakeshore property within the Village becomes available, Racine County and the Village should jointly evaluate the recreational potential and consider acquiring the land for public access and recreational use, including beach swimming, shore fishing, and other lake-oriented activities.

Call Out: The topography of the Village's Lake Michigan shoreline poses challenges for the development of recreational facilities

Regional Natural Areas Plan

The 1994 regional natural areas study identified natural areas and critical species habitat sites in Southeastern Wisconsin. The inventory of natural areas, critical species habitat sites, and geological sites⁸

⁷ In July 2017, the Department of Natural Resources designated the Lake Michigan Water Trail as a State Trail.

⁸ Southeastern Wisconsin Regional Planning Commission Planning Report No. 42, A Regional Natural Areas and Critical Species Habitat Protection and Management Plan for Southeastern Wisconsin, September 1997.

was updated in 2010⁹ and 2020.¹⁰ Recommendations for the protection of the 14 natural areas, 14 critical species habitat sites, and two geological areas identified in the Village¹¹ are included in Chapter 5.

Natural areas and critical species habitat sites are defined as tracts of land or water so little modified by human activity, or sufficiently recovered from its effects, that they contain intact native plant and animal communities believed to be representative of the pre-European-settlement landscape or are areas that support rare, threatened, or endangered plant or animal species. The regional natural areas plan recommends protecting and preserving such areas in the Region. The plan identifies potential sites to be placed in public or private protective ownership, and other sites to be protected, insofar as it is possible, through zoning and other regulatory means without protective ownership. It also recommends preparing and implementing a detailed management plan for each site placed under protective ownership. The plan further recommends that boundaries of the natural areas, critical species habitat sites, and geological sites should be precisely identified based on a field delineation prior to acquisition by a public agency or nonprofit conservation organization. Acquisition may be through fee-simple purchase or by establishing a conservation easement.

Root River Watershed Restoration Plan

The Commission prepared the Restoration Plan for the Root River Watershed¹² at the request of Racine County, the Milwaukee Metropolitan Sewerage District (MMSD), the Southeastern Wisconsin Watersheds Trust, Inc. (Sweet Water), and the Root-Pike WIN. The plan addresses concerns about watershed degradation through a comprehensive approach to guide the management and restoration of water resources. The watershed plan builds upon the findings and recommendations of the 2007 Regional Water

⁹ *Southeastern Wisconsin Regional Planning Commission Amendment to Planning Report No. 42, Natural Areas and Critical Species Habitat Protection and Management Plan for Southeastern Wisconsin, December 2010.*

¹⁰ *Southeastern Wisconsin Regional Planning Commission 2nd Amendment to Planning Report No. 42, Natural Areas and Critical Species Habitat Protection and Management Plan for Southeastern Wisconsin, was under preparation as the park and open space plan update was being developed. Updated 2020 inventory data from the draft amendment has been incorporated into the park plan update.*

¹¹ *Natural areas, critical species habitat sites, and geological areas are shown on Map 2.9 and described in Table 2.8 in Chapter 2 of this report.*

¹² *Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 316, A Restoration Plan for the Root River Watershed, July 2014.*

Quality Management Plan Update¹³ and is designed to assist government agencies, nongovernmental organizations, and private landowners by providing specific, targeted recommendations and identifying methods that will restore and improve the natural resources of the watershed. The watershed restoration plan is focused on four issues: water quality, recreational use and access, habitat conditions, and flooding.¹⁴

As shown on Map 2.7 in Chapter 2, approximately 12 linear miles of the Root River, and about 22,945 acres of the Root River watershed (or about 18 percent of the total watershed), are located within the Village of Caledonia. Publicly-owned sites within the Village's portion of the watershed (Racine County-owned River Bend Nature Center, Milwaukee and Racine County-owned parkway lands, City of Racine-owned Johnson Park, and Village-owned Linwood Park) encompass about 942 acres. Four privately-owned sites (three Caledonia Conservancy properties and the privately-owned S.C. Johnson Armstrong Park) within the Village's portion of the watershed encompass approximately 177 acres. Together, these sites protect about 1,119 acres of the Root River watershed.

The Root River provides many recreational opportunities for Village residents, including fishing, hunting, boating, wading, canoeing, kayaking, wildlife watching, and scenic viewing. In April 2024, the Racine County Board of Supervisors approved the removal of the Horlick Dam, located just south of the Village in the City of Racine, beginning in 2025. The dam's removal is anticipated to have numerous upstream benefits which will affect the River's health within the Village, including reducing sediment buildup, improved water quality, and restoration of natural habitat conditions which are beneficial to wildlife. The U.S. Army Corps of Engineers (USACE) anticipates that removal of the dam will improve the Qualitative Habitat Evaluation Index (QHEI) score upstream from the dam site, including approximately four miles of the Root River within the Village, from 27 (very poor) to 87 (excellent).¹⁵ The restored connection of approximately 160 miles of stream and over 6,000 acres of connected wetlands to Lake Michigan will also allow native fish species to migrate upstream, potentially increasing opportunities for fishing throughout the Root River, its tributaries, and

¹³ *Southeastern Wisconsin Regional Planning Commission Planning Report No. 50, A Regional Water Quality Management Plan Update for the Greater Milwaukee Watersheds, Parts One and Two, December 2007.*

¹⁴ *Flood mitigation approaches were addressed in the Root River plan for the Racine County portion of the watershed. Flooding in the Milwaukee County portion of the watershed is being addressed through separate studies.*

¹⁵ *An analysis of the impact of the Horlick Dam's removal was conducted by the U.S. Army Corps of Engineers in Horlick Dam: Root River Restoration Section 506 GLFER, Final Integrated Feasibility Report and Environmental Assessment, December 2023.*

connected wetlands. This connection will also enhance boating, canoeing, and kayaking on the Root River and allow paddlers direct access between the River within the Village and Lake Michigan.

Call Out: The removal of the Horlick Dam provides many environmental benefits and new recreational opportunities for the Village

The watershed plan recommends expanding and/or protecting riparian buffers along the River and its tributaries, which include Hoods Creek, Husher Creek, Crayfish Creek, and the Kilbournville tributary in the Village. It contains site-specific recommendations to promote water quality, improve habitat, and provide recreational opportunities as well as recommendations for green infrastructure and floodplain mitigation planning throughout the Village. The plan includes a recommendation from the regional water quality management plan to restore marginally productive agricultural lands to wetland or prairie conditions. Pertinent recommendations from the Root River watershed restoration plan are detailed in Chapter 5 and Appendix C.

4.3 REGIONAL PARK AND OPEN SPACE OBJECTIVES, PRINCIPLES, AND STANDARDS

In 1977, the Regional Planning Commission formulated a comprehensive set of preservation, acquisition, and development objectives that address neighborhood, community, and multi-community or regional park and open space sites and facilities as integral parts of an areawide system. Attaining these objectives is intended to provide local communities with opportunities for high-quality recreational experiences. The objectives, principles, and standards developed for the Regional Park and Open Space Plan, included in Appendix A, were used to prepare both the Racine County and Village of Caledonia park and open space plans. The regional standards have been updated over time to incorporate newer State regulations and standards for changing recreational activities.

The Regional and County park and open space plans describe shared responsibility among various levels of government for providing the necessary parks, open space lands, and associated recreational facilities. State and county governments are largely responsible for acquiring and developing major resource-oriented

parks and recreational facilities,¹⁶ although larger cities sometimes provide major parks. The continued maintenance and development of Cliffside Park by Racine County and Johnson Park and Golf Course by the City of Racine will meet the need for major parks within the Village of Caledonia. Additionally, Milwaukee County owns and maintains the 300-acre Bender Park in the City of Oak Creek just north of the Village, which includes a beach on the Lake Michigan shoreline, boat launches with trailer parking, hiking trails, fishing, and a recreation building with restrooms. The regional objectives, principles, and standards delegate the responsibility for providing smaller community and neighborhood parks and facilities to cities, villages, and towns.

4.4 PARK AND OPEN SPACE NEEDS

Needs Analysis

A needs analysis was conducted to help determine the need for additional outdoor recreation sites and facilities to serve the Village's anticipated future resident population. For this update, two different approaches were utilized to assess the need for additional parks and recreational facilities: applying the per capita and accessibility standards in Appendix A for the size, number, and spatial distribution of public and private parks and outdoor recreation facilities; and utilizing the park metrics in Appendix B to benchmark Caledonia's current sites and facilities relative to peer communities.

Per capita standards determine the number of acres of parkland or the number of recreational facilities to be provided for every 1,000 Village residents. As noted in Chapter 2, the Village's 2020 population was 25,361, and the projected 2050 population upon which the needs analysis is based is about 34,027 persons. Recreational facilities include ball diamonds, soccer fields, tennis/pickleball courts, basketball goals (hoops), playgrounds, and similar facilities. Accessibility standards apply a recommended service area to community and neighborhood parks and recreational facilities. They are intended to ensure that these sites are well-distributed throughout the Village and convenient to all residents.

¹⁶ *Resource-oriented recreational facilities include camping, golfing, picnicking, skiing, and beach swimming. Such facilities are dependent on the natural resources, such as woodlands and rivers or lakes, of the site in which they are located. Facility requirements for these activities are set forth under Objective No. 3 in Appendix A.*

The National Recreation and Park Association (NRPA) introduced NRPA Park Metrics¹⁷ in 2009 as a methodology for evaluating the provision of park and recreation sites and facilities relative to other communities with similar characteristics. In conjunction with public feedback, performance benchmarking with these metrics allows for a baseline analysis of the current park system's adequacy while recognizing that standards alone cannot account for an individual community's unique characteristics, needs, and desires. Caledonia was benchmarked relative to other communities with populations ranging from 20,000 to 40,000, having 20 to 40 park sites, and located in the East North Central Division as defined by the U.S. Census Bureau.¹⁸ Lower, median, and upper quartile performance metrics for 2023, the most recent year for which complete data were available, were considered in the analysis. The park metrics for this peer group of communities are included in Appendix B.

Call Out: The needs analysis addresses both the current and future provision of parks and recreational facilities in the Village

Community and Neighborhood Parks

Objective 2 in Appendix A defines regional standards for the provision of adequate sites and facilities for non-resource-oriented recreation activities, which do not depend upon the presence of natural resources such as woodlands, slopes, lakes, rivers, or large expanses of land. Non-resource-oriented facilities, typically provided at community and neighborhood parks and public schools, include ball diamonds, soccer fields, tennis/pickleball courts, swimming pools, and basketball courts or hoops.

Community parks range in size from 25 to 99 acres, have a service radius of two miles, and generally provide community-oriented facilities such as baseball or softball diamonds, tennis courts, and swimming pools. Neighborhood parks range in size from five to 24 acres and have a service radius of 0.5 miles in high-density residential areas, 0.75 miles in medium-density residential areas, and 1.0 miles in low-density residential areas. The needs analysis applied a service radius of 0.75 miles to reflect the prevalence of medium-density residential areas in the Village of Caledonia. Neighborhood parks provide facilities for children's outdoor recreation activities, such as playground and playfield activities, basketball, and other court games.

¹⁷ Annual updates to the NRPA Park Metrics are provided in a variety of formats on the NRPA website at www.nrpa.org.

¹⁸ The U.S. Census Bureau includes the states of Illinois, Indiana, Michigan, Ohio, and Wisconsin in the East North Central Division of the larger Midwest Region.

Community parks generally include typical neighborhood park facilities (playfields and playgrounds) in addition to community park facilities (ball diamonds and tennis courts) and can, therefore, fill an area's need for neighborhood parks. Both community and neighborhood parks should also provide landscaped areas for passive recreation uses such as picnicking, walking, and general relaxation.

Although not generally perceived as parks, public school outdoor recreation sites often provide areas for the pursuit of non-resource-related activities and are therefore taken into account in the application of the per capita acreage and service area standards for urban outdoor recreation sites and facilities. Because school sites generally do not provide areas for picnicking and other passive uses, they are not considered when applying the service area standards for community and neighborhood parks. Two school sites in the Village have been closed since the 2018 plan update. It should be noted that Racine Unified School District events and policies may limit the availability and use of certain facilities to the general public.

Neighborhood park sites provide facilities for children's outdoor recreation activities, which should be accessible through a convenient and safe pedestrian circulation pattern. In the service area analysis, features such as rivers and railroads were considered as barriers preventing pedestrian access from residential areas to neighborhood parks and recreation facilities unless a bridge or street provided convenient access. Arterial streets were also considered barriers to neighborhood parks, except in cases where stop signs or signals provided convenient pedestrian access from surrounding residential areas.

Site Needs Based on Per Capita Standards

Table 4.1 presents the per capita standards for the amount of land needed for community and neighborhood parks to serve Village residents in the year 2050. Applying the regional per capita standards indicates a need for additional public school site outdoor recreation lands; however, the total acreage of lands available for public outdoor recreation exceeds the regional standards due to the acreage of existing public park sites within the Village planning area. Based on the Village's estimated 2024 population, the Village currently provides 30.6 acres of parks per 1,000 residents. Park metrics benchmarking, which does not differentiate park and public school sites, indicates that the Village's current per capita acreage exceeds the 2023 peer community upper quartile of 20.0 acres of parks per 1,000 residents. Additional parks may still be needed to provide an appropriate spatial distribution throughout the Village.

Site Needs Based on Service Area Standards

The regional service area standards are intended to ensure that the spatial distribution of public park and open space sites is convenient and efficient for the population they serve. Areas developed or planned for

nonresidential uses, including commercial, industrial, and institutional uses, need not be served with community or neighborhood parks and are not considered in determining the need for additional park sites.

Map 4.3 shows the application of the two-mile service area radius to existing parks providing community facilities, including Cliffside Park, Crawford Park, Franksville Memorial Park, and Gorney Park in the Village and Johnson Park and Golf Course in the City of Racine. Developed areas in the Village as of 2024 are within the recommended service area of existing community parks, but planned residential areas west of CTH V are not adequately served by a community park.

Map 4.4 shows the application of the 0.75-mile service area radius to existing parks providing neighborhood facilities, including Chapla Park, Linwood Park, Maple Park, and the community parks noted above. As of 2024, Caledonia's neighborhood parks are concentrated in the eastern portion of the Village, and much of the Village west of STH 32 is not adequately served by a neighborhood park. The presence of railroads or arterial streets is also a barrier to access, and as a result, there are areas of the Village that are considered inadequately served despite being within the 0.75-mile service area radius.

Facility Needs Based on Per Capita Standards

The regional facility standards described under Objective No. 2 in Appendix A are concerned with providing an adequate number and distribution of outdoor recreation facilities to afford Village residents opportunities to participate in intensive outdoor recreation activities such as baseball, softball, soccer, and tennis. Table 4.2 presents the regional per capita facility standards relative to the Village's projected 2050 population level, including existing facilities located in public and private sites within the Village. Facilities at public sites include those at community parks, neighborhood parks, and public schools. Facilities at private sites include those at private schools and commercial and organizational recreation sites.

Applying the regional per capita standards identifies a need for twenty additional public basketball hoops, five additional public playfields, four additional public playgrounds, eight additional public softball diamonds,¹⁹ and eight additional public tennis/pickleball courts. These needs should be fulfilled by investment in additional public facilities, as the public sector has no control over the provision of or access to additional privately owned recreational facilities.

¹⁹ A net total of two ball diamonds is needed to meet per capita needs as the needs analysis indicates that the provision of public baseball diamonds, which may also serve as softball diamonds, currently exceeds the per capita standard.

Call Out: Per capita standards and benchmarks do not account for the condition, quality, or distribution of facilities

Public recreational preferences are continually evolving, and the types of facilities needed to serve them also change over time. The six most prevalent types of outdoor recreation facilities identified by NRPA are the same as those set forth in the regional standards noted above, with the additional inclusion of dog parks. Table 4.3 presents benchmarks of the Village's current public facilities provision along with the lower, median, and upper quartile's residents per facility in peer communities. Analysis of public outdoor recreation facilities using park metrics indicates that the Village's provision of ball diamonds, basketball hoops, dog parks, rectangular playfields, and tennis/pickleball courts meets or exceeds that of peer communities. However, this analysis indicates that the Village may not be providing adequate playground facilities to meet the current demand. Note that these benchmarks do not account for the condition, quality, or distribution of current facilities. In addition, park metrics are intended to provide a basis for comparison and do not constitute standards. Benchmarking performance alone does not necessarily indicate whether an individual community's demand and preference for specific facilities is adequately served.

Facility Needs Based on Service Area Standards

The spatial distribution of outdoor recreation facilities should provide ready access for Village residents. Applying Objective No. 2's service radius standards determined which portions of the Village may lack adequate access to selected non-resource-oriented outdoor recreation facilities, as identified below.

Ball Diamonds

Map 4.5 shows the four public outdoor recreation sites that provide baseball diamonds and the five public outdoor recreation sites that provide league or sandlot softball diamonds in the Village in 2024. Applying the two-mile service area radius standard of a baseball diamond and the one-mile service area radius standard of a softball diamond indicates that areas in the south-central and western portions of the Village are not served by the existing distribution of ball diamonds. Note that although baseball and softball diamonds have different dimensions and base spacing, many ball diamonds can be adjusted for either sport in a recreational context.

Basketball Hoops

Map 4.6 shows the five public outdoor recreation sites in the Village that provide basketball hoops in 2024. Applying the 0.5-mile service area radius standard for a basketball hoop indicates that much of the Village west of STH 32, apart from the Franksville area, is not served by the existing distribution of basketball hoops.

Railroads also create access barriers in some areas of the Village which are inadequately served, although they are within the 0.5-mile service area radius.

Playfields

Nine public outdoor recreation sites in the Village provided playfields in 2024, as shown on Map 4.7. Applying the 0.5-mile service area radius standard of a playfield indicates that, aside from the Franksville and Johnson Park areas, much of the Village west of STH 32 is not served by the existing distribution of playfields. Natural and man-made barriers also restrict access in limited areas of the Village which, although within the 0.5-mile service area radius, are considered inadequately served.

Playgrounds

Eight public outdoor recreation sites in the Village provided playgrounds in 2024, also shown on Map 4.7. As with playfields, which have nearly the same distribution within the Village, applying the 0.5-mile service area radius standard of a playground indicates that much of the Village west of STH 32 is not served by the existing distribution of playgrounds. Limited areas of the Village which are within the 0.5-mile service area radius are also considered inadequately served due to the presence of natural and man-made barriers.

Soccer Fields

Five public outdoor recreation sites in the Village provided soccer fields in 2024, as shown on Map 4.8, The privately-owned Soccer Complex of Racine (SCORE), adjacent to the Franksville Memorial Park, also provides soccer fields within the Village. Applying the one-mile service area radius standard for soccer fields indicates that areas in the eastern, east-central,²⁰ and western portions of the Village are not served by the existing distribution of soccer fields. Note that playfields and the outfields of ball diamonds may be able to serve as junior soccer fields and that the presence of these facilities may fulfill some of the recreational soccer field needs.

Tennis/Pickleball Courts

Two public outdoor recreation sites in the Village provided tennis or pickleball courts in 2024, as shown on Map 4.9. The maximum service radius for a tennis court is one mile. Application of the service area standard indicates that much of the Village is not served by the existing distribution of tennis or pickleball courts.

²⁰ The adopted master plan for Crawford Park includes a planned soccer field which, when completed, will improve service area coverage in the eastern and east-central portions of the Village.

Swimming Pool or Beach

Bender Park, north of the Village in the City of Oak Creek, and North Beach, south of the Village in the City of Racine, provide Village residents access to public beaches on Lake Michigan. Beaches along Lake Michigan have a 10-mile service radius, which encompasses the entire Village within the service area of both existing public beaches. The County-owned Quarry Lake Park, which is located just south of the Village in the Village of Mount Pleasant, also provides a public beach.

Community-Specific Site and Facility Needs

It is important to recognize that recreational preferences vary from individual to individual and that varied demographic characteristics and development patterns within different areas of the Village may influence the demand and preference for specific outdoor recreation sites and facilities in different areas. Although the regional objectives, principles, and standards were formulated to support an integrated, areawide system of park and open space sites, community-specific conditions should be considered in the type and distribution of sites and facilities at the local level.

Village of Caledonia Parks Survey

The Village of Caledonia conducted an electronic survey of park users in the Village about the usage and preferences for parks, trails, and recreational facilities from April through September 2024. Village staff prepared the survey, and Commission staff compiled and analyzed the responses, which are detailed in Appendix D of this report. The survey, which was promoted on the Village's website and accessible via QR codes posted at the Village Hall and all Village parks, received 534 unique responses. 97% of respondents were residents of the Village. Figures 4.1 and 4.2 show the age and location distribution of survey respondents.

Call Out: Less than a third of survey respondents agreed that the Village's current parks met their needs

Across all age groups and geographic areas, less than 29% of survey respondents agreed that the parks currently in the Village of Caledonia met their needs. Over 60% of respondents expressed a desire for more features or amenities in existing parks and nearly 42% identified better maintenance of facilities as an important priority. Younger age groups, particularly, also identified a desire for additional neighborhood parks (44% of those under the age of 35) and felt that having a variety of activity offerings at a park was highly important, second only to safety and cleanliness.

Walking or jogging (68%) and enjoying nature (54%) were the primary activities that respondents from all age groups and geographic areas participate in at parks in the Village. Potentially coinciding with this, over 80% of respondents felt that preserving natural areas was somewhat or very important and there was broad support for improved bicycle and pedestrian infrastructure and safer, more accessible routes. More than three quarters of all respondents rated the Village's current bicycle and pedestrian facilities as neutral or low quality. Residents east of STH 32 or west of STH 32 and south of 4 Mile Road expressed a strong desire for sidewalk enhancements (45%), additional bike lanes (41%), and pedestrian-friendly intersection improvements (51%), while those west of STH 32 and north of 4 Mile Road did not prioritize these improvements as strongly (33%, 35%, and 29%, respectively). Additional trails to support a variety of activities were desired throughout the community, with 44% of respondents identifying trails as an amenity they would like more of.

Similarly, there are age and geographic differences in preferred activities and amenities. Younger respondents tended to express a strong interest in amenities tailored to children and families, while older age groups shifted towards social or outdoor recreational amenities such as beer gardens, gathering spaces, pavilions, and trails. Respondents under the age of 44, especially those in the eastern portion of the Village, expressed a strong desire for additional playground amenities (53%), inclusive play areas (38%), and splash pads (60%). Nearly half of respondents (48%) across all adult age groups expressed a desire for more beer gardens, which were the most requested additional amenity. Respondents who live outside of the Village enjoy similar activities to residents, but 41% also included playing baseball or softball as a preferred activity in Caledonia's parks, indicating that the ball diamonds may be drawing outside visitors to travel to the Village's parks. Additional sports facilities (ball diamonds, rectangular fields, etc.) were generally not ranked as a high priority by the majority of respondents with two notable exceptions. Tennis/pickleball courts were prioritized by approximately 30% of respondents, particularly those ages 45 and older. Respondents under the age of 24 expressed a desire for a variety of sports facilities including multi-use fields (44%), basketball courts (39%), and sand volleyball courts (39%).

Community Assistance Planning Report No. 179 (4th Edition)
A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Chapter 4

FIGURES

Figure 4.1
Survey Respondents by Age Range

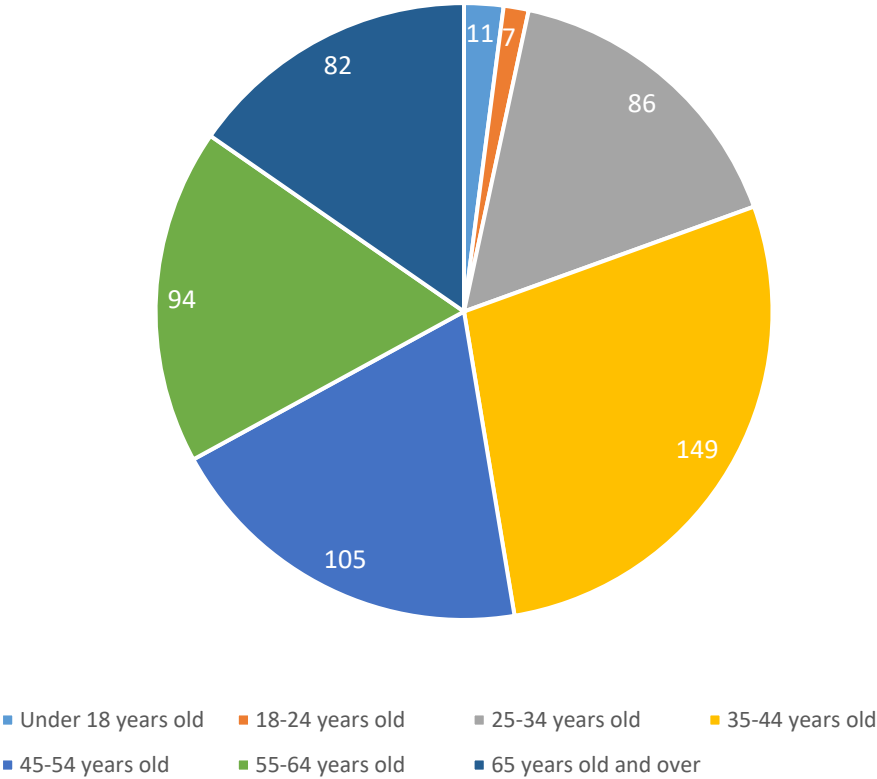
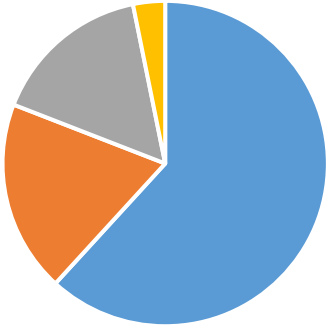


Figure 4.2
Survey Respondents by Geographic Area



- East of Douglas Ave (STH 32)
- West of Douglas Ave (STH 32) & South of 4 Mile Rd
- West of Douglas Ave (STH 32) & North of 4 Mile Rd
- Outside of Caledonia

Community Assistance Planning Report No. 179 (4th Edition)
A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Chapter 4

TABLES

Table 4.1
Per Capita Acreage Needs Analysis for Community and
Neighborhood Parks in the Village of Caledonia

Park and School Sites	Minimum Net Acreage Standard (developable acres per 1,000 persons) ^b	Existing Net Acreage	Per Capita Acreage Requirements			
			Existing 2020 Population: 25,361 Residents		Planned 2050 Population: 34,027 Residents	
			Net Acreage Need Based on Standard ^c	Additional Net Acreage Need ^d	Net Acreage Need Based on Standard ^c	Additional Net Acreage Need ^d
Parks ^a	3.9	751 ^e	99	--	133	--
Schools	2.5	23 ^f	63	40	85	52
Total	6.4	774	162	--	218	--

^a Includes eight Village-owned community and neighborhood park sites, including 5 ½ Mile Park, Chapla Park, County Line Park, Crawford Park, Gorney Park, Linwood Park, Maple Park, and Water's Edge Park. Also included are two sites owned by Racine County (Cliffside Park and Franksville Memorial Park) and one site owned by the City of Racine (Johnson Park and Golf Course), which provide community and neighborhood recreational facilities to Village residents.

^b Per capita acreage standards are set forth under Objective No. 1 in Appendix A.

^c The acreage need for park and school sites was determined by multiplying the acreage standard by the appropriate population in thousands of persons.

^d Additional acreage need was determined by subtracting the existing acres from the need identified by applying the standard. Since the remainder was a negative number, no need for additional parks was identified based on per capita standards. See Maps 4.2 and 4.3 for areas located outside the recommended service area for community and neighborhood parks, respectively.

^e Includes about 189 acres of existing developed (143 acres) and potential developable (46 acres) areas at 11 existing major, community, and neighborhood parks. Developable area excludes wetlands, lowland portions of primary and secondary environmental corridors and isolated natural resource areas, and floodplains within existing parks.

^f This total includes acreage available for outdoor recreation purposes at two public school sites within the Village of Caledonia.

Source: Village of Caledonia and Southeastern Wisconsin Regional Planning Commission

Table 4.2
Per Capita Needs Analysis for Selected Outdoor Recreation Facilities in the Village of Caledonia

Minimum Per Capita Facility Standards ^a				Facility Need Based on Standard ^b	Existing Number of Facilities	Additional Facility Need ^c
Activity	Facility	Owner	Facility per 1,000 Residents			
Baseball	Diamond	Public	0.09	4	11 ^d	--
		Nonpublic	<u>0.01</u>	<u>1</u>	<u>0</u>	
		Total	0.10	5	11	
Basketball	Hoop	Public	0.91	31	11	20 Public
		Nonpublic	<u>0.22</u>	<u>8</u>	<u>17</u>	
		Total	1.13	39	28	
Playfield Activities	Playfield	Public	0.39	14	9	5 Public
		Nonpublic	<u>0.11</u>	<u>4</u>	<u>8</u>	
		Total	0.50	18	19	
Playground Activities	Playground	Public	0.35	12	8	4 Public
		Nonpublic	<u>0.07</u>	<u>3</u>	<u>8</u>	
		Total	0.42	15	18	
Soccer	Field	Public	0.69	24	23 ^e	1 public
		Nonpublic	<u>0.17</u>	<u>6</u>	<u>39</u>	
		Total	0.86	30	64	
Softball	Diamond	Public	0.53	19	11 ^f	8 Public
		Nonpublic	<u>0.07</u>	<u>3</u>	<u>3</u>	
		Total	0.60	21	14	
Tennis/ Pickleball	Court	Public	0.41	14	6 ^g	8 Public
		Nonpublic	<u>0.09</u>	<u>4</u>	<u>14</u> ^h	
		Total	0.50	15	18	

^a Per capita facility standards are set forth under Objective No. 2 in Appendix A.

^b The facility need was determined by multiplying the facility standard per 1,000 residents anticipated under the adopted Village of Caledonia comprehensive plan (34,027 residents).

^c The need for additional facilities was determined by subtracting the existing number of facilities from the facility need based on application of the standard. In cases where the existing number of facilities exceeds the facility need based on the standard, no additional facility need was identified. In cases where either the number of existing public facilities or the total number of facilities was less than the number called for under the standards, a need for additional public facilities to fulfill the standard was identified.

^d Includes six baseball diamonds at the County-owned Haban Park, located in the Village of Mount Pleasant, and a league softball diamond at Franksville Memorial Park, which may also be used for baseball.

^e Includes seven soccer fields at Haban Park when the ball diamonds are not being used for baseball or softball.

^f Includes six softball diamonds at Haban Park.

^g Includes two tennis courts located at Village Green Park, located in the Village of Wind Point.

^h Includes nine indoor tennis courts located at the LifeSport Tennis Club.

Source: Village of Caledonia and Southeastern Wisconsin Regional Planning Commission

Table 4.3
Per Capita Performance Benchmarks for Selected Public Outdoor
Recreation Facilities in the Village of Caledonia

Activity	Facility	Number of Existing Facilities ^a	Benchmark Residents Per Facility		Facility Need to Meet Benchmark ^b	Additional Facility Need ^c
Baseball Softball	Diamond	22 ^d	Upper 25%	1927	18	-
			Median	2593	3	-
			Lower 25%	3685	9	-
Basketball	Hoop	11	Upper 25%	1925	18	7
			Median	3878	9	-
			Lower 25%	7443	5	-
Dog	Park	1	Upper 25%	35100	1	-
			Median	36141	1	-
			Lower 25%	37183	1	-
Playground Activities	Playground	8	Upper 25%	1323	26	18
			Median	1620	21	13
			Lower 25%	2375	14	6
Soccer	Rectangular Field	32 ^e	Upper 25%	1310	26	-
			Median	1310	26	-
			Lower 25%	1310	26	-
Tennis Pickleball	Court	6 ^f	Upper 25%	3764	9	3
			Median	5563	6	-
			Lower 25%	9834	3	-

^a Includes only public facilities.

^b The facility need to meet the benchmark was determined by dividing the Village of Caledonia's estimated 2024 population (25,428 residents) by the benchmark residents per facility for each quartile.

^c The need for additional facilities was determined by subtracting the existing number of facilities from the calculated facility need to meet the benchmark for each quartile. In cases where the existing number of facilities exceeds the benchmark facility need, no additional facility need was identified. In cases where the number of existing public facilities was less than the benchmark facility need, a need for additional public facilities was identified.

^d Includes six baseball and six softball diamonds at the County-owned Haban Park, located in the Village of Mount Pleasant, and a league softball diamond at Franksville Memorial Park, which may also be used for baseball.

^e Includes seven soccer fields at Haban Park when the ball diamonds are not being used for baseball or softball and rectangular playfields that may also be used as soccer fields.

^f Includes two tennis courts located at Village Green Park, located in the Village of Wind Point.

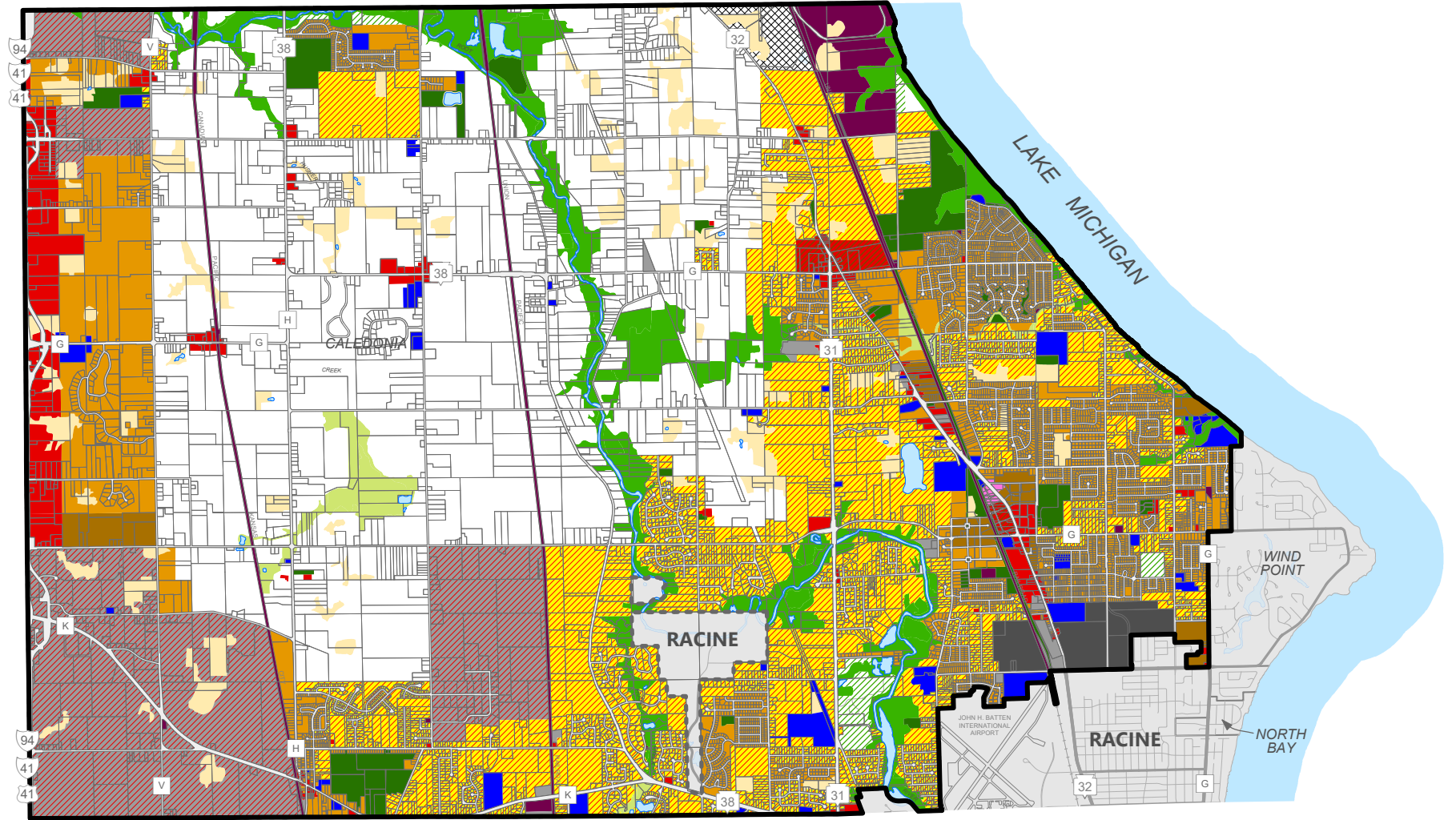
Source: Village of Caledonia, National Recreation and Park Association, and Southeastern Wisconsin Regional Planning Commission

Community Assistance Planning Report No. 179 (4th Edition)
A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Chapter 4

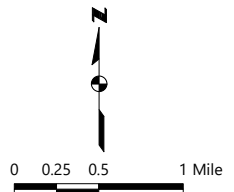
MAPS

Map 4.1
Village of Caledonia Land Use Plan: 2035



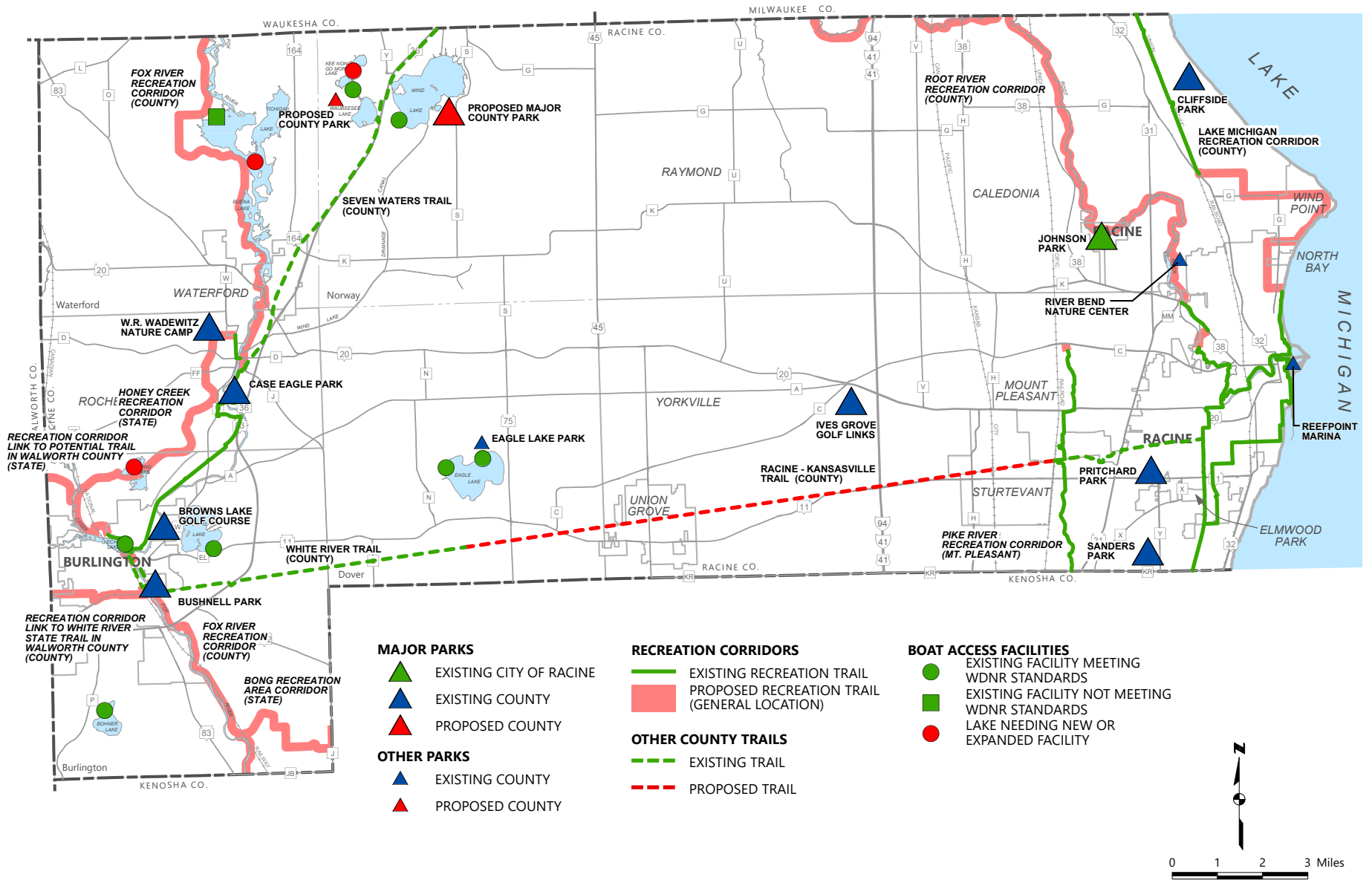
LOW DENSITY RESIDENTIAL (19,000 SQ FT TO 1.49 ACRES PER DWELLING UNIT)	INDUSTRIAL	STREETS AND HIGHWAYS	OTHER OPEN LANDS TO BE PRESERVED	OTHER MUNICIPALITIES
MEDIUM DENSITY RESIDENTIAL (6,200 SQ FT TO 18,999 SQ FT PER DWELLING UNIT)	INDUSTRIAL/BUSINESS PARK	TRANSPORTATION, COMMUNICATION, AND UTILITIES	SURFACE WATER	PARCELS
HIGH DENSITY RESIDENTIAL (LESS THAN 6,200 SQ FT PER DWELLING UNIT)	GOVERNMENTAL AND INSTITUTIONAL	OTHER AGRICULTURAL, RURAL RESIDENTIAL, AND OPEN LAND	PRIMARY ENVIRONMENTAL CORRIDOR	PLANNING AREA BOUNDARY
COMMERCIAL	RECREATIONAL	SECONDARY ENVIRONMENTAL CORRIDOR	ISOLATED NATURAL RESOURCE AREA	CITY OF RACINE WITHIN PLANNING AREA
OFFICE PARK	EXTRACTIVE	ISOLATED NATURAL RESOURCE AREA		PUBLICLY-OWNED OUTDOOR RECREATION LANDS
MIXED USE - COMMERCIAL AND RESIDENTIAL	LANDFILL			PRIVATELY-OWNED OUTDOOR RECREATION LANDS

Notes: This was adopted by the Caledonia Village Board on 9/15/2009 as part of the Village Comprehensive Plan.
 The map also includes Comprehensive Plan amendments adopted by the Village Board through January 14, 2025.



Source: Village of Caledonia and Southeastern Wisconsin Regional Planning Commission
 Last Updated: 2/5/2025

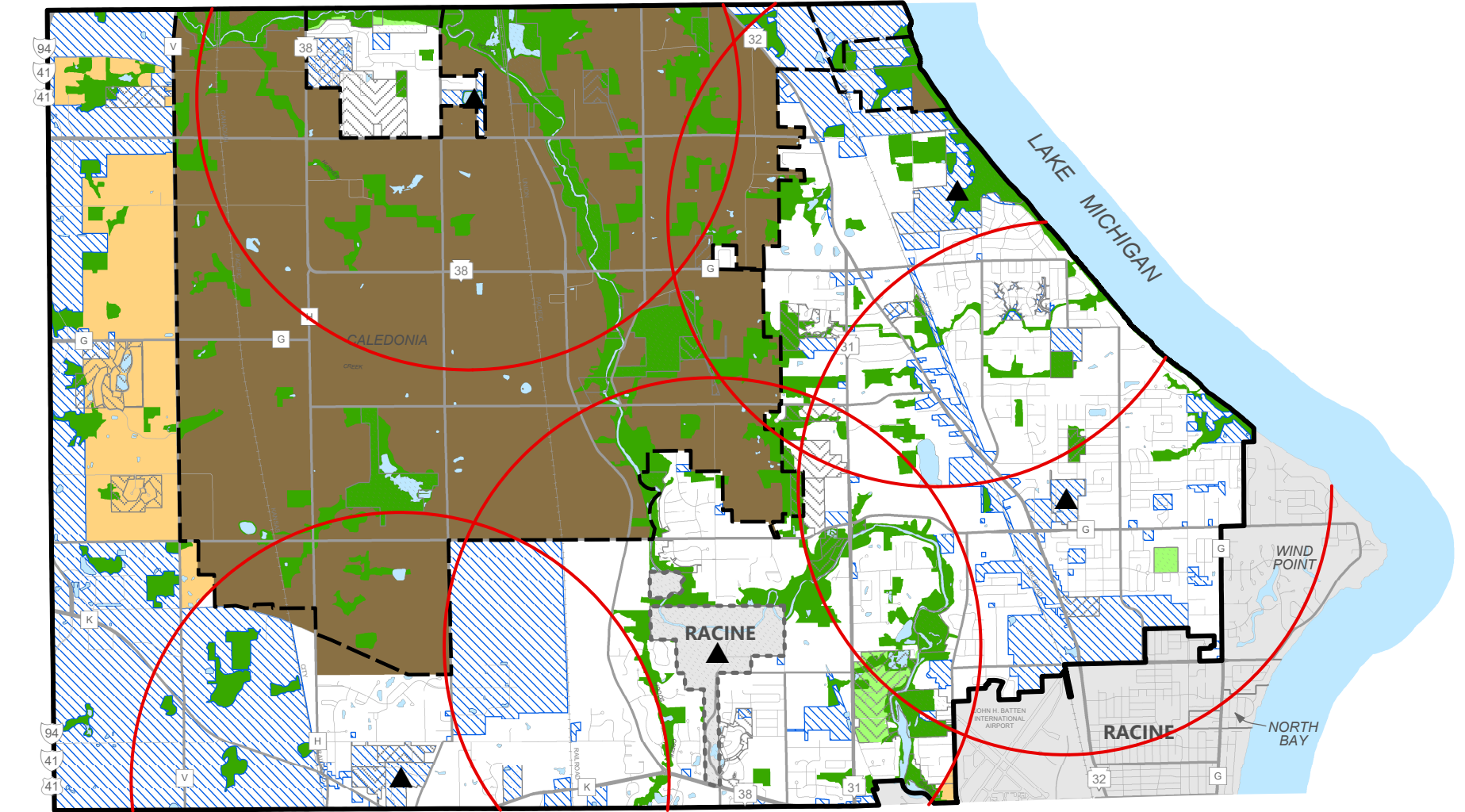
Map 4.2
Outdoor Recreation Element of the Racine County Park and Open Space Plan: 2035
















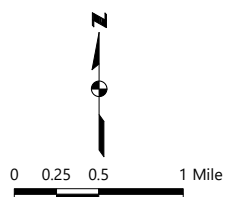
Source: Southeastern Wisconsin Regional Planning Commission
 Last Updated: 1/21/2025

Map 4.3

Planned Residential Areas in the Village of Caledonia Urban Service Area Not Adequately Served by a Community Park



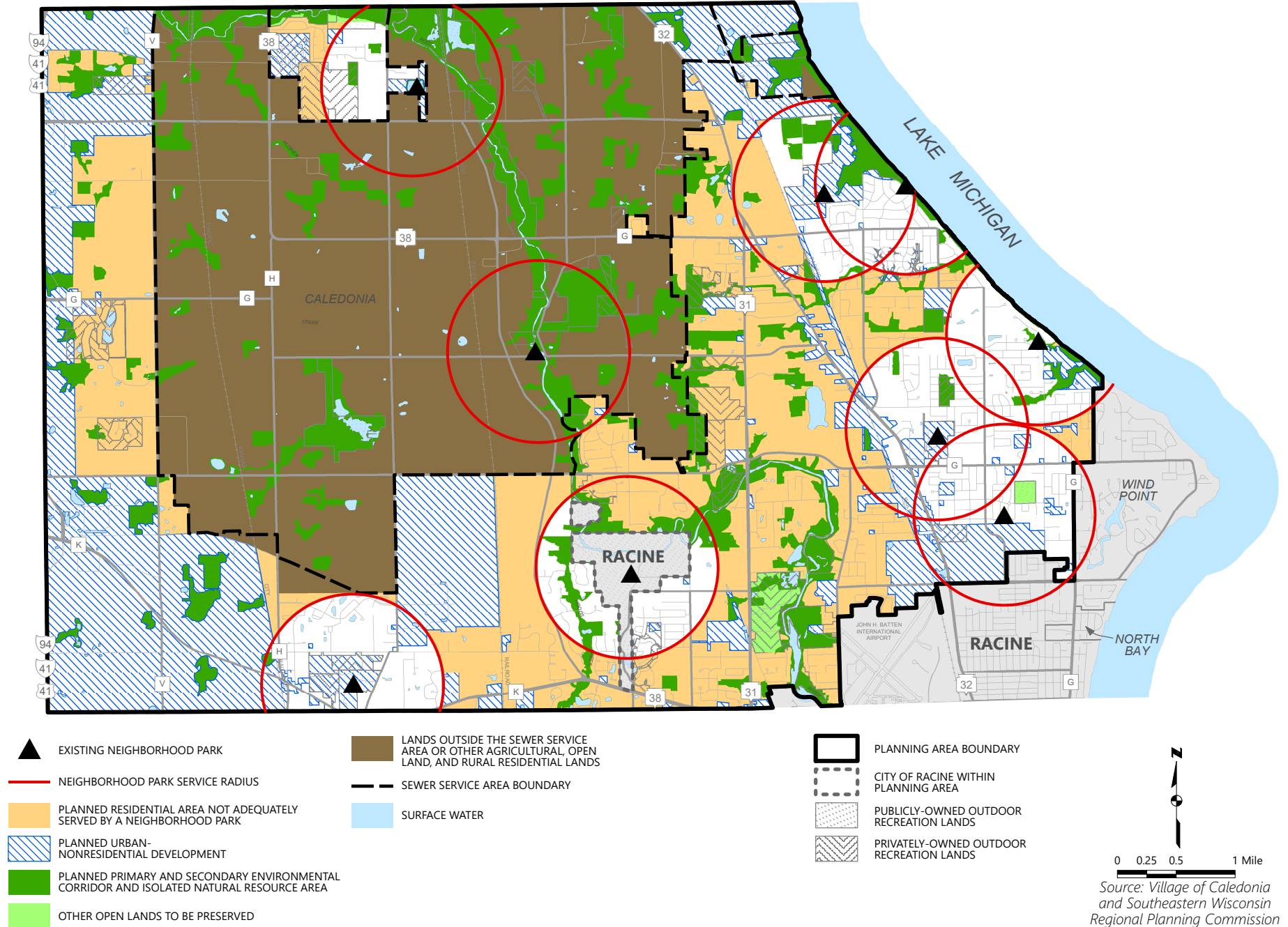
-  EXISTING COMMUNITY PARK
-  COMMUNITY PARK SERVICE RADIUS
-  PLANNED RESIDENTIAL AREA NOT ADEQUATELY SERVED BY A COMMUNITY PARK
-  PLANNED URBAN-NONRESIDENTIAL DEVELOPMENT
-  PLANNED PRIMARY AND SECONDARY ENVIRONMENTAL CORRIDOR AND ISOLATED NATURAL RESOURCE AREA
-  OTHER OPEN LANDS TO BE PRESERVED
-  LANDS OUTSIDE THE SEWER SERVICE AREA OR OTHER AGRICULTURAL, OPEN LAND, AND RURAL RESIDENTIAL LANDS
-  SEWER SERVICE AREA BOUNDARY
-  SURFACE WATER
-  PLANNING AREA BOUNDARY
-  CITY OF RACINE WITHIN PLANNING AREA
-  PUBLICLY-OWNED OUTDOOR RECREATION LANDS
-  PRIVATELY-OWNED OUTDOOR RECREATION LANDS



Source: Village of Caledonia and Southeastern Wisconsin Regional Planning Commission
 Last Updated: 2/5/2025
 104

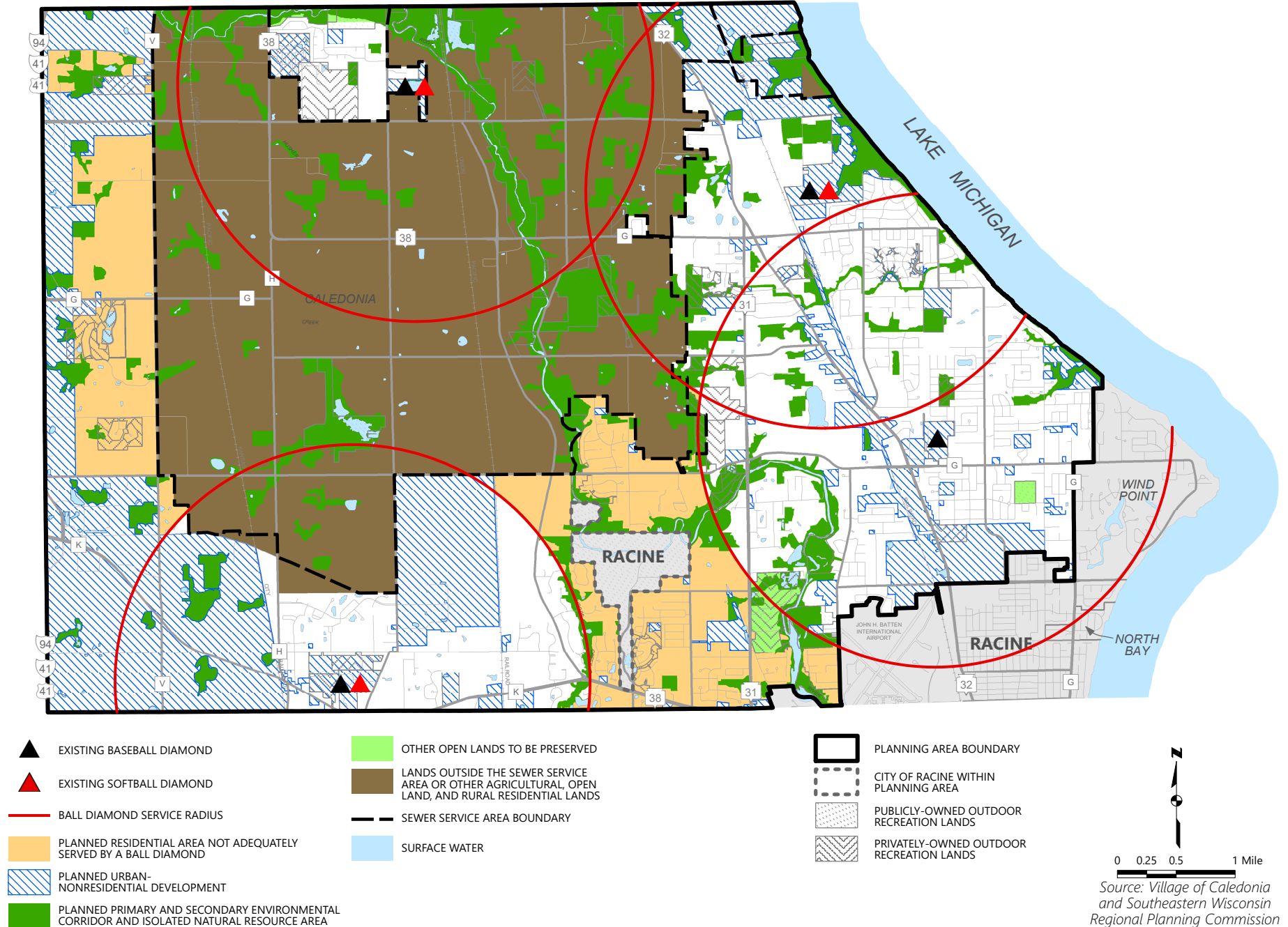
Map 4.4

Planned Residential Areas in the Village of Caledonia Urban Service Area Not Adequately Served by a Neighborhood Park

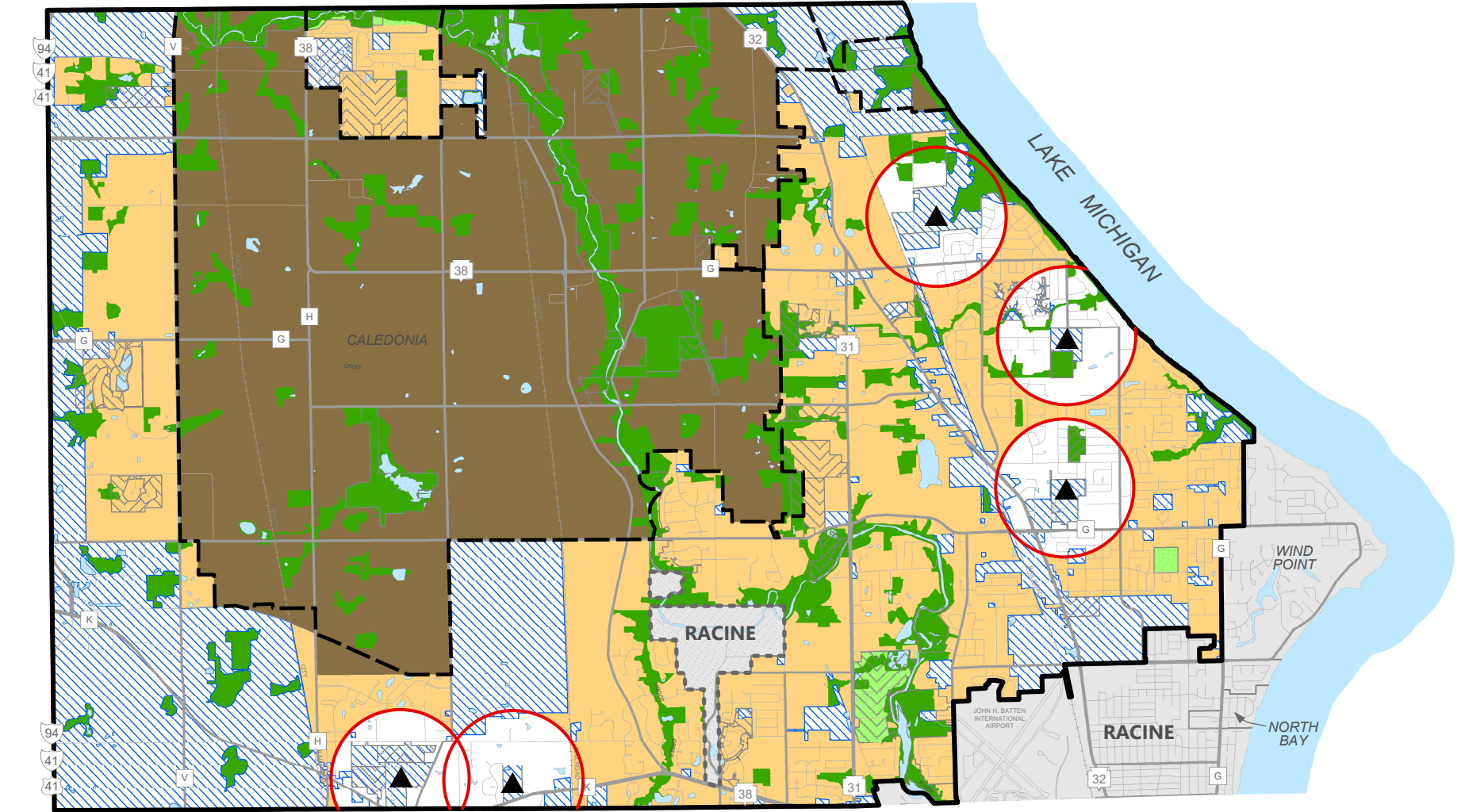















Map 4.5

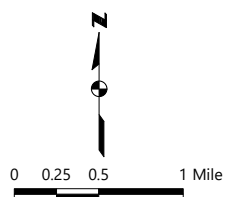
Planned Residential Areas in the Village of Caledonia Urban Service Area Not Adequately Served by a Ball Diamond



Map 4.6
Planned Residential Areas in the Village of Caledonia Urban Service Area Not Adequately Served by a Basketball Hoop



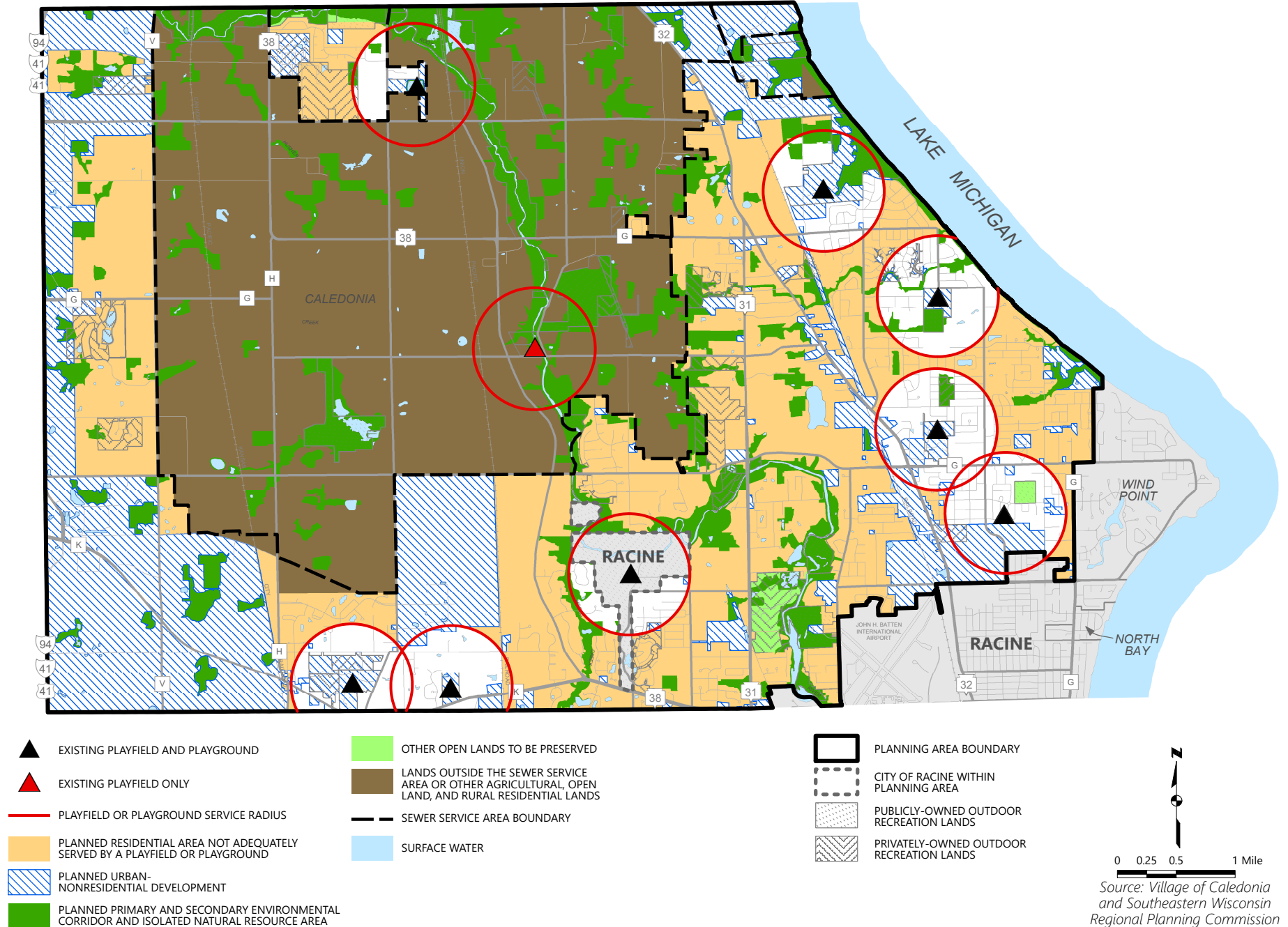
-  EXISTING BASKETBALL HOOP
-  BASKETBALL HOOP SERVICE RADIUS
-  PLANNED RESIDENTIAL AREA NOT ADEQUATELY SERVED BY A BASKETBALL HOOP
-  PLANNED URBAN-NONRESIDENTIAL DEVELOPMENT
-  PLANNED PRIMARY AND SECONDARY ENVIRONMENTAL CORRIDOR AND ISOLATED NATURAL RESOURCE AREA
-  OTHER OPEN LANDS TO BE PRESERVED
-  LANDS OUTSIDE THE SEWER SERVICE AREA OR OTHER AGRICULTURAL, OPEN LAND, AND RURAL RESIDENTIAL LANDS
-  SEWER SERVICE AREA BOUNDARY
-  SURFACE WATER
-  PLANNING AREA BOUNDARY
-  CITY OF RACINE WITHIN PLANNING AREA
-  PUBLICLY-OWNED OUTDOOR RECREATION LANDS
-  PRIVATELY-OWNED OUTDOOR RECREATION LANDS



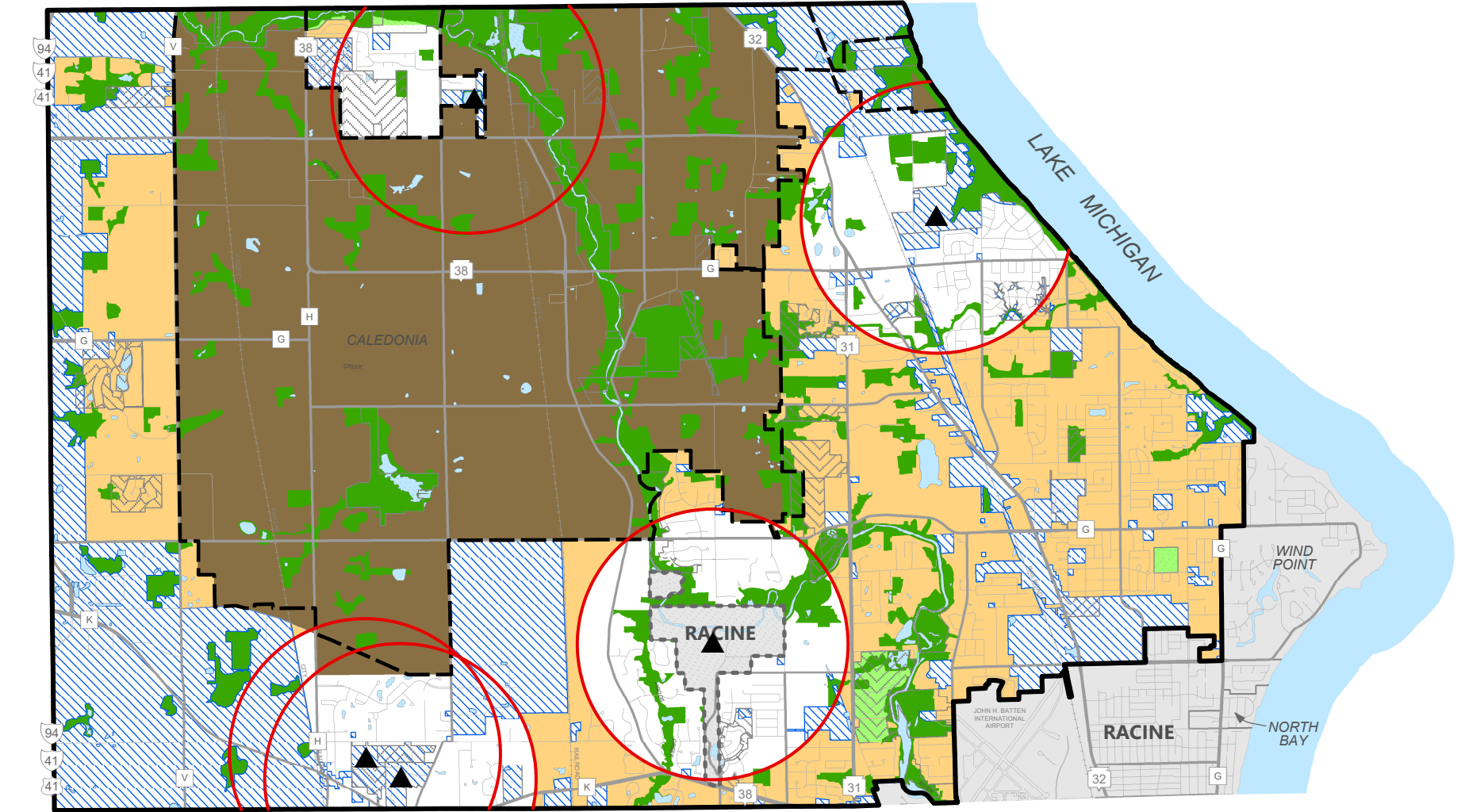
Source: Village of Caledonia and Southeastern Wisconsin Regional Planning Commission
 Last Updated: 2/5/2025
 107














Map 4.7

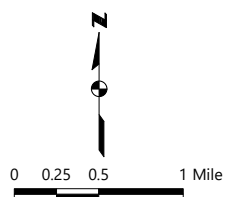
Planned Residential Areas in the Village of Caledonia Urban Service Area Not Adequately Served by a Playfield or Playground



Map 4.8
Planned Residential Areas in the Village of Caledonia Urban Service Area Not Adequately Served by a Soccer Field



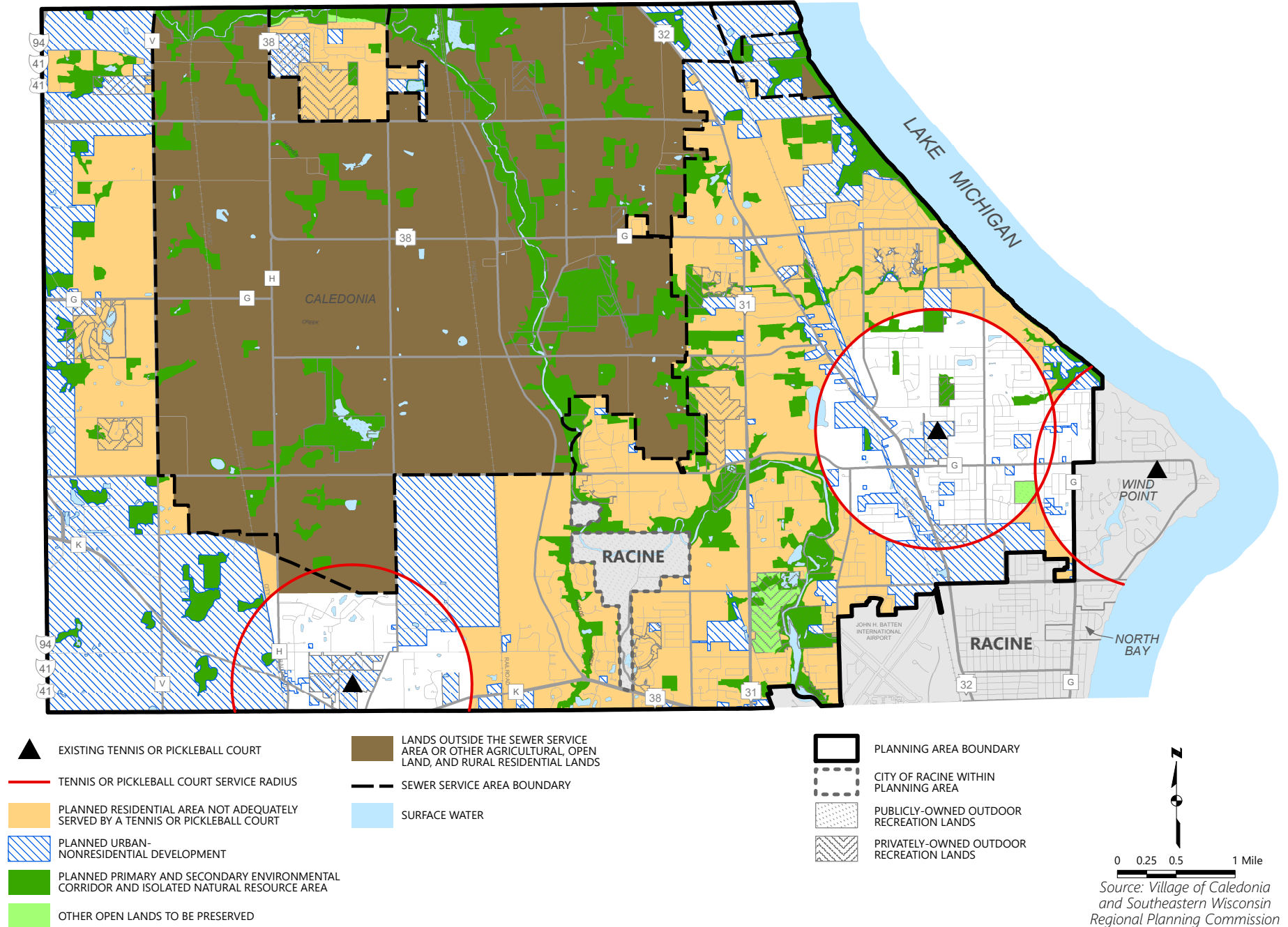
-  EXISTING SOCCER FIELD
-  SOCCER FIELD SERVICE RADIUS
-  PLANNED RESIDENTIAL AREA NOT ADEQUATELY SERVED BY A SOCCER FIELD
-  PLANNED URBAN-NONRESIDENTIAL DEVELOPMENT
-  PLANNED PRIMARY AND SECONDARY ENVIRONMENTAL CORRIDOR AND ISOLATED NATURAL RESOURCE AREA
-  OTHER OPEN LANDS TO BE PRESERVED
-  LANDS OUTSIDE THE SEWER SERVICE AREA OR OTHER AGRICULTURAL, OPEN LAND, AND RURAL RESIDENTIAL LANDS
-  SEWER SERVICE AREA BOUNDARY
-  SURFACE WATER
-  PLANNING AREA BOUNDARY
-  CITY OF RACINE WITHIN PLANNING AREA
-  PUBLICLY-OWNED OUTDOOR RECREATION LANDS
-  PRIVATELY-OWNED OUTDOOR RECREATION LANDS



Source: Village of Caledonia and Southeastern Wisconsin Regional Planning Commission
 Last Updated: 2/5/2025
 109

Map 4.9

Planned Residential Areas in the Village of Caledonia Urban Service Area Not Adequately Served by a Tennis or Pickleball Court



Community Assistance Planning Report No. 179 (4th Edition)

A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Chapter 5

PARK AND OPEN SPACE PLAN

5.1 INTRODUCTION

The recommended park and open space plan presented in this chapter is intended to guide the Village’s continued development of a high-quality parks system providing cultural, environmental, recreational, and aesthetic benefits to Caledonia’s residents and visitors. The plan provides a long-range vision to the year 2050 and includes recommendations to acquire additional land for parks and open space preservation, develop or improve recreational facilities at existing and proposed parks, protect important natural resources, and continue to develop a Village-wide system of trails and bikeways. To facilitate implementation, the Village park and open space recommendations in this chapter include both a five year short-term “action plan” and long-term recommendations for the next 25 years.

Preliminary steps in developing this plan included collecting updated inventory information regarding land use, population, natural resources, and park and open space sites and recreational facilities, and reviewing the current status of park acquisition and development activities recommended in the third edition of the plan. Pertinent recommendations from the Village’s comprehensive land use plan map, Root River Watershed Restoration Plan, Multi-Jurisdictional Comprehensive Plan for Racine County, Racine County Park and Open Space Plan, and the Regional natural areas plan, were identified and incorporated into this plan update, as appropriate. The preceding chapters provide detailed information related to these preliminary steps.

Several levels of government share responsibility for implementing recommendations to meet park and open space objectives. State and County governments typically address resource-oriented outdoor recreation objectives for large parks, areawide trail facilities, and facilities for such activities as golfing, camping, and boating, although larger cities and villages sometimes provide large parks and associated recreational facilities and segments of areawide trails. Local governments are typically responsible for nonresource-oriented outdoor recreation objectives for community and neighborhood parks for activities such as softball, tennis, soccer, and children’s playground activities. Objectives intended to protect such important natural resource features as environmental corridors, isolated natural resource areas, natural areas, and critical species habitat sites, are the responsibility of all levels of government.

The next section of this chapter details the open space preservation recommendations related to protecting primary and secondary environmental corridors, isolated natural resource areas, natural areas, and critical species habitat sites in both Racine County and the Village of Caledonia. The third section summarizes the areawide park and open space recommendations presented in the Racine County Park and Open Space Plan¹ pertaining to resource-oriented outdoor recreation sites and facilities and developing an area-wide trail system within and adjacent to the Village of Caledonia portion of Racine County. The fourth section of this chapter provides recommendations for Village park and open space sites and facilities. Actions needed to successfully implement the plan are described in the final (fifth) section of the chapter.

5.2 OPEN SPACE PRESERVATION

Preserving open space lands in essentially natural, open uses protects the Village’s natural beauty, maintains a high level of environmental quality, provides valuable recreational opportunities, and helps to avoid critical and costly environmental and developmental problems. Many important natural resources, including wetlands, floodplains, woodlands, surface water, natural and geological areas, and critical species habitat sites, are located within environmental corridors and isolated natural resource areas as described in Chapter 2. The frequency and intensity of severe weather events in Racine County has been increasing in recent years, and this trend is anticipated to continue for the foreseeable future.² Preserving open space lands can

¹ *Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 134, 3rd Edition, A Park and Open Space Plan for Racine County, Wisconsin, February 2013.*

² *Information on historical and projected climate conditions affecting the Village of Caledonia is included in Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 266, 4th Edition, Racine County Hazard Mitigation Plan Update: 2023-2028, July 2024.*

help to mitigate the damages that often result from these events. For example, wetlands absorb and reduce water flows associated with heavy precipitation, and preserving floodplains as open space reduces damage to property and structures when these events occur.

Recommended open space preservation areas may change over time due to a variety of man-made and natural causes including but not limited to the impacts of urban and rural development; updated floodplain and wetland mapping; natural changes in wetland, woodland, and other natural resource feature boundaries; and field surveys that precisely identify the boundaries of environmentally sensitive areas. Adjacent areas that are not developed for urban or recreational uses may also revert to natural conditions and eventually be added to the environmental corridor network. Therefore, it is recommended that public acquisition or conservancy zoning of wetlands and environmental corridors/isolated natural resource areas should be based on site specific conditions and a field delineation.

Open Space Preservation Recommendations

Existing and recommended open space preservation areas within the Village planning area are shown on Map 5.1 and described in Table 5.1. Approximately 4,197 acres have been identified as open space preservation areas within the Village. About 1,350 acres, or 32 percent, of these areas are publicly owned, including lands owned by the Village of Caledonia, Milwaukee County, Racine County, the City of Racine, the Racine Unified School District, the State of Wisconsin, and the United States Federal Government. All publicly-owned open space preservation areas should be maintained in public ownership and preserved in open space. About 270 acres of existing open space preservation areas are privately owned, including lands owned by nonprofit conservation organizations and lands within private parks, a driving range, and common open space areas in conservation subdivisions. Conservation easements currently protect about 86 acres of existing open space preservation areas.

Call Out: Over 4,000 acres in the Village have been identified as open space preservation area

The plan recommends that the Village acquire about 32 acres of open space preservation areas associated with the Nicholson Wildlife Refuge and with the acquisition of parklands for new park sites or for natural resource protection. It is recommended that Racine County acquire about 346 acres, mainly located along the Root River, including 196 acres associated with three natural areas, four critical species habitat sites, and a geological area. The plan also recommends that nonprofit conservation organizations such as the Caledonia Conservancy acquire about 169 acres of open space preservation areas, including 157 acres associated with six natural areas. Acquiring the recommended open space preservation areas could be

accomplished through fee-simple purchase, dedication, or through conservation easements. The use of conservancy zoning, deed restrictions, or conservation easements should be considered to preserve identified open space lands where public acquisition is not possible or practical.

The plan recommends that approximately 1,934 acres of open space preservation areas not recommended for public ownership or acquisition by a private conservancy organization be protected by the appropriate Village conservancy zoning. Conservancy zoning regulations will limit development in wetland and floodplain areas to open space uses, and in upland wooded areas to very low density residential use (minimum of five acres of upland areas per dwelling unit) or compatible recreational uses.

Primary Environmental Corridors

The primary environmental corridors (PECs), shown on Map 5.1, encompass approximately 1,881 acres of land primarily along the Lake Michigan shoreline, the Root River, and portions of Hoods Creek and Husher Creek within the Village. The plan recommends preserving all remaining primary environmental corridors in essentially natural, open uses. Approximately 834 acres, or 44%, of PECs are currently in public ownership, including 519 acres of PEC adjacent to the Root River, and should remain in public ownership for resource protection purposes. Approximately 146 acres, or 8% of PECs, are located within private recreational areas, resource protection areas, or common open space areas within conservation subdivisions.

The plan recommends that the Village acquire about three acres of primary environmental corridor associated for a proposed new Village park and that Racine County acquire about 346 acres of PEC associated with the proposed expansion of the Root River Parkway and with the acquisition of natural areas, critical species habitat sites, and a geological area. It is also recommended that the State of Wisconsin acquire about ten acres associated with the Renak-Polak Maple-Beech Woods and that nonprofit conservation organizations acquire about 89 acres of natural areas. Conservancy zoning or zoning for compatible recreational uses is recommended for the remaining 529 acres of privately owned PECs within the Village.

Secondary Environmental Corridors

The secondary environmental corridors (SECs), shown on Map 5.1, encompass approximately 406 acres of land, predominantly along a portion of Hoods Creek, along an intermittent stream in the eastern portion of the Village, and within and near the Nicholson Wildlife Refuge within the Village. The Village of Caledonia currently owns about 105 acres of SEC within the Nicholson Wildlife Refuge. An additional 70 acres are within existing privately owned outdoor recreation or resource protection areas. The plan recommends that

the Village acquire about 24 acres of SEC, including 21 additional acres associated with the Nicholson Wildlife Refuge and three acres for a proposed new Village park. The use of conservancy zoning or zoning for compatible recreational uses should be considered to protect the remaining 207 acres of SECs.

Isolated Natural Resource Areas

The isolated natural resource areas (INRAs), shown on Map 5.1, encompass about 1,505 acres of land. INRAs are scattered throughout the Village, with a significant amount located in the northern and western portions of Caledonia. 105 acres of INRAs are currently in public ownership, including 52 acres owned by the Village and six acres owned by Racine County, and are proposed to remain in public ownership for resource protection purposes. Privately owned outdoor recreation areas, lands with conservation easements, lands owned by nonprofit conservation organizations, and common open space lands within conservation subdivisions encompass about 117 acres of isolated natural resource areas.

The plan recommends that the Village acquire about four acres of INRAs for the development of new Village parks and that a nonprofit conservation organization acquire 80 acres associated with four natural areas. To the extent practicable, the plan recommends considering the use of conservancy zoning and maintaining the remaining 1,199 acres of isolated natural resource areas in essentially natural, open uses.

Natural Areas, Critical Species Habitat Sites, Aquatic Areas, and Geological Sites

The regional natural areas and critical species habitat protection and management plan³ identifies natural areas, critical species habitat sites, aquatic areas, and geological sites within the Village of Caledonia and provides a number of recommendations related to preserving these areas. As noted in Chapter 2, there are 14 natural areas, 14 critical species habitat sites, two aquatic areas, and two geological sites partially or wholly located in the Village. Recommendations for protecting approximately 1,227 acres associated with these areas within the Village are included on Map 5.1 and summarized in Table 5.2.

Call Out: Important natural areas and habitats can be irreparably damaged or lost if not protected

³ *Southeastern Wisconsin Regional Planning Commission Planning Report No. 42, A Natural Areas and Critical Species Habitat Protection and Management Plan for Southeastern Wisconsin, September 1997. The most recent update to the regional natural areas and critical species habitat plan, Southeastern Wisconsin Regional Planning Commission 2nd Amendment to Planning Report No. 42, was in progress as this park plan update was under preparation. Updated 2020 inventory data from the draft regional plan update was incorporated into the Village park plan update.*

The regional natural areas plan and this plan recommend that the Village of Caledonia continue to protect the Nicholson Wildlife Refuge and further recommends that the Village acquire the remaining 16 acres of the natural area, primarily wetlands within a secondary environmental corridor, by fee-simple purchase, dedication, or through a conservation easement. It also recommends that the Village continue to retain other Village parks, open space sites, or conservancy areas that encompass natural areas or geological sites for resource protection purposes. The plan recommends that the State of Wisconsin/UW-Parkside continue to protect the Renak-Polak Maple-Beech Woods State Natural Area and acquire the remaining nine acres associated with the site for resource protection purposes.

The plans further recommend that Racine County continue to retain and maintain lands associated with five natural areas and acquire the remaining lands associated with four natural areas within the Village. Racine County should also continue to retain and maintain lands associated with six critical species habitat sites and acquire the remaining lands associated with four critical species habitat sites within the Village. The plan also recommends that the County continue to retain and maintain lands associated with the Cliffside Park Clay Banks and Root River Outcrops geological sites and acquire the remaining lands associated with the Root River Outcrops site within the Village. Because aquatic habitat areas are under the direct management authority of the WDNR, the natural areas planning effort did not develop specific recommendations for these areas. The natural areas plan update recommends that the WDNR implement management and regulatory efforts necessary to ensure the long-term viability of the aquatic habitats and their critical species.

Root River Watershed

The Root River Watershed Restoration Plan, summarized in Chapter 4, recommends expanding and/or continuing to protect riparian buffers along all streams and tributaries within the Root River watershed, which includes portions of the Root River, Hoods Creek, Husher Creek, Crayfish Creek, and the Kilbournville tributary that are located in the Village. The plan recommends establishing a riparian buffer of natural vegetation with a minimum 75-foot stream setback to reduce pollution entering the stream and provide quality in-stream habitats. When development or redevelopment proposals are submitted to the Village for review, consideration should be given to establishing an optimal riparian buffer of up to 1,000 feet from the ordinary high water mark of streams, rivers, ponds, and lakes. Establishing a larger setback would enhance the in-stream benefits while also providing essential habitats for a variety of wildlife populations.

Table C.1 in Appendix C lists site-specific recommendations for improvements on portions of the Root River within the Village that are intended to promote water quality, improve habitat, and provide opportunities

and access for recreational use. The watershed plan further recommends evaluating the use of various green infrastructure methods in the urban portions of the Village, including green roofs, rain barrels, rain gardens, cisterns, and porous pavement in areas not subject to the application of salt. In addition to the site-specific recommendations, the watershed plan recommends more detailed floodplain mitigation planning for the Village with a focus on non-structural flood mitigation such as elevating, floodproofing, or demolishing flood-prone buildings.

Call Out: The Root River provides numerous environmental and recreational benefits to Village residents

The Root River Watershed Restoration Plan also recommends efforts to restore farmland and other open space land to more natural conditions, including a recommendation from the regional water quality management plan that 10 percent of existing marginally productive farmland and pasture⁴ be converted to either wetland or prairie conditions. Areas no longer being utilized for agricultural production or considered for urban development should also be considered if they would revert to resource features. Restoring these areas would reduce fecal coliform bacteria, total suspended solids, total nitrogen, and total phosphorus loads delivered to streams, and to a limited degree, reduce peak stormwater runoff rates. Map 5.2 shows the candidate areas within Root River watershed in the Village⁵ to be given first consideration for potential restoration to wetlands or prairies. The areas selected are within or adjacent to planned environmental corridors, isolated natural resource areas, or farmed wetlands larger than five acres, which would meet the criteria for designation as an isolated natural resource area if farming activities cease and the wetland reverts to natural conditions.

5.3 AREAWIDE PARK RECOMMENDATIONS

Areawide park and open space recommendations which pertain to the Village planning area have been incorporated into this Village plan as appropriate. Many of these recommendations are from the Racine County Park and Open Space Plan, summarized in Chapter 4. Recommendations concerning major parks, which provide opportunities for resource-oriented outdoor recreation activities, and recreation corridors,

⁴ *Marginally productive lands are defined as agricultural lands that have not been identified as having Class I or Class II soils by the U.S. Natural Resources Conservation Service.*

⁵ *Potential restoration areas shown on Map 5.2 have soils that indicate that they may be suitable for restoration as wetlands. An on-site evaluation of site and soil conditions would be necessary prior to any restoration efforts.*

which provide opportunities for various trail-oriented activities, are included. In addition, the plan includes recommendations for protecting and preserving open space lands, including natural resource features such as woodlands, wetlands, and floodplains, located within environmental corridors and isolated natural resource areas. In addition, pertinent recommendations from the areawide Root River Watershed Restoration Plan,⁶ also summarized in Chapter 4, are included in the “Open Space Preservation” section of this chapter.

Racine County Park and Open Space Plan Recommendations

Existing Parks

Map 4.3 in Chapter 4 summarizes the outdoor recreation element of the Racine County Park and Open Space Plan. The plan recommends ten major public outdoor recreation sites in the County and includes the following recommendations pertaining to sites within the Village planning area:

- The plan recommends that the County continue to maintain Cliffside Park, a major park within the Village, and that the County develop additional picnic facilities, trails, and a nature study center at the park. The plan also recommends that the County consider establishing a public-private partnership to develop a disc golf course at the park.
- The plan recommends that the County continue to maintain County-owned sites within the Village,⁷ including the River Bend Nature Center, Tabor Sokol Memorial Park, and Root River Parkway lands.
- The plan recommends that the City of Racine continue to maintain and provide additional facilities for resource-oriented activities at Johnson Park and Golf Course, a 335-acre major park located in the City of Racine but surrounded by the Village.
- The plan recommends that Racine County continue to maintain and provide additional facilities at other County parks located near the Village, including the 39-acre Quarry Lake Park and the 15-acre Horlick Park, both located just south of the Village.

⁶ *Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 316, A Restoration Plan for the Root River Watershed, July 2014.*

⁷ *The County acquired Franksville Memorial Park from the Village in 2021. Although not included in the County’s 2013 Park and Open Space Plan, it is recommended that the County continue to maintain the park and its facilities.*

In 2021, the 52-acre Caledonia-Mt. Pleasant Memorial Park was transferred to Racine County and renamed Franksville Memorial Park. Recommendations for this site are not included in the County park and open space plan as the most recent plan update predates the County's acquisition of the park from the Village, however pertinent recommendations from the prior edition of the Village's Park and Open Space Plan are included in this report.

As noted in Chapter 2, the County established a public-private partnership to develop the Racine County Ice Center at Franksville Memorial Park in 2023. At the time this plan update was under preparation, fundraising and development planning for the facility was underway. It is recommended that the County develop a comprehensive plan for Franksville Memorial Park that incorporates the proposed facility within the site and supports the development and enhancement of new and existing recreation facilities in the surrounding areas of the park. Should the existing recreational facilities remain, this plan recommends that Racine County resurface the tennis courts at the park, expand the basketball court to a full court, and perform regrading to mitigate flooding of the tennis courts and access road.

Bicycle and Pedestrian Facilities

The County plan recommends that about 88 miles of bicycle and pedestrian trails be provided in the County as part of the regionwide trail system (of which about 18 miles are located within the Village of Caledonia), including trails within the Pike River, Root River, Fox River, and Lake Michigan corridors and a trail along a railway right-of-way, which has been partially abandoned, extending from the City of Racine to Walworth County. Recommended bicycle and pedestrian trails within or adjacent to the Village include:

- A trail within the Root River corridor. The County plan recommends that the County continue to acquire lands associated with the Root River Parkway system for a proposed trail extending northward from the City of Racine to the Racine-Milwaukee County line. The plan recommends that the County develop those portions of the Root River trail within the Village (approximately 11 miles). Currently, the City of Racine has developed the Root River Pathway on the portion of the trail route within the City. Root River Pathway on-street connections are also provided to the County's Milwaukee-Racine-Kenosha (MRK) Trail, which also traverses the Village.
- A trail along the Lake Michigan shoreline, which has been substantially completed within Racine County. The MRK Trail, the portion of the Lake Michigan Trail located in the Village (approximately four miles), exists on a combination of off-street and on-street segments with the majority of the trail located within a WE Energies utility corridor or on WE Energies property. The MRK Trail runs from

Layard Avenue in the City of Racine north to Elm Road in the City of Oak Creek in Milwaukee County. A gap currently exists within the Village between Six Mile Road and Seven Mile Road.⁸ The City of Racine maintains the Lake Michigan Pathway along the trail route within the City. The plan recommends that Racine County continue to maintain the MRK Trail outside the City of Racine, including within the Village.

- The County park plan recommends the County continue to maintain signage and other route amenities associated with the Racine County Bicycle Route, which includes about ten miles within the Village's planning area.

Call Out: Local, county, and regional trails provide important connections within the statewide Wisconsin State Trails Network

Water Trails

The County plan recommends developing water trails for canoeing and kayaking that would connect with those in adjacent counties, including on the Root River and along the Lake Michigan shoreline within and adjacent to the Village. In July 2017, the WDNR designated the Lake Michigan Water Trail⁹ as a State trail. The plan recommends that the Village work with the WDNR, Racine County, and the City of Racine to provide accessibility to Lake Michigan by maintaining all existing access sites and developing new access sites along the Lake Michigan. Existing access sites are located in the City of Racine and the City of Oak Creek in Milwaukee County; currently, there are no access sites located along Lake Michigan within the Village.

Two areawide plans provide recommendations related to providing formal public canoe/kayak access points along the Root River within the Village. Existing public canoe access sites are located along the Root River at River Bend Nature Center in the Village of Caledonia and at Horlick Park in the Village of Mount Pleasant. The County plan recommends providing access points with parking at 10-mile intervals on major streams in Racine County. The Root River Watershed Restoration Plan recommends specific locations such as County land on the west side of STH 31 and south of Four Mile Road, Linwood Park, and at Four Mile Road east of STH 38. The STH 31 site is identified as the most practicable location, although the other sites should be thoroughly reviewed as additional or alternative access points.

⁸ Map 5.4 shows the gap in the off-road trail between Six Mile Road and Seven Mile Road as an on-street trail segment.

⁹ Information is located at <http://dnr.wi.gov/topic/parks/name/lakemichigan/>

5.4 VILLAGE PARK AND OPEN SPACE RECOMMENDATIONS

In alignment with the objectives of the broader areawide and regional plans, the recommendations in this section relate specifically to sites and facilities within the Village's jurisdiction. As noted in Chapter 4, the analysis of outdoor recreation needs based on the regional park and open space standards indicates a need for an additional community park, additional neighborhood parks, and additional recreational facilities to meet the outdoor recreation needs of Village residents. All proposed facility development must comply with Federal Americans with Disabilities Act (ADA) accessibility requirements, and any existing facilities which do not meet ADA accessibility requirements should be brought into compliance in a timely fashion. Although the Village does not currently offer recreational programming, many comparable peer communities do. It is therefore recommended that the Village consider opportunities for establishing recreational programming at Village park and open space sites.

Map 5.3 shows the recommended park and open space plan for the Village as described in this and the preceding sections of Chapter 5. Full implementation of this plan by the Village would provide a variety of parks and related outdoor recreation sites and facilities, an interconnected system of recreation trails and on-street bikeways, and would help protect and enhance the underlying natural resource base.

The park and open space plan for the Village includes three community parks (Crawford Park, Gorney Park, and a proposed new community park); 13 neighborhood parks (Chapla Park, Linwood Park, Maple Park, and ten proposed new neighborhood parks); four conservancy/nature areas (5 ½ Mile Park, County Line Park, Waters Edge Park, and the Nicholson Wildlife Refuge); and six Village-owned lands (three stormwater detention basins and three open space sites).

It is also recommended that the Village develop on-street bikeways and off-street trails for bicycle and pedestrian use to provide residents a connection to Village and County parks, City of Racine parks, regional trails, local schools, and other local destinations. Under the recommended plan, the Village would further provide five miles of recreational trails consisting of off-street trails that can be utilized for jogging, walking, biking, rollerblading, and related activities. This plan also recommends that the Village develop about 32 miles of on-street bikeways that would consist of bike lanes, bike paths, and bike routes.

Call Out: The Village's parks survey identified bicycle and pedestrian facilities, including connections to parks and recreational sites, as a key opportunity

As previously noted, the Multi-Jurisdictional Comprehensive Plan for Racine County and the Racine County Park and Open Space Plan recommend that the Village, in cooperation with Racine County, develop access sites with appropriate support facilities associated with the existing Lake Michigan Water Trail and develop a water trail with appropriate support facilities on the Root River. These recommendations are also supported by the Root River Watershed Restoration Plan, which is discussed earlier in this chapter.

Parks and Related Recreational Facilities

The recommendations presented in this section relate to existing and proposed Village parks, including the acquisition and development of new parks and the development of recreational facilities at existing parks. Table 5.3 lists parks-related development and improvement projects recommended to be implemented between 2025 and 2030. Projects included in the five-year plan are based on input from the Village's Park and Recreation Advisory Committee. The cost of implementing each project will vary from park to park, current economic conditions, and specific details. The plan therefore recommends that estimated costs for these five-year projects be included within the next available capital improvement plan (CIP), and a more detailed cost analysis be completed for each project as opportunities to complete them arise, with community, staff, and public official input determining the specific scope and timing of a given project. Estimated costs for longer-term projects are recommended to be developed as part of future capital improvements programming efforts. It is important to note that the CIP is updated on an annual basis, and currently identified projects may be removed or reprioritized and new projects may be added during each annual update. Table 5.4 lists proposed longer-term Village park improvements and additional land acquisitions from 2031 to 2050.

Proposed New Parks

This plan recommends that the Village acquire additional land to expand the Nicholson Wildlife Refuge should adjacent parcels become available. In addition, the plan recommends that the Village acquire land for a new community park and ten new neighborhood parks and develop recreational facilities at these sites to address areas of the Village that are currently underserved and those identified by the land use plan for future residential development. Map 5.3 shows the generalized locations of the proposed new parks and Table 5.4 describes the general characteristics and types of facilities that are recommended for each site. Acquisition and development of these proposed new park sites may occur over the course of many years, and it is recommended that sites are prioritized for acquisition as suitable land becomes available or if there is proposed or anticipated residential development in an area. It is recommended that the Village acquire a 30-40 acre site for the proposed community park between 2025 and 2030, while acquisition of the ten proposed neighborhood park sites is anticipated to occur from 2031-2050. Should any suitable sites

become available, or new residential development support acquisition of a site earlier than anticipated, acquisition may be appropriate during this five-year period. If so, it is recommended that the acquisition move forward.

Development and Improvement at Existing Village Parks: 2025-2030

It is recommended that the Village develop additional recreational facilities or make improvements to existing facilities at parks and conservancy areas during the five-year period from 2025 through 2030, as described below and listed in Table 5.3.

Call Out: High impact projects that are anticipated to have low implementation costs are included in the five year plan in addition to projects which address high priority goals or maintenance needs

- *5 ½ Mile Park:* 5 ½ Mile Park is a 21-acre undeveloped neighborhood park located in the eastern portion of the Village encompassing forested wetlands within an isolated natural resource area. The plan recommends developing a trail within the Village's right-of-way along the Klema Ditch, adjacent to 5 ½ Mile Park, extending from 5 Mile Road to Olympia Brown Elementary School. It is recommended that the Village preserve the majority of the site as a natural area and install benches along the Klema Ditch trail once it has been developed.
- *Chapla Park:* Chapla Park is a nine-acre neighborhood park located in the northeastern portion of the Village along the Lake Michigan shoreline. The Park is a passive use site that provides a scenic view of Lake Michigan. It is recommended that the Village develop a walking path with a scenic overlook point at the site. It is also recommended that the Village install permanent benches and picnic tables at the park.
- *County Line Park:* County Line Park is an 18-acre undeveloped neighborhood park located in the northeastern portion of the Village. It is recommended that a hiking trail be developed and that the wetlands at the site be preserved as a natural area. Most of the site is set back nearly 500 feet from County Line Road, and the Village owns only a 16.5-foot road frontage, which poses access challenges for the site. The plan recommends that the Village pursue an easement on the adjacent We Energies property to enable the development of parking.
- *Crawford Park:* Crawford Park is a 35-acre community park located in the southeastern portion of the Village. Existing facilities include two baseball diamonds, two tennis courts, two basketball hoops, a

playfield, a playground, sand volleyball courts, restrooms, concessions, pathways, and picnic shelters. The plan recommends that the Village continue implementing the Crawford Park Master Plan, including developing an additional shelter with restrooms and dugouts at both ball diamonds, improving the playground, developing a service road and parking area(s), completing the sledding hill, developing multi-use fields/winter skating area, developing a splash pad, and developing basketball and tennis/pickleball courts. It is also recommended that the Village consider developing a beer garden or explore the creation of a private-public partnership to operate a beer garden at the pavilion.

- *Gorney Park*: Gorney Park is a 41-acre community park located in the north-central portion of the Village. Existing facilities include two ball diamonds, two soccer fields, a playfield, two playgrounds, a hiking trail, shelters, picnic areas, and restrooms. The Park also has a pond with a pier that provides opportunities for fishing and launching nonmotorized watercraft. It is recommended that the Village restore native prairie vegetation in unutilized open spaces and around the pond. The plan also recommends leveling and grading the existing playfield and soccer fields to improve the quality and evenness of the turf. In addition, repairing and relocating portions of the access road, seal coating¹⁰ the access road and the parking lot, and restriping the parking lot are recommended.
- *Linwood Park*: Linwood Park is a 12-acre neighborhood park centrally located in the Village along the Root River. Existing facilities include a playfield, a playground, horseshoe pits, a shelter, picnic areas, fishing, and an informal canoe launch. The plan recommends updating the playground equipment.
- *Maple Park*: Maple Park is a two-acre neighborhood park located in the southeastern portion of the Village. Existing facilities include a playfield, a playground, and a picnic area with a shelter. The plan recommends updating the playground equipment to make the playground more accessible for children of all ages.
- *Nicholson Wildlife Refuge*: Nicholson Wildlife Refuge is a 127-acre conservancy area centrally located in the Village which is classified as a natural area of local significance and serves as an educational

¹⁰ It is recommended that any pavement resealing be accomplished using a non-coal tar-based sealant. Studies have identified coal-tar-based pavement sealcoat as a major source of polycyclic aromatic hydrocarbon (PAH) contamination which is damaging to aquatic life and poses significant environmental and human health hazards.

site. Existing facilities include nature trails and a boardwalk. The plan recommends repairing the existing boardwalk and extending the boardwalk further into the site.

- *Waters Edge Park*: Waters Edge Park is a three-acre undeveloped neighborhood park located in the eastern portion of the Village near the terminus of 5 Mile Road which consists of woodlands within a primary environmental corridor. The plan recommends maintaining and expanding trails within the park while retaining the woodlands in a natural state.

Development at Existing Village Parks: 2031-2050

The recommended facility development at existing Village parks described in this portion of section 5.4 are longer-term priorities, which are likely to occur after 2030. The recommendations for each park listed in Table 5.4 may be reviewed and revised, as the Village's needs and public preferences change over time. Implementing the recommendations is subject to the availability of funding for land acquisition and facility development, operation, and maintenance.

- *5 ½ Mile Park*: It is recommended that the Village develop an overlook and a boardwalk which extends into the wetlands from the western edge of the site. The plan also recommends maintaining the Klema Ditch trail, proposed for development from 2025-2030, and extending the trail south to Crawford Park.
- *Chapla Park*: The plan recommends developing an open-air shelter or gazebo, in addition to the improvements recommended during 2025-2030. Although the site's topography and the need for ADA compliance pose challenges, developing a path with direct access to the lake is also recommended should it be deemed feasible.
- *County Line Park*: The plan recommends developing a rest area with an overlook, in addition to the improvements recommended during 2025-2030.
- *Crawford Park*: The plan anticipates that full implementation of the Crawford Park Master Plan will continue into the 2031-2050 timeframe and that some of the improvements recommended during 2025-2030 will occur during this time. The plan recommends continuing to refine the details of improvements which are implemented in the later phases to ensure that residents' current needs and desires are reflected and that the Village maintain the existing facilities which have already been developed at Crawford Park.

- *Gorney Park*: The plan recommends developing a concessions building with restrooms, sand volleyball courts, a full court basketball court, and fishing areas/piers around the pond, in addition to the improvements recommended during 2025-2030. The plan also recommends developing a disc golf course and a nature walk as well as continuing with native prairie restoration in open areas.
- *Linwood Park*: The plan recommends developing a canoe/kayak launch, restrooms, and hiking trails, in addition to the improvements recommended during 2025-2030.
- *Maple Park*: The plan recommends developing a half-court basketball court in addition to the improvements recommended during 2025-2030.
- *Nicholson Wildlife Area*: The plan recommends expanding and replacing the parking area and improving access to the site, in addition to the improvements recommended during 2025-2030. It is also recommended that the Village acquire about 16 acres of adjacent land for resource protection purposes and park expansion. The plan further recommends assessing alternative routes or water control methods to enable extending the boardwalk to the back of the site and developing an observation area, as described below.
 - Based on recommendations from the Nicholson Wildlife Area Management Plan,¹¹ water control methods should be used at the site to enhance and diversify wildlife habitat features, especially for migratory waterfowl and other wetland species, and to improve wetland function. Other habitat enhancements include creating a variety of potholes or ponds, which would allow the site to potentially store permanent areas of water for a sustained wildlife area; prairie restorations in upland areas; developing native vegetative buffers around the site; providing brushpiles; and constructing nesting platforms for birds.
 - Potential recreational opportunities at the site should include hiking trails and wildlife observation. If water control levels are applied and effective, there may be opportunities to expand or enhance the existing trail network at the site.

¹¹ *Hey and Associates, Inc.*, Nicholson Wildlife Area Management Plan, Town of Caledonia, Racine County, Wisconsin, March 2005. This plan is an update to Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 146, A Wildlife Habitat Management Plan for the Nicholson Wildlife Center, Town of Caledonia, Racine County, Wisconsin, May 1986.

- *Village Land – Markay Stormwater Basin*: The stormwater detention basin is a 22-acre open space site located in the southeastern portion of the Village. It is recommended that the Village develop a walking path around the perimeter of the site. The path should not be constructed with materials that can float, such as wood chips, as these materials may block or clog the basin outlet or downstream storm sewers. Recognizing that residents often utilize this space for dog walking, the plan recommends that the Village implement measures to avoid potential pet waste runoff, including posting signage encouraging the public to pick up pet waste, providing pet waste bags and anchored waste bins, and providing anchored seating on the upper slope of the basin.
- *Village Trails*: Map 5.4 shows the recommended trail network for the Village planning area. It is recommended that the Village develop approximately 37 miles of the proposed multi-use trail network, providing connections between existing and proposed parks, other notable sites, and existing trails.

Maintenance of Other Existing Village Parks

This plan also recommends that the Village continue to maintain all existing Village-owned park and open space sites and outdoor recreation facilities. Maintenance activities may include providing, paving, and resurfacing parking lots, trails, and walkways; resurfacing athletic court areas; improving existing facilities' accessibility to people with disabilities; providing, repairing, or replacing support facilities such as lighting, benches, picnic tables, drinking fountains, foot bridges, restroom facilities, water supply facilities, maintenance buildings, and picnic shelters; and maintaining lawns, gardens, and other landscape plantings. They may also include replacing or providing additional playground equipment, playfield areas, and passive recreational areas.

Open Space Preservation

The Village currently owns 238 acres of open space preservation areas. It is recommended that the Village acquire 32 acres of open space preservation areas for the development of parks or trails or for resource-protection purposes, as shown on Map 5.1. The plan recommends that these lands be maintained in Village ownership and preserved in essentially natural, open space uses. Preserving these lands will help serve to maintain the Village's environmental quality and natural beauty, as well as help to avoid serious and costly environmental and developmental problems. It is also recommended that the Village continue to identify privately owned open space preservation areas and work with developers to preserve these areas as common open space or dedicate them for park use.

Call Out: Working with developers to preserve open spaces can improve the desirability of a development and reduce the cost of providing park and open space sites to the Village

Bicycle and Pedestrian Facilities

The plan recommends continued development of a Village-wide system of recreation trails and bicycle routes in cooperation with Racine County, the Wisconsin Department of Transportation (WisDOT), and adjoining local governments. Recommended bike and pedestrian facilities for the Village and environs, shown on Map 5.4, would connect existing parks to adjacent regional, county, and local government trail systems and provide access to other parks and destination points.

As described in Chapter 2, Racine County has developed about 14 miles of trails or bike routes within the Village of Caledonia planning area, including four linear miles of the County-owned MRK and We Energies Trails and ten miles of the Racine County signed, on-street bike route. The plan recommends that the Village work with the County to improve the on-street segments of the MRK Trail between Six Mile Road and Seven Mile Road or, if feasible, to develop an off-street trail which would replace this segment. Potential routes for an off-street trail segment include along Michna and Seven Mile Roads or west of and parallel to the Union Pacific Railroad. Developing a trail along Michna and Seven Mile Roads would require a trail crossing or underpass of the railroad tracks at Seven Mile Road, while a trail west of the Union Pacific Railroad could utilize the existing underpass at Six Mile Road. The plan recommends evaluating the acquisition of land or of easements to develop one of these trail segments; if this is not feasible, then the addition of enhanced bicycle facilities to the existing on-street segments should be considered.

Call Out: Gaps in off-street trails create accessibility challenges and safety concerns which may deter individuals who would like to use them

It is also recommended that the Village work with the City of Oak Creek, Milwaukee County, and/or Racine County to develop approximately one mile of off-street trail within the right-of-way of County Line Road on the Village's northern boundary. Currently, the southern terminus of Milwaukee County's Oak Leaf Trail at the county line is approximately 6,000 feet west of the We Energies Trail, which extends south to 7 Mile Road. No bicycle facilities currently exist on this section of County Line Road, creating a gap in the regional trail network. Developing this trail segment in conjunction with the off-street segment proposed in the previous paragraph would provide an off-street trail extending north from Layard Avenue in the City of Racine to Ryan Road in the City of Oak Creek.

The proposed system of publicly owned bike and pedestrian facilities within the Village includes nearly 80 miles of bike routes within street rights-of-way and approximately 26 miles of trails associated with environmentally significant areas, utility corridors, or other open space lands. The development of on-street bikeways would be undertaken by WisDOT (portions of Douglas Avenue (STH 32), Northwestern Avenue (STH 38), and CTH K); Racine County (portions of CTH G, CTH H, and Four Mile Road, Seven Mile Road, and Three Mile Road); and the Village of Caledonia (streets under Village jurisdiction). The development of off-street trails would be accomplished by Racine County (Root River Recreation Corridor) and the Village (Hoods Creek Trail, Klema Ditch, a linear corridor between STH 38 and the Union Pacific Railroad between CTH K and Five Mile Road, and trails providing links to other Village or County trails or parks). Developing the segment of the MRK trail proposed above may be undertaken by Racine County or the Village, together or separately, depending on which alternative is pursued. Similarly, the proposed County Line Road segment may be undertaken by Milwaukee County or Racine County, depending on whether the trail runs in the north or south right-of-way.

The year 2035 regional transportation plan¹² recommended a network of on- and off-street bicycle ways within Racine County, which were refined through the Multi-Jurisdictional Comprehensive Plan for Racine County.¹³ Map 5.4 shows existing and planned bikeways within the Village planning area, including those recommended by the multi-jurisdictional comprehensive plan. The Regional Planning Commission adopted an update to the regional land use and transportation plan (VISION 2050) in 2016¹⁴ which may be incorporated into future updates to the Racine County multi-jurisdictional plan.

VISION 2050 recommends developing a network of enhanced bicycle facility corridors in urbanized areas of Racine County, including the Villages of Caledonia and Mount Pleasant and the City of Racine, which would connect the communities, serve important regional destination points, and link segments of the off-

¹² SEWPRC Planning Report No. 49, A Regional Transportation System Plan for Southeastern Wisconsin: 2035, June 2006. A reaffirmation and amendment of the plan was adopted in April 2010 and is documented in Southeastern Wisconsin Regional Planning Commission Memorandum Report No. 197, Review, Update, and Reaffirmation of the Year 2035 Regional Transportation Plan, June 2010.

¹³ SEWPRC Community Assistance Planning Report No. 301, A Multi-Jurisdictional Comprehensive Plan for Racine County: 2035, November 2009.

¹⁴ Southeastern Wisconsin Regional Planning Commission Planning Report No. 55, A Regional Land Use and Transportation Plan for Southeastern Wisconsin: 2050, July 2017. The second edition of the plan was adopted in June 2020 and the 2024 review and update of the plan is documented in Southeastern Wisconsin Regional Planning Commission Memorandum Report No. 268, 2024 Review & Update of VISION 2050, June 2024.

street bicycle path system. Enhanced bicycle facilities are protected, buffered, or raised bike lanes and separate paths within a road's right-of-way. These facilities are located on or along an arterial street and go beyond the standard bike lane to improve safety and comfort. Enhanced bicycle facilities clearly define bicycle space on roadways and provide clear corridors for bicycle usage. If an enhanced bicycle facility is not feasible on an arterial street, a parallel local road could be utilized for bicycle traffic.

The Caledonia Conservancy also provides trails at numerous privately-owned sites within the Village, some of which are open to the public. These sites typically provide horse trails which support the Village's active equestrian community and often can also be used as hiking or cross-country skiing trails. The plan recommends that the Conservancy continue to develop additional trails, where feasible, and maintain the existing trails. The Village should look for opportunities to partner with and continue to support the Conservancy when the organization acquires lands for resource protection purposes and develops multi-use trails that are accessible for public use.

Water Trails

Water trails,¹⁵ sometimes referred to as paddling trails or canoe/kayaking trails, identify surface water areas that can accommodate low-impact, non-motorized watercraft such as canoes and kayaks. Important factors for establishing water trails include safe and convenient access to a waterway with unobstructed passageways, adequate support facilities, and safe portaging areas. Scenic, historic, and natural viewpoints along the waterway are often identified and indicated with signage and/or rest areas.

The Multi-Jurisdictional Comprehensive Plan for Racine County, the County Park and Open Space Plan, and the Root River Watershed Restoration Plan recommend that the Village of Caledonia and Racine County work together to develop a water trail on the Root River. The Lake Michigan State Water Trail, also recommended in the County plans, was designated by the WDNR in 2017. The establishment of a Root River water trail would promote the responsible use and enjoyment of the Root River and would provide educational and recreational opportunities for outdoor enthusiasts. The forthcoming removal of the Horlick Dam, located just south of the Village in the City of Racine, is anticipated to improve the navigability of the Root River within the Village and would enable paddlers on the proposed water trail to more easily connect with destinations in the City of Racine, as well as with the Lake Michigan State Water Trail.

¹⁵ A "water trail" is a designated trail on a lake or stream that regularly contains sufficient water level to navigate small watercraft such as a canoe or kayak with unobstructed passageways while providing safe and convenient access points, and may contain support facilities such as parking areas, restrooms, and picnic areas.

The proposed Root River Water Trail would be approximately 12 miles within the Village and environs. The plan recommends that canoe access and support facilities be maintained and/or developed at regular intervals along the Root River. Currently, informal canoe/kayak launches are located at the County-owned River Bend Nature Center, the Village-owned Linwood Park, and along some street rights-of-way that intersect the River within the Village. A formal boat/canoe launch along the Root River is located at the Racine County-owned Horlick Park, just south of the Village in the Village of Mount Pleasant. Additional launches are also located downstream in the City of Racine at the City-owned 6th Street Park South, Clayton Park, Island Park, and Lincoln Park.

Approximately eight linear miles of the Lake Michigan State Water Trail are within the Village and environs. Existing public access sites along the Lake Michigan shoreline are located in the Village of North Bay at Park Way Beach, in the City of Racine at North Beach Park, Pugh/Rooney Park, Pershing Park, and Samuel Myers Park; and in the Village of Wind Point at Shoop Park. Currently, there are no public access sites within the Village of Caledonia. The majority of the Lake Michigan shoreline within the Village consists of topography which is not well suited to the development of access points or lands that are privately owned. The plan recommends that the Village consider developing a public access site on the narrow Village-owned right-of-way extending from the eastern terminus of 5 ½ Mile Road to the Lake Michigan shore, while recognizing that the capacity of this site would be limited.

Racine County and local governments which the water features traverse or abut should consider preparing user-friendly maps for water trail users to identify support facilities and points of interest along the water trail. Nonprofit conservation organizations, such as the Root-Pike Watershed Initiative Network or the Lake Michigan Water Trail Association, may consider assisting with these efforts.

Village Impact Fees

Public Facilities Needs Assessment and Impact Fee Ordinance

In accordance with Section 66.0617 of the *Wisconsin Statutes*, a public facilities needs assessment¹⁶ for Caledonia was prepared in May 2002 to demonstrate a need for and determine the amount of impact fees that may be placed on new development to cover the cost of providing public sites and facilities to serve that development. While facilities such as fire and rescue, law enforcement, and transportation are used by all developments, parks facilities are generally only used by the residential portion of the Village. Therefore, impact fees for Village park facilities are only assessed for residential developments.

¹⁶ *The impact fee ordinance is documented in Title 15 (Building Code), Section 15-1-26 of the Village Code of Ordinances.*

Currently, the Village assesses a parks-related impact fee of \$1,000.00 for each residential dwelling unit constructed, created, or relocated within Caledonia. These impact fees help offset the costs associated with acquiring parklands, developing additional park facilities, and acquiring and developing trails and bicycle routes to serve new residential development. Wisconsin Act 44, enacted by the State legislature in 2007, further regulates the collection, disbursement, and management of municipal impact fees.

Public Input

Village staff developed an online survey to gather public input on the Village Park and Open Space Plan update, which was available from April through September 2024. The survey received 534 unique responses and was promoted on the Village website as well as via QR codes posted at the Village Hall and Village parks. The results of the public input survey, particularly those pertaining to demand for specific park amenities and bicycle and pedestrian facilities, were incorporated into the recommended plan and considered in the prioritization of short- and long-term recommendations. A summary of survey responses is included in Chapter 4, and more detailed information is provided in Appendix D. In February 2025, the Village held a public open house/informational meeting to allow the public to review and comment on the Village park plan. The following comments were submitted as part of the public open house/informational meeting:

(To be completed subsequent to the Open House)

5.5 PLAN IMPLEMENTATION

Successfully implementing this park and open space plan requires action by and coordination between several different government units and agencies. The Wisconsin Department of Natural Resources (WDNR), Wisconsin Department of Transportation (WisDOT), Racine County, and the Village of Caledonia are each responsible for actions to implement the recommended park and open space plan for the Village. Additionally, the Racine Unified School District, adjacent counties and municipalities, and non-profit organizations such as the Caledonia Conservancy may be involved in the implementation of pertinent recommendations.

Call Out: The Village will need to collaborate with a variety of private and public partners to successfully implement the park and open space plan

The plan anticipates that recommendations related to open space preservation will primarily be undertaken by State agencies, Racine County, the Village of Caledonia, and the Caledonia Conservancy. Recommendations related to developing new facilities, improving existing facilities, or acquiring additional land at existing park sites is generally the responsibility of each site's respective owner, while acquiring land for proposed new parks will be undertaken by the Village. Similarly, developing or enhancing on-street bicycle and pedestrian facilities will generally be undertaken by the government unit with jurisdictional authority over the roadway. Recommendations for off-street trail facilities and the development of water trails are anticipated to be implemented by the State, County, and Village.

In addition to implementing specific plan recommendations, the Wisconsin Departments of Natural Resources and Transportation have broader authorities which are relevant to successful implementation. WDNR has the authority to administer, within the State, the Federal Land and Water Conservation Fund (LWCF) program and the Wisconsin Stewardship Program, both of which are intended to assist in acquiring and developing local parks and urban green spaces. WDNR endorsement of the Village Park and Open Space Plan qualifies the Village to apply for available State and Federal outdoor recreation grants to support plan implementation. WisDOT administers transportation grant funding which may be available to support the construction of the recommended bikeways, including off-street trails and those located on County and local streets, for those projects which meet eligibility requirements. In the event of a proposed railway abandonment within the Village, it is recommended that WisDOT work with local agencies to evaluate the feasibility of acquiring the railway right-of-way for trail development and/or other recreational purposes.

Plan Costs

Full implementation of the five-year 2025-2030 plan, summarized in Table 5.3, and the longer term 2031-2050 plan, summarized in Table 5.4, represents a substantial investment in acquiring sites and developing or improving facilities to support the current and future needs of Village residents. The park-related improvements included in each table are based on input and prioritization from the Village's Parks and Recreation Advisory Committee. Due to continually changing economic conditions, changing public preferences, and varied conditions from park to park, cost estimates prepared far in advance of implementation tend to be inaccurate.

As noted earlier in this chapter, the plan recommends preparing estimated costs for the proposed five-year projects to be included in the next available capital improvement plan (CIP). It is recommended that Village staff determine the specific scope and timing of a given project with community, staff, and public official input and conduct a more detailed cost analysis as implementation opportunities arise. Future capital

improvements programming efforts should include developing estimated costs for longer-term projects. Currently identified projects may be removed or reprioritized during each annual update of the CIP as the Village's priorities and implementation opportunities change over time.

Several options are available which can assist the Village in reducing the cost of implementation. Alternative methods of land acquisition, such as dedication and conservation easements, could reduce the cost to the Village for acquiring parks and open spaces. The plan recommends that the Village work with developers to identify open space that can be preserved as common open space and dedicated for public park and recreation use. It is recommended that the Village pursue applicable State, Federal, and private grants for park or open space acquisition and facility development. Donations from the public and/or private businesses or organizations may also be used to develop park facilities. The Village should also consider the establishment of public-private partnerships to support the development or operations of facilities and amenities within Village park and open space sites.

Community Assistance Planning Report No. 179 (4th Edition)
A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Chapter 5

TABLES

Table 5.1
Existing and Proposed Ownership of Open Space Land^a in the Village of Caledonia: 2050

Ownership	Existing^b (Acres)	Plan (Acres)	Planned Change (Acres)
Village of Caledonia	238	270	32
State of Wisconsin	141	151	10
Racine County	920	1,266	346
Other Public ^c	51	51	--
Nonprofit Conservation Organization	153	322	169
Private Recreation ^d	87	87	--
Private – Common Open Space Land in Conservation Subdivisions	30	30	--
Private – Protect Through Zoning ^e	--	1,934	1,934
Conservation Easement	86	86	--
Total	1,706	4,197	2,491

^a Includes land and water associated with primary environmental corridors, secondary environmental corridors, and isolated natural resource areas.

^b Existing ownership as of 2024.

^c Includes lands owned by Milwaukee County (32 acres), the Racine Unified School District (less than one acre), and the United States Federal Government (19 acres).

^d Includes private open space lands held in private ownership for recreational use (for example, shooting ranges, private parks, and driving ranges).

^e Includes private open space lands proposed to be protected through Village zoning.

Source: Village of Caledonia and Southeastern Wisconsin Regional Planning Commission

Table 5.2
Recommended Protection of Natural Areas, Critical Species Habitat, Aquatic Habitat, and Geological Sites in the Village of Caledonia

Number on Map 2.9	Site Identification		Site Area (acres)			Proposed Acquisition Agency
	Site Type ^a	Area Name	Existing Protective Ownership	Proposed to Be Acquired	Total	
1	NA-1 (SNA)	Renak-Polak Maple-Beech Woods State Natural Area	128 ^b	9	137	State of Wisconsin/UW-Parkside
2	NA-2	Cliffside Park Woods and Clay Banks	55 ^c	--	55	Racine County
3	NA-2	Hunts Woods	4	30 ^d	34	Racine County
4	NA-2	Root River Wet-Mesic Woods – East	2	--	2 ^e	Racine County
5	NA-3	Caledonia Low Woods	72	35	107	Racine County
6	NA-3	Dominican Ravine	--	18	18	Nonprofit Conservation Organization
7	NA-3	Foley Road Woods – East	--	24	24	Nonprofit Conservation Organization
8	NA-3	Foley Road Woods – West	--	19	19	Nonprofit Conservation Organization
9	NA-3	Nicholson Wildlife Refuge	127	16	143	Village of Caledonia
10	NA-3	Power Plant Ravine Woods	--	--	-- ^f	-- ^k
11	NA-3	Root River Riverine Forest	152	33	185 ^g	Racine County
12	NA-3	Seven Mile Road Woods	--	20	20	Nonprofit Conservation Organization
13	NA-3	Tabor Woods	36 ^h	63	99	Caledonia Conservancy
14	NA-3	Zirbes Woods	--	13	13	Nonprofit Conservation Organization
15	CSH	Caledonia Low Woods – South	27 ⁱ	3	30	Racine County
16	CSH	Caledonia Sanitary Sewer Right-of-Way	22	52	74 ^j	Nonprofit Conservation Organization
17	CSH	Cliffside Park Old Field	55	--	55	Caledonia Conservancy
18	CSH	Forked Aster Site	1	17	18	Racine County
19	CSH	Four Mile Road Woods	2	29	31	Racine County
20	CSH	Lakeside Woods	--	--	-- ^e	-- ^k
21	CSH	River Bend Upland Woods	14	--	14	Racine County
22	CSH	Riverpark Bluff Woods	--	--	--	-- ^k
23	CSH	Root River Bluff	2	37	39 ^l	Racine County
24	CSH	Root River Ravine Woods	--	--	--	-- ^k
25	CSH	Root River Strip Woods	2 ^m	--	2	Racine County
26	CSH	Sherwood Property	--	--	--	-- ^k
27	CSH	WEPCO Oak Woods	--	--	-- ⁿ	-- ^k
28	CSH	WEPCO Woods	--	--	-- ^e	-- ^k
29	GA-3	Cliffside Park Clay Banks	14	--	14	Racine County
30	GA-3	Root River Outcrops	7	12	19 ^o	Racine County
31	AQ-3 (RSH)	Root River downstream from County Line Road to Nicholson Road	--	--	1.9 miles ^q	State of Wisconsin ^p
32	AQ-3 (RSH)	Root River downstream from Nicholson Road to STH 38	--	--	10.0 miles ^q	State of Wisconsin ^p
Total – 32 Sites			722	430	1,154	--

Table continued on next page.

Table 5.2 (Continued)

^a Site types are classified as follows:

NA-1 indicates Natural Areas of statewide or greater significance

NA-2 indicates Natural Areas of countywide or regional significance

NA-3 indicates Natural Areas of local significance

CSH indicates Critical Species Habitat sites

GA-3 indicates Geological Areas of local significance

AQ-3 indicates Aquatic Areas of local significance.

SNA, or State Natural Area, indicates those sites designated as State Natural Areas by the State of Wisconsin Natural Areas Preservation Council

RSH, or Rare Species Habitat, indicates those Aquatic Areas which support habitat for endangered, threatened, or "special concern" species designated by the Wisconsin Department of Natural Resources

^b Currently, 110 acres are owned by UW-Parkside and 18 acres are owned by the Caledonia Conservancy.

^c Currently, 54 acres are owned by Racine County (Cliffside Park) and one acre is owned by the Village of Caledonia (Chapla Park).

^d Two acres previously owned by Racine County were sold in 2018 and are now in private ownership.

^e Includes only the area located in the Village. Total area is 52 acres. The two acres located within the Village are owned by Racine County. The remaining 50 acres are located in the City of Oak Creek in Milwaukee County and are owned by Milwaukee County.

^f Currently, the entire site is located on WE Energies property.

^g Includes only the area located in the Village. Total area is 331 acres. Of the 185 acres located within the Village, 123 acres are owned by Racine County; 31 acres are owned by Milwaukee County; one acre is owned by the Caddy Vista Sanitary District; and 30 acres are located on private property. The remaining 146 acres of the entire site are located in the City of Oak Creek in Milwaukee County, and of those lands located in Milwaukee County, 143 acres are owned by Milwaukee County, two acres are owned by the Wisconsin Department of Transportation, and one acre is located on private property.

^h Currently, 29 acres are owned by the Caledonia Conservancy and seven acres are located on Wooded Valley Estates South subdivision outlots or residential lots.

ⁱ Currently, 21 acres are owned by Racine County and six acres are located on a Quarry Springs subdivision outlot.

^j Includes only the area located in the Village. Total area is 94 acres. Of the 74 acres located within the Village, five acres are owned by Racine County; 17 acres are owned by the Caledonia Conservancy; and 52 acres are located on private property. The remaining 20 acres of the entire site are located in the City of Racine as part of the City-owned Johnson Park and Golf Course.

^k This site is not proposed to be acquired for protective ownership and is recommended to be protected through appropriate zoning.

^l Includes only the area located in the Village. Total area is 50 acres. Of the 39 acres located within the Village, two acres are owned by Racine County and 37 acres are located on private property. The remaining 11 acres of the entire site are located in the City of Racine as part of two City-owned parks, Johnson Park and Golf Course and Johnson Park Dog Run.

^m The majority of the site is located on lands owned by Racine County. One-quarter of an acre of the site is located on private property.

ⁿ Currently, 10 acres are located within the Racine County Line Rifle Club Range and four acres are located on WE Energies property.

^o Includes only the area located in the Village. Total area is 25 acres. Of the 19 acres located within the Village, seven acres are owned by Racine County and 12 acres are located on private property. The remaining six acres of the entire site is located in the City of Racine as part of the Johnson Park Dog Run.

^p Navigable waterway owned by the State and managed by the Department of Natural Resources.

^q A portion of the site extends outside of the Village and the length given is entirely within the Village.

Source: Wisconsin Department of Natural Resources and Southeastern Wisconsin Regional Planning Commission

**Table 5.3
Proposed Acquisition, Development, and Improvements at
Existing Parks in the Village of Caledonia: 2025-2030**

Site Name	Proposed Developments and Improvements
5 ½ Mile Park	Develop Klema Ditch Trail Install Benches
Chapla Park	Develop Walking Path with Scenic Overlook Install Benches and Picnic Tables
County Line Park	Develop Hiking Trail Pursue Easement for Parking Area
Crawford Park	Develop Additional Shelter with Restrooms Develop Dugouts at Both Ball Diamonds Improve Playground Develop Beer Garden Develop Service Road and Parking Area(s) Complete Sledding Hill Develop Multi-Use Fields/Ice Skating Area Develop Splash Pad Develop Basketball Courts Develop Tennis/Pickleball Courts
Gorney Park	Level, Grade, and Improve Turf on Playfield Level, Grade, and Improve Turf on Soccer Fields Install Prairie Plantings Repair/Relocate Portions of Access Road Through Park, Seal Coat Road and Parking Lot, and Re-Stripe Parking Lot
Linwood Park	Update Playground Equipment
Maple Park	Update Playground Equipment
Nicholson Wildlife Refuge	Repair Existing Boardwalk Extend Boardwalk
Waters Edge Park	Maintain/Expand Trail
New Village Park	Acquire 30-40 Acres of Land for a Park in the Western Portion of the Village ^a
Total – 10 Sites	

Note: “General Development” is recommended at all Village-owned park sites and includes such activities and facilities as grading, landscaping, signs, lighting, picnic tables, benches, parking lots, access drives, and walkways. “General Development” items that relate to a specific proposed development or improvement, or are considered a capital expense, are specifically listed in this table and in Table 5.4.

Although not included in this table, this plan also recommends that the Village continue routine maintenance activities at all existing Village-owned park and open space sites and recreational facilities.

^a Areas planned for residential development west of CTH V are currently unserved by Village parks. The plan recommends acquiring a site between 30 and 40 acres in this area of the Village for longer-term development as a new community park prior to significant development in this area. The total cost to the Village may be reduced through donations and grants for park facilities.

Source: Village of Caledonia and Southeastern Wisconsin Regional Planning Commission

**Table 5.4
Recommended Acquisition, Development, and Improvements at Existing and Proposed Village of
Caledonia Park Sites: 2031-2050**

Site Name	Proposed Acquisition (acres)	Proposed Facility Developments^a and Improvements
Proposed Site 1 (Community Park)	-- ^b	Ball Diamonds Soccer Fields/Playfields Full Court Basketball Court Tennis/Pickleball Court Playground Hiking Trail Picnic Areas with Shelters Dog Park Sand Volleyball Courts
Proposed Site 2 (Neighborhood Park)	15 ^c	Ball Diamond Basketball Hoops Playground Playfield Picnic Shelter with Restrooms
Proposed Site 3 (Neighborhood Park)	5 ^c	Ball Diamond Playground Playfield
Proposed Site 4 (Neighborhood Park)	15 ^c	Ball Diamond Basketball Hoops Tennis/Pickleball Court Playground Playfield
Proposed Site 5 (Neighborhood Park)	10 ^c	Ball Diamond Basketball Court Tennis/Pickleball Court Playground Playfield Picnic Shelter with Restrooms
Proposed Site 6 (Neighborhood Park)	5 ^c	Ball Diamond Basketball Hoops Playground Playfield
Proposed Site 7 (Neighborhood Park)	5 ^c	Basketball Hoops Tennis/Pickleball Court Playground Playfield
Proposed Site 8 (Neighborhood Park)	5 ^c	Ball Diamond Basketball Hoops Playground Playfield
Proposed Site 9 (Neighborhood Park)	10 ^c	Ball Diamond Basketball Hoops Tennis/Pickleball Court Playground Playfield
Proposed Site 10 (Neighborhood Park)	10 ^c	Ball Diamond Basketball Hoops Tennis/Pickleball Court Playground Playfield
Proposed Site 11 (Neighborhood Park)	10 ^c	Ball Diamond Basketball Hoops Tennis/Pickleball Court Playground Playfield

Table continued on next page.

Table 5.4 (Continued)

Site Name	Proposed Acquisition (acres)	Proposed Facility Developments^a and Improvements
5 ½ Mile Park	--	Develop Boardwalk with Overlook Maintain and Extend Klema Ditch Trail
Chapla Park	--	Develop Shelter/Gazebo Develop Path with Access to Lake
County Line Park	--	Develop Rest Area with Overlook
Crawford Park	--	Continue Implementation of Crawford Park Master Plan ^d
Gorney Park	--	Develop Concessions Building with Restrooms Develop Sand Volleyball Courts Develop Full-Court Basketball Court Develop Fishing Areas/Piers around Pond Develop Disc Golf Course Develop Nature Walk Continue Prairie Planting
Linwood Park	--	Develop Canoe/Kayak Launch Develop Restrooms Develop Hiking Trails
Maple Park	--	Develop Half Court Basketball Court
Nicholson Wildlife Refuge	16	Expand Parking Area ^e Implement Water Control Extend Boardwalk to Back of Site Develop Observation Area
Village Land – Markay Stormwater Basin	--	Develop Walking Trail
Village Trails	--	Multi-Use Trail System
Total	106	--

Notes: “General Development” is recommended at all Village-owned park sites and includes such activities and facilities as grading, landscaping, signs, lighting, picnic tables, benches, parking lots, access drives, and walkways. “General Development” items that relate to a specific proposed development or improvement, or are considered a capital expense, are specifically listed in this table and in Table 5.3.

Although not included in this table, this plan also recommends that the Village continue routine maintenance activities at all existing Village-owned park and open space sites and recreational facilities.

^a For proposed new park sites, the proposed facilities are recommendations for the types of facilities that may be suitable for the proposed park classification and are consistent with the results of the needs assessment. Consideration of site characteristics and public input will be necessary to determine the specific facilities to be developed at each site. For existing Village park sites, the plan recommends development of the facilities as proposed.

^b The plan recommends acquiring 30-40 acres of land for the new Village community park between 2025 and 2030.

^c Proposed land acquisitions represent the approximate acreages needed to support the proposed facilities recommended for each new park site. The actual acreage to be acquired will depend upon the available lands and the specific facilities that the Village anticipates developing at the site at the time of acquisition.

^d It is anticipated that full implementation of the Crawford Park Master Plan, which identifies specific improvements and priorities for development at the site, will continue into the 2031-2050 timeframe. The timeline for implementing specific projects included in the plan is anticipated to change based on cost feasibility and public input; therefore, improvements listed in Table 5.3 may be implemented over the course of this park and open space plan.

^e To be completed after water control methods have been implemented and the boardwalk is fully developed at the site.

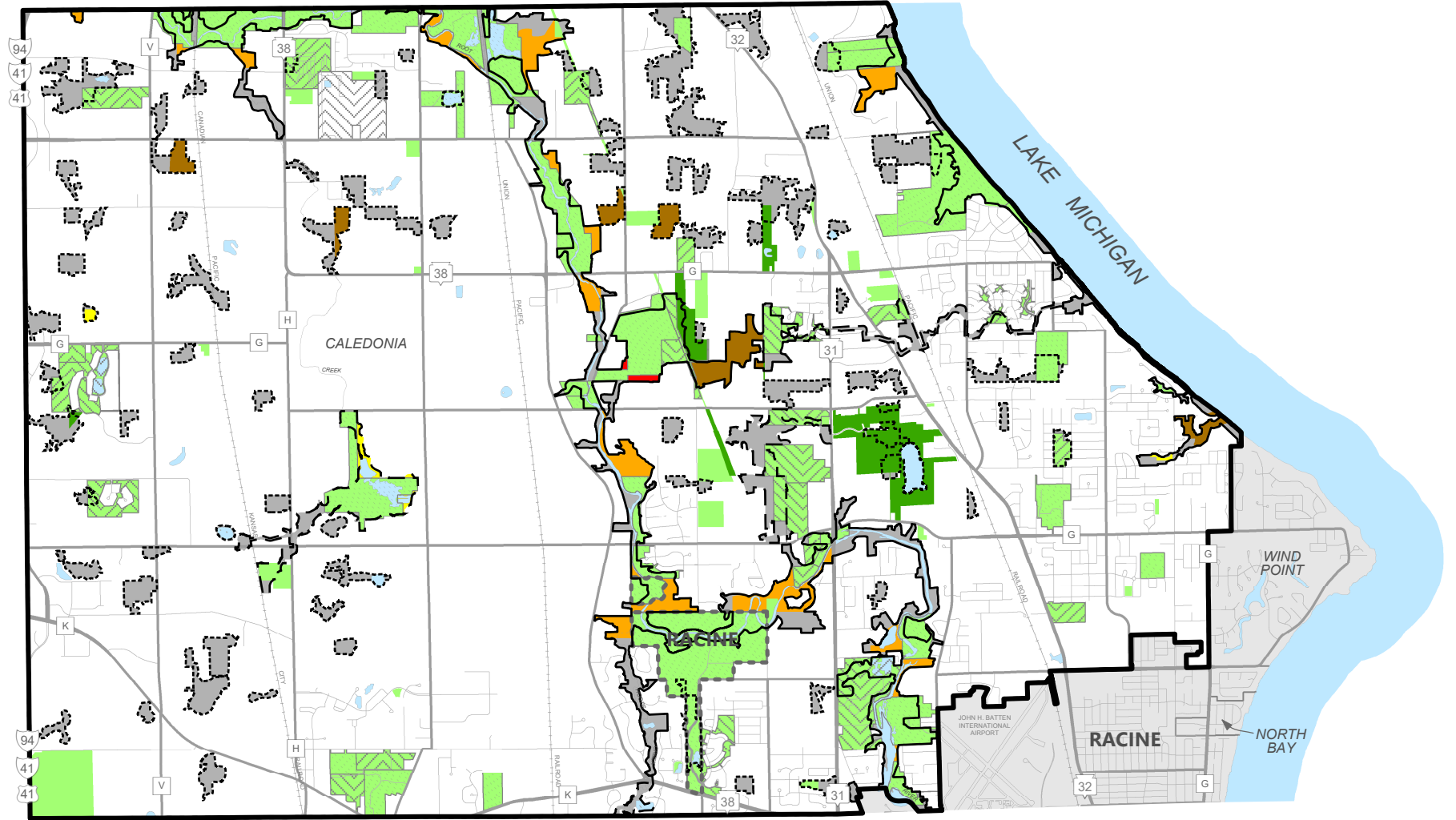
Source: Village of Caledonia and Southeastern Wisconsin Regional Planning Commission

Community Assistance Planning Report No. 179 (4th Edition)
A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Chapter 5

MAPS

Map 5.1
Village of Caledonia Open Space Preservation Plan: 2050



EXISTING PUBLIC INTEREST OWNERSHIP OF OPEN SPACE LANDS

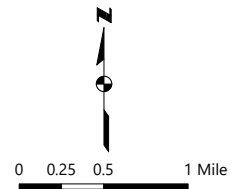
- FEDERAL, STATE, COUNTY, LOCAL, NONPROFIT CONSERVATION ORGANIZATION, SCHOOL OR OTHER PUBLIC DISTRICT, OR COMPATIBLE PRIVATE OUTDOOR RECREATION OR OPEN SPACE SITES
- LANDS UNDER CONSERVATION EASEMENT

PROPOSED PUBLIC INTEREST OWNERSHIP OF OPEN SPACE LANDS

- STATE
- COUNTY
- CITY, VILLAGE, TOWN, SPECIAL PURPOSE DISTRICT
- NONPROFIT CONSERVATION ORGANIZATION
- OPEN SPACE LANDS TO BE PROTECTED BY PUBLIC LAND USE REGULATION

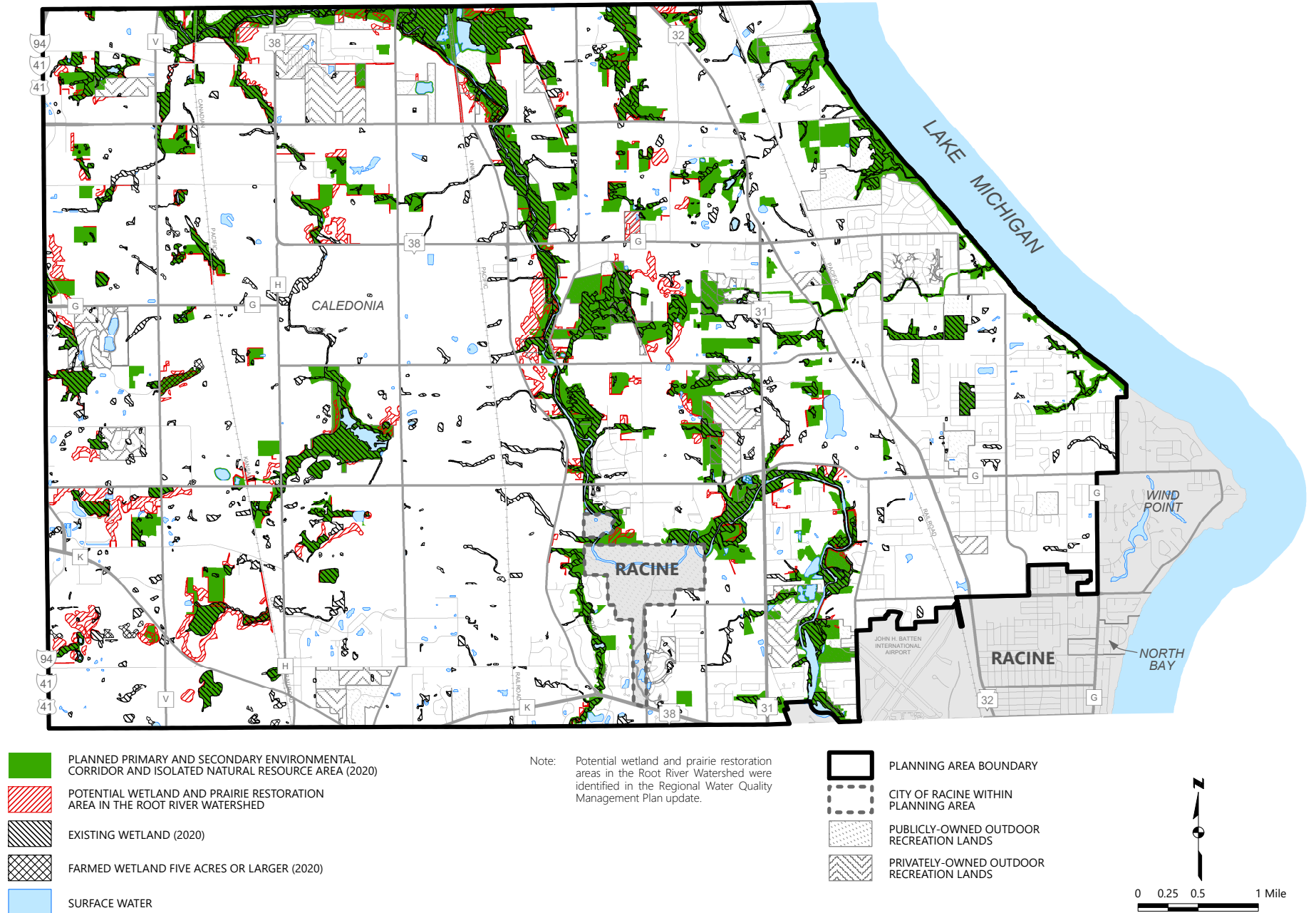
- PRIMARY ENVIRONMENTAL CORRIDOR (2020)
- SECONDARY ENVIRONMENTAL CORRIDOR (2020)
- ISOLATED NATURAL RESOURCE AREA (2020)
- SURFACE WATER

- PLANNING AREA BOUNDARY
- CITY OF RACINE WITHIN PLANNING AREA
- PUBLICLY-OWNED OUTDOOR RECREATION LANDS
- PRIVATELY-OWNED OUTDOOR RECREATION LANDS



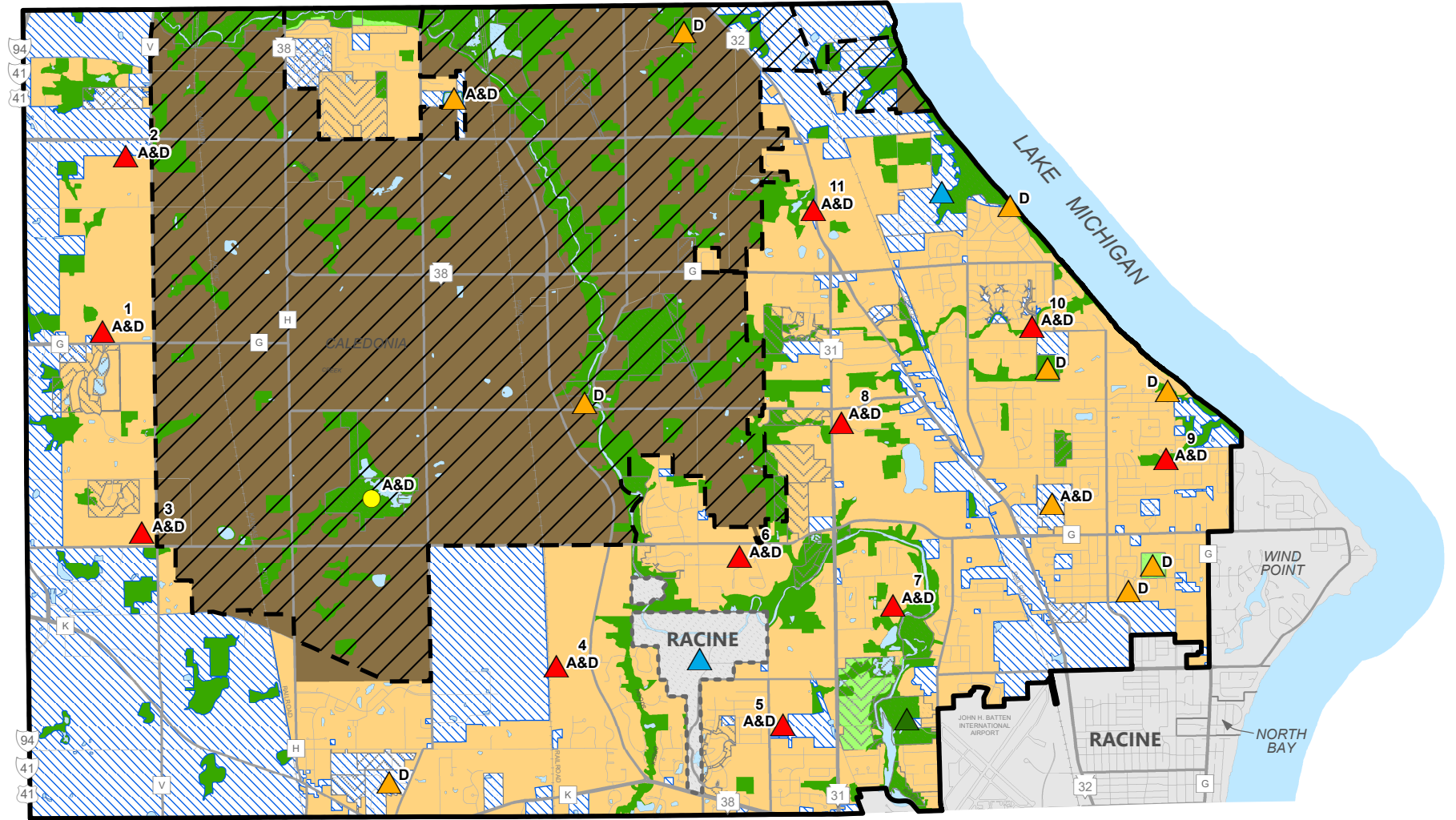
Source: Southeastern Wisconsin Regional Planning Commission
 Last Updated: 2/5/2025

Map 5.2
Potential Wetland and Prairie Restoration Areas in the Root River Watershed Within the Village of Caledonia



Source: Southeastern Wisconsin
 Regional Planning Commission
 Last Updated: 2/5/2025

Map 5.3
Park and Open Space Plan for the Village of Caledonia: 2050

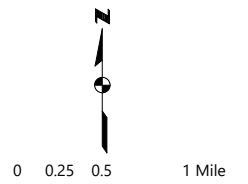


- EXISTING MAJOR PARK
- EXISTING COUNTY NATURE CENTER
- EXISTING VILLAGE PARK, OPEN SPACE SITE, OR JOINT PARK
- EXISTING VILLAGE CONSERVANCY AREA
- PROPOSED VILLAGE COMMUNITY OR NEIGHBORHOOD PARK

- A** ADDITIONAL ACQUISITION PROPOSED
- D** ADDITIONAL DEVELOPMENT PROPOSED
- 5** PROPOSED PARK SITE NUMBER (SEE TABLE 5.4)

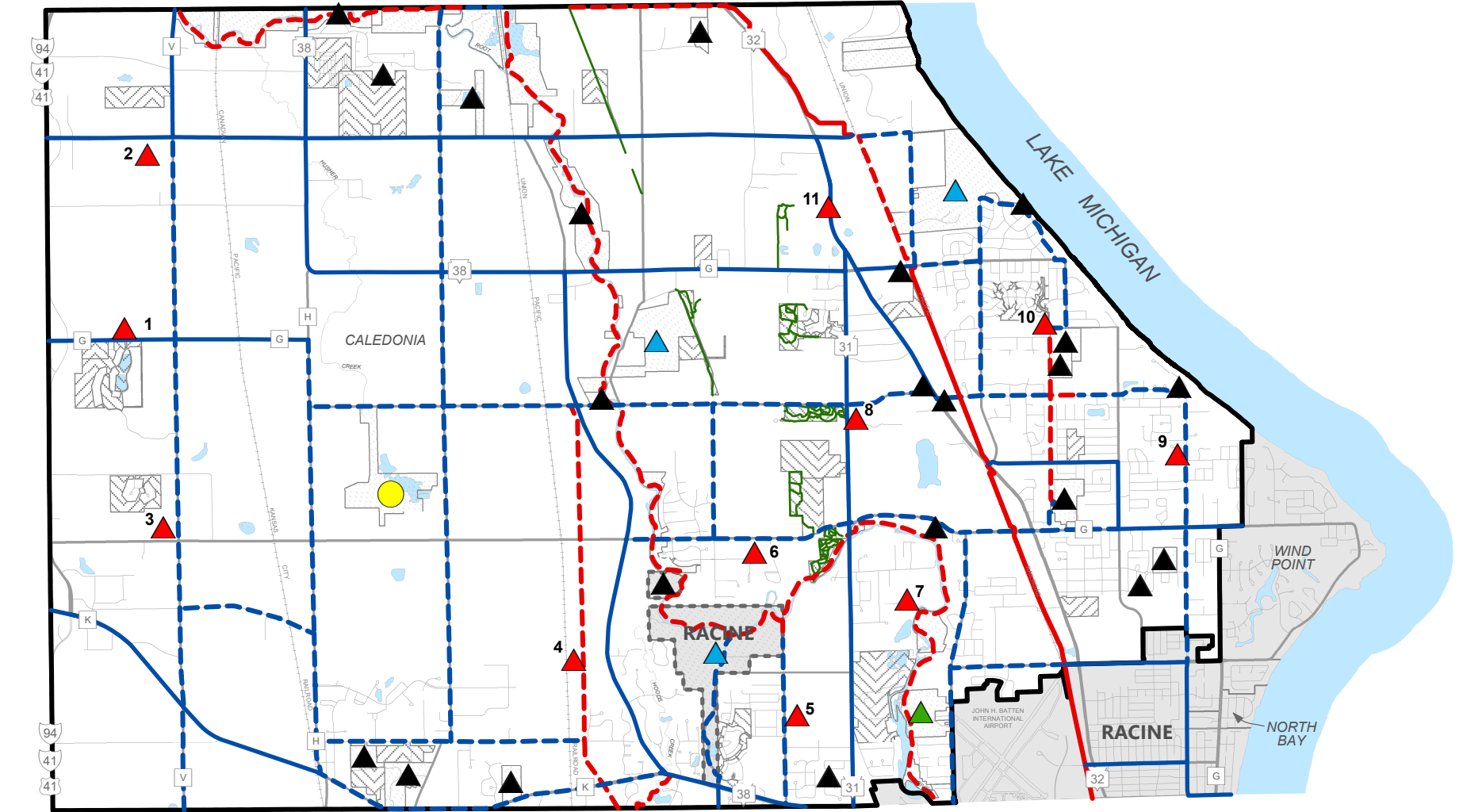
- PLANNED RESIDENTIAL DEVELOPMENT
- PLANNED URBAN - NONRESIDENTIAL DEVELOPMENT
- PLANNED ENVIRONMENTAL CORRIDORS (2020)
- OPEN SPACE LANDS TO BE PRESERVED
- LANDS OUTSIDE THE SEWER SERVICE AREA OR OTHER AGRICULTURAL, RURAL RESIDENTIAL, AND OPEN LAND
- SURFACE WATER

- PORTION OF VILLAGE OUTSIDE OF SEWER SERVICE AREA
- PLANNING AREA BOUNDARY
- CITY OF RACINE WITHIN PLANNING AREA
- PUBLICLY-OWNED OUTDOOR RECREATION LANDS
- PRIVATELY-OWNED OUTDOOR RECREATION LANDS

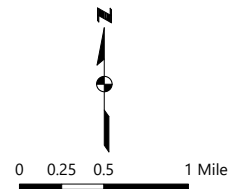


Source: Southeastern Wisconsin Regional Planning Commission
 Last Updated: 2/5/2025

Map 5.4
Bicycle and Pedestrian Facilities for the Village of Caledonia: 2050



- | | | | | | | | |
|--|---|--|---|--|---|--|--|
| | EXISTING ON-STREET TRAIL OR BICYCLE WAY | | SURFACE WATER | | PROPOSED VILLAGE COMMUNITY OR NEIGHBORHOOD PARK | | PLANNING AREA BOUNDARY |
| | EXISTING OFF-STREET PATH | | EXISTING MAJOR PARK | | PROPOSED PARK SITE NUMBER (SEE TABLE 5.4) | | CITY OF RACINE WITHIN PLANNING AREA |
| | CALEDONIA CONSERVANCY TRAIL (EXISTING TRAIL OPEN TO THE PUBLIC) | | EXISTING COUNTY NATURE CENTER | | | | PUBLICLY-OWNED OUTDOOR RECREATION LANDS |
| | PROPOSED ON-STREET BICYCLE WAY | | EXISTING VILLAGE PARK, OPEN SPACE SITE, OR JOINT PARK | | | | PRIVATELY-OWNED OUTDOOR RECREATION LANDS |
| | PROPOSED OFF-STREET PATH | | EXISTING VILLAGE CONSERVANCY AREA | | | | |



Source: Southeastern Wisconsin Regional Planning Commission
 Last Updated: 2/5/2025

Community Assistance Planning Report No. 179 (4th Edition)

A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Appendix A

REGIONAL OUTDOOR RECREATION AND OPEN SPACE PLANNING OBJECTIVES, PRINCIPLES, AND STANDARDS

► **Objective 1: To provide an integrated system of public general-use outdoor recreation sites and related open space areas that provide residents of the Region with adequate opportunities to participate in a wide range of outdoor recreation and outdoor education activities.**

- **Principle 1.1:** Good physical and mental health is an inherent right of all residents of the Region. Providing public general use outdoor recreation sites and related open space areas contributes to physical and mental health by providing opportunities to participate in a wide range of outdoor recreation activities. Moreover, an integrated park and related open space system properly related to the natural resource base, such as the existing surface water network, can provide the dual benefits of satisfying recreational demands in an appropriate setting while protecting and preserving valuable natural resource amenities. Finally, an integrated system of public general use outdoor recreation sites and related open space areas can contribute to the orderly growth of the Region by lending form and structure to urban development patterns.

A. PUBLIC OUTDOOR RECREATION SITES

- **Principle 1.2:** Public general use outdoor recreation sites promote good physical and mental health both by providing opportunities to participate in such athletic recreational activities as baseball, swimming, tennis, and ice-skating—activities that help maintain physical health because of the exercise involved—as well as opportunities to participate in more leisurely activities such as walking, picnicking, or just rest and relaxation. These activities tend to reduce stress and thereby help maintain physical and mental well-being. Well designed and properly located public general-use outdoor recreation sites also provide a sense of community, bringing people together for social and cultural as well as recreational activities. This contributes to desirable and stable residential neighborhoods and therefore benefits the communities in which such facilities are provided.
- **Standard 1.1:** The public sector should provide general use outdoor recreation sites sufficient in size and number to meet the recreation demands of the resident population. These sites should be spatially distributed in a manner that provides ready access by the resident population to natural resource or man-made amenities. To achieve this standard, the public general use outdoor recreation site requirements should be met as indicated in the following tables:

Publicly Owned Park Sites					
Site Type	Size (gross acres)	Minimum per Capita Public Requirements (acres per 1,000 persons) ^b	Typical Facilities	Maximum Service Radius (miles) ^a	
				Urban ^c	Rural
I ^d Regional	250 or more	5.3	Campsites, swimming beach, picnic areas, golf course, ski hill, ski-touring trail, boat launch, nature study area, playfield, softball diamond, or passive-activity area ^e	10.0	10.0
II ^f Multi-Community	100-249	2.6	Campsites, swimming pool or beach, picnic areas, golf course, ski hill, ski-touring trail, boat launch, nature study area, playfield, softball and/or baseball diamond, or passive-activity area ^e	4.0 ^g	10.0 ^g
III ^h Community	25-99	2.2	Swimming pool or beach, picnic areas, boat launch, nature study area, softball and/or baseball diamonds, soccer fields and other playfields, tennis courts, or passive- activity area ^e	2.0 ⁱ	--
IV ^j Neighborhood	Less than 25	1.7	Wading pool, picnic areas, softball and/or baseball diamonds, soccer fields and other playfields, tennis court, playground, basketball goal, ice-skating rink, or passive-activity area ^e	0.5-1.0 ^k	--

Publicly Owned School Sites ^l					
Site Type	Size (gross acres)	Minimum per Capita Public Requirements (acres per 1,000 persons) ⁿ	Typical Facilities	Maximum Service Radius (miles) ^m	
				Urban ^c	Rural
I ^d Regional	250 or more	--	--	--	--
II ^f Multi-Community	100-249	--	--	--	--
III ^h Community	25-99	0.9	Playfield, baseball diamond, softball diamond, or tennis court	0.5-1.0 ^o	--
IV ^j Neighborhood	Less than 25	1.6	Playfield, playground, baseball diamond, softball diamond, basketball goal, or tennis court	0.5-1.0 ^o	--

- **Standard 1.2:** Public general use outdoor recreation sites should, as much as possible, be located within the designated primary environmental corridors of the Region.

B. RECREATION RELATED OPEN SPACE

- **Principle 1.3:** Meeting the recreation demands of the Region’s residents cannot be accomplished solely by providing public general use outdoor recreation sites. Certain recreational activities such as hiking, biking, scenic driving, and cross country skiing are best provided through a system of trails and recreation corridors located on or adjacent to linear resource-oriented open space lands. A well-designed system of recreation following linear open space lands can also serve to physically connect existing and proposed public parks, thus forming a truly integrated park and recreation related open space system. Such open space lands also satisfy the need for natural surroundings, serve to protect the natural resource base, and ensure that many scenic areas and areas of natural, cultural, or historic interest are properly considered in determining existing and future land use patterns.
- **Standard 1.3:** The public sector should provide sufficient open space lands to accommodate a system of resource-oriented recreation corridors to meet the resident demand for trail-oriented recreation activities. To fulfill this recommendation, the following recreation-related open space standards should be met:
 1. A minimum of 0.16 linear miles of recreation related open space consisting of linear recreation corridors^p should be provided for each 1,000 people in the Region
 2. Recreation corridors should have a minimum length of 15 miles and a minimum width of 200 feet
 3. The maximum travel distance to recreation corridors should be five miles in urban areas and 10 miles in rural areas
 4. Resource-orientated recreation corridors should maximize the use of:
 - a. Primary environmental corridors as locations for trail-oriented recreation activities
 - b. Outdoor recreation facilities provided at existing public park sites
 - c. Existing trail-type facilities within the Region

► **Objective 2: To provide sufficient outdoor recreation facilities to allow the resident population of the Region adequate opportunities to participate in intensive nonresource-oriented outdoor recreation activities.**

- **Principle 2.1:** Participating in intensive nonresource-oriented outdoor recreation activities including basketball, baseball, ice-skating, soccer, playfield and playground activities, softball, swimming, and tennis provides an individual with both the opportunity for physical exercise and an opportunity to improve their physical fitness. These activities also provide an outlet for stress and an opportunity to share recreational experiences, participate in team play, and interact with other people in the community.
- **Standard 2.1:** A sufficient number of facilities for participating in intensive nonresource-oriented outdoor recreation activities should be provided throughout the Region. To achieve this standard, the per capita requirements and design criteria for various facilities should be met as indicated in the following table:

Minimum Per Capita Facility Requirements ^a				Design Standards					Service Radius of Facility (miles) ^f
Activity	Facility	Owner	Facility per 1,000 Urban Residents	Typical Location of Facility	Facility Requirements	Additional Suggested Support Facilities	Support Facility Requirements	Total Land Requirement (acres per facility)	
Baseball	Diamond	Public Nonpublic Total	0.09 0.01 0.10 ^s	Multi-community, community, and neighborhood parks	2.8 acres per diamond	Parking (30 spaces per diamond) Night lighting ^g Concessions and bleachers ^h Buffer and landscape	0.28 acre per diamond -- 0.02 acre minimum 1.40 acres per diamond	4.5	2.0
Basketball	Goal	Public Nonpublic Total	0.91 0.22 1.13	Neighborhood parks	0.07 acre per goal	--	--	0.07	0.5
Ice-Skating	Rink	Public Nonpublic Total	0.15 ^u -- 0.15	Neighborhood parks	0.30 acre per rink minimum	Warming house	0.05 acre	0.35 minimum	0.5
Playfield Activities	Playfield	Public Nonpublic Total	0.39 0.11 0.50	Neighborhood parks	1.0 acre per playfield minimum	Buffer area	0.65 acre minimum	1.65 minimum	0.5
Playground Activities	Playground	Public Nonpublic Total	0.35 0.07 0.42	Neighborhood parks	0.25 acre per playground minimum	Buffer and landscape	0.37 acre	0.62 minimum	0.5
Soccer	Field	Public Nonpublic Total	0.69 0.17 0.86	Multi-community, community, and neighborhood parks	1.0 acre per field minimum	Buffer	0.65 acre	1.65	1.0
Softball	Diamond	Public Nonpublic Total	0.53 0.07 0.60	Multi-community, community, and neighborhood parks	1.70 acre per diamond	Parking (20 spaces per diamond) Nighttime lighting ^g Buffer	0.18 acre per diamond -- 0.80 acre per diamond	2.68	1.0
Swimming	Pool	Public Nonpublic Total	0.015 ^v -- 0.015	Multi-community and community parks	0.13 acre per pool minimum	Bathhouse and concessions Parking (400 square feet per space) Buffer and landscaping	0.13 acre minimum 0.26 acre minimum 0.70 acre minimum	1.22 minimum	3.0 3.0
Tennis	Court	Public Nonpublic Total	0.50 0.10 0.60	Multi-community, community, and neighborhood parks	0.15 acre per court	Parking (2.0 spaces per court) Nighttime lighting ^g Buffer	0.02 acre per court -- 0.15 acre per court	0.32	1.0

► **Objective 3: To provide sufficient outdoor recreation facilities to allow the resident population of the Region adequate opportunities to participate in resource-oriented outdoor recreation activities.**

- **Principle 3.1:** Participating in resource-oriented outdoor recreation activities including camping, golf, picnicking, downhill skiing, and swimming provides an opportunity for recreational activity in natural surroundings as well as an opportunity for physical exercise. In addition, family members can participate together in activities such as camping, picnicking, and swimming.
 - **Standard 3.1:** A sufficient number of facilities for participating in intensive resource-oriented outdoor recreation activities should be provided throughout the Region. To meet this standard, the per capita requirements and design criteria for various facilities should be met as follows:

Minimum Per Capita Facility Requirement**				Design Standards						Service Radius of Facility (miles)*		
Activity	Facility	Owner	Per Capita Requirements (facility per 1,000 residents)	Typical Location of Facility	Facility Requirements	Additional Suggested Support Facilities	Support Facility Requirements	Total Land Requirements (acres per facility)	Resource Requirements			
Camping	Campsite	Public	0.35	Regional and multi-community parks	0.33 acre per campsite	Restrooms – showers Utility hookups Natural area backup lands	--	1.83	Ungrazed wooded area Presence of surface water Suitable topography and soils	25.0		
		Nonpublic	1.47				--					
		Total	1.82				1.5 acres per campsite					
Golf	Regulation 18-hole course	Public	0.013	Regional and multi-community parks	135 acres per course	Clubhouse, parking, and maintenance Practice area Woodland or water areas Buffer	8.0 acres per course	185.00	Suitable topography and soils Presence of surface water Form-giving vegetation desirable	10.0		
		Nonpublic	0.027				5.0 acres per course					
		Total	0.040				35.0 acres per course 2.0 acres per course					
Picnicking	Tables	Public	6.35 ^y	Regional, multi-community, community, and neighborhood parks	0.07 acre per table minimum	Parking Shelters and grills Buffer and parking overflow	0.02 acre per table (1.5 space per table)	0.11	Topography with scenic views Shade trees Presence of surface water desirable Suitable soils	10.0		
		Nonpublic	2.39				--					
		Total	8.74				0.02 acre per table					
Skiing	Developed slope (acres)	Public	0.01	Regional, multi-community, and community parks	1.0 acre per acre of developed slope	Chalet Parking Ski tows (and lights) Buffer and maintenance Landscape	0.13 acre minimum	2.10	Suitable topography and soils (20 percent slope minimum) North or northeast exposure	25.0		
		Nonpublic	0.09				0.25 acre per acre of slope					
		Total	0.10				0.40 acre per acre of slope 0.40 acre per acre of slope 0.35 acre per acre of slope					
Swimming	Beach (linear feet)	Public Nonpublic Total	Major Inland Lakes	Regional, multi-community, and community parks	40 square feet per linear foot (average)	Parking Bathhouse-concessions Buffer areas	0.2 acre per acre of beach 0.10 acre minimum 10 square feet per linear foot	-- ^z	Natural beach Good water quality	10.0		
			Lake Michigan								6	16
											12	--
			18	16								

► **Objective 4: To provide sufficient outdoor recreation facilities to allow the resident population of the Region adequate opportunities to participate in trail-related and other extensive land-based outdoor recreation activities.**

- **Principle 4.1:** Participating in extensive land-based outdoor recreation activities including biking, hiking, horseback riding, nature study, scenic driving, cross country skiing, and snowmobiling provides opportunities for contact with natural, cultural, historic, and scenic features. In addition, these activities can increase an individual's understanding of the environment and potential pressures on the environment. Similar to intensive resource-orientated activity, family members can participate together in extensive land-based recreation activities, which serves to strengthen relationships within the family. Participating in activities like biking, hiking, and nature study provides an opportunity to educate younger members of the family in the importance of environmental issues that may become of greater concern as they approach adulthood.
- **Standard 4.1:** A sufficient number of facilities for participating in land-based outdoor recreation activities should be provided throughout the Region. Public facilities provided for these activities should be located within the linear resource-orientated recreation corridors identified in Objective 1. The following per capita standards and design criteria should be met to achieve this standard:

Minimum Per Capita Public Facility Requirements ^a			Design Standards				
Activity	Facility	Per Capita Requirements (linear mile per 1,000 residents)	Typical Location of Facility	Minimum Facility Requirements (acres per linear mile)	Suggested Support Facilities and Backup Lands	Minimum Support Facility Requirements (acres per linear mile)	Resource Requirements
Biking	Route Trail	-- ^{bb} 0.16	Scenic roadways Recreation corridor	-- 1.45	Route markers Backup lands with resource amenities	-- 24.2	-- Diversity of scenic, historic, natural, and cultural features Suitable topography (5 percent slope average maximum) and soils
Hiking	Trail	0.16	Recreation corridor	0.73	Backup lands with resource amenities	24.2	Diversity of scenic, historic, natural, and cultural features Suitable topography and soils
Horseback Riding	Trail	0.05	Recreation corridor Regional Park	1.21	Backup lands with resource amenities	24.2	Diversity of scenic, historic, natural, and cultural features Suitable topography and soils
Nature Study	Center	One per county	Regional, multi-community, and community parks	--	Interpretive center building	--	Diversity of natural features, including a variety of plant and animal species Suitable topography and soils
	Trail	0.02	Recreation corridor Regional, multi-community, and community parks	0.73	Parking Backup lands with resource amenities	24.2	Diversity of natural features, including a variety of plant and animal species Suitable topography and soils
Scenic Driving	Route	-- ^{cc}	Scenic roadways Recreation corridor	--	Route markers	--	--
Cross Country Skiing	Trail	0.02	Recreation corridor Regional and multi-community parks	0.97	Backup lands with resource amenities	24.2	Suitable natural and open areas Rolling topography
Snowmobiling	Trail	0.11	Private lands (leased for public use)	1.45	Backup lands, including resource amenities and open lands	24.2	Suitable natural and open areas Suitable topography (8 percent slope average maximum) and soils

► **Objective 5: To provide sufficient surface water access areas to allow the resident population of the Region adequate opportunities to participate in water-based outdoor recreation activities on major inland lakes and rivers and on Lake Michigan, consistent with safe and enjoyable surface water use and the maintenance of good water quality.**

- **Principle 5.1:** The major inland lakes and rivers of the Region and Lake Michigan provide opportunities for water-based recreation activities, including canoeing, fishing, ice fishing, motorboating, sailing, and water-skiing, which may involve unique forms of physical exercise or simply provide opportunities for rest and relaxation within an attractive natural setting. Participating in such activities requires the general public to have access to major inland lakes and rivers and Lake Michigan.

- **Standard 5.1:** Access sites available for use by the general public on streams and major lakes (50 acres or larger) should be provided in accordance with the requirements established by the Wisconsin Department of Natural Resources in Sections NR 1.90 and NR 1.91 of the *Wisconsin Administrative Code*.
- **Standard 5.2:** Access sites with parking should be provided on major streams throughout the Region. The maximum interval between access points on major canoeable streams^{dd} should be 10 miles.

► **Objective 6: To preserve sufficient high-quality open space lands for protection of the underlying and sustaining natural resource base and enhancement of the social and economic well-being, environmental quality, and biodiversity^{ee} of the Region.**

- **Principle 6.1:** Ecological balance and natural beauty are primary elements to sustaining a healthy environment and maintaining the social and economic well-being of the Region. Preserving the most significant aspects of the natural resource base, that is, primary environmental corridors, natural areas and critical species habitat sites, and prime agricultural lands, contributes to sustaining the ecological balance, natural beauty, and economic well-being of the Region.

A. PRIMARY ENVIRONMENTAL CORRIDORS, SECONDARY ENVIRONMENTAL CORRIDORS, AND ISOLATED NATURAL RESOURCE AREAS

- **Principle 6.2:** The primary environmental corridors are a composite of the best individual elements of the natural resource base including lakes, streams, rivers, and their associated floodplains and riparian buffers; woodlands, wetlands, plant and wildlife habitat; areas of groundwater discharge and recharge; organic soils, rugged terrain, and high relief topography; and significant geological formations and physiographic features. Protecting these elements of the natural resource base reduces flood damage, abates soil erosion, protects water supplies, cleans the air, enhances wildlife population, preserves biological diversity, and provides continued opportunities for scientific, educational, and recreational activities.
 - **Standard 6.1:** All remaining nonurban lands within the designated primary environmental corridors in the Region should be preserved in essentially natural open uses. When possible, secondary environmental corridors and isolated natural resource areas and connections between them should also be preserved.

B. NATURAL AREAS AND CRITICAL SPECIES HABITATS

- **Principle 6.3:** Natural areas and critical species habitats are important in a number of ways - including economically, because they support advances in agriculture and medicine; functionally, because they enhance surface water and groundwater quality, minimize erosion, and enhance air quality; educationally; recreationally; aesthetically; in basic scientific research; and in maintaining biological and genetic diversity. In a less tangible but equally important way, natural areas and critical species habitats contribute to the overall quality of life for the Region's residents.
 - **Standard 6.2:** The remaining natural areas and critical species habitat areas should be preserved.

C. PRIME AGRICULTURAL LANDS

- **Principle 6.4:** Prime agricultural lands, in addition to providing food and fiber, can supply significant wildlife habitat; contribute to maintaining an ecological balance between plants and animals; offer locations close to urban centers for producing certain food commodities that may require nearby population concentrations for efficient distribution; provide opportunities for agricultural and agriculture-related employment; provide open spaces that give form and structure to urban development; and serve to maintain the natural beauty and unique cultural heritage of the Region.
 - **Standard 6.3:** Prime agricultural lands should be preserved for agricultural use.

- **Standard 6.4:** Agricultural lands surrounding adjacent areas with high-value natural resource, educational, or recreational attributes should be considered for preservation to provide a buffer between such resources and urban development.

► **Objective 7: To satisfy outdoor recreation and related open space needs in an efficient and economical way.**

- **Principle 7.1:** The total resources of the Region are limited and any undue investment in park and open space lands must occur at the expense of other public investment.
- **Standard 7.1:** The sum total of all expenditures required to meet park demands and open space needs should be minimized.

Footnotes

^a Identifying a maximum service radius for each park type is intended to provide another guideline to assist in determining park needs and to assure that each resident of the Region has ready access to the variety of outdoor recreation facilities commonly located in parks, including space and facilities for both active and passive outdoor recreational use.

^b For regional and multi-community parks, which generally provide facilities for resource-orientated outdoor recreation activities for the total population of the Region, the minimum per capita acreage requirements apply to the total resident population of the Region. For community and neighborhood parks, which generally provide facilities for intensive nonresource-oriented outdoor recreation activities primarily in urban areas, the minimum per capita acreage requirements apply to the resident population of the Region residing in urban areas.

^c Urban areas are defined as areas containing a closely spaced network of minor streets that include concentrations of residential, commercial, industrial, governmental, or institutional land uses having a minimum total area of 160 acres and a minimum population of 500 people. These areas are usually incorporated and served by sanitary sewerage systems. These areas have been further classified into the following categories: Mixed-Use City Center (urban land with at least 18.0 dwelling units per net residential acre), Mixed-Use Traditional Neighborhood (urban land with at least 7.0 to 17.9 dwelling units per net residential acre), Small Lot Traditional Neighborhood (urban land with at least 4.4 to 6.9 dwelling units per net residential acre), Medium Lot Neighborhood (urban land with at least 2.3 to 4.3 dwelling units per net residential acre), and Large Lot Neighborhood (urban land with at least 0.7 to 2.2 dwelling units per net residential acre).

^d Regional parks are defined as large outdoor recreation sites with a multi-county service area. Such parks rely heavily on natural resources for their recreational value and character, and provide opportunities for participating in a wide variety of resource-oriented outdoor recreation activities.

^e A passive activity area is defined as an area within an outdoor recreation site that provides an opportunity for such leisurely recreational activities as walking, rest and relaxation, and informal picnicking. These areas are generally located in parks or in urban open space sites, and usually consist of a landscaped area with mowed lawn, shade trees, and benches.

^f Multi-community parks are defined as intermediate size sites having a Countywide or multi-community service area. Similar to regional parks, these sites rely on natural resources for their recreational value and character. Multi-community parks, however, usually provide a smaller variety of recreational facilities and have smaller areas devoted to any given activity.

^g In general, each resident of the Region should reside within 10 miles of a regional or multi-community park. It should be noted, however, that within urban areas (population of 40,000 or greater) each urban resident should reside within four miles of a regional or multi-community park.

^h Community parks are defined as intermediate size parks having a multi-neighborhood service area. These parks rely more on the development characteristics of the service area than on natural resource amenities for location.

ⁱ The need for a community park in urban areas can be met by the presence of a regional or multi-community park. Each resident of an urban area with a population of 7,500 or greater should be within two miles of a community, multi-community, or regional park.

^j Neighborhood parks are defined as small sites that have a neighborhood as the service area. These sites usually provide facilities for intensive nonresource-oriented outdoor recreation activities and are generally located in urban areas. Recreation lands at the neighborhood level should ideally be provided through a joint community-school district venture, with the facilities and recreational land area required to be provided on one site available to serve the recreation demands of both the school student and resident neighborhood populations. Using the neighborhood park standard of 1.7 acres per 1,000 residents and the school standard of 1.6 acres per 1,000 residents, a total of 3.3 acres per 1,000 residents or approximately 21 acres of recreation lands in a typical small lot traditional or medium lot (medium-density) neighborhood would be provided. These acreage standards relate to lands required to provide recreation facilities typically located in a neighborhood and are exclusive of the school building site

and associated parking area and any additional natural resource areas that may be incorporated into the design of the park site such as drainageways and associated stormwater retention basins, areas of poor soils, and floodplains.

- ^k The maximum service radius of neighborhood parks is governed primarily by the population density in the vicinity of the park. In Mixed-use City Center and Mixed-Use Traditional Neighborhood (high-density) urban areas, each resident should reside within 0.5 mile of a neighborhood park; in Small Lot Traditional Neighborhood and Medium Lot Neighborhood (medium density) urban areas, each resident should reside within 0.75 mile of a neighborhood park; and in Large Lot Neighborhood (low-density) urban areas, each resident should reside within 1.0 mile of a neighborhood park. It should be noted that the need for a neighborhood park can also be met by a regional, multi-community, or community park within the 0.5, 0.75, or 1.0 mile service radii in these areas. Further, it should be noted that in applying the service radius criterion for neighborhood parks, only multi-use parks five acres or greater in area should be considered as satisfying the maximum service radius standard. Such park sites generally provide areas that offer space for passive recreational uses, as well as facilities that provide opportunities for active recreational uses.
- ^l Facilities for intensive nonresource-oriented recreational activities in urban areas are commonly located in community or neighborhood school outdoor recreation sites. These facilities often provide a substitute for facilities usually located in parks by providing opportunities for participating in intensive nonresource-oriented activities. It is important to note, however, that school outdoor recreation sites do not generally contain natural resource areas, which provide space for passive recreational use.
- ^m Identifying a maximum service radius for each school site is intended to assist in determining active outdoor recreation facility requirements and to assure that each urban resident has ready access to the types of active intensive nonresource-oriented facilities commonly located in school recreation areas.
- ⁿ For public school sites, which generally provide facilities for intensive nonresource-oriented outdoor recreation activities, the minimum per capita acreage requirements apply to the resident population of the Region residing in urban areas.
- ^o The service radius of school outdoor recreation sites, for park and open space planning purposes, is governed primarily by individual outdoor recreation facilities within the school site. For example, school outdoor recreation sites that provide facilities such as playfields, playgrounds, and basketball goals typically have a service radius of 0.5 mile, which is the maximum service radius assigned to such facilities (see Standard 2 presented under Objective 2). As another example, school outdoor recreation sites that provide tennis courts and softball diamonds typically have a service radius of one mile, which is the maximum service radius assigned to such facilities (see Standard 2 presented under Objective 2). It is important to note that areas that offer space for passive recreational use are generally not provided at school outdoor recreation sites and therefore community and neighborhood school sites generally are not used when applying community and neighborhood park accessibility standards.
- ^p A recreation corridor is defined as a publicly owned continuous linear expanse of land that is generally located within scenic areas or areas of natural, cultural, or historical interest and provides opportunities for participation in trail-oriented outdoor recreational activities especially through trails designated for activities such as biking, hiking, horseback riding, nature study, and cross country skiing.
- ^q Facilities for intensive nonresource-oriented outdoor recreation activities generally serve urban areas. The minimum per capita standards for facilities offering these activities, therefore, apply to the total resident population in each urban area of the Region.
- ^r For each facility offering an intensive nonresource-oriented activity, the service radius indicates the maximum distance a participant should have to travel from their home to participate in the corresponding activity.
- ^s Each urban area having a population of 2,500 or greater should have at least one baseball diamond.
- ^t Support facilities such as lighting, concessions, and bleachers generally should not be provided in neighborhood parks. These sites typically do not contain sufficient acreage to allow an adequate buffer between such support facilities and surrounding residences.
- ^u Each urban area should have at least one ice-skating rink.
- ^v Each urban area having a population of 7,500 or greater should have one public swimming pool or beach.
- ^w Facilities for intensive resource-oriented activities serve both rural and urban residents of the Region. The minimum per capita requirements for facilities for intensive resource-oriented activities, therefore, apply to the total resident population of the Region.
- ^x Participants in intensive resource-oriented recreational activities travel relatively long distances from their homes. The approximate service radius indicates the normal maximum distance a participant in the respective resource-oriented activity should have to travel from their home to participate in the corresponding activity.
- ^y The allocation of the 6.35 picnic tables per 1,000 residents to publicly owned parks is as follows: 3.80 tables per 1,000 residents of the Region to be located in regional and multi-community parks to meet the resource-oriented picnicking standard for the Region and 2.55 tables per 1,000 residents of urban areas in the Region to be located in community and neighborhood parks to meet local picnicking standard for urban areas of the Region.
- ^z A picnic area is commonly provided adjacent to a swimming beach as a support facility. Thus, the total amount of acreage required for support facilities must be determined on a site-by-site basis.

^{aa} Both urban and rural residents of the Region participate in trail-related activities. Thus, minimum per capita requirements for trails apply to the total resident population of the Region.

^{bb} Bike routes are located on existing public roadways; therefore, no requirement is indicated.

^{cc} Scenic driving routes are located on existing public roadways; therefore, no requirement is provided. However, a recreation corridor may provide a uniquely suitable area for the development of a system of scenic driving routes.

^{dd} Major canoeable streams are defined as those streams that have a minimum width of 50 feet over a distance of at least 10 miles.

^{ee} Biodiversity refers to the number and abundance of animal and plant species, their genetic composition and variability, and the ecological connection between and among species.

Source: Southeastern Wisconsin Regional Planning Commission

Community Assistance Planning Report No. 179 (4th Edition)

A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Appendix B

PERFORMANCE BENCHMARKING PEER COMMUNITY METRICS

Table B.1
NRPA Park Metrics for Peer Communities: 2023

Metric	Lower Quartile	Median	Upper Quartile
Agency Summary Effectiveness Ratios			
Operating expenditures per capita	\$230	\$284	\$391
Revenue per capita	\$91	\$155	\$353
Total revenue to total operating expenditures	35.0%	54.2%	79.1%
Total tax expenditures per capita	\$38	\$127	\$137
Park operating expenditures per acre of parkland	\$2,279	\$3,824	\$5,607
Operating expenditures per acre of parkland	\$8,934	\$17,076	\$29,443
Operating expenditures per acres of parks and non-park sites	\$8,558	\$16,590	\$28,036
Operating expenditures per FTE	\$65,110	\$82,713	\$99,390
FTEs per 10,000 population	33.2	34.5	40.1
Acres of parks per 1,000 residents	14.3	16.1	20.0
Number of residents per park	1186.3	1311.4	1431.9
Number of acres per park	19.6	23.3	27.0
Number of participants per program	9.5	11.8	12.7
Ratio of fee programs to all programs	92.3%	96.4%	98.7%
Ratio of building attendance to park attendance	38.8%	62.1%	85.4%
Jurisdiction Information			
Current year jurisdiction total operating budget	\$10,208,379	\$20,276,999	\$45,117,480
Current year jurisdiction annual capital budget	\$2,042,944	\$7,802,282	\$15,119,489
Square mileage of incorporated jurisdiction	13.0	14.5	15.6
Population of jurisdiction	31515.5	33882.0	35099.5
Jurisdiction Population per Facility or Amenity			
Recreation centers	10505.2	14132.2	22327.8
Community centers	14718.4	25455.5	35099.5
Senior centers	29501.0	34058.0	36141.0
Indoor ice rink	17029.0	17029.0	17029.0
Arena	24944.0	24944.0	24944.0
Performance amphitheater	34835.5	35965.0	37094.5
Permanent and semi-permanent restrooms	4680.5	6741.2	8148.6
Facilities with restrooms available free of use to public, not included above	14812.4	21110.3	27408.1
Playgrounds or play structures	1323.0	1620.2	2374.7
Playgrounds primarily dedicated for kids aged 5-12	1809.4	2270.5	4320.6
Tot lots primarily dedicated for kids aged 2-5	1675.8	2003.4	5779.7
Playgrounds with Inclusive plays structures	10230.1	19112.0	26585.0
Community gardens	22028.0	24944.0	29325.0
Basketball courts, standalone (outdoor)	1925.4	3877.5	7442.6
Basketball courts , standalone (indoor)	34058.0	34058.0	34058.0
Multiuse courts -basketball, volleyball, etc. (outdoor)	22848.5	26585.0	30321.5
Multiuse courts -basketball, volleyball, etc. (indoor)	22646.7	34058.0	36141.0
Volleyball, standalone (outdoor)	10621.1	17029.0	27626.5

Table continued on next page.

Table B.1 (Continued)

Metric	Lower Quartile	Median	Upper Quartile
Diamond fields: total	1927.1	2592.8	3685.4
Skateboard Parks	18089.7	24944.0	29501.0
Dog park	35099.5	36141.0	37182.5
Ice rink (outdoor only)	12683.7	14132.2	15580.6
Rectangular fields: total	1309.9	1309.9	1309.9
Synthetic rectangular fields	17029.0	17029.0	17029.0
Walking loops / running tracks (outdoor)	7616.2	8861.7	10107.2
Walking loops / running tracks (indoor)	33794.0	33882.0	33970.0
Splashpads, spraygrounds or spray showers	34835.5	35965.0	37094.5
Fitness zones / exercise stations (Outdoor)	2270.5	2270.5	2270.5
Driving range stations	1216.4	1216.4	1216.4
Regulation 18-hole courses	27222.5	29501.0	31779.5
Regulation 9-hole courses	19007.8	20986.5	22965.3
Disc golf courses	38224.0	38224.0	38224.0
Aquatics centers	33882.0	34058.0	36141.0
Swimming pools (outdoor only)	13292.5	17029.0	20986.5
Indoor pool designated exclusively for leisure (i.e. non-competitive)	33706.0	33706.0	33706.0
Waterpark	38224.0	38224.0	38224.0
Tennis courts (outdoor only)	3566.1	5449.3	9833.9
Pickleball (outdoor)	3961.7	5676.3	12394.2
Pickleball (indoor)	22760.5	26409.0	30057.5
Multiuse courts- Tennis, Pickleball (outdoor)	7100.1	11104.1	15108.0
Multiuse courts- Tennis, Pickleball (indoor)	13204.5	15173.7	17142.8

Note:

Peer communities summarized in this table are jurisdictions having populations between 20,000 and 40,000 with 20 to 40 park sites and located in the states of Wisconsin, Illinois, Indiana, Michigan, and Ohio.

Source: National Recreation and Parks Association and Southeastern Wisconsin Regional Planning Commission

Community Assistance Planning Report No. 179 (4th Edition)

A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Appendix C

SITE-SPECIFIC MANAGEMENT MEASURES FOR THE ROOT RIVER WATERSHED IN THE VILLAGE OF CALEDONIA: 2014

Table C.1
Site-Specific Management Measures for the Root River Watershed
in the Village of Caledonia: 2014^a

Focus Areas Addressed	Location	Management Action	Priority^b
Habitat	Nicholson Wildlife Refuge	Remove invasive plants species, restore site	High
Water Quality	Husher Creek south of 5 Mile Road	Add water quality monitoring station	Medium
Habitat, Water Quality, Recreational Use and Access	Husher Creek south of 7 Mile Road	Stream rehabilitation, naturalization, or bank stabilization project to address eroding streambanks. Remeandering of channelized reaches including addition of buffer and canopy cover	Low
Water Quality	Husher Creek at 5 Mile Road	Investigate to determine cause of low dissolved oxygen concentrations at this site during summer	Medium
Habitat	Tabor Woods	Removal and management of invasive plant species	High
Recreational Use and Access	Root River at STH 31	Install canoe landing on west side of the road and north side of the River	Medium
Recreational Use and Access	Green Bay Road and Kennedy Avenue	Access to public land could be provided for foot and snowmobile by a mowed path through an area between apartment buildings that is overrun with invasive species	Low
Recreational Use and Access	Linwood Park	Install canoe landing	Medium
Recreational Use and Access	Root River at upstream crossing of 4 Mile Road at Blue River Reserves	Install canoe landing	Medium
Habitat	Property west of Holy Cross Cemetery and west of STH 32 at 4 1/2 Mile Road (extended)	Currently under conservation easement, acquire for protective ownership when owner wants to sell or donate	Medium
Water Quality	Husher Creek at 7 Mile Road	Investigation to find and remedy source of human <i>Bacteroides</i> in water quality samples upstream from sampling station	Medium
Water Quality	Husher Creek at 7 Mile Road	Investigate agricultural drain tiles that may benefit from a filtration system	Low
Habitat, Water Quality	A 120 foot section of the south bank in tax parcel 104-04-22-26-025-030 and 150 foot section of the northeast bank of Hoods Creek in tax parcel 104-4-22-26-025-024	Bank stabilization to address bank erosion along 120 feet of Hoods Creek. Erosion height is estimated at an average of four feet	Low
Habitat, Water Quality	Four erosion sites of varying severity on both banks of tax parcel 104-04-22-26-029-000.	Bank stabilization to address bank erosion along both banks of Hoods Creek of 30 feet, 120 feet, 100 feet, and 45 feet in length, respectively. Erosion height is estimated to be three feet, four feet, 3.5 feet, and five feet, respectively	Low
Habitat, Water Quality	A 50 foot section of erosion on the west bank of Hoods Creek in tax parcel 104-04-22-26-060-000	Bank stabilization to address bank erosion along about 50 feet of Hoods Creek. Removal of old bridge footings should be considered to prevent continued scour. Erosion height is estimated at an average of five feet	Medium
Habitat, Water Quality	A 120 foot section of severe erosion on the west bank of Hoods Creek in tax parcel 104-04-22-26-039-010	Bank stabilization to address severe bank erosion along about 120 feet of Hoods Creek. Erosion height is estimated at an average of nine feet	Medium
Habitat, Water Quality	A 175 foot section of erosion on the east bank of Hoods Creek in tax parcel 104-04-22-350-540-00	Bank stabilization to address bank erosion along 175 feet of Hoods Creek in close proximity to the Hoods Creek Road crossing. Erosion height is estimated at an average of three feet	Low
Habitat, Water Quality	A 200 foot section of erosion on the west bank of Hoods Creek in tax parcel 104-04-22-350-850-00	Bank stabilization to address bank erosion along 200 feet of Hoods Creek. Erosion height is estimated at an average of 3.5 feet	Medium

Table continued on next page.

Table C.1 (Continued)

Focus Areas Addressed	Location	Management Action	Priority^b
Habitat, Water Quality	Two erosion sites on the west bank of Hoods Creek in tax parcel 104-04-22-350-620-00	Bank stabilization to address bank erosion along 40 feet of Hoods Creek in close proximity to the Hoods Creek Road crossing with an erosion height estimated at four feet; bank stabilization to address erosion along 80 feet of Hoods Creek, with an erosion height estimated at an average of 3.5 feet	Low
Habitat, Water Quality	Five erosion sites of varying severity on both banks of Hoods Creek of tax parcels 104-04-22-350-190-00 and 104-04-22-350-200-00 (same owner)	Bank stabilization to address bank erosion along both banks of Hoods Creek of 300 feet, 250 feet, 50 feet, 40 feet, and 200 feet in length, respectively. Erosion height is estimated at an average of seven feet, four feet, six feet, six feet, and six feet, respectively. Site HE26 has a high priority due to its proximity to a private driveway crossing; site HE30 has a high priority due to its proximity to a private dam	High
Habitat, Water Quality	Three erosion sites all on the southern bank of Hoods Creek on tax parcels 104-04-22-353-009-51	Bank stabilization to address bank erosion along Hoods Creek of 40 feet, 125 feet, and 60 feet in length, respectively. Erosion height is estimated at an average of six feet, 5.5 feet, and 10 feet, respectively	High
Habitat, Water Quality	A 90 foot section of severe erosion on the south bank of Hoods Creek in tax parcel 104-04-22-350-360-00	Bank stabilization to address bank erosion along 90 feet of Hoods Creek. Erosion height is estimated at an average of nine feet. Erosion is in close proximity to stormwater detention basin outflow channel located on Jamestown Limited property	Medium
Habitat, Water Quality	A 100 foot section of erosion on the west bank of Hoods Creek in tax parcels 104-04-22-351-700-00 and 151-03-22-020-52-000	Bank stabilization to address bank erosion along 100 feet of Hoods Creek. Erosion height is estimated at an average of six feet. Erosion is in close proximity to a residential garage	Low
Habitat, Water Quality	A 60 foot section of erosion on the southeast bank of the mainstem of the Root River in tax parcel 104-04-22-250-950-00	Bank stabilization to address bank erosion along 60 feet of the mainstem of the Root River. Erosion height is estimated at an average of six feet	Medium
Habitat, Water Quality	A 50 foot section of erosion on the north bank of the mainstem of the Root River in tax parcel 104-04-22-250-410-00	Bank stabilization to address bank erosion along 50 feet of the mainstem of the Root River. Erosion height is estimated at an average of four feet	Low
Habitat, Water Quality, Recreational Use and Access	A 600 foot section of erosion on the west bank of the mainstem of the Root River in Linwood Park, tax parcel 104-04-22-140-650-00	Bank stabilization to address bank erosion along 600 feet of the mainstem of the Root River. Erosion height is estimated at an average of four feet. Adjust mowing protocol to leave unmowed area along streambank. Add designated fishing area	Low
Habitat, Water Quality	A 500 foot section of erosion on the west bank of the mainstem of the Root River in tax parcels 104-04-22-140-640-01 and 104-04-22-140-610-00	Bank stabilization to address bank erosion along 500 feet of the mainstem of the Root River. Erosion height is estimated at an average of six feet	High
Habitat, Water Quality	A 50 foot section of erosion on the east bank of the mainstem of the Root River in tax parcel 104-04-22-140-550-01	Bank stabilization and extension of existing rock toe downstream to address bank erosion along 50 feet of the mainstem of the Root River. Erosion height is estimated at an average of 12 feet	Medium
Habitat, Water Quality	A 245 foot section of erosion on the east bank of the mainstem of the Root River in tax parcel 104-04-22-110-350-00	Bank stabilization to address bank erosion along 245 feet of the mainstem of the Root River. Erosion height is estimated at an average of five feet	Medium

Table continued on next page.

Table C.1 (Continued)

Focus Areas Addressed	Location	Management Action	Priority^b
Habitat, Water Quality	A 240 foot section of erosion on the south bank of the mainstem of the Root River in tax parcel 104-04-22-110-240-00	Bank stabilization to address bank erosion along 240 feet of the mainstem of the Root River. Erosion height is estimated at an average of five feet	Medium
Habitat, Water Quality	A 150 foot section of erosion on the west bank of the mainstem of the Root River in tax parcel 104-04-22-100-220-00	Bank stabilization to address bank erosion along 150 feet of the mainstem of the Root River. Erosion height is estimated at an average of five feet	Medium
Habitat, Water Quality	A 590 foot section of erosion on the west bank of the mainstem of the Root River in tax parcel 104-04-22-03-036-000	Bank stabilization to address bank erosion along 590 feet of the mainstem of the Root River. Erosion height is estimated at an average of five feet	Medium
Habitat, Water Quality	A 250 foot section of erosion on the northeast bank of the mainstem of the Root River in tax parcels 104-04-22-03-011-000, 104-04-22-03-009-001, and 971-9992-001	Bank stabilization to address bank erosion along 250 feet of the mainstem of the Root River in close proximity to County Line Road. Erosion height is estimated at an average of four feet	Low
Habitat, Water Quality	Two erosion sites on both banks of the mainstem of the Root River within tax parcels 9729997000 and 104-04-22-04-002-000	Bank stabilization to address bank erosion along 20 feet and 160 feet of the mainstem of the Root River. Erosion height is estimated at an average of eight feet and seven feet, respectively	Medium
Habitat, Water Quality	Five erosion sites of varying severity on both banks of the mainstem of the Root River within tax parcels 9739994000 and 104-04-22-04-012-000	Bank stabilization to address bank erosion along 400 feet, 80 feet, 80 feet, 100 feet, and 120 feet of the mainstem of the Root River. Erosion height is estimated at an average of five feet, six feet, four feet, six feet, and five feet, respectively	Low
Habitat, Water Quality	Two erosion sites on the south bank of the mainstem of the Root River in tax parcels 104-04-22-05-010-000 and 104-04-22-05-014-000	Bank stabilization to address bank erosion along 80 feet and 200 feet of the mainstem of the Root River. Erosion height is estimated at an average of six feet for both sites	Medium
Habitat, Water Quality	Four erosion sites of varying severity on both banks of the mainstem of the Root River within tax parcels 104-04-22-05-016-000 and 104-04-22-05-024-000	Bank stabilization to address bank erosion along 80 feet, 200 feet, 240 feet, and 160 feet of the mainstem of the Root River. Erosion height is estimated at an average of five feet, 10 feet, five feet, and five feet, respectively	High
Habitat, Water Quality	Farm field draining to Husher Creek in tax key 104-04-22-160-23-030	Installation of 650-foot long grassed waterway	Medium
Habitat, Water Quality	Farm field draining into Husher Creek west of S. Howell Avenue and south of 5 Mile Road in tax key 104-04-22-20-00-10-00	Installation of agricultural BMPs including: Grassed waterways 1,050 feet long; subsurface drain 1,050 feet long	Medium
Habitat, Water Quality	Farm field along Husher Creek south of 5 Mile Road and east of S. Howell Avenue in tax keys 104-04-22-21-00-8000 and 104-04-22-21-00-7000	Conversion of 0.8 acre of agricultural land to grass buffer to increase riparian buffer along Husher Creek	High
Habitat, Water Quality	Dam located on Hoods Creek in tax key 104-04-22-35-02-0000	Explore dam abandonment and removal options	Low

^a Recommendations are excerpted from Table 79 in Southeastern Wisconsin Regional Planning Commission Community Assistance Planning Report No. 316, A Watershed Restoration Plan for the Root River Watershed, July 2014.

^b It is anticipated that most high-priority projects will be implemented over the 10-year period from 2014 through 2023, most medium-priority projects will be implemented over the period from 2024 through 2038, and most low-priority projects will be implemented after 2038. It is recognized that some priority rankings may change during refinement and preliminary engineering of projects.

Source: 1000 Friends of Wisconsin; AECOM; City of Racine; City of Greenfield; Milwaukee County Department of Parks, Recreation and Culture; Root River Watershed Restoration Plan Advisory Group; Root River Restoration Planning Group; Racine County Land Conservation Division; Racine Health Department; and Southeastern Wisconsin Regional Planning Commission

Community Assistance Planning Report No. 179 (4th Edition)

A PARK AND OPEN SPACE PLAN FOR THE VILLAGE OF CALEDONIA: 2050

Appendix D

VILLAGE OF CALEDONIA PARKS SURVEY SUMMARY OF RESPONSES

Question 1
What is your age range?

Answer	Number of Responses	Percent of Responses
Under 18 Years Old	11	2.1%
18-24 Years Old	7	1.3%
25-34 Years Old	86	16.1%
35-44 Years Old	149	27.9%
45-54 Years Old	105	19.7%
55-64 Years Old	94	17.6%
65 Years Old and Over	82	15.4%

Question 2
Do you have children under the age of 18 living in your household?

Answer	Number of Responses	Percent of Responses
Yes	275	51.5%
No	259	48.5%

Question 3
How many people live in your household?

Answer	Number of Responses	Percent of Responses
1	45	8.4%
2-3	261	48.9%
4-5	197	36.9%
More than 5	31	5.8%

Question 4
In which part of Caledonia do you live?

Answer	Number of Responses	Percent of Responses
East of Douglas Ave (STH 32)	330	61.8%
West of Douglas Ave (STH 32) & South of 4 Mile Rd	102	19.1%
West of Douglas Ave (STH 32) & North of 4 Mile Rd	85	15.9%
I don't live in Caledonia	17	3.2%

Question 5
How often do you visit parks in the Village of Caledonia?

Answer	Number of Responses	Percent of Responses
More than 3 times a month	201	37.6%
Once a month	160	30.0%
2-3 times a month	122	22.9%
Never	51	9.6%

Question 6
What activities do you participate in at parks in the Village of Caledonia?
(Select all that apply)

Answers	Number of Responses	Percent of Responses
Walking/jogging	365	68.4%
Hiking	139	26.0%
Enjoying nature	290	54.3%
Biking	140	26.2%
Horseback riding	10	1.9%
Playing baseball/softball	88	16.5%
Playing tennis or pickle ball	73	13.7%
Playing basketball	43	8.1%
Playing a field sport (i.e. soccer, football, or lacrosse)	30	5.6%
Sand volleyball	24	4.5%
Relaxing/sunbathing	72	13.5%
Dog walking	178	33.3%
Playing on the playground	228	42.7%
Picnicking	108	20.2%
Visiting a beer garden	189	35.4%
Canoeing/kayaking	64	12.0%
Fishing	75	14.0%
Other (please specify) ^a	37	6.9%

^a 36 survey respondents provided written comments for "Other."

Common responses included watching sports, taking children to play, indicating that they prefer parks outside the Village, and indicating that they did not engage in any activities in parks.

Question 7
The parks currently in the Village of Caledonia meet your needs.

Answer	Number of Responses	Percent of Responses
Strongly agree	20	3.8%
Agree	132	24.7%
Neutral	213	39.9%
Disagree	127	23.8%
Strongly disagree	41	7.7%

Question 8
What are the biggest needs for parks in the Village of Caledonia? (Select all that apply)

Answers	Number of Responses	Percent of Responses
More neighborhood parks	164	30.7%
More diverse types of parks	144	27.0%
Improved access to existing parks	94	17.6%
More amenities or features in existing parks	322	60.3%
Better maintenance of existing parks	222	41.6%
Other (Please specify) ^a	80	15.0%

^a 78 survey respondents provided written comments for "Other."

Common responses included allowing dogs, updated facilities, unappealing aesthetics or landscaping, trees and natural areas, bicycle and pedestrian connectivity and/or facilities, Root River access, pickleball courts, improved lighting, restroom access, benches and/or rest areas, maintenance, and providing shade.

Question 9
What are the most important features or amenities you look for in a park? (Rank 1-5, with 1 being most important)

Answer	Percentage of Respondents Ranked					Average Score
	1	2	3	4	5	
Safety and Cleanliness	39.9%	22.5%	16.3%	13.1%	8.2%	3.73
Variety of Activities/Amenities	19.9%	21.2%	21.9%	16.9%	20.2%	3.04
Natural Beauty/Landscaping	17.4%	21.2%	22.5%	21.0%	18.0%	2.99
Proximity to Your Home	14.8%	18.2%	18.9%	18.5%	29.6%	2.7
Accessibility (e.g., Sidewalks, Benches)	8.1%	17.0%	20.4%	30.5%	24.0%	2.55

Question 10

**What additional activities/amenities would you like to see offered, or there be more of, at parks in the Village of Caledonia?
(Select all that apply)**

Answers	Number of Responses	Percent of Responses
Beer gardens	254	47.6%
More walking/running/biking trails	238	44.6%
Splash pads/water play areas	232	43.5%
Traditional play structures for children	193	36.1%
Hiking trails	193	36.1%
Covered pavilions for gatherings and picnics	178	33.3%
Inclusive play equipment for children of all abilities	167	31.3%
Amphitheaters for concerts and performances	165	30.9%
Swimming pools	165	30.9%
Fenced areas for off-leash dog play	156	29.2%
Natural areas/wildlife habitat	154	28.8%
Tennis or pickleball courts	150	28.1%
Open lawns for community events and festivals	130	24.3%
Community gardens	128	24.0%
Ice skating	127	23.8%
Sledding	120	22.5%
Outdoor fitness stations with exercise equipment	119	22.3%
Fishing	98	18.4%
Multi-use sports fields for soccer, football, and lacrosse	95	17.8%
Disc golf courses	94	17.6%
Basketball courts	80	15.0%
Baseball diamonds	68	12.7%
Water-craft launches	55	10.3%
Sand volleyball courts	53	9.9%
Camping areas	52	9.7%
Skate parks - For skateboarding, BMX, scootering, and aggressive inline skating	50	9.4%
Public art installations	50	9.4%
Water-craft rentals	49	9.2%
Cross-country skiing	40	7.5%
Other ^a	38	7.1%
BMX biking tracks	25	4.7%
Horseback riding trails	18	3.4%

^a 36 survey respondents provided written comments for "Other."

Common responses included restrooms, drinking fountains, kayak and canoe launches, beer gardens, mountain bike trails, enhanced baseball and softball facilities, bicycle and pedestrian connectivity, drone areas, and snowshoeing.

Question 11
How would you rate the current state of bicycle and pedestrian facilities in the Village of Caledonia?

Answer	Number of Responses	Percent of Responses
Very high quality	11	2.1%
High quality	58	10.9%
Neither high nor low quality	289	54.1%
Low quality	133	24.9%
Very low quality	43	8.1%

Question 12
What improvements would you like to see in the Village of Caledonia’s bicycle and pedestrian facilities?

Answer	Number of Responses	Percent of Responses
More bike lanes	210	39.3%
Sidewalk enhancements	233	43.6%
Crosswalk improvements	141	26.4%
Bike racks	72	13.5%
Pedestrian-friendly intersections	254	47.6%
Other ^a	78	14.6%

^a 66 survey respondents provided written comments for “Other.”

Common responses included restrooms, wider road shoulders on bike routes, paved off-street trails, connectivity between trails, additional sidewalks, MRK Trail connectivity between 6 and 7 Mile Roads, additional landscaping, accessibility for persons with disabilities, connectivity to park sites, and none.

Question 13
How important is it to you to preserve natural areas within the Village of Caledonia?

Answer	Number of Responses	Percent of Responses
Very important	329	61.6%
Somewhat important	127	23.8%
Neutral	60	11.2%
Somewhat unimportant	12	2.3%
Not important	6	1.1%