



PLAN COMMISSION AGENDA
Monday, November 24, 2025 at 6:00 p.m.
Caledonia Village Hall – 5043 Chester Lane
Caledonia, WI 53402

- 1. Meeting Called to Order**
- 2. Roll Call**
- 3. Approval of Minutes:** Plan Commission– October 27, 2025
- 4. Public Hearing and Possible Action on Items set for Public Hearing**
 - A. COMPREHENSIVE PLAN LAND USE MAP AMENDMENT REVIEW – Consider an amendment to the Village’s Land Use Plan Map, part of the Multi-Jurisdictional Comprehensive Plan for Racine County: 2035, changing the land use category from Medium Density Residential to High Density Residential for the parcel located on the northeast corner of 4 Mile Road and Erie Street submitted by Matthew Coury, Applicant, John Coury, Owner. (Parcel ID No. 104-04-23-21-321-000).
More Information at Caledonia ZoningHub: <https://s.zoninghub.com/GIQKA8YF23>
- 5. New Business**
 - A. BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction and utilization of a ±8,060 square-foot industrial building located on a parcel directly north of 4005 Quick Drive submitted by Nathan Remitz, Applicant, RA Domanik Investments, LLC, Owner. (Parcel ID No. 104-04-22-27-018-070).
More information at Caledonia ZoningHub: <https://s.zoninghub.com/ZWMNNOLPHL>
- 6. Adjournment**

Dated November 21, 2025
Jennifer Bass
Caledonia Village Clerk

Only Commission members are expected to attend. However, attendance by all Board members (including non-members of the Plan Commission) is permitted. If additional (non-commission) Board members attend, three or more Board members may be in attendance. Section 19.82(2), Wisconsin Statutes, states as follows: If one-half or more of the members of a governmental body are present, the meeting is rebuttably presumed to be for the purposes of exercising the responsibilities, authority, power or duties delegated to or vested in the body. To the extent that three or more members of the Caledonia Village Board actually attend, this meeting may be rebuttably presumed to be a “meeting” within the meaning of Wisconsin’s open meeting law. Nevertheless, only the commission’s agenda will be discussed. Only commission members will vote. Board members who attend the commission meeting do so for the purpose of gathering information and possible discussion regarding the agenda. No votes or other action will be taken by the Village Board at this meeting.

**Planning Commission Meeting Minutes
Monday, October 27, 2025**

1. Meeting called to order

President Tom Weatherston called the meeting to order at 6:00 pm at the Village Hall, 5043 Chester Lane Caledonia, WI.

2. Roll Call

PRESENT: 5 – President Tom Weatherston, Michael Moore, Trustee Nancy Pierce, Ami May, and Jeff Hintz.

EXCUSED: 2 - Michelle Cook, and Fred Bruhn

STAFF: Village Administrator Todd Willis, Development Director Peter Wagner, Planner, Zoning Administrator Natalia Nery de Farias, Village Engineer Ryan, and Village Clerk Jennifer Bass

ALSO PRESENT: Trustee Dale Stillman and Trustee Fran Martin

3. Approval of Minutes

Motion by Moore to approve the minutes from September 29, 2025 meeting, seconded by Pierce. **Motion carried unanimously.**

4. New Business

A. FINAL SUBDIVISION PLAT REVIEW – Review a final subdivision plat for Thomas Tree Farm Subdivision creating 62 lots located on two parcels located north of 1913 5 Mile Road submitted by Dan Szczap, Applicant, Thomas Tree Plantation LLC, Owner. (Parcel ID Nos. 104-04-23-17-077-000 & 104-04-23-17-081-000).

Motion by Moore to recommend to the Village Board that they approve the Final Plat for the Thomas Farms subdivision subject to the 12 conditions listed in Exhibit A of the Village Engineer's report.

Seconded by Hintz. Motion carried unanimously.

B. HOMESTEAD ACRES CONSERVATION EASEMENT WAIVER REVIEW – Consider a request for a waiver to Ordinance 14-3-5(b) requiring an applicant to record a conservation easement and have it conveyed to a qualified owner for Homestead Acres Subdivision submitted by Nancy Washburn, Applicant, Newport Group LTD, Owner. (Parcel ID No. 104-04-22-35-029-030).

Motion by Moore to recommend to the Village Board that they approve a waiver to 14-3-5(b) for Homestead Acres subdivision regarding Conservation Easements with the condition that a preservation easement be recorded and the implementation of the stewardship plan.

Seconded by Hintz. Motion carried unanimously.

C. SPECIAL COMPREHENSIVE PLAN COMMITTEE APPOINTMENT – Approve a new appointment to the Special Comprehensive Plan Review Committee whose purpose to assist in

the development, review, and recommendation of updates to the Village's Comprehensive Plan.

Motion by Weatherston to approve the proposed appointment of Valerie Lancelle to the Special Comprehensive Plan Review Committee as presented.

Seconded by Pierce. Motion carried unanimously.

5. Continuing Business

- A. COOPERATIVE BOUNDARY AGREEMENT REVIEW** – Review a proposed building, site, and operation plan for the construction of a ±9,440 square-foot commercial building for the purpose of storing and repairing tractor trailers located at USH 41, Village of Raymond, submitted by Scott Truehl, Applicant, STI LLC, Owner (Parcel ID No. 168-04-21-25-004-200).

Motion by Pierce to recommend to the Village Board that the building, site, and operation plan for the construction of a ±9,440 square-foot metal building for the purpose of a semi-trailer storage and repair facility on the property at USH 41 be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the cooperative boundary agreement review process.
2. The proposed use meets the intent of the Village of Caledonia development standards and find that the proposed use is a spectacular use for this parcel without connecting to sewer and water in accordance with the Cooperative Boundary Agreement between the Villages of Caledonia and Raymond.
3. Any change of use will require review by the Village of Raymond and the Village of Caledonia.

Seconded by Ami. Motion carried unanimously.

- B. COMPREHENSIVE PLAN ONLINE SURVEY REVIEW** – Review the proposed public, online survey that will be conducted to gather public input at it relates to the update to the Village's Comprehensive Plan.

Motion by Hintz to approve the proposed Online Comprehensive Plan Community Survey, including its content and distribution methods, as presented.

Seconded by Moore. Motion carried 4-1, Nancy Pierce voted nay.

- C. COMPREHENSIVE PLAN STAKEHOLDER EXERCISE** – Plan Commission members will participate in a word-cloud exercise and a structured discussion of the Village's strengths, weaknesses, opportunities, and threats (SWOT) serving as a key step in assessing current conditions and identify community priorities.

Commissioners participated in a word-cloud exercise and identified a list of strengths, weaknesses, opportunities, and threats for the Village.

6. Adjournment

President Tom Weatherston adjourned the meeting at 7:12 p.m.

Respectfully submitted:
Jennifer Bass
Village Clerk



Meeting Date: November 24, 2025

PLAN COMMISSION REPORT

Item No. **4A**

Proposal: Land Use Amendment

Description: Consider an amendment to the Village's Land Use Plan Map, part of the Multi-Jurisdictional Comprehensive Plan for Racine County: 2035, changing the land use category from Medium Density Residential to High Density Residential for the parcel located on the northeast corner of 4 Mile Road and Erie Street.

Applicant(s): Matthew Coury

Address(es): 4 Mile Road

Suggested Motion: That the Plan Commission adopts Resolution PC2025-04 which recommends to the Village Board an amendment to the 2035 Land Use Plan Map to change the land use category for the property located on the northeast corner of 4 Mile Road and Erie Street (Parcel ID No. 104-04-23-21-321-000) from Medium Density Residential to High Density Residential, for the following reasons:

1. This land use amendment is compatible with the land use classifications of abutting properties.
2. This land use amendment is consistent with the goals and policies contained within the 2035 Comprehensive Plan.
3. This Land Use Plan amendment will lay the foundation for rezoning the subject property to the RM-1, Multi-Family Residential District for a future four-family residential development.

Owner(s): John Coury

Tax Key(s): 104-04-23-21-321-000

Lot Size(s): 0.503

Current Zoning District(s): RD-1, Two Family Residential District

Overlay District(s): N/A

Wetlands: ☐ Yes ☒ No

Floodplain: ☐ Yes ☒ No

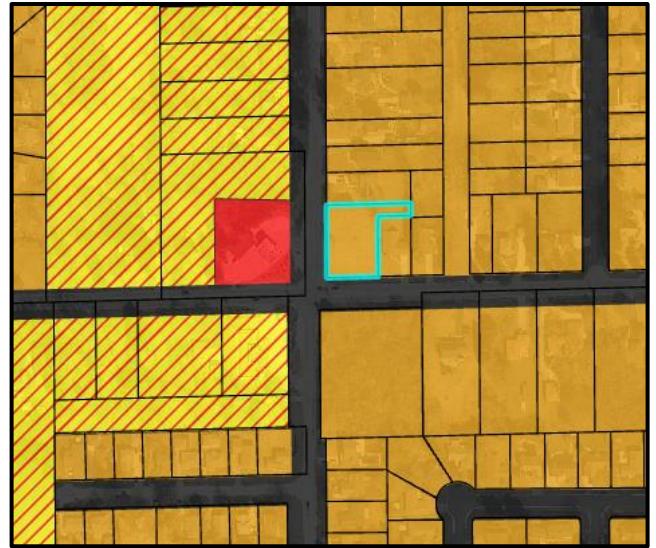
Comprehensive Plan: Medium Density Residential

Overview Land Use Amendment Request

The applicant is requesting a Land Use Amendment for the future rezoning and development of a four-family residential development on the parcel located on the northeast corner of 4 Mile Road and Erie Street. The applicant is proposing to construct row-house-style homes with driveway access to Erie Street.

Existing Site Conditions and Adjacent Land Uses

The parcel in question is currently vacant and has a land use designation of Medium Density Residential, which allows for a density of 6,200 to 18,999 square feet per dwelling unit. The applicant's four-unit proposal would result in a density of 5,477.7 square feet per dwelling unit, which is 11.7% lower than the minimum requirement for this land use category. The Medium Density Residential category prohibits the rezoning of the property for multi-family residential development outside these density limits, since the Wisconsin Smart Growth Law requires that all local land use decisions be consistent with the land use categories adopted for the area on the Village's Land Use Plan Map.



The surrounding properties are classified as Low-Density Residential and Commercial to the west, and Medium Density Residential to the east. Because the area already includes a mix of residential and commercial uses, the proposed land use change to High Density Residential is compatible with the existing development pattern. The proposal also promotes sustainable land use through infill development, making efficient use of existing infrastructure and land resources, which is especially relevant considering that the intersection in question contains two vacant parcels to the south. Within this broader context, the proposed development would provide a more gradual transition between the existing single-family homes on the east side of the intersection and the commercial use on the west.

The proposed four-family residential development is within the Village's water and sewer service area and is located near commercial uses and public recreation trails. The Village's housing stock is currently dominated by single-family homes, creating an imbalance. A varied housing stock supports a diverse and vibrant community by accommodating residents of different ages, incomes, and life stages. It allows young families, singles, seniors, and low- to high-income individuals to find suitable and affordable housing, promoting inclusivity, economic resilience, and long-term community sustainability. Encouraging varied housing types that are compatible in scale and form with single-family homes, a concept known as "missing middle" housing, is an effective strategy to address different housing needs.

As part of this review, the applicant submitted a concept development plan, which is preliminary and subject to further site plan review. The Land Use Plan Map amendment represents the first step in changing the land use designation for the parcel. The Plan Commission's decision on this amendment will determine whether the next step—rezoning the parcel—can proceed. Specific details and potential impacts, including traffic, lighting, landscaping, stormwater management, and building size and scale, will be evaluated for compliance during the building, site, and operation plan review.

Compliance with Wisconsin Smart Growth Law and Comprehensive Plan

In accordance with the Wisconsin Smart Growth Law (post-2010), all local land use decisions must conform to the land use map and align with goals, objectives, and policies within the Land Use Plan. This

amendment request is also consistent with multiple goals and policies of the Comprehensive Plan, which include:

- **Goals:**

- Encouraging development patterns and densities that promote efficient use of land and resources.
- Providing adequate infrastructure to meet residential demand.
- Balancing property rights with community interests and goals.
- Promoting infill and redevelopment within areas that already have infrastructure, thereby enhancing the value of existing residential areas.
- Providing opportunities for a housing supply that meets the needs of all residents and a broad range of choice among housing designs, sizes, types, and costs.

- **Housing Policies:**

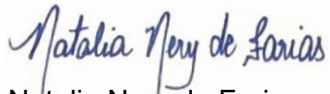
- Supporting a variety of housing types at appropriate densities.
- Supporting infill development that benefits existing residents, strengthens the tax base, and enhances community resources.

With the proposed change to high-density residential, the parcel would be eligible for rezoning to **RM-1, Multi-Family Residential District**, supporting and aligning with the Land Use Plan's goals.

Recommendation for Land Use Amendment

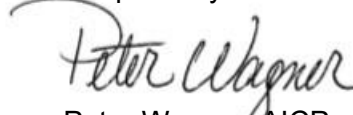
The Plan Commission is advised to consider the applicant's request to reclassify the property to high-density residential. If in agreement, the Commission may make a motion to adopt a resolution approving the amendment, facilitating subsequent rezoning.

Prepared by:



Natalia Nery de Farias
Planner & Zoning Administrator

Respectfully submitted:



Peter Wagner, AICP
Development Director

RESOLUTION NO. PC2025-04

RESOLUTION OF THE PLAN COMMISSION RECOMMENDING APPROVAL OF AN ORDINANCE AMENDING THE MULTI-JURISDICTIONAL COMPREHENSIVE PLAN FOR RACINE COUNTY CHANGING THE LAND USE DESIGNATION FROM “MEDIUM DENSITY RESIDENTIAL” TO “HIGH DENSITY RESIDENTIAL” AS IT PERTAINS TO THE PARCEL LOCATED ON THE NORTHEAST CORNER OF 4 MILE ROAD AND ERIE STREET IN THE VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

The Plan Commission for the Village of Caledonia, Racine County, Wisconsin resolves as follows:

WHEREAS, the Village Board adopted “A Multi-Jurisdictional Comprehensive Plan for Racine County, 2035” as the Village Comprehensive Plan on June 22, 2009 (the “Comprehensive Plan”) and has amended the Comprehensive Plan from time-to-time; and

WHEREAS, the Village of Caledonia has proposed an amendment to the Comprehensive Plan to change the land use designation of the ±0.503-acre parcel located on the northeast corner of 4 Mile Road and Erie Street (Parcel ID No. 104-04-23-21-321-000) from medium density residential to high density residential on the Village land use plan map adopted by the Village Board as part of the Comprehensive Plan, as depicted on the attached Exhibit A; and

WHEREAS, the Village has duly noticed a public hearing on the aforementioned amendment to the Comprehensive Plan and the Plan Commission held a public hearing on November 24, 2025, regarding the plan amendment following the procedures set forth in Section 66.1001(4)(d) of the Wisconsin Statutes; and

WHEREAS, the Plan Commission finds that the Comprehensive Plan, with the proposed amendment, contains all of the required elements specified in Section 66.1001(2) of the Wisconsin

Statutes and that the Comprehensive Plan, with the proposed amendment, is internally consistent and is in the public's best interest.

NOW, THEREFORE, BE IT RESOLVED that pursuant to Section 66.1001(4)(b) of the Wisconsin Statutes, the Village of Caledonia Plan Commission hereby recommends approval of the proposed amendment and further recommends adoption of an ordinance by the Village Board amending the Comprehensive Plan as it pertains to the Village of Caledonia land use plan map.

Adopted this _____ day of November, 2025.

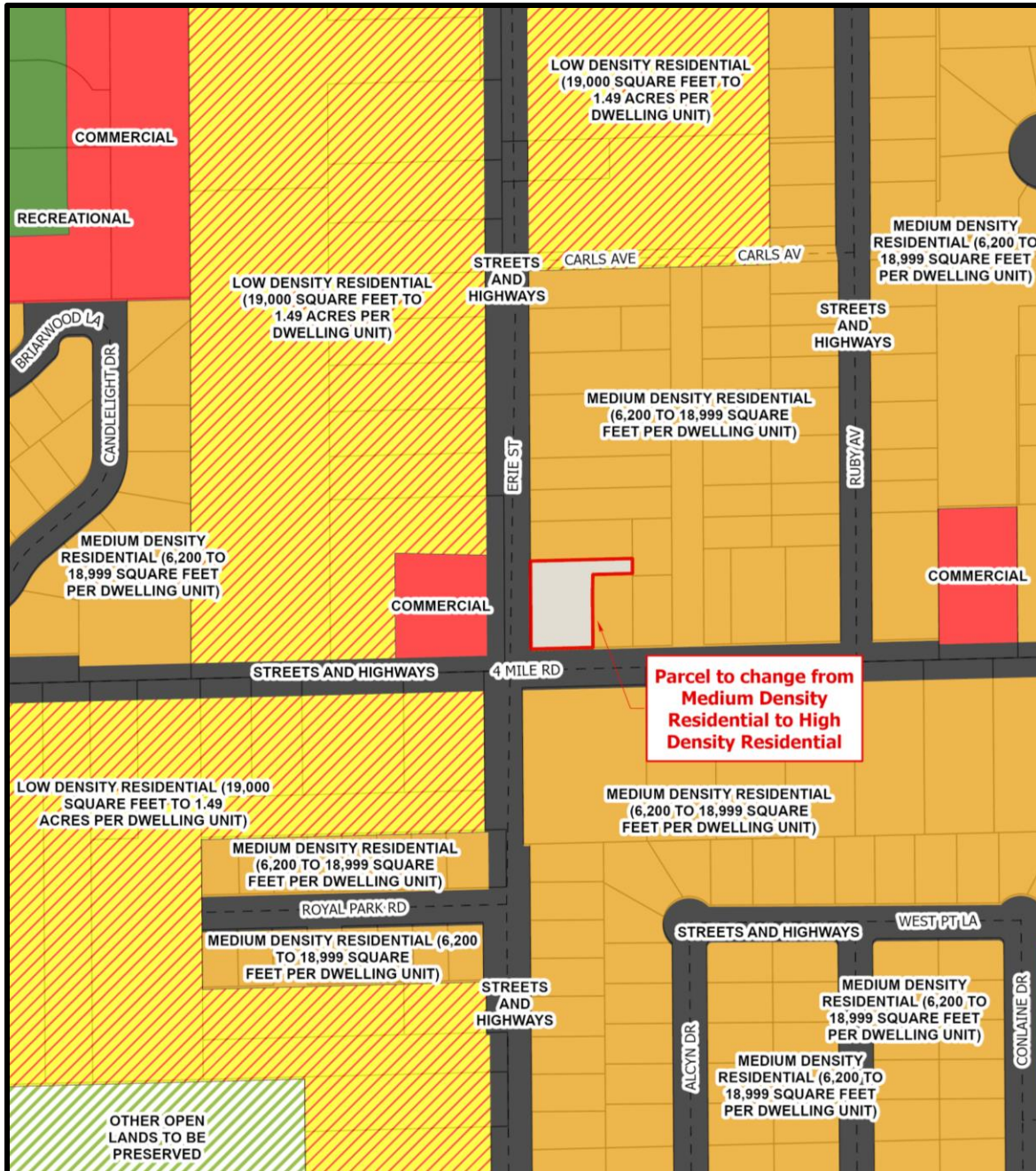
Ayes _____ Noes _____ Absent _____

VILLAGE OF CALEONDIA PLAN COMMISSION

By: _____
Thomas Weatherston
Plan Commission President

Attest: _____
Jeff Hintz
Plan Commission Vice-President

EXHIBIT A





Reasoning to Support Duplex-to-Four-Family Conversion

1. Compliance With Land & Zoning Parameters

- The proposed four-family structure is designed to fit entirely within existing setbacks, with no variance required.
 - Parking, ingress/egress, and green space requirements are addressed, with traffic flow managed via Erie Street access, ensuring no congestion on 4 Mile Road.
 - Easement clarification: Our Certified Survey Map (CSM) confirmed that the north and east neighbors have been utilizing a portion of our land. In good faith, we are willing to grant a temporary easement to formalize that existing use and avoid disruption, while we bring the site into full compliance and proceed with development. This accommodation imposes no additional burden on the City and demonstrates our commitment to cooperative neighborhood solutions.
-

2. Neighborhood Compatibility & Support

- The building design aligns with the residential character of the area; renderings (attached) show a scaled, attractive structure.
 - We contacted every property owner within the required 300-foot radius, knocking on each door. Feedback was supportive — including Caledonia Petroleum and the northern neighbor.
 - Early engagement ensures the project will integrate smoothly with existing residences.
-

3. Housing & Market Realities

- A duplex is not financially viable for us or our builder; without approval, the site risks remaining underutilized.
 - While we could convert to condominium ownership in the future, current interest rates and financing conditions make that impractical today.
 - Denials often lead to stagnant parcels—e.g., Beaumont Place in Whitefish Bay, where land sat vacant for years after a multifamily denial. Caledonia deserves timely, productive use of its land.
-

4. Community Benefit & Responsible Development

- This is shovel-ready housing we can deliver now, adding quality homes for Caledonia residents.
 - Multifamily provides attainable options for young professionals, small families, and seniors.
 - Added density strengthens the tax base without straining infrastructure; traffic impacts are minor and mitigated via Erie Street ingress.
-

5. Long-Term Planning & Practicality

- Denial would create a lag—idle land and repeated proposals—whereas approval ensures efficient, responsible land use consistent with growth objectives.
 - Our team is ready to invest and deliver a positive addition to Caledonia’s housing inventory.
-

6. Economic Return & Modernizing the Housing Market

- A four-family generates more property tax revenue than a duplex, improving the City’s fiscal return without added public costs.
 - It modernizes the local housing mix, aligning with regional best practices that favor diverse, attainable housing types.
 - Diversification helps Caledonia attract and retain residents, supports workforce needs, and prevents the stagnation seen when sites go undeveloped.
-

7. Magnet Project Potential

- This project could serve as a magnet project that encourages future investment along a major thoroughfare, directly benefiting the broader Caledonia community.
 - Other multi-family developments have proven successful in the region; if they succeeded, this project can also thrive and bring positive attention to Caledonia.
 - By approving this proposal, the City signals that it supports smart, community-oriented development, attracting additional responsible investment.
-

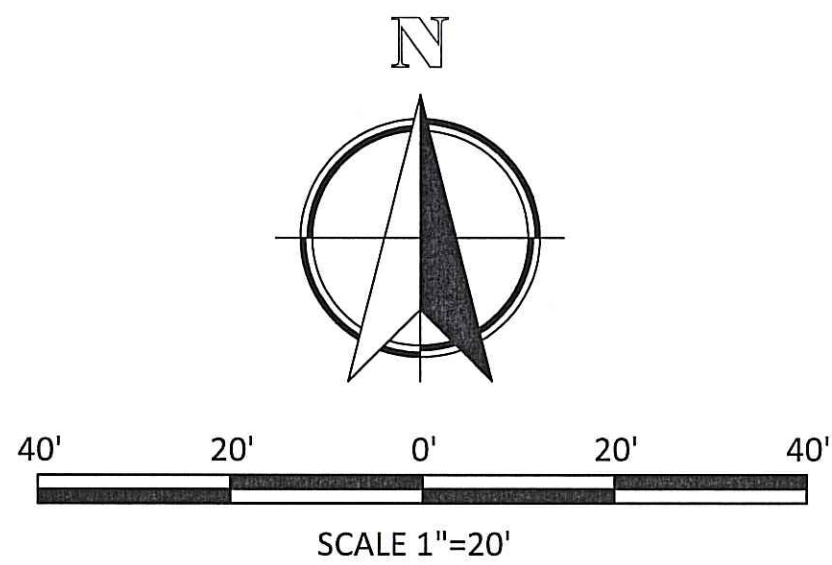
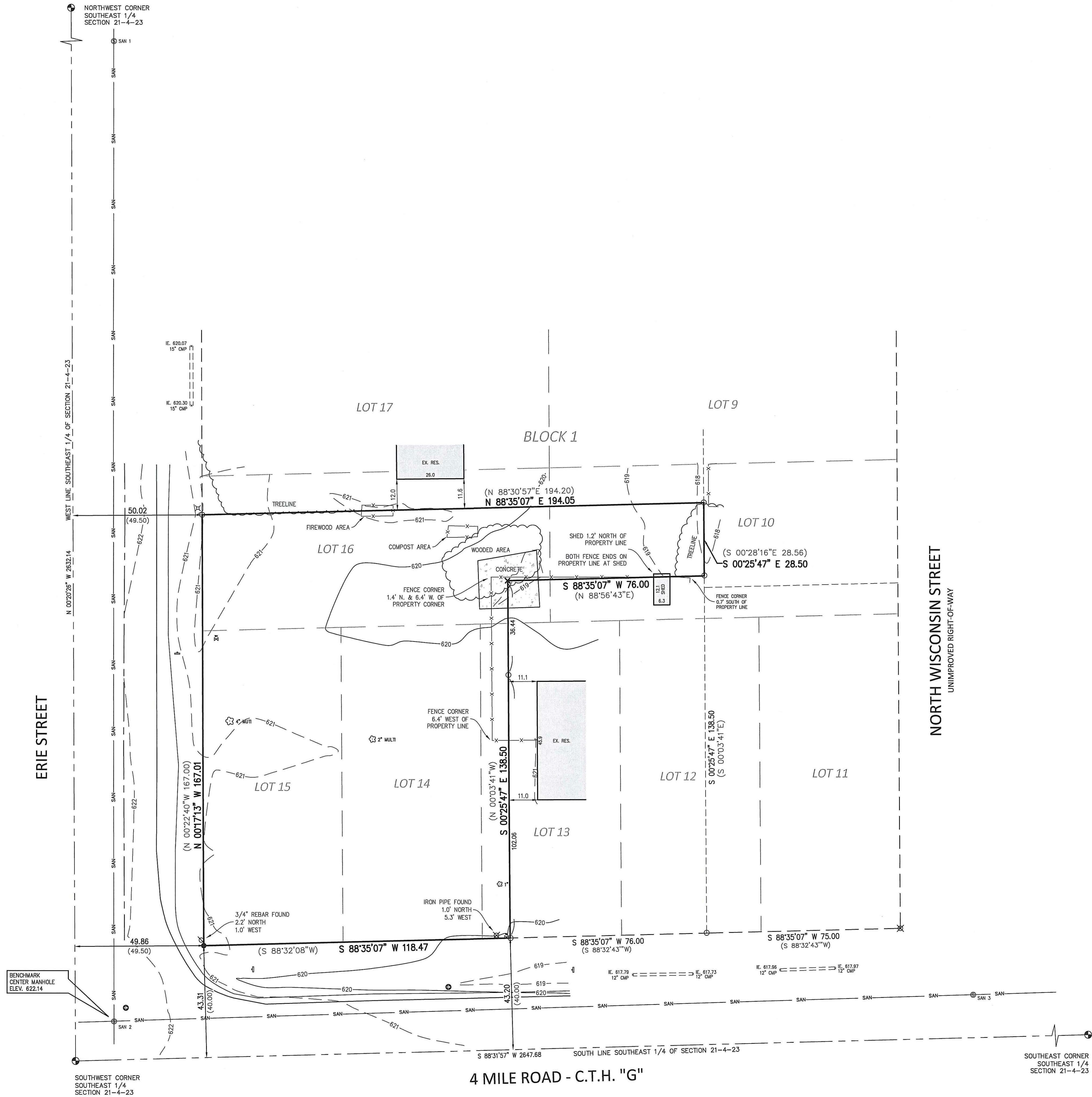
Closing Statement

Council members have seen what happens when viable projects are denied: land sits vacant, development stalls, and community benefit is lost. This proposal is ready today, respects zoning setbacks, has neighborhood support, increases the tax base, and provides a modern housing option for Caledonia.

We respectfully request approval of this duplex-to-four-family conversion so we can immediately bring quality housing, community value, and responsible development to the City.

Attached Images:





Description of Record:

Parts of Lots 10, 13, 14, 15 and 16, Block 1, Ozone Park, a recorded Plat in the Village of Caledonia, Racine, Wisconsin, and described as follows:
Begin at a 3/4" diameter iron pipe stake on the North line of 4 Mile Road at a point located South 88 degs. 56'43" West 75.00 feet from the Southeast corner of said Block 1; run thence South 88 degs. 56'43" West 76.00 feet; run thence South 88 degs. 32'08" West 118.47 feet; thence North 00 degs. 22'40" West 167.00 feet on the East line of Erie Street; run thence North 88 degs. 30'57" East 194.20 feet; run thence South 00 degs. 28'16" East 28.56 feet; thence South 00 degs. 03'41" East 138.50 feet to the North line of 4 Mile Road and to the point of beginning.

EXCEPTING therefrom the following described real estate, to-wit:
Begin at a 3/4" diameter iron pipe stake on the North line of 4 Mile Road at a point located South 88 degs. 56'43" West 75.00 feet from the Southeast corner of said Block 1; run thence South 88 degs. 56'43" West 76.00 feet; thence North 00 degs. 03'41" West 138.50 feet parallel with the East line of said Block 1; thence North 88 degs. 56'43" East 76.00 feet parallel with the aforesaid South line of this legal description; thence South 00 degs. 03'41" East 138.50 feet to the point of beginning.

Containing 21,912 square feet or 0.503 acre as surveyed.

Property Address: Vacant Land - 4 Mile Road Racine, WI 53402
Tax Parcel ID: 104-04-23-21-000

NOTE: SURVEY IS BASED ON FOUND AND ACCEPTED MONUMENTATION OF OZONE PARK AS LAID OUT.

Certificate

The above-described property has been surveyed under my direction and the map hereon drawn is a correct representation thereof to the best of my knowledge and belief.

No title commitment or results of a title search were provided to this office pertaining to this survey. This Plat of Survey may not reflect easements of record, encumbrances, restrictions, ownership, title evidence, or other facts that a current and accurate title search may disclose.

June 29, 2023



EXISTING UTILITY DATA

SAN 1	SAN 2	SAN 3
RIM 621.64	RIM 622.14	RIM 619.83
IE. 8" S 607.84	IE. 8" N 606.54	IE. 12" E/W 604.53
	IE. 8" S 605.49	
	IE. 12" E/W 605.14	

NOTES

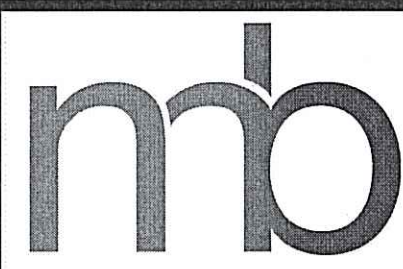
BEARING BASE: GRID NORTH, WISCONSIN
COORDINATE SYSTEM, SOUTH ZONE.
BASED UPON NAD 1983 / 2011.

ALL ELEVATIONS REFER TO NAVD 1988 (12).

() RECORDED AS BEARINGS AND/OR DISTANCES



- | | |
|-------------------------|--------------------------|
| ○ SANITARY MANHOLE | ○ 1-1/4" IRON PIPE FOUND |
| — SAN — SANITARY SEWER | ✕ 1-3/4" IRON PIPE FOUND |
| ⊥ SIGN | ⌘ 3/4" REBAR FOUND |
| ⊕ COMMUNICATION MANHOLE | ● 3/4" REBAR SET |
| ⊗ ELECTRIC PEDESTAL | ✕ CHISEL "X" SET |
| ⌘ WATER VALVE | — X — FENCE |
| ⊙ DECIDUOUS TREE | |



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS

1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262) 634-5588 Website: www.nmbasc.net

**LOTS 14 & 15 AND PART OF LOTS
10, 13 & 16, BLOCK 1, OZONE PARK**
PLAT OF SURVEY WITH TOPOGRAPHY

FOR
MATTHEW COURTY

VILLAGE OF CALEDONIA, COUNTY OF RACINE, WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: _____ MRM
DRAFTED: _____ SCB/CRL
DATE: 6-20-2023
CHECKED: _____ MRM
DATE: 6-20-2023

2023.0102.01

1 SHEET
OF 1









Meeting Date: November 24, 2025

PLAN COMMISSION REPORT

Item No. **5A**

Proposal: Building, Site, & Operation Plan Review

Description: Review of a request to approve a building, site, and operation plan for the construction and utilization of a $\pm 8,060$ square foot industrial building for the property located directly north of 4005 Quick Drive.

Applicant(s): Nathan Remitz

Address(es): Quick Drive

Suggested Motion: That the Plan Commission recommends to the Village Board that the building, site, and operation plan for the construction of a $\pm 8,060$ square-foot industrial building located on the parcel directly north of 4005 Quick Drive be approved for the following reasons:

1. The proposed use is allowed by underlying zoning and building, site, and operations plan review process.
2. This use is consistent with the 2035 Comprehensive Land Use Plan designation of manufacturing.

Owner(s): RA Domanik Investments LLC

Tax Key(s): 104-04-22-27-018-070

Lot Size(s): 1.092 acres

Current Zoning District(s): M-2, General Manufacturing

Overlay District(s): N/A

Wetlands: ☐ Yes ☒ No Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Industrial/Business Park

Background: The applicant is requesting approval of a building, site, and operation plan to construct and utilize a $\pm 8,060$ square foot, multi-tenant, industrial building to operate a vehicle warehouse and jewelry distribution business located on the parcel directly north of 4005 Quick Drive. The plans were initially submitted for review in May 2025 and approved by Resolution 2025-045. The applicant has now resubmitted the proposal with modifications to the previously approved plan. The modifications include:

-
- A larger building footprint of ±8,060 square feet (previously ±6,976 s.f.).
 - The building extended to the east, resulting in a 53.01-foot setback from the rear property line (previously 78.04 feet).
 - Addition of a 1,200-square-foot basement for storage.
 - Interior floor plan changes and revised window configuration, landscaping and grading to accommodate a larger building area.
 - Expansion of the west entry covered porch along the entire façade (previously 8' x 5');
 - Expansion of the east covered porch along the entire façade (previously 25.5' x 10').
 - Substitution of portions of the metal siding with stone veneer on all façades.
 - Modification of Light Fixture B to a shielded fixture.

Overall, all modifications comply with code, with the exception of exterior façade materials. More details are provided below.

Building Exterior/Design

The building will feature metal panel siding with a masonry base on all sides. The revised plans show that the east and west elevations will consist primarily of masonry, as recommended by staff in previous review. However, even with this enhancement, the design does not meet zoning requirements that mandate 75% of the visible building perimeter be clad in acceptable exterior materials—metal is not considered a qualifying material under code. A $\frac{3}{4}$ majority vote of the Plan Commission is required to approve the proposed metal exterior.

The north elevation includes one overhead door not facing a public road. Per design standards, loading areas, service entries, and mechanical equipment must be screened or attractively designed to minimize visual impact. Screening options include densely planted trees or shrubs, opaque fencing, and/or garden walls at least 7 feet tall (plant material must reach 7 feet within 2 years). Staff recommends additional screening be installed on the northwestern portion of the site to minimize visual impact of the overhead door.

The building entrance faces Quick Drive and includes a canopy extending along the masonry portion of the facade. The proposed colors include light brown metal panels and neutral stone beltlines.

Site Design

The building meets all M-2 District setback and height requirements. A 20-foot drainage easement along the southern portion of the site restricts development and landscaping in that area.

The site includes a paved asphalt parking lot with nine standard spaces and one ADA-compliant space, all meeting code for dimensions and setbacks.

A dumpster is proposed on the north side of the building, enclosed with cedar planks. Staff recommends adding vegetative screening around the enclosure to reduce visual impact.

Landscaping

The landscaping plan meets Village requirements. With 160 feet of frontage along Quick Drive, four street trees are required and provided.

To better screen the overhead door from Storage Drive, staff suggests additional plantings along the northwest lot line as stated earlier in this report.

Landscaping consisting of various shrubs and plantings is shown on three sides of the building and complies with code.

Lighting

The applicant has submitted a photometric plan demonstrating that site lighting will comply with the Village's lighting ordinance, ensuring no more than ½ foot-candle of light crosses the lot line. All light fixtures must comply with exterior lighting standards and be installed to prevent glare on neighboring properties. Light fixtures A and B are both shielded, in compliance with code.

Signs

No signage is being proposed as part of this review. Any future signage requests will need to comply with Village Zoning Sign Code and be issued a sign permit prior to installation.

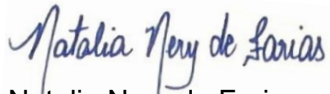
Engineering/Fire Department

Prior to any building permits being issued, the applicant will need to get approvals for stormwater management, erosion control, and grading plans from the Water Utility Department and Engineering Department. The Fire Department indicated no concerns regarding the proposed site plan; however, they will work with the applicant to ensure compliance with fire codes for this building type.

Suggested Motion

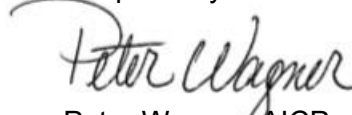
If the Plan Commission is comfortable with the proposed development, staff has drafted a suggested motion recommending approval of the ±8,060 square-foot industrial building for the property located directly north of 4005 Quick Drive.

Prepared by:



Natalia Nery de Farias
Planner & Zoning Administrator

Respectfully submitted:



Peter Wagner, AICP
Development Director

Location Map: Quick Drive





October 14, 2025

Village of Caledonia
5043 Chester Ln.
Caledonia, WI 53402

Re: Project narrative for:

New Commercial Building

Vacant Lot #1

Approx. corner of Storage Drive & Quick Drive
Caledonia, WI

Property Owner:

RA Domanik Investments, LLC
Robert Domanik
8801 Mary Dr.
Mount Pleasant, WI 53406
262.497.9441
bob@domaniksales.com

Agent / Architect /

Structure:

Patera
Nathan Remitz
4040 N. Calhoun Rd.
Brookfield, WI 53005
262.786.6776 ext. #103
nathan@paterallc.com

Civil Engineer:

PSE
Jacob Rosbeck, P.E.
122 Wisconsin St.
West Bend, WI 53095
262.346.7800
jrosbeck@parishse.com

This re-submittal was previously submitted and approved earlier in 2025. This updated submittal reflects changes made to the approved drawings. Main updates include:

- a larger building footprint of 7500 s.f. (previously 6713 s.f.)
- West entry covered porch added along entire façade (previously was only a 8'x5' covered porch.
- Western tenant #1 nearly doubled in size with some window re-configurations and interior floor plan changes.
- Far east portion of tenant #1 increased in size by several feet. A 1200 s.f. basement was added below part of this tenant space, for storage.
- The east covered porch was lengthened to include the entire eastern façade
- The site plan remains relatively the same design details but updated to accommodate the larger building footprint. Same amount of parking and trash enclosure. 6 parking stalls are required, and 10 are provided. Landscaping and grading adjusted accordingly. No need for storm water retention yet.

The existing site is a vacant 1.09 acre parcel, zoned "M-2, General Manufacturing". A mixed-use building is proposed consisting of warehousing for private classic cars and a small wholesale jewelry business. Both of which are permitted uses in this zoning district. The lot is a relatively flat, open parcel of land, in an industrial type of development area.

The proposed 7500 s.f. single story slab on grade building will be home to two tenants, both of which are managed by a husband and wife team. Clad in prefinished vertical white metal siding and white stone veneer, metal awnings, and a pitched standing



seam metal roof (black), the exterior is four sided Architecture, similar in Architectural character to the adjacent properties. A new asphalt parking lot with 10 parking spaces will be constructed, along with a new wood fenced refuse enclosure. New landscaping and code compliant exterior lighting will be provided.

The western tenant space (approx. 1600 s.f.) will be home to a wholesale jewelry business (Robert Anthony). Most of their customers are remote sales, with occasional in-person customers, scheduled by appointment only. It is anticipated to have one part-time employee, with no set hours of operation. When inventory gets delivered to the business, an employee is called in to work.

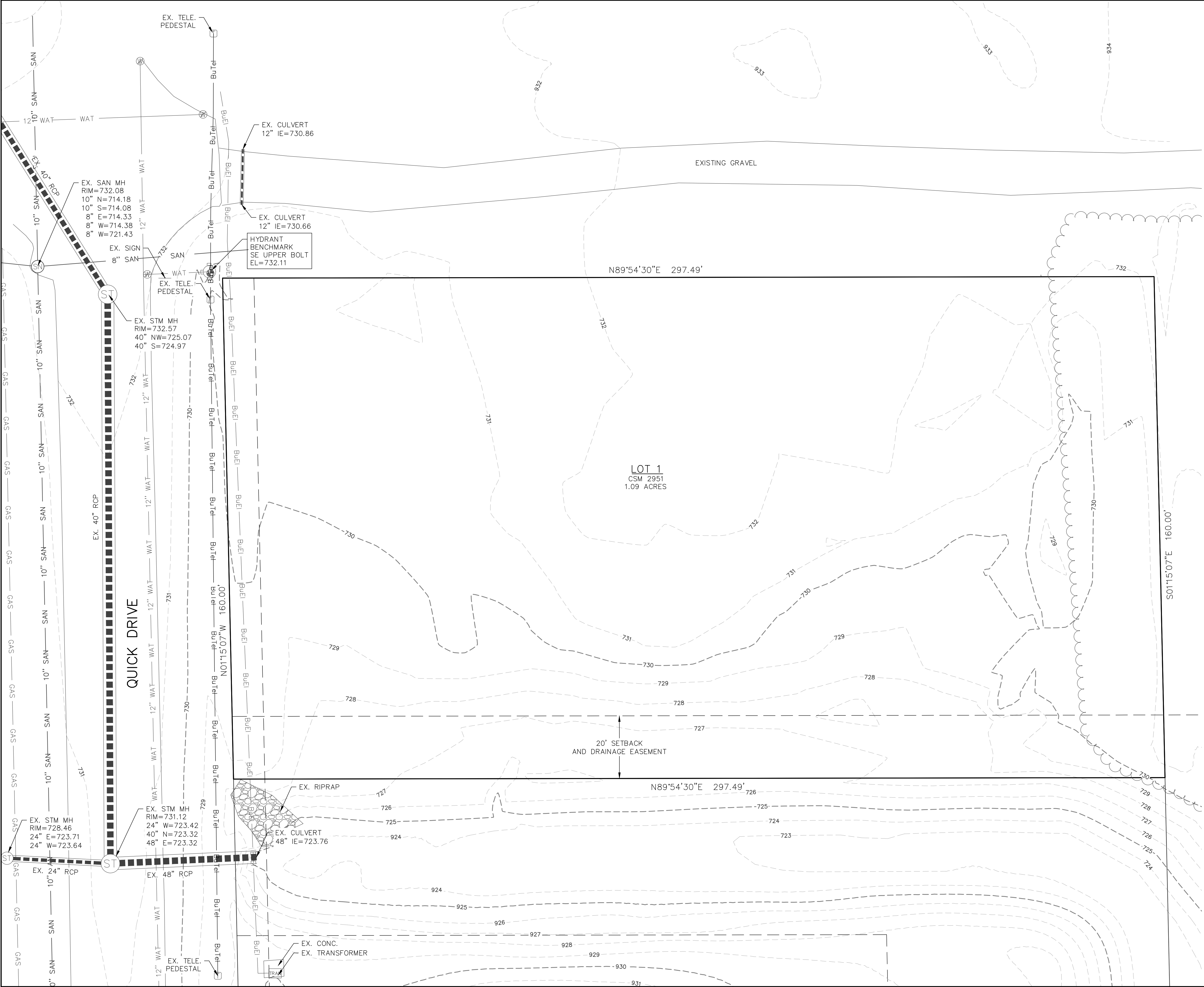
The eastern tenant space (approx.. 5900 s.f.) will be used for classic car warehousing, with some accessory office areas and a covered outdoor patio area at the far east of the building. The owners private collection, in addition to select customers, will utilize this space. It is a common display warehouse, with no major repairs done on vehicles. All work will be typical maintenance (cleaning, upkeep, etc.). No loud noises or smells will be produced.

With the limited number of guests and customers expected to visit the building, traffic impacts will be minimal. The occasional delivery vehicle will take shipments and deliveries. The online nature of the wholesale jewelry tenant, and warehousing of the cars will not negatively affect the adjacent properties or adversely affect the existing infrastructure or utilities.

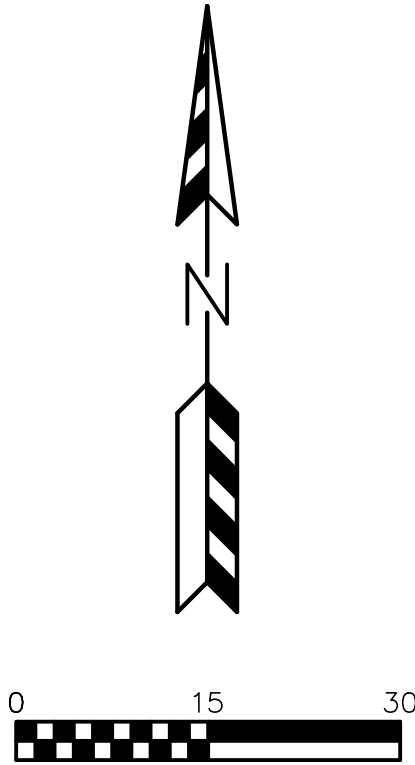
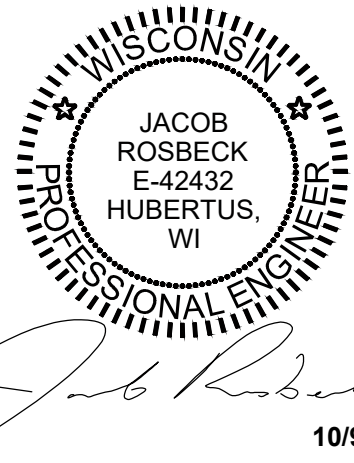
Sincerely,

Nathan Remitz A.L.A.
Architect / Partner





CIVIL SHEET INDEX:	
SHEET	SHEET TITLE
C1.01	EXISTING CONDITIONS PLAN
C1.02	PROPOSED SITE PLAN
C1.03	EROSION CONTROL PLAN
C1.04	GRADING PLAN
C1.05	UTILITY PLAN
C1.06	LANDSCAPE PLAN
C1.07	LIGHTING PLAN
C2.01	CONSTRUCTION NOTES
C2.02	SITE DETAILS



LEGEND:	
	- 896 - - - - - EXISTING MINOR CONTOUR.
	- 895 - - - - - EXISTING MAJOR CONTOUR.
	- OHEL - - - - - OVERHEAD ELECTRIC LINE.
	- BuEl - - - - - BURIED ELECTRIC LINE.
	- BuTel - - - - - BURIED TELEPHONE LINE.
	- FO - - - - - FIBER OPTIC LINE.
	- GAS - - - - - GAS LINE.
	- SAN - - - - - SANITARY SEWER MAIN OR LATERAL.
	- WAT - - - - - WATER MAIN OR SERVICE.
	- - - - - STORM SEWER LINE.
	- ELECTRIC METER.
	- GAS METER.
	- GAS VALVE.
	- FIRE HYDRANT.
	- POWER POLE.
	- SANITARY SEWER MANHOLE.
	- STORM SEWER MANHOLE.
	- STORM SEWER INLET.
	- TELEPHONE PEDESTAL.
	- TRANSFORMER.
	- WATER VALVE.

REVISIONS:	
NO.	DATE DESCRIPTION

PSE

PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800 www.parishse.com

PROJECT TITLE:
**MULTI-TENANT BUILDING
QUICK DRIVE
FRANKSVILLE, WI 53126**

PLAN TITLE:
**EXISTING
CONDITIONS
PLAN**

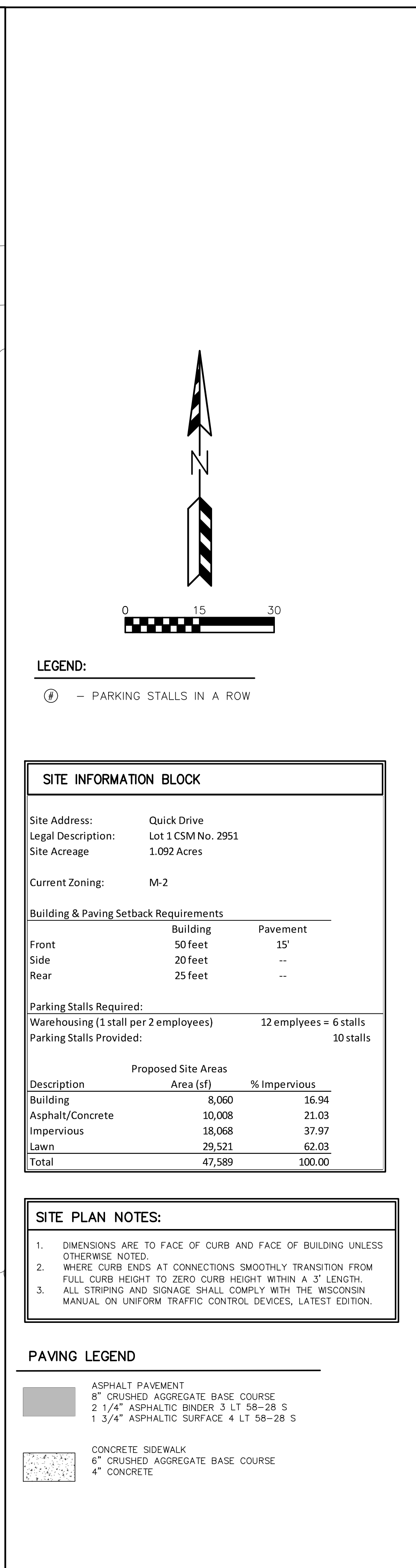
DRAWN BY:
WWS
DESIGNED BY:
JPR
CHECKED BY:
KJP

PLAN DATE:
10/8/2025

PROJECT NO:
IPA-34-23

SUBMITTAL

SHEET NO:
C1.01



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PLAN TITLE:

**PROPOSED
SITE PLAN**

DRAWN BY:
WWS

DESIGNED BY:
JDR

CHECKED BY:
KJP

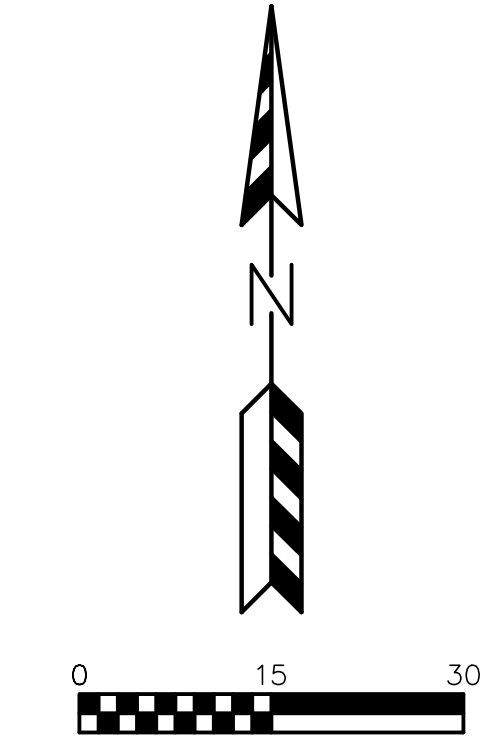
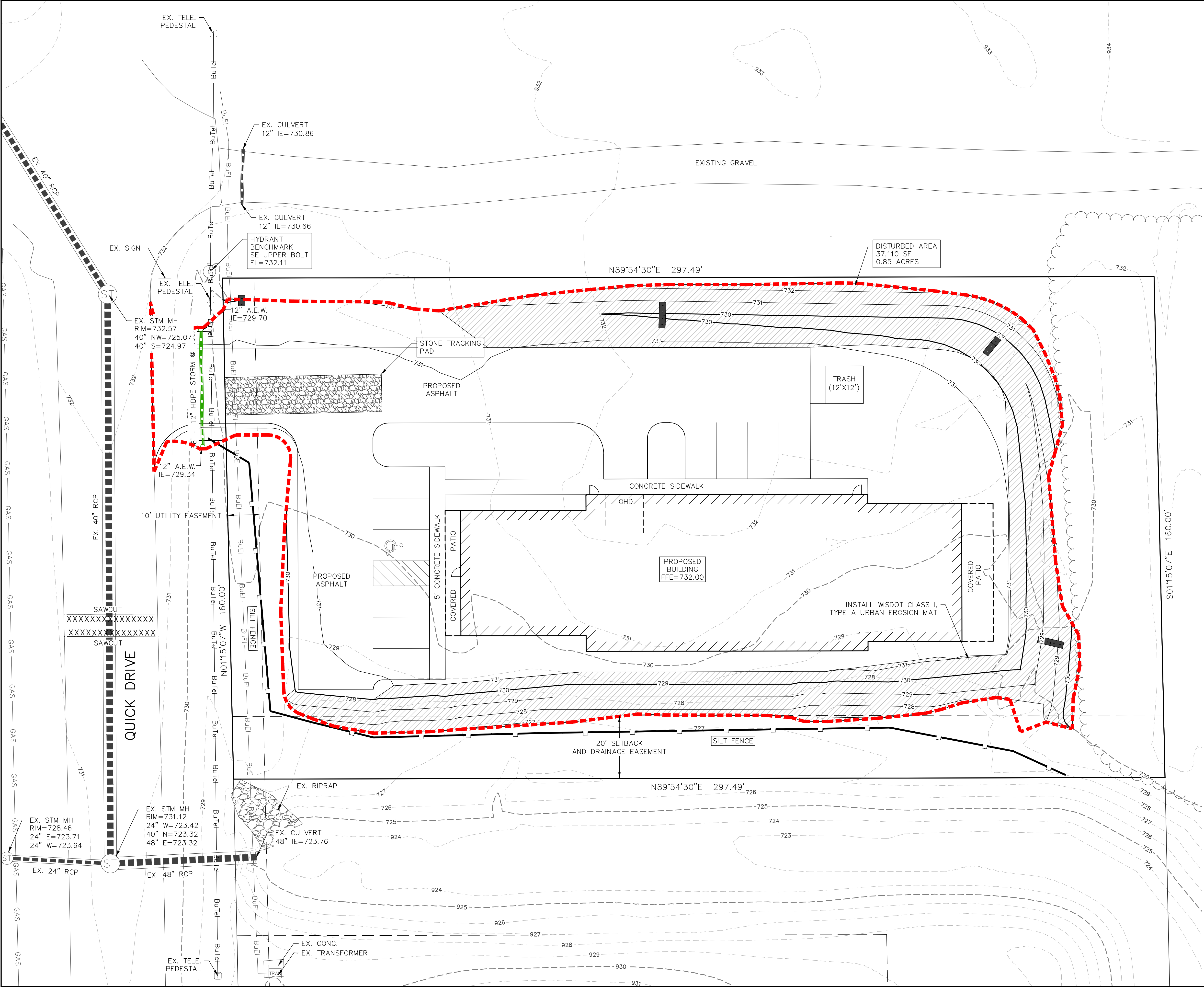
PLAN DATE:
10/8/2025

PROJECT NO:
\PA-34-23

SUBMITTAL

SHEET NO:

C1.02



- LEGEND:**
- 936 --- EXISTING MINOR CONTOUR.
 - 935 --- EXISTING MAJOR CONTOUR.
 - 936 --- PROPOSED MINOR CONTOUR.
 - 935 --- PROPOSED MAJOR CONTOUR.
 - PROPOSED STORM SEWER.
 - EXISTING STORM SEWER.
 - INSTALL WSDOT TYPE D INLET PROTECTION.
 - INSTALL EROSION CONTROL MATTING
 - INSTALL SILT FENCE.
 - INSTALL DITCH CHECK.
 - DRAINAGE ARROW.

STAGES OF CONSTRUCTION TIME SCHEDULE:

- NOVEMBER 15, 2025**
1. INSTALL SITE SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCES AS SHOWN ON PLANS. ANY ADDITIONAL CONSTRUCTION ENTRANCES IF APPROVED BY THE VILLAGE OF CALEDONIA SHALL HAVE A TRACKING PAD.
- NOVEMBER 16, 2025 – JUNE 1, 2026**
2. STRIP TOPSOIL WITHIN GRADING LIMITS AND CONSTRUCT TEMPORARY TOPSOIL STOCKPILE LOCATION ACCORDING TO "SPECIFICATIONS FOR GRADING & EROSION CONTROL" ON "CONSTRUCTION NOTES PAGE".
 3. BEGIN PROPOSED SITE GRADING – RESEED SECTIONS OF PROJECT THROUGHOUT THE GRADING PROCESS TO MINIMIZE RUN-OFF.
 4. START CONSTRUCTION OF UTILITIES: WATER SERVICE, SANITARY SEWER AND STORM SEWER.
 5. CONSTRUCT BUILDING PADS AND BUILDINGS.
 6. CONTINUE SITE GRADING.
 7. INSTALL BASE COURSES, PROPOSED PAVEMENTS
 8. INSTALL LANDSCAPING.
 9. APPLY FINAL STABILIZATION TO ENTIRE SITE.
- JUNE 2 – 15, 2026**
- ALL PERMANENT SEEDING SHALL BE COMPLETED BY SEPTEMBER 15. ALL TEMPORARY SEEDING SHALL BE COMPLETED BY OCTOBER 15 (REFER TO DNR STANDARD 1059.)
- STABILIZATION FOR ALL EXPOSED SOIL AFTER OCTOBER 15 SHALL CONSIST OF ANIONIC POLYACRYLAMIDE (PAM) IN ADDITION TO TEMPORARY SEEDING IN AREAS WITHOUT EROSION CONTROL MAT. PLACE PAM IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050. AFTER OCTOBER 15 ALL SLOPES 4:1 OR STEEPER THAT ARE NOT PERMANENTLY VEGETATED SHALL HAVE EROSION MAT INSTALLED IN PREPARATION OF WINTER CONDITIONS.
- SPREAD SALVAGED OR IMPORTED TOPSOIL IN PROPOSED LANDSCAPE AREAS AND RESTORE.
- CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS. NOTIFY VILLAGE OF CALEDONIA PRIOR TO CHANGE.
- AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPS SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT THE THE MAXIMUM EXTENT PRACTICABLE
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED AND STABILIZE AND AREAS DISTURBED BY REMOVAL OF BMPS.

REVISIONS:	
NO.	DESCRIPTION

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PLAN TITLE:
**EROSION
CONTROL
PLAN**

DRAWN BY:
WWS
DESIGNED BY:
JDR
CHECKED BY:
KJP

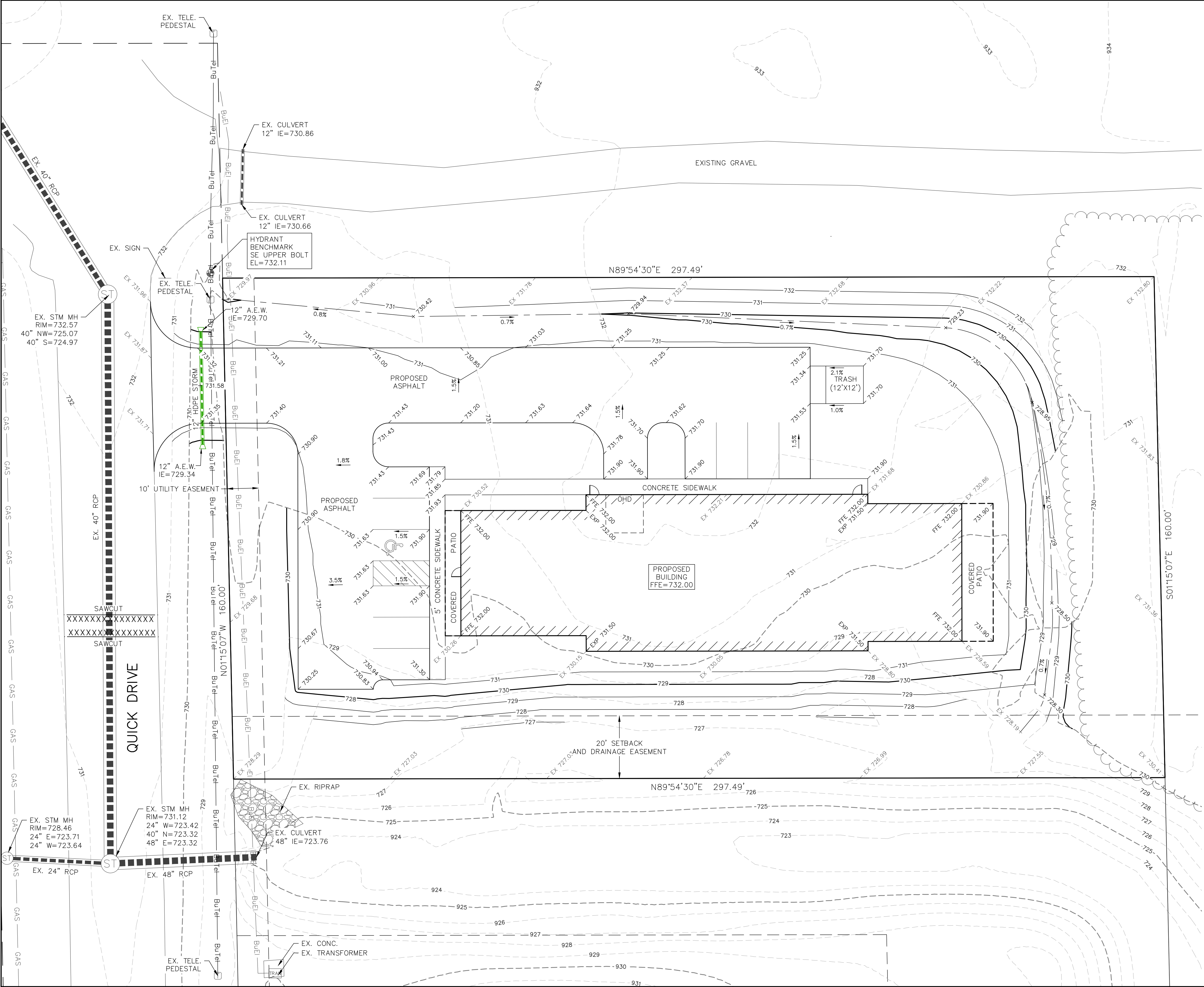
PLAN DATE:
10/8/2025

PROJECT NO:
IPA-34-23

SUBMITTAL

SHEET NO:

C1.03



- LEGEND:**
- - - 936 - - - EXISTING MINOR CONTOUR.
 - - - 935 - - - EXISTING MAJOR CONTOUR.
 - - - 936 - - - PROPOSED MINOR CONTOUR.
 - - - 935 - - - PROPOSED MAJOR CONTOUR.
 - EX 934.23 - EXISTING SPOT ELEVATION.
 - 934.23 - PROPOSED CURB FLANGE ELEVATION.
 - TC 934.23 - PROPOSED TOP OF CURB ELEVATION.
 - SW 934.23 - PROPOSED SIDEWALK ELEVATION.
 - EP 934.23 - PROPOSED EDGE OF PAVEMENT ELEVATION.
 - EXP 934.23 - PROPOSED BUILDING EXPOSURE ELEVATION.
 - FFE 934.23 - PROPOSED BUILDING FIRST FLOOR ELEVATION.
 - - - - - PROPOSED STORM SEWER.
 - - - - - EXISTING STORM SEWER.

REVISIONS:	
NO.	DESCRIPTION

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PROJECT TITLE:
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PLAN TITLE:
**GRADING
PLAN**

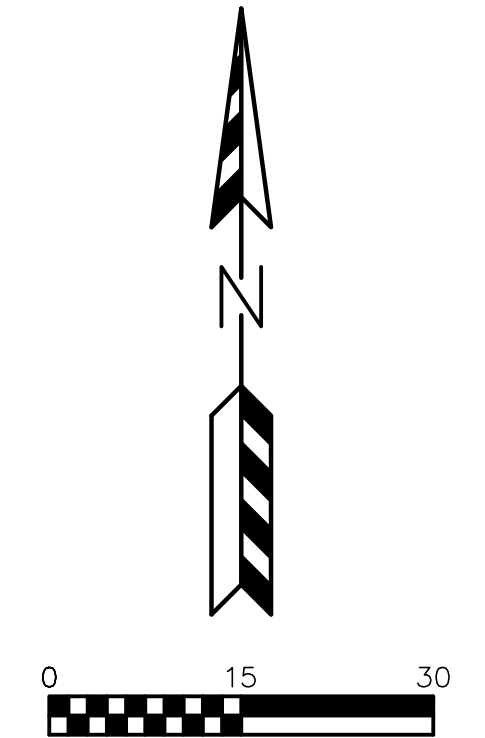
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DESIGNED BY:
JDR
CHECKED BY:
KJP

PLAN DATE:
10/8/2025

PROJECT NO:
(PA-34-23)

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C1.04



NOTES:

Designated turf areas to receive a minimum of 4" of topsoil, bluegrass seed mix, starter fertilizer, and straw mat mulch.

Individual trees in lawn areas to receive shredded hardwood bark mulch plant rings (4" diameter) spread to a depth of 3".

Foundation planting beds and areas between driveways to be mulched with #2 washed stone spread to a depth of 3" over weed barrier fabric.

[illegible]

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PLAN TITLE:

**LANDSCAPE
PLAN**

DRAWN BY:
WWS

DESIGNED BY:
JDR

CHECKED BY:
KJP

PLAN DATE:
10/8/2025

PROJECT NO:
\PA-34-23

SUBMITTAL

SHEET NO:

C1.06

SHEET NO:
C1.07

GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES:

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 360.382-383, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.5" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
10. TRASH AND DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.
11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

SPECIFICATIONS FOR GRADING & EROSION CONTROL:

1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HAUL OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.
3. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING.
4. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERCEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WRITING BEFORE ANY DEVIATIONS ARE MADE.
5. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIALS, FREE OF ALL ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIAL AND INSPECTED AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF PROOF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERCUT, AND COMPACTING THE SCARIFIED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIALS SHALL BE FREE OF ANY DELETERIOUS, ORGANIC OR FROZEN MATTER AND SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM D-423) AND PLASTICITY INDEX (ASTM D-424) IF 30 AND 10 RESPECTFULLY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP TWELVE (12") INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM THREE (3") INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6") INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER. ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT. IF THE FILL IS TO PROVIDE NON-FROST SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN GW, GP, SW, OR SP PER UNITED SOIL CLASSIFICATION SYSTEM (ASTM D-2487). FOR STRUCTURAL FILL THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION TO THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF THE MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS. THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTION EQUIPMENT BEING USED. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION. MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY. DISKING, HARROWING OR PULVERIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE. AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-398) MAXIMUM DENSITY.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. SUBGRADE TOLERANCES ARE +/- 1" FOR LANDSCAPE AREAS AND +/- 1/2" FOR ALL PAVEMENT AND BUILDING AREAS.
8. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4" ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.
9. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHED OR PUMPING TO ALLEVIATE WATER PONDING. ANY DEWATERING SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DEWATERING TREATMENT DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.
10. THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE EXISTING GRAVEL TRAILER PARKING IS TO BE USED AS STONE TRACKING PAD. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
11. SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
12. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
13. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
14. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
15. ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH CURLEX EROSION CONTROL FABRIC (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

SPECIFICATIONS FOR PRIVATE UTILITIES:

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN. CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS. CONNECTIONS TO WATER MAIN SHALL BE WET TAPPED WITH A STAINLESS STEEL TAPPING SLEEVE.
3. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES AND IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION WISCONSIN, LATEST EDITION. PROPOSED SANITARY SEWER AND INTERNALLY CONNECTED STORM SEWER SHOWN IN THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE EXACT LOCATION OF ALL DOWN SPOUT CONNECTIONS SHALL BE PER THE ARCHITECTURAL PLANS.
4. CONTRACTOR SHALL NOT SHUT OFF WATER OR PLUG SANITARY SEWER IN MUNICIPAL LINES WITHOUT PRIOR APPROVAL.
5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48" OR LESS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS N-12. FOR PIPE 10" OR LESS IN DIAMETER, PVC, ASTM D-3034, SDR-26, MAY ALSO BE USED. WHERE SPECIFICALLY REQUIRED, REINFORCED CONCRETE PIPE (RCP), ASTM C-76, CLASS III OR HIGHER, MAY BE USED. TRENCH SECTION SHALL BE CLASS "B" FOR PVC AND HDPE AND CLASS "C" FOR CONCRETE (PER STANDARD SPECIFICATIONS). MANHOLES, INLETS AND CATCH BASINS SHALL BE PRE CAST REINFORCED CONCRETE, ASTM C-478. CASTINGS SHALL BE HEAVY DUTY CAST IRON. AREA DRAINS SHALL BE ADSHYLOPLAST OR EQUIVALENT AND SHALL BE A MINIMUM OF 24" IN DIAMETER. CONNECTIONS TO EXISTING PIPES SHALL BE MADE WITH INSERT A WYE OR EQUIVALENT. LAST (3) THREE JOINTS SHALL BE RESTRAINED WITH RODS. PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.
6. MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS: SANITARY SEWER SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212. TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTIONS SHALL BE MAD WITH A INSERT A WYE OR EQUIVALENT. A MINIMUM OF 6" OF COVER IS REQUIRED FOR ALL SANITARY SEWER.
7. MATERIALS FOR WATER SERVICES AND PRIVATE HYDRANTS SHALL BE AS FOLLOWS: WATER SERVICES SHALL BE PVC, HDPE, OR DI AS ALLOWED BY MUNICIPAL CODE. PVC SHALL BE AWWA C-900, DI SHALL BE AWWA C151, CLASS 52 (OR AS REQUIRED BY LOCAL CODE). TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTION SHALL BE MADE WITH A WET TAP, CORPORATE STOP AND VALVE BOX PER MUNICIPAL STANDARDS. A MINIMUM OF 6" COVER IS REQUIRED FOR ALL WATER MAIN. VALVES SHALL BE NON RISING STEM, RESILIENT SEATED GATE VALVES COMPLYING WITH AWWA C509 WITH A THREE PIECE CAST IRON VALVE BOX. INSTALL THRUST BLOCKS AT ALL BENDS AND TEES. DISINFECT ALL NEW LINES AND OBTAIN SAFE WATER SAMPLE PRIOR TO USE. WATER MAIN SHALL BE COPPER TYPE "K" PRESCRIBED IN ANSI/AWWA C800-89 SECTION A.2 FOR "COPPER WATER TUBING" AND TO ASTM, DESIGNATION B42 AND B88-99, AND CURRENT REVISIONS THERE OF UNLESS INDICATED OTHERWISE.
8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
9. TRACER WIRE (NO.8 SINGLE STRAND COPPER) AND WARNING TAPE SHALL BE INSTALLED ON ALL UTILITIES IN ACCORDANCE WITH THE LOCAL AND STATE CODES. TRACER WIRE SHALL TERMINATE IN A VALVECO TERMINAL BOX AT EACH END IN ACCORDANCE WITH 182.0715(2R) OF STATE STATUTES.
10. MANDREL TESTING ON SANITARY LINES AND PRESSURE TESTING ON WATER MAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY.
11. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
12. ALL UTILITY CONSTRUCTION SHALL BE DONE IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
13. ALL SANITARY SEWER, STORM SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE VILLAGE OF CALEDONIA AND WISCONSIN DSPS STANDARDS.
14. THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
15. MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
16. ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
17. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION SIZE AND DEPTH OF NEW SERVICE.
18. ALL WORK WITHIN THE VILLAGE RIGHT-OF-WAY REQUIRES A PERMIT FROM THE VILLAGE OF CALEDONIA PUBLIC WORKS DEPARTMENT.

SPECIFICATIONS FOR PAVING:

1. AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE GRADATION REQUIREMENTS SECTIONS 301.2 AND 305.2.2 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE PER THE DETAIL ON THE PLANS. BASE SHALL BE 1-1/4" INCH DIAMETER LIMESTONE TRAFFIC BOND AGGREGATE BASE COURSE UNLESS NOTED OTHERWISE. SUBSTITUTION AND/OR RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.
2. SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH BREAKER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.
3. EXISTING PAVEMENT SHALL BE SAWCUT IN NEAT STRAIGHT LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURB AND WALK SHALL BE REMOVED TO THE NEAREST JOINT. REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.
4. ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE DETAILS MATERIALS AND PLACEMENT SHALL CONFORM TO THE DOT STANDARD SPECIFICATIONS, SECTION 450 AND 460 LT 58-28 S IS REQUIRED UNLESS NOTED OTHERWISE A COMMERCIAL GRADE MIX MAY BE SUBSTITUTED ONLY WITH APPROVAL FROM THE OWNER.
5. TACK COAT SHALL BE IN ACCORDANCE WITH THE SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.05 GAL/SY.
6. CONCRETE FOR CURB, DRIVEWAYS, WALKS, LOADING DOCKS AND NON-FLOOR SLABS SHALL CONFORM TO THE LATEST VERSION OF SECTION 415 OF THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION. CONCRETE SHALL BE GRADE A, ASTM C-94, 6 BAG MIX WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI. JOINTING SHALL BE PER SECTION 415.3.7 OF THE STANDARD SPECIFICATIONS WITH CONSTRUCTION JOINTS HAVING A MAXIMUM SPACING OF 10'. EXPANSION JOINTS SHALL BE PROVIDED EVERY 50'. CONCRETE SHALL BE FINISHED PER SECTION 415.3.8 WITH A MEDIUM BROOM TEXTURE. A CURING MEMBRANE IN CONFORMANCE WITH SECTION 415.3.12 IS REQUIRED. LOADING DOCKS SHALL HAVE REINFORCING CONSISTING OF NOVOMESH 950 FIBER MESH OR #4 BARS AT 24" ON CENTER EACH WAY PER SECTION 415.2.2 OF THE STANDARD SPECIFICATIONS.
7. PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH WISCONSIN DOT SECTION 646 OF THE STANDARD SPECIFICATIONS AND WITH LOCAL CODES. THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:

PARKING STALLS: WHITE
PEDESTRIAN CROSSWALKS: WHITE
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE
ADA SYMBOLS: WHITE

RESTORATION NOTES:

1. ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEEDED WITH OLDS "NOMOW" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEEDED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.
2. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.
3. ALL FINISH GRADED AREAS SHALL BE SEEDED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEEDED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059, FOR SEEDING RATES OF COMMONLY USED SPECIES. THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDBED PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDED AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.

REVISIONS:	
NO.	DESCRIPTION



PROJECT TITLE:

MULTI-TENANT BUILDING
QUICK DRIVE
FRANKSVILLE, WI 53126

PLAN TITLE:

CONSTRUCTION
NOTES

DRAWN BY:

WWS

DESIGNED BY:

JDR

CHECKED BY:

KJP

PLAN DATE:

10/8/2025

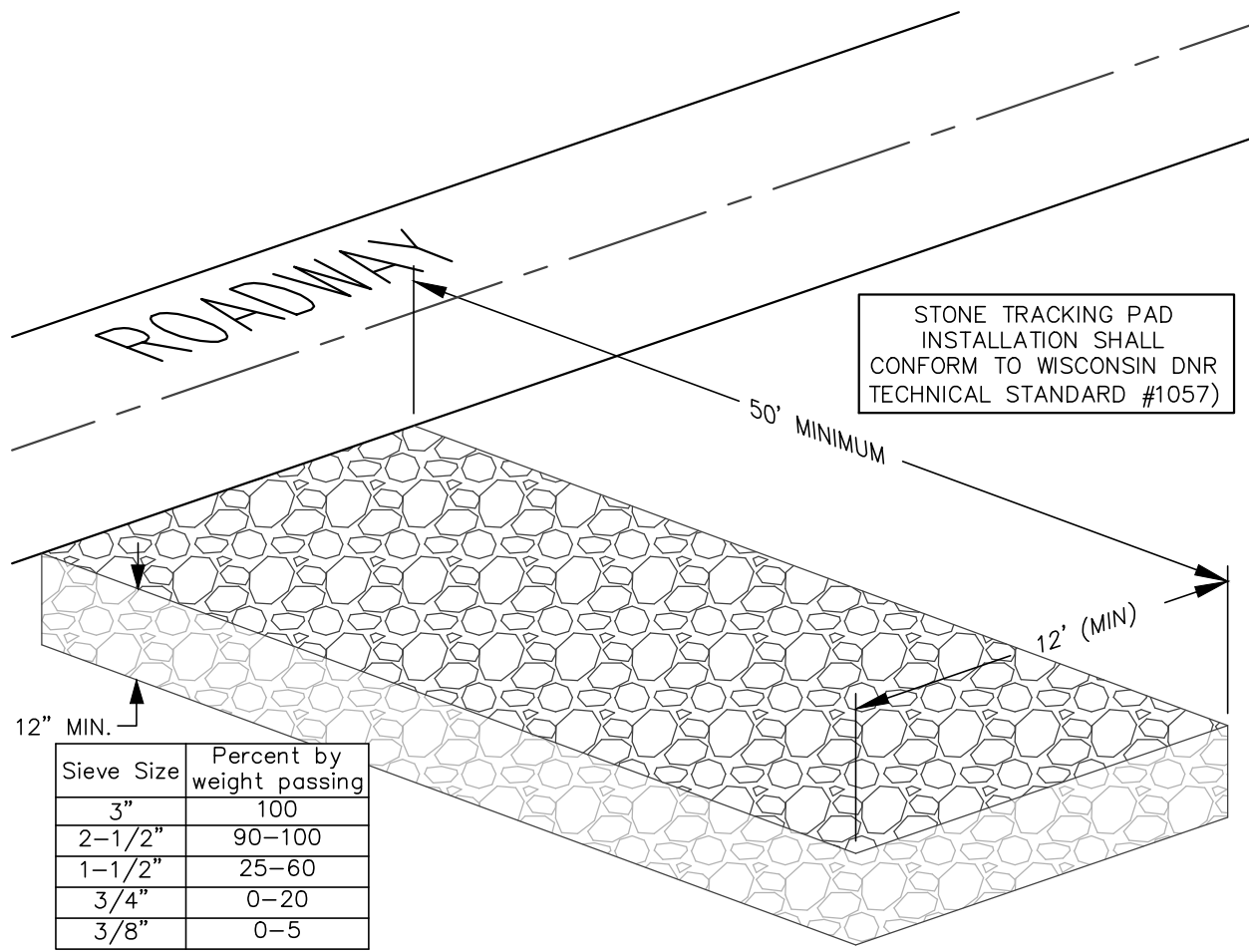
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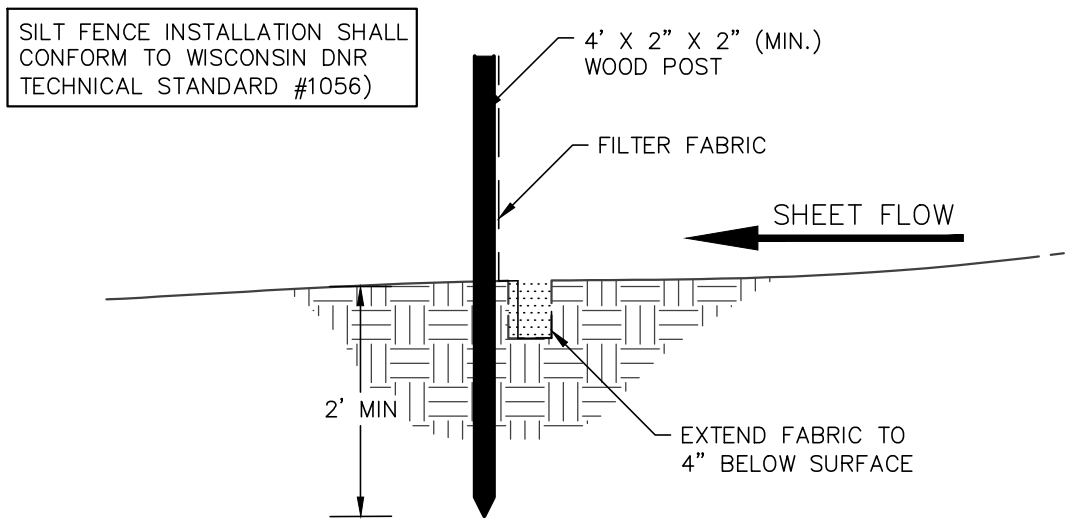
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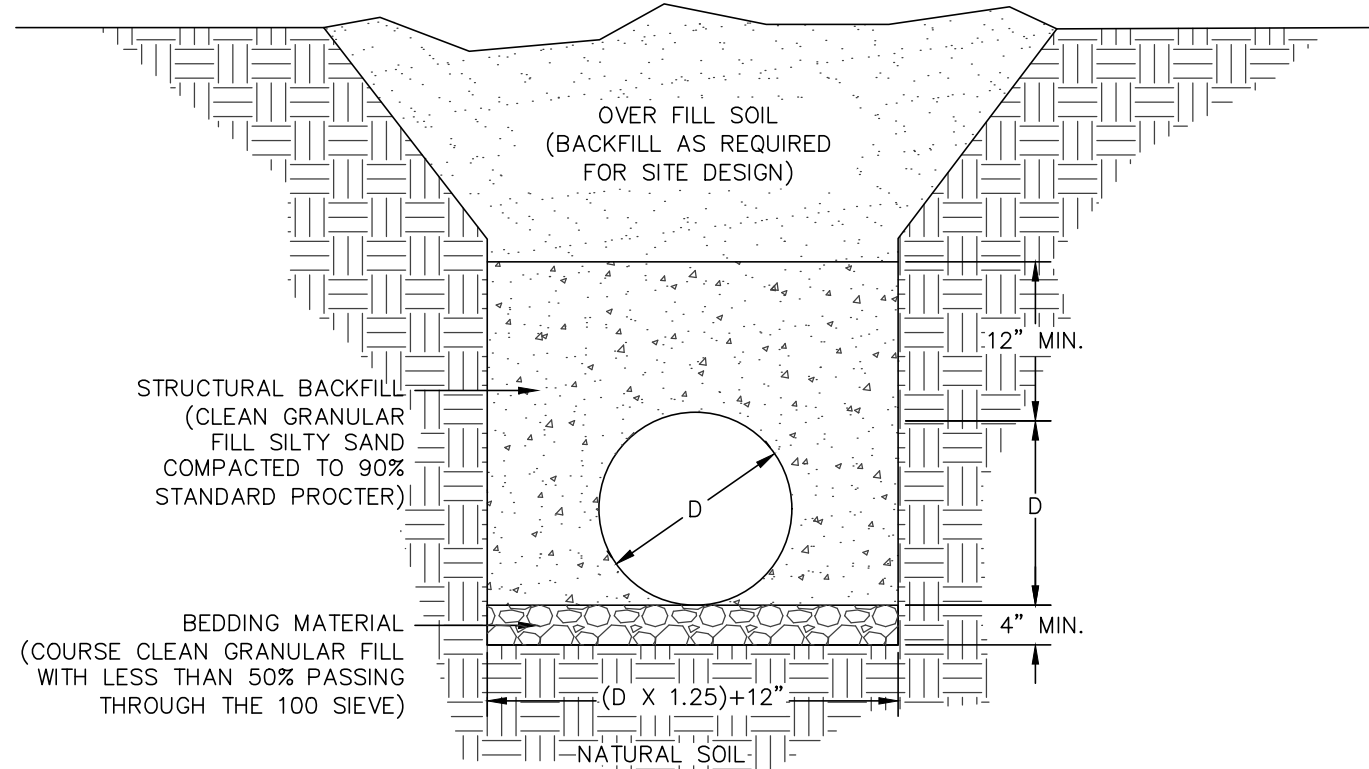
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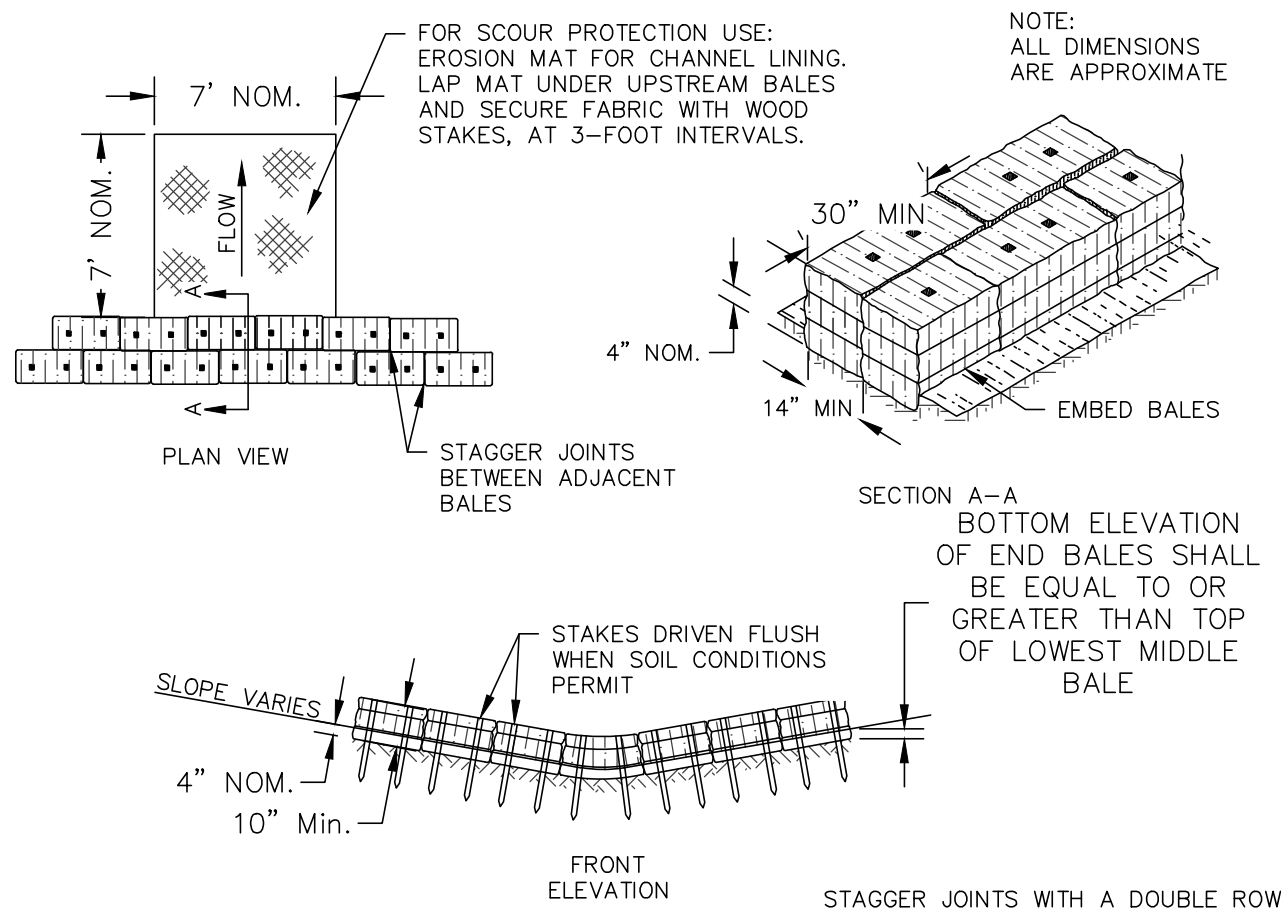
STONE TRACKING PAD DETAIL



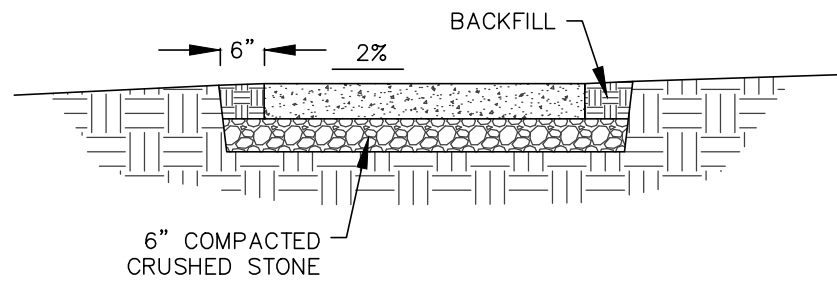
SILT FENCE CONSTRUCTION (SHEET FLOW)



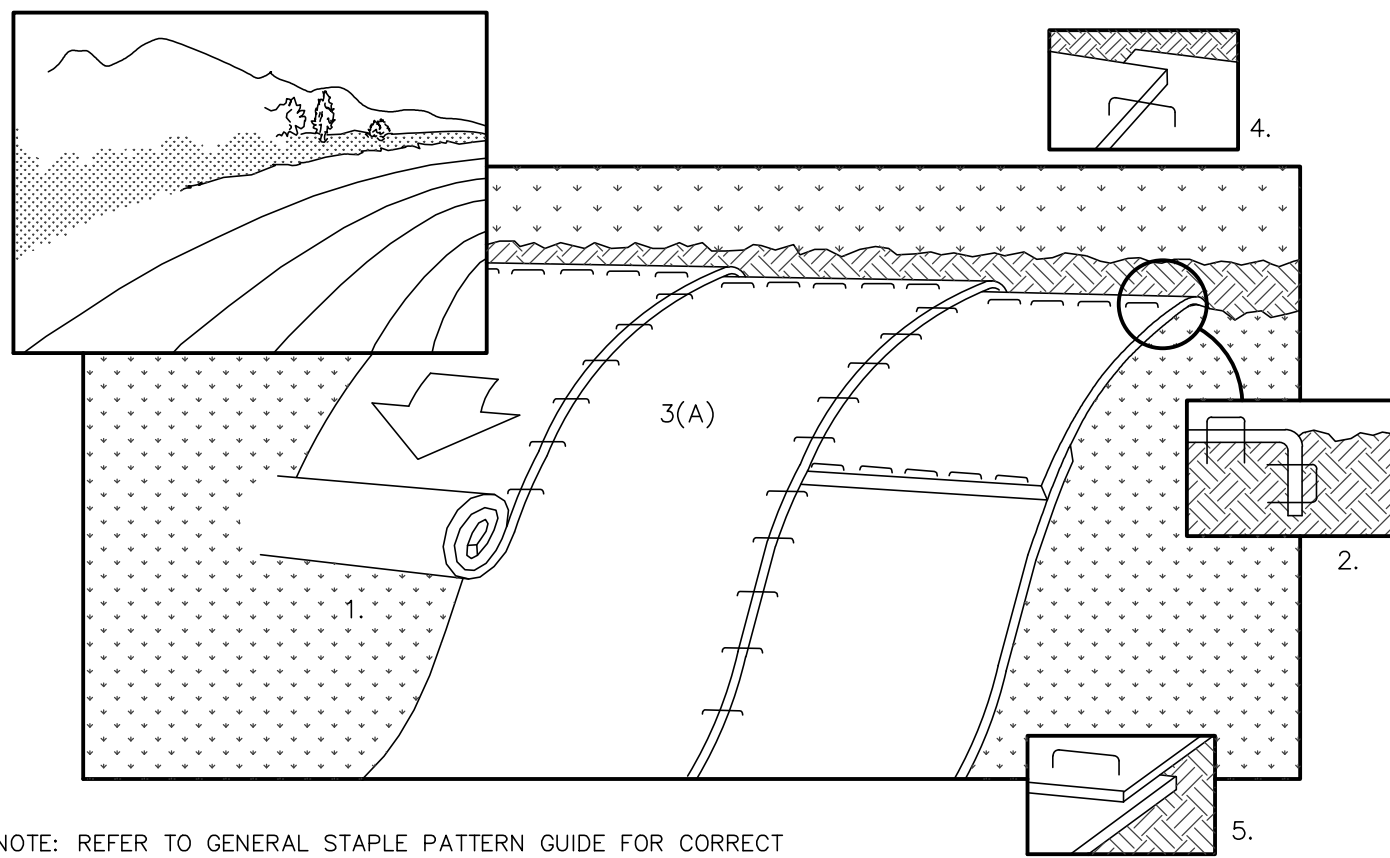
HDPE PIPE BEDDING DETAIL



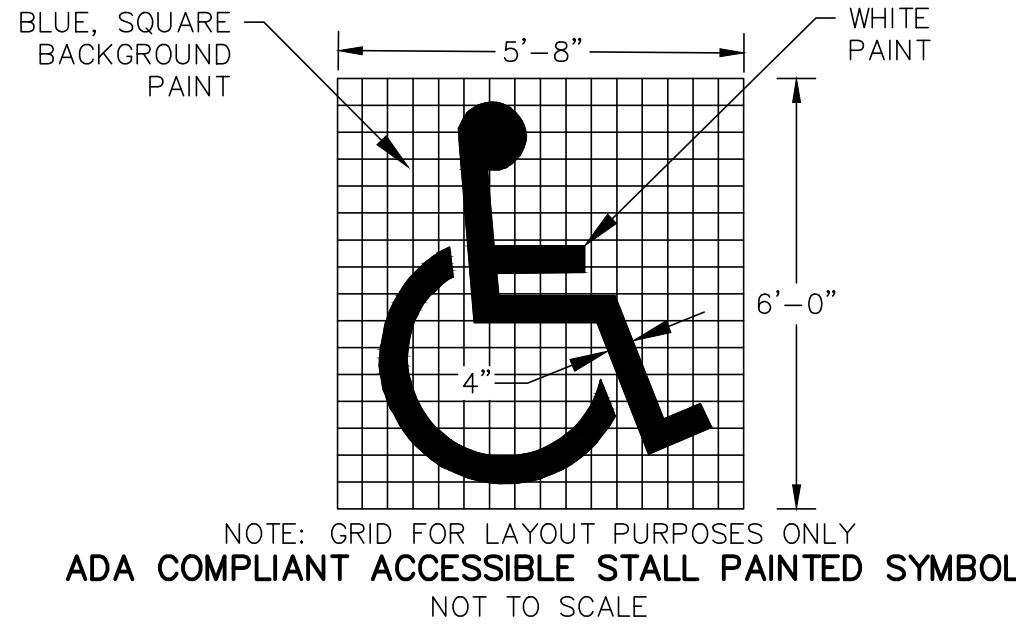
DITCH CHECK DETAIL



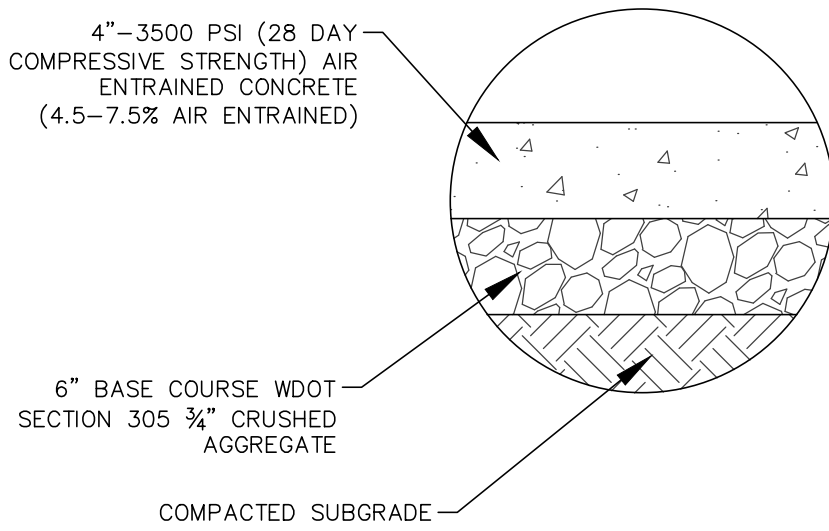
4" CONCRETE SIDEWALK



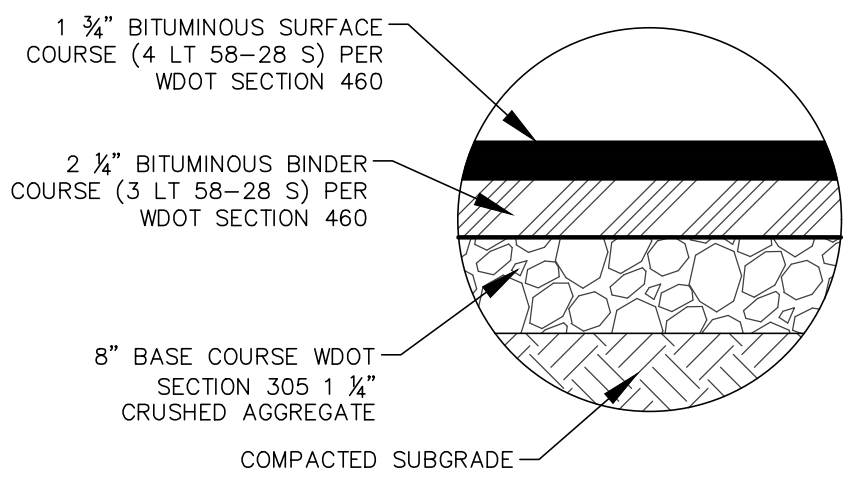
EROSION CONTROL MAT - SLOPE INSTALLATION



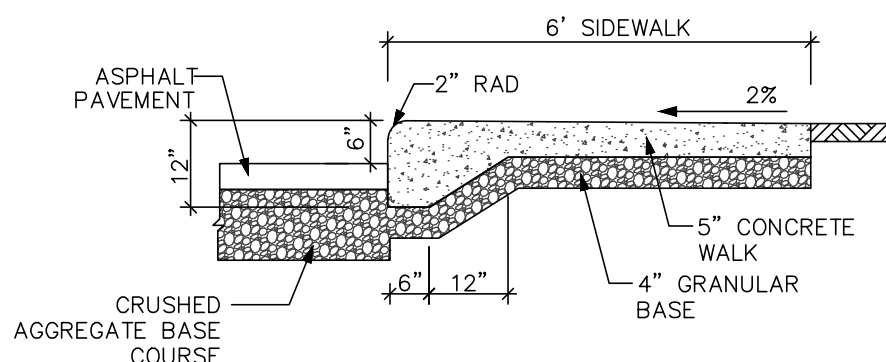
ADA COMPLIANT ACCESSIBLE STALL PAINTED SYMBOL



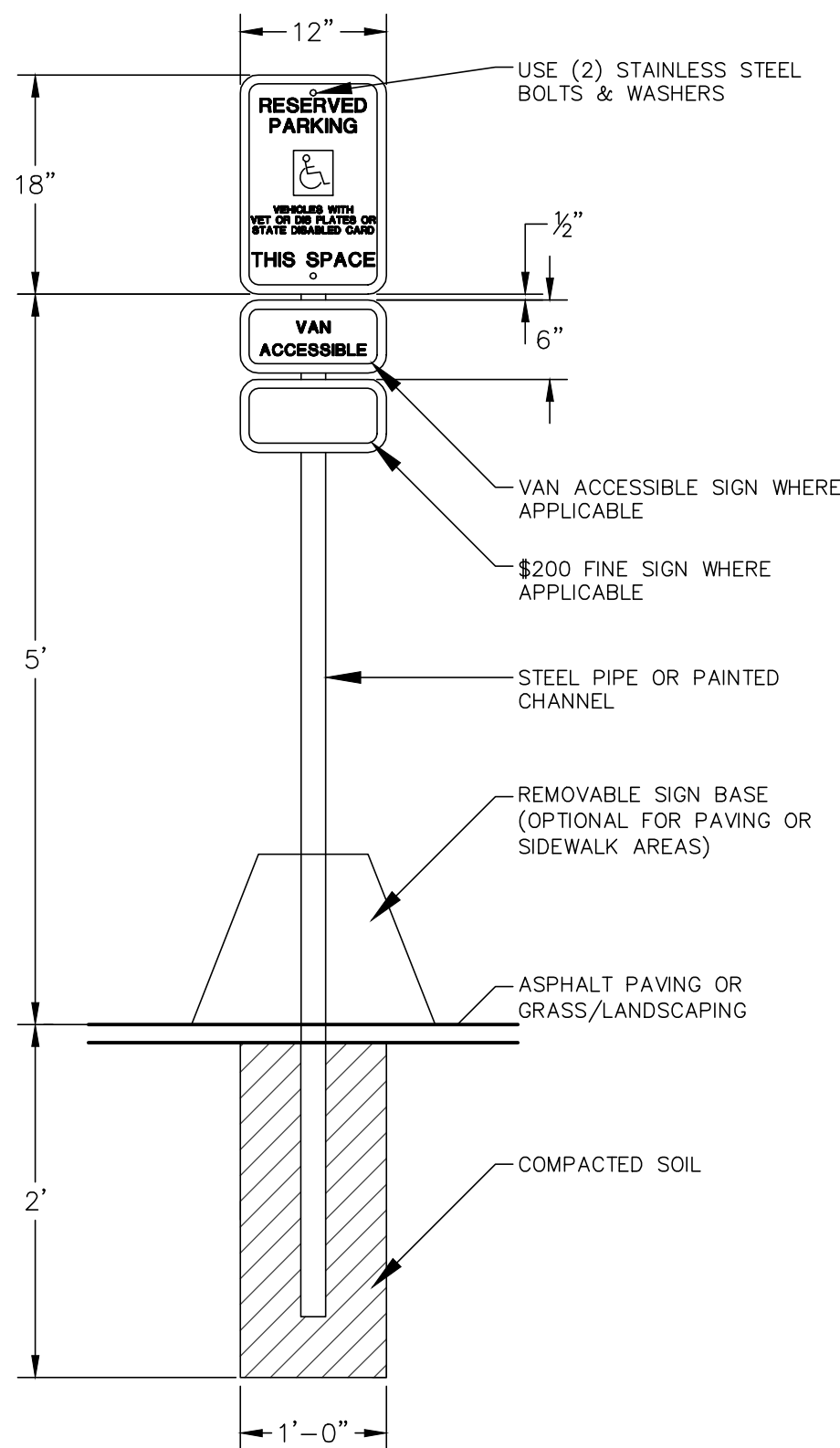
CONCRETE SIDEWALK SECTION



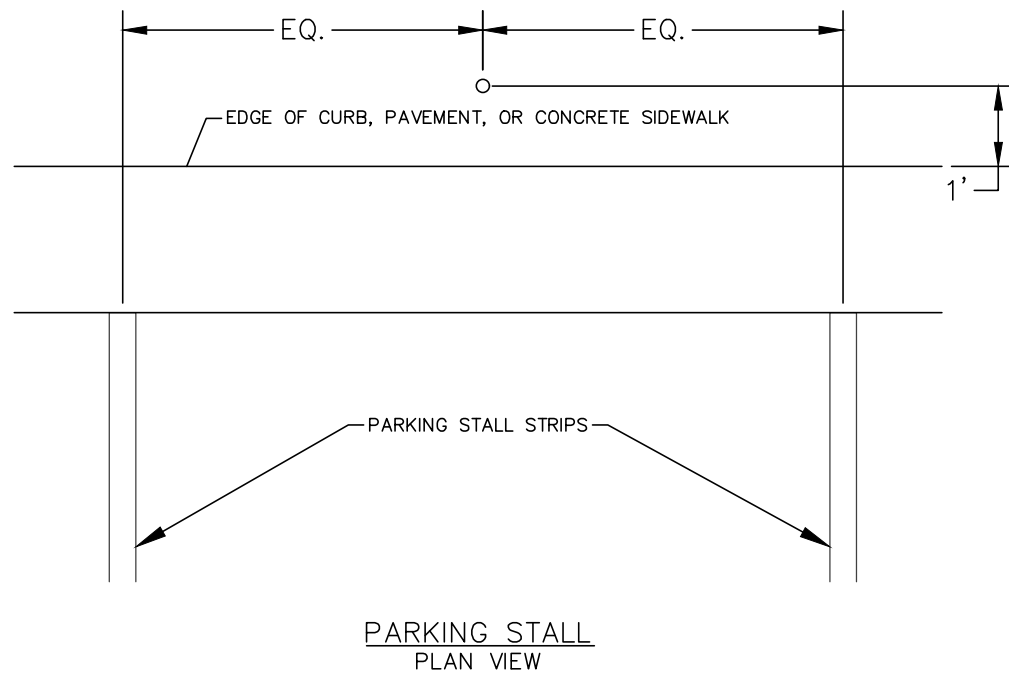
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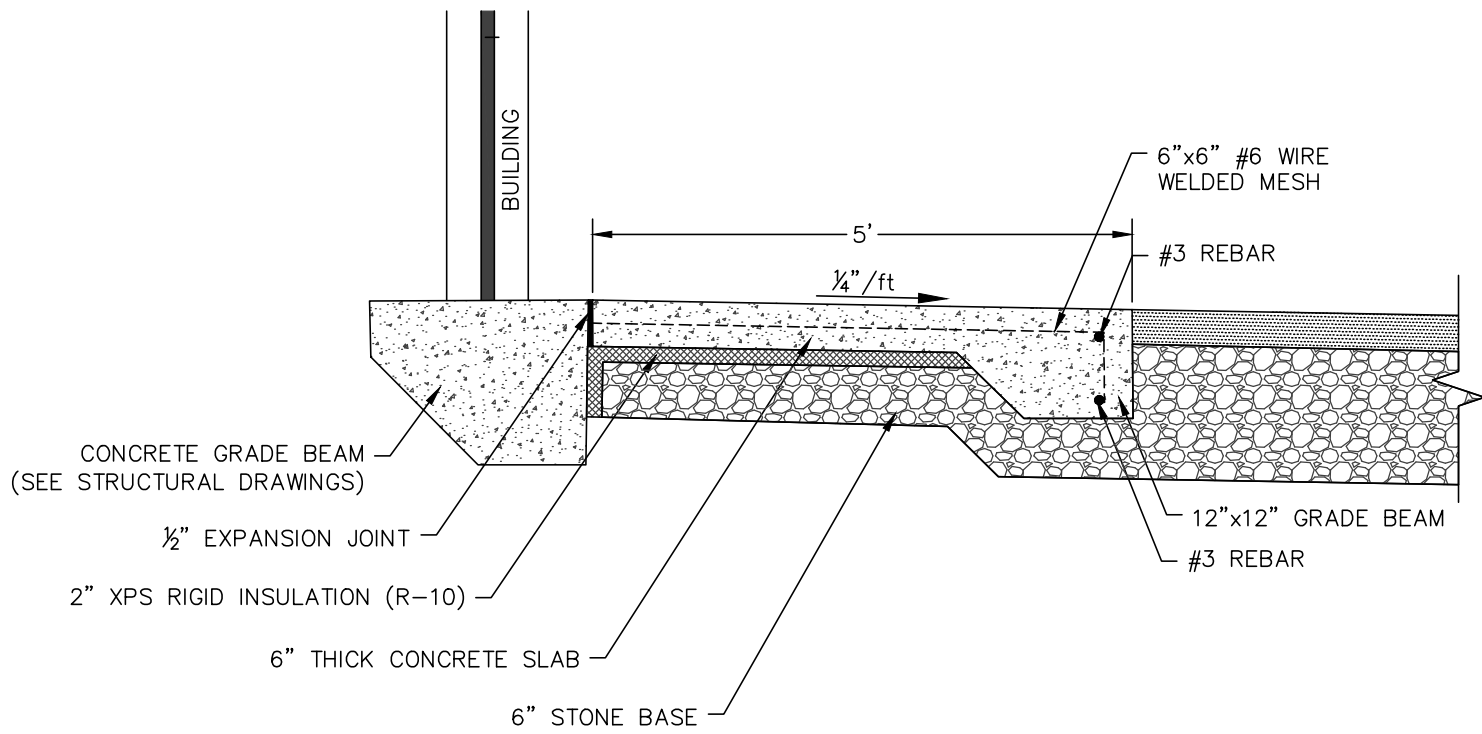
RAISED SIDEWALK DETAIL



ADA COMPLIANT ACCESSIBLE SIGN DETAIL



ADA COMPLIANT ACCESSIBLE SIGN DETAIL



CONCRETE APRON AT OVERHEAD DOOR

REVISIONS:

NO. DATE DESCRIPTION

PSE
PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800
www.parishse.com

PROJECT TITLE:
**MULTI-TENANT BUILDING
QUICK DRIVE
FRANKSVILLE, WI 53126**

PLAN TITLE:

SITE DETAILS

DRAWN BY:

WWS

DESIGNED BY:

JDR

CHECKED BY:

KJP

PLAN DATE:

10/8/2025

PROJECT NO:

IPA-34-23

SUBMITTAL

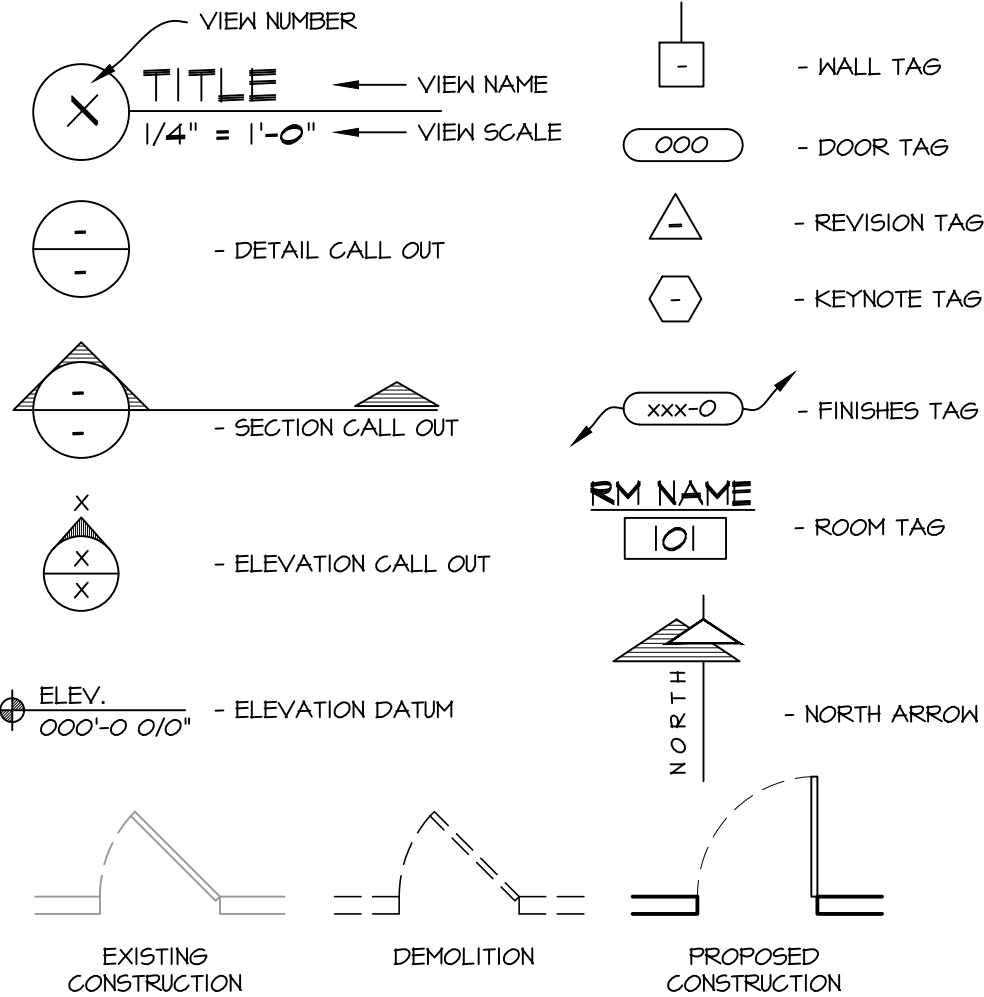
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C2.02

ABBREVIATIONS

AFF	Above Finished Floor	FC	Fire Code	NIC	Not In Contract	T	Tread
ALUM	Aluminum	FD	Floor Drain	NO	Number	T & G	Tongue & Groove
ARCH	Architect	FDN	Foundation	NONCOM	Noncombustible	TEMP	Temporary
		FG	Fiberglass	NTS	Not to Scale	THK	Thick
BLDG	Building	FIN	Finished	O/	On, Over	TOF	Top of Footing
BLKS	Blocking	FLR	Floor	OC	On Center	TRTD	Treated
BRS	Bearing	FT	Foot or Feet	OPNG	Opening	TV	Television
		FTG	Footing	OPP	Opposite	TYP	Typical
CL6	Celling	GYP	Gypsum	OH	Overhead	UL DES	Underwriters
CONC	Concrete	HT	Height	PLY	Plywood		Laboratory
CONSTR	Construction	HC	Handicap	PROP	Property		Designation
CONTR	Contractor(s)	HDR	Header	PT	Point		Unless Noted
CTR	Center	HR	Hour	PVMT	Pavement	UNO	Otherwise
		HVAC	Heating, Ventilating & Air Conditioning	PWR	Power		
DP	Deep			PSF	Pounds per Square Foot	VB	Vapor Barrier
DBL	Double			PSL	Parallel Structure Lumber	VCT	Vinyl Composite Tile
DET	Detail			PLF	Per linear foot	VEN	Veneer
DIA	Diameter	INCL	Including				
DIM	Dimension	INSUL	Insulation				
DN	Down	INT	Interior				
DR	Door	JST	Joint	R	Riser	W	Wide
DS	Downspout	KD	Kiln Dried	RAD	Radius	W	With
DWG	Drawing	LT	Lavatory	REF	Refrigerator	WD	Wood
		LVL	Laminated Veneer Lumber	REIN	Reinforcing	WIN	Window
				REQD	Required	WO	Without
				REV	Revision	WP	Weatherproof
				RM	Room	WFF	Welded Wire Fabric
				RO	Rough Opening		
EA	Each						
ELEC	Electrical						
ELEV	Elevation						
EP	Electrical Panel						
EXT	Exterior						
		MAX	Maximum	SECT	Section		
		MC	Moisture Content	SHT	Sheet		
		MECH	Mechanical	SHTG	Sheeting		
		MET	Metal	SIM	Similar		
		MFR	Manufacturer	SPEC	Specified		
		MIN	Minimum	STD	Standard		
		MISC	Miscellaneous	STOR	Storage		
				SYP	Southern Yellow Pine		

SYMBOL LEGEND



SCOPE OF DRAWING:

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK INTENDED.

PLAN NOTES:

- ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST REVIEW ALL DETAILS OF THEIR TRADES AND BE RESPONSIBLE FOR THE SAME.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. CONSULT THE ARCHITECT WITH ANY QUESTIONS.
- ALL INTERIOR WALLS ARE DIMENSIONED FINISH TO FINISH UNLESS NOTED OTHERWISE. (SEE WINDOW TYPES FOR ACTUAL DIMENSIONS)
- PLACEMENT OF BUILDING COMPONENTS, MECHANICAL EQUIP. APPLIANCES AND ELECTRICAL COMPONENTS IS SUBJECT TO FIELD ADJUSTMENT. ACTUAL CONSTRUCTION MAY NOT CONFORM EXACTLY TO THE LOCATIONS INDICATED ON THESE DRAWINGS.

GENERAL NOTES:

- THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
- CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS, FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING AND SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.), FOR COORDINATION OF THE VARIOUS TRADES, FOR SAFE CONDITIONS ON THE JOB SITE, AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
- THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
- UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
- UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGARS, PIPE SLEEVES, HOLES OR ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.
- THE CONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY HEALTH ACT REQUIREMENTS.
- ALL STATE OF WISCONSIN, LOCAL AND O.S.H.A. SAFETY CODES SHALL BE A PART OF THESE PLANS, AND IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PARTIES THAT WORK AT OR VISIT THE JOB SITE COMPLY WITH SAME.

SITE & BUILDING DATA :

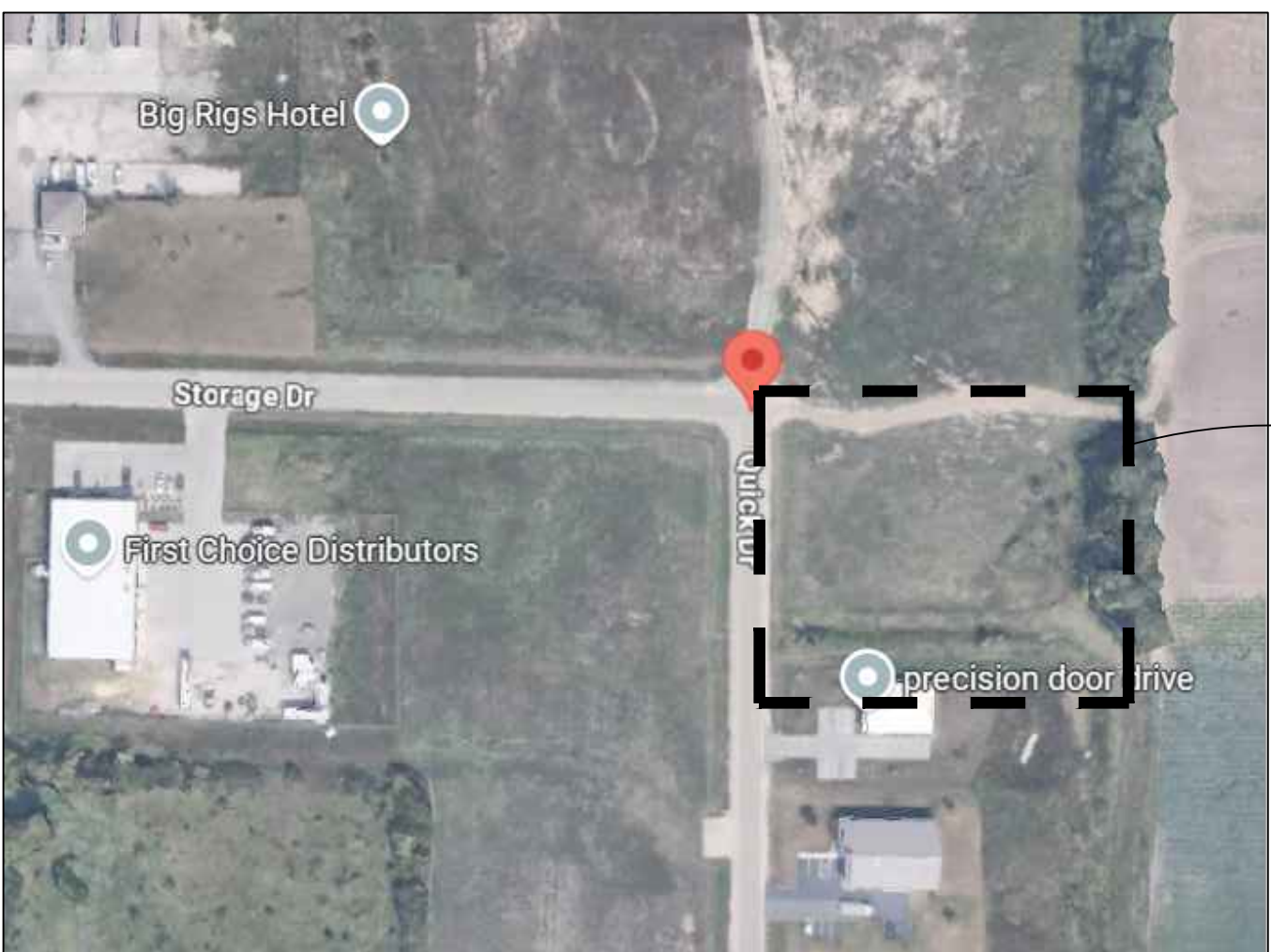
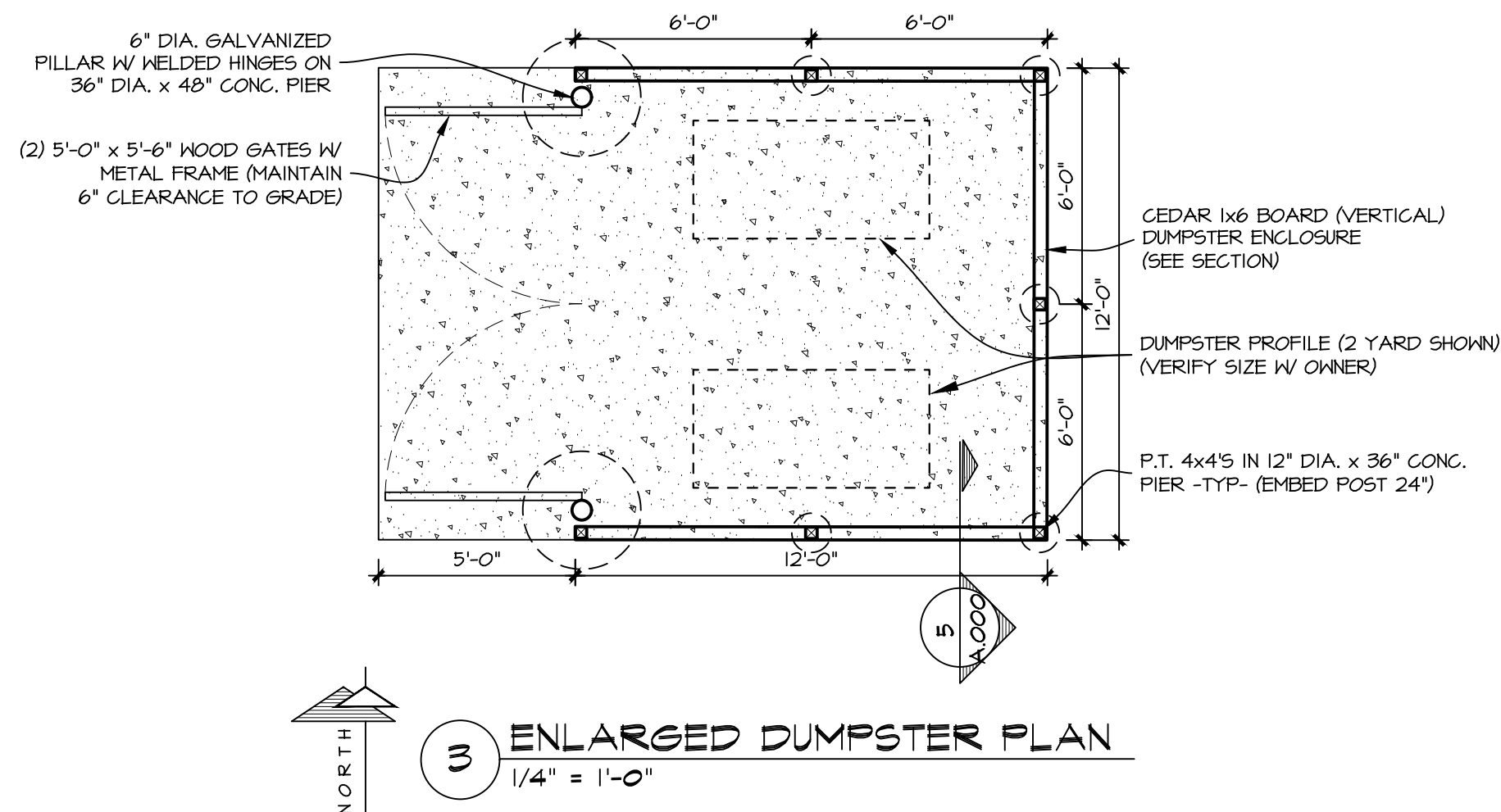
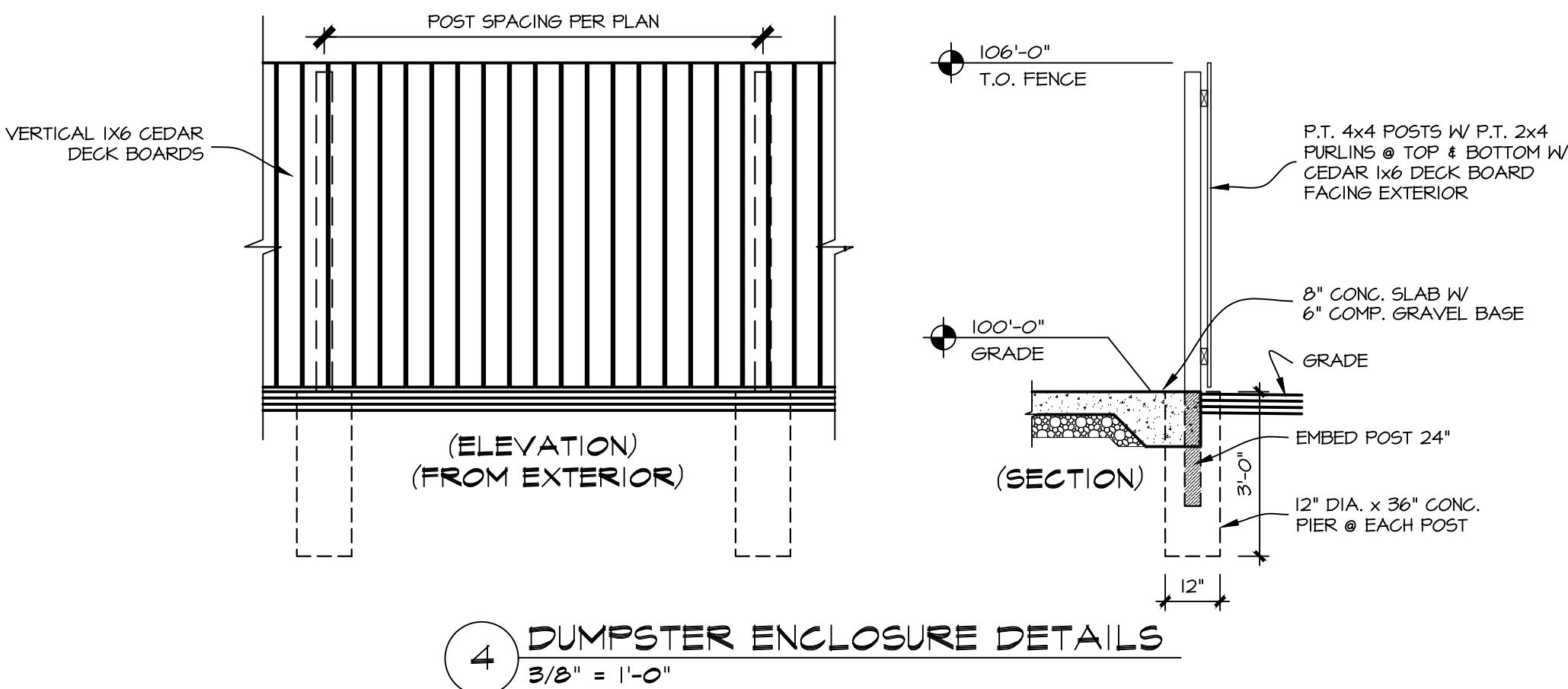
2015 IBC CODE

USE AND OCCUPANCY CLASSIFICATION; (chapter-3)	NON-SEPARATED MIXED USE: "S-1" IS MOST RESTRICTIVE "S-1" - MODERATE HAZARD STORAGE (ENCLOSED PARKING GARAGE) "B" - BUSINESS OCCUPANCY		
ALLOWABLE AREA AND HEIGHT;	"S-1" (V-B) ONE STORY - 9,000 sq. ft.		
ACTUAL AREA;	TOTAL BUILDING AREA:	8,723 sq. ft.	
	TENANT #1 AREA:	1,613 sq. ft.	
	TENANT #2 FIRST FLOOR AREA:	5,899 sq. ft.	
	TENANT #2 BASEMENT AREA:	1,211 sq. ft.	
SPRINKLERS;	NONE		
CONSTRUCTION TYPE; (Table-G01)	"V-B"		
FIRE RATINGS (per table G01 & G02)	0 - HR. RATING		
STRUCTURAL FRAME;	0 - HR. RATING		
BEARING WALLS EXTERIOR;	0 - HR. RATING		
BEARING WALLS INTERIOR;	0 - HR. RATING		
NON-BEARING WALLS EXTERIOR;	0 - HR. RATING		
NON-BEARING WALLS INTERIOR;	0 - HR. RATING		
FLOOR CONSTRUCTION;	0 - HR. RATING		
ROOF CONSTRUCTION;	0 - HR. RATING		
EXIT TRAVEL DISTANCE; (table 1017.2)	200 feet		
COMMON PATH OF TRAVEL; (per 1006.2.1)	75 FEET - "B" BUSINESS 100 FEET - "S-1" MODERATE HAZARD STORAGE		
TOTAL OCCUPANCY LOADING (per TABLE 1004.1.1)	23 TOTAL OCCUPANTS IN BUILDING		
	TENANT #1: (8 TOTAL OCCUPANTS)		
	(OFFICE (BUSINESS) AREAS = 6 OCCUPANTS (SEE OCCUPANCY PLAN)		
	(STORAGE AREAS) = 2 OCCUPANTS (SEE OCCUPANCY PLAN)		
	TENANT #2: (REQUESTED REDUCTION TO 15 MAX. OCCUPANTS)		
	(STORAGE / MECH AREAS) = 18 OCCUPANTS (SEE OCCUPANCY PLAN)		
	(OFFICE (BUSINESS) AREAS) = 9 OCCUPANTS (SEE OCCUPANCY PLAN)		

PLUMBING FIXTURE REQUIREMENTS: (per TABLE 2902.1)					
TENANT #1:					
WATER CLOSETS "B BUSINESS"					
MALE (1 PER 25)	(4 / 25) = .16 REQUIRED	>	1 UNISEX REQD (PER 2902.2, EX #2)	1 UNISEX PROPOSED	
FEMALE (1 PER 25)	(4 / 25) = .16 REQUIRED				
LAVATORIES (1 PER 40)	(8 / 40) = .2 REQUIRED				
TENANT #2:					
WATER CLOSETS "B BUSINESS"					
MALE (1 PER 25)	(8 / 25) = .32 REQUIRED	>	1 UNISEX REQD (PER 2902.2, EX #2)	1 UNISEX PROPOSED	
FEMALE (1 PER 25)	(8 / 25) = .32 REQUIRED				
LAVATORIES (1 PER 40)	(15 / 40) = .375 REQUIRED				

SHEET INDEX

T.100	BUILDING DATA, SATELLITE IMAGE, RENDER & GENERAL NOTES
A.001	STANDARD MOUNTING HEIGHTS & GENERIC ACCESSIBILITY STANDARDS
A.002	EGRESS & OCCUPANCY PLAN & DETAILS
A.100	FOUNDATION PLAN & DETAILS
A.101	FIRST FLOOR PLAN, BASED REFINED PLANS, & WALL TYPES
A.120	ROOF PLAN
A.200	ELEVATIONS
A.300	SECTIONS
A.301	SECTIONS
A.500	ROOM SCHEDULE, DOOR SCHEDULE, DOOR, FRAME, & DETAILS
S.100	STRUCTURAL SPECIFICATIONS
S.101	BUILDING LOADING DIAGRAMS
S.102	CONCRETE SCHEDULES & DETAILS
S.103	STRUCTURAL SPECIFICATIONS & DETAILS
S.104	LATERAL BRACING & DETAILS



SATELLITE IMAGE



PROPOSED RENDERING (NEW FROM N.W.)



REVISIONS:

11/24-5/25:	PREVIOUS BLD.
7/31/25:	PRELIM #1
9/9/25:	PRELIM #2
10/9/25:	BID SET

CALEDONIA MIXED-USE BUILDING

CORNER OF STORAGE DRIVE & QUICK DRIVE
CALEDONIA, WI

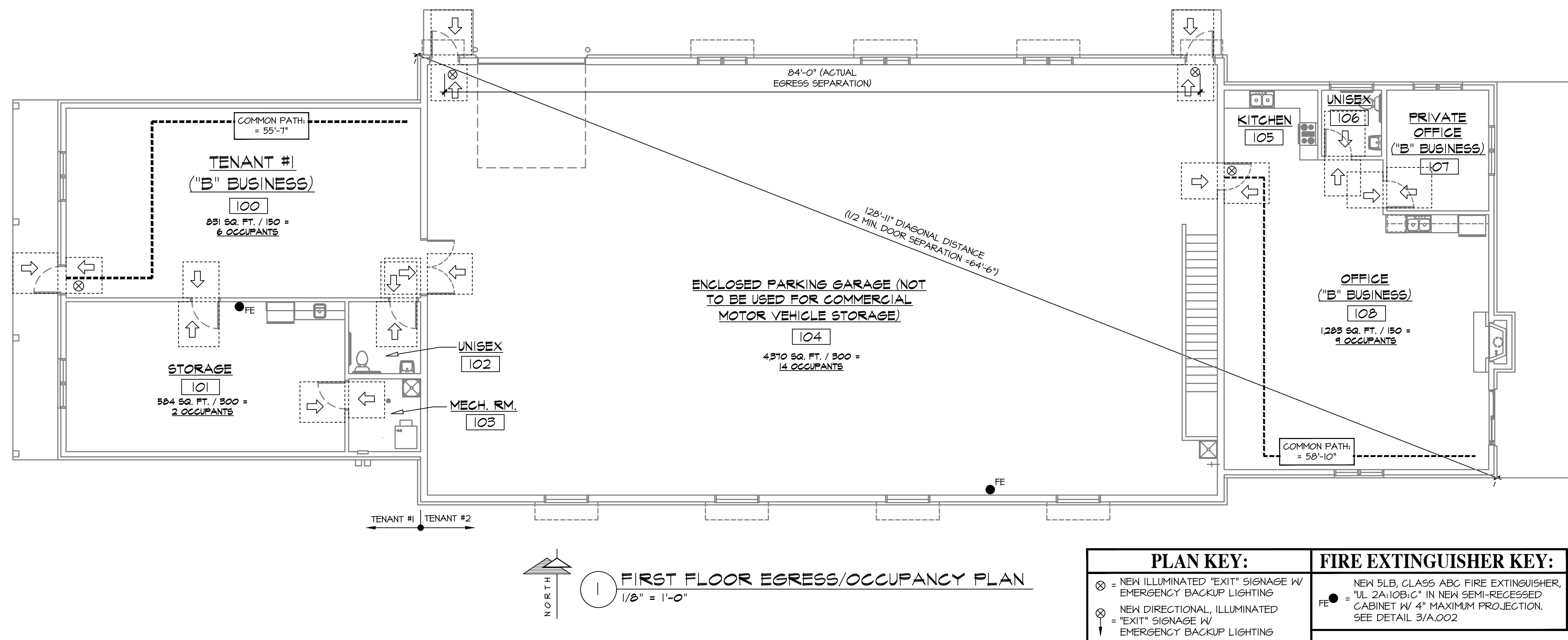
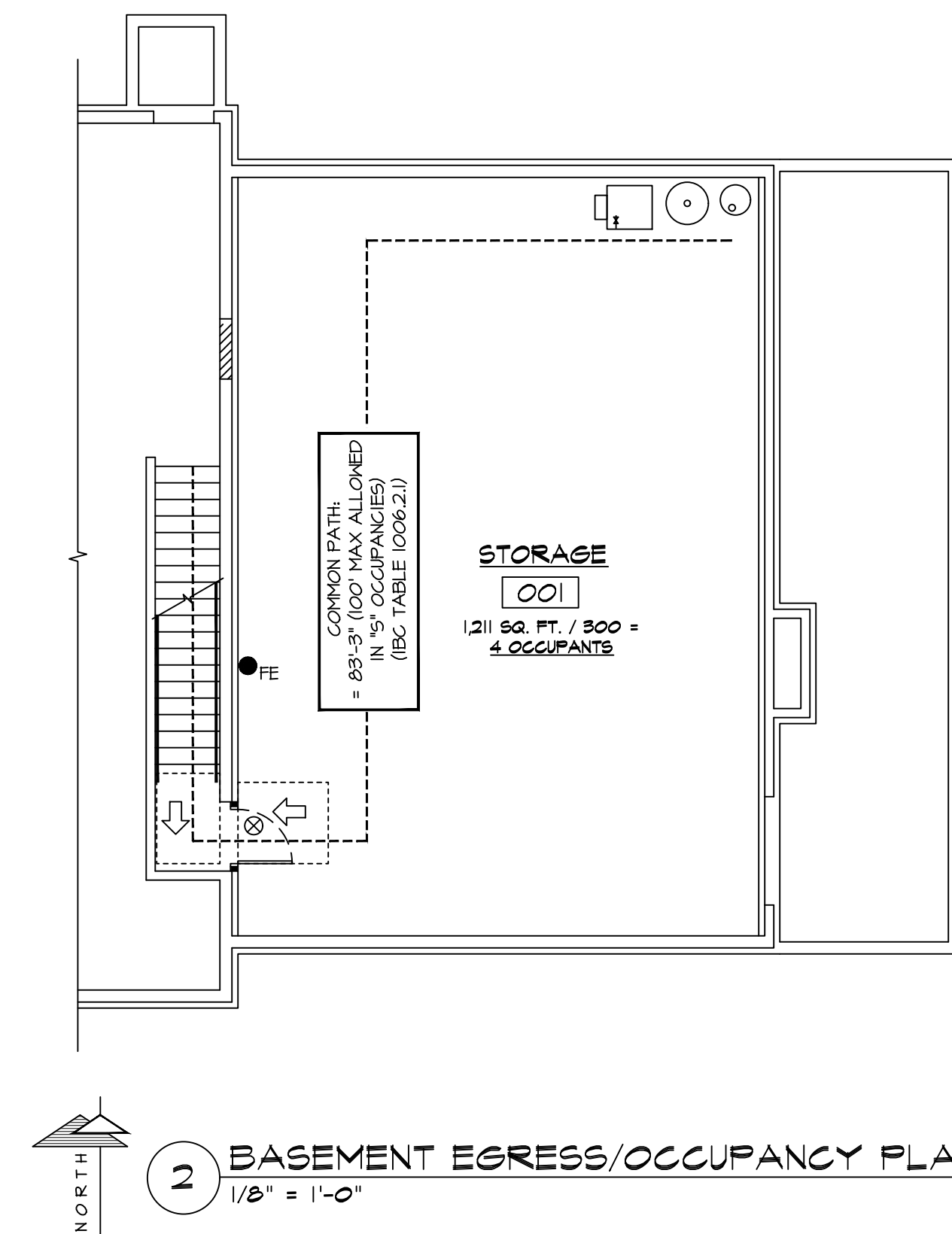
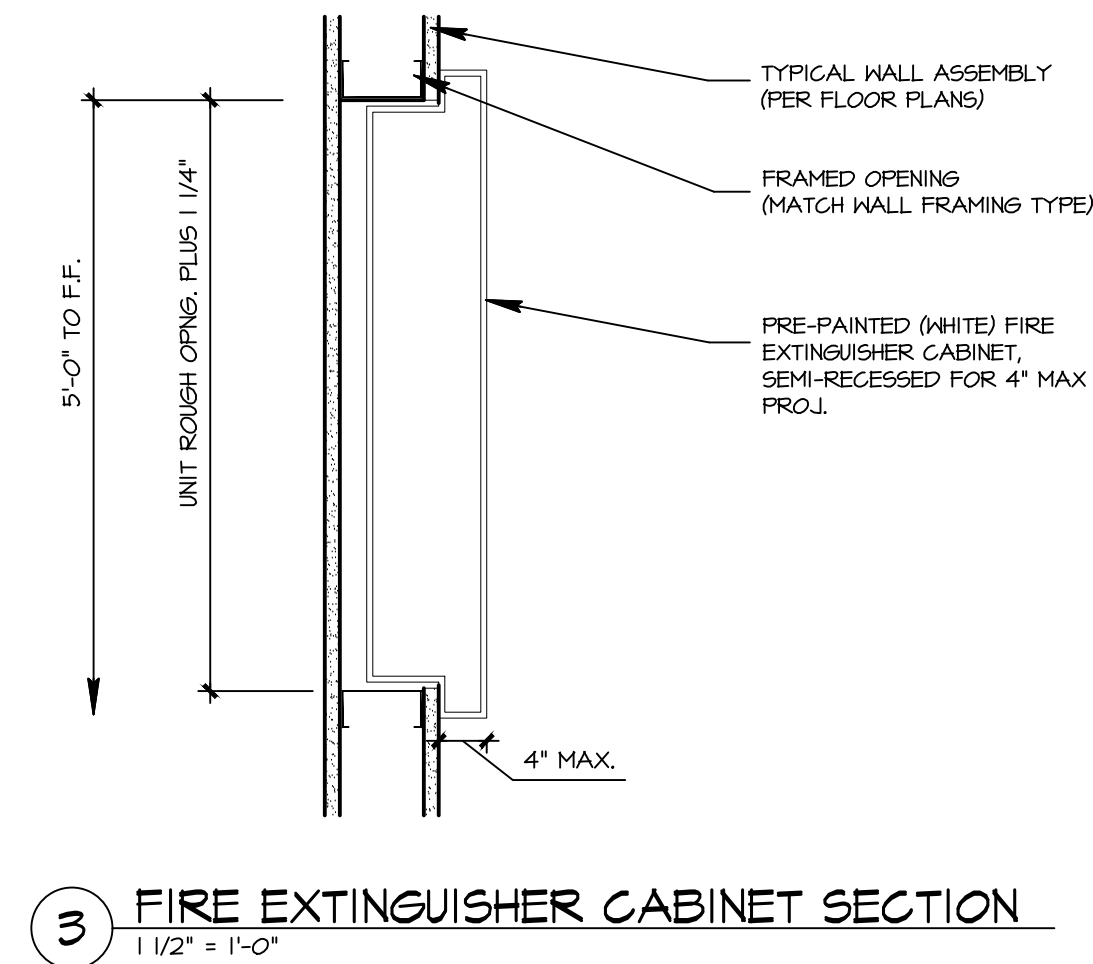
SHEET TITLE:
BUILDING DATA, SATELLITE IMAGE, RENDER & GENERAL NOTES

T.100

DATE: JULY 31, 2025

PROJECT NUMBER: 18-324.3





PLAN KEY:	FIRE EXTINGUISHER KEY:
⊗ = NEW ILLUMINATED "EXIT" SIGNAGE W/ EMERGENCY BACKUP LIGHTING ⊗ = NEW DIRECTIONAL, ILLUMINATED "EXIT" SIGNAGE W/ EMERGENCY BACKUP LIGHTING	NEW 5LB, CLASS ABC FIRE EXTINGUISHER FE ● = "UL 2A110B-C" IN NEW SEMI-RECESSED CABINET W/ 4" MAXIMUM PROJECTION. SEE DETAIL 3/A.002

FIRE EXTINGUISHER KEY:

NEW 5LB. CLASS ABC FIRE EXTINGUISHER
FE = "UL 2A:10B:C" IN NEW SEMI-RECESSED
CABINET W/ 4" MAXIMUM PROJECTION.
SEE DETAIL 3/A.002

CALEDONIA MIXED-USE BUILDING

CORNER OF STORAGE DRIVE & QUICK DRIVE
CALEDONIA, WI

SHEET TITLE:

CONGRESS & OCCUPANCY PLAN & DETAILS


patera
ARCHITECTURE + ENGINEERING
4040 N. Chilton Road Suite #200 • Brookfield, WI 53005
(OFFICE) 262-786-6776

4040 N. Calhoun Road Suite #200 • Brookfield, WI 53005

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(OFFICE) 262-786-6776

REVISIONS:

11/24-5/25: PREVIOUS BLD.

7/31/25: PRELIM #1

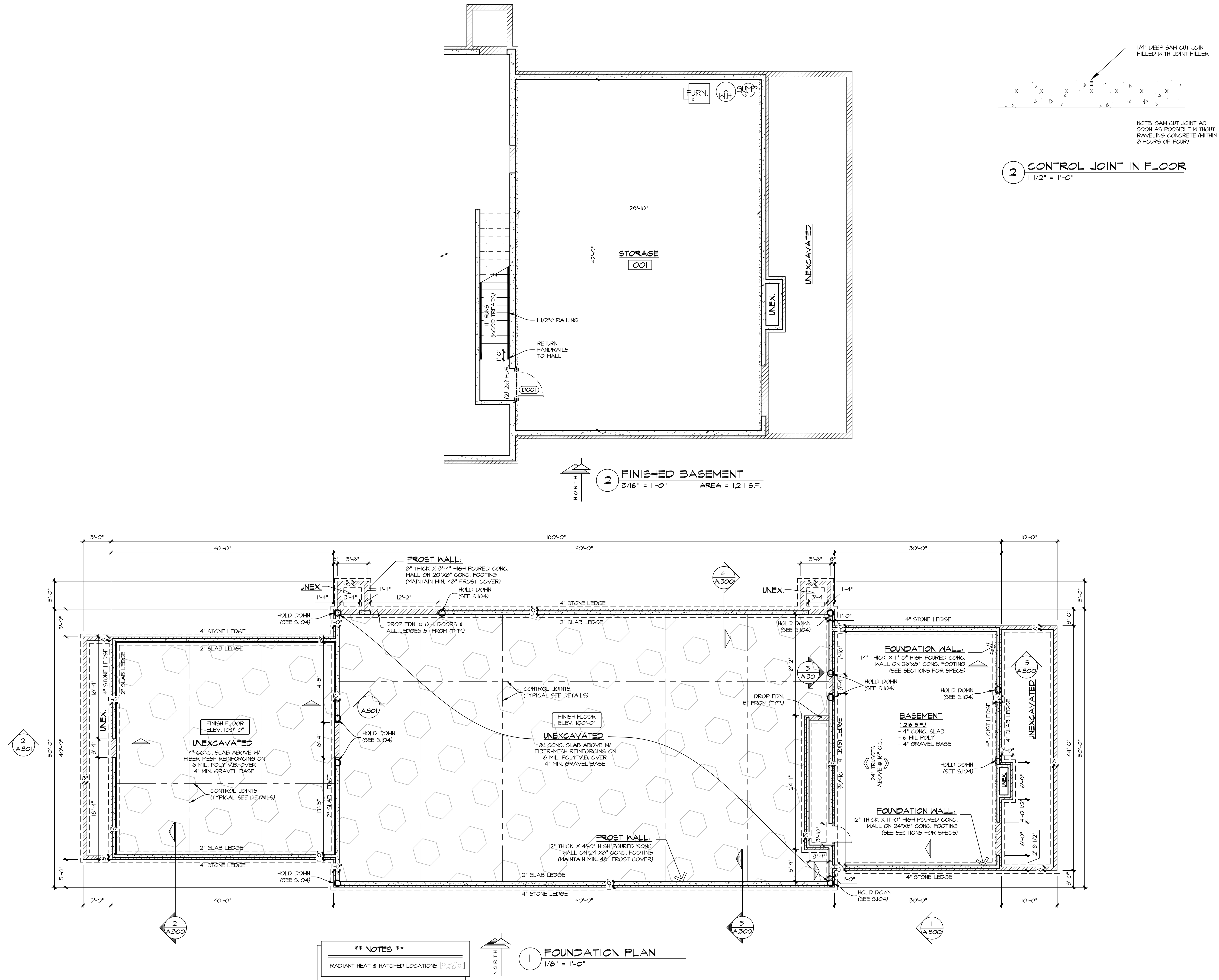
9/9/25: PRELIM #2

10/9/25: BID SET

DATE: JULY 31, 2025

PROJECT NUMBER: 18-324.1

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CALEDONIA MIXED-USE BUILDING

CORNER OF STORAGE DRIVE & QUICK DRIVE
CALEDONIA, WI

SHEET TITLE:

FOUNDATION PLAN & DETAIL

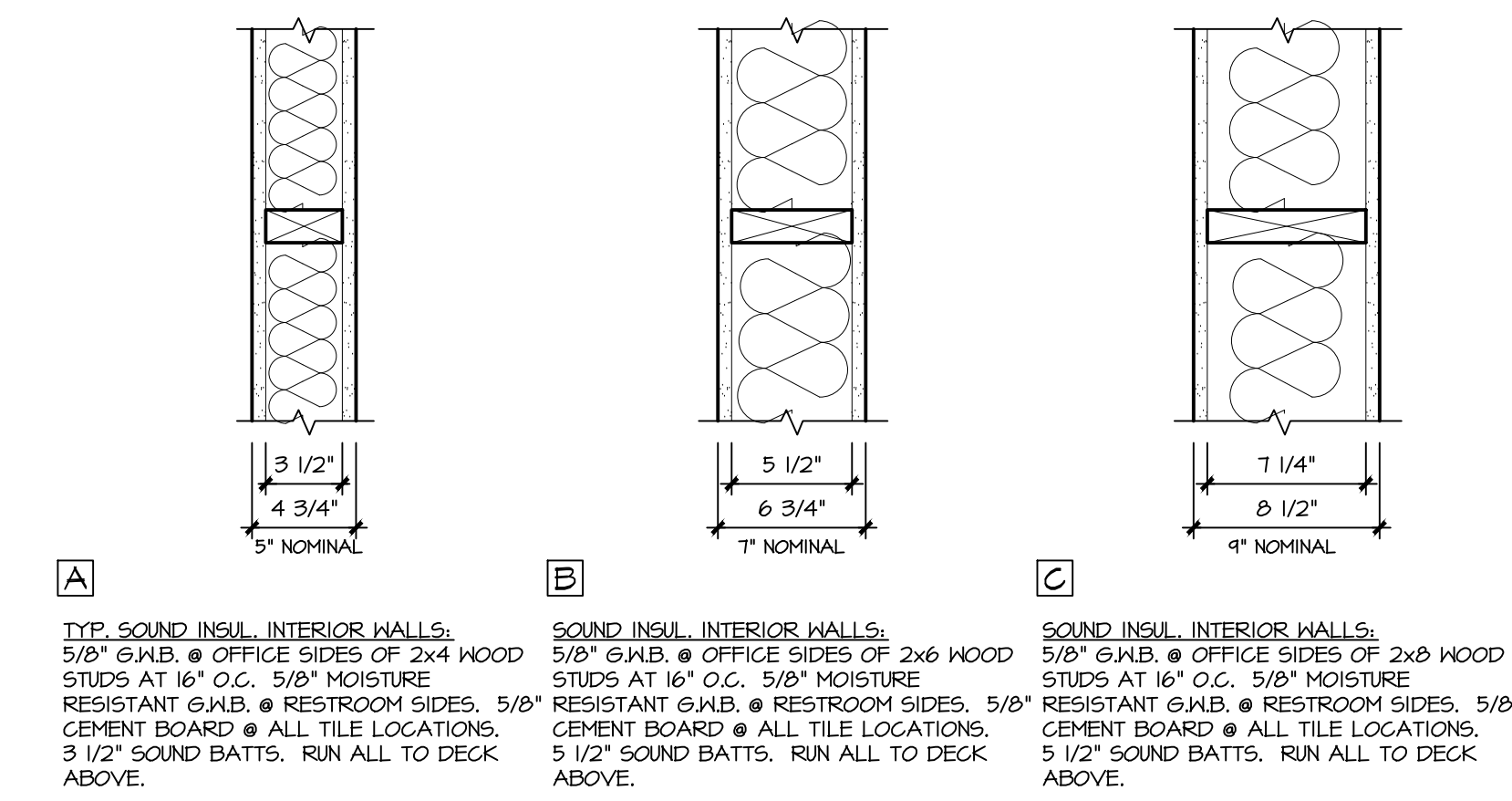
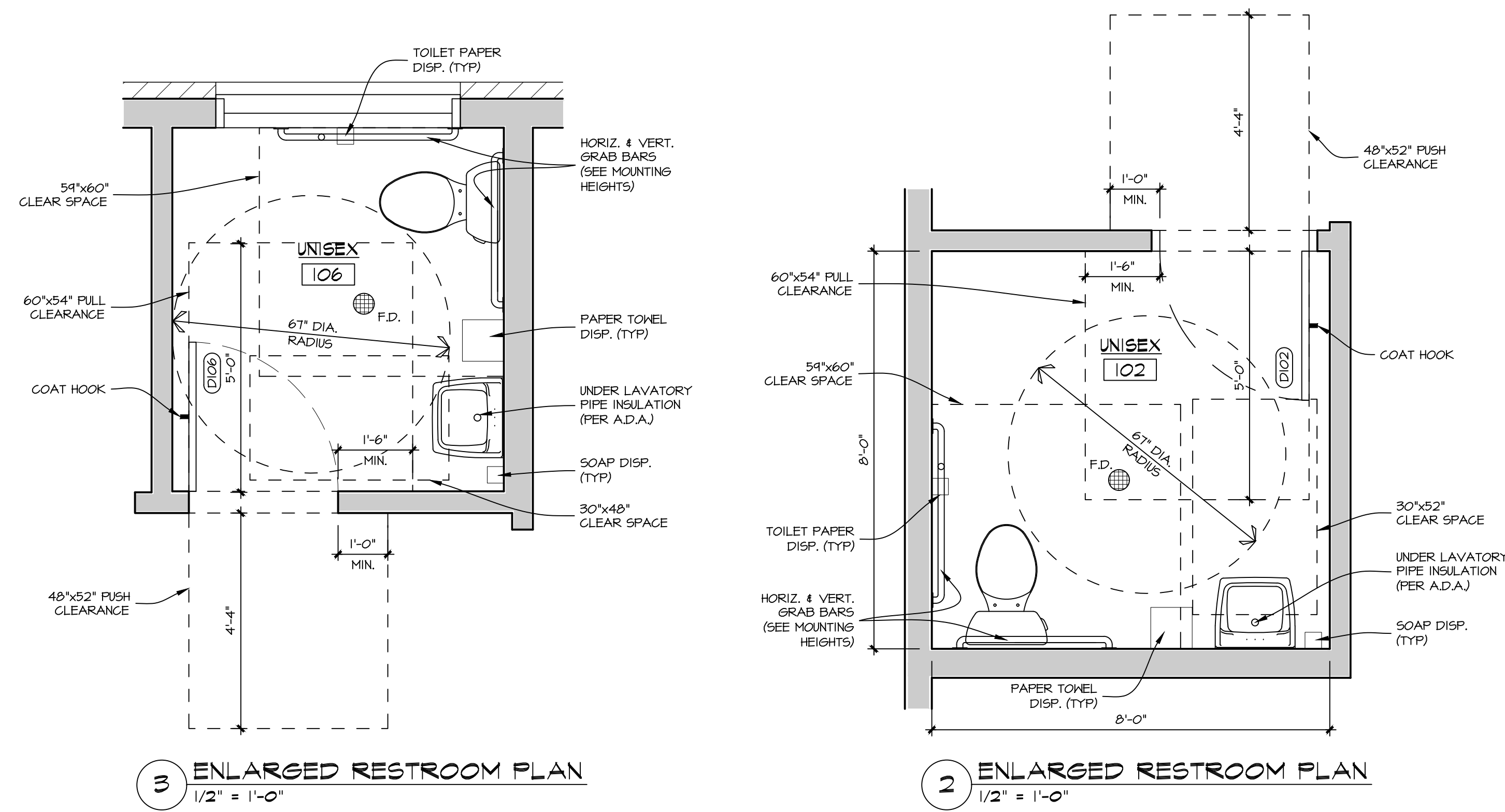
A.100

DATE: JULY 31, 2025

PROJECT NUMBER: 18-324.3

REVISIONS:

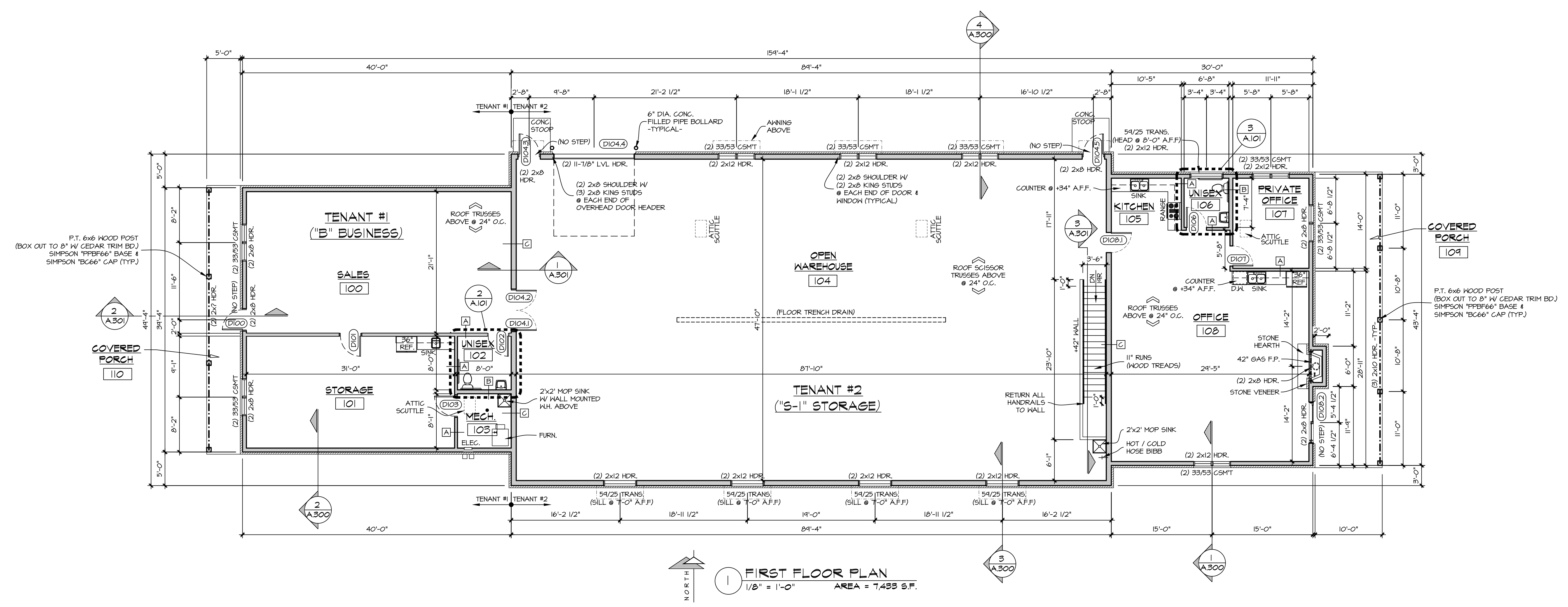
11/24-5/25: PREVIOUS BLD.
7/31/25: PRELIM #1
9/9/25: PRELIM #2
10/9/25: BID SET



WALL TYPES
1-1/2" = 1'-0"

1 ENLARGED RESTROOM PLAN
1/2" = 1'-0"

2 ENLARGED RESTROOM PLAN
1/2" = 1'-0"



1 FIRST FLOOR PLAN
1/8" = 1'-0" AREA = 7,433 S.F.

CALEDONIA MIXED-USE BUILDING

CORNER OF STORAGE DRIVE & QUICK DRIVE
CALEDONIA, WI

SHEET TITLE:
FIRST FLOOR PLAN, ENLARGED RESTROOM PLANS, & WALL TYPES

A.101

DATE: JULY 31, 2025

PROJECT NUMBER: 18-324.3

REVISIONS:
11/24-5/25: PREVIOUS BLD.
7/31/25: PRELIM #1
9/9/25: PRELIM #2
10/9/25: BID SET

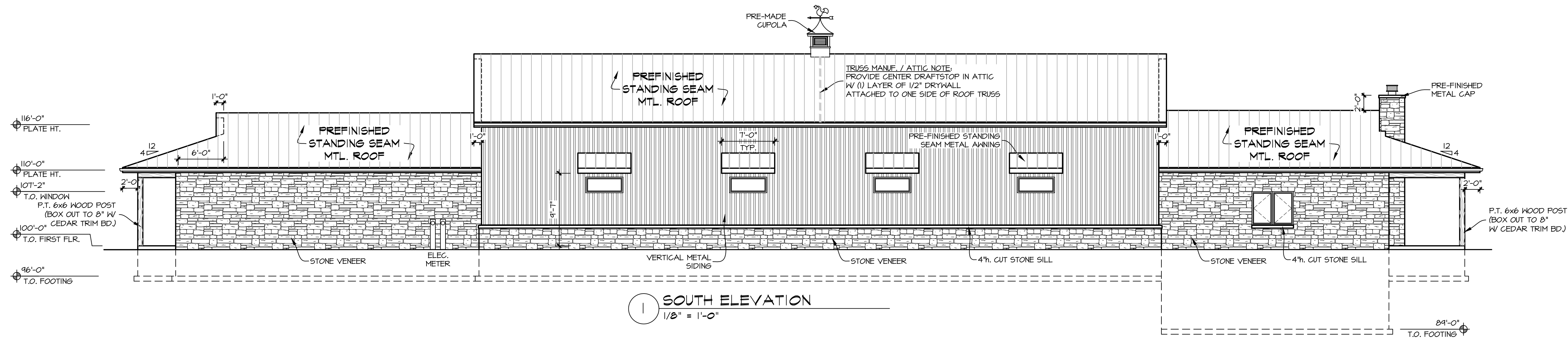


PROPOSED ROOF PLAN

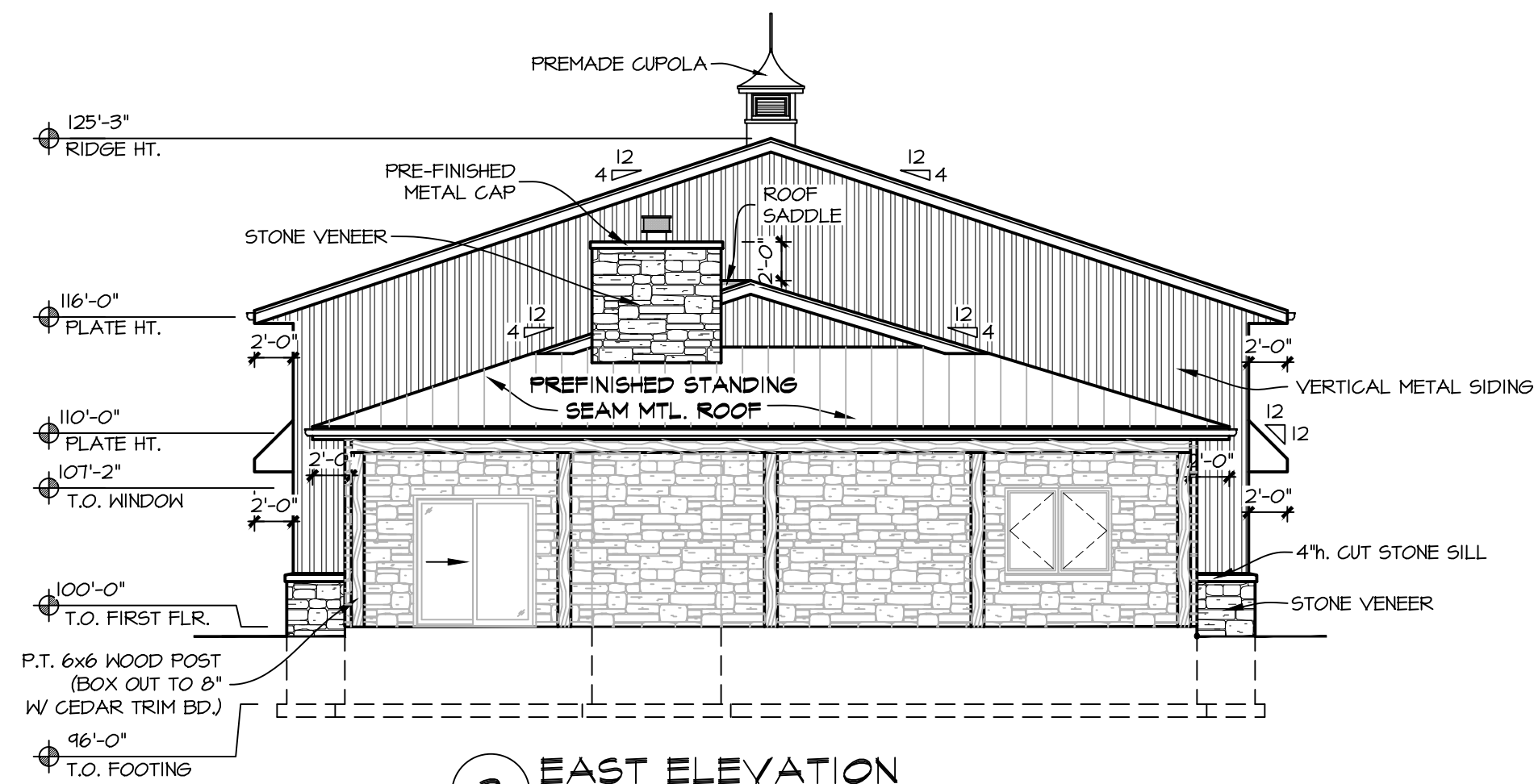
PROJECT NUMBER: 18-324.3



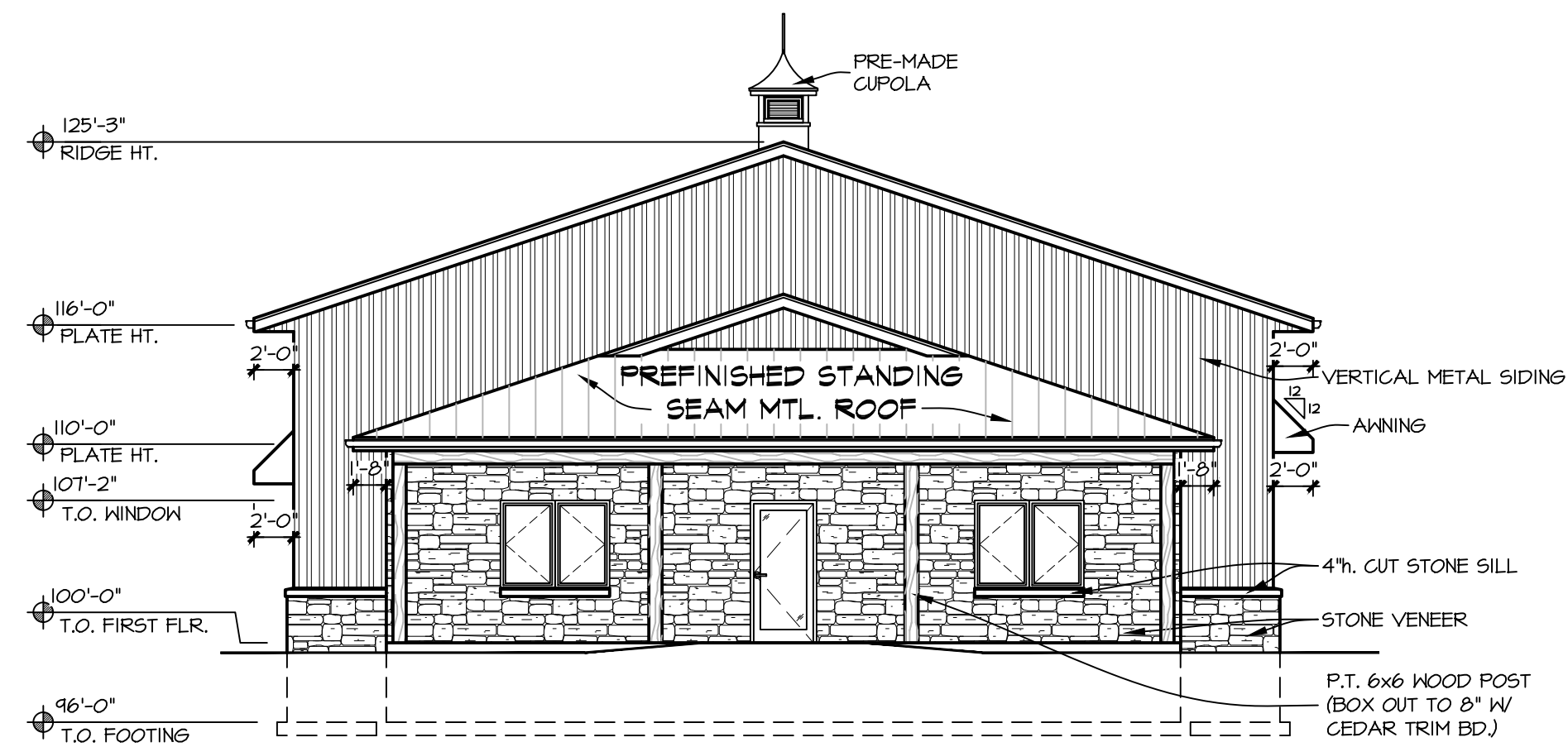
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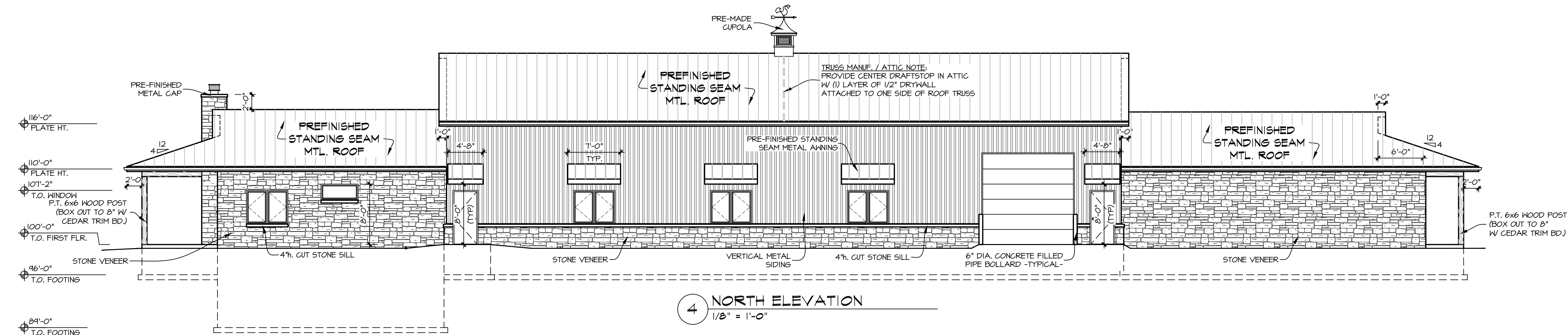
1 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



4 NORTH ELEVATION
1/8" = 1'-0"

REVISIONS:
11/24-5/25: PREVIOUS BLD.
7/31/25: PRELIM #1
9/9/25: PRELIM #2
10/9/25: BID SET

CALEDONIA MIXED-USE BUILDING

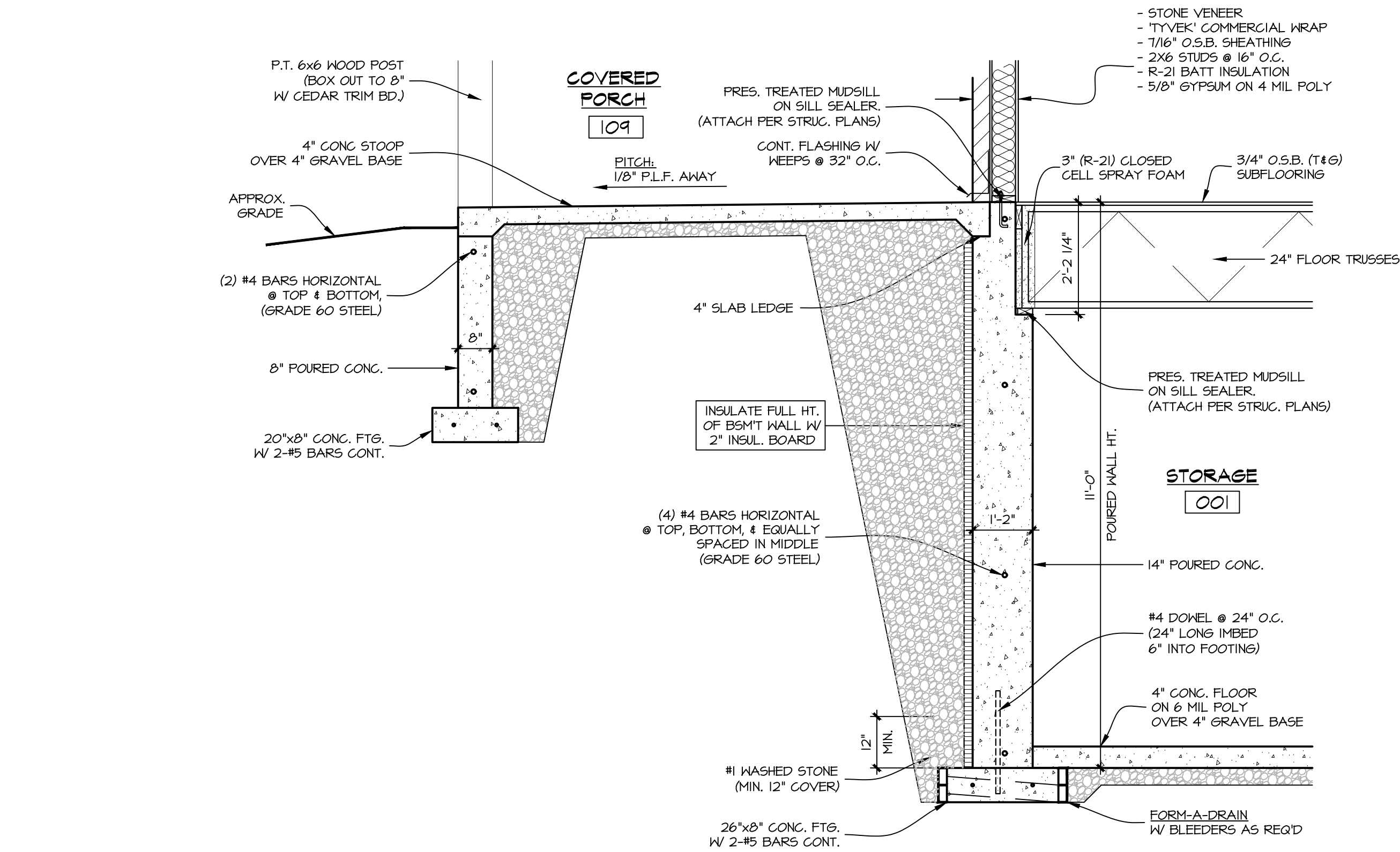
CORNER OF STORAGE DRIVE & QUICK DRIVE
CALEDONIA, WI

SHEET TITLE:
ELEVATIONS

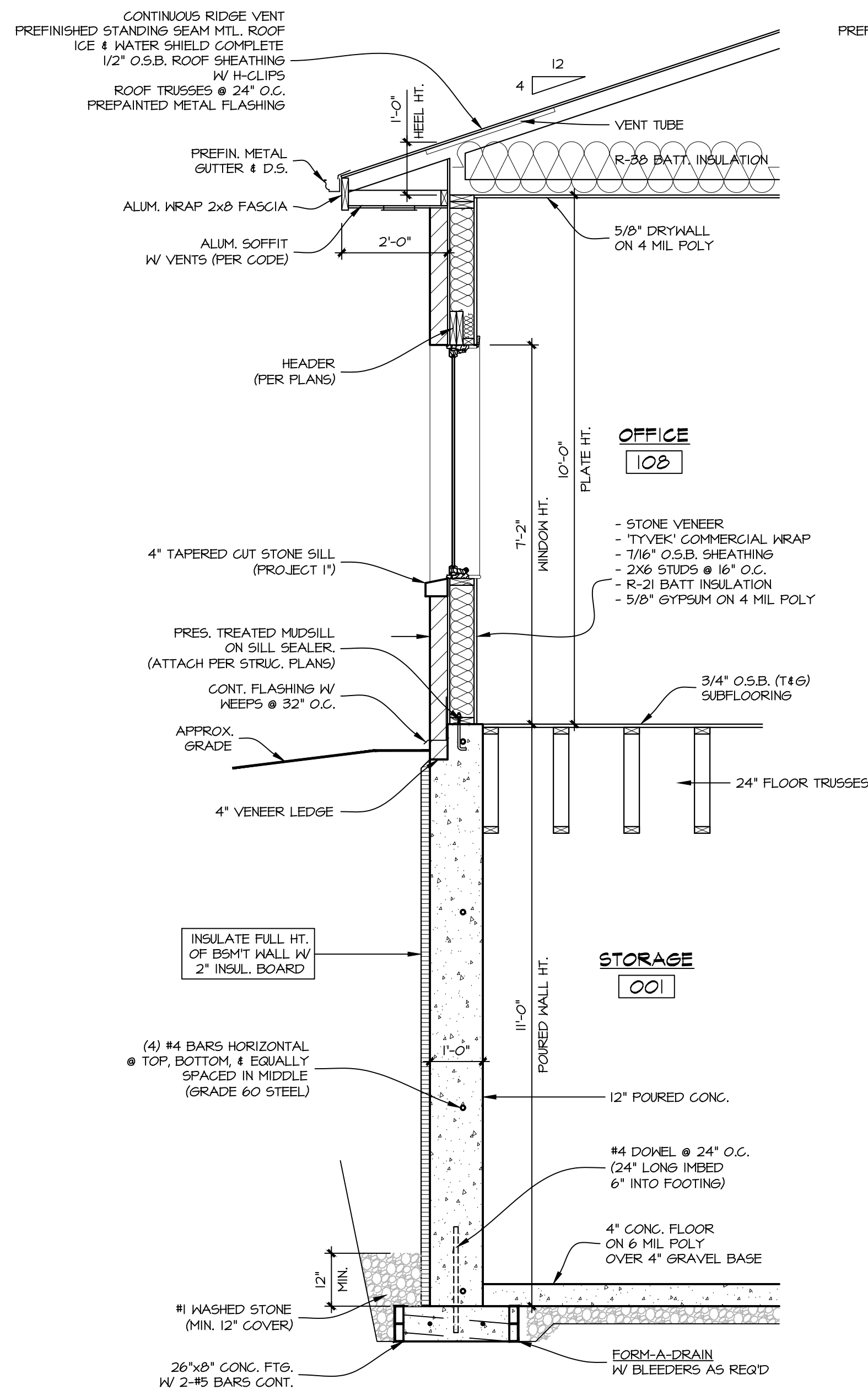
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DATE: JULY 31, 2025

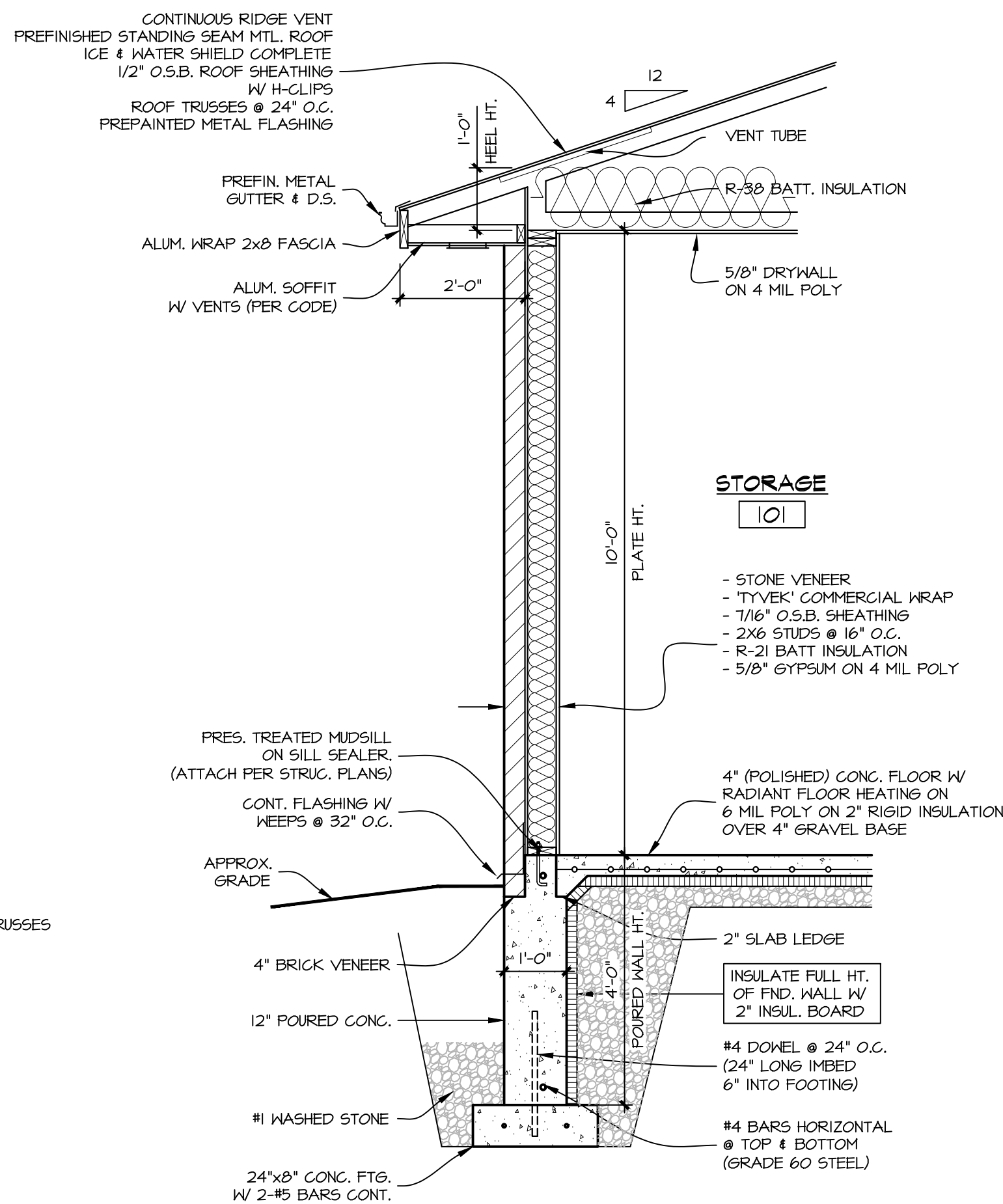
PROJECT NUMBER: 18-324.3



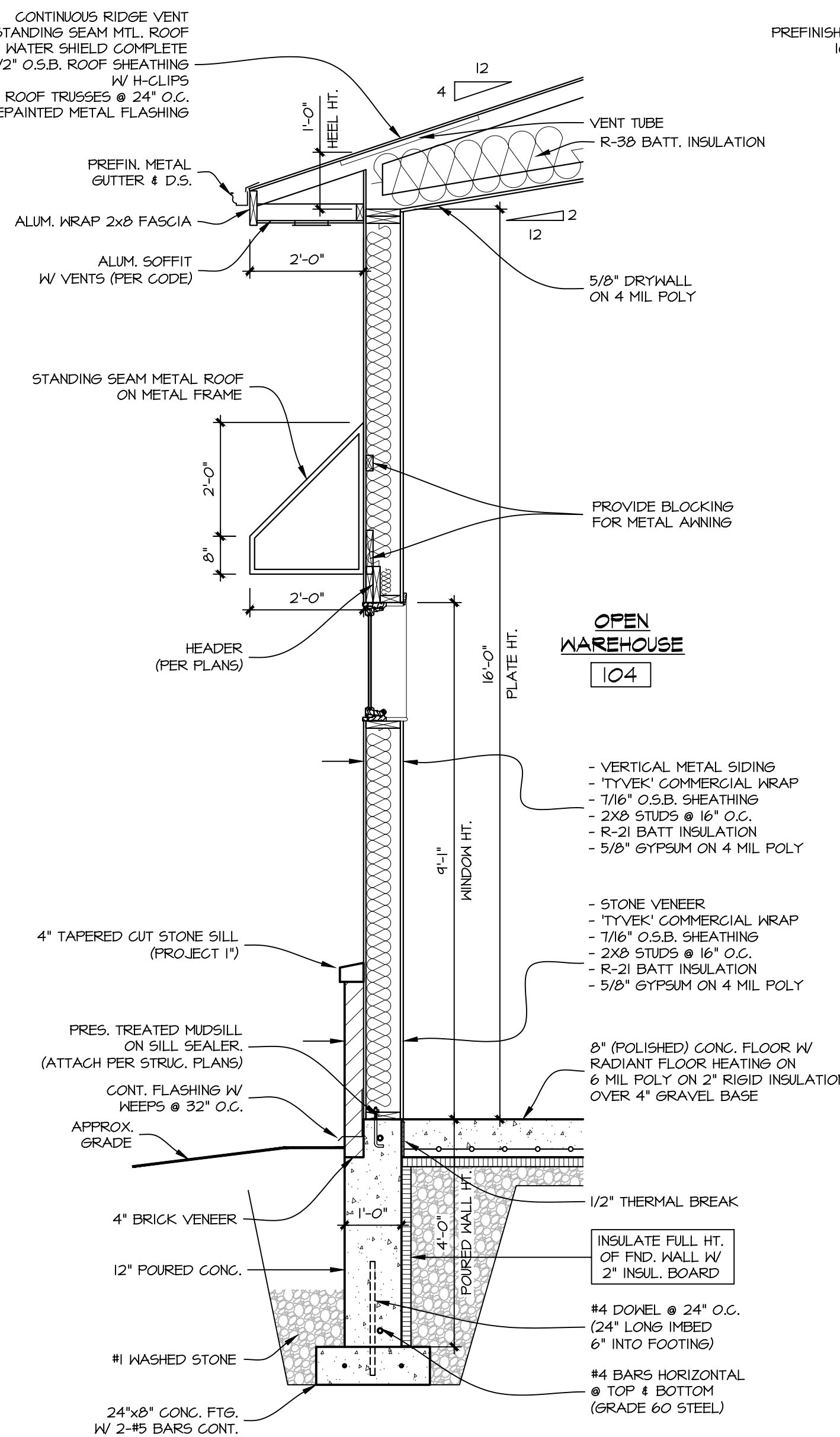
1 FOUNDATION SECTION
1/2" = 1'-0"



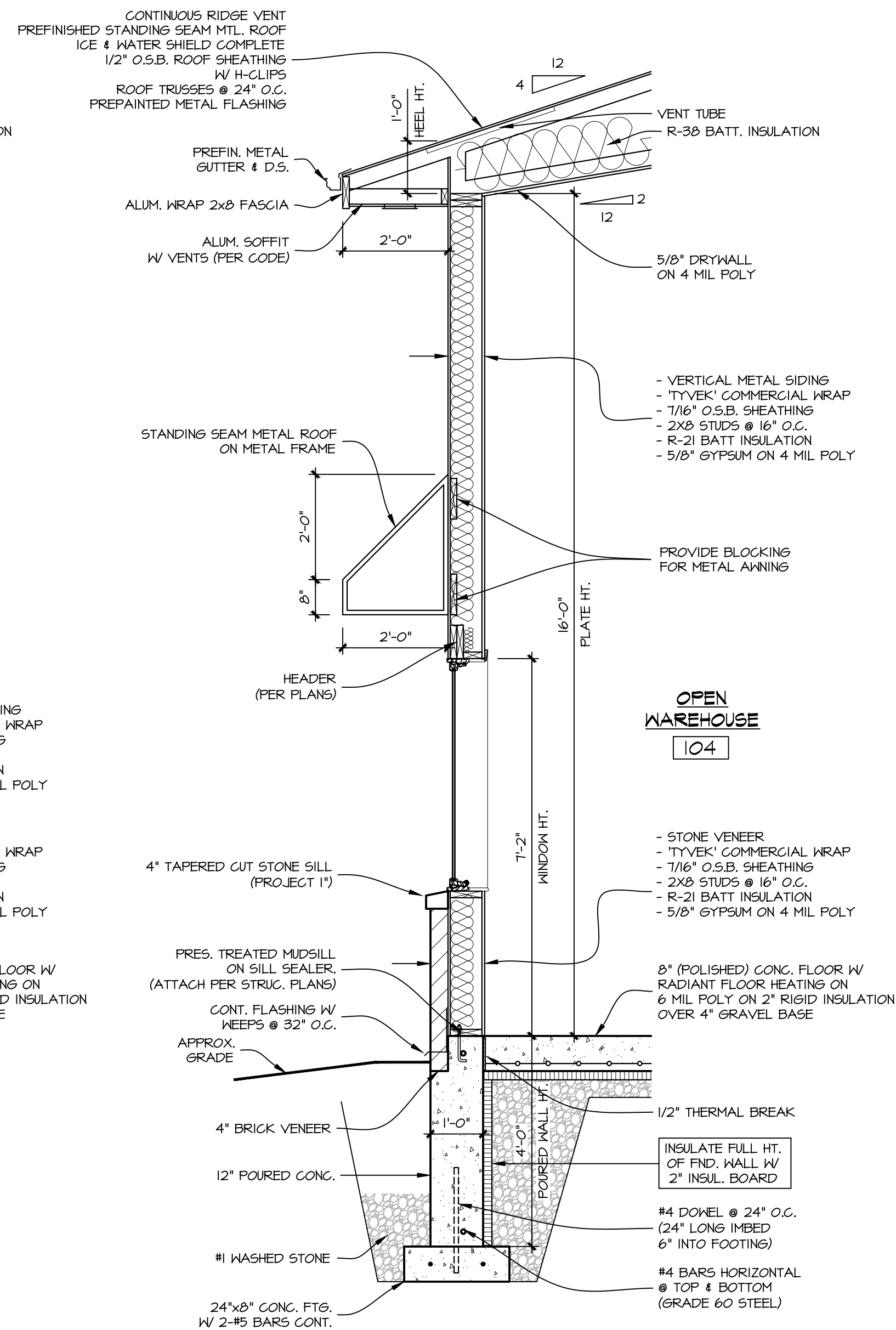
1 WALL SECTION
1/2" = 1'-0"



2 WALL SECTION
1/2" = 1'-0"



3 WALL SECTION
1/2" = 1'-0"



4 WALL SECTION
1/2" = 1'-0"

CALEDONIA MIXED-USE BUILDING

CORNER OF STORAGE DRIVE & QUICK DRIVE
CALEDONIA, WI

SHEET TITLE:

SECTIONS

A.300

DATE: JULY 31, 2025

PROJECT NUMBER: 18-324.3

REVISIONS:
11/24-5/25: PREVIOUS BLD.
7/31/25: PRELIM #1
9/9/25: PRELIM #2
10/9/25: BID SET



REVISIONS:
11/24-5/25: PREVIOUS BLD.
7/31/25: PRELIM #1
9/9/25: PRELIM #2
10/9/25: BID SET

CALEDONIA MIXED-USE BUILDING

CORNER OF STORAGE DRIVE & QUICK DRIVE
CALEDONIA, WI

SHEET TITLE:

SECTIONS & ROOF PLAN

A.301

DATE: JULY 31, 2025

PROJECT NUMBER: 18-324.3

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FINISH KEY					
C-*	CARPET-COLOR	PWB	PREFINISHED WOOD BASE	SS	STAINLESS STEEL PANEL
CT-*	CERAMIC TILE-COLOR	S4V	STAIN & VARNISH	M	METAL
VCT-*	VINYL COATED TILE-COLOR	P-*	PAINT-COLOR		
V-*	SHEET VINYL-COLOR	LAM.	FLOATING WOOD LAMINATE PARQUET FLOOR	AT-1	VINYL FILM ACOUSTICAL TILE 2x2
SC	(EPOXY) SEALED CONCRETE	GL	GLASS	AT-2	ACOUSTICAL TILE 2x2
VB	VINYL BASE	WD	WOOD	AT-4	ACOUSTICAL TILE 2x4
CB-*	CERAMIC TILE 6" H. BASE-COLOR	HM	HOLLOW METAL		
WB	WOOD BASE	ALUM	ALUMINUM	GP-*	GYPSPUM PAINTED-COLOR
QT.	QUARRY TILE	CONC.	EXPOSED CONCRETE	SGP-*	SUSPENDED GYPSPUM PAINTED-COLOR
QB.	6" HIGH QUARRY TILE BASE	PC	POLISHED CONCRETE	ES	EXPOSED STRUCTURE
FRP	FIBERGLASS REINFORCED PANELS	EP	EPOXY PAINT	ESP-*	EXPOSED STRUCTURE PAINTED-COLOR

HARDWARE SETS

HARDWARE SET #1	HARDWARE SET #2	HARDWARE SET #3	HARDWARE SET #4	HARDWARE SET #5
PIANO HINGE PUSH / PULL KEY LOCK SET CLOSER STOP WEATHER STRIPING ADA THRESHOLD	1-1/2 PR. HINGES PRIVACY LOCK SET (LEVER TYPE) CLOSER STOP	1-1/2 PR. HINGES OFFICE LOCK SET (LEVER TYPE) CLOSER STOP	1-1/2 PR. HINGES STORAGE LOCK SET (LEVER TYPE) CLOSER STOP	1-1/2 PR. HINGES KEY LOCK SET (LEVER TYPE) STOP CLOSER

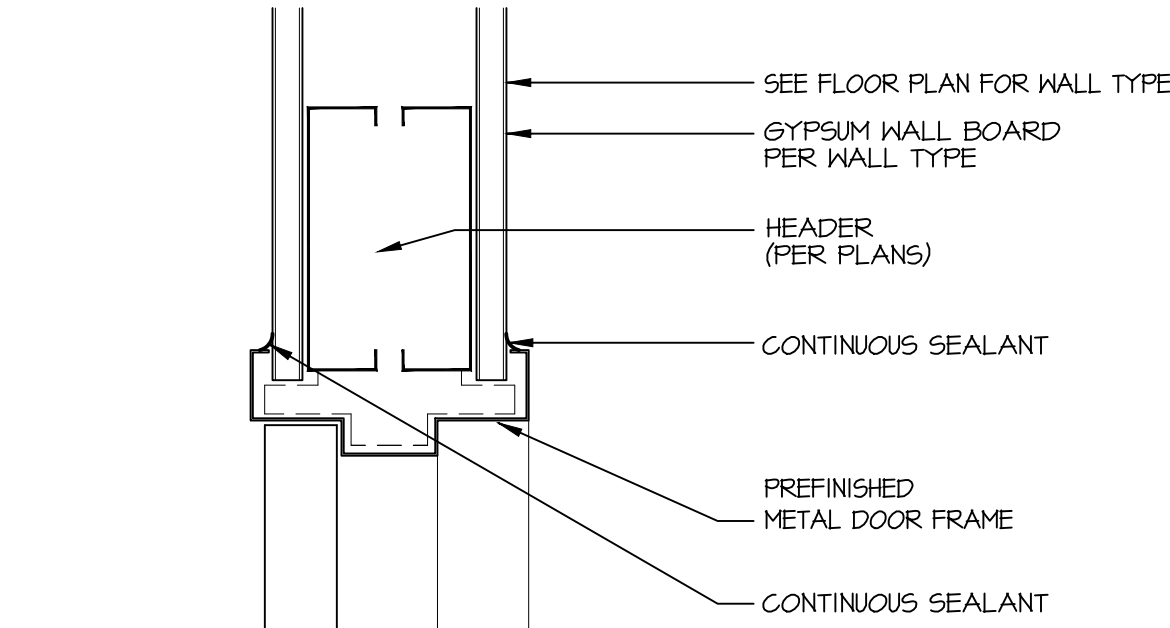
ROOM FINISH SCHEDULE										
NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING		REMARKS
				NORTH	EAST	SOUTH	WEST	MATL	HEIGHT	
100	BUSINESS AREA	PC	VB	P	P	P	P	GP	10'-0"	-
101	STORAGE	PC	VB	P	P	P	P	GP	10'-0"	-
102	UNISEX	CT	GB	CT	P	P	P	GP	10'-0"	G. TILE WALLS TO 48" A.F.F.
103	MECHANICAL	CONC.	-	P	P	P	P	GP	10'-0"	-
104	OPEN WAREHOUSE	PC	-	P	P	P	P	ES	16'-0"	RADIANT IN-FLOOR HEATING
105	MECHANICAL	CONC.	-	P	P	P	P	GP	10'-0"	RADIANT IN-FLOOR HEATING
106	UNISEX	CT	GB	P	CT	P	P	GP	10'-0"	G. TILE WALLS TO 48" A.F.F. RADIANT IN-FLOOR HEATING
107	PRIVATE OFFICE	PC	VB	P	P	P	P	GP	10'-0"	RADIANT IN-FLOOR HEATING
108	OFFICE	PC	VB	P	P	P	P	GP	10'-0"	RADIANT IN-FLOOR HEATING

DOOR SCHEDULE

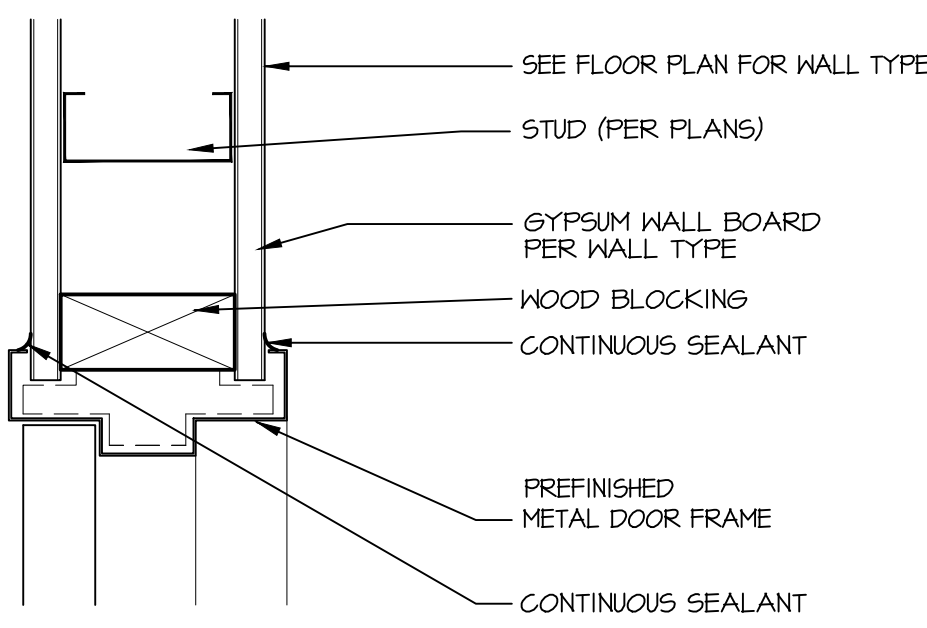
ALL DOORS TO HAVE LEVER HARDWARE UNLESS NOTED OTHERWISE

MARK	ROOM NAME	DOOR SIZE	DOOR			FRAME			HEAD	JAMB	SILL	HDW	REMARKS
			W / H	TYPE	MATL	FINISH	TYPE	MATL	FINISH				
D001	STORAGE	3'-0"x 7'-0"	B	WD	S4V	FI	HM	P	-	-	-	4	-
D100	TENANT #1 BUSINESS	3'-0"x 7'-0"	A	AL	ANOD.	FI	AL	ANOD.	-	-	-	1	-
D101	STORAGE	3'-0"x 7'-0"	B	WD	S4V	FI	HM	P	-	-	-	4	-
D102	UNISEX	3'-0"x 7'-0"	B	WD	S4V	FI	HM	P	-	-	-	2	-
D103	MECHANICAL	3'-0"x 7'-0"	B	WD	S8V	FI	HM	P	-	-	-	4	-
D104.1	OPEN WAREHOUSE	3'-0"x 7'-0"	B	WD	S8V	FI	HM	P	-	-	-	5	-
D104.2	OPEN WAREHOUSE	3'-0"x 7'-0"	B	WD	S8V	FI	HM	P	-	-	-	5	-
D104.3	OPEN WAREHOUSE	3'-0"x 7'-0"	B	M	P	FI	HM	P	-	-	-	1	-
D104.4	OPEN WAREHOUSE	12'-0"x 12'-0"	-	FG	-	-	-	-	-	-	-	-	OVERHEAD DOOR W/ OPENER
D104.5	OPEN WAREHOUSE	3'-0"x 7'-0"	B	M	P	FI	HM	P	-	-	-	1	-
D106	UNISEX	3'-0"x 6'-8"	B	WD	S4V	PRE HUNG	WD	P	-	-	-	2	-
D107	PRIVATE OFFICE	3'-0"x 6'-8"	B	WD	S4V	PRE HUNG	WD	P	-	-	-	3	-
D108.1	OFFICE	3'-0"x 6'-8"	B	WD	S4V	PRE HUNG	WD	P	-	-	-	5	-
D108.2	OFFICE	6'-0"x 6'-8"	-	FG	-	-	-	-	-	-	-	-	PATIO DOOR

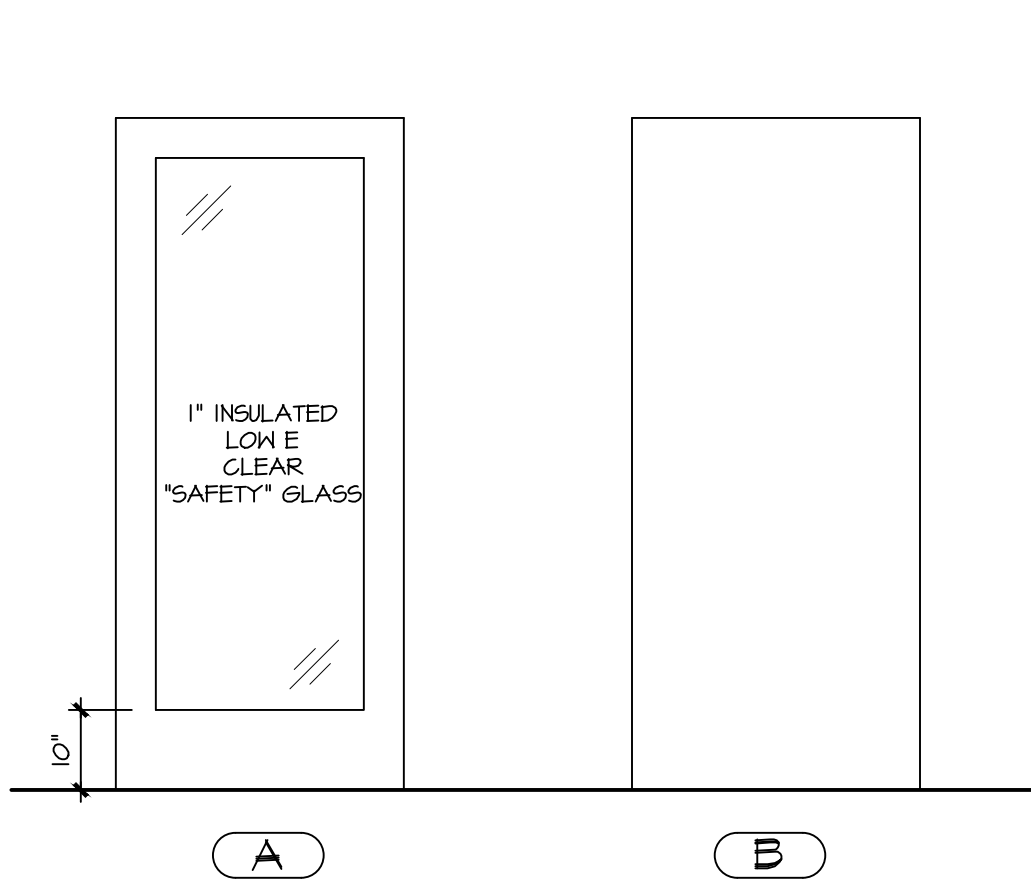
1 SCHEDULES
N.T.S



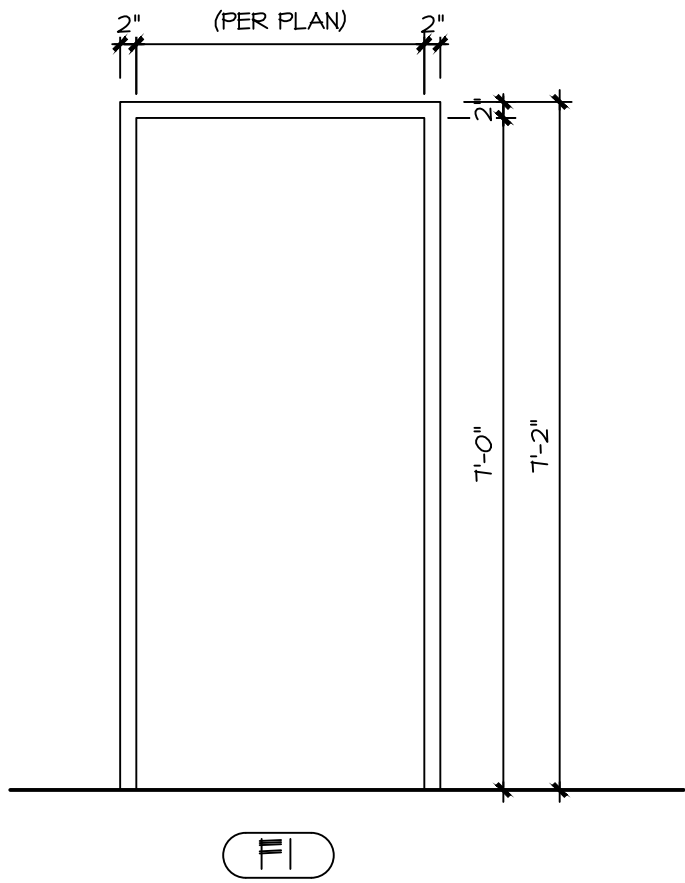
2 INTERIOR DOOR HEAD @ STUD WALL
3" = 1'-0"



3 INTERIOR DOOR JAMB @ STUD WALL
3" = 1'-0"



DOOR TYPES



FRAME TYPES

CALEDONIA MIXED-USE BUILDING

CORNER OF STORAGE DRIVE & QUICK DRIVE
CALEDONIA, WI

SHEET TITLE:

ROOM FINISH & DOOR SCHEDULE, DOOR, FRAME, & WALL TYPES, ENL. REST. PLANS & DETAILS

A.500

DATE: JULY 31, 2025

PROJECT NUMBER: 18-324.3



REVISIONS:

11/24-5/25: PREVIOUS BLD.

7/31/25: PRELIM #1

9/9/25: PRELIM #2

10/9/25: BID SET