
PLAN COMMISSION AGENDA
Monday, June 24, 2024 at 6:00 p.m.
Caledonia Village Hall – 5043 Chester Lane

1. Meeting Called to Order

2. Roll Call

3. Approval of Minutes

A. Meeting Minutes – May 20, 2024

4. Public Comment: Provides citizens a two-minute opportunity to voice their opinions to the Plan Commission. The Plan Commission is unable to respond as any discussion may conflict with open meeting requirements.

5. Public Hearing and Possible Action on Items set for Public Hearing

A. LAND USE MAP AMENDMENT REVIEW – Consider an amendment to the Village’s Land Use Plan Map as part of the Multi-Jurisdictional Comprehensive Plan for Racine County: 2035 for the parcel located at 6040 Douglas Avenue changing the land use category from Governmental & Institutional to Commercial to accommodate the rezoning of parcel for future business development submitted by Village of Caledonia, Applicant & Owner. (Parcel ID No. 104-04-23-18-300-230)

More information at Caledonia ZoningHub: <https://s.zoninghub.com/0TFBP4WEPV>

B. REZONE REVIEW – Review a request to rezone a ±1.23-acre parcel located at 6040 Douglas Avenue from M-1, Light Manufacturing District to B-2, Community Business District for the future commercial redevelopment of the old Caledonia Fire Station No. 12 submitted by Village of Caledonia, Applicant & Owner. (Parcel ID No. 104-04-23-18-300-230)

More information at Caledonia ZoningHub: <https://s.zoninghub.com/XOWAO856EN>

C. REZONE REVIEW – Review a request to rezone a ±3.05-acre parcel located at 7930 Hagemann Road from A-2, Agricultural District to B-3, Highway Business District for the future commercial development submitted by Greg Thompson, Applicant and Owner. (Parcel ID No. 104-04-22-07-053-000)

More information at Caledonia ZoningHub: <https://s.zoninghub.com/QRVJA5AWQ8>

D. CONDITIONAL USE AMENDMENT AND BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a request for a conditional use amendment for the parcel located on USH 41, directly south of 6009 USH 41, allowing the applicant an additional twelve months to begin construction of a commercial building to operate a commercial trailer sales and service business with outdoor display and storage of merchandise and approve the associated building, site, and operation plan submitted by Luke Sebald, Applicant, Caledonia Trailers LLC, Owner. (Parcel ID No. 104-04-22-19-037-000)

More information at Caledonia ZoningHub: <https://s.zoninghub.com/GWOKGYXQ37>

6. New Business

A. CERTIFIED SURVEY MAP - Review a proposed certified survey map creating two lots for the parcel located along 7 Mile Road submitted by Ken Rusch, Applicant, Paul Thomas & Hasan Salem, Owners. (Parcel ID No. 104-04-22-08-005-000) More information at Caledonia ZoningHub: <https://s.zoninghub.com/49P05RU0LE>

B. CERTIFIED SURVEY MAP – Review modifications to the conditions of approval for the certified survey map combining four parcels into one parcel located at 3301 USH 41, 3047 USH 41, and two parcels east of 3047 USH 41 submitted by Ashely Ventures LLC, Applicant, Hintz Real Estate Development Company, Owner (Parcel ID Nos. 104-04-22-31-022-000, 104-04-22-31-023-000, 104-04-22-31-024-000 & 104-04-22-31-008-000). More information at Caledonia ZoningHub: <https://s.zoninghub.com/0CF2AH2EFV>

- C. COOPERATIVE BOUNDARY AGREEMENT REVIEW – Review a building, site, and operation plan for construction of a ±4,875 square-foot addition to an existing commercial building located at 3039 27th Street, Village of Raymond, submitted by Sukhi Singh, Applicant, Musafar Group LLC, Owner. (Parcel ID No. 168-04-21-12-038-400) More information at Caledonia ZoningHub: <https://s.zoninghub.com/HJA31ZH2S5>
- D. COOPERATIVE BOUNDARY AGREEMENT REVIEW – Review a request to rezone a 10.25-acre parcel from B-3, Commercial Service District and M-3, Heavy Industrial District to B-5, Highway Business District; a request for a conditional use to expand a parking lot and operation of a logistics business; and review a site plan of the expanded parking lot and two ±4,920 square-foot commercial buildings for the property located at 405 27th Street, Village of Raymond, submitted by Predrag Maric, Applicant, Maric Investments LLC, Owner. (Parcel ID No. 168-04-21-01-005-000) More information at Caledonia ZoningHub: <https://s.zoninghub.com/LJ0ZEF1GQY>
- E. COOPERATIVE BOUNDARY AGREEMENT REVIEW – Review a 172-square-foot wall sign for the commercial building located at 195 27th Street, Village of Raymond, submitted by August Hoppe, Applicant, More information at Caledonia ZoningHub: <https://s.zoninghub.com/HJA31ZH2S5>

7. Adjournment

Dated June 21, 2024

Jennifer Olsen
Caledonia Village Clerk

Only Commission members are expected to attend. However, attendance by all Board members (including non-members of the Plan Commission) is permitted. If additional (non-commission) Board members attend, three or more Board members may be in attendance. Section 19.82(2), Wisconsin Statutes, states as follows: If one-half or more of the members of a governmental body are present, the meeting is rebuttably presumed to be for the purposes of exercising the responsibilities, authority, power or duties delegated to or vested in the body. To the extent that three or more members of the Caledonia Village Board actually attend, this meeting may be rebuttably presumed to be a “meeting” within the meaning of Wisconsin’s open meeting law. Nevertheless, only the commission’s agenda will be discussed. Only commission members will vote. Board members who attend the commission meeting do so for the purpose of gathering information and possible discussion regarding the agenda. No votes or other action will be taken by the Village Board at this meeting.

1. **Meeting called to order**

President Weatherston called the meeting to order at 6:14 pm at the Village Hall, 5043 Chester Lane Caledonia, WI.

2. **Roll Call/Introductions**

PRESENT: 5 – President Tom Weatherston, Joe Kiriaki, Trustee Nancy Pierce, Ami May and Michael Moore

EXCUSED: 1 – Ron Bocciardi

STAFF: Development Director Peter Wagner, Zoning Administrator/ Planner Todd Roehl, and Village Clerk Jennifer Olsen

3. **Approval of Minutes**

Motion by Pierce to approve the minutes from April 29, 2024. Seconded by Moore. Motion carried unanimously.

4. **Public Comment**

The following people appeared to speak before the commission:

- Kate Flynn, Nature Dr. – Concerns over the cell tower proposed in Item 5A Public Hearing.

5. **Public Hearing and Possible Action on Items set for Public Hearing**

- A. CONDITIONAL USE AND BUILDING, SITE, AND OPERATION PLAN REVIEW –**
Review a request for a conditional use and approval of a building, site, and operation plan to allow the construction and utilization of a 160-foot telecommunication pole within a ±5,120 square-foot fenced compound with mechanical equipment located at 3426 Stephan Road submitted by Diamond Communications LLC, Applicant, Curtis Studey, Owner. (Parcel ID No. 104-04-23-18-006-000)

Staff presented on the item, summarizing material provided in the packet.

Public Hearing opened at 6:24 PM

President Weatherston asked three times if anyone wanted to speak in favor of this proposal.

In Favor:

None

President Weatherston asked three times if anyone wanted to speak against this proposal.

Against:

1. Sue Howbel-Keller, 6352 Nature Dr. – Stated concerns about the residential location of the tower, road access during construction, and the possibility of more towers in the future.
2. Stacey Schmierer, 3206 Pleasant View Cir. – Stated concerns about the look of the tower, effects on property values, and possible health effects.

**Planning Commission Meeting
Monday, May 20, 2024**

3. Randy Visser, 6358 Nature Dr. – Stated concerns about the look of the tower and possible health effects
4. Greg Miller, 6627 Bobolink Rd. – Stated concerns about the look of the tower and decreased property values
5. Chris Nitka, 6744 Westlake Dr. – Stated concern about the decreased property values
6. Tim Johnson, 6918 Bay wood Dr. – Stated concern over decreased value of property due to the tower
7. Jeff Smith, 6764 Bay Wood Dr. – Mentioned other locations that he feels would be better suited for the tower
8. Nick Gasau, 6639 Bobolink Rd. – Asked why we are rezoning such a large area instead of only the tower area, concerns of further development.

Public Hearing closed at 6:37 PM

The applicant responded to various questions stated as part of the public hearing. The following were responses from the applicant:.

- This property is not being rezoned.
- Construction would take approximately 45-60 days, during which disruption would be minimal and non-continuous.
- In the opinion of the applicant familiar with real estate marketing, property values historically are not negatively effected by proximity to a telecommunications tower.
- As the applicant is leasing the land from a private owner, not the village, there will be no village revenue from the project.
- The applicant stated it is likely other nearby sites were considered, but property owners were not interested. In addition, WE Energies no longer leases their towers for telecommunications equipment.

Staff and the Commission also clarified that this body is limited in its decision-making ability in regard to the conditional use application. If the applicant meets the Village's regulations and requirements, state laws prohibit them from denying a recommendation to the Village Board.

Motion by Pierce to recommend that Village Board approves a conditional use for the construction and use of a 160-foot monopole (plus two-foot lightning rod) mobile service support structure and a ±5,120 square foot compound for the property located at 3624 Stephan Road be approved with conditions in Exhibit A for the following reasons:

1. The proposed use is allowed by underlying zoning through the conditional use review process.
2. The proposed use will not adversely affect the surrounding properties.

Seconded by Kiriaki.

Motion carried 5-0.

Motion by Pierce to recommend that the Village Board approves a building, site, and operation plan for the construction of a 160-foot monopole (plus two-foot lightning rod) mobile service support structure and a ±5,120 square foot equipment compound for the property located at 3624 Stephan Road be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the conditional use review process.
2. The proposed use will not adversely affect the surrounding properties.

Seconded by Moore.

Motion carried, 5-0.

6. New Business

- A. CONDITIONAL USE EXTENSION AND NONMETALLIC MINING PERMIT RENEWAL REVIEW** – Review a request for the renewal of the nonmetallic mining permit and conditional use permit allowing for the continued operation of an existing limestone quarry including earthmoving, blasting, crushing, sorting and sizing, stockpiling, transportation and reclamation, as well as those activities permitted in the Village’s ordinances entitled “Regulation of Nonmetallic Mining” (Title 7, Chapter 11) and “Explosives and Blasting” (Title 7, Chapter 10). Applicants are subject to Title 16, Chapter 6, M-4 Quarrying District as applicable to the Village of Caledonia. Payne and Dolan Inc., Owner and Applicant. (Parcel ID Nos. 104-04-23-28-075-000, 104-04-23-28-074-000, 104-04-23-29-193-000, & 104-04-23-28-071-000)

Motion by Pierce recommend to the Village Board that the nonmetallic mining permit be renewed and that the conditional use permit allowing the continuing use of the area as a quarry that includes earthmoving, blasting, crushing, sorting, sizing, stockpiling, transportation, and reclamation, as well as those activities permitted in the Village’s ordinance entitled “Regulation of Nonmetallic Mining” and “Explosives and Blasting” be extended for two years subject to the conditions attached hereto as Exhibit A for the quarry located at 1501 3 Mile Road be approved for the following reasons:

1. The applicant agrees to meet all the requirements and conditions to be imposed by the Village; and
2. For the same reasons set forth in Plan Commission Resolution Nos. 2018-75, 2018-78, 2020-62, and 2022-66.

Seconded by May.

Motion carried 5-0.

- B. CONSULTATION** – Presentation of a concept commercial development for the property located at 7930 Hageman Road submitted and presented by Greg Thompson. (Parcel ID No. 104-04-22-07-053-000)

Greg Thompson presented a business concept for commercial development to determine if this is an acceptable plan under the Village’s current rules and regulations. Mr. Thompson stated this concept is not standard self-storage units, but rather “small business incubators.” These duplex units will be individually owned and used for light commercial purposes. This plan would require a zone change to B3. The Commission expressed enthusiasm for the concept.

3. Adjournment

Meeting adjourned at 7:29PM

Respectfully submitted,

*Jennifer Olsen
Village Clerk*



Meeting Date: June 24, 2024

PLAN COMMISSION REPORT

Item No. **5a & 5b**

Proposal: Land Use Amendment & Rezone

Description: Consider an amendment to the Village's Land Use Plan Map as part of the Multi-Jurisdictional Comprehensive Plan for Racine County: 2035 for the parcel located at 6040 Douglas Avenue changing the land use category from Governmental & Institutional to Commercial to accommodate the rezoning to B-2, Community Business District for future business development.

Applicant(s): Village of Caledonia

Address(es): 6040 Douglas Avenue

Suggested Motions:

LAND USE AMENDMENT

That the Plan Commission adopts Resolution 2024-03 which recommends to the Village Board an amendment to the 2035 Land Use Plan Map to change land use category from Governmental and Institutional to Commercial for the property located at 6040 Douglas Avenue (Parcel ID No. 104-04-23-18-300-230), for the following reasons:

1. This land use amendment is compatible with the land use classifications of abutting properties.
2. This Land Use Plan amendment will lay the foundation for rezoning of the subject property to the B-2, Community Business District for the future redevelopment of the former Caledonia Fire Station No. 12.

REZONE

That the Plan Commission recommends to the Village Board that the property located at 6040 Dougals Avenue (Parcel ID No. 104-04-23-18-300-230) be rezoned from M-1, Light Manufacturing District, to B-2, Community Business District for the following reasons:

1. Due to the subject property's proximity to STH 32 and nearby commercial uses, commercial uses should be encouraged in this area.
2. The 2035 Land Use Plan designates this property as Commercial. The proposed rezoning is in accord with the 2035 Land Use Plan designation for the subject property.

Owner(s): Village of Caledonia

Tax Key(s): 104-04-23-18-300-230

Lot Size(s): 1.23 acres

Current Zoning District(s): M-1, Light Manufacturing District

Overlay

District(s): None

Wetlands: ☐ Yes ☒ NoFloodplain: ☐ Yes ☒ No

Comprehensive Plan: Governmental & Institutional

Background:**LAND USE AMENDMENT**

The applicant is requesting a Land Use Amendment and subsequently a Rezone for the future commercial redevelopment of the old Village Fire Station No. 12 located on 6040 Dougals Avenue, comprising approximately 1.2 acres.

Currently, the parcel has a fire station building that has been vacated since May 2024 as the result of the new Fire Station No. 12 that has been constructed on Chester Lane. Earlier this year, the Village Board determined that the municipality no longer needed the building for government purposes and that the site should be sold, and that a commercial use would be the best suited use for the property.

The existing uses abutting the proposed parcel are residential to the west and south, and light manufacturing and commercial to the north along with commercial uses to the east, and southeast. The proposed land use category, Commercial, is compatible with these types of land uses. Should the Land Use Amendment be approved, future commercial uses will require a buffer such as landscaping or fencing, to reduce impacts a development may cause to abutting residential areas.



Land Use Change from Governmental & Institutional to Commercial land use category

The current land use category for the parcel is Governmental & Institutional. This land use category prohibits the rezoning of the property for commercial purposes as the State of Wisconsin Smart Growth Law requires that all local land use decisions after January 1, 2010, must be consistent with the goals, objectives, and policies contained within the Land Use Plan. Changing the land use category to Commercial on the Land Use Plan Map would allow for the property to be rezoned to B-2, Community Business District.

The Village Board also agreed that there should be a deed restriction placed on the property prohibiting specific uses. Included in your packet is a copy of the deed restriction stating what uses are prohibited. This restriction can only be modified if both the landowner and Village agree to modify the document.

If the Plan Commission is comfortable with the proposed land use amendment from Governmental & Institutional to Commercial, there is a suggested motion to adopt a resolution approving the land use amendment.

REZONE

The applicant is requesting a change in zoning for the parcel located at 6040 Douglas Avenue from M-1, Light Manufacturing District, to B-2, Community Business District. The intent of the B-2 District is to accommodate the future reuse of the existing fire station building on the property for commercial purposes.

The abutting parcel to the west is zoned R-3 Single-Family Residential District, a parcel to the south is zoned R-7, Multi-Family Residential District, a parcel to the southeast is zoned B-1, Neighborhood Business District, parcels to the east are zoned B-2, Community Business District, and parcels to the north are zoned B-3, Highway Business District and M-1, Light Manufacturing District.

Based on the location of the property along a STH 32 and neighboring business uses, staff believes the rezoning of the property to the B-2 District is a suitable district. For the Plan Commission to consider this Rezone request, the Plan Commission will need to have recommended approval of the Land Use Amendment for the parcels from Governmental and Institutional to Commercial. If the land use amendment is not approved, the proposed rezone request would not be consistent with the Village's land use map and be in violation of Wisconsin's Smart Growth Law.



Rezone parcel from M-1, Light Manufacturing District to B-2, Community Business District.

If the Plan Commission feels the proposed rezoning from M-1 to B-2 is appropriate, staff drafted a suggested motion to recommend approval of the rezone request to allow for the future reuse of the fire station for commercial purposes at 6040 Douglas Avenue.

Respectfully submitted:

A handwritten signature in black ink that reads 'Peter Wagner'.

Peter Wagner, AICP
Development Director



RESOLUTION NO. PC2024-03

RESOLUTION OF THE PLAN COMMISSION RECOMMENDING APPROVAL OF AN ORDINANCE AMENDING THE MULTI-JURISDICTIONAL COMPREHENSIVE PLAN FOR RACINE COUNTY CHANGING THE LAND USE DESIGNATIONS FROM “GOVERNMENTAL AND INSTITUTIONAL” TO “COMMERCIAL” AS IT PERTAINS TO THE PARCEL LOCATED AT 6040 DOUGLAS AVENUE IN THE VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

The Plan Commission for the Village of Caledonia, Racine County, Wisconsin resolves as follows:

WHEREAS, the Village Board adopted “A Multi-Jurisdictional Comprehensive Plan for Racine County, 2035” as the Village Comprehensive Plan on June 22, 2009 (the “Comprehensive Plan”) and has amended the Comprehensive Plan from time-to-time; and

WHEREAS, the Village of Caledonia has proposed an amendment to the Comprehensive Plan to change the land use designation of the parcel located at 6040 Douglas Avenue (Parcel No. 104-04-23-18-300-230) from governmental and institutional to commercial on the Village land use plan map adopted by the Village Board as part of the Comprehensive Plan, as depicted on the attached Exhibit A; and

WHEREAS, the Village has duly noticed a public hearing on the aforementioned amendment to the Comprehensive Plan and the Plan Commission held a public hearing on June 24, 2024, regarding the plan amendment following the procedures set forth in Section 66.1001(4)(d) of the Wisconsin Statutes; and

WHEREAS, the Plan Commission finds that the Comprehensive Plan, with the proposed amendment, contains all of the required elements specified in Section 66.1001(2) of the Wisconsin Statutes and that the Comprehensive Plan, with the proposed amendment, is internally consistent and is in the public’s best interest.

NOW, THEREFORE, BE IT RESOLVED that pursuant to Section 66.1001(4)(b) of the Wisconsin Statutes, the Village of Caledonia Plan Commission hereby recommends approval of the proposed amendment and further recommends adoption of an ordinance by the Village Board amending the Comprehensive Plan as it pertains to the Village of Caledonia land use plan map.

Adopted this _____ day of June, 2024.

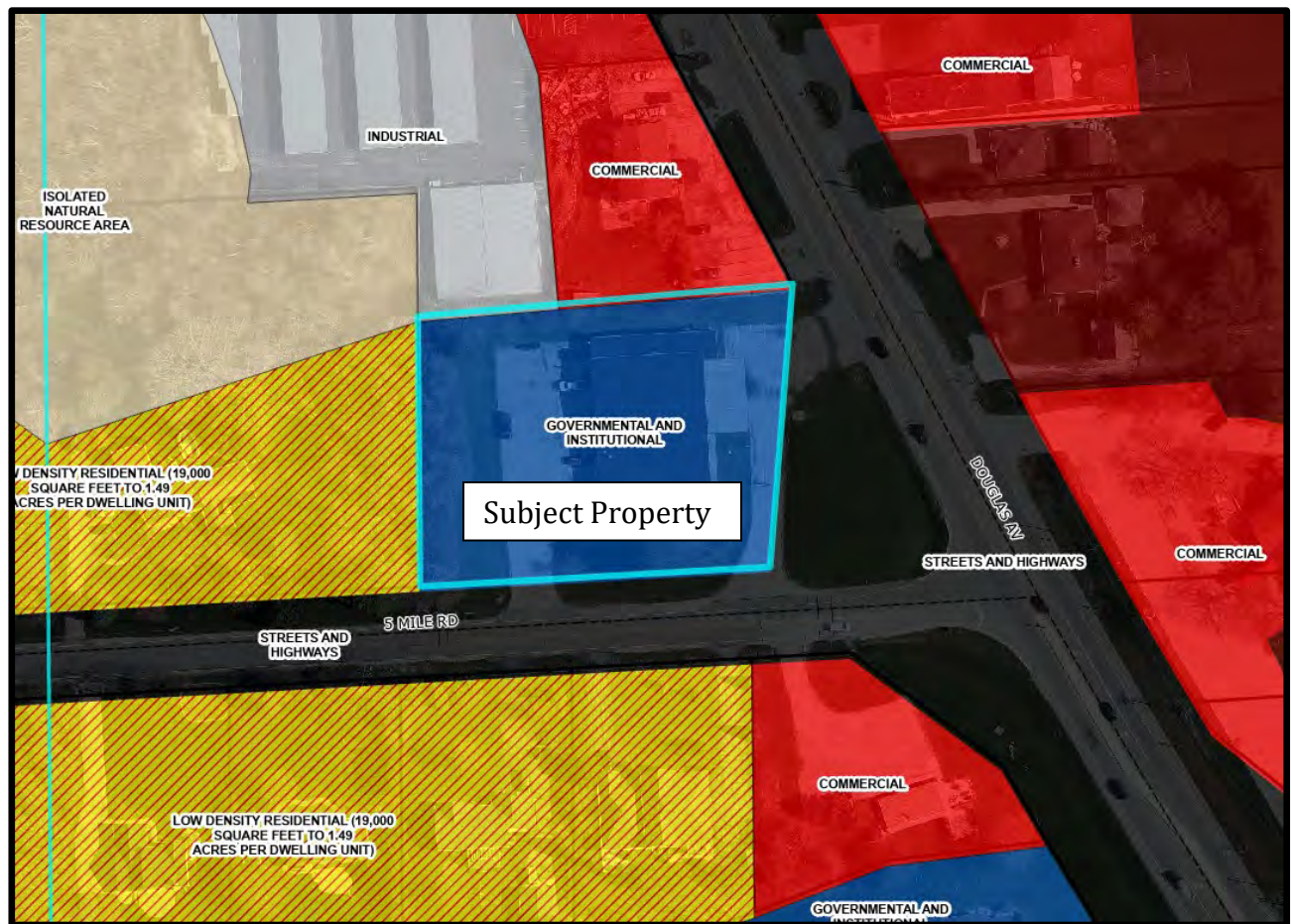
Ayes _____ Noes _____ Absent _____

VILLAGE OF CALEONDIA PLAN COMMISSION

By: _____
Thomas Weatherston
Plan Commission President

Attest: _____
Joe Kiriaki
Plan Commission Vice-President

EXHIBIT A



**RESOLUTION NO. 2024-060
VILLAGE OF CALEDONIA**

A RESOLUTION AUTHORIZING THE PARCEL OF LAND WITH PARCEL NO. 104-04-23-18-300-230, LOCATED AT THE CORNER OF FIVE MILE ROAD AND DOUGLAS AVENUE TO BE LISTED FOR SALE, TO HAVE THE STAFF APPLY FOR REZONING AND TO IMPOSE A DECLARATION OF DEED RESTRICTION AGAINST THE PROPERTY

The Village Board for the Village of Caledonia, Racine County, Wisconsin resolves as follows:

WHEREAS, the Village Board has authorized the Administrator to move forward to sell a Village owned parcel of land located at the corner of Five Mile Road and Douglas Avenue known as the former Fire Station #12 (Parcel No. 104-04-23-18-300-230 consisting of approximately 1.23 acres) (the “Property”);

WHEREAS the Village Board believes that the Property is no longer needed because a new fire and police station was constructed that better serves the Village and its residents;

WHEREAS Village staff has recommended to the Village Board that prior to the sale of the Property, the property be rezoned to B-2 Community Business District and that a deed restriction be placed over the Property to restrict certain uses in the important Douglas Avenue Corridor and a copy of the proposed deed restriction is attached hereto as **Exhibit A**;

WHEREAS the Village Plan Commission in accordance with Sec. 2-5-3(f)(5) of the Village’s Code of Ordinances and Wis. Stat. Section 62.23(5) adopted Resolution No. PC 2024-02 on April 29, 2024, finding that the proposed sale of the property is not inconsistent with Village plans and recommended the sale to the Village Board; and

WHEREAS the Plan Commission further recommended that prior to the sale of the Property, the Village initiate proceedings to rezone the Property to B-2 Community Business District and impose a deed restriction that runs over the whole of the Property as set forth on **Exhibit A** attached hereto and incorporated herein.

NOW, THEREFORE, BE IT RESOLVED by the Caledonia Village Board that Village Administrator is authorized to list the Property for sale and to proceed with the application to rezone the property to B-2 Community Business District prior to the sale of the Property.

BE IT FURTHER RESOLVED, that certain uses be restricted on the Property by a deed restriction that runs over the whole of the Property as set forth in the Declaration of Deed Restriction attached hereto as **Exhibit A** and incorporated herein.

BE IT FURTHER RESOLVED, that the Village President, Village Clerk, Village Administrator and other necessary Village officials are authorized to take all actions on behalf of the Village to execute documents, undertake, direct and complete required activities in accordance

with the terms of this Resolution including authorizing the Village Administer to enter into a listing contract with Shorewest Realtors to market the Property for sale.

Adopted by the Village Board of the Village of Caledonia, Racine County, Wisconsin, this 14 day of May, 2024.

VILLAGE OF CALEDONIA

By: Thomas R Weatherston

Thomas Weatherston
Village President

Attest: Jennifer Olsen

Jennifer Olsen
Village Clerk

Karie G. Pope
KARIE POPE
RACINE COUNTY
REGISTER OF DEEDS
Fee Amount: \$30.00

Pages: 7

**DECLARATION OF
DEED RESTRICTION**

This Declaration of Deed Restriction (this "Restriction") is made as of this 14th day of May, 2024, by Village of Caledonia, a Wisconsin municipal corporation ("Declarant").

RECITALS:

A. Declarant owns certain real property located at the corner of Douglas Avenue and Five Mile Road in the Village of Caledonia, Racine County, Wisconsin, as more particularly described on Exhibit A attached hereto and made a part hereof (the "Property").

B. Declarant desires to place a certain restriction on the Property, to bind those who may use the Property or acquire title to the Property in the future.

DECLARATION:

NOW, THEREFORE, Declarant hereby declares a restriction on the Property as follows:

1. The Property shall not be used or occupied for any of the following:
 - Vehicles sales, service, and repair
 - Fueling Station
 - Self-Storage facility
 - Recycling (including for drop-off) facility
 - Landfills or Fill Site
 - Adult Establishments / Adult Entertainment Uses
 - Landscape Contractors Yard
 - Outdoor Display/Sale/Storage of Materials or Outdoor Merchandise for Sale

Recording Area

Name and Return Address:

Elaine S. Ekes
Pruitt, Ekes & Geary, S.C.
245 Main St. Suite 404
Racine, WI 53403

PIN:

104-04-23-18-300-230

30-7

2. The Property may be used or occupied for any other lawful uses not prohibited under Section 1.

3. This Restriction shall constitute a covenant that runs with the land and shall be binding upon Declarant, its successors and assigns, and all successor owners of the Property, and all parties holding under them.

4. The Restriction shall inure to the benefit of and be enforceable by the Village of Caledonia, a Wisconsin municipal corporation (the "Village"), and any successor entity of the Village. If the Village is dissolved or is otherwise no longer in existence and has no successor entity, then such right shall inure to Racine County, Wisconsin, a Wisconsin municipal corporation (the "County").

5. This Restriction was approved by the Village of Caledonia by Resolution No.: 2024-060, adopted by the Village Board on May 14, 2024. A copy is attached here to as **Exhibit B**.

6. This Restriction shall not be amended, revised or terminated except by an instrument in writing duly executed by Declarant or its respective successors or assigns and duly recorded with the Racine County Register of Deeds.

7. This Restriction is not a conveyance per Wis. Stat. § 77.21(1).

8. This Restriction shall be governed by, interpreted and construed in accordance with the laws of the State of Wisconsin.

9. If any provisions, or portions hereof, or the application to any person or circumstances shall, to any extent, be held invalid or unenforceable, the remainder of this Restriction, or the application of such provisions, or portion thereof, to any persons or circumstances shall not be affected thereby, and each provision of this Restriction shall be valid and enforceable to the fullest extent provided by law.

10. The terms and conditions of this Restriction may be enforced by any party with rights under this Restriction through proceedings at law or in equity against any person or persons violating or attempting to violate any term or condition in this Restriction either to restrain or prevent the violation. If any suit or action is brought to enforce the provisions of this Restriction, the party who prevails in such action or suit shall be entitled to recover its court costs and reasonable attorneys' fees from the other party.

[Signature Page Follows]

EXHIBIT A

Legal Description of the Property

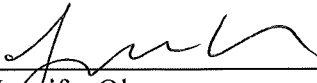
Lot 23, Caledonia Assessor's Plat No. 2, according to the recorded plat thereof, more particularly described as that part of the Southeast 1/4 of Section 18, Township 4 North, Range 23 East, bounded as follows: Begin on the North and South 1/4 line of said Section 18, at a point 520 feet North from the South 1/4 corner of said Section; thence North 84°57' East 606.7 feet to the center line of Wisconsin State Trunk Highway #32 and the place of beginning of this description; thence South 27°16' East to the center line of the 5 Mile Road; thence West along the center line of said highway to a point that is 273 feet East of the West line of said Southeast 1/4; thence North to a point that bears South 84°57' West of the place of beginning; thence North 84°57' East to the place of beginning. Said land being in the Village of Caledonia. County of Racine. State of Wisconsin.

TAX KEY NO.: 104-04-23-18-300-230

EXHIBIT B


CERTIFICATION

I, Jennifer Olsen, Village Clerk of the Village of Caledonia, Racine County, Wisconsin, do certify that the attached document is a true and correct copy of Resolution 2024-060, "Resolution of the Village Board of the Village of Caledonia Authorizing the Parcel of Land with Parcel No. 104-04-23-18-300-230, Located at the Corner of Five Mile Road and Douglas Avenue to be Listed for Sale, to Have the Staff Apply for Rezoning and to Impose a Declaration of Deed Restriction Against the Property" adopted by the Village Board on the 14th day of May, 2024.

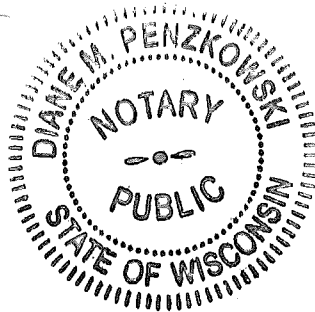


Jennifer Olsen
Village Clerk
Village of Caledonia

Subscribed and sworn to before me
this 17 day of May, 2024.



Notary Public, Racine County, Wisconsin
My Commission Expires: 5-14-2028





Meeting Date: June 24, 2024

Item No. **5c**

PLAN COMMISSION REPORT

Proposal: Rezone

Description: Request to rezone ±3.05-acre parcel be rezoned from A-2, Agricultural District to B-3, Highway Business District for future commercial development.

Applicant(s): Greg Thompson

Address(es): 7930 Hagemann Road

Suggested Motion: That the Plan Commission recommends to the Village Board that the ±3.05-acre parcel located at 7930 Hagemann Road be rezoned from A-2, Agricultural District to B-3, Highway Business District for the future commercial development, Parcel ID No. 104-04-22-07-053-000, as illustrated in Exhibit A for the following reasons:

1. Due to the subject property's proximity to I-94, commercial uses should be encouraged in this area.
2. The 2035 Land Use Plan designates this area of the property as Commercial. The proposed rezoning is in accord with the 2035 Land Use Plan designation for the subject property.

Owner(s): Greg Thompson (Under contract from Wagner Trust – Cuccio Trust James, Richard and Loetta)

Tax Key(s): 104-04-22-07-053-000

Lot Size(s): 3.05 acres

Current Zoning District(s): A-2 Agricultural District

Overlay District(s): N/A

Wetlands: ☐ Yes ☒ No

Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Commercial

Background: The applicant is requesting a change in zoning for the parcel located at 7930 Hagemann Road from A-2, Agricultural District to B-3, Highway Business District to accommodate the future commercial development of a condominium business park.

The Village Land Use Plan shows this parcel and surrounding parcels identified as future commercial use. Surrounding parcels to the east, north, and south are being used for residential purposes and the west for commercial uses. The request to rezone the parcel to a business district would be consistent with the land use plan. The proximity of the parcel to the interstate makes the change in zoning to business a suitable use.

If approved, the applicant will come back before the Village with a building, site, and operation plan requesting a review and approval of the proposed commercial use. The applicant is proposing to build multiple two-tenant commercial buildings that will be of a smaller scale and designed to imitate residential building design. Included in this packet is information explaining how the commercial buildings will be typically utilized and how the buildings will be designed.

Staff believes the requested rezoning of the parcel to the B-3, Highway Business District is suitable since the business zoning district is consistent with the adopted 2035 Village Land Use Plan and the close proximity of the parcel to the highway.

If the Plan Commission is comfortable with the proposed rezone, staff has drafted a suggested motion shown on the first page of this report.

Respectfully submitted:



Peter Wagner, AICP
Development Director

EXHIBIT A



LEGAL DESCRIPTION:

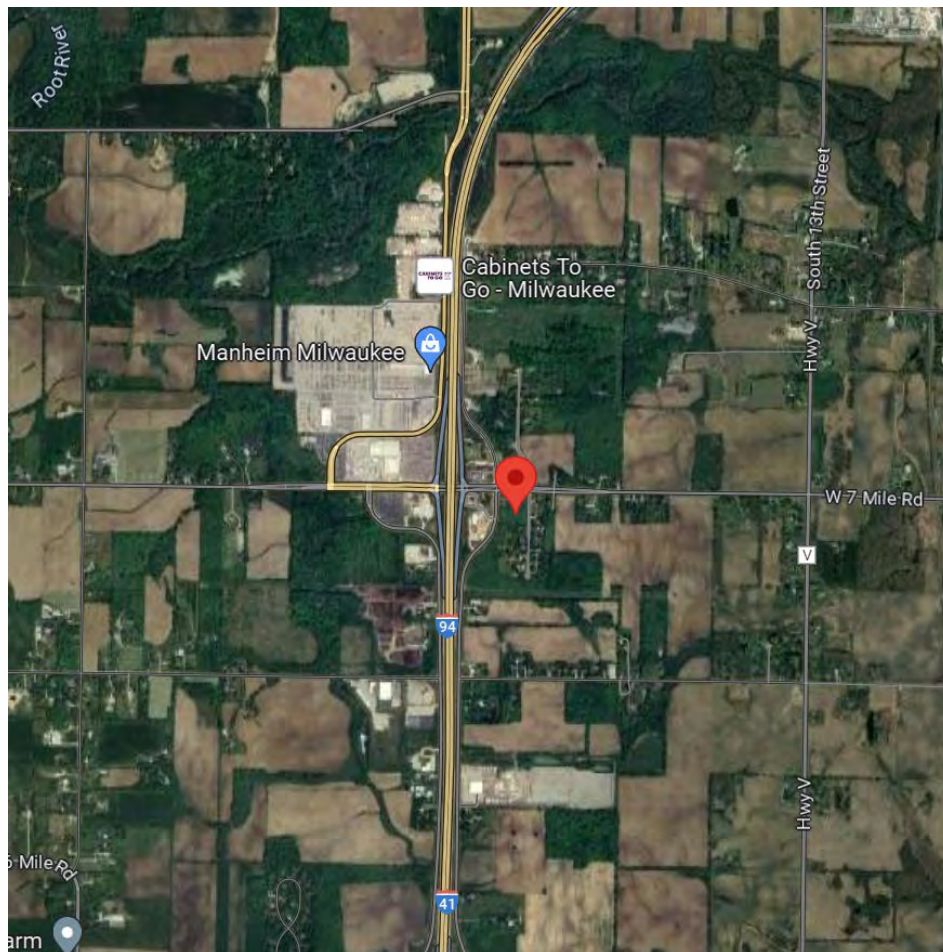
A TRACT OF LAND BEING A PART OF THE NORTHWEST $\frac{1}{4}$ OF THE FRACTIONAL NORTHWEST $\frac{1}{4}$ OF SECTION 7, TOWN 4 NORTH, RANGE 22 EAST, IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION; THENCE NORTH $89^{\circ}16'00''$ EAST FOR A DISTANCE OF 1002.80 FEET, ALONG THE NORTH LINE OF SAID $\frac{1}{4}$ SECTION, TO A POINT; THENCE SOUTH $00^{\circ}05'40''$ EAST FOR A DISTANCE OF 69.05 FEET, TO A THE POINT OF BEGINNING, SAID POINT BEING ON THE WEST LINE OF HAGEMAN ROAD; THENCE SOUTH $00^{\circ}05'40''$ EAST FOR A DISTANCE OF 410.70 FEET, ALONG SAID WEST LINE, TO A POINT; THENCE SOUTH $89^{\circ}24'00''$ WEST FOR A DISTANCE OF 399.93 FEET, TO A POINT ON THE EAST LINE OF THE EAST FRONTAGE ROAD; THENCE NORTH $11^{\circ}38'58''$ EAST FOR A DISTANCE OF 106.82 FEET, ALONG SAID EAST LINE, TO A POINT; THENCE NORTH $00^{\circ}35'34''$ WEST FOR A DISTANCE OF 174.71 FEET, ALONG SAID EAST LINE, TO A POINT; THENCE NORTH $89^{\circ}16'00''$ EAST FOR A DISTANCE OF 194.56 FEET, TO A POINT; THENCE NORTH $01^{\circ}09'53''$ WEST FOR A DISTANCE OF 139.97 FEET, TO A POINT; THENCE NORTH $89^{\circ}15'58''$ EAST FOR A DISTANCE OF 180.67 FEET, ALONG THE SOUTH LINE OF THE SEVEN MILE ROAD, TO A POINT; THENCE SOUTH $37^{\circ}45'49''$ EAST FOR A DISTANCE OF 11.62 FEET, CONTINUING ALONG SAID SOUTH LINE, TO THE POINT OF BEGINNING. CONTAINS 3.05447 ACRES.



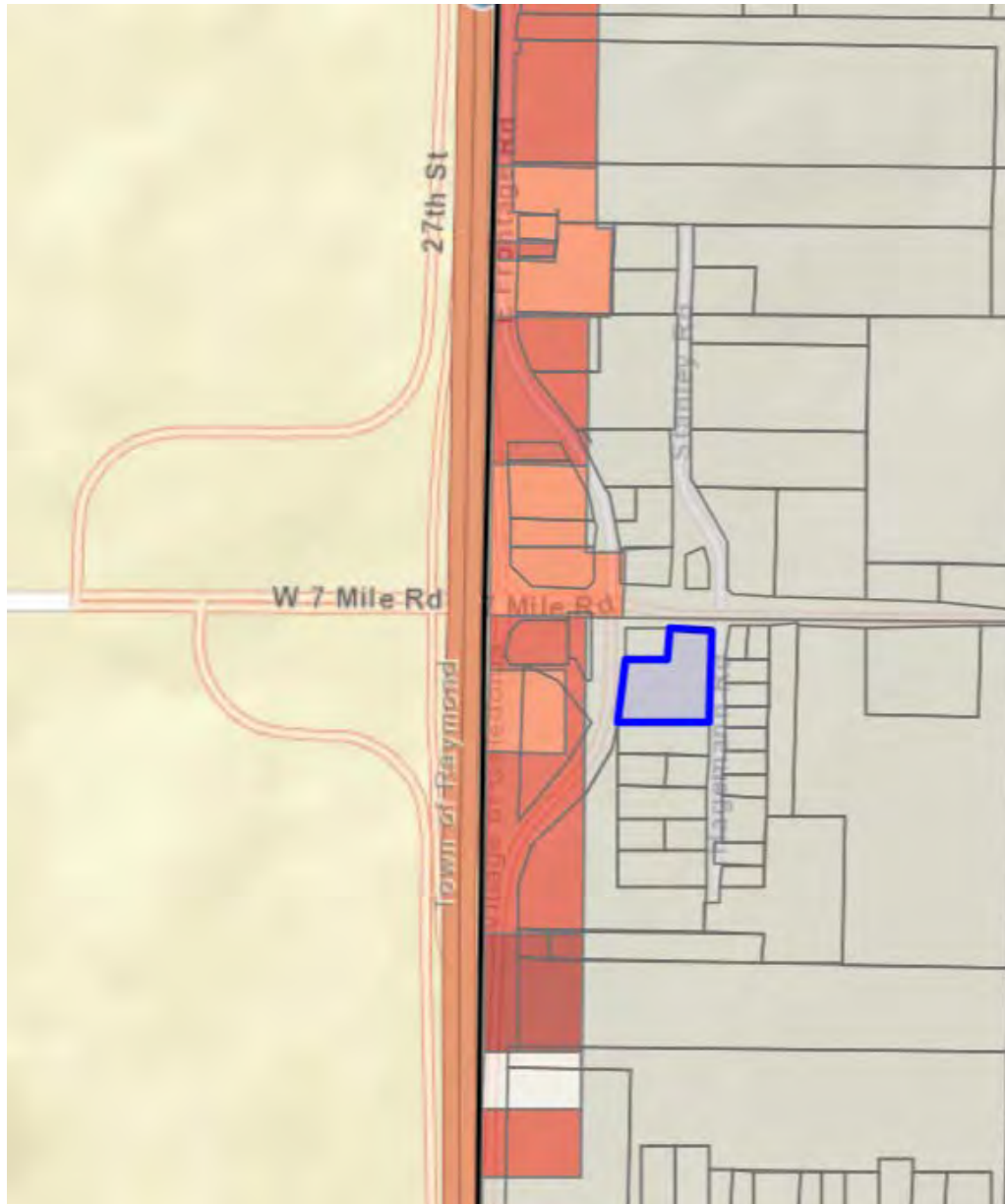
Preliminary Development Plan for



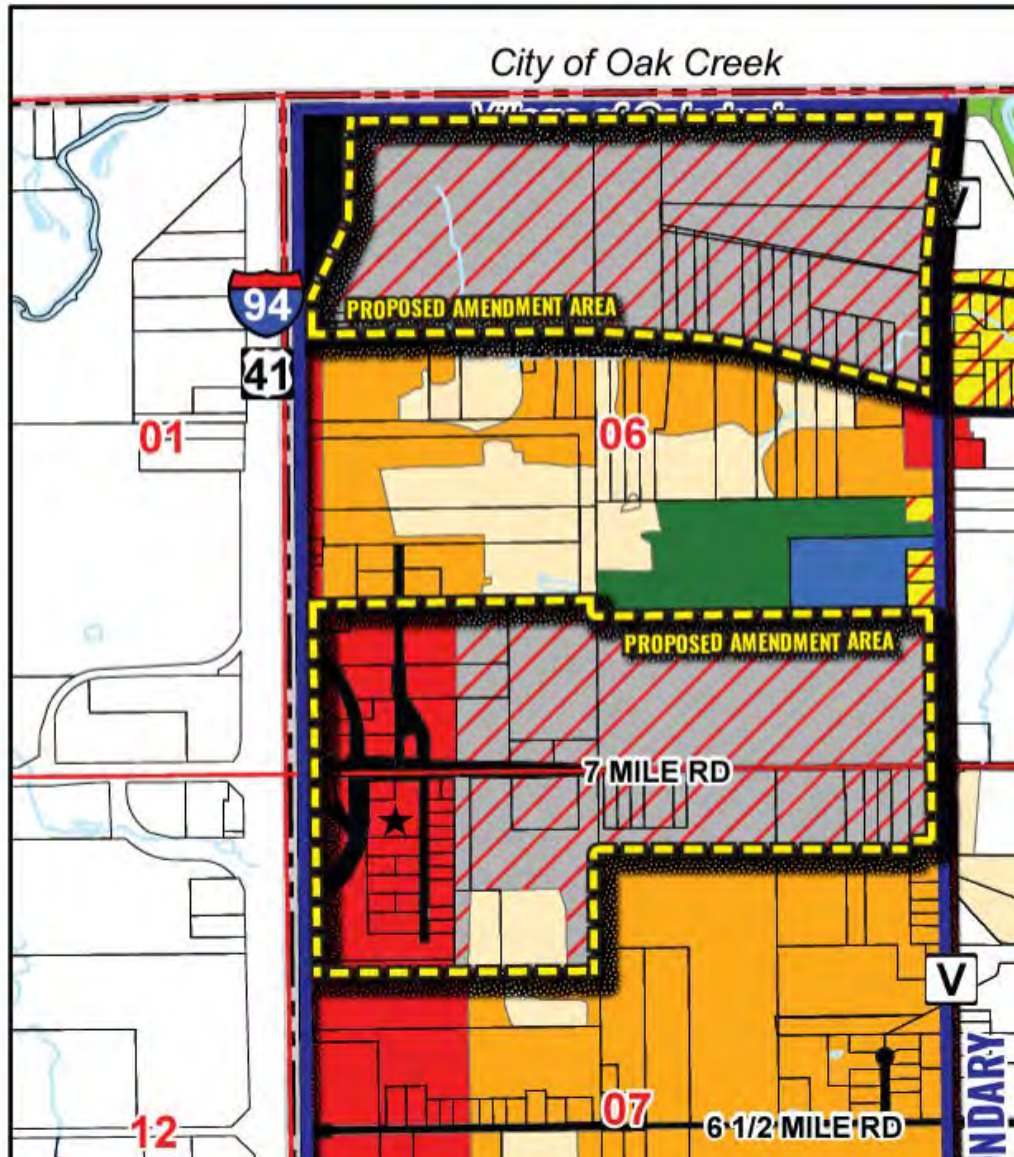
7930 Hagemann Rd,
Caledonia, WI 53108



Zoning: A-2 - Agricultural



2035 Future Use: Commercial



2023 Amendment to Village's Future Land Use Plan: "Follow the detailed land use and zoning implementation strategies recommended in the I-94 Corridor Study adopted by the Village in 2018."

I-94 Study: "allow future commercial uses to continue to be allowed along the East Frontage Road" and "allow 7 Mile Road to house future commercial uses."

The StorageShopUSA™-Caledonia development is located at 7930 Hagemann Rd which is currently zoned A-2 Agricultural, future use commercial. StorageShopUSA™ proposes a rezone to the B-3 Highway Business District for the construction of 22 units of office/workshop condominiums for business and personal use. The office/workshop units will fulfill the intent of the B-3 zoning:

SEC. 16-6-12 (a)

STATEMENT OF INTENT: This district is intended to provide for the orderly and attractive grouping at appropriate locations of commercial activities of a more general retail and wholesale nature, and of the office and service facilities serving a larger community trade area. The size and location of such districts shall be based upon relationship of the community need and economy.

The following use descriptions are consistent with the above statement of intent:

Office & workshop space for trade and contracting services.

Commercial contractors such as electricians, plumbers, and other types of trades and service businesses which require a small office and some workshop space. These types of businesses generate little traffic with low intensity and can be identified as requiring 2 or less parking stalls, no drop-off/pick-up, no retail, and no more than one employee.

Personal workshop and storage - activities consistent with what a typical homeowner uses their garage for, but bigger.

Personal workshop and storage space for crafters, antiquers, and alike. These types of uses generate little traffic with low intensity and can be identified as requiring 2 or less parking stalls, no drop-off/pick-up, no retail, and no more than one employee.

Other business uses that are not specifically permitted or prohibited that are deemed to be of a character compatible with a use listed above.

Other similar uses such as a home-based business, that generate little traffic with low intensity and can be identified as requiring 2 or less parking stalls, no drop-off/pick-up, no retail, and no more than one employee.

Each StorageShopUSA™ development uses the same copyrighted building design and formulates a distinct solution to needed commercial/industrial space. The developments have been very successful with 27 locations in Wisconsin and over 350 units sold.

A listing of the uses from a recent StorageShopUSA™ -Waukesha development is as follows:

- 2- electrical contractor
- 1- plumbing contractor
- 2- security systems contractor

- 1-“coffee cart” operator
- 1- sets up trade shows
- 1- remodeling contractor
- 8- workshops
- 6- business storage

Businesses from other StorageShopUSA™ locations include:

- Carpet cleaner
- Salvation Army office/shop
- Computer networking
- Inflatables for kids’ parties
- Property manager workshop
- Matco tools distributor
- Commercial artist
- Antiques collector/trader (no retail)
- Online marketing /advertising studio-shop
- Cleaning business
- Internet/online wholesaler

The StorageShopUSA™ developments do not allow auto repair, welding, for commercial purposes, nor any retail. There is no outside parking overnight and no outside storage allowed. Excerpts from the condominium rules and declaration are attached.

StorageShopUSA™ developments are NOT “mini-storage” Instead, they provide alternative “storage” *ownership* primarily for businesses. And, they are NOT “personal storage facilities” seeing they are commercially zoned, follow all commercial building codes, provide ADA accessibility, and are used to legally operate a business unlike storage facilities.

We are requesting approval of the attached *StorageShopUSA™ Permitted Uses* document.

Project Characteristics

The proposed development will include eleven (11) duplex buildings for a total of twenty-two (22) 1,250sf condominium units. The density amounts to an impervious surface ratio of 46% with a disturbance area of ~1.6 acres. Around half the lot will be green space.

The development is accessed off East Frontage Rd in the I-94 corridor. Parking is limited to 2 spaces/units. The 22 unit site will generate approximately 79 trips/day based on a traffic study from another StorageShopUSA™ location with 24 units done in 2020 (see attached).

The property will be served by well and septic. Waukesha, Dane, and Ozaukee counties have approved septic systems for StorageShopUSA™ developments. Water usage data collected from 140 units over a one-year timeframe provides the basis for the design of the system. The typical sewer and water infrastructure has been approved by the Department of Safety and Professional Services (DSPS) 23 times in the last 19 years.

The units will be priced at approximately \$150,000 based on previous sales data. The development should increase the Village of Caledonia's tax base by over \$3,300,000.

Site Plan Approval

The proposed StorageShopUSA™ development will be a catalyst to encourage other businesses and developments to locate off 7 Mile Rd in the I-94 corridor. The StorageShopUSA™ community is recognized across the state and would be in harmony with the Village of Caledonia I-94 Corridor Land Use Plan.

StorageShopUSA™ is a condominium community of like-minded *owners* of small businesses and workshops they own- not rent.

The developments are uniform and when grouped together, create a unique look and feel people like.

The materials are wood and brick as required and the buildings get rave reviews of how nice the buildings/development look when completed.

There is no outdoor storage allowed and no parking outside overnight.

The dumpster will be screened (see attached).

There are no protrusions that need to be screened. Occasionally, an exhaust fan or an air conditioner is installed.

Signs are allowed in the front window only for each unit. There is one monument sign with the property address and the StorageShopUSA™ name (see attached).

There are no proposed uses that would have a negative impact on the safe and healthful conditions of the Village.

There is no historical interest.

There are no wetlands or conservation areas to be concerned with.

Performance Standards

There is no reason to believe that any of the small businesses and owners attracted to this development would create any issue with air pollution, fire hazards, glare or heat, liquid or solid waste, noise, odor, or radioactive/electric nuisances. The occupancies are low intensity and low impact.

Ownership and Organization

Once the development is approved, StorageShopUSA™-Caledonia LLC will be formed to purchase the land and see the project through to completion.

The StorageShopUSA™-Caledonia development will be organized under the condominium form of ownership pursuant to Wis. Stats. § 703. A copy of the condominium rules is included with this packet. A condominium association will be formed and as the units sell, unit owners will become part of the association. Once the units are sold, StorageShopUSA™-Caledonia LLC will turn over management to the owners association.

Project Schedule

Construction is planned to start in fall of 2024. It is anticipated the project will be built in one (1) phase with the entire project completed in 2025. Each building requires a separate building permit and approval from DSPS and will be occupied as they are completed. Although there is no “phasing”, the buildings are constructed in a phased manner, generally having several buildings at various stages of construction and as they are completed, they are sold and occupied. Generally, they will be constructed according to the building number they have been assigned.

Additional Design Considerations

The typical StorageShopUSA™ development design has been approved by the Department of Safety and Professional Services (DSPS) 24 times.

- 11 - 2,500sf “duplex” buildings for a total 22 - 1,250sf units. 27,500sf total space.
- Each unit will have a 19ft wide x 18ft long parking designated for its use (described as limited common element on the condominium plat) The parking area provides ADA accessibility to its corresponding unit. No additional parking areas are provided nor are they necessary. Additional stalls only attract more intense users and that is not the type of user StorageShopUSA™, and its owners, want to join the community. Attached is a traffic study performed a little over a year ago from the very first StorageShopUSA™ development in 2004. Pictures were recorded every half hour for the entire business day and shows very light traffic.

Proposed restriction is no more than 1 employee; therefore, 2 spaces/unit is all that is needed and provided. Historically, the designated parking area in front of each unit is all that is necessary – there are no additional parking areas.

- 10-20ft separation distances between buildings create significantly better fire protection and drive isles are consistent with fire access turning radius. Sprinklers are not required. DSPS is considered the authority in the state of Wisconsin on fire prevention and does not require sprinkler systems.
- Lighting is provided by each building, is hardwired, keeps the light focused on the parking and drive isle in front and does not spill to neighboring properties.
- The Development will provide 24/7 access. Business operations are also regulated by Town of Caledonia ordinances.
- Generally, the entire site is graded, and the perimeter is stabilized. Certificates of occupancy are obtained as each building is completed. This phased approach allows units to be occupied while other units are under construction provided an asphalt binder or asphalt millings are in place. All landscape plantings and the asphalt surface coat occur after completion of the last units.
- There is only one monument sign which identifies StorageShopUSA™ and the address of the development. Individual signs are allowed only inside the front window of the unit.
- One central dumpster is provided and serviced twice a month, sometimes only once a month, at the discretion of the unit owners through their association. The dumpster will be screened and is centrally located on the site.
- All StorageShopUSA™ developments comply with stormwater and erosion control ordinances.

EMAIL: SSUSA@TDS.NET | PHONE: 608-444-1515

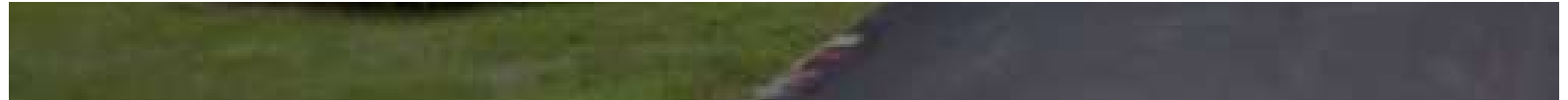
[ABOUT](#) [INVESTORS](#) [FAQS](#)

a



Wisconsin's Commercial Storage & Office Warehouse Condo Provider

SPECIFICATIONS



Madison Area

<u>Northeast Madison</u>	SOLD OUT!
<u>Fitchburg</u>	SOLD OUT!
<u>Lake Mills</u>	SOLD OUT!
<u>McFarland</u>	SOLD OUT!
<u>Middleton</u>	SOLD OUT!
<u>East Madison</u>	SOLD OUT!
<u>Janesville</u>	SOLD OUT!
<u>Waunakee</u>	SOLD OUT!
<u>Stoughton</u>	SOLD OUT!
<u>Verona</u>	SOLD OUT!
<u>Sun Prairie</u>	SOLD OUT!

DeForest/Windsor

SOLD OUT!

Milwaukee Area

<u>Waukesha</u>	SOLD OUT!
<u>Waukesha II</u>	SOLD OUT!
<u>Saukville</u>	SOLD OUT!

Menomonee Falls	SOLD OUT!
Germantown	SOLD OUT!
Delafield	SOLD OUT!
Racine/Mt Pleasant	Request it
Oak Creek	SOLD OUT!
Oak Creek II	Request it
Mequon	SOLD OUT!
Mequon II	Request it
Kenosha	Request it



DePere	2 units left
Appleton	2 units left

Commercial Storage Condo – Workshop – Business Bungalow?

Garage Condo, Commercial Storage, Storage

Condo, Office Warehouse, business bungalow, or how about “Commercial Duplex”. Whatever you choose to call them is up to you. Many different names are appropriate due to the fact that [they're so darn flexible.](#)

Join the more than 150 [StorageShopUSA condo owners](#) that have already recognized the unparalleled value that comes with owning a big residential style garage that you can legally run a business out of – in other words a business or storage condo. No more wasting your hard-earned money on renting from others, owning a commercial storage condo gives you all the benefits of ownership including building appreciation and full control of your space.

Each duplex consists of 2 – 25'X 50' units that include heat, lights, 100amp service, phone, internet, cable, bathroom plumbing, as well as fully drywalled & painted walls & ceilings.

Ownership for around [\\$100,000](#) per unit based on location! Purchase the whole building and save even more!

Because all StorageShopUSA units are condominiums, they are maintenance-free properties which include snow removal and yard maintenance!



Commercial Warehouse Space for Everyone!

When putting together this website, we wanted to show just how flexible a StorageShop really is – what a job that turned out to be. To begin with, how do you categorize a StorageShop? Is it an office warehouse? commercial storage? oversize storage? a business condo? or maybe a business bungalow!

Call it what you like, StorageShops are basically commercially zoned big garages you can utilize for business or personal needs. **Whatever you need space for, you can be sure that a StorageShop will work for you.**

SELF-EMPLOYED CONTRACTORS

MOTORHOME, RV, AND BOAT STORAGE

INVESTMENT PROPERTY DEVELOPERS

STORAGE WAREHOUSE SPACE

CAR COLLECTORS

HOBBYIST

MAN CAVE

MULTI-PURPOSE



a

CONCEPT

- Without question, this is the coolest and most creative real estate concept the country has seen in a long time!

It's all about how you package it...

Office warehouses, commercial storage units, storage condos, duplexes, [boat/rv storage](#), extra garages, pole barns, and work sheds all have all been options and concepts utilized for many years. However, each of them have issues with cost, quality, function, utility, convenience, or personal preference; and they are simply not available to many. – UNTIL NOW!!

StorageShopUSA™ has developed a simple residential style, office warehouse product, commercially zoned and built, that utilizes the very popular “duplex” and “condominium” concept that has an immediate and recognizable value – [all for around 100k!!](#).



Northeast Madison SOLID
OUT

Fitchburg SOLID
OUT

Lake Mills SOLID
OUT

McFarland SOLID
OUT

Middleton SOLID
OUT

East Madison SOLID
☐ OUT

Janesville SOLID
OUT

Flexible Space

From simple storage situations to operating your business, a StorageShopUSA™ unit will provide the utility that [contractors](#), [hobbyists](#), [RV/boat](#) enthusiasts, and small businesses need, combined with the “good sense” of ownership.

A StorageShopUSA™ unit is approximately 25ft wide by 50ft deep with 14’ ceilings (1250sf), a 12ft by 13ft overhead door and located in a commercially zoned area. It provides enough room and height to accommodate most any vehicle. All units have heat, lights, 100amp service, phone, cable, bathroom plumbing, drywall, painted walls and are available for you to OWN. The list of potential uses is endless:

- [Hobbyists looking for space outside their home](#)
- [People with lots of “toys”\(boats, RVs, etc\)](#)
- [Start-up businesses](#) looking to get out of their house, van or garage
- [Contractors](#)
- Business owners that pay rent
- [Rental property owners/managers](#)
- [Investors](#)

StorageShopUSA™ provides an opportunity for individuals, families, small businesses, partnerships and even corporations to have access to economical and “functional” storage along with workshop facilities.

The Condominium Advantage

Build your own or buy a Condominium StorageShop? You really should ask yourself this question. We’re sure that the more you look into it, the more obvious the answer

Waunakee SOLD
OUT

Stoughton SOLD
OUT

Verona SOLD
OUT

Sun Prairie SOLD
OUT

Deforest/Windsor SOLD
OUT



Waukesha SOLD
OUT!

Waukesha II SOLD
OUT!

Saukville SOLD
OUT!

Menomonee Falls SOLD
OUT!

Germantown SOLD
OUT!

will be.

StorageShopUSA™ founder [Greg Thompson](#) discovered first-hand just what a hassle it can be to try and build an oversize garage for some extra space. Save yourself the trouble of finding commercially zoned land, building permits and inspections, building specifications, and cost overruns. StorageShopUSA™ Business Condos does it all for you – it’s your turn-key solution.

The condo bonus is the icing on the cake. With all StorageShopUSA™ Storage Condos, property maintenance is included in your [condo association fee](#). That means no mowing grass and no shoveling snow. Just go to your shop and enjoy!

Other benefits include:

- Immediate and Recognizable Value
- Flexible Buildouts
- Security
- Your Own Personal Space
- Building Ownership

Call StorageShopUSA™ now to learn more – 1-608-444-1515!

[Delafield](#) **SOLD**
OUT!

[Racine/Mt Pleasant](#) **Request it**

[Oak Creek](#) **SOLD**
OUT!

[Oak Creek II](#) **Request it**

[Mequon](#) **SOLD**
OUT!

[Mequon II](#) **Request it**

[Kenosha](#) **Request it**



[DePere](#) **2 units left**

[Appleton](#) **2 units left**

Get in Touch

a



GALLERY



Village of Germantown

Project location: N115 W18950 Edison Drive, **Germantown, W**
12 units – 2007



City of Waukesha

Project Location: 1602 Square Cir
Waukesha
24 units - 2005



46 11 dovetail dr
Madison 24 units



Lake mills 18 units



603 post rd
Madison 28 units



801 walsh rd
Madison 16 units



City of Verona
Investment ct 8 units



Village of mcfarland
Ivywood trail 16 units





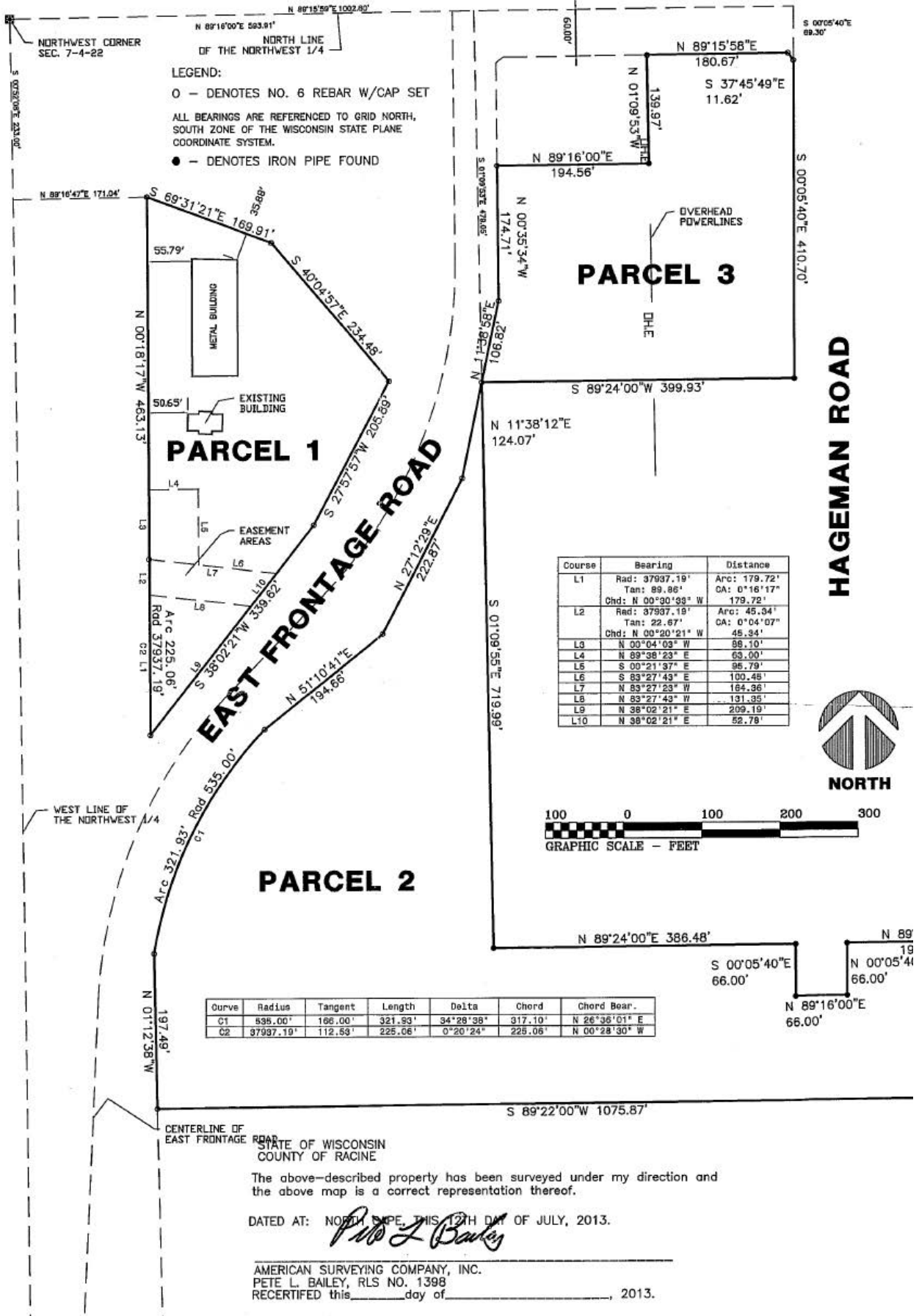






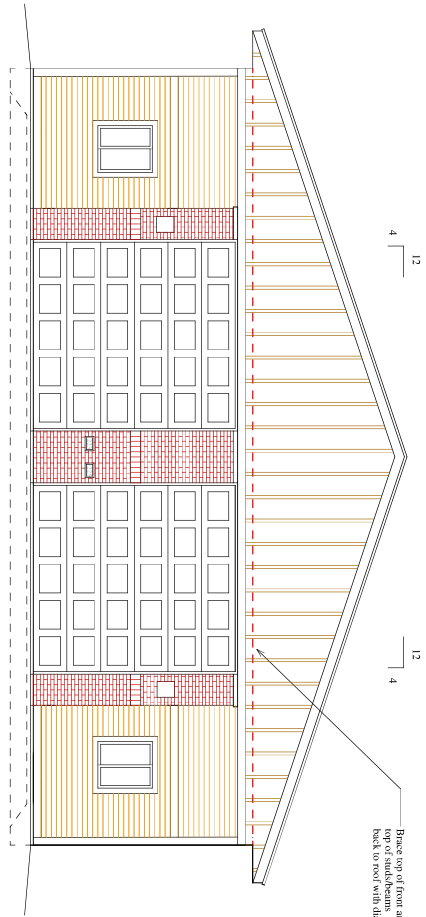
SEVEN MILE ROAD

INTERSTATE I-94



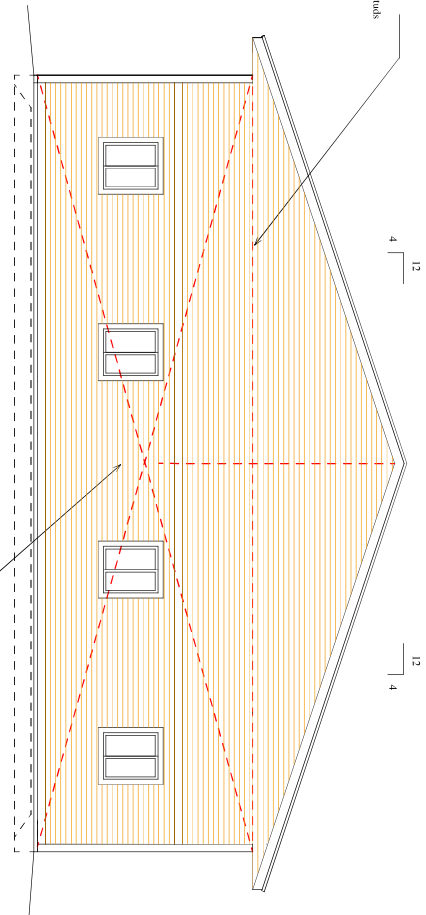
Site Plan





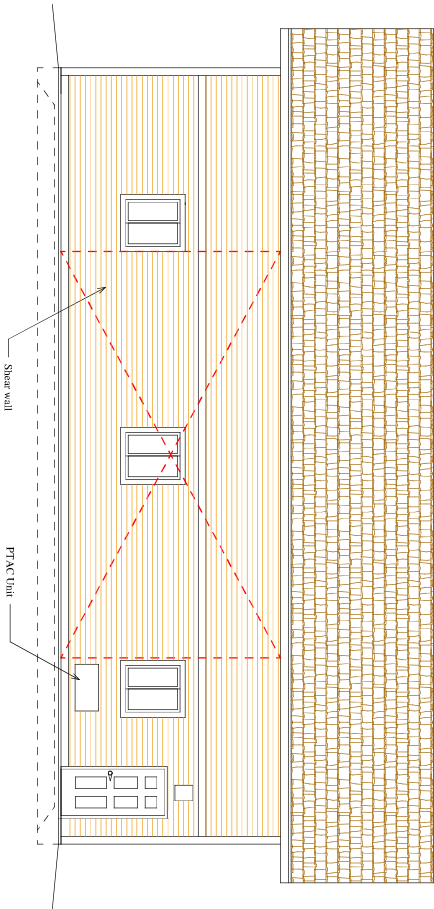
Front Elevation

Scale = 1/4"=1'-0"



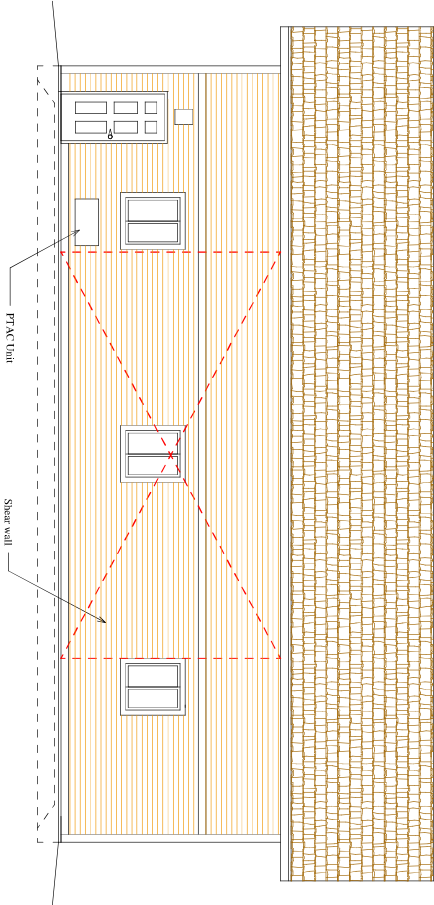
Rear Elevation

Scale = 1/4"=1'-0"



Left Elevation

Scale = 1/4"=1'-0"



Right Elevation

Scale = 1/8"=1'-0"

SHEET
A3.0

Date: 02-07-2018
Scale: As Noted
Job #: 06-01

Project: StoragshopUSA
Address: City of Mequon, WI
Sheet Title: Elevations "A"

Proposed for: StorageShopUSA
Greg Thompson - Owner
Address: 6810 Cross Country Road
Verona, WI 53593

Concepts
In
Architecture, LLC

Jeffery Groenier, Architect
W125 Amidon Road
Brooklyn, WI 53521
608-698-3196
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Jeffrey Greenier, Architect
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 608-498-5196

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Concepts in Architecture, LLC

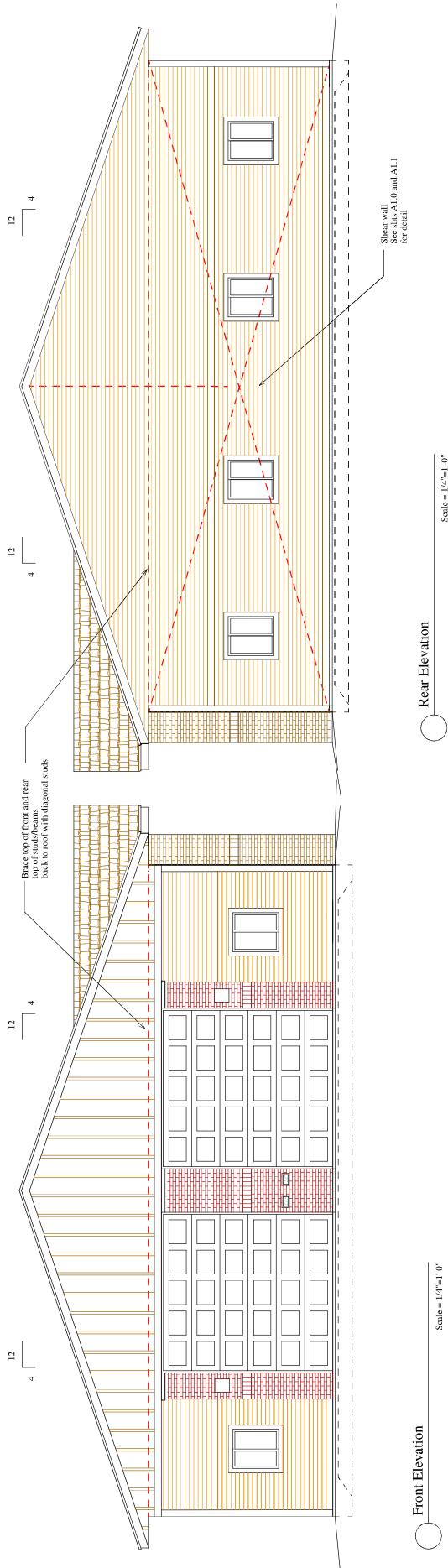
Proposed for:
StorageShopUSA
 Greg Thompson - Owner
 6810 Cross Country Road
 Verona, WI 53593

Project:
StorageShopUSA
 City of Mequon, WI

Sheet Title:
Elevations "B"

Date: 02-07-2018
 Scale: As Noted
 Job #: 06-01

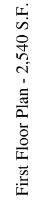
SHEET
A3.1



Note: "8d" = 8d common wire nail (0.131" dia. x 2 1/2" long)



Mark	Size	Material	Remarks
H1	(2)2x10's	Hem-Fir #2	3
H2	(3)2x12's	Hem-Fir #2	3
H3	(2)2x10's	Hem-Fir #2	4

Scale = $1/4^{\circ} = 1:50^{\circ}$ 

**ADMINISTRATIVE RULES AND REGULATIONS
OF
STORAGESHOPUSA-CALEDONIA
CONDOMINIUM OWNERS ASSOCIATION, INC.**

**ADMINISTRATIVE RULES AND REGULATIONS OF
STORAGESHOPUSA-CALEDONIA CONDOMINIUM OWNERS ASSOCIATION, INC**

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**ADMINISTRATIVE RULES AND REGULATIONS
OF
STORAGESHOPUSA – CALEDONIA CONDOMINIUM**

The following administrative rules and regulations are adopted by StorageShopUSA-Caledonia LLC, (hereinafter “the Declarant”), on behalf of the STORAGESHOPUSA – CALEDONIA CONDOMINIUM OWNERS ASSOCIATION, INC., (hereinafter the “**Association**”) for the purpose of assuring that StorageShopUSA – Caledonia Condominium shall be operated in an efficient and orderly manner so as to create a pleasant living environment for all Unit Owners. In furtherance of this purpose, all Unit Owners shall have an affirmative duty to maintain all property of the Condominium in a neat and orderly condition and shall abide by the following rules and regulations which may be amended by the Association:

1. Signs. No sign, including a “For Rent” or a “For Sale” sign, advertisement, notice, or other lettering shall be exhibited on any portion of the Condominium without the prior written consent of the Association except as provided for in the Declaration, or with written approval of the Board.
2. Obstructions. The Common Elements, including but not be limited to, the sidewalks, entrances, passageways, grass, lanes and driveways shall not be obstructed or encumbered or used for any purpose other than ingress and egress to and from Units. Personal property items, including but not be limited to, bicycles, tools, and toys which are not in use shall not be allowed on the Common Elements. Bicycles shall be kept inside the Unit or a garage when not in use.
3. Animals. No vicious animals are allowed in any part of the Condominium. All animals must be kept on a leash at all times when not in the Unit.
4. Hanging of Garments and Window Coverings. The hanging of garments, rugs, and similar articles from the windows or from any other facades of the Condominium property shall not be allowed. No outdoor clothes lines shall be allowed at any time. No sheets shall be used for window coverings unless on a temporary basis for a reasonable period of time while awaiting window coverings.
5. Protrusions. Except for the standard awning and optional satellite dish as allowed in the Declaration, no awning or other similar articles and no television antennae, machines, air conditioning units, wiring for electrical or telephone installation, or other similar protrusions shall be allowed on the exterior of the Condominium property without the prior written consent of the Board. If such equipment is necessary to upgrade the Unit, no consent may be unreasonably withheld by the Board.

The only area for signage is at the entrance to the facility (reserved for the StorageShopUSA sign). Real estate for sale or for rent signs are only allowed inside the window area.

6. Damage to Common Elements. All damage to Common Elements or Limited Common Elements caused by the moving or carrying of articles thereon or caused by any other action shall be the responsibility of, and shall be paid for by, the Unit Owner or person causing such damage.
7. Noise. Unit Owners shall not unreasonably disturb other Unit Owners. No Unit Owner shall conduct or permit any soliciting at the Condominium. No children shall be permitted to play or remain in the Common Elements.
8. Commercial Use; Zoning Code. All Units shall be used by their respective Unit Owners only as small scale business office, owner workshop, and associated warehouse *pursuant to Article 6.01 of the Declaration*, and for no other purpose whatsoever. The use of the Condominiums is limited to those commercial uses allowed currently or in the future by state and local zoning and use laws and building codes. Each owner is required to document that their use is compliant with such laws and codes, and the Association is given a private right to require owners to comply with the same. NO AUTO REPAIR OR WELDING BUSINESS IS ALLOWED IN THE CONDOMINIUM. COMMERCIAL WOOD WORKING IS REGULATED BY THE ASSOCIATION. NO RETAIL SHOPS ARE ALLOWED

No overnight sleeping in any Unit shall be permitted, and no storage outside the Unit is permitted.

Generally, the uses of the Condominiums are limited to the following:

Low intense businesses, trades and contracting services, and personal workspace which provide offices, warehousing, and workshops limited to no more than one (1) employee onsite and requires two (2) or less parking stalls.

NOTE: Businesses that generate high traffic and/or have high intense operations are discouraged.

The site is on private septic and occupancies that require water usage of MORE THAN 7500 GALS/YEAR ARE PROHIBITED.

The facility will be accessible 24/7; except that, all businesses' hours of operation will be regulated by the Village of Caledonia Ordinances.

9. Unit Rental. Other than for commercial wood working and other prohibited uses, a Unit may be rented by a Unit Owner in compliance with the Declaration. All leases

shall be in writing and copies of all such leases shall be provided to any other Unit Owner upon request. All rental agreements shall contain as part of them an agreement by all parties a statement that any tenant, subtenant, assignee or other leaseholder has had an opportunity to read the Condominium documents and is subject to all terms of the Declaration, Bylaws and Rules, as amended from time to time or the Board shall have the power to void the instrument creating the tenancy. The Unit owner may be fined up to **\$100.00** per day by the Board for a violation of this paragraph. **Renting the Unit for just storage is not allowed.**

10. Insurance Rates. Unit Owners shall be prohibited from conducting any activity or storing any article in their Units or on the Limited Common Elements and Common Elements which would increase the rate of insurance on the condominium property.
11. Maintenance of Unit. Each Unit Owner shall promptly perform or shall have promptly performed all maintenance and repair work within his/her own Unit which work, if omitted, would adversely affect any Common Elements or Limited Common Elements, any portion of the condominium property belonging to other Unit Owners, or the condominium property as a whole, and each Unit Owner shall be responsible for all damages and liabilities that any failure to maintain or repair may engender.

Each owner shall shovel their own parking areas within 3 feet of the building. The remainder of the parking area is performed by the snow plowing contract with the association.

12. Nuisances. No immoral, improper, offensive, or unlawful use shall be made of the condominium property or any part thereof, and each Unit Owner at said Unit Owner's expense shall comply with, perform, and fully satisfy all city, state, and federal laws, statutes, ordinances, regulations, orders, or requirements applicable to his/her unit.
13. Parking. Unit Owners shall neither park, nor shall they permit their families, tenants or guests to park, in the parking areas of other Unit Owners, or in such manner as to prevent ready access to the parking areas of other Unit Owners. Improperly parked vehicles shall be subject to removal at their Unit Owner's expense. No parking shall be permitted at any time on any drive lanes or roads which run through the Condominium. No Unit Owner shall keep a junk vehicle (defined as a non-operating vehicle) on the Condominium at any time. No Unit Owner shall conduct any vehicle repair except on vehicles parked in a garage.

No unit owner or guest may park any vehicle anywhere overnight, and no parking stalls may be leased for more than three years or conveyed, sold, transferred or assigned separately from the unit for which it is a limited common element.

14. Service and Recreational Vehicles. Storage of service vehicles owned or operated by Unit Owners, boats, travel trailers, mobile homes, campers, and other recreational

vehicles outside of the Unit shall be prohibited. Temporary waiver of these prohibitions may be obtained from the Association Board of Directors, which waiver or denial thereof shall be in the sole discretion of the Association Board of Directors.

15. (intentionally left blank).
16. Storage. The Association shall not be liable for any loss or damage of or to property placed in any Unit or in the Limited Common Elements and Common Elements. No storage may be maintained outside any Unit.
17. Common Elements Maintenance. Unit Owners shall be prohibited from discarding any dirt or materials from the windows, balconies, or doors of the Units and shall be prohibited from discarding any dirt or materials into the Common Elements and Limited Common Elements.
18. Applicability to All Owners . Notwithstanding anything contained herein to the contrary, all rules and regulations shall apply to, and shall be complied with by, all Unit Owners and all persons under their control, including, but not limited to, the Unit Owners' servants, tenants, employees, agents, visitors, licensees, and family members.
19. Modifications. No unit owner may modify their Unit or the Common Element without prior consent from the Board of Directors and as provided under Article III of the Condominium. See WARNING in Declaration. All modifications or additions to the Common Element shall be made with Board consent, and the Board shall require that style and color match other Common Element.
20. Trash. Trash disposal is the duty of each Unit owner, and no trash container may be placed outside of the Unit. Notwithstanding the above, Declarant or the Association may designate a place on the Common Area for trash disposal and may provide individual trash containers for each unit.
21. Ventilation. Ventilation is required to meet the requirements of Chapter SPS 364. Depending on the use, mechanical or natural ventilation is acceptable. Penetrations to the structure are limited to the rear wall off each unit. Roof penetrations are subject to approval of the Association. A fresh air intake HVAC system is required for any use that needs to provide for "human comfort" in accordance with the according to the state commercial building code.

The units have been conditionally approved as an S-1 moderate hazard storage building. Motorized vehicles may not be driven into the building for loading, unloading, or stored unless appropriate ventilation requirements for an enclosed parking garage are met. Additionally, hazardous materials such as fuel, gun powder, fireworks, fertilizers, etc. may not be stored in the building unless the limitations in the amounts addressed in IBC 307 are adhered to. The owner shall be responsible to

address these storage materials with the ensuing HVAC design professional so that appropriate exhausts and make up air are facilitated.

Unit owner MUST record the use and any changes in use with the Association. Failure to do so may result in fines and penalties.

OTHER

22. Exterior light in front is used to provide security and street lighting. Each unit owner has one and is responsible for keeping the light in working condition at all times. The fixture is equipped with a timer/and photocell combination to turn on and off automatically.
23. Road restrictions will be placed on the private road that match the Village of Caledonia and Racine County, Wisconsin, ordinances. Enforcement and subsequent penalties shall be in accordance with Racine County ordinances and policies.
24. Service door and overhead door repair, maintenance and replacement are the responsibility of each Unit owner. Unit owner must keep the door free of any dents or scrapes. Replacement doors must be approved by the Association for both style and color. Repairs must match the original aesthetic appearance.

These Rules may be amended by the Board of Directors of the Association by a majority vote.

These administrative rules and regulations are adopted on this _____ day of _____, 2024, and shall be effective upon the establishment of the Association.

**STORAGESHOPUSA – CALEDONIA
CONDOMINIUM UNIT OWNERS
ASSOCIATION, INC.**

By: StorageShopUSA-Caledonia LLC, Declarant

Gregory A. Thompson, President

This instrument drafted by:
Gregory A. Thompson

SUMMARY OF TRAFFIC STUDY

For

StorageShopUSA Development at 4611 Dovetail Dr. Madison

August 12, 2020 7:30am to 7:30 pm

Site developed in 2004

Total number of units = 24 (12 buildings)

Counted all traffic in and out and took pictures every half hour

Total Trips in 12 hours = 84 (in and then out of the development is 2 trips)

Ave. Trips/hour = 7

Ave trips/unit = 3.5/day (ave trips for a SFH is 10/day)

Max trips/ hr = 12 (between 8:30 and 9:30am)

Rush hour trips = 9.5/hr (between 4pm and 6pm)

Current traffic count = 2 SFH = 20 trips/day

Projected traffic count = 24 units= 84 trips/day

Net increase = 64 trips.

Observations:

- 90% of the trips were generated by 5 of the units. Units 9, 11, 12, 16, and 18. Four of those units are auto related businesses which involve "*onsite retail, service businesses which require customer drop-off and pick-up, ... and are prohibited.*" (language taken directly from staff report regarding uses)
- 6 of the 12 buildings had no activity all day long.

Summary

Regulating the uses by not allowing drop-off and pic-up type businesses significantly reduces the number of trips to a StorageShopUSA facility. The number of trips generated projected should not be much more, if any, than the typical trips generated by residential development.

StorageShopUSA™- Traffic
Wednesday, August 12, 2020

*Dovetail Dr, Madison
Developed in 2004-05*







StorageShopUSA™ Permitted Uses

SEC. 16-6-12 (a)

STATEMENT OF INTENT: This district is intended to provide for the orderly and attractive grouping at appropriate locations of commercial activities of a more general retail and wholesale nature, and of the office and service facilities serving a larger community trade area. The size and location of such districts shall be based upon relationship of the community need and economy.

The office/workshop units will accommodate the following uses consistent with the B-3 zoning and commercial future use:

Office & workshop space for trade and contracting services.

Commercial contractors such as electricians, plumbers, and other types of trades and service businesses which require a small office and some workshop space. These types of businesses generate little traffic with low intensity and can be identified as requiring 2 or less parking stalls, no drop-off/pick-up, no retail, and no more than one employee.

Personal workshop and storage - activities consistent with what a typical homeowner uses their garage for, but bigger.

Personal workshop and storage space for crafters, antiquers, and alike. These types of uses generate little traffic with low intensity and can be identified as requiring 2 or less parking stalls, no drop-off/pick-up, no retail, and no more than one employee.

Other business uses that are not specifically permitted or prohibited that are deemed to be of a character compatible with a use listed above.

Other *similar uses* such as a home-based business, that generate little traffic with low intensity and can be identified as requiring 2 or less parking stalls, no drop-off/pick-up, no retail, and no more than one employee.

Proposed uses fall under these two categories allowable under B3:

Professional Office
Personal Service

Examples of Professional Office / Personal Service uses in previous StorageShopUSA™ developments include:

Electrical contractor
Plumbing contractor
Remodeling contractor
Carpet cleaner
Cleaning business
Remodeling contractor
Security systems contractor

Salvation Army office/workshop
Property manager office/workshop
Matco tools distributor
Computer networking
Online marketing/advertising studio-shop
Internet/online wholesaler
Commercial artist
Inflatables for kids' parties
"Coffee cart" operator
Carpentry workshops
Antiques collector/trader (no retail)
Barrel maker



Meeting Date: June 24, 2024

PLAN COMMISSION REPORT

Item No. **5D**

Proposal: Conditional Use Amendment and Building, Site, and Operation Plan

Description: A request to approve a conditional use amendment and building, site, and operation plan for the construction of a $\pm 10,000$ square-foot commercial building for the operation of a commercial trailer sales and service business with outdoor storage and display of merchandise for the parcel located on USH 41, directly south of 6009 USH 41

Applicant(s): Luke Sebald, Keller Inc.

Address(es): USH 41

Suggested Motions:

That the Plan Commission recommends the Village Board approves the proposed conditional use amendment extending the time of compliance by twelve months to begin construction of a commercial building to operate a commercial trailer sales and service business with outdoor display of merchandise for the property located directly south of 6009 USH 41, Parcel ID No. 104-04-22-19-037-000 as outlined in Exhibit A for the following reasons:

1. The proposed use is permitted by conditional use permit in the B-3 Highway Business District through the conditional use review process.
2. The proposed conditional use is in accordance with the purpose and intent of Title 16 of Municipal Code and complies with all its sections.

That the Plan Commission recommends to the Village Board that a building, site, and operation plan for the construction of a $\pm 10,000$ square foot commercial building to operate a commercial trailer sales and service business with outdoor display of merchandise for the property located directly south of 6009 USH 41, Parcel ID No. 104-04-22-19-037-000 be approved for the following reasons:

1. The proposed use is consistent with the conditions of the conditional use permit.
2. The proposed meets the criteria for approval as stated in Sec. 16-4-1 (Required Plans) of Municipal Code.

Owner(s): Caledonia Trailers LLC

Tax Key(s): 104-04-23-18-006-000

Lot Size(s): 40.92 acres

Current Zoning District(s): B-3, Highway Business District and A-2, Agricultural District

Overlay District(s): Shoreland-Wetland Overlay District

Wetlands: ☒ Yes ☐ No Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Commercial, Medium Density Residential, Isolated Natural Resource Area

Background: In 2022, the Village granted a conditional use for the operation of a commercial trailer sales and service business with outdoor storage. This conditional use was amended in 2023 to extend the compliance period by twelve months to begin construction. Additionally, the Village approved a building, site, and operation plan for the construction of a ±20,761 square-foot commercial building intended for the future operation of a commercial trailer sales and service business with outdoor display and storage of merchandise (never constructed).

The Applicant is currently requesting approval for a conditional use amendment to extend the compliance period by an additional twelve months and a building, site, and operation plan to develop ±3 acres in the southwest corner of the ±40-acre parcel and construct a ±10,000 square-foot commercial building for the operation of a commercial trailer sales and service business with four gravel areas for outdoor display and storage of merchandise. The building will include a sales floor, service area, and offices. In addition, revisions were made to the conditions and building, site, and operation plan reflect updates to the Village's zoning code. Additional details regarding the use of the proposed space are noted in the Applicant's narrative.

Zoning & Land Use: The proposed development is contained within the area of the parcel zoned B-3 Highway Business District and outside of the Shoreland-Wetland Overlay District. The proposed development meets the intent and regulations (building size, height, and setbacks) of the B-3, Highway Business District. Further, the development meets the conditions of the conditional use permit, and the land use is consistent with the Village's adopted comprehensive plan.

Environmental: The parcel contains ±21 acres of wetlands/isolated natural resource areas. The site also contains navigable streams as identified by WDNR. The placement of the proposed development is outside of the wetlands, isolated natural resource areas, and setback requirements for the navigable streams on the site.

Design: The proposed 24-foot-tall building will be constructed of precast concrete wall panels painted to create distinct top, middle, and bottom sections, which is consistent with the Village building design guidelines. The west elevation will feature large glass sections, a canopy, and a glass vestibule at the main entrance. Part of the front elevation will be painted blue to accentuate the proposed wall sign and highlight the building's entrance. The north elevation will have similar materials and include three overhead doors: one accessing the display room and two providing access to the service bays. The south elevation will also have three overhead doors, all leading to the service bays. The east elevation will consist of concrete panel walls. No building mechanicals are shown on the drawings; however, the Applicant is aware that all ground and rooftop mechanicals must be screened from the right-of-way. Screening from the freeway view is not required due to the change in elevation. The proposed design meets requirements of Municipal Code and is consistent with Village design guidelines.

The Applicant proposes to fence the perimeter of the ±3-acre development site. A 6-foot-tall decorative metal fence is proposed along USH 41, while a 6-foot-tall chain link fence is proposed along the north, east, and south edges of the development site. The Applicant also proposes to enclose the dumpsters, which are to be located in the south east corner of a display area to the north and east of the building, with a 12-foot x 12-foot chain link fence with privacy slats.

Landscaping: The Applicant's proposed landscape plan includes a mix of trees planted approximately 50 feet apart and shrubs along USH 41, creating a vegetative fence. A mix of shrubs, perennial grasses, and flowers is proposed for the driveway entrance. The parking lot end caps will consist of low-height shrubs. The north, west, and south sides of the building foundation will feature a mixture of shrubs and perennials. The southwest corner of the site will have a combination of evergreens and deciduous trees, which will continue along the south side of the site, extending the length of the parking area. East of this area is a wetland where the land cannot be disturbed. A line of trees will extend northward from the east end of the site. The proposed landscape plan meets requirements of Municipal Code and is consistent with Village design guidelines. The Plan Commission has the discretion to request additional landscaping around the addition or elsewhere on the site.

Parking: The Applicant proposes a parking lot with 22 (9 feet x 20 feet) parking spaces, including one handicap space, west of the building. An additional 10 (9 feet x 20 feet) future parking spaces are dedicated to the south of the proposed parking lot, bringing the total to 32 parking spaces. Per code, the minimum number of parking stalls is one

per every 150 square feet of floor area. The proposed dimensions and number of parking spaces meets requirements of Municipal Code. Asphalt will be used to surface the parking and drive aisle areas on the site.

Lighting: The Applicant proposes light poles to be located within the trailer display areas and customer parking areas. In addition, wall lights are proposed for all sides of the building. All proposed lighting at the site is cast down with full cut-off fixtures and zero-degree tilt. The Applicant's provided photometric plan shows the foot-candle extent of exterior lighting, with no more than 0.5 foot-candles at the property line. The proposed lighting meets requirements of Municipal Code and is consistent with Village design guidelines.

Engineering: Applicant to work with the Village of Caledonia Engineering Department and comply with all regulations and requirements.

Access: The Applicant is proposing a driveway off USH 41 with a 35-foot-wide driveway to access the site. Per the Applicant, it is anticipated that the maximum number of automotive trips to and from the site would be 40 per day and the number of daily truck trips would be four.

Signage: A master sign plan for the site was approved in 2023 allowing for an oversized 35-foot tall pole sign (20 feet x 6 feet) and oversized wall sign (23.84 feet x 4.83 feet).

Fire Department: The Fire Department indicated no concerns regarding the proposed site plan; however, they will work with the Applicant to ensure compliance with sprinkling requirements for this building type.

If the Plan Commission is comfortable with the proposed addition, staff has drafted a suggested motion recommending approval of the building, site, and operation plan for the proposed development located on USH 41, directly south of 6009 USH 41.

Prepared by:



Todd Roehl
Planner/Zoning Administrator

Respectfully submitted by:



Peter Wagner, AICP
Development Director

Exhibit A:

Caledonia Trailers Conditions and Restrictions

Applicant: Caledonia Trailers LLC
Property Address(es): USH 41
Parcel ID No.: 104-04-22-19-037-000

Approved by Plan Commission:
Approved by Village Board:

1. LEGAL DESCRIPTION

That part of the Northwest ¼ of the Northwest ¼ of Section 19, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, bounded and described as follows:

Commencing at the Northwest corner of the Northwest ¼ of said Section; thence North 89°22'27" East along North line of said ¼ Section 147.22 feet to the point of beginning of the lands hereinafter described; thence North 89°22'27" East continuing along said North line 936.21 feet to a point; thence South 00°16'26" West 1,127.06 feet to a point; thence South 89°20'17" West 971.93 feet to a point in the East line of East Frontage Road; thence North 00°16'26" West along said East line 767.98 feet to a point; thence North 05°23'36" East continuing along said East line 361.68 feet to the point of beginning. Said lands as described contains 1,089,273 square feet of 25.006 acres.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

A. All requirements of the Village of Caledonia Municipal Code are in effect and apply to this conditional unless modified as set forth herein.

B. The conditional use as set forth in the application, narrative, and concept site plans received December 29, 2021 are incorporated hereby by reference and shall be modified to comply with these conditions and restrictions. A precise detailed site plan for the area affected by the conditional use, shall be submitted to, and approved by, the Plan Commission and Village Board prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) General Development Plan

- a) Detailed building/structure location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
- i) Location(s) and future expansion
- ii) Number & type(s) of dwellings
- iii) Number of garage & surface parking spaces
- iv) Dimensions
- v) Setbacks
- h) Location(s) of loading berth(s)
- i) Location of sanitary sewer (existing & proposed)
- j) Location of water (existing & proposed)
- k) Location of storm sewer (existing & proposed)
- l) Location(s) of wetlands (field verified)
- m) Location(s) and details of sign(s)
- n) Location(s) and details of proposed fences/gates

2) Landscape Plan

- a) Screening plan, including parking lot screening/berming
- b) Number, initial size, and type of plantings
- c) Percentage open/green space

3) Building Plan

- a) Architectural elevations (w/dimensions)
- b) Building floor plans
- c) Materials of construction (including colors)

4) Lighting Plan

- a) Types & color of fixtures
- b) Mounting heights
- c) Types & color of poles
- d) Photometrics of proposed fixtures

5) Grading, Drainage and Stormwater Management Plan

- a) Contours (existing & proposed)
- b) Location(s) of storm sewer (existing and proposed)
- c) Location(s) of stormwater management structures and basins (if required)

6) Fire Protection

- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction

- C. All plans for new buildings, additions, exterior remodeling, site modifications, and landscaping shall be submitted to the Plan Commission and Village Board for their review and approval prior to the issuance of a building permit.
- D. For any new buildings, additions, structures, and site modifications, site grading and drainage, stormwater management, and erosion control plans shall be submitted to the Village's Public Services Director for approval, if required. The Caledonia Utility District approval must be received prior to the issuance of any building permits.
- E. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of these properties.

3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

- A. Uses allowed on this property shall be limited to those allowed in the B-3, Highway Business District, these Conditions and Restrictions, and all applicable sections of Municipal Code.
- B. Operation of a commercial trailers sales and service business with outdoor display of merchandise is permitted.
 - i. Outdoor storage shall be limited to the parking and display of trailers for sale by the business.
 - ii. Trailers for sale shall be located in designated areas as approved by the Plan Commission on June 24, 2024.
- C. Solid waste collection and recycling shall be the responsibility of the applicant.
- D. Removal of snow from off-street parking areas, walks, public sidewalks, private roads and access drives shall be the responsibility of the applicant. Snow shall not be stored in the public right-of-way.

4. PARKING AND ACCESS

- A. A Traffic Impact Analysis (TIA) shall be performed and submitted to the Village Engineer for review prior to the submission of applications for Plan Commission review of site, building, landscaping, lighting, and similar plans. Required roadway improvements and modifications identified in the TIA shall be the responsibility of the applicant and all such improvements shall be installed prior to issuance of any occupancy permits and in accordance with a schedule established by the Village Engineer.
- B. The site plan shall include parking stalls with an average of no more than 1 stall for each 150 square feet of floor area for this development. Parking stall dimensions shall be in accordance with SEC. 16-12-1(d) of Municipal Code.

5. LIGHTING

Plans for new outdoor lighting shall be submitted for review and approval by the Electrical Inspector and/or Development Director in accordance with SEC. 16-10-4 of Municipal Code. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway.

6. SETBACKS

The external setbacks for the development, per SEC. 16-6-12 Highway Business District, shall be at least as follows:

	Street Setback	Rear Setback	Side Setback
Principal Structure	40 ft	40 ft	10 ft
Accessory Structure	40 ft	40 ft	10 ft
Parking	15 ft	0 ft	0 ft

7. TIME OF COMPLIANCE

The operator of the conditional use shall commence work in accordance with these Conditions and Restrictions within twelve (12) months from the date of adoption of the resolution authorizing this Conditional Use. This Conditional Use approval shall expire within twelve (12) months after the date of adoption of the resolution if a building permit has not been issued for this use and substantial work has not commenced. The applicant shall re-apply for a Conditional Use approval prior to recommencing work or construction.

8. OTHER REGULATIONS

Compliance with all other applicable Village, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

9. STORMWATER

The applicant must contact the Village of Caledonia Stormwater Utility District regarding Stormwater regulations for this site. Compliance with all regulations and requirements, as determined by the Village of Caledonia Stormwater Utility District is required. Stormwater management plans shall be submitted for approval and be in compliance with all Village requirements, as determined by the Public Services Director before permits are issued.

10. FIRE DEPARTMENT APPROVAL

Applicant shall obtain approval from the Village of Caledonia Fire Department and meet applicable codes.

11. CALEDONIA SEWER AND WATER UTILITY DISTRICTS

Applicant must contact the Caledonia Sewer and Water Utility Districts regarding Utility District regulations for this site. Compliance with all regulations and requirements, as determined by the Caledonia Sewer and Water Utility Districts is required. The site is located within the Caledonia Sewer and Water Service Area, but sanitary sewer and watermain are not available at this time. Due to sanitary sewer and watermain not being available, a declaration of restrictive covenants document will need to be executed by the owner prior to any building permits being issued. All buildings shall connect to public sanitary sewer and water when available.

12. SIGNAGE

The Village's signage requirements are set forth in Title 16 of the Village's Code of Ordinances. Any proposed advertising sign at the site will require a separate sign permit prior to installation. Please contact Village Zoning staff for advertising sign regulations and permit procedures. Banners, balloons, flashing or animated signs are prohibited.

13. NO ACCUMULATION OF REFUSE AND DEBRIS

Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.

14. PROPERTY MAINTENANCE REQUIRED

A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade. All drives shall be paved with asphalt. Parking areas shall be paved or have placed upon them compacted recycled asphalt. All drives and parking areas shall be maintained in a dust free condition.

15. PERFORMANCE STANDARDS

The applicant must comply with the provisions of **SEC. 16-10-4 of Municipal Code** related to various performance standards and any conditions established by subsequent conditional use approval.

16. ACCESS

The applicant must allow any Village or Racine County employee full and unlimited access to the project site at a reasonable time to investigate the project's construction, operation, or maintenance.

17. COMPLIANCE WITH LAW

The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 9, 14, 16 and 18 of the Village of Caledonia Code of Ordinances.

18. REIMBURSE VILLAGE COSTS

Applicant shall reimburse the Village all costs incurred by the Village for review of this conditional use approval including but not limited to engineering, legal and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.

19. AMENDMENTS TO CONDITIONAL USE

No additions, deletions, or changes may be made to the project, site plan, or these conditions without the Village of Caledonia's prior approval. All addition, deletion, and/or change requests must be submitted to the Village of Caledonia in writing. A minor change to the conditions of this permit, as deemed by the Zoning Administrator, may be made at a staff level, if authorized by the Zoning Administrator.

20. BINDING EFFECT

These conditions bind and are applicable to the Applicant, property owner, successor and assigns, owner's association(s) and any other users of the Property with respect to the uses on the Property.

21. VIOLATIONS & PENALTIES

Any violations of the terms of this conditions and restrictions of this Conditional Use shall be subject to enforcement and the issuance of citations in accordance with Village Code of Ordinances. If the owner, applicant or operator of the Conditional Use is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the Village shall have the right to initiate revocation procedures for this Conditional Use, subject to the provisions of paragraph 22 herein. Nothing herein shall preclude the Village from commencing an action in Racine County Circuit Court to enforce the terms of this Conditional Use or to seek an injunction regarding any violation of this Conditional Use or any other Village ordinances.

22. REVOCATION

Should an applicant, its heirs, successors or assigns and any other users of the property fail to comply with the conditions and restrictions of the approval issued by the Village Board, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth in the Municipal Code.

23. AGREEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the Village or terminated by mutual agreement of the Village and the owner, and their subsidiaries, related entities, successors and assigns. Therefore, Caledonia Trailers, LLC; its heirs, successors, and assigns, including all users, future owners, occupants and owner's association(s), are responsible for full compliance with the above conditions.

24. SUBSEQUENT OWNERS

It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.





Keller

Right Trailers Narrative

May 28, 2024

Village of Caledonia Plan Commission 5043
Chester Lane
Racine, WI 53402

RE: Right Trailers – Ground Up Trailer Dealership & Service Center

Dear Plan Commission Members,

Right Trailers, Inc. was founded in May 2004 by Michael Scott and his father, Hugh Scott. The mission was to change the way people buy trailers and to make a positive impact to each community Right Trailers calls home.

Today, Right Trailers has (4) locations over (800) trailers in inventory, an extensive parts inventory and six day a week customer service at its locations.

Traffic to and from USH 41 Frontage Rd site will operate in much the same way as a new car dealership. It is anticipated that the maximum number of automotive trips to and from the site would be (40) per day. The number of daily truck trips would be (4).

Product parking will be as shown on the Site Plan. The product parking will occur on (4) different display areas as noted on the civil plan. Customers will be shuttled around the product displays by foot or on golf carts.

Customer parking will be located on the west side of the parcel for up to cars and trailers waiting for service. This area will be divided and screened by plantings per the landscaping plan.

Right Trailers will be constructing a 10,000 sq. ft. precast panel building initially. This building is shown on the elevation plans supplied. It will be made up of the sales floor, service area, and offices. As the business grows Right Trailers anticipates the future construction of an additional 40,000 sq. ft. to house additional inventory, parts, and services. This will become a distribution point for Right Trailers' Midwest operations.



Hours of Operations will be as follows:

Deliveries: Monday – Friday from 6:00 AM – 6:00 PM

Retail: Monday – Saturday from 8:00 AM – 6:00 PM

Customer Drop-Offs: By Appointment (to accommodate customers that cannot arrive during normal hours)

Right Trailers' parcel is approximately 40-acres. This initial building will include development of approximately three acres of the site. Future development of the parcel will be capped at 10 acres in total.

The development will be confined to the non-wetland area of the parcel located on the southwest corner. The wetlands will remain undisturbed. This will provide a substantial separation from the residential area located to the east.

In addition to the separation provided by the wetlands area the site will be in compliance with the Villages landscape requirements on both the east, west, and south sides of the development. This will provide additional visual breaks for the surrounding property owners and to the traffic on I-94.

Along the frontage road there will be fencing to help secure the site when the business is closed. This security will allow reduced lighting on the site when the business is closed as discussed below.

All lighting on site will be full cut-off lights that will not glare onto adjacent parcels. Once the business is closed for the evening only building security lighting will be left on. Security for the site will be through the use of site gates and security cameras which will be monitored off site.

If any of the Plan Commission members, city planning department members, or the general public have any questions regarding Right Trailers' new structure or site layout please feel free to contact Keller, Inc. at any time. Thank you all for your consideration of this project.



Keller

Right Trailers Narrative

OWNER

Right Trailers, Inc.
Michael Scott
7220 US Highway 98 N
Lakeland, FL 33809

**ARCHITECT/
BUILDER**

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Chris Manske (Architect)
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(414) 397 0526 cell
lsebald@kellerbuilds.com

CIVIL ENGINEER

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chris@cj-engineering.com

SHEET INDEX

- C1.0 CONCEPTUAL SITE PLAN
A1.0 FLOOR PLAN
A2.0 ELEVATIONS
A2.1 ELEVATIONS
A3.0 SECTIONS
A7.0 REFLECTED CEILING PLAN
S1.0 FOUNDATION PLAN

BUILDING & FIRE AREA
SQUARE FOOTAGES

FLOOR AREAS	EXISTING	NEW	SUB-TOTAL
SECOND FLOOR	----- S.F.	----- S.F.	----- S.F.
FIRST FLOOR	----- S.F.	10,000 S.F.	10,000 S.F.
CANOPIES (COLUMN SUPPORTED)	----- S.F.	----- S.F.	----- S.F.
BASEMENT	----- S.F.	----- S.F.	----- S.F.
BUILDING AREA SUB-TOTALS	----- S.F.	10,000 S.F.	10,000 S.F.
MEZZANINES	----- S.F.	----- S.F.	----- S.F.
FIRE AREA TOTALS	----- S.F.	10,000 S.F.	10,000 S.F.
REMODEL AREA TOTALS	----- S.F.	---% OF BUILDING AREA	

BUILDING CODE ANALYSIS

PROJECT ADDRESS
E. FRONTAGE RD., CALEDONIA, WI 53108

APPLICABLE CODES
2015 International Building Code (w/ WI Amendments)
2015 IECC

OCCUPANCY

M, F1
Accessory Use
Incidental Use

High-Piled Combustible Storage
Hazardous Materials
Multiple Control Areas

NO
NO
NO

HEIGHT & AREA

Building Height: ---"
Number of Stories: ---
Total Building Area: --- S.F.
Total Fire Area: --- S.F.
Separated Occupancies
Unlimited Area Building

Maximum Allowed: ---"
Maximum Allowed: ---
Maximum Allowed: --- S.F.
Maximum Allowed: --- S.F.
(Firewall Between M & F1 Areas)
NO

CONSTRUCTION TYPE

Construction Classification
Fire Separation Distance

2B
---"

FIRE PROTECTION SYSTEMS

Assumed Sprinkler Type
Fire Alarm System

N/A
YES/NO

MEANS OF EGRESS

Occupant Load ---
Panic Hardware NO

STRUCTURAL DESIGN

Risk Category
Design Loads
Roof Live Load
Walk-on IMP Ceiling Live Load
Steel Framing
Collateral Load
Wood Truss
Top Chord Dead Load
Bottom Chord Load
Mezzanine/Second Floor/Basement or Mezz
Live Load
Point Load (Partition)
Snow Load Criteria
Ground Snow Load (Pg)
Exposure Factor (Ce)
Thermal Factor (Ct)

2
20 psf
--- psf
5 psf (VERIFY)
---psf
---psf
---psf
30 psf
0.9
1.0

Wind Loads

Wind Load
Surface Roughness
Exposure Category
Earthquake Load Criteria
Soil Site Class
Ss
S1

115 MPH
C
C
D
I
I

PLUMBING SYSTEMS

Mens WC Required
Womens WC Required
Drinking Fountain Required
Other Source
Ambulatory Stall Required

YES
NO

MECHANICAL SYSTEMS

NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU
NO BOILERS OVER 15PSI AND 10 HORSEPOWER

SITE INFORMATION

SITE CONTENT

Building Size
Hard Surface
Green Space
Parcel Size (Approx.)
Parking Provided
Area of Disturbance

10,000 S.F.
28,136 S.F.
1,744,449 S.F.
1,782,582 S.F.
22 Stalls
38,136 S.F.

0.5%
1.6%
97.9%
40.92 Acres

ZONING

Property Zoning
Setbacks
Hard Surface Setback
Coverage Limit
Greenspace Requirement
Parking Required
Refuse Enclosure
RTU SCREENING

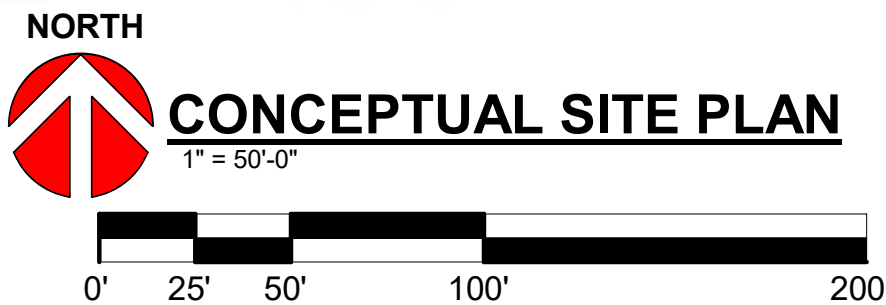
FY --- SY --- RY ---
---"
---"
---%
---%
--- Stalls
YES
NO

PROPOSED FOR:

RIGHT TRAILERS

CALEDONIA,

WISCONSIN



THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.



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REVISIONS

1	04.24.2023	J.R.S.
2	05.15.2023	J.R.S.
3	09.05.2023	J.R.S.
4	04.09.2024	J.R.S.
5	05.14.2024	J.R.S.
6		

PROJECT MANAGER:

L. SEBALD

DESIGNER:

C. MANSKE

DRAWN BY:

J.R.S.

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

P23076

CONTRACT NO:

DATE: (CLM) 06.06.2024
04.04.2023

SHEET:

C1.0

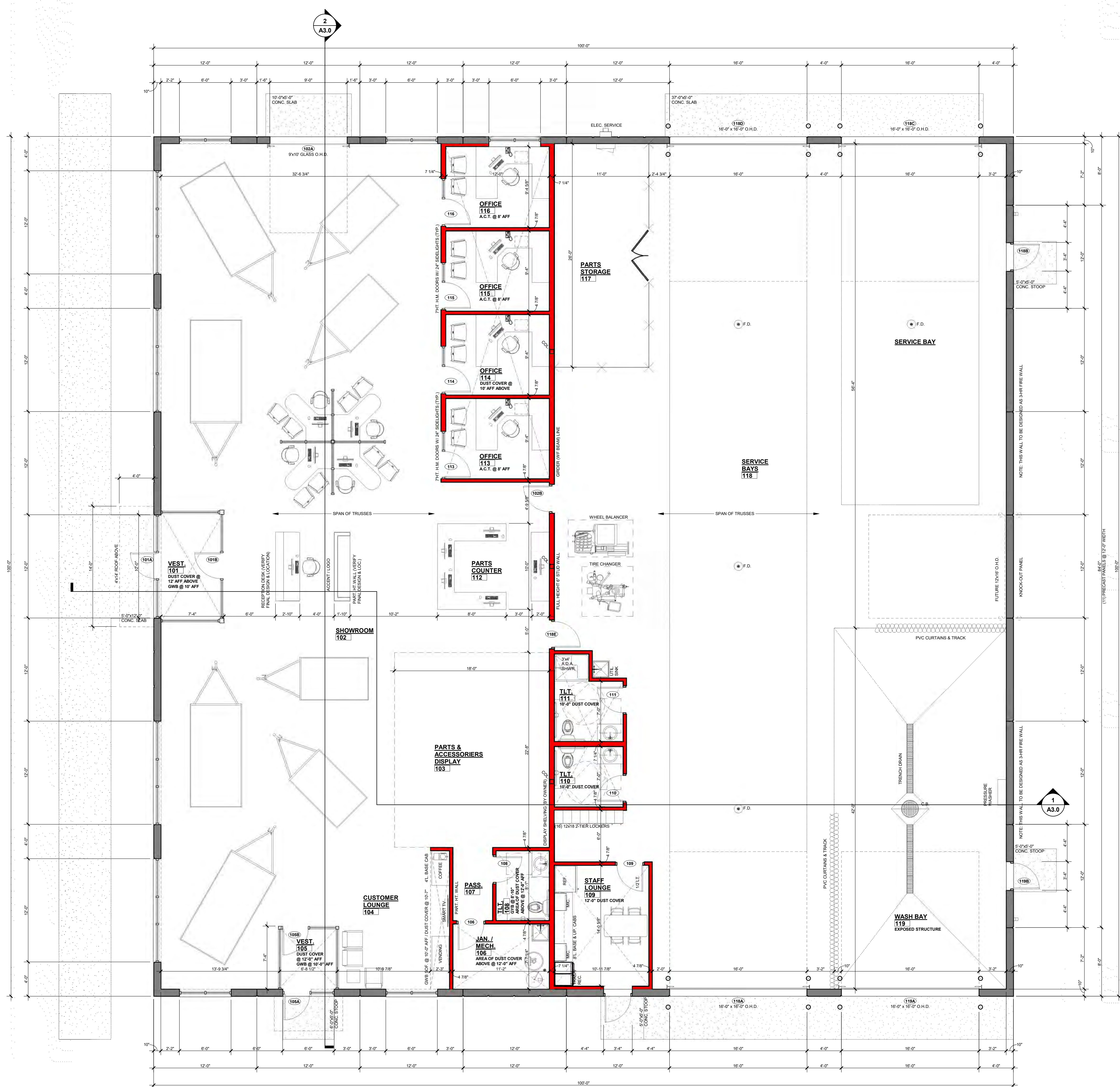


FLOOR PLAN

3/16" = 1'-0"

WALL KEY

- NEW WALL/FURRING
- NEW MASONRY/VENEER WALL
- NEW COOLER/FREEZER WALLS
- NEW FOUNDATION WALL
- TYPICAL EXISTING WALL
- DEMO WALLS
- FIRE WALL OR FIRE BARRIER



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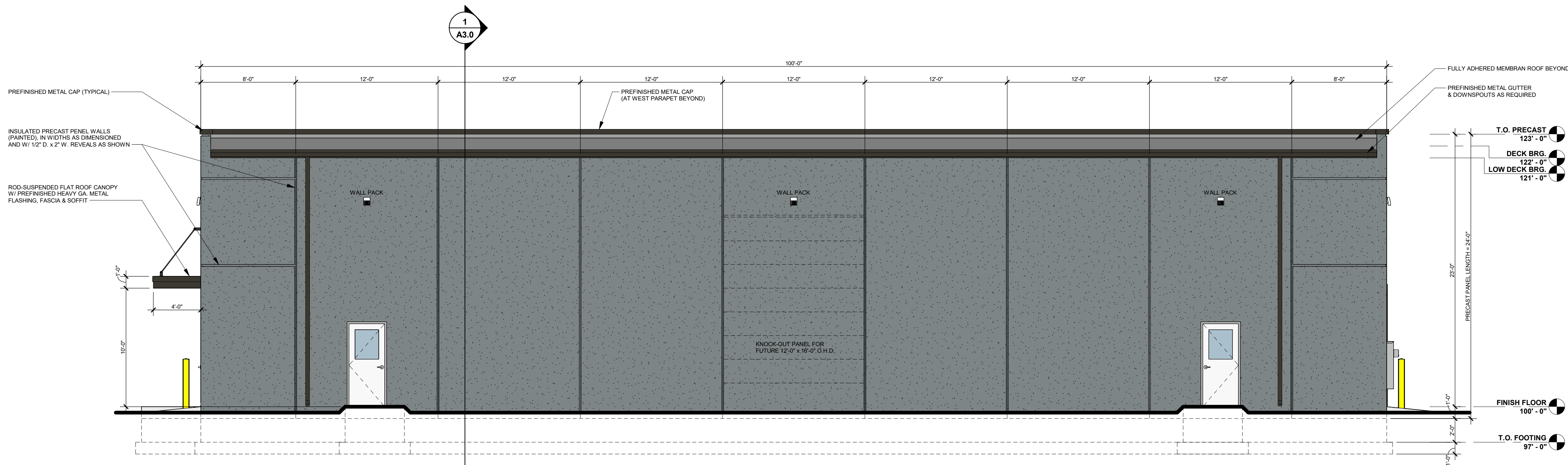
SHEET:

A2.0



WEST ELEVATION

3/16" = 1'-0"



EAST ELEVATION

3/16" = 1'-0"

DOOR & WINDOW VALUES

WINDOWS:	U VALUE	0.22
	SHGC	0.22
	VT	0.22
DOORS:	U VALUE	0.37
(SWINGING)		
O.H. DOORS:	U VALUE	0.38
(NON-SWINGING)		
DOORS:	U VALUE	0.22
(90% GLAZING)	SHGC	0.22
	VT	0.22



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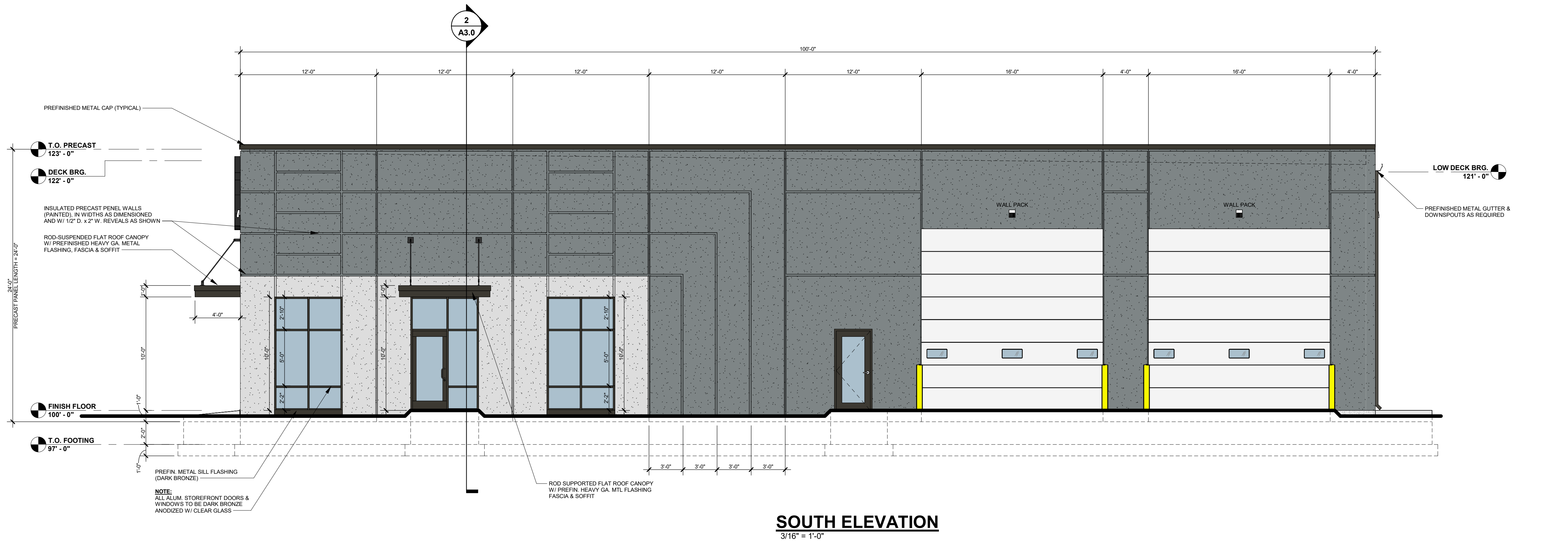
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DATE:

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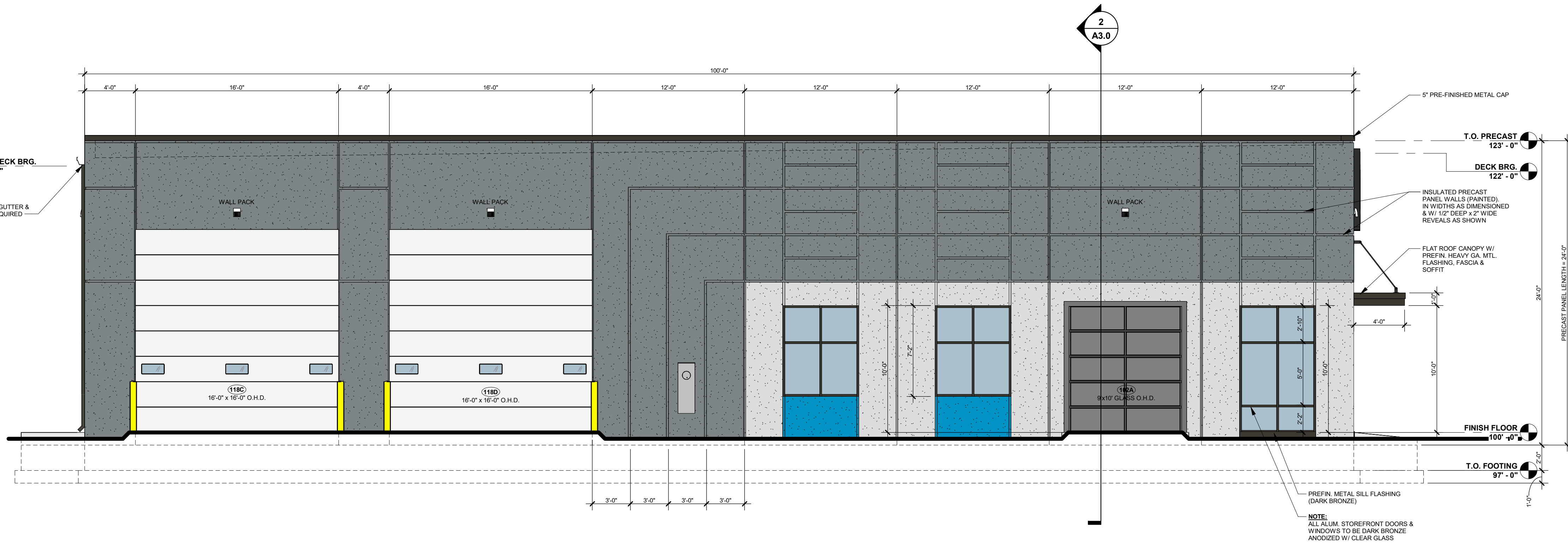
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SOUTH ELEVATION

3/16" = 1'-0"



NORTH ELEVATION

3/16" = 1'-0"



RIGHT TRAILERS

CALEDONIA,

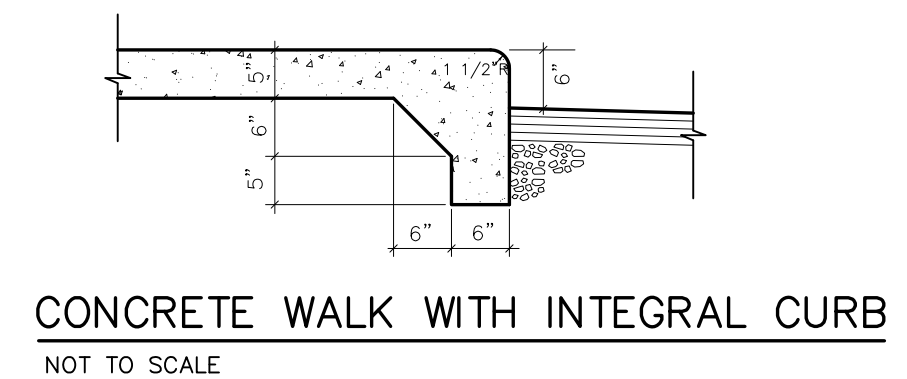
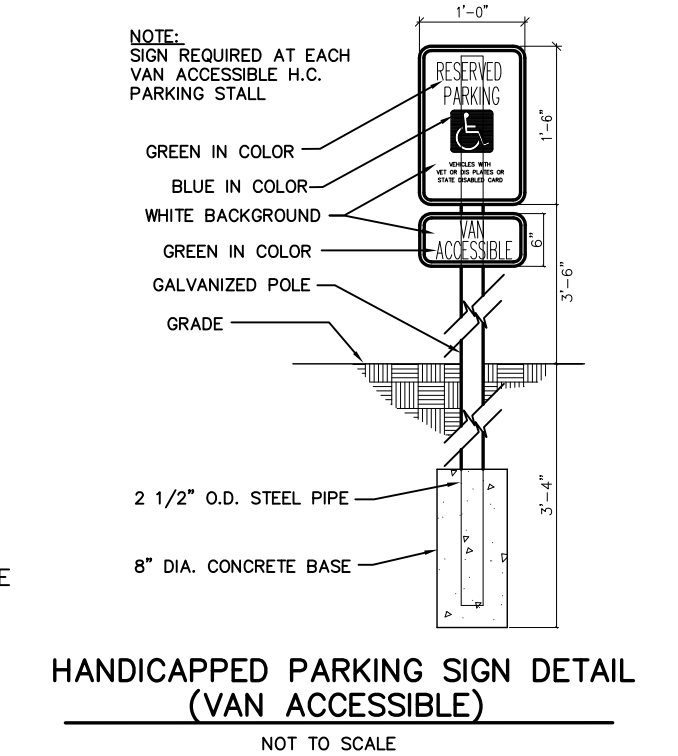
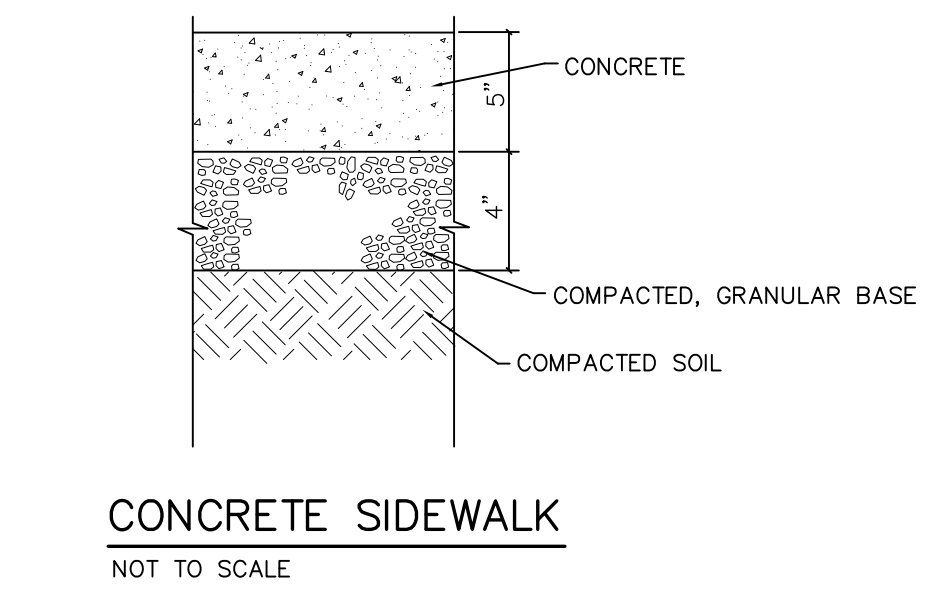
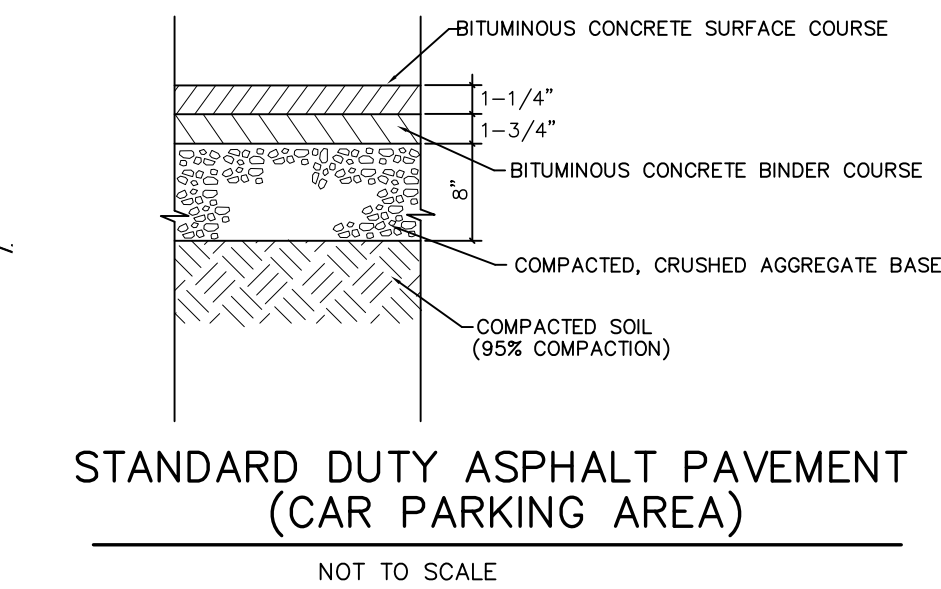
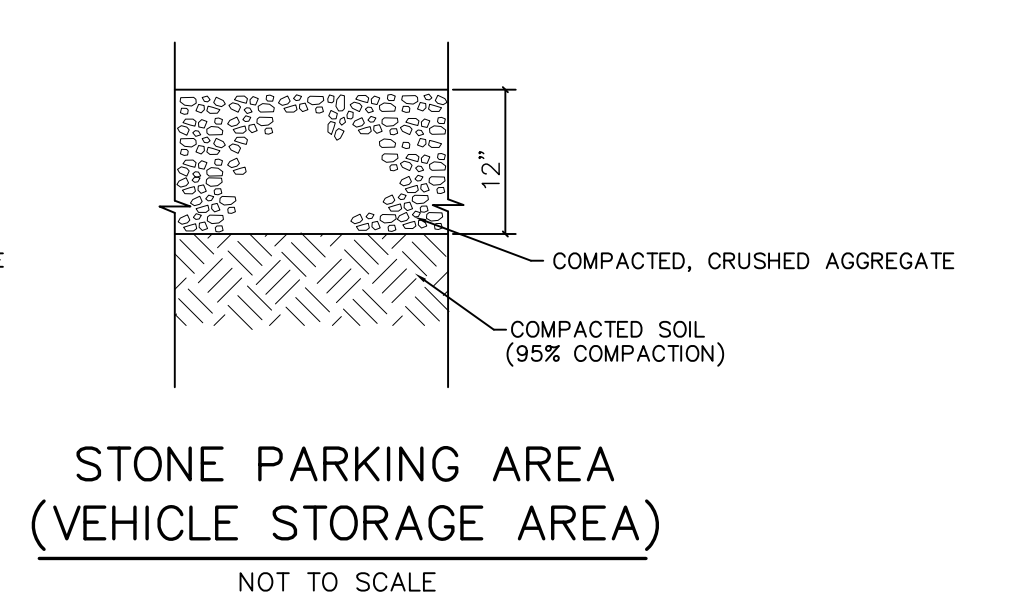
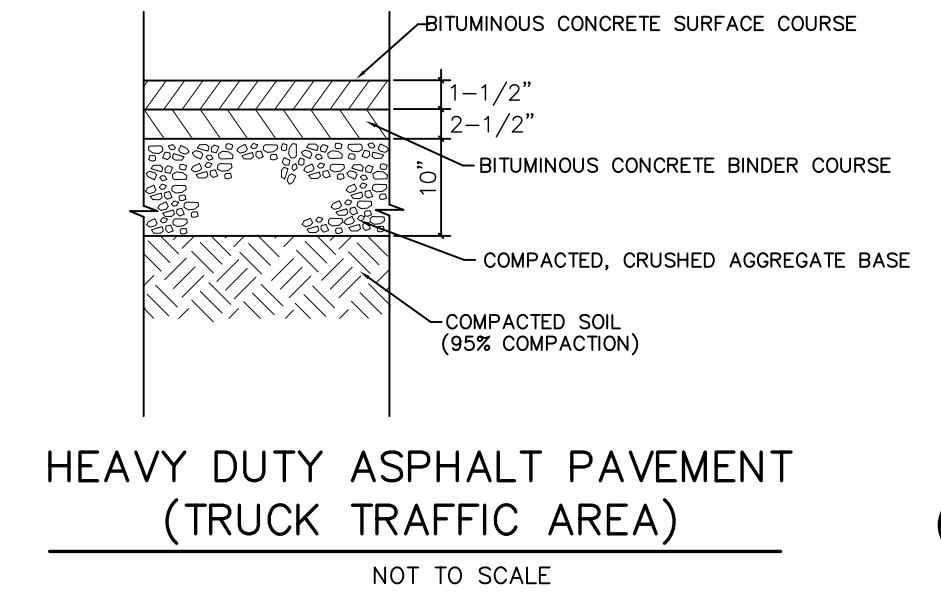
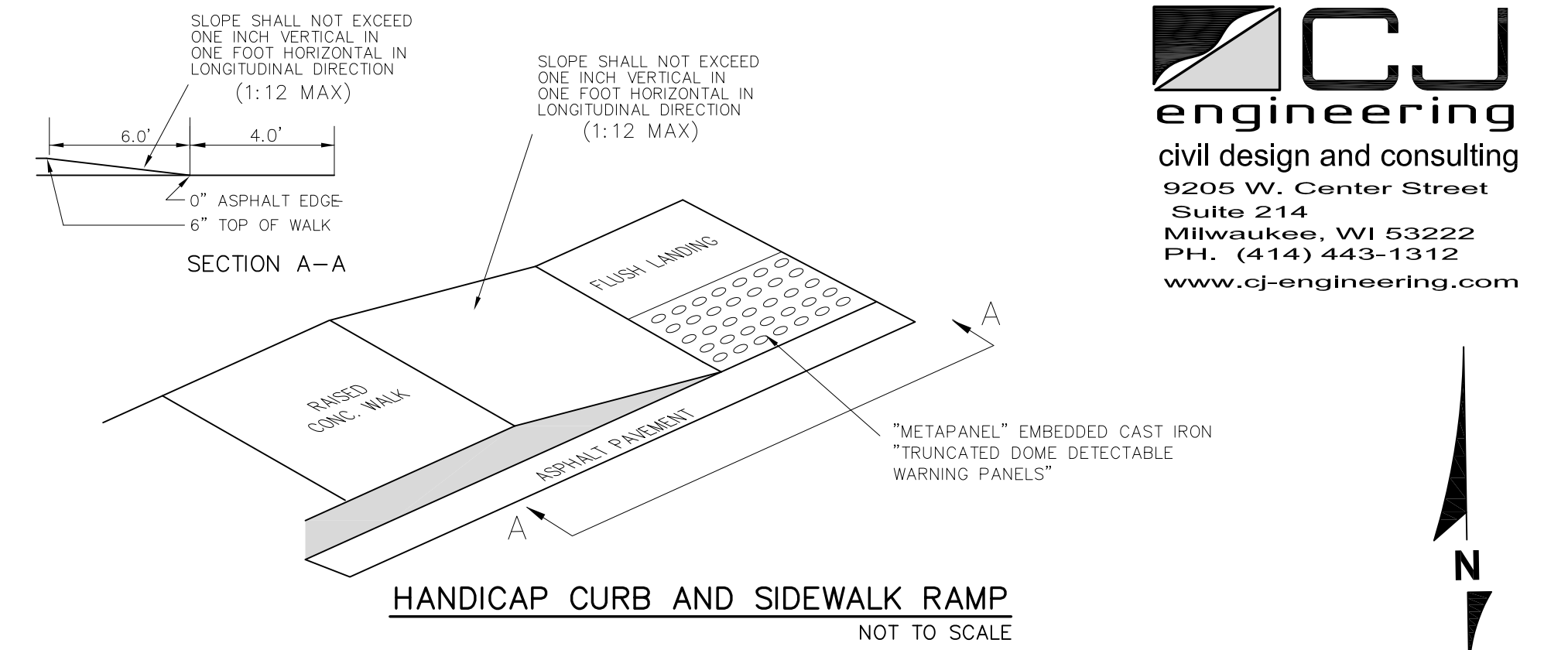
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RIGHT TRAILERS

CALEDONIA,

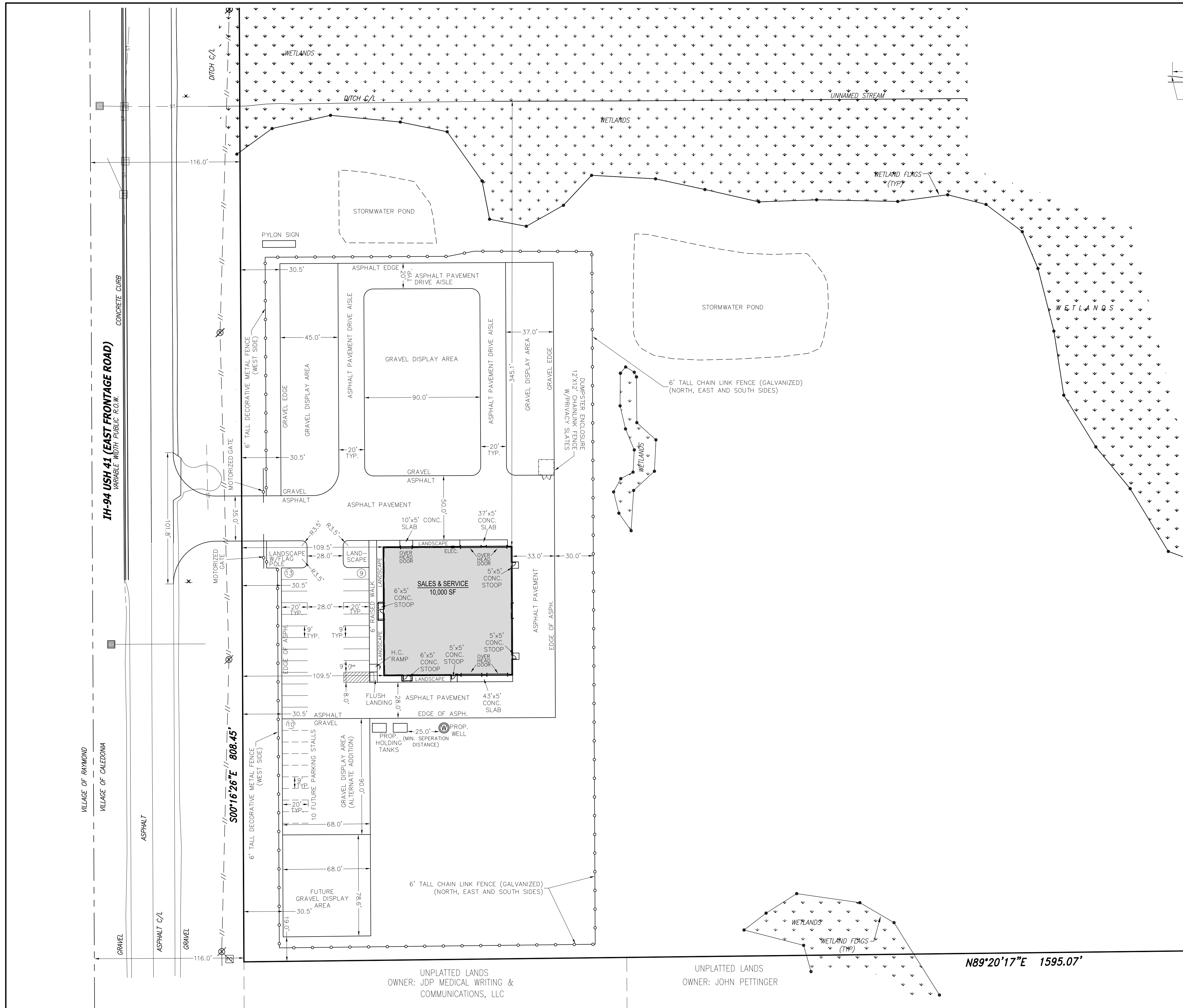
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RIGHT TRAILERS
I-94 FRONTAGE ROAD, CALEDONIA, WI

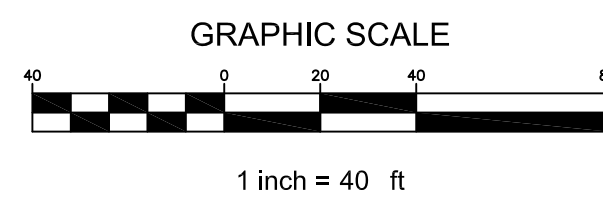
CJE NO.: 2306R4
MARCH 29, 2024
MAY 17, 2024
JUNE 6, 2024

SITE PLAN C1.0

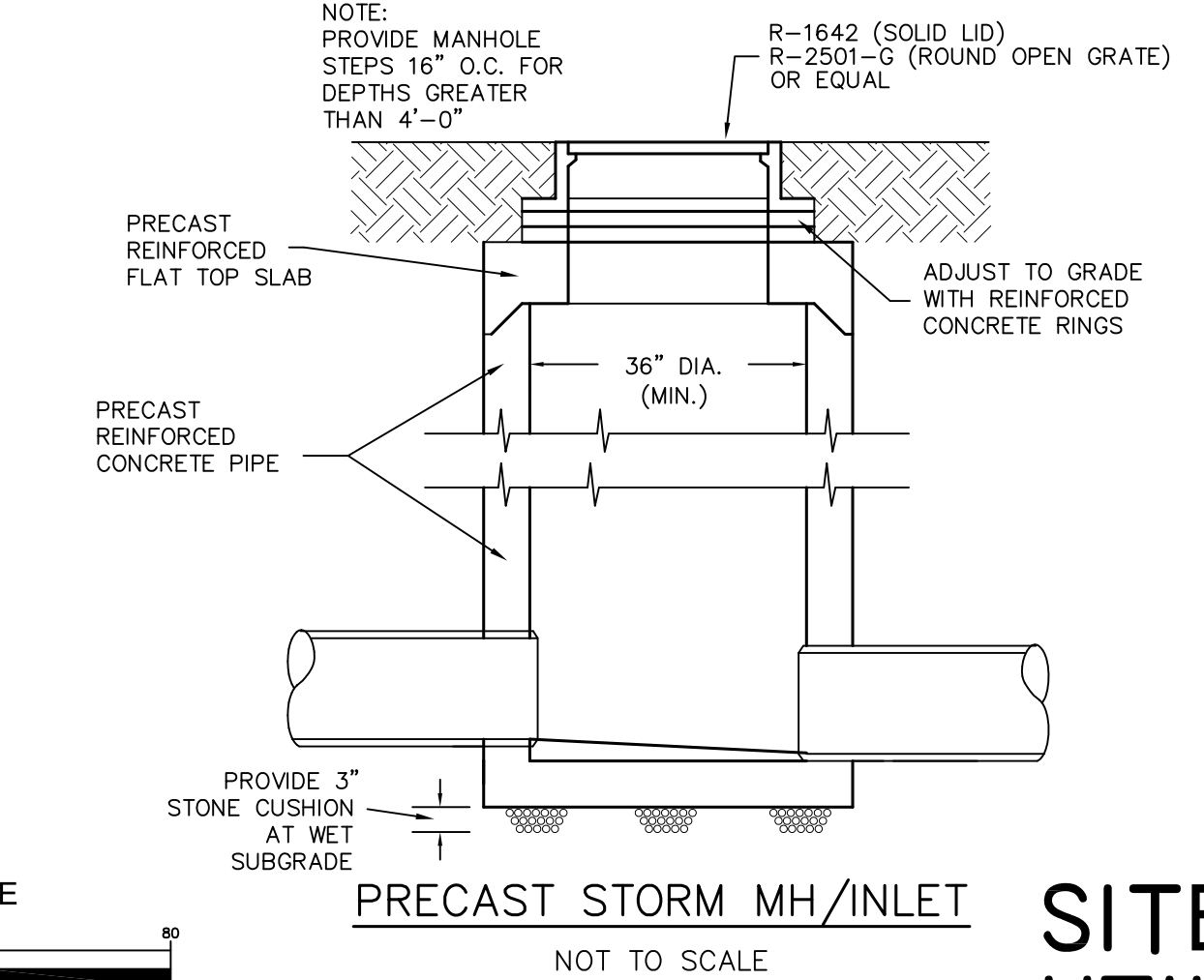
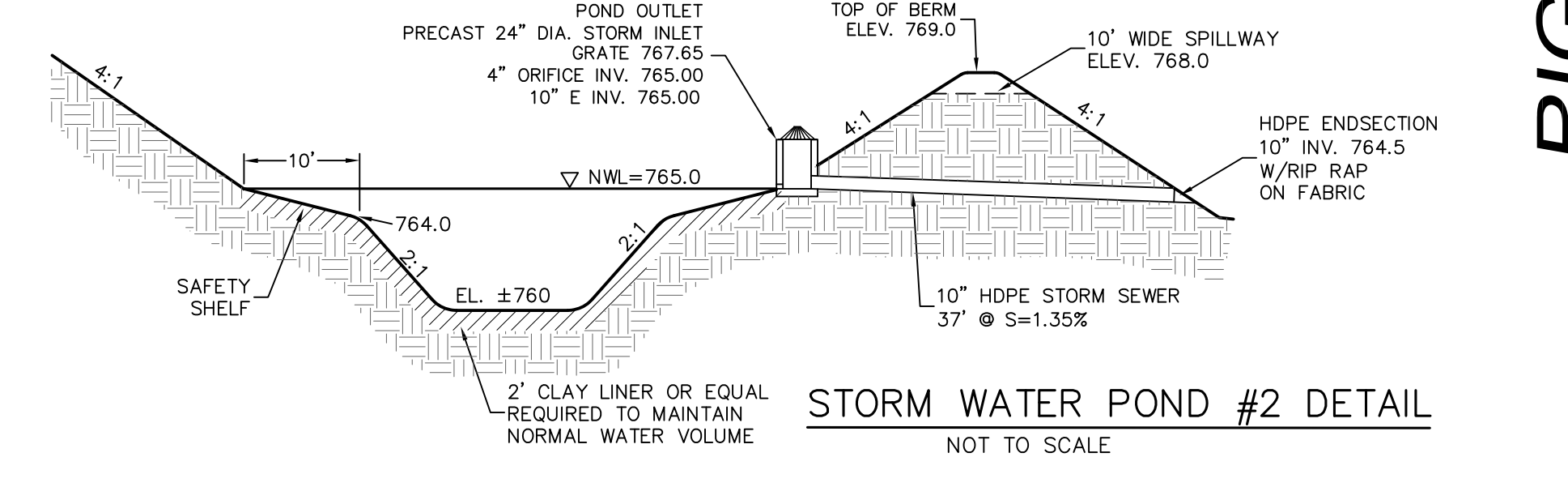
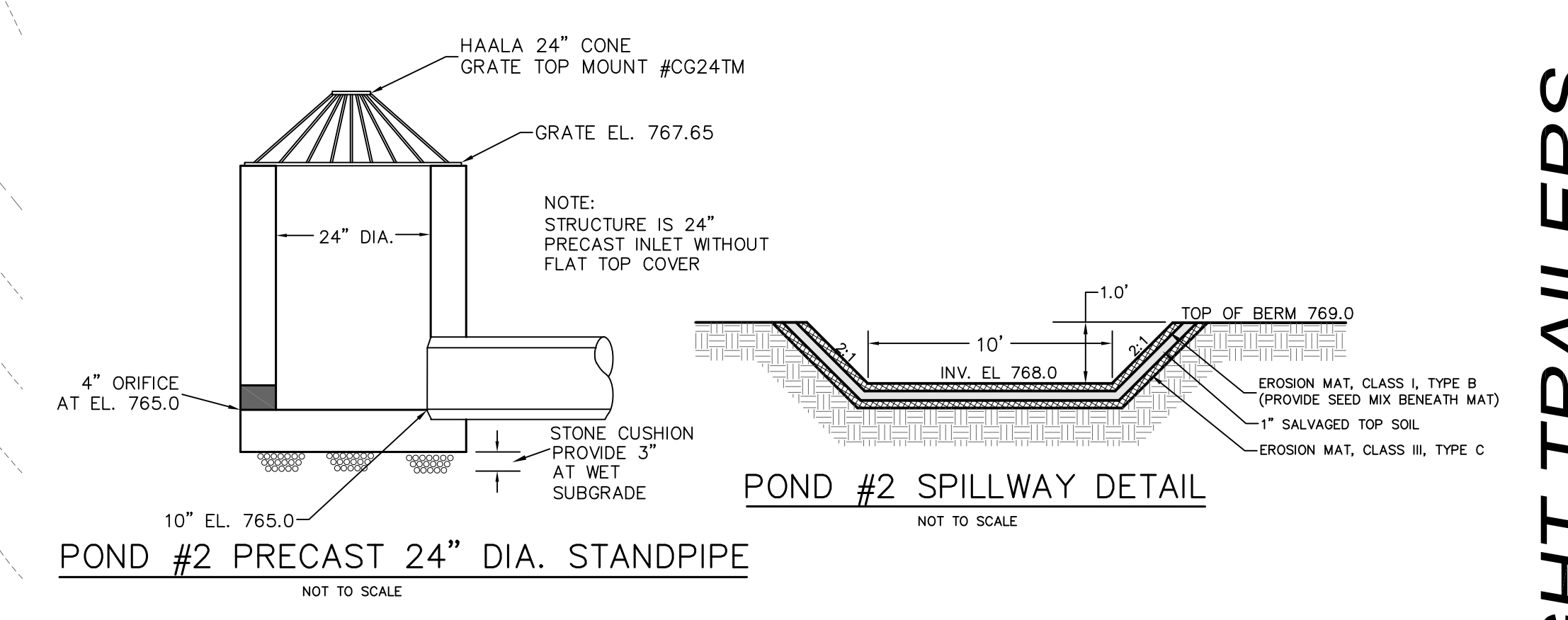
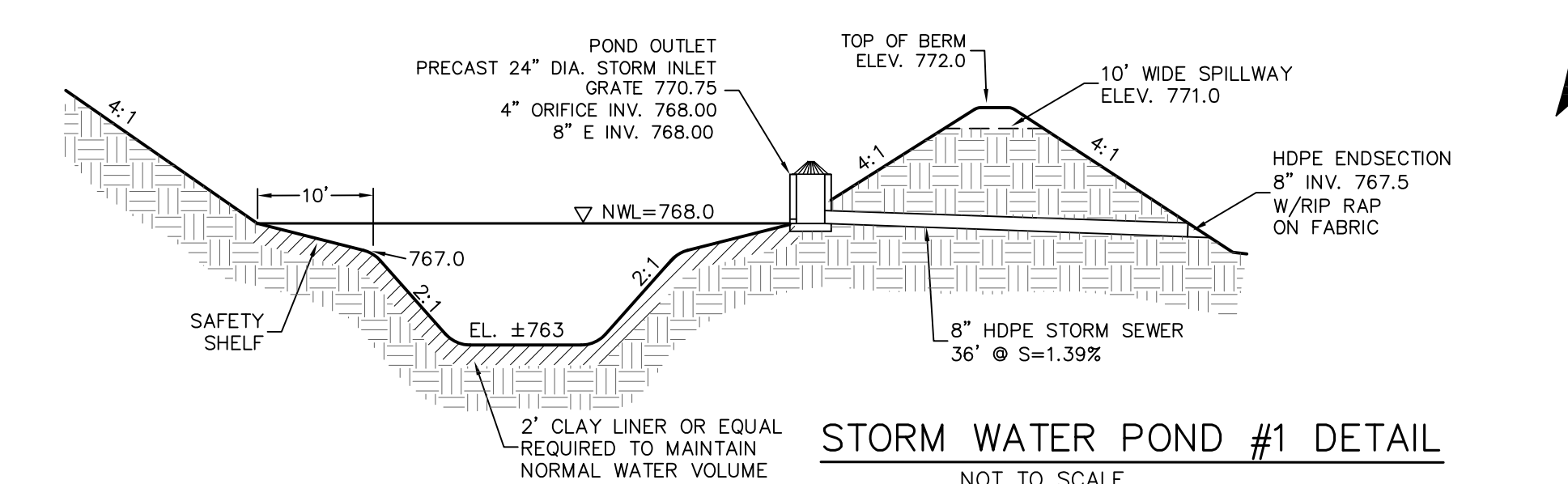
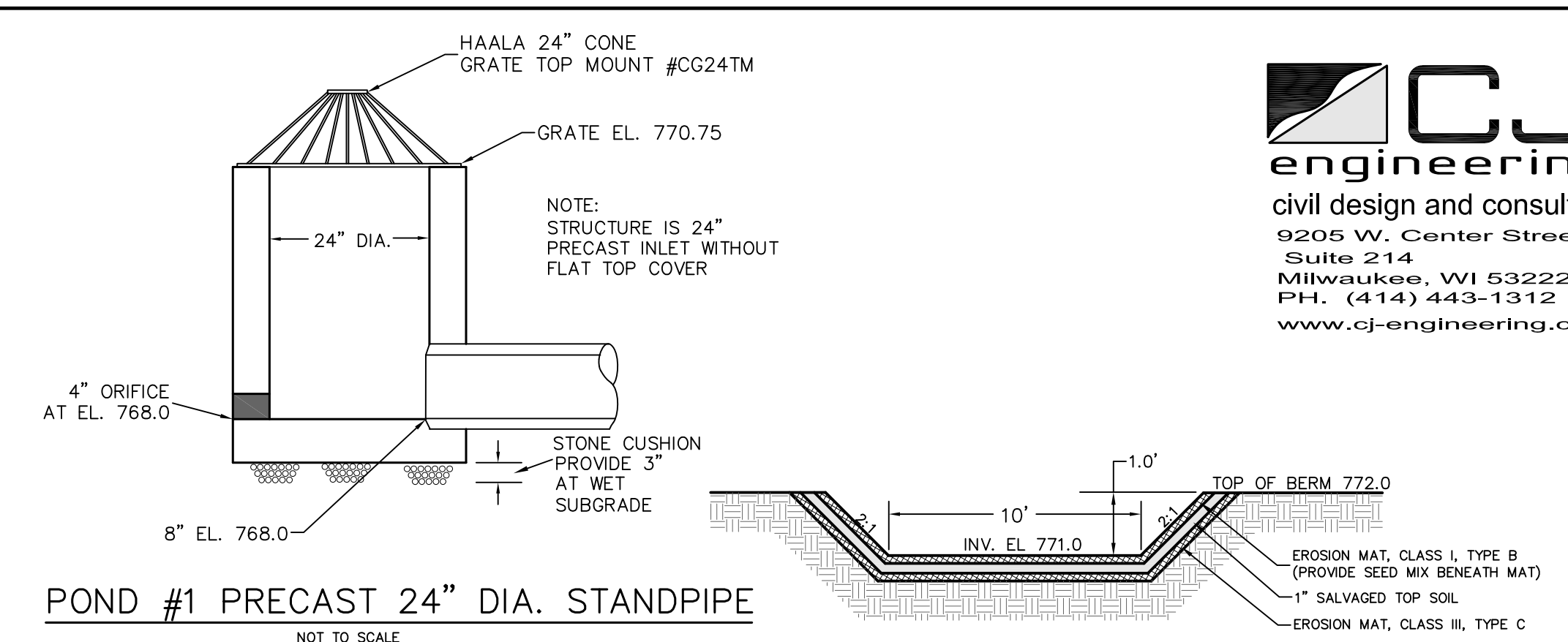
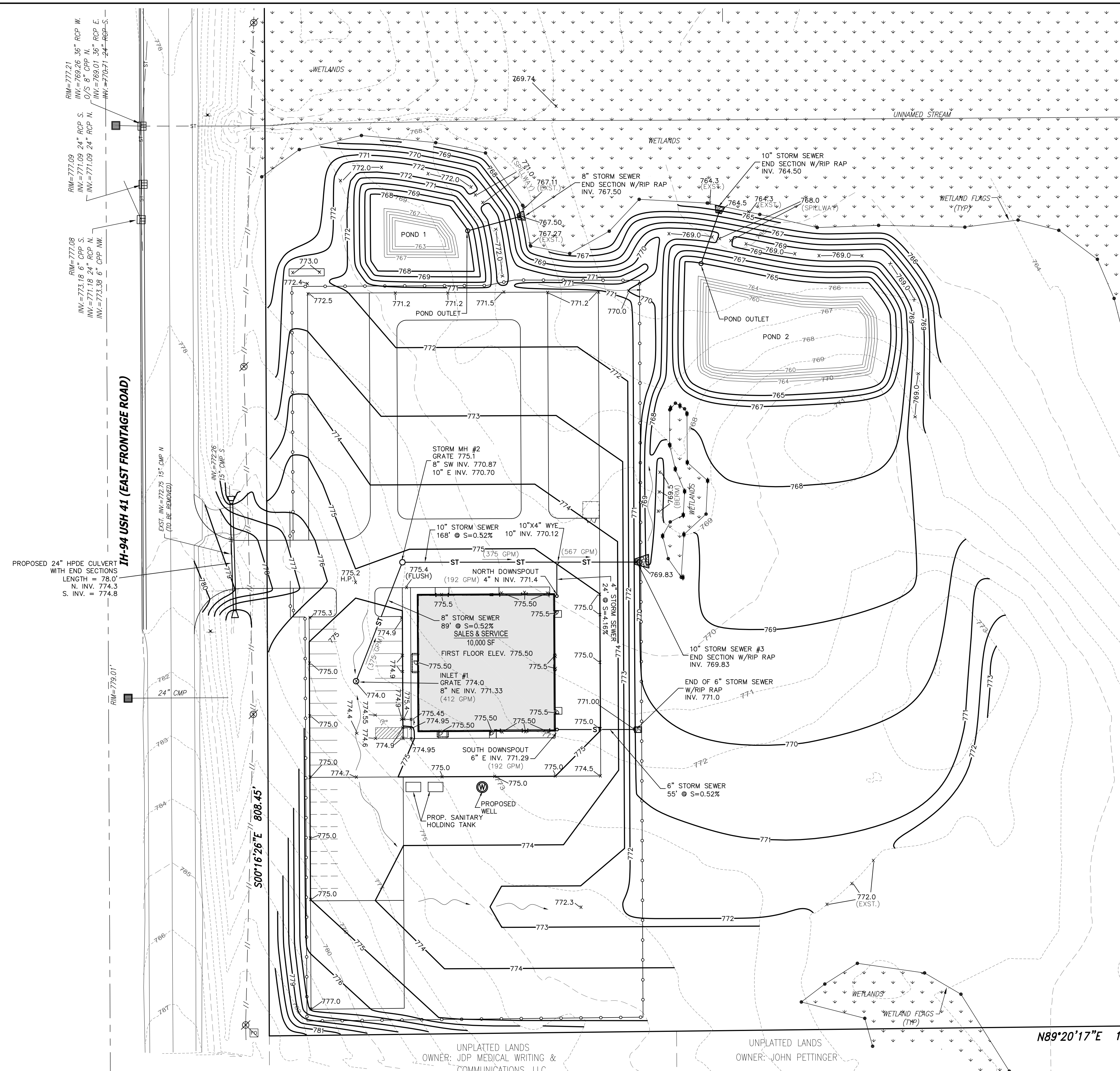


SITE AREAS
BUILDING FOOTPRINT = 10,000 S.F.
PAVEMENT (ASPHALT & WALKS) = 30,212 S.F.
GRAVEL DRIVE AND STORAGE = 41,613 S.F. (0.96 ACRES)
FUTURE GRAVEL DISPLAY = 8,678 S.F.
TOTAL GRAVEL DISPLAY, DRIVE AND STORAGE = 50,288 (1.154 ACRES)

SURFACE PARKING
21 REGULAR SPACES
10 FUTURE REGULAR SPACES
1 HANDICAP SPACE
32 TOTAL SPACES



- NOTES:**
- EXISTING CONDITIONS BASED ON SURVEY BY CHAPUT LAND SURVEY.
 - ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE VILLAGE OF CALEDONIA, COMMUNITY PANEL NO. 55101C00870 EFFECTIVE DATE 05-02-2012, THIS SITE FALLS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)
 - STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF VILLAGE OF CALEDONIA AND NR 151 WILL BE PROVIDED BY A PROPOSED STORM WATER WET PONDS ON THE NORTH SIDE OF THE DISTURBED AREA.
 - FINAL SIZE AND LOCATION OF SEPTIC HOLDING TANKS AND WELL TO BE PROVIDED BY OTHERS.
 - DISTURBED AREA (SITE AREA) = 6.52 ACRES









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RIGHT TRAILERS
-94 FRONTAGE ROAD. CALEDONIA, WI

SITE GRADING & UTILITY PLAN C2.0

CJE NO.: 2306R4
MARCH 29, 2024
MAY 17, 2024
JUNE 6, 2024

LEGEND

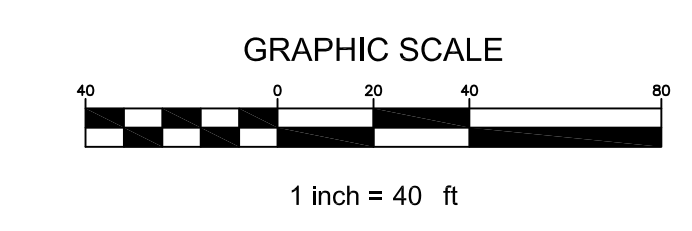
 -----776-----	EXISTING CONTOUR
 -----776-----	PROPOSED CONTOUR
 x-----776.65-----	PROPOSED STORM SEWER
 -----ST-----	EXISTING STORM SEWER
 -----ST-----	PROPOSED STORM SEWER
	SWALE OR DIRECTION OF FLOW

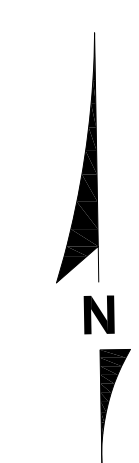
NOTES:

1. ALL PROPOSED SPOT GRADES SHOWN ARE AT BOTTOM OF RAISED WALK UNLESS OTHERWISE INDICATED.
2. WISCONSIN DEPARTMENT OF TRANSPORTATION PERMIT REQUIRED FOR ANY WORK WITHIN FRONTAGE ROAD
3. ANY SEDIMENT BUILD-UP IN THE POND AFTER CONSTRUCTION ACTIVITIES MUST BE REMOVED AND DISPOSED OF OUTSIDE OF POND AREA. STANDING WATER MUST BE PUMPED OUT AND DISPOSED OF PROPERLY (I.E. TO A FILTER/SOCK OR OTHER APPROVED WISCONSIN DEPT. OF NATURAL RESOURCES (WDNR) MEASURE) FROM THE DETENTION POND.
4. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND VILLAGE OF CALEDONIA REQUIREMENTS.

NOTES CONT.:

5. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
6. EXACT SIZE, LOCATION AND DESIGN OF SANITARY HOLDING TANK AND WATER WELL TO PROPOSED BUILDING BY PLUMBING CONSULTANT/CONTRACTOR.
7. PROPOSED SITE STORM SEWER TO BE HPDE ADS N-12 OR EQUAL.
8. THIS PROJECT MEETS THE REQUIREMENTS OF WDMR 151.125(4)(E) FOR TREATING SITE RUNOFF PRIOR TO DISCHARGE, THEREFORE, THE WDMR WETLAND SETBACKS DO NOT APPLY.
9. ANY DRAIN TILES DISTURBED DURING DEVELOPMENT SHALL BE REPLACED, BYPASSED AROUND THE DEVELOPMENT SITE OR INTERCEPTED AND RECONNECTED AS NECESSARY. THE SIZE OF THE REPLACED OR BYPASSED DRAIN TILE SHALL BE EQUIVALENT.
10. NO DISTURBANCE (CUTTING OR FILLING) OF WETLANDS IS ALLOWED.





EROSION CONTROL

PRACTICES SCHEDULE

- ① SILT FENCE
- ② CONSTRUCTION EXIT
- ③ SEDIMENT BASIN
- ④ OUTLET PROTECTION
- ⑤ DITCH CHECK
- ⑥ INLET GRATE SCREEN
- ⑦ EROSION MAT

EROSION MATTING

AFTER FINISH GRADING AND TOPSOILING AND FOR FINAL STABILIZATION, PROVIDE CLASS 1, TYPE B EROSION MAT PER WISDOT EROSION CONTROL PAL (OR EQUAL) IN ALL ROADSIDE DITCHES, DEFINED SWALES, SIDE SLOPES, BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.

CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. FLAG THE WORK LIMIT AND BUFFER AREA FOR PROTECTION.
3. INSTALL CONSTRUCTION EXIT AT EXISTING ASPHALT DRIVE ENTRANCE.
4. INSTALL SILT FENCE.
5. INSTALL DITCH CHECKS ALONG EAST FRONTAGE ROAD.
6. STRIP TOP SOIL IN THE LOCATIONS OF TEMPORARY SEDIMENT BASINS #1 & #2 AND STOCKPILE. INSTALL TEMPORARY SEDIMENT BASINS COMPLETE WITH STANDPIPES, OUTLET PROTECTION AND SPILLWAYS. PROVIDE TEMPORARY OR PERMANENT STABILIZATION.
7. STRIP TOPSOIL FOR THE REMAINING DISTURBED AREA AND STOCKPILE. TEMPORARY SEED AND SURROUND WITH SILT FENCE.
8. ROUGH GRADE SITE.
9. BEGIN BUILDING CONSTRUCTION. UTILIZE DEWATERING BAG AS NECESSARY DURING EXCAVATION FOR BUILDING CONSTRUCTION. DIRECT RUNOFF FROM BAG TO THE STORM WATER POND.
10. INSTALL STORM SEWER COMPLETE WITH INLET GRATE SCREEN AND OUTLET PROTECTION.
11. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY. REPORTS TO BE KEPT ONSITE AND PROVIDED UPON REQUEST.
12. PROVIDE IMMEDIATE TEMPORARY STABILIZATION OF ANY DISTURBED AREAS WHICH WILL REMAIN INACTIVE FOR A PERIOD EXCEEDING 7 DAYS.
13. INSTALL STONE PARKING AREA AND ASPHALT.
14. FINAL GRADE ALL REMAINING OPEN SPACE AREAS AND TOPSOIL CRITICAL SLOPES; SEED AND MULCH ALL DISTURBED AREAS.
15. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE REMAINING DISTURBED AREAS.
16. ESTIMATED TIME BEFORE FINAL STABILIZATION - 12 MONTHS DURING GROWING SEASON.

MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDING AREAS WILL BE WATERED, FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.
5. AFTER SITE STABILIZATION, ALL SEDIMENT BASINS SHALL BE CHECKED FOR ACCUMULATED SEDIMENT AND REMOVED AND DISPOSED OF OFFSITE.

TEMPORARY STABILIZATION METHODS

TEMPORARY SEEDING:
DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING (COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Oats	131	98
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97

* Fall Seeding

LAND APPLICATION OF ADDITIVES:
DURING NONGROWING SEASON (NOVEMBER 1 - MAY 1), CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) - SEE WDNR TECHNICAL STANDARD 1050.

STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

DUST CONTROL

DUST CONTROL INCLUDES PRACTICES USED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. DUST CONTROL SHALL BE USED DURING EXTENDED PERIODS OF DRY, WINDY WEATHER WHERE FUGITIVE DUST PARTICLES FROM EXPOSED SOIL WILL BECOME AIRBORNE. DUST CONTROL SHALL ALSO BE UTILIZED AS DIRECTED BY THE CITY OF KENOSHA OR KENOSHA COUNTY.

DUST CONTROL MEASURES FOR CONSTRUCTION ACTIVITIES INCLUDE THE MINIMIZATION OF SOIL DISTURBANCE, APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES AND BARRIERS. DUST CONTROL MEASURES TO BE IN CONFORMANCE WITH WDNR CONSERVATION PRACTICE STANDARD 106B.

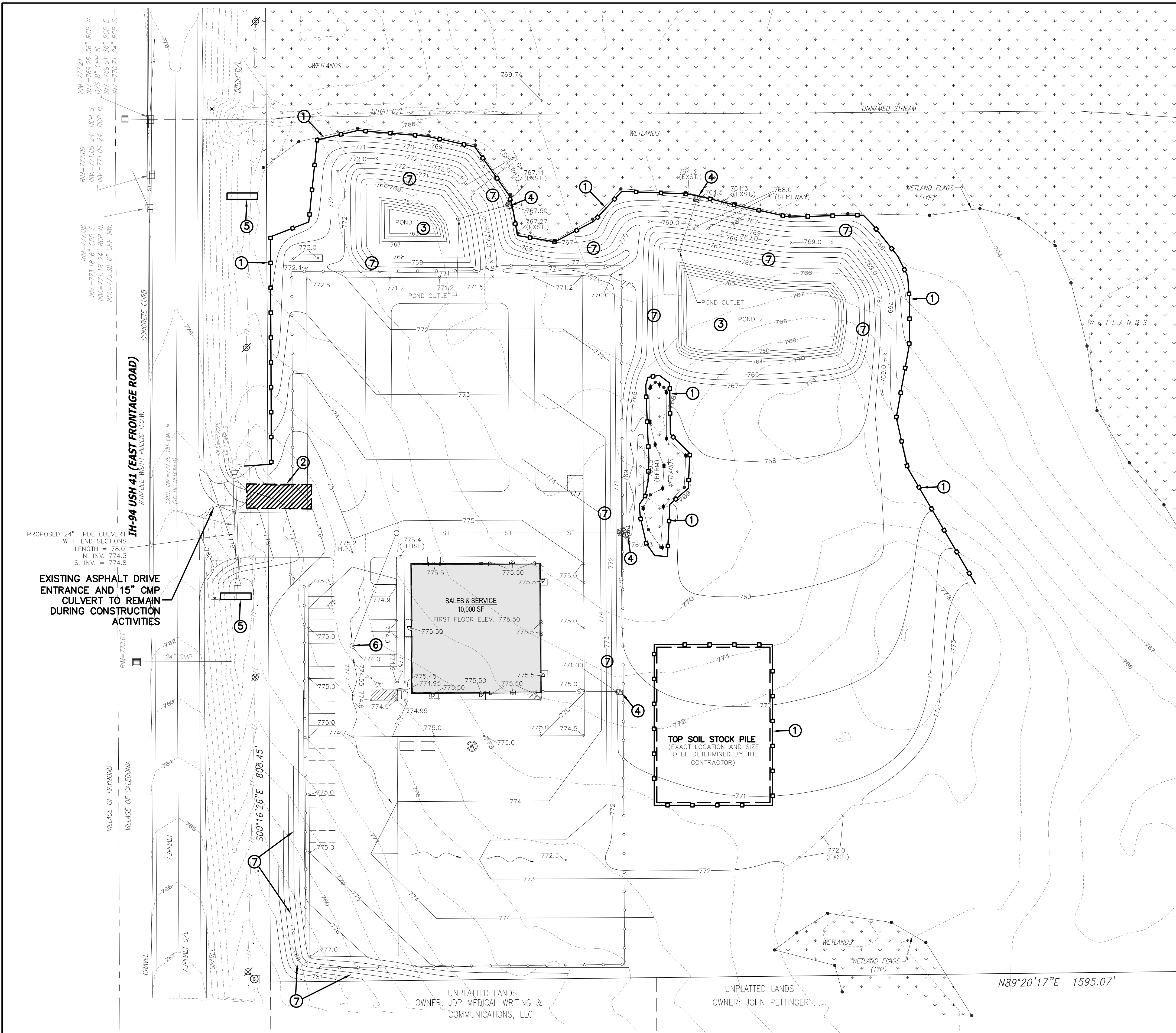
WINTER CONDITIONS

DURING WINTER CONSTRUCTION (NOVEMBER 1 TO MAY 1), CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER, POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) ON ALL DISTURBED AREAS THAT ARE NOT TO BE DISTURBED BEYOND 7 DAYS. CONTRACTOR TO INSTALL PAM PER WDNR TECHNICAL STANDARD 1050 AND THE MANUFACTURERS SPECIFICATIONS.

SITE DEWATERING

DEWATERING TO CONFORM WITH WDNR CONSERVATION PRACTICE STANDARD 106I.
THE SITE MAY HAVE HIGH GROUND WATER SO SITE DEWATERING SHOULD BE EVALUATED.
ALL PUMPED EFFLUENT FROM DEWATERING OPERATIONS (TRENCH DEWATERING OR OTHERWISE) SHALL BE DISCHARGED TO A GEOTEXTILE FILTER BAG CONFORMING TO WDNR CONSERVATION PRACTICE STANDARD 106I. THE GEOTEXTILE BAG SHALL BE PLACED ON A VEGETATED/STABILIZED GROUND AND DISCHARGE TO A SEDIMENT BASIN OR TRAP. SHOULD NO BASIN EXIST, THE GEOTEXTILE BAG SHALL BE PLACED ON FILTER FABRIC AND SURROUNDED BY A SEDIMENT BALE BARRIER CONFORMING TO CONSERVATION PRACTICE STANDARD 1055. THE FILTER FABRIC SHALL BE BROUGHT UP THE SIDES AND OVER THE TOP OF THE HAY BALES AND SECURED. DISCHARGE SHALL NOT BE ALLOWED TO FLOW OVER UNPROTECTED GROUND. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS PRIOR TO SEDIMENT REMOVAL.

PER WDNR WPDES GENERAL PERMIT: CONSTRUCTION SITE STORM WATER RUNOFF (WDNR NOTICE OF INTENT) TRENCH DEWATERING MAY NOT EXCEED 70 GPM. DEWATERING WILL BE IN CONFORMANCE WITH CITY REQUIREMENTS.



LEGEND	
----- 776 -----	EXISTING CONTOUR
----- 776.5 (EXIST.) x -----	EXISTING ELEVATION
----- 776 -----	PROPOSED CONTOUR
----- x 776.5 -----	PROPOSED ELEVATION
----- ST -----	PROPOSED STORM SEWER
----- ST -----	EXISTING STORM SEWER
----- x -----	SILT FENCE LOCATION

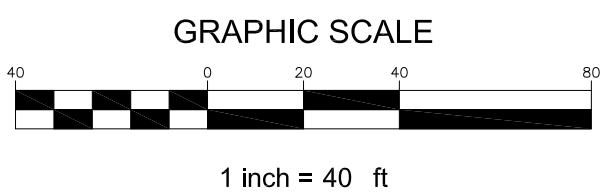


NOTES:

1. THE EXISTING SITE SOILS CONSIST PREDOMINATELY OF SILT LOAM AND SILTY CLAY LOAM.
2. SOIL PILES LEFT UNDISTURBED FOR 7 OR MORE DAYS WILL NEED TO BE STABILIZED BY AN APPROVED METHOD.
3. ALL DISTURBED AREAS NOT COVERED BY PERMANENT STRUCTURES OR PAVEMENT SHALL BE FINISHED GRADED WITH 3"-6" TOPSOIL, SEEDING AND STABILIZED WITHIN 7 DAYS OF REACHING FINAL GRADE.

NOTES (CONT.):

4. PROPOSED STORM WATER PONDS TO BE UTILIZED AS SEDIMENT BASINS DURING CONSTRUCTION. AFTER FINAL STABILIZATION, CONTRACTOR TO DETERMINE THE EXTENT OF ANY SEDIMENT ACCUMULATION WITHIN THE SEDIMENT BASINS. IF ANY SEDIMENT IS FOUND, CONTRACTOR TO DRAIN THE BASIN (SEE SITE DEWATERING) AND REMOVE SEDIMENT DOWN TO PROPOSED GRADES.
5. DISTURBED AREA (SITE AREA) = 6.67 ACRES

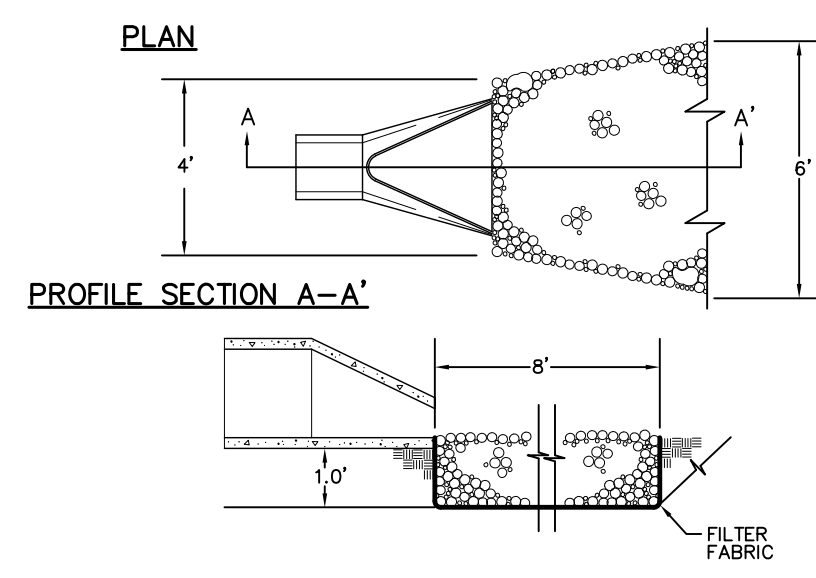
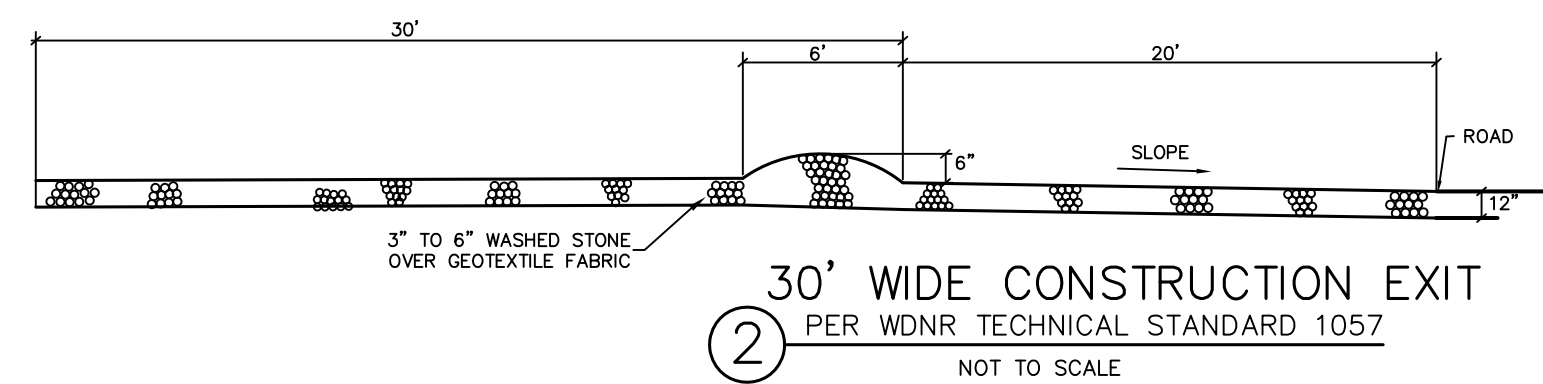
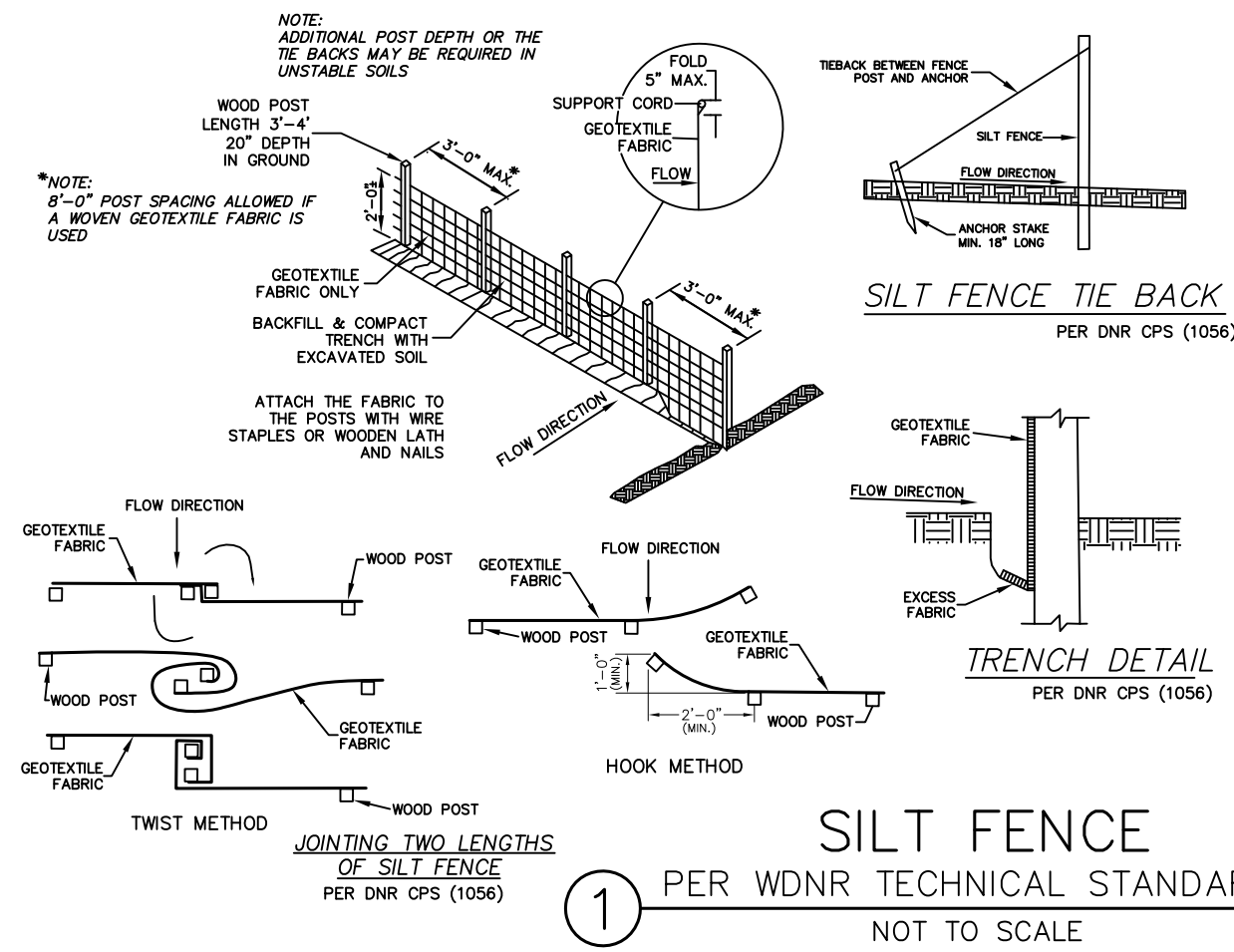


EROSION CONTROL PLAN C3.0

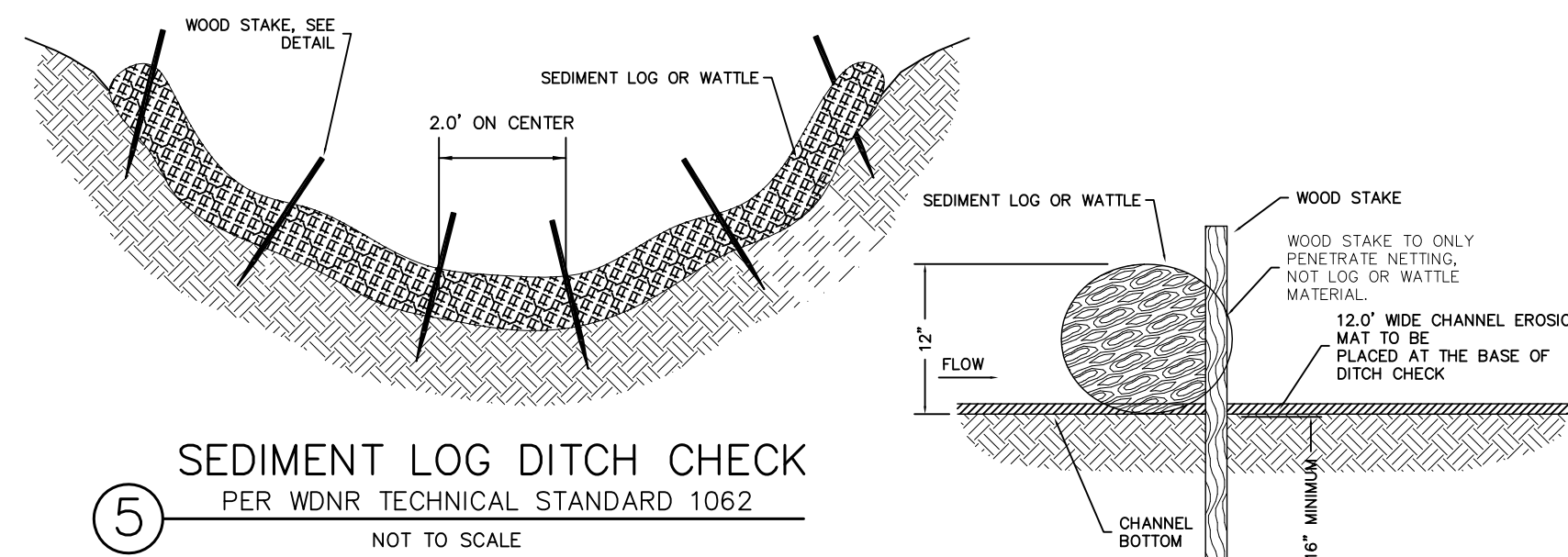
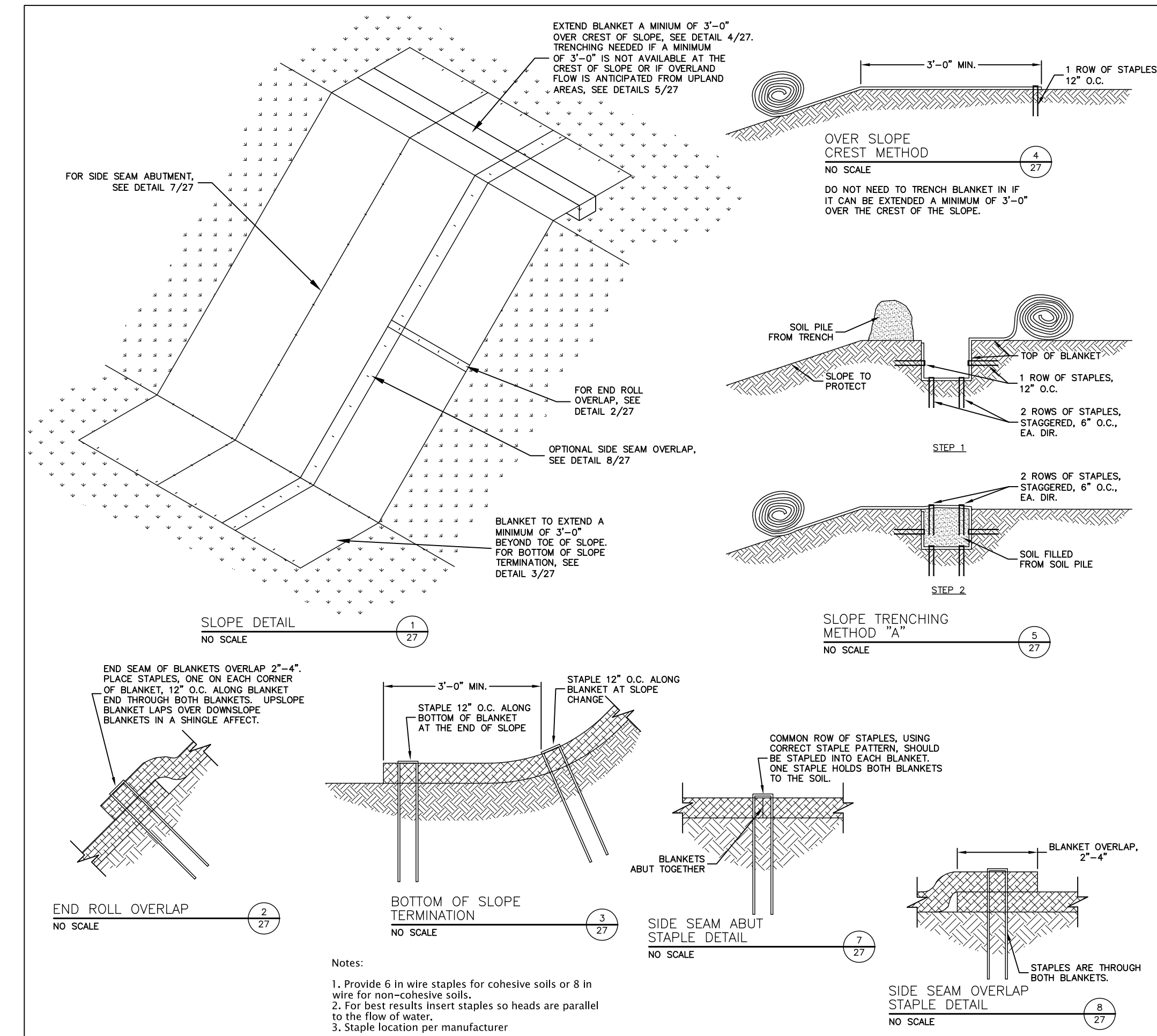
CJE NO.: 2306R4
MARCH 29, 2024
MAY 17, 2024
JUNE 6, 2024

EROSION CONTROL PRACTICES SCHEDULE

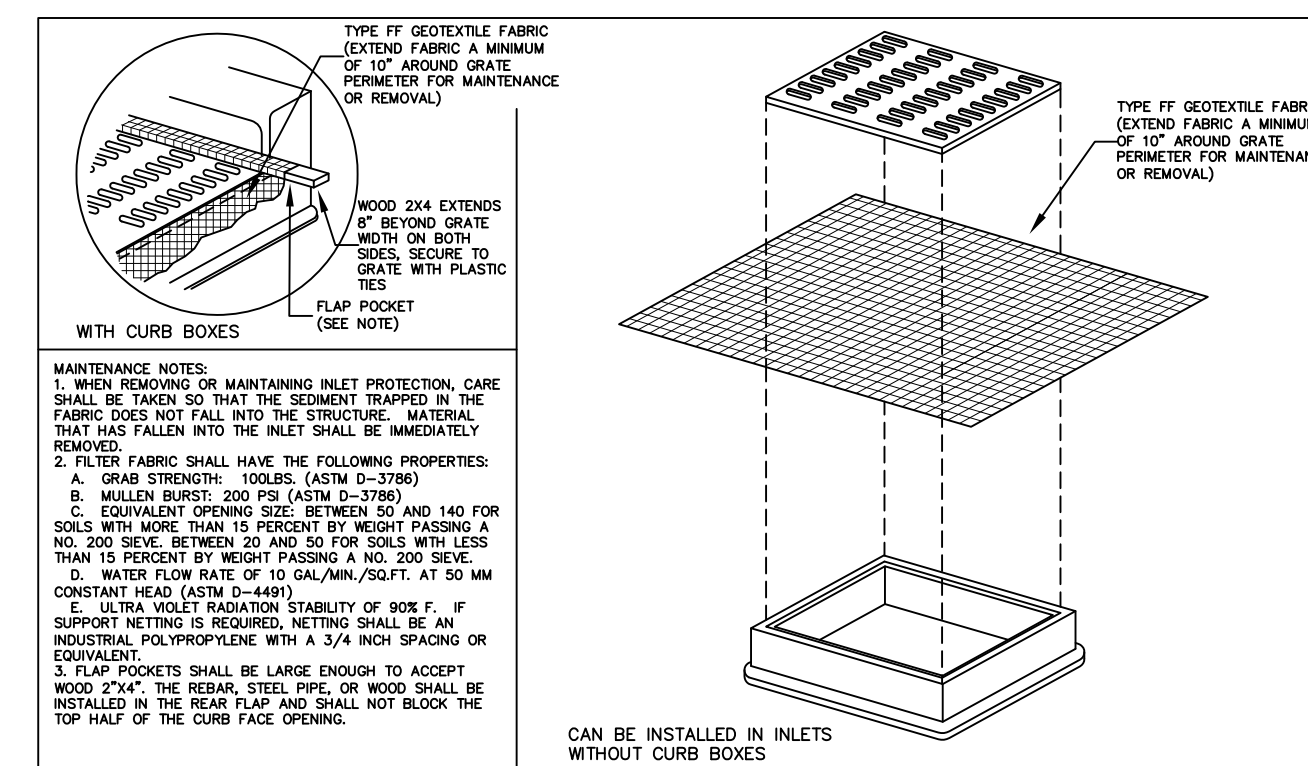
- ① SILT FENCE
- ② CONSTRUCTION EXIT
- ③ SEDIMENT BASIN
- ④ OUTLET PROTECTION
- ⑤ DITCH CHECK
- ⑥ INLET GRATE SCREEN
- ⑦ EROSION MAT

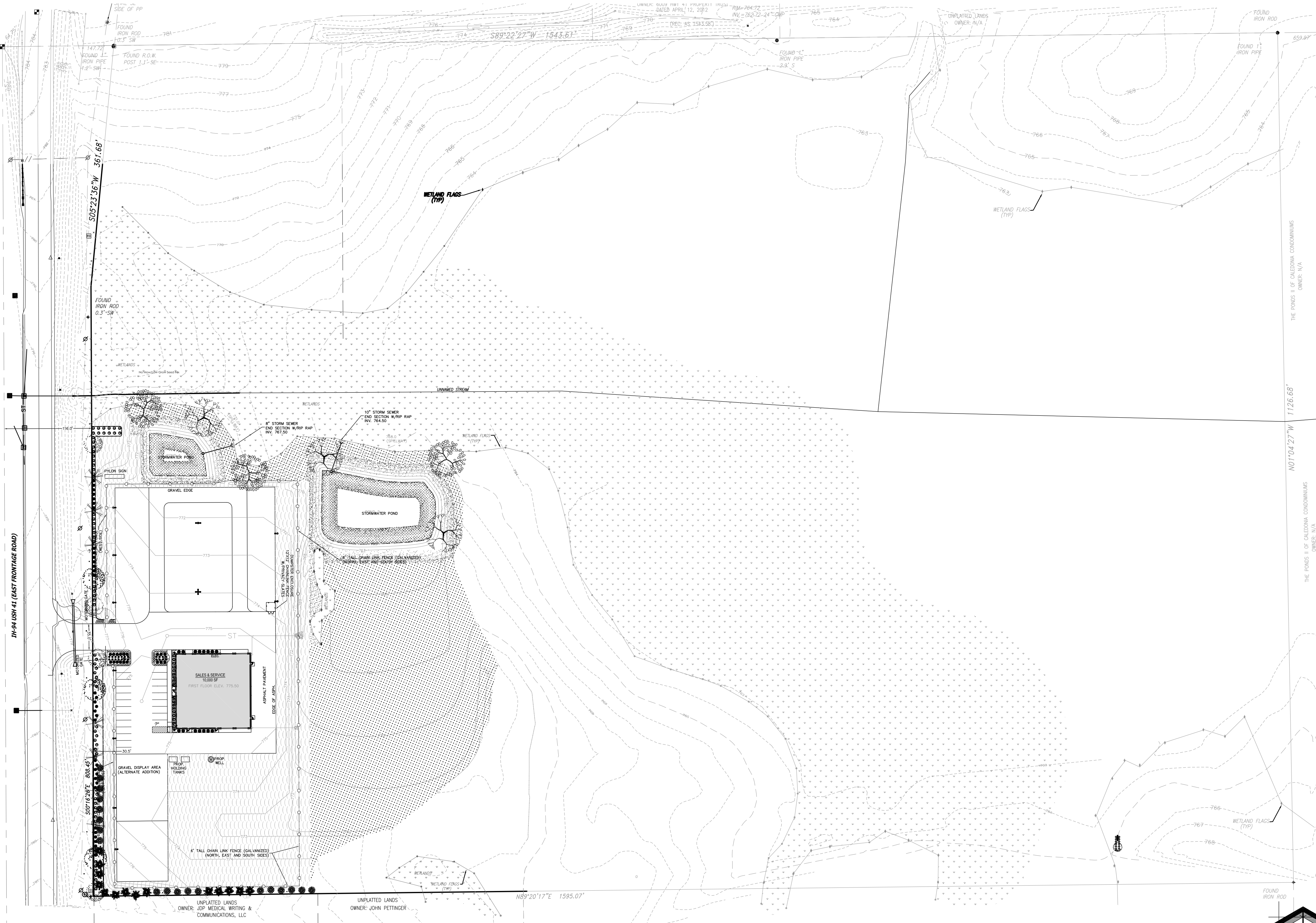


- CONSTRUCTION SPECIFICATIONS**
- EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIP RAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
 - PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1.0'.
 - EXERCISE CARE IN RIP RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
 - PLACE RIP RAP ON ZERO GRADE - TOP OF RIP RAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.
 - RIP RAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 5" TO 8" DIA.
 - IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.
- NOTE: NO RIP RAP TO BE PLACED IN WETLAND AREAS



- DITCH CHECK NOTES:**
- PREPARE SITE TO DESIGN PROFILE AND GRADE. REMOVE DEBRIS, ROCKS, CLODS, ETC.. GROUND SURFACE SHOULD BE SMOOTH PRIOR TO INSTALLATION TO ENSURE LOG REMAINS IN CONTACT WITH SLOPE.
 - DO NOT ALLOW FLOW TO OVERTOP INSTALLATION.
 - STAKE TO BE PLACED AT TOE OF SLOPE, BOTH SIDES
 - 1 1/8" x 1 1/8" x 30" WOODEN STAKES ARE RECOMMENDED FOR 6", 9", AND 12" SEDIMENT LOGS OR WATTLES.
 - INSTALL EROSION MAT PER MANUFACTURERS SPECIFICATIONS.
 - INSPECT DITCH CHECKS WEEKLY AND WITHIN 24 HRS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE WITHIN A 24 HOUR PERIOD.
 - DITCH CHECK SHALL BE AMERICAN EXCELSIOR CURLEX 12" SEDIMENT LOG, NORTH AMERICAN GREEN WS-12 OR OTHER APPROVED DITCH CHECK AS SPECIFIED IN THE WOOD EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL).
 - SPACING TO BE INSTALLED PER WDNR-CPS 1062 (EVERY TWO (2) VERTICAL FEET) AS SHOWN ON PLANS.





1 PROPOSED LANDSCAPE PLAN

DESIGN COMPLIANCE: THIS LANDSCAPE PLAN IS ACCURATE AND IN COMPLIANCE WITH THE VILLAGE OF CALEDONIA DESIGN GUIDELINES REQUIREMENTS SET FOR IN SECTIONS:

SITE DEVELOPMENT:

- COMMERCIAL VEHICLE STORAGE/PARKING, REFUSE AREAS, WASTE REMOVAL AREAS, SERVICE YARDS, STORAGE YARDS, AND EXTERIOR WORK AREAS SHALL BE SCREENED FROM VIEW FROM PUBLIC WAYS, USING SIMILAR GRADE MATERIALS AS PROPOSED ON THE PRINCIPAL STRUCTURE OR A COMBINATION OF LANDSCAPING/GRADING/FENCING SCREENING

- DESIGN AND SCREENING OF GARAGE DOORS, LOADING AREAS, SERVICE ENTRIES AND AREAS, AND MECHANICAL EQUIPMENT; GARAGE DOORS, LOADING AREAS, SERVICE ENTRIES AND AREAS, AND MECHANICAL EQUIPMENT SHALL BE SCREENED OR DESIGNED WITH A HIGH DEGREE OF VISUAL APPEAL. DENSELY PLANTED TREES, SHRUBS, OPAQUE FENCING, AND/OR GARDEN WALLS SHOULD BE USED TO SCREEN SERVICE AREAS, LOADING AREAS, TRASH RECEPTACLES AND GROUND- FLOOR MECHANICALS. THESE ELEMENTS SHOULD BE AT LEAST SEVEN (7) FEET HIGH (PLANT MATERIAL SHOULD BE AT LEAST SEVEN (7) FEET WITHIN 2 YEARS OF PLANTING).
- LANDSCAPING
- PARKING AREAS AND TRAFFIC WAYS SHALL BE ENHANCED WITH LANDSCAPED SPACES CONTAINING TREES OR TREE GROUPINGS. SHRUBS SHALL BE USED ONLY WHERE THEY WILL NOT OBSCURE VISION AND WILL NOT REQUIRE EXCESSIVE MAINTENANCE.
- WHERE BUILDING SITES LIMIT PLANTING, THE PLACEMENT OF TREES IN PARKWAYS OR LANDSCAPED ISLANDS IS ENCOURAGED.
- SCREENING OF SERVICE YARDS, AND OTHER PLACES THAT TEND TO BE UNSIGHTLY, SHALL BE ACCOMPLISHED BY USE OF WALLS, FENCING, PLANTING, OR COMBINATIONS OF THESE. SCREENING SHALL BE EQUALLY EFFECTIVE IN WINTER AND SUMMER.
- STREET EDGE LANDSCAPING: STREET EDGE LANDSCAPING, UNLESS SPECIFICALLY EXCLUDED, SHALL INCLUDE A RHYTHMIC PLANTING OF TREES NO MORE THAN 50' ON CENTER OF THE TREE TRUNK. RHYTHMIC PLANTING SHALL MEAN THE INCLUSION OF 2 TO 3 DIFFERENT SPECIES OF TREES PLANTED IN AN ALTERNATING FASHION. TREES SHALL BE PLANTED PARALLEL TO THE RIGHT-OF-WAY. TREES SHALL BE CANOPY DECIDUOUS TREES AS APPROVED BY VILLAGE STAFF. TREES BORDERING A PARCEL SHALL BE OF THE SAME SPECIES IN ORDER TO PROVIDE VISUAL CONTINUITY ALONG THE STREET EDGE. IN ADDITION TO RHYTHMIC PLANTING OF TREES, A SECONDARY LANDSCAPE LAYER LOCATED BEHIND THE TREE LINE SHOULD BE CREATED USING ORNAMENTAL FENCES AND CONTINUOUS EVERGREEN HEDGES THAT BLOCK VIEWS OF PARKING AREAS. UNLESS OTHERWISE NOTED THESE SHOULD HAVE A MINIMUM HEIGHT OF 4' ABOVE THE ELEVATION AT THE RIGHT-OF-WAY. BERRNS SHOULD NOT BE USED AS A DEVICE FOR VISUAL SCREENING UNLESS SPECIFIC APPROVAL IS GIVEN BY THE VILLAGE BOARD. WHEN BERRNS ARE APPROVED FOR USE, THEY SHALL HAVE A MINIMAL SLOPE IN CONTRAST TO THE SURROUNDING LANDSCAPE. WHEN A BERN IS INTENDED TO SCREEN A BUILDING FROM A PUBLIC RIGHT-OF-WAY, THE BERN MUST BE CONFIGURED SO THAT THE BUILDING IS SCREENED AT ALL VISUAL ANGLES FROM THE PUBLIC RIGHT-OF-WAY. TREES, FENCES, AND HEDGES MAY BE ELIMINATED WHEN THERE IS A PLANNED VIEW OF AN OPEN LANDSCAPED AREA INCLUDED AS PART OF A LONG-TERM OPEN SPACE MANAGEMENT PLAN IN A PLANNED UNIT DEVELOPMENT OR AS PROVIDED BY THE STANDARDS FOR PEDESTRIAN MAIN STREETS.

LIGHTING

ESTABLISHMENT OF A LIGHTING SYSTEM THAT PROVIDES SAFE AND SECURE TRAVEL ALONG VEHICULAR AND PEDESTRIAN CIRCULATION ROUTES IS OF THE UTMOST IMPORTANCE. THE FOLLOWING DESIGN STANDARDS SHALL BE CONSIDERED:

- ALL LIGHTING, FREE STANDING OR WALL MOUNTED, SHALL BE DOWN CAST, CUT-OFF, FREESTANDING FIXTURES SHALL HAVE ZERO DEGREE TILT.
- PHOTOMETRIC PLANS MUST ACCOMPANY A SUBMITTAL PHOTOMETRIC PLANS SHOWING THE FOOT-CANDLE EXTENT OF EXTERIOR LIGHTING SHOULD BE NO MORE THAN 0.5 FOOT CANDLES AT THE PROPERTY LINE UNLESS PLAN COMMISSION FINDS THAT EXTENUATING CIRCUMSTANCES EXIST (ADJACENT TO RIGHT-OF-WAY, CROSS-ACCESS EXISTS, ETC.).
- A LIGHT POLE SUPPORT BASE MAY NOT EXCEED 6 INCHES IN HEIGHT AND AN INDIVIDUAL LIGHT POLE SHOULD BE WITHIN A CURBED LANDSCAPED AREA TO AVOID DAMAGE

PARKING LOT LANDSCAPE ISLAND

- LANDSCAPE FEATURES IN LARGE SURFACE PARKING LOTS: FOR LARGE SURFACE PARKING LOTS WITH MORE THAN FIFTY (50) PARKING SPACES, LANDSCAPED ISLANDS SHALL BE LOCATED ALONG THE EDGES OF LARGE PARKING LOTS AND ALONG THE LIKELY PEDESTRIAN ROUTES. FOR EVERY TWENTY (20) PARKING SPACES, THREE HUNDRED (300) SQUARE FEET OF LANDSCAPED AREA SHOULD BE PROVIDED. FOR THE PURPOSES OF THIS PARAGRAPH, LANDSCAPE FEATURES SHALL BE DEFINED AS CANOPY TREES (WHERE THE CANOPY IS INTENDED TO BE AT LEAST EIGHT (8) FEET ABOVE GRADE) AND HEDGES OR BUSHES WITH AN INTENDED HEIGHT OF FOUR (4) FEET OR GREATER. THE PATTERN AND GEOMETRY OF THE LANDSCAPE SHOULD FOLLOW THE GEOMETRY OF THE BUILDINGS AND CIRCULATION SYSTEM. IT SHOULD NOT APPEAR AS A SERIES OF ISOLATED PLANTINGS UNRELATED TO THE VISUAL CHARACTER OF THE SPACES CREATED BY THE BUILDINGS AND LOTS. WHERE FEASIBLE, TREES AND LANDSCAPE FEATURES SHOULD BE COMBINED TO CREATE LARGER PUBLIC SPACES/GREENS WITHIN OR ADJACENT TO BUILDINGS AND ACTIVE USES.

CONTRACTOR NOTE: THE LANDSCAPE CONTRACTOR/GENERAL CONTRACTOR ARE RESPONSIBLE TO INSTALL THE LANDSCAPE AS PER THE APPROVED PLAN. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THE THIS APPROVED PLAN, THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE RESPONSIBLE FOR UPDATING THE PLANS ACCORDINGLY AND SUBMITTING THOSE REVISED PLANS FOR APPROVAL AND "SIGN OFF" WITH THE VILLAGE OF CALEDONIA. THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE ALSO RESPONSIBLE FOR VERIFYING THAT ANY PLANT MATERIAL SUBSTITUTIONS OR MODIFICATIONS THAT ARE MADE TO THE APPROVED LANDSCAPE DESIGN DOCUMENTS WILL NOT CHANGE OR ALTER ANY OF THE REQUIRED SUPPORTING LANDSCAPE REQUIREMENT CALCULATIONS. UPON COMPLETION OF THE CONSTRUCTION PROJECT AND FILE THAT AFFIDAVIT WITH THE VILLAGE OF CALEDONIA.

LANDSCAPE PLAN GENERAL NOTES

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
- ALL PLANTINGS SPECIFIED FOR THE RIGHT TRAILERS, INC. PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
- ALL DEVIATIONS FROM THE APPROVED RIGHT TRAILERS, INC. PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SOODED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
- QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
- WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.
- ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
- GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
- FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.3 FOR FURTHER INFORMATION.
- ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.3 FOR FURTHER INFORMATION.
PER EVERY 100 SQUARE FEET ADD: ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
- ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.3 FOR FURTHER INFORMATION.
- PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL, CLAY OR STONES. REFER TO LSP1.3 FOR FURTHER INFORMATION.
- ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.3 FOR FURTHER INFORMATION.
- PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
- ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDDED HARDWOOD/OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.3 FOR FURTHER INFORMATION.
- LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
- DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**
20% KENTUCKY BLUE GRASS
15% NEWPORT KENTUCKY BLUE GRASS
15% SR 2100 Kentucky Bluegrass
25% Creeping Red Fescue
15% Replicator Perennial Ryegrass
10% Fiesta 4 Perennial Ryegrass
APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER FORMATION

- DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPARENT OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
- MAINTENANCE NOTE
MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
 - NECESSARY IRRIGATION (IF REQUIRED)
 - INTEGRATED PEST MANAGEMENT,
 - PROPER FERTILIZATION
 - TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
 - REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.
 - WEED MANAGEMENT AND BED CARE.
- ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPARENT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPARATION PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPARATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICATION.
- MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
- LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

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LANDSCAPE DESIGN

Landscape Consulting
& Master Planning Design Services

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Tel (414) 476-1204
www.insitedesigninc.com
mdavis@insitedesigninc.com

Project:

RIGHT TRAILERS, INC.

East Frontage Road I-41
Caledonia, WI 53108

Issuance and Revisions:

Date	Number	Description
04/07/23		Client Review Submittal
04/24/23		Revisions Based on Site Changes /Plan Commission Re-Submittal
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Sheet Title:

PROPOSED LANDSCAPE PLAN
AND GENERAL NOTES

Date of Drawing: 05/17/24

Scale: 1" = 80'-0"

Drawn By: MCD

Job Number: L22-086

Sheet Number:

LSP1.1

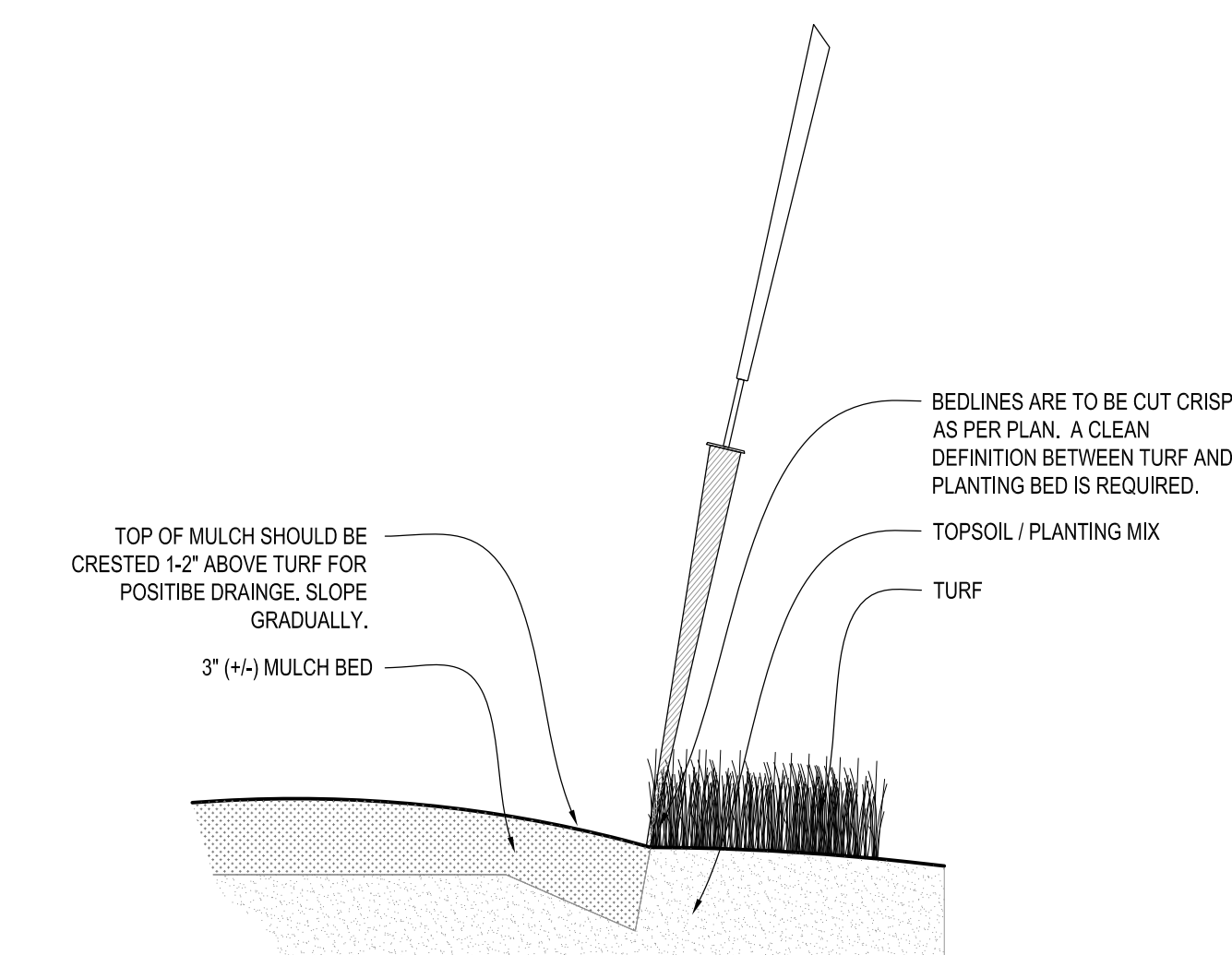
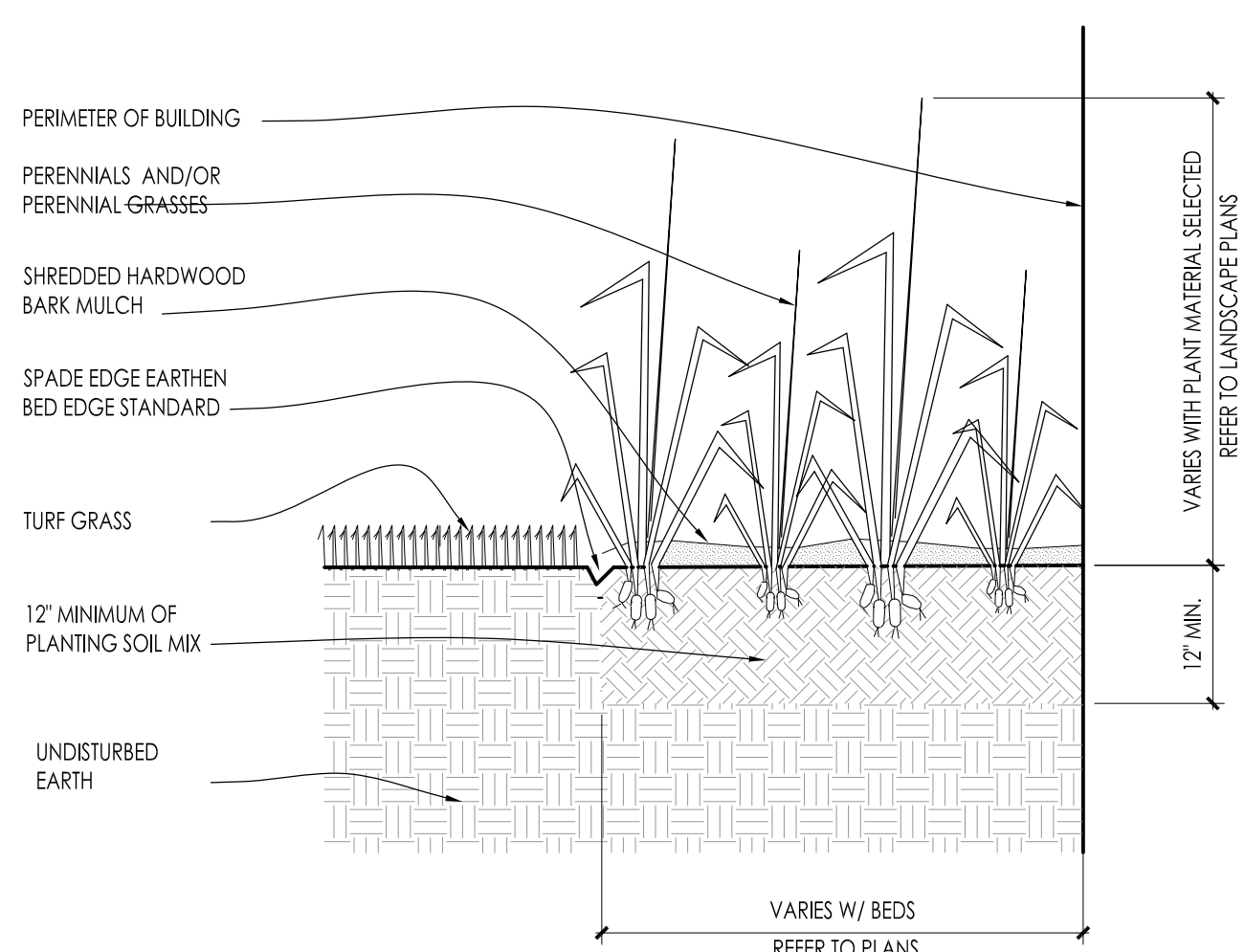
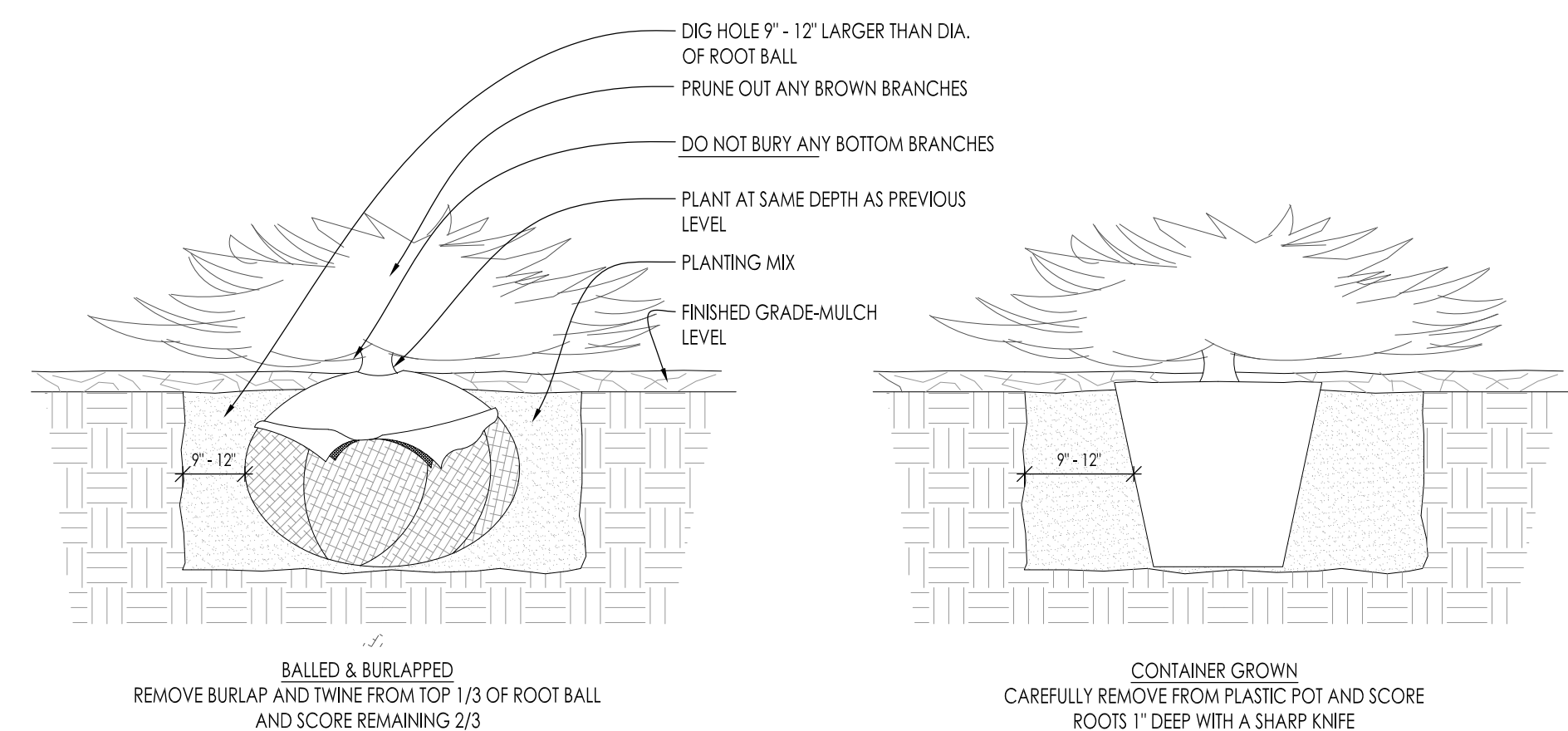
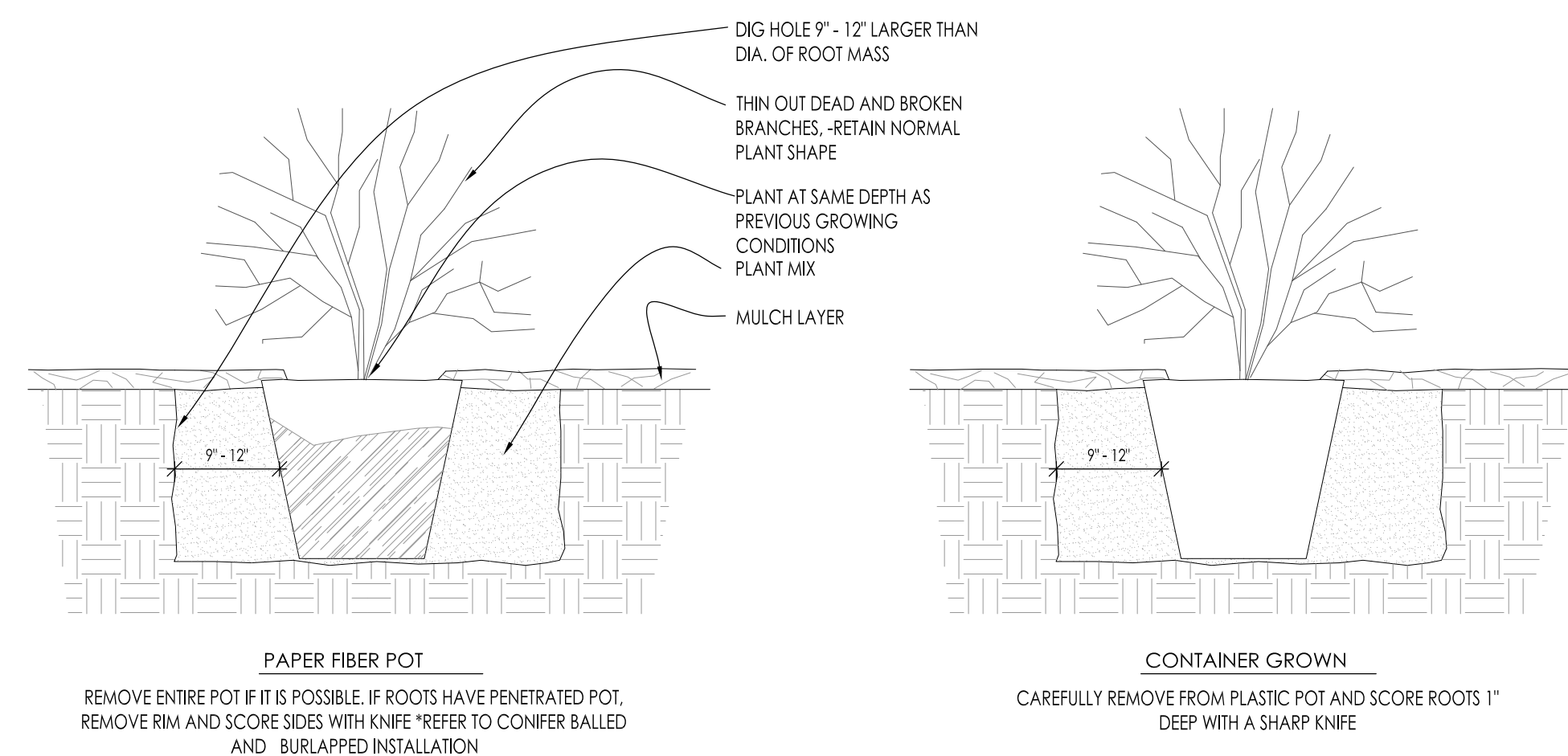
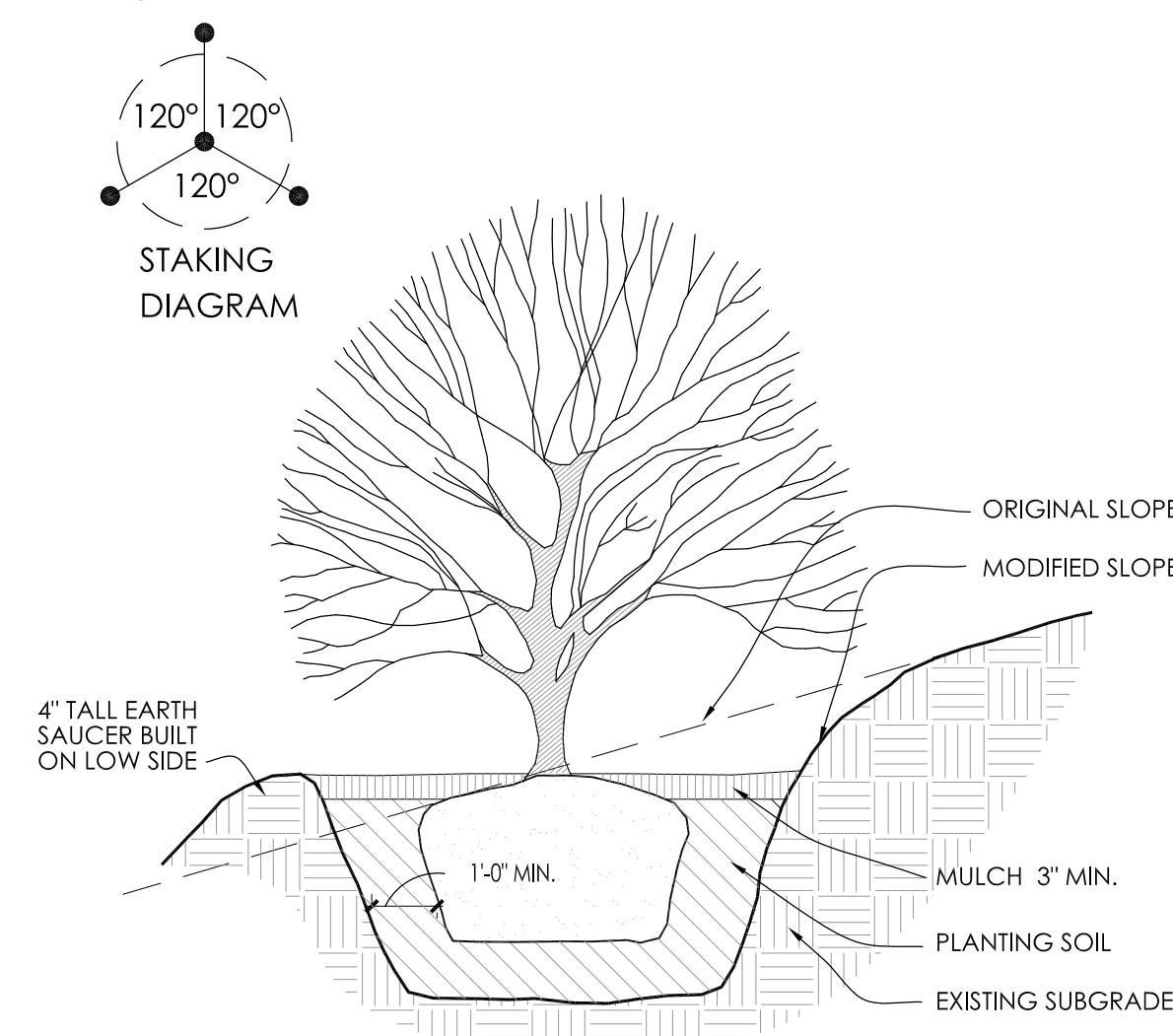
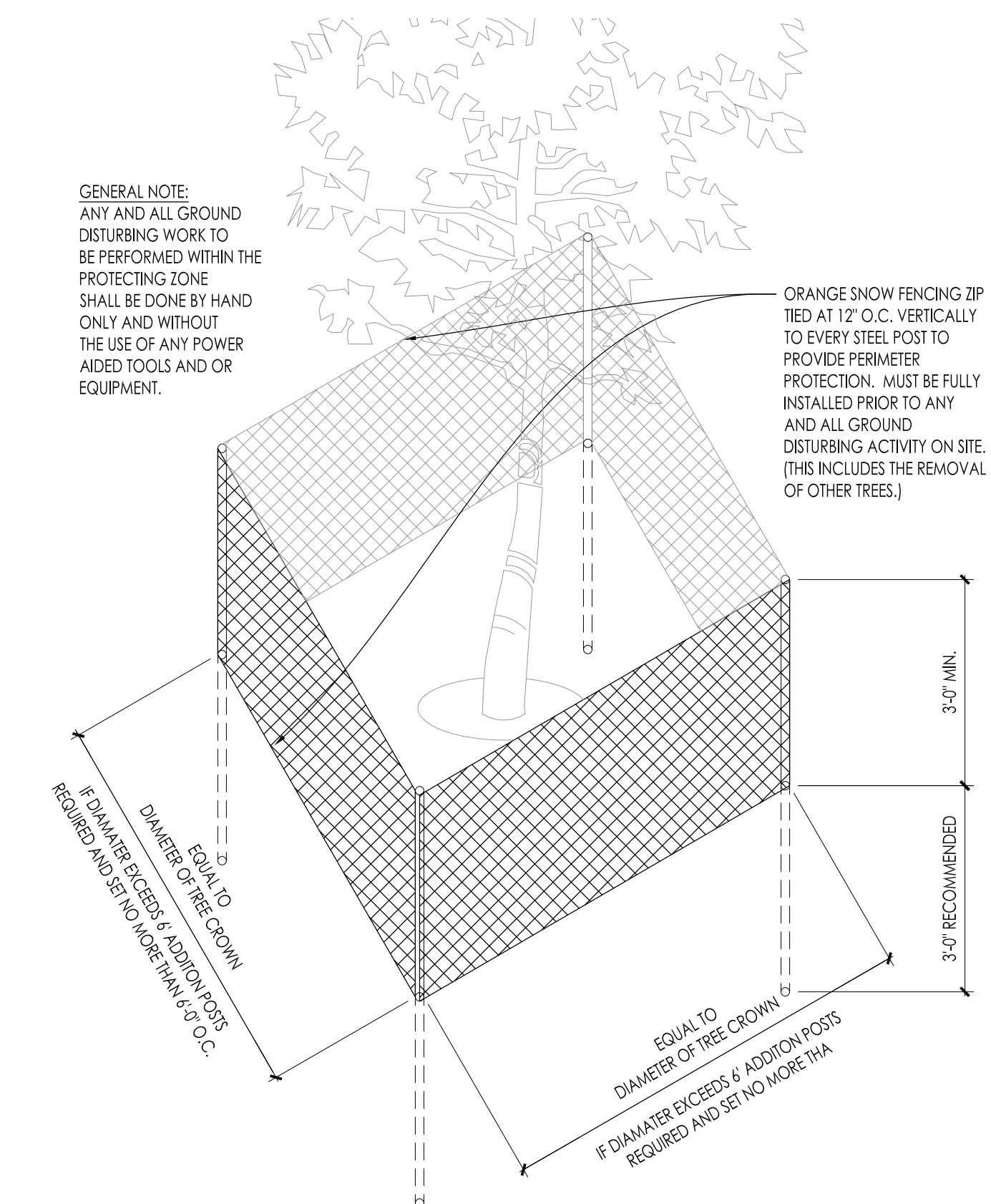
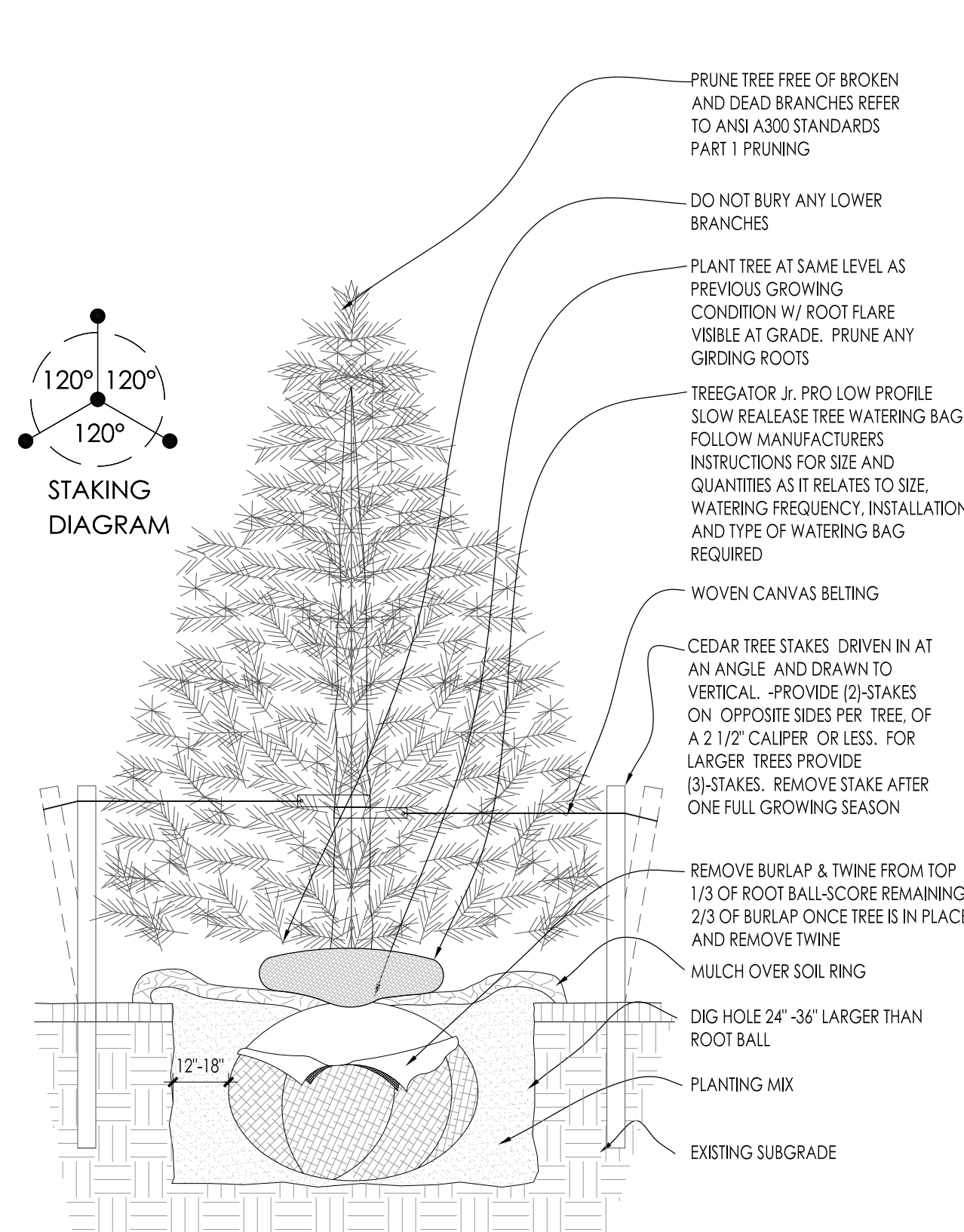
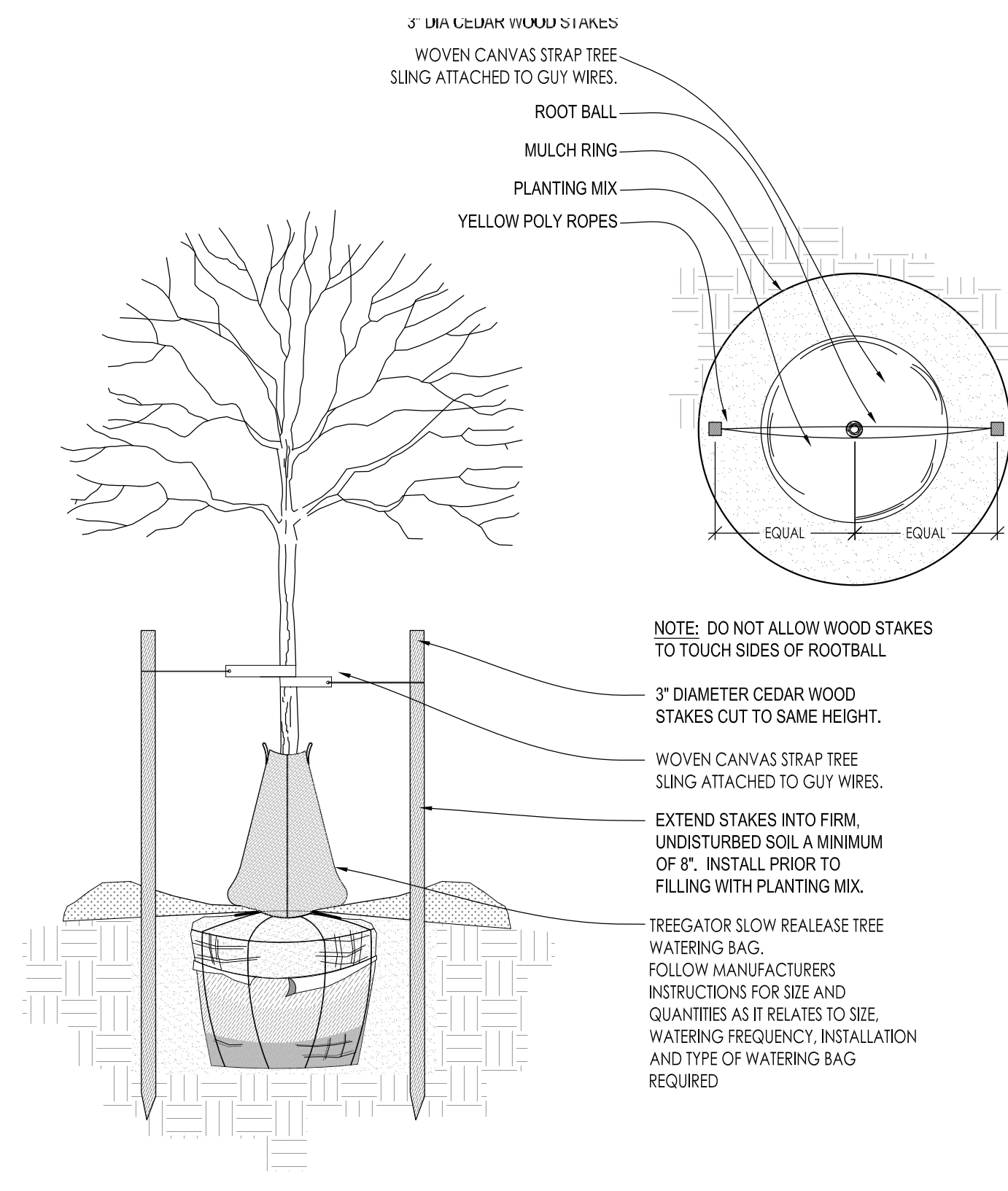
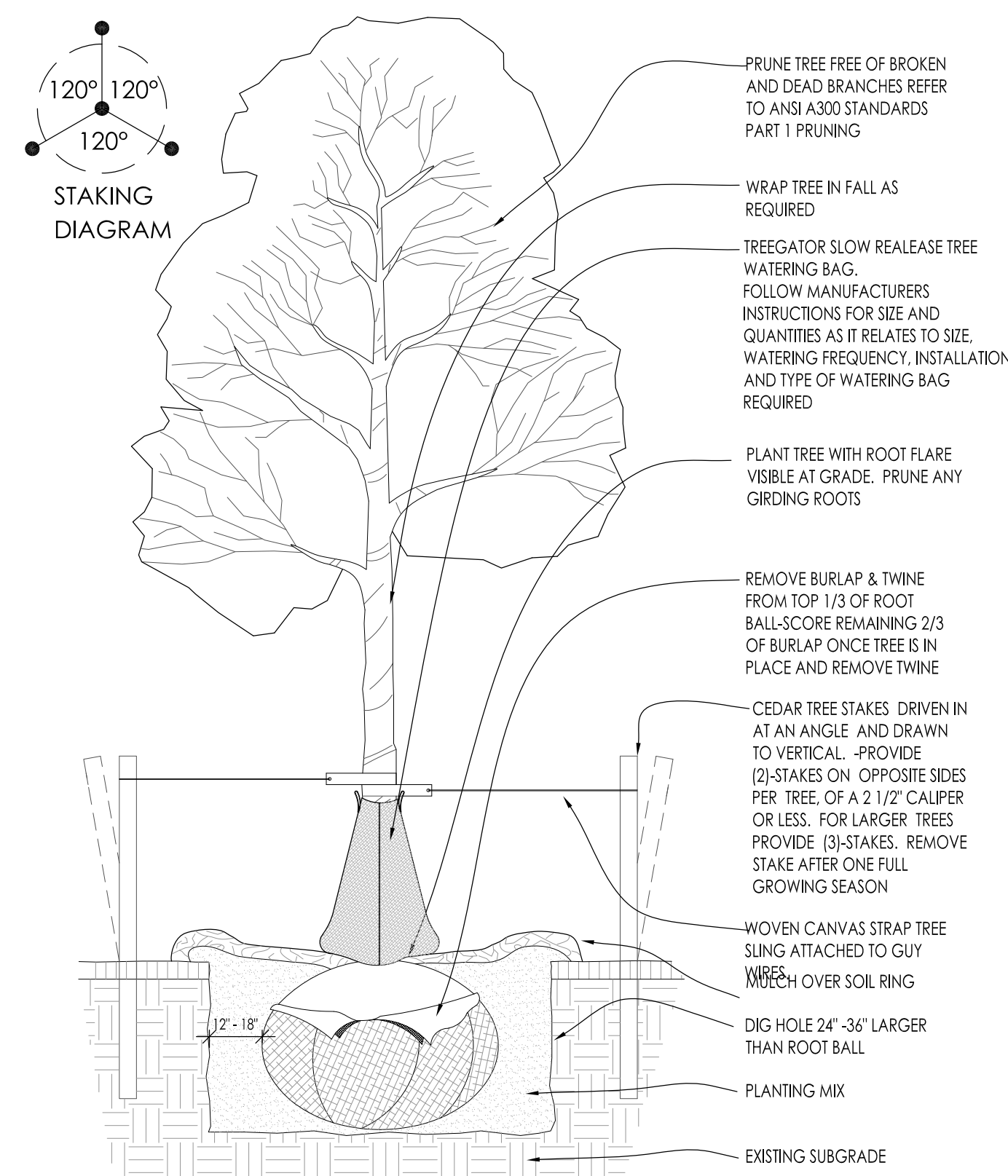
CONSTRUCTION SET USE NO OTHER- DO NOT SCALE THESE DRAWINGS-

L22-086 - RIGHT TRAILERS - 05/17/2024



North

- (1) PLANTING BED MULCH AREA. DRESS WITH 2"-3" OF SHREDED HARDWOOD BARK MULCH. TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
- (2) EARTHEN BED EDGE (SHOVEL POINT) LANDSCAPE EDGE. TYPICAL ALL PLANT MATERIAL AREAS. DRESS WITH 2"-3" OF SHREDED HARDWOOD BARK MULCH. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
- (3) MULCHED 4'-0" DIA. TREE RING BED AREA w/ EARTHEN BED EDGE (SHOVEL POINT) LANDSCAPE EDGE AS REQUIRED. DRESS WITH 2"-3" OF SHREDED HARDWOOD BARK MULCH. REFER TO LSP1-3. GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
- (4) SEEDED AREAS OF TURF GRASS. REPAIR ANY AND ALL TURF DAMAGE FROM THE CONSTRUCTION PROCESS. IT IS VERY IMPORTANT TO FOLLOW THE MANUFACTURERS INSTALLATION INSTRUCTIONS REGARDING THE TURF GRASS FOR PROPER GERMINATION AND SURVIVABILITY OF THE SEED MIX AND REFER TO GENERAL NOTES FOR PREPARATION OF TOP SOIL AND SEED INSTALLATION. ALSO REFER TO GRADING PLAN. GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
- (5) SEEDED AREAS OF NO-MOW LOW GROW GRASS SEED MIX FROM REPAIRS. REPAIR ANY AND ALL TURF DAMAGE FROM THE CONSTRUCTION PROCESS. IT IS VERY IMPORTANT TO FOLLOW THE MANUFACTURERS INSTALLATION INSTRUCTIONS REGARDING THE TURF GRASS FOR PROPER GERMINATION AND SURVIVABILITY OF THE SEED MIX. REFER TO GENERAL NOTES FOR PREPARATION OF TOP SOIL AND SEED INSTALLATION. ALSO REFER TO GRADING PLAN FOR FURTHER INFORMATION.
- (6) AREA FOR LOWER TWO THIRDS OF THE BIO-RETENTION BASINS TO BE SEEDDED WITH STORM-WATER BASIN/BIONFILTRATION SEED MIX FROM AGGREGOL. IT IS VERY IMPORTANT TO FOLLOW THE MANUFACTURERS INSTALLATION INSTRUCTIONS REGARDING THE PRAIRIE GRASS SEED MIXES FOR PROPER GERMINATION AND SURVIVABILITY. REFER TO GENERAL NOTES FOR PREPARATION OF TOP SOIL AND SEED INSTALLATION AND GRADING PLAN FOR FURTHER INFORMATION.
- (7) BIOMET - 1508N - SHORT-TERM BIODEGRADABLE DOUBLE-NET STRAW BLENDED (0.23 INCHES) INSTALLED AT BIO RETENTION BASINS ABOVE STORM-WATER SEED MIX AND BELOW PROPOSED COBLESTONE APPROXIMATELY 10.900 & 10.100 G/F. - INSTALL WITH A 4 INCH BIODEGRADABLE NORTH AMERICAN GREEN BIOSTAKE.
- (8) AREA FOR LOWER TWO THIRDS OF THE BIO-RETENTION BASINS TO BE SEEDDED WITH ECONOMY PRAIRIE SEED MIX FROM AGGREGOL. IT IS VERY IMPORTANT TO FOLLOW THE MANUFACTURERS INSTALLATION INSTRUCTIONS REGARDING THE PRAIRIE GRASS FOR PROPER GERMINATION AND SURVIVABILITY. ALSO REFER TO GENERAL NOTES FOR PREPARATION OF TOP SOIL AND SEED INSTALLATION. ALSO REFER TO GRADING PLAN FOR FURTHER INFORMATION.
- (9) ADJACENT TO/ WITHIN THE NO-MOW SEED AREAS - REPAIRS - RAINWATER RUNOFF TO BE INSTALLED WITH A 4" DIA. BIODEGRADABLE WOVEN/BERBER STRIP. A LESSER/NO-MOW MULCH RING IS INTENDED FOR INITIAL FIRST SEASON ROOT ESTABLISHMENT. AFTER THE FIRST GROWING SEASON IT IS EXPECTED THAT THE TREE/ LARGER SHRUB WILL BE ESTABLISHED AND WOULD NO LONGER REQUIRE A MULCH RING AND THE NO-MOW/LOW GROW GRASS WILL ESTABLISH ITSELF AND COVER THE TREE RING / ROOT BALL ALONG WITH THE REST OF THE BERMED AREA. REFER TO LSP1-3. GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.



Project:

RIGHT
TRAILERS, INC.

East Frontage Road I-41
Caledonia, WI 53108

Issuance and Revisions:		
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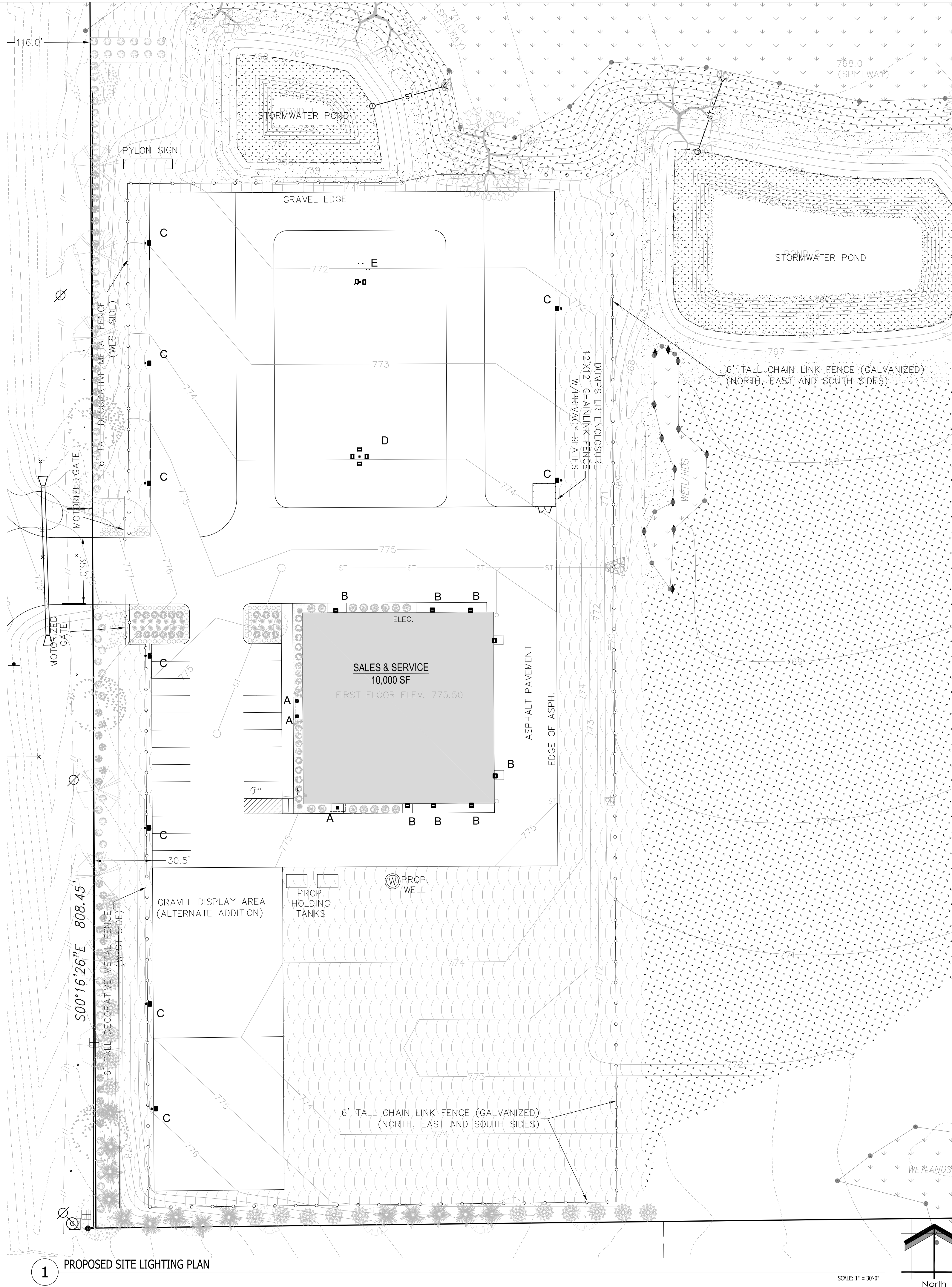
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Sheet Title:

PROPOSED LANDSCAPE PLAN,
PLANTING DETAILS

Date of Drawing:	05/17/24
Scale:	As Noted
Drawn By:	MCD
Job Number:	L22-086
Sheet Number:	

LSP1.3



DESIGN COMPLIANCE:
THIS LIGHTING / PHOTOMETRIC LIGHT LEVEL CALCULATION PLAN IS ACCURATE AND IN COMPLIANCE WITH THE VILLAGE OF CALEDONIA DESIGN GUIDELINES REQUIREMENTS SET FOR IN SECTIONS:
LIGHTING
ESTABLISHMENT OF A LIGHTING SYSTEM THAT PROVIDES SAFE AND SECURE TRAVEL ALONG VEHICULAR AND PEDESTRIAN CIRCULATION ROUTES IS OF THE UTMOST IMPORTANCE. THE FOLLOWING DESIGN STANDARDS SHALL BE CONSIDERED:
1. ALL LIGHTING, FREE STANDING OR WALL MOUNTED, SHALL BE DOWN CAST, CUT-OFF. FREESTANDING FIXTURES SHALL HAVE ZERO DEGREE TILT.
4. PHOTOMETRIC PLANS MUST ACCOMPANY A SUBMITTAL PHOTOMETRIC PLANS SHOWING THE FOOT-CANDLE EXTENT OF EXTERIOR LIGHTING SHOULD BE NO MORE THAN 0.5 FOOT CANDLES AT THE PROPERTY LINE UNLESS PLAN COMMISSION FINDS THAT EXTENUATING CIRCUMSTANCES EXIST (ADJACENT TO RIGHT-OF-WAY, CROSS-ACCESS EXISTS, ETC.).

LUMINAIRE SCHEDULE								
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF Watts
	A	3	CPY250-A-DM-F -C-UL-CS	Cree CPY250 Canopy / Soffit Luminaire w- Flat Lens, 122W, 4000K Platinum Silver Factory Finish, Provide Canopy Mounting Plate	72 type XTE AWT LEDs on white square PCB, 4000K color temperature.	CPY250-A-xxx-F-A-UL-xxx-40K_RESTL-2013-0002.ies	Absolute	1.00 43.4
	B	9	XSPW-A-0-3-M -C-UL-CS	Cree XSPW Series Wallpack Luminaire, Type III Medium, 4000K, C Input Power Designator, Platinum Silver factory Finish, U.L. listed for Wet Locations	4 type MDA LEDs	XSPWx3FC-U_RESTL-2014--0018.IES	Absolute	1.00 42.7
	C	9	OSQ A NM 4ME U 40K-UL-CS-BLSLF CL-SSP-4011-25 -D6-PS-ABL	CONFIGURED FROM Cree OSQ Series Area Luminaire, Type IV Medium w/ Backlight Shield, U Input Power Designator, 4000K	CONFIGURED FROM Eight type MDA 4000K LEDs	OSQ A xx 4ME U w- OSQ-CONFIG 40K_CONFIG RED.ies	Absolute	1.00 215
	D	1	OSQ A NM 4ME U 40K-UL-CS CL-SSP-4011-25 -D6-PS-ABL	CONFIGURED FROM Cree OSQ Series Area Luminaire, Type IV Medium, U Input Power Designator, 4000K	CONFIGURED FROM Eight type MDA 4000K LEDs	OSQ A xx 4ME U w- OSQ 40K_CONFIG RED.ies	Absolute	1.00 858.04
	E	1	OSQ A NM 4ME U 40K-UL-CS CL-SSP-4011-25 -D6-PS-ABL	CONFIGURED FROM Cree OSQ Series Area Luminaire, Type IV Medium, U Input Power Designator, 4000K	CONFIGURED FROM Eight type MDA 4000K LEDs	OSQ A xx 4ME U w- OSQ 40K_CONFIG RED.ies	Absolute	1.00 429.02

STATISTICS								
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	UG	CV Avg/Max
Calc Zone #6	+	1.2 fc	18.7 fc	0.0 fc	N / A	N / A	-1.0	2.2 0.0:1

LUMINAIRE NOTES	
1.	FIXTURE "C" (R) IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURE (SINGLE HEAD AND TENON w/ BACKLIGHT/HOUSE SIDE SHIELD). FIXTURES ARE TO BE INSTALLED ON A NEW 0'-6" TALL REINFORCED POURED CONCRETE FOUNDATION AND NEW 25'-0" SQUARE SILVER POLE.
2.	FIXTURE "D" (I) IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (QUAD HEAD AND TENONS). FIXTURES ARE TO BE INSTALLED ON A NEW 0'-6" TALL REINFORCED POURED CONCRETE FOUNDATION AND NEW 25'-0" SQUARE SILVER POLE.
3.	FIXTURE "E" (I) IS A NEW POLE LOCATION w/ NEW POLE MOUNTED FIXTURES (TWIN HEAD AND TENONS). FIXTURES ARE TO BE INSTALLED ON A NEW 0'-6" TALL REINFORCED POURED CONCRETE FOUNDATION AND NEW 25'-0" SQUARE SILVER POLE.
4.	ALL PROPOSED FIXTURE HEADS ARE TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH HESNA FULL CUTOFF HOUSE SIDE SHIELDING WHERE REQUIRED. NEW PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENONS) FINISH IS TO MATCH EXISTING w/ OPTIONAL PHOTOCELL CONTROL.
5.	ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED. GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.
6.	ALL NEW PROPOSED AREA LIGHT POLES SHALL BE LOCATED 3'-0" FROM BACK OF CURB TO THE EDGE OR FACE OF THE REINFORCED LIGHT POLE BASE. UNLESS NOTED OTHERWISE.
7.	INSTALLATION CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING OF LIGHT POLES AND SIGNAGE LIGHTING CONTROL AND WIRING.
8.	CONTRACTOR TO REFER TO REINFORCED LIGHT POLE BASE SECTION AND DETAIL FOR FURTHER INFORMATION.
9.	PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENONS) ARE TO HAVE A SILVER FINISH w/ OPTIONAL PHOTOCELL CONTROL.
10.	ALL BUILDING MOUNTED LIGHT FIXTURES ARE TO BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS FOR EXACT MOUNTING HEIGHTS AND LOCATIONS.
FOR PURPOSES OF CALCULATING THE SITE LIGHTING AND PHOTOMETRIC OUTPUT ALL BUILDING MOUNTED FLOOD LIGHTS WERE PLACED AT 10'-0" AND 18'-0" ABOVE FINISHED FLOOR ELEVATION	
THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS ARE CALCULATED VALUES INCLUDE DIRECT AND INTER-REFLECTED COMPONENTS. THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.	

- PHOTOMETRIC PLAN GENERAL NOTES
- BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD CONDITIONS.
 - THE DEPICTED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINAIRE CHARACTERISTICAL DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL, ON-SITE PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN: ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
 - IF EXISTING LUMINAIRES ARE INCLUDED IN THIS REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATION OF CUSTOMER'S PROVIDED SPECIFICATIONS & OUR BEST ESTIMATION.
 - ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.

- EXISTING CONDITIONS GENERAL NOTES
- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
 - VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, ELECTRICAL, TELECOMMUNICATION AND ACCESS PANELS FOR ALL UTILITIES AND ALL ASSOCIATED EQUIPMENT FOR ACCESSIBILITY OF THOSE ITEMS.
 - VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.

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02

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Landscape Consulting
& Master Planning Design Services

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Project:

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Sheet Title:

PROPOSED SITE LIGHTING PLAN,
PLAN GENERAL NOTES
AND LIGHT FIXTURE TABLE

Date of Drawing: 05/17/24
Scale: 1" = 30'-0"
Drawn By: MCD
Job Number: L22-086
Sheet Number:

PHO1.1

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Sheet Title:

PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN, AND LIGHT FIXTURE TABLE

Date of Drawing: _____

Scale:

Drawn By: _____

Job Number: 122 00

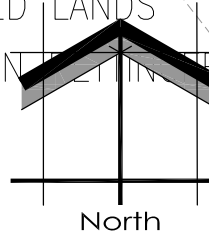
PHO1.2



ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.



SCALE: 1" = 30'-0"



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UTILITY ALERT NETWORK
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(877) 500-9592
www.Diggershotline.com
OR

OR

CPY Series - Version A

CPY250® LED Canopy/Soffit Luminaire

Product Description

The CPY250® LED Canopy/Soffit Luminaire has an extremely thin profile constructed of rugged cast aluminum. It can be surface mounted easily from below the canopy dock and can be pendant mounted. Direct imaging of the LED is eliminated with a highly efficient patented 60° or 9.9° (22mm) drop glass lens.

Applications: Petroleum canopies, CNG fueling stations, etc.

Performance Summary

Made in the U.S.A. of U.S. and imported parts

Initial Delivered Lumens: Up to 17,470

Efficiency: Up to 125 LPW

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) Standard

Limited Warranty: 10 years on luminaire/10 years on ColorStar DeltaGuard® finish

(IP66 Rated Direct Mount only)

Class I, Division 2 Hazardous Location for select models

See [http://lighting.cree.com](#) for warranty details

Accessories

Field-Installed

Direct Mount Luminaires

Canopy Mount Luminaires

Pendant Mount Luminaires

Weight

12.5 lbs (5.7 kg)

Ordering Information

Example: CPY250-A-DM-D-0-0-0-0-0

Product	Version	Mounting	Optic	Input Power Designator	Voltage	Color Options	Options
CPY250	A	DM	D	0	0	0	0

US: [lighting.cree.com/lighting](#) T (800) 236-6800 F (262) 504-5415

Canada: [www.cree.com/canada](#) T (800) 473-1234 F (800) 890-7507

XSP Series

XSPW™ LED Wall Pack Luminaire

Product Description

The XSPW™ LED Wall Pack Luminaire has an extremely thin profile constructed of rugged cast aluminum. It can be surface mounted easily from below the canopy dock and can be pendant mounted. Direct imaging of the LED is eliminated with a highly efficient patented 60° or 9.9° (22mm) drop glass lens.

Applications: Petroleum canopies, CNG fueling stations, etc.

Performance Summary

Made in the U.S.A. of U.S. and imported parts

Initial Delivered Lumens: Up to 17,470

Efficiency: Up to 125 LPW

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) Standard

Limited Warranty: 10 years on luminaire/10 years on ColorStar DeltaGuard® finish

(IP66 Rated Direct Mount only)

Class I, Division 2 Hazardous Location for select models

See [http://lighting.cree.com](#) for warranty details

Accessories

Field-Installed

Direct Mount Luminaires

Canopy Mount Luminaires

Pendant Mount Luminaires

Weight

12.5 lbs (5.7 kg)

Ordering Information

Example: XSP250-A-DM-D-0-0-0-0-0

Product	Version	Mounting	Optic	Input Power Designator	Voltage	Color Options	Options
XSP250	A	DM	D	0	0	0	0

US: [lighting.cree.com/lighting](#) T (800) 236-6800 F (262) 504-5415

Canada: [www.cree.com/canada](#) T (800) 473-1234 F (800) 890-7507

PB Series

PB Series Square Steel Pole Mount Luminaire

Product Description

The PB Series Square Steel Pole Mount Luminaire has an extremely thin profile constructed of rugged cast aluminum. It can be surface mounted easily from below the canopy dock and can be pendant mounted. Direct imaging of the LED is eliminated with a highly efficient patented 60° or 9.9° (22mm) drop glass lens.

Applications: Petroleum canopies, CNG fueling stations, etc.

Performance Summary

Made in the U.S.A. of U.S. and imported parts

Initial Delivered Lumens: Up to 17,470

Efficiency: Up to 125 LPW

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) Standard

Limited Warranty: 10 years on luminaire/10 years on ColorStar DeltaGuard® finish

(IP66 Rated Direct Mount only)

Class I, Division 2 Hazardous Location for select models

See [http://lighting.cree.com](#) for warranty details

Accessories

Field-Installed

Direct Mount Luminaires

Canopy Mount Luminaires

Pendant Mount Luminaires

Weight

12.5 lbs (5.7 kg)

Ordering Information

Example: PB3000-BK-0-0-0-0-0

Product	Version	Mounting	Optic	Input Power Designator	Voltage	Color Options	Options
PB3000	BK	0	0	0	0	0	0

US: [lighting.cree.com/lighting](#) T (800) 236-6800 F (262) 504-5415

Canada: [www.cree.com/canada](#) T (800) 473-1234 F (800) 890-7507

PS Series

PS Series Square Steel Pole Mount Luminaire

Product Description

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Applications: Petroleum canopies, CNG fueling stations, etc.

Performance Summary

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CCT: 4000K (+/- 300K), 5700K (+/- 500K) Standard

Limited Warranty: 10 years on luminaire/10 years on ColorStar DeltaGuard® finish

(IP66 Rated Direct Mount only)

Class I, Division 2 Hazardous Location for select models

See [http://lighting.cree.com](#) for warranty details

Accessories

Field-Installed

Direct Mount Luminaires

Canopy Mount Luminaires

Pendant Mount Luminaires

Weight

12.5 lbs (5.7 kg)

Ordering Information

Example: PS3000-BK-0-0-0-0-0

Product	Version	Mounting	Optic	Input Power Designator	Voltage	Color Options	Options
PS3000	BK	0	0	0	0	0	0

US: [lighting.cree.com/lighting](#) T (800) 236-6800 F (262) 504-5415

Canada: [www.cree.com/canada](#) T (800) 473-1234 F (800) 890-7507

OSQ Series

OSQ™ LED Area/Flood Luminaire - Medium

Product Description

The OSQ™ LED Area/Flood Luminaire has an extremely thin profile constructed of rugged cast aluminum. It can be surface mounted easily from below the canopy dock and can be pendant mounted. Direct imaging of the LED is eliminated with a highly efficient patented 60° or 9.9° (22mm) drop glass lens.

Applications: Petroleum canopies, CNG fueling stations, etc.

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(IP66 Rated Direct Mount only)

Class I, Division 2 Hazardous Location for select models

See [http://lighting.cree.com](#) for warranty details

Accessories

Field-Installed

Direct Mount Luminaires

Canopy Mount Luminaires

Pendant Mount Luminaires

Weight

12.5 lbs (5.7 kg)

Ordering Information

Example: OSQ250-A-DM-D-0-0-0-0-0

Product	Version	Mounting	Optic	Input Power Designator	Voltage	Color Options	Options
OSQ250	A	DM	D	0	0	0	0

US: [lighting.cree.com/lighting](#) T (800) 236-6800 F (262) 504-5415

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InSITE

LANDSCAPE DESIGN

Landscape Consulting & Master Planning Design Services

11525 W. North Avenue, Suite 1B
Wauwatosa, WI 53226
Tel (414) 476-1204
www.insitedesigninc.com
mdavis@insitedesigninc.com

Project:

RIGHT TRAILERS, INC.

East Frontage Road I-41
Caledonia, WI 53108

Issuance and Revisions:

Date	Number	Description
04/07/23		Client Review Submittal
04/24/23		Revisions Based on Site Changes /Plan Commission Re-Submittal
04/17/24		Construction Document Submittal

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Sheet Title:

PROPOSED LIGHT FIXTURES

Date of Drawing: 04/17/24

Scale: NONE

Drawn By: MCD

Job Number: L22-086

Sheet Number:

PHO 1.3

Construction Set Use No Other- Do Not Scale These Drawings-

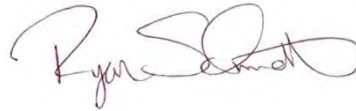
L22-086 - RIGHT TRAILERS - 04/17/2024

MEMORANDUM

Date: June 17, 2024

To: Plan Commission
Village Board

From: Ryan Schmidt, P.E.
Village Engineer



Re: **Certified Survey Map – 7 Mile Road**
Parcel ID 51-104-04-22-08-005-000
Part of the NE ¼ of Section 8, Township 4 North, Range 22 East
Village of Caledonia, Racine County, WI
Applicant – Ken Rusch | Owner – Paul K. Thomas & Hasan S Salem

Recommended Motions:

- 1. Move to recommend approval of the Certified Survey Map subject to the 4 conditions listed in the Village Engineer's Memo dated June 17, 2024.**

BACKGROUND INFORMATION

The Engineering Department has received a Certified Survey Map (CSM) from Ken Rusch, the agent and attorney for Hasan Salem. The CSM is for the property located at approximately 1500 feet west of STH 38 on the south side of 7 Mile Road in the Village of Caledonia. The existing property is approximately 20.11 acres in size. There is also 496.89 feet of frontage along 7 Mile Road. The existing parcel contains only farmland with a drainage channel cutting through the property. The property is co-owned by both Hasan Salem and Paul K. Thomas. The Concept was brought to the Planning Commission for approval on October 30, 2023. The Concept, including waiver for 2.5:1 lots, was approved at that time.

The property currently has an A-2 Agricultural Zoning Classification. A-2 Zoning in an unsewered district requires 150 feet of frontage and a 5-acre minimum lot size. The A-2 Zoning contains a 75' street yard setback along with 25' side and rear yard setbacks. These must be listed and shown graphically on the Final CSM. The Concept CSM meets and/or exceeds these requirements with the proposed 5-acre minimums and > than 200' frontage. The Village's 2035 Land Use Plan shows that the recommended use for the land as Agricultural, Rural Residential and Open Land. All Lots on the CSM will meet the Zoning and Comprehensive Land Use Plan requirements. The setbacks for the zoning shall be shown graphically and listed in writing on the CSM before recording.

This final CSM is for the creation of 2 lots on the parcel. It is proposed that lots 1 and 2 will be divided nearly equally on the parcel to create equal 9.802-acre parcels. The previous

memorandum and Concept CSM included 16 conditions for approval. Many of those conditions have been addressed including wetland delineation, Right-of-Way dedication, drainage easements, soil borings, and more.

It is recommended that the drainage easements are provided over the as-built centerline of any channels that may exist on the site. The information provided for the channel initially was represented via imagery and should be verified with a field survey as necessary. If, during the development of any dwellings it is determined that it was incorrectly located, the owners of the lots shall submit an affidavit of correction for the modification of the easement on the parcels.

Access to the site has been requested for both newly created parcels. A waiver request for multiple access points on a primary thoroughfare will be presented to the Committee of the Whole and the Village Board concurrent with the approval of the CSM. Any new access will require Village Permits for Right-of-Way access and should be located at a point that meets all site distance requirements, Village driveway and culvert requirements, and is safe for the traveling public. Should the Village Board not be in favor of a second access, a shared access agreement for both lots will be required and the CSM will need to include this information prior to recording. In both situations, the existing farm access should be removed and relocated to ultimately serve the properties within the limits of the parcels.

Staff has reviewed the Certified Survey Map and recommends approval subject to the following conditions:

- 1. The Final CSM is submitted and recorded within 1 year of approval by the Village Board.**
- 2. The Village of Caledonia zoning setbacks are shown on the CSM both graphically and listed in writing.**
- 3. The Village Board either approves individual access for each property or a shared access is provided with cross access and maintenance agreements executed and shown graphically on the CSM prior to recording.**
- 4. The drainage easements are verified as being centered on the in-situ drainage swale.**

CERTIFIED SURVEY MAP NO.

PART OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE
NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 22 EAST
OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF
CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

7 MILE ROAD

N.L. NE 1/4 OF SEC. 8-4-22

S 89°32'13" E 496.89

S 89°32'13" E 2613.19

NW CORNER NE 1/4
SECTION 8-4-22
N 309,161.54
E 2,556,866.74

S 89°32'13" E 653.30

S 80°30'13" E 430.00

S 89°32'13" E 1463.00

NE CORNER NE 1/4
SECTION 8-4-22
N 309,140.42
E 2,559,479.70

45.00 FEET HEREBY
DEDICATED TO THE PUBLIC
FOR ROADWAY PURPOSES
22,360 SQ. FT. OR 0.513 ACRES

40' STORM WATER
DRAINAGE EASEMENT
(SEE SHEET 2)

UNPLATTED LANDS

E.L. WEST 1/2 WEST 1/2 OF THE NE 1/4

W.L. EAST 1/2 WEST 1/2 OF THE NE 1/4

LOT 1

426,966 SQ. FT.
9.802 ACRES

LOT 2

426,989 SQ. FT.
9.802 ACRES

PART OF PARCEL 1
C.S.M. NO. 2167

A circular professional seal for a Wisconsin Land Surveyor. The outer ring contains the text "WISCONSIN" at the top and "LAND SURVEYOR" at the bottom, separated by two five-pointed stars. The inner circle contains the text "MARK R. MADSEN", "S-2271", and "RACINE, WI" stacked vertically. The seal is rendered in a dark red or maroon color.

Walt Macke
5-16-24

N 00°34'15" 1719.94

S 00°34'21" E 1718.78

1717.62

S 00°34'21" E 1762.63

APPROXIMATE CENTERLINE LOCATION OF
- ELECTRIC TRANSMISSION EASEMENT DOC #686462
(90' MAIN WIDTH - 125' CLEARING WIDTH)

OVERHEAD TRANSMISSION LINES

$$\text{OH}_{\text{bu}} \quad \text{OH}_{\text{bu}}$$

30' STORM WATER
DRAINAGE EASEMENT
(SEE SHEET 2)

UNPLATTED LANDS

UNPLATTED LANDS

248.38

248.53

N 89°48'17" W 496.91

* SEE SHEET 3 FOR NOTES, *
LEGEND & LOCATION MAP



Nielsen Madsen + Barber

CIVIL ENGINEERS AND LAND SURVEYORS

Horizon Blvd. Suite 200, Racine, WI.
(262)634-5588 | www.nmbssc.net

This Instrument was drafted by Mark R. Madsen May 16, 2024

200'

Q'

200^b

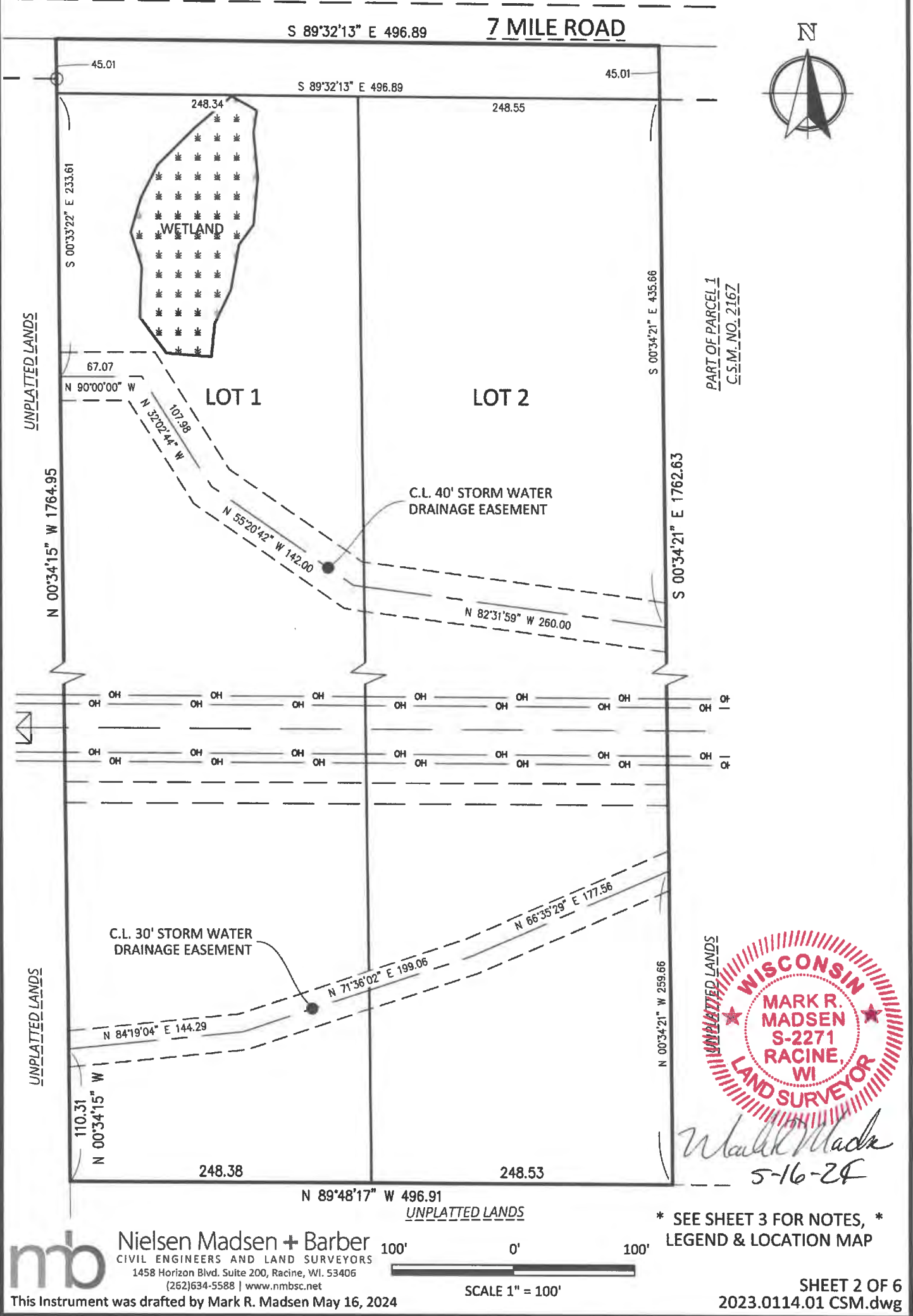
SCALE 1" = 200'

SHEET 1 OF 6

2023.0114.01 CSM.dwg

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.



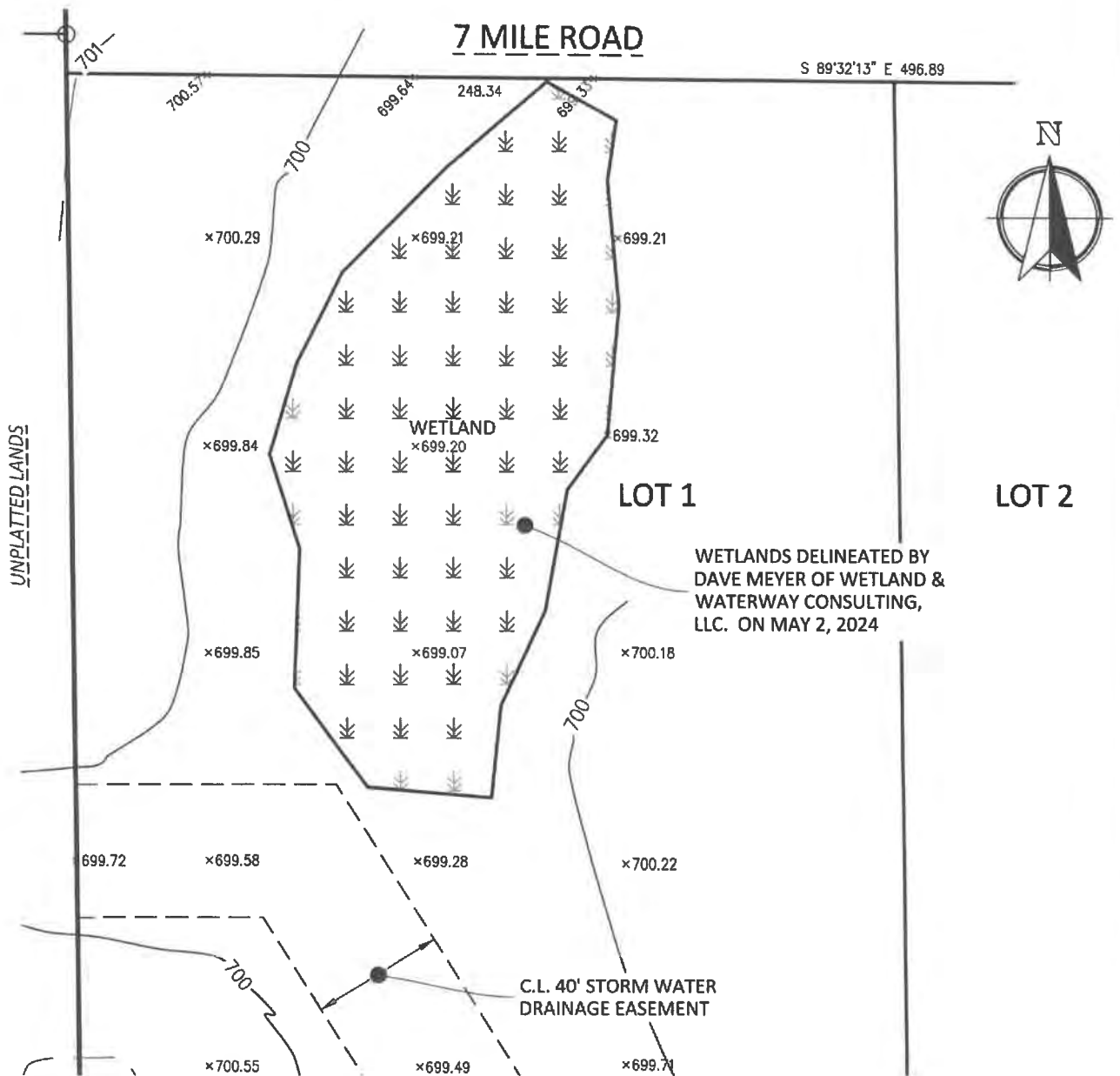
Nielsen Madsen + Barber
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1458 Horizon Blvd. Suite 200, Racine, WI. 53406
(262)634-5588 | www.nmbcsc.net

This Instrument was drafted by Mark R. Madsen May 16, 2024

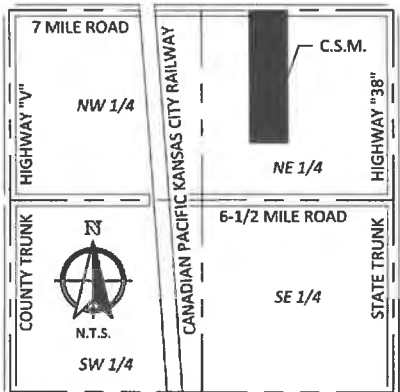
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LOCATION MAP - SECTION 8-4-22



WISCONSIN
MARK R. MADSEN
S-2271
RACINE, WI
LAND SURVEYOR

Mark R. Madsen
5-16-24

50' 0' 50'

SCALE 1" = 50'

ZONING OF PARCELS:
AG-2 AGRICULTURAL DISTRICT

OWNERS/LAND SPLITTERS:
PAUL THOMAS
17 FLORABUNDA CIR, ORANGE CITY, FL 32763
HASAN SALEM
7641 STH 38, CALEDONIA, WI 53108

BEARINGS BASE: GRID NORTH, WISCONSIN
STATE PLANE COORDINATE SYSTEM, SOUTH
ZONE NAD 1927. THE NORTH LINE OF THE
NE 1/4 OF SECTION 8-4-22 WAS ASSUMED TO
BEAR N 89°32'13" W.

ALL ELEVATIONS REFER TO NVGD 1929

MONUMENTATION LEGEND

- Ø 5/8" REBAR FOUND
- 3/4" x 24" REBAR - 1.50LBS/LIN FT. SET
- ⊕ CONCRETE MON. W/BRASS CAP FOUND
- ⊗ SOIL BORING

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Mark R. Madsen, Professional Land Surveyor, hereby certify:

THAT I have prepared this Certified Survey Map at the direction of Paul Thomas and Hasan Salem, Owners;

THAT I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and Title 14, Subdivision Regulations, of the Caledonia Municipal Code of Ordinances;

THAT such map is a true representation of all exterior boundaries of the land surveyed and the land division thereof made, described as:

Part of the Northwest 1/4 and the Southwest 1/4 of the Northeast 1/4 of Section 8, Township 4 North, Range 22 East of the fourth Principal Meridian, in the Village of Caledonia, County of Racine, State of Wisconsin, being more particularly bounded and described as follows: Commencing at the Northeast corner of the Northeast 1/4 of said Section 8, run thence North 89°32'13" West, 1463.00 feet along the North line of said Northeast 1/4 to the Northwest corner of Certified Survey Map No. 2167, a map recorded in the office of the Register of Deeds for Racine County, Wisconsin on July 28, 1999 as Document No. 1694964 and the point of beginning of this description; thence South 00°34'21" East, 1762.63 feet along the West line of Parcel 1 of said C.S.M. No. 2167, being parallel with the East line of the Northeast 1/4 of said Section 8, and its extension South to the North line of the South 40 acres of the East 120 acres of said Northeast 1/4; thence North 89°48'17" West, 496.91 feet along the North line of the South 40 acres of the East 120 acres of the Northeast 1/4 of said Section 8, being parallel with the South line of said Northeast 1/4, to the West line of the East 1/2 of the West 1/2 of said Northeast 1/4; thence North 00°34'15" West, 1764.95 feet along the West line of the East 1/2 of the West 1/2 of the Northeast 1/4 of said Section 8 to the North line of said Northeast 1/4; thence South 89°32'13" East, 496.89 feet along the North line of the Northeast 1/4 of said Section 8 to the point of beginning.

Containing 876,315 square feet or 20.117 acres (853,955 square feet or 19.604 acres when excluding lands to be dedicated to the public therefrom).

May 16, 2024


Mark R. Madsen
Nielsen Madsen & Barber, S.C.
1458 Horizon Blvd, Suite 200, Racine, WI 53406
(262) 634-5588



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd, Suite 200, Racine, WI. 53406
(262)634-5588 | www.nmbssc.net

This Instrument was drafted by Mark R. Madsen May 16, 2024

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

OWNER'S CERTIFICATE

I, Paul Thomas, Owner with 1/2 interest, do hereby certify that I have caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map. I further certify that this Certified Survey Map is required to be submitted to the following for approval: The Village Board of the Village of Caledonia.

Dated on this _____ day of _____, 2024.

Paul Thomas

STATE OF _____ }
COUNTY OF _____ } S.S.

Personally came before me this _____ day of _____, 2024, Paul Thomas, to me known to be one of the persons who executed the foregoing instrument and acknowledged the same.

Signature: _____

Notary Public, _____, Wisconsin

My Commission Expires: _____

SEAL



Mark R Madsen
5-16-24



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
(262)634-5588 | www.nmbasc.net

This Instrument was drafted by Mark R. Madsen May 16, 2024

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

OWNER'S CERTIFICATE

I, Hasan Salem, Owner with 1/2 interest, do hereby certify that I have caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map. I further certify that this Certified Survey Map is required to be submitted to the following for approval: The Village Board of the Village of Caledonia.

Dated on this _____ day of _____, 2024.

Hasan Salem

STATE OF WISCONSIN }
COUNTY OF _____ } S.S.

Personally came before me this _____ day of _____, 2024, Hasan Salem, to me known to be one of the persons who executed the foregoing instrument and acknowledged the same.

Signature: _____

Notary Public, _____, Wisconsin

My Commission Expires: _____

SEAL

VILLAGE OF CALEDONIA CERTIFICATE

Resolved that this Certified Survey Map has been submitted to and approved by the Village Board and hereby APPROVED by the Village on this _____ day of _____, 2024.

Jennifer Olsen, Village Clerk



Mark R. Madsen
5-16-24



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
(262)634-5588 | www.nmbssc.net

This Instrument was drafted by Mark R. Madsen May 16, 2024

MEMORANDUM

Date: June 18, 2024

To: Plan Commission
Village Board

From: Ryan Schmidt, P.E.
Village Engineer



Re: **Certified Survey Map – Golf Road & USH 41 E. Frontage Road – Modified Conditions of Approval**
Parcel ID's 51-104-04-22-31-023-000, 104-04-22-31-022-000, 104-04-22-31-024-000, and 104-04-22-31-008-000
Applicant - Ashley Ventures, LLC
Owner – Hintz Real Estate Development Company, LLC

Recommended Motions:

1. Move to recommend approval of the Certified Survey Map combining lots 104-04-22- 31-023-000, 104-04-22-31-022-000, 104-04-22-31-024-000, and 104-04-22-31-008-000 subject to the Conditions 1-5 listed in the Village Engineers Memo dated 4-17-2024 and amending Condition 6 to be as follows:
 - a. A 12' Slope Easement is to be provided along the 33' Right-of-Way Dedication along Golf Road. A separate exhibit with legal description shall be provided prior to the recording of the CSM.

BACKGROUND INFORMATION

Ashley Ventures LLC proposed a CSM to combine the 4 lots around and including the South Hills Golf Course as described in the Village Engineer's Memo dated 4-17-2024. This CSM was approved at both the Plan Commission meeting on April 29, 2024 and the Village Board Meeting on May 14, 2024. After additional discussions with the developer, it was determined that Condition 6 of the memo could be modified to include a 12' Slope Easement rather than additional Right-of-Way. Resolution 2024-057 and supporting documents (CSM and Village Engineer Memo) has been included as **Exhibit A**.

Staff has reviewed this request and believe this to be an acceptable modification to have an area dedicated to the Village to ensure appropriate slopes can be maintained adjacent to its ROW along Golf Road. Any future reconstruction or modification to Golf Road can then utilize the 33' of Right-of-Way and the Slope Easement as necessary. The Developer shall include a 12' slope easement on the CSM in addition to the 33' ROW dedication and provide a dedicated legal description and exhibit prior to recording the CSM.

**RESOLUTION NO. 2024-057
VILLAGE OF CALEDONIA**

**RESOLUTION OF THE VILLAGE BOARD OF THE VILLAGE OF CALEDONIA
TO APPROVE CERTIFIED SURVEY MAP # _____; – COMBINING PARCEL IDs 104-04-
22-31-023-000, 104-04-22-31-022-000, 104-04-22-31-024-000, and 104-04-22-31-008-000
LOCATED IN THE SE ¼ & SW ¼ OF SECTION 31, T4N, R22E,
VILLAGE OF CALEDONIA, RACINE COUNTY, WI
APPLICANT – ASHLEY VENTURES, LLC
OWNER – HINTZ REAL ESTATE DEVELOPMENT COMPANY, LLC**

The Village Board for the Village of Caledonia, Racine County, WI do resolve as follows:

WHEREAS, the applicant has submitted a Certified Survey Map (CSM) to the Village for consideration included hereto as **Exhibit A**. The proposed CSM would combine the 4 parcels into one (1) lot; and

WHEREAS, the Village Engineer's Memo dated April 17, 2024, attached hereto as **Exhibit B**, recommended conditional approval subject to 6 conditions; and

WHEREAS, on April 29, 2024, the Village Plan Commission recommended conditional approval of the CSM in accordance with the Village Engineer's memo (**Exhibit B**) subject to the 6 conditions outlined therein; and

NOW, THEREFORE, BE IT RESOLVED, by the Village Board of the Village of Caledonia that the Certified Survey Map as set forth above, is hereby approved for the reasons and requirements set forth in **Exhibit B**, subject to the same conditions imposed by the Village Plan Commission, as described in **Exhibit B**, and in compliance with all applicable Village ordinances.

Adopted by the Village Board of the Village of Caledonia, Racine County, Wisconsin, this 19 day of May, 2024.

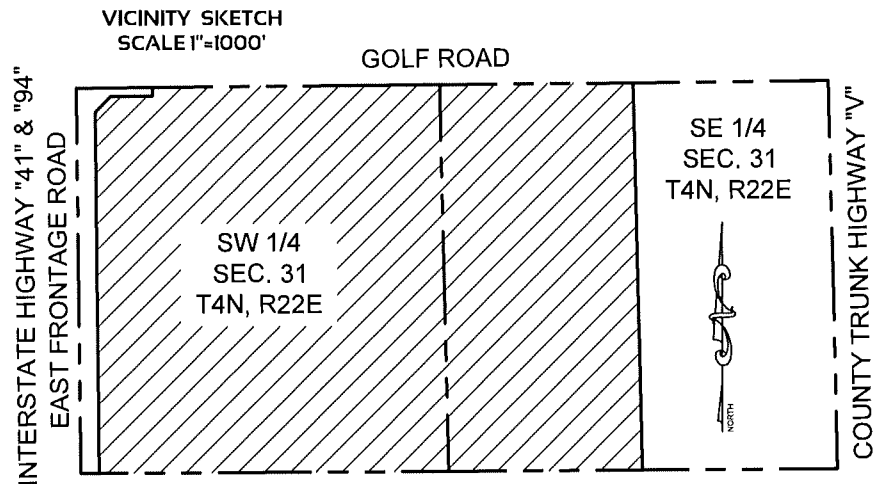
VILLAGE OF CALEDONIA

By: Thomas Weatherston
Thomas Weatherston
Village President

Attest: Jennifer Olsen
Jennifer Olsen
Village Clerk

CERTIFIED SURVEY MAP NO. _____

Being a part of the Northwest 1/4 and Southwest 1/4 of the
Southeast 1/4 and a part of the Northeast 1/4, Southeast 1/4,
Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 all in
Section 31, Township 4 North, Range 22 East,
Village of Caledonia, Racine County, Wisconsin.



Subject Property
Zoning: P-2, M-3 & A-2
Tax Key Numbers:
51-104-04-22-31-008-000
51-104-04-22-31-022-000
51-104-04-22-31-023-000
51-104-04-22-31-024-000

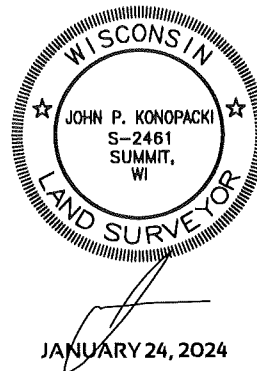
NOTES:

- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- Coordinates referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1983/2011). Bearings referenced to the west line of the Southwest 1/4 of Section 31, Township 4 North, Range 21 East which has a bearing of S00°36'00"E.
- Flood Zone Classification: The property lies with in Zone "X" of the Flood Insurance Rate Map Community Panel No. 5510IC0089D with an effective date of MAY 2, 2012. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.
- Right of Way widths and locations are based on surveys on record and Transportation Project Plat No. 1030-11-21-4.05 recorded as Document No. 2281353.
- There are a total of four (4) access points allowed to East Frontage Road per Documents 2303811, 2303812 & 2281353.

Prepared for:
HINTZ REAL ESTATE
DEVELOPMENT COMPANY
7108 5TH 38
Caledonia, WI 53108

Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461



DRAFTED BY: ST
PEGJOB#2554.00
SHEET 1 OF 6

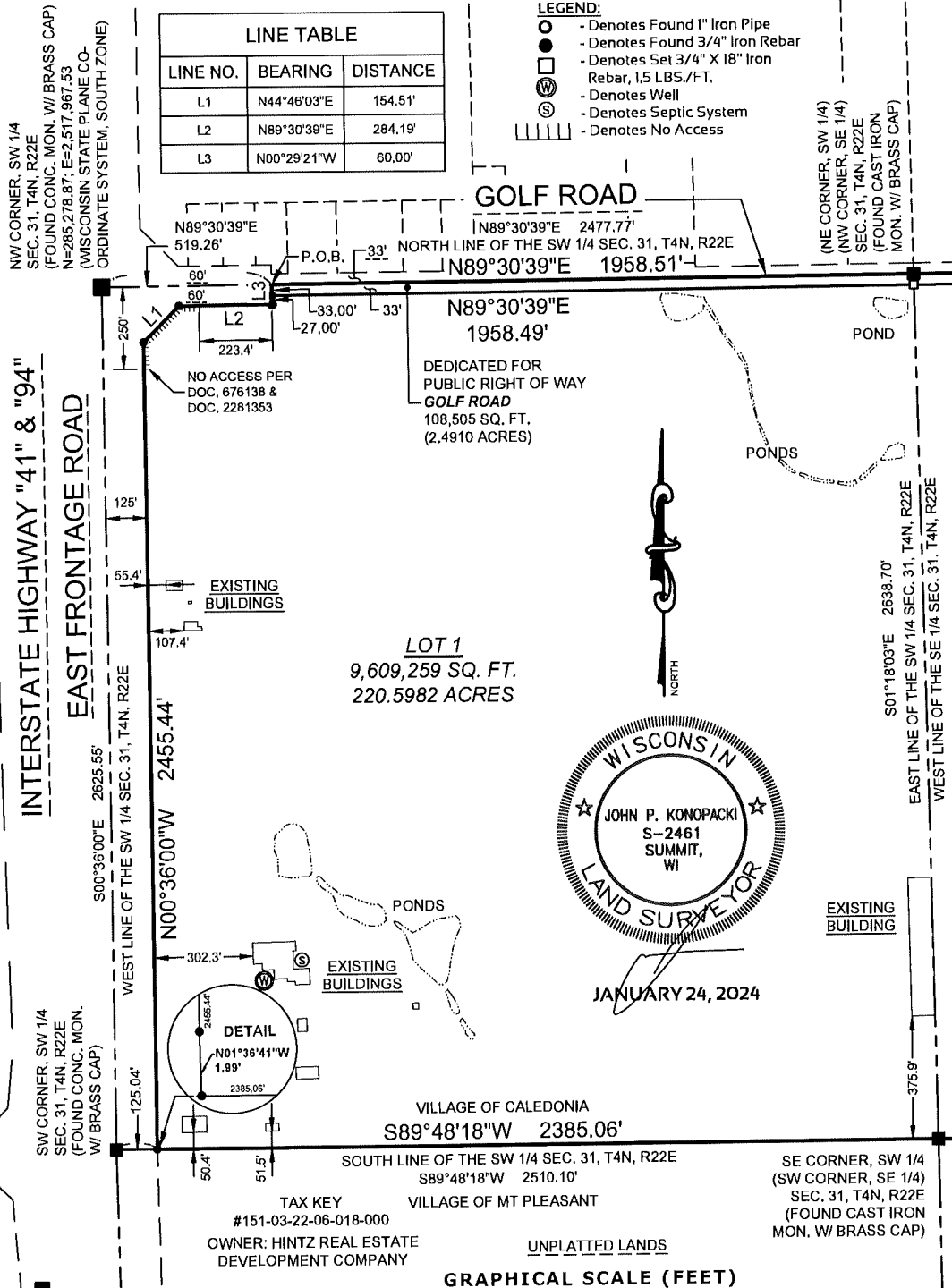
CERTIFIED SURVEY MAP NO. _____

Being a part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 and a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 all in Section 31, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	N44°46'03"E	154.51'
L2	N89°30'39"E	284.19'
L3	N00°29'21"W	60.00'

LEGEND:

- - Denotes Found 1" Iron Pipe
- - Denotes Found 3/4" Iron Rebar
- - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
- ⊙ - Denotes Well
- ⊙ - Denotes Septic System
- ||||| - Denotes No Access



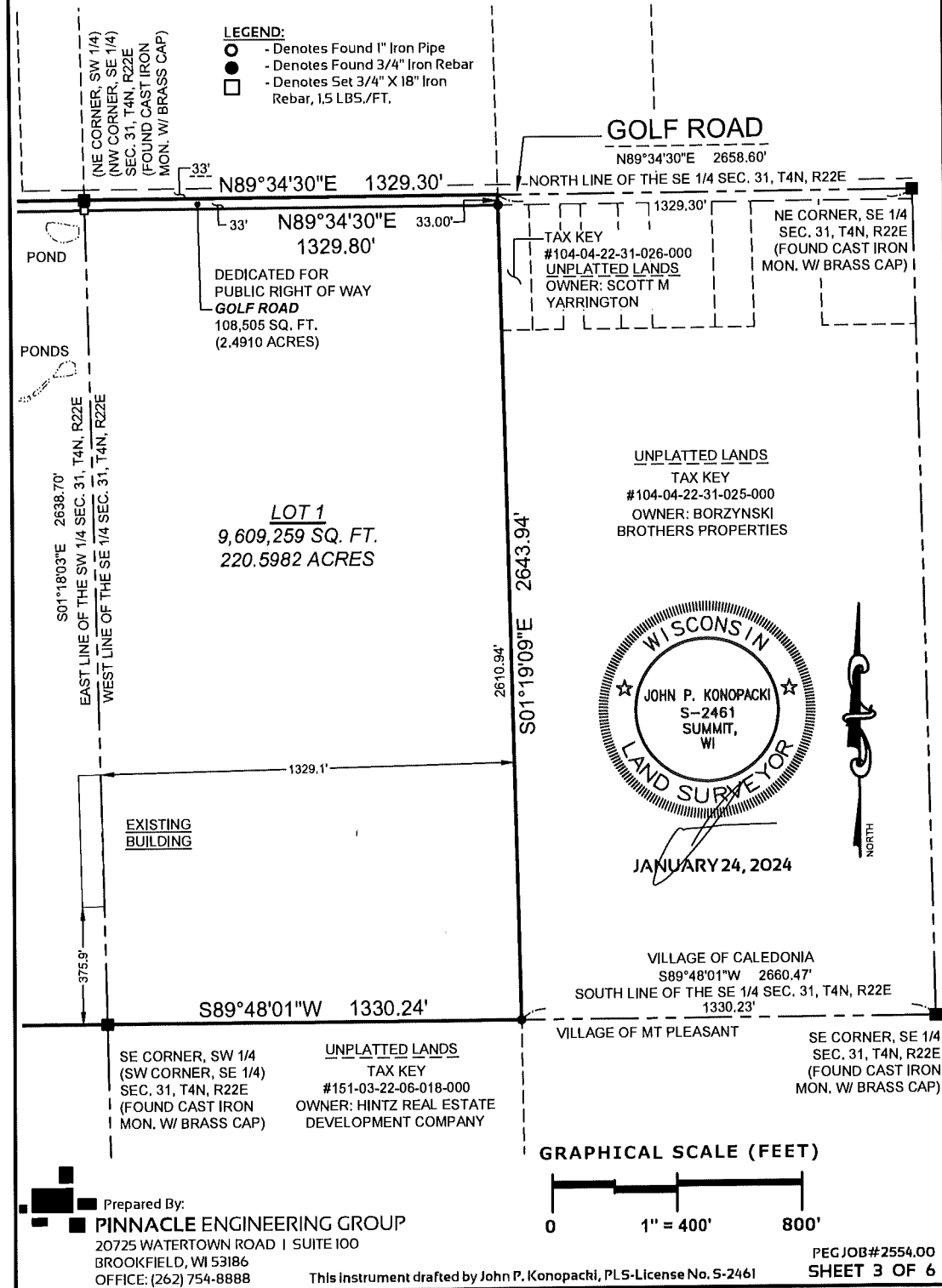
Prepared By:
PINNACLE ENGINEERING GROUP
 20725 WATERTOWN ROAD | SUITE 100
 BROOKFIELD, WI 53186
 OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-L license No. S-2461

PEG JOB #2554.00
SHEET 2 OF 6

CERTIFIED SURVEY MAP NO. _____

Being a part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 and a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 all in Section 31, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.



CERTIFIED SURVEY MAP NO. _____

Being a part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 and a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 all in Section 31, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and divided that part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 and a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 all in Section 31, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

Commencing at the northwest corner of the Southwest 1/4 of said Section 31; thence North 89°30'39" East along the north line of said Southwest 1/4, 519.26 feet to the Point of Beginning;

Thence continuing North 89°30'39" East along said north line, 1958.51 feet to the northwest corner of the Southeast 1/4 of said Section 31;
Thence North 89°34'30" East along the north line of said Southeast 1/4, 1329.30 feet;
Thence South 01°19'09" East, 2643.94 feet to the south line of said Southeast 1/4;
Thence South 89°48'01" West along said south line, 1330.24 feet to the southeast corner of the Southwest 1/4 of said Section 31;
Thence South 89°48'18" West along the south line of said Southwest 1/4, 2385.06 feet to the east right of way line of the East Frontage Road of Interstate Highway "41" / "94";
Thence North 01°36'41" West along said east right of way line, 1.99 feet;
Thence North 00°36'00" West along said east right of way line, 2455.44 feet;
Thence North 44°46'03" East along said east right of way line, 154.51 feet;
Thence North 89°30'39" East along the south right of way line of Golf Road, 284.19 feet;
Thence North 00°29'21" West, 60.00 feet to the Point of Beginning.

Dedicating the Northerly portion of subject property as graphically shown for public right of way purposes.

Containing 9,717,764 square feet (223.0892 acres) of land Gross and 9,609,259 square feet (220.5982 acres) of land Net more or less.

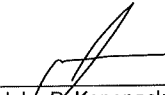
That I have made such survey, land division and map by the direction of HINTZ REAL ESTATE DEVELOPMENT COMPANY, LLC, owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the Village of Caledonia Land Division in surveying, mapping and dividing the land within the certified survey map.

Date: JANUARY 24, 2024




John P. Konopacki
Professional Land Surveyor S-2461



Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2554.00
SHEET 4 OF 6

CERTIFIED SURVEY MAP NO. _____

Being a part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 and a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 all in Section 31, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.

OWNER'S CERTIFICATE OF DEDICATION

HINTZ REAL ESTATE DEVELOPMENT COMPANY, LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this certified survey map to be surveyed, divided, mapped and dedicated as represented on this certified survey map.

HINTZ REAL ESTATE DEVELOPMENT COMPANY, LLC, as owner, does further certify that this certified survey map is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval:

1. Village of Caledonia

IN WITNESS WHEREOF, the said HINTZ REAL ESTATE DEVELOPMENT COMPANY, LLC has caused these presents to be signed by (name - print) _____, (title) _____, at (city) _____ County, Wisconsin, on this _____ day of _____, 2024.

In the presence of: HINTZ REAL ESTATE DEVELOPMENT COMPANY, LLC

Name (signature) - Title

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 2024, (name) _____, (title) _____, of the above named limited liability company, to me known to be the persons who executed the foregoing instrument, and to me known to be such _____ (title) of said limited liability company, and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited liability, by its authority.

CONSENT OF CORPORATE MORTGAGEE

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described in the foregoing affidavit of John P. Konopacki, surveyor, and does hereby consent to the above certification of owners.

IN WITNESS WHEREOF, the said _____, has caused these presents to be signed by _____, its _____, and its corporate seal to be hereunto affixed this _____ day of _____, 2024.

Date

Name - Title

STATE OF WISCONSIN)
_____ COUNTY) SS

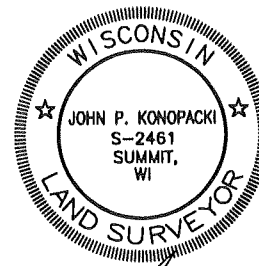
Personally came before me this _____ day of _____, 2024, _____, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

Notary Public

Name: _____

State of Wisconsin

My Commission Expires: _____



JANUARY 24, 2024



Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2554.00
SHEET 5 OF 6

CERTIFIED SURVEY MAP NO. _____

Being a part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 and a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 all in Section 31, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.

VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Caledonia on this _____ day of _____, 2024.

Date

Jennifer Olsen, Village Clerk




JANUARY 24, 2024



Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2554.00
SHEET 6 OF 6

MEMORANDUM



Date: April 17, 2024

To: Plan Commission
Village Board

From: Ryan Schmidt, P.E.
Village Engineer

Re: **Certified Survey Map – Golf Road & USH 41 E. Frontage Road**
Parcel ID's 51-104-04-22-31-023-000, 104-04-22-31-022-000, 104-04-22-31-024-000, and 104-04-22-31-008-000
Applicant - Ashley Ventures, LLC
Owner – Hintz Real Estate Development Company, LLC

Recommended Motion:

Move to recommend approval of the Certified Survey Map combining lots 104-04-22-31-023-000, 104-04-22-31-022-000, 104-04-22-31-024-000, and 104-04-22-31-008-000 subject to the 6 Conditions listed in the Village Engineers Memo dated 4-17-2024.

Background

The Zoning and Engineering Department have received a Certified Survey Map (CSM) for the combination of 4 parcels listed above in the subject of this memo. Generally, the CSM is for the South Hills Golf Course to be combined into one lot with the adjacent farmland owned by Hintz Real Estate Development Company, LLC. The CSM was submitted by Ashley Ventures, LLC. The CSM as submitted proposes to take the 4 parcels and create one Lot sized 220.5982 acres.

The property is located at the southeast corner of Golf Road and the East Frontage Road of USH 41. This property is formerly known as the South Hills Golf Course and hosts a bio-solids storage building on site. The properties are zoned M-3 Heavy Manufacturing, P-2 Park, and A-2 Agricultural. A proposed re-zone and PUD submission is being requested in conjunction with this CSM to M-3 Manufacturing w/ PUD overlay Heavy Manufacturing. The property is also located within TIF District #4. The 2035 Land Use Plan shows that the property is recommended for industrial/business park with a commercial/residential mixed use opportunity. The CSM is consistent with the proposed use.

The property is part of the Sewer and Water Service. A Utility District project will extend sewer and water mains to service to the property in late 2024 or early 2025. Any future development project on the property will be required to provide Water and Sewer Plans to Village Staff for review and approval by the Utility District and Village Board.

The combination of the parcel and any future development will also require regional storm water management facilities, a SWMP, and a set of Civil/Site plans to be approved by Village Staff and the Village Board.

Per Documents 2303811, 230812, and 2281353, and the Highway Access Management Plan for USH 41, a total of four access points are allowed onto the East Frontage Road. All access points must be reviewed and approved by WisDOT. A Traffic Impact Analysis is required to be performed and approved by the Village and WisDOT for any development at this location. A draft has been reviewed by the Village Staff and recommendations provided to the developer.

A wetland delineation has been done but is not shown on the CSM. All wetlands will need to be shown on the Final CSM and the delineation provided to the Village. Any wetlands considered federally exempt at the time of the CSM shall be noted and documentation shall be provided to the Village.

A dedication of 33' has been shown on the Golf Road Right-of-Way. This would be typical for the Village to require a road of this classification, however, the potential development located at this property will require acceleration/deceleration lanes, by-pass lanes, and potentially more. Therefore, it is Staff's recommendation to request a 45' Road Right-of-Way along this stretch of Golf Road for flexibility in design and accommodation of utilities and geometric features that any large-scale development might bring.

If the Plan Commission **is willing** to support the CSM the following motion is recommended.

Move to recommend approval of the Certified Survey Map subject to the following:

- 1. The Owner agrees to execute any and all agreements and make the necessary deposits for the approval of the CSM.**
- 2. All Zoning and Development related permits and approvals are acquired in conjunction with the Final CSM.**
- 3. The Final CSM is submitted and recorded within 1 year of approval by the Village Board.**
- 4. Civil Engineering Plans and a SWMP are submitted, reviewed, and approved by Village Staff & the Caledonia Utility District prior to any construction occurring on site.**
- 5. The Final CSM shows the wetlands on the property and provides the Wetland Delineation Report to the Village to have on file.**
- 6. A dedication of 45' be required along Golf Road to accommodate for future development.**



Meeting Date: June 24, 2024

Item No. **6c**

PLAN COMMISSION REPORT

Proposal: Cooperative Boundary Agreement Review

Description: Review a building, site, and operation plan for the construction and utilization of a ±4,875 square-foot addition to the existing commercial building located at 3039 W. 6 ½ Mile Road in the Village of Raymond.

Applicant(s): Sukhi Singh

Address(es): 3039 W. 6 ½ Mile Road

Suggested Motion: That the Plan Commission recommends to the Village Board that the building, site, and operation plan for the construction of a ±4,875 square-foot addition located at 3039 W. 6 ½ Mile Road in the Village of Raymond be approved for the following reasons:

1. The Village of Raymond Plan Commission and Village Board granted approval of the proposed building, site, and operation plan.
2. The proposed use meets the intent of the Village of Caledonia development standards and find that the proposed use is a spectacular use for this parcel without connecting to sewer and water in accordance with the Cooperative Boundary Agreement between the Villages of Caledonia and Raymond.

Owner(s): Musafar Group LLC

Tax Key(s): 168-04-21-12-038-030

Lot Size(s): 19.14 acres

Current Zoning District(s): B-5, Highway Business District

Overlay District(s): N/A

Wetlands: ☐ Yes ☒ No Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Recreational

Background: The applicant is requesting approval of the construction and utilization of a ±4,875 square-foot addition located at 3039 W. 6 ½ Mile Road. As part of the Cooperative Boundary Agreement, the Village of Caledonia has the authority to review and approve proposed CSMs, rezones, variances, plats, land use amendments, site plans, and conditional uses.

In 2019. The Village of Caledonia approved the original building, site, and operation plan for the construction of a ±5,260 commercial building. Enclosed is the staff report evaluating the original building.

The proposed expansion has received approvals from both the Plan Commission and Village Board of Raymond in May 2024.

The proposed addition is similar in design and looks like the original building. The addition will be located on the western elevation of the existing building and extend approximately 65 feet. The primary exterior material is metal siding with accent materials such as glass and 4-inch masonry (brick) veneer along the base of the building. In 2019, metal siding was an acceptable primary exterior material. Starting in the fall of 2022, the use of metal siding or panels as a primary exterior material requires a $\frac{3}{4}$ majority approval. The Village has, in the past, approved the use of metal siding as a primary exterior material when existing buildings used the same material. To ensure the addition blends into the existing building, staff recommends approval of the use of the same materials as were used in 2019.

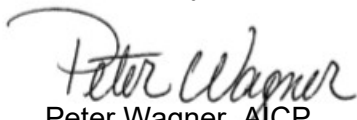
There is no proposed lighting, or additional landscaping proposed as part of this expansion as the building will be constructed on existing impervious surface and surrounding greenspace and landscaping will not be removed as part of the project.

There is one design element of the building that doesn't conform to the standard in Exhibit K. This element is the installation of four overhead doors on the west elevation with no proposed screening from the right-of-way. Because the expansion of the building is to the west, the building expansion will be very close to the access drive. This makes it difficult to screen the overhead doors from the public right-of-way and preserve the vision triangle needed to safely enter and exit the site. The design guidelines in Exhibit K state that overhead doors shall be screened or designed with a high degree of visual appeal and that the overhead doors should be screened using various screening elements that should be at least seven feet high. Vegetation exists along the north side of the site, but the addition's proximity to the access drive makes it difficult to screen from the road at the required height. Staff is not recommending additional screening along 6 $\frac{1}{2}$ Mile Road.

The main purpose of the boundary agreement is to ensure consistent design and appearance along the I-94 corridor between the two villages. In this case, the building cannot be seen from the interstate and the overhead doors on the west elevation will not be seen either. The Village of Raymond has determined that the proposed location of overhead doors on the west elevation of the building is acceptable. Staff recommends allowing the overhead doors as presented as it does not directly face the road and cannot be seen from the interstate.

If the Plan Commission is comfortable with the proposed addition, staff drafted a suggested motion to approve the building, site, and operation plan the proposed addition located at 3039 W 6 $\frac{1}{2}$ Mile Road.

Respectfully submitted:



Peter Wagner, AICP
Development Director



EXHIBIT K: DESIGN STANDARDS

The requirements of Title 16 of the Village of Caledonia Code of Ordinances shall apply, as modified by the categories below, in the Raymond Plan Area.

CATEGORY 1 - JOINT REGULATIONS WITHIN THE RAYMOND PLAN AREA

The following regulations are intended to ensure that the appearance of new commercial buildings, landscapes, and signage elements in the Raymond Plan Area match the corresponding elements in the Village of Caledonia.

Guidelines to be based on Caledonia standards

1	Loading dock and shipping/receiving area requirements/screening (16-3-2 (c) (8))	Garage doors, loading areas, service entries and areas, and mechanical equipment shall be screened or designed with a high degree of visual appeal. This treatment can minimize the negative visual impact such necessary functions have and can help enhance and define adjacent spaces. Various techniques should be used to completely screen views into these areas. Densely planted trees, shrubs, opaque fencing, and/or garden walls should be used to screen service areas, loading areas, trash receptacles and ground-floor mechanicals. These elements should be at least seven (7) feet high (plant material should be at least seven (7) feet within 2 years of planting).
2	Street edge landscaping (16-3-3 (b) (1))	Trees no more than 50' on center of the tree trunk. Trees shall be planted parallel to the right-of-way. Trees shall be canopy, deciduous trees from the Village Street Tree List. Trees bordering a parcel shall be of the same species in order to provide visual continuity along the street edge. In addition to rhythmic planting of trees, a secondary landscape layer located behind the tree line should be created using ornamental fences and continuous evergreen hedges that block views of parking areas. Unless otherwise noted these should have a minimum height of 4' above the elevation at the right-of-way. Berms should not be used as a device for visual screening unless specific approval is given by the Village Board. When berms are approved for use, they shall have a minimal slope in contrast to the surrounding landscape. When a berm is intended to screen a building from a public right-of-way, the berm must be configured so that the building is screened at all visual angles from the public right-of-way. Trees, fences, and hedges may be eliminated when there is a planned view of an open landscaped area included as part of a long-term open space management plan.
3	Encourage four-sided architecture	Four-sided architecture, which utilizes similar building materials and design for all sides of a proposed structure, is encouraged.
4	Roof style/material recommendations	Pitched roofs such as hip, gambrel, gable, etc. should be required; utilizing cedar, architectural asphalt or dimensional shingles is preferred. Metal roofs should be considered only where they complement the residential character of the proposed architecture. The use of raised steel seamed panels or other similar materials is generally discouraged and is subject to review and approval of the Plan Commission.
5	Screening rooftop mechanicals	Roof top mechanical installations should be screened so as to block the view from adjacent streets and properties. Screening should match or complement the overall theme of the building. All screening is subject to review and approval by the Plan Commission.
6	Building massing, height, and form (16-3-2 (c) (3))	Buildings shall be comprised of a visually distinct base, middle and top. Buildings shall not exceed two (2) stories except as noted in the standards for specific types of places or as may be allowed for by a conditional use or in a planned unit development. This provides a flexible method of relating the building to the pedestrian (base), to the surrounding architecture (middle), and the opportunity for unique identity where the building meets the sky (top). Expression of the elements should be handled through changes in plane and material, horizontal bands, cornices, and/or varied window openings. Large buildings should be comprised of a series of masses and forms to give the building hierarchy, scale and visual richness. Building massing and components should demonstrate consistent proportional harmonies as indicated in the guideline illustrations.
7	Signage (excluding freeway signage) (16-3-5; 16-7)	Signage shall consist of both freestanding and building signs. Freestanding signage should be of the following types: agriculture, directional, freeway, home occupation, monument, subdivision, off-premises, private property, street banner, governmental, recreational, trail, or temporary. Building signage should be of the following types: awning or canopy, projecting, wall, or window. Prohibited signs include beacons, streamers, pennants, pinwheels, and strings of lights not permanently mounted to a rigid background, and inflatable signs, tethered balloons, and signs affixed to a cart, trailer or other rolling mechanism, unless specifically permitted as a temporary sign but not to exceed 30 days of use in each calendar year. Prohibited signs also include signs that revolve, are animated, have moving parts, or are illuminated by flashing or moving lights. Billboards and pole signs where the bottom of the sign is more than 11 feet from grade, and roof signs that are separated from the rest of the roof by more than 12 inches are also prohibited.
8	Freeway Signage (16-3-5)	Freeway signage shall be defined as a freestanding sign within one-hundred fifty (150) feet of the Interstate 94 right-of-way. The road side edge of such sign should be located as close to the interstate right-of-way as feasible, but shall maintain a minimum of five (5) feet from the public right-of-way. Freeway signs shall be constructed as set forth in the accompanying Freeway Sign Diagram.
9	Appropriate building materials (16-3-2 (c) (4))	The primary facade and sides of the building visible from the public space, public parking, walkways, and rights-of-way shall be clad in finish grade materials unless otherwise allowed under a conditional use or planned unit development. Glass, brick, stone, wood, and decorative block are examples of finish grade materials that are appropriate for use on visible facades. The rear or side of the building shall use the same materials.
10	Building placement guidelines (16-3-2 (c) (2))	<i>Modified from current regulation: Building facades shall be parallel or perpendicular to the right-of-way (or parallel or perpendicular to the tangent to curve taken at the midpoint)</i>

Guidelines to be based on Raymond standards

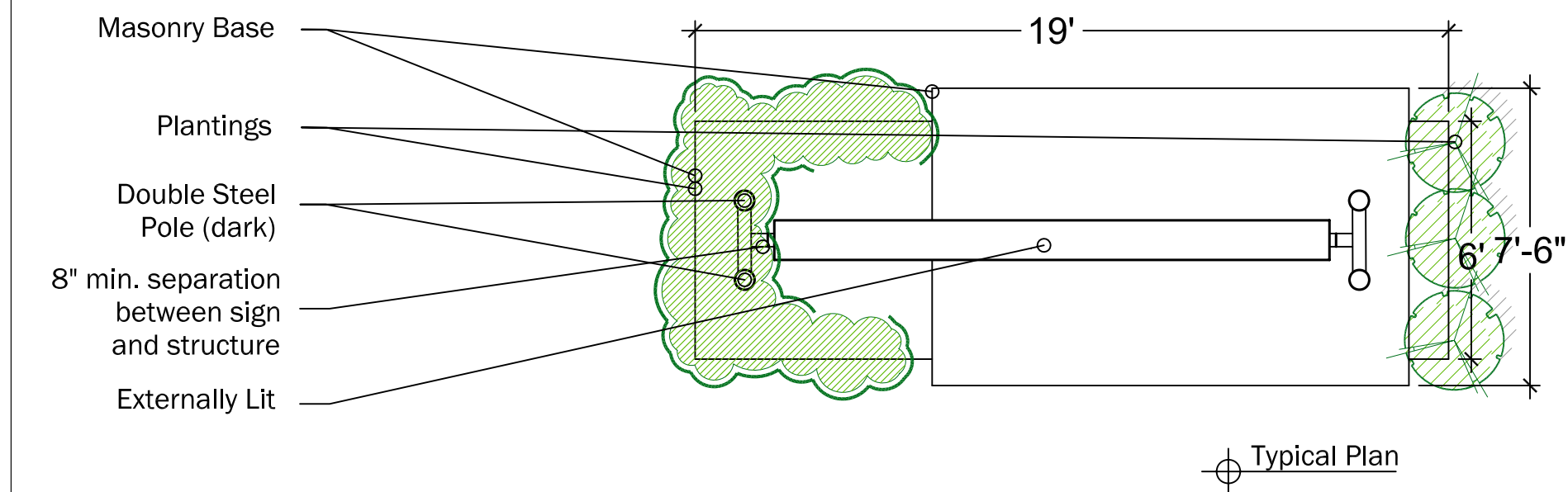
11	Preserve existing tree lines/Open space, natural resource protection	Landscaping for development sites should be designed to complement the built and natural environment of the subject project and adjacent sites. Existing tree lines should be preserved. If removal of existing tree line is required due to its undesirable nature, new plantings that result in no loss of a screening effect shall be required when adjacent to residential uses. Tree species that are native to Wisconsin and the Town of Raymond are encouraged.
12	Lighting specifications	All off-street lighting shall be down-cast, cutoff fixtures with a zero-degree tilt. The total height of fixtures, measured from grade to the highest point of the pole and/or lamp, should be no more than 15 to 20 feet. The base should be no greater than 6" above grade. Low pressure sodium bulbs are strongly discouraged.
13	Lighting position specifications	Lighting should be positioned so as not to cause glare on adjacent properties and streets. A maximum of 0.5 foot candles of light at the property line should be permitted. Require the submittal of a photometric site plan which illustrates the amount of light, measured in foot candles. No lighting should be permitted to exceed 12 foot candles. Consider exceptions to the height of lighting fixtures, provided that the total fixture height is equal or less than the height of adjacent building eaves.
14	Color guidelines	The coloring of all brick, decorative masonry, or stone shall be expressed as integral to the product and not painted on the surface of the product. Neutral colors are preferred over primary colors.

EXHIBIT K: DESIGN STANDARDS

CATEGORY 2 - REGULATIONS IN RAYMOND THAT ARE ENCOURAGED BUT NOT NEEDING SPECIFIC CORRESPONDENCE WITH CALEDONIA

The Town should develop, review, and apply these guidelines independently of Caledonia anywhere within the Raymond Plan Area.

15	Access drive locations
16	Additional façade features
17	Encourage multiple uses for outdoor areas
18	Entrance features
19	Foundation plantings for primary structures
20	Glazing
21	Impermeable surface ratios
22	Non-motorized access/trails/connections to adjacent development
23	Outbuilding location specifications
24	Outbuilding style / material specifications
25	Outdoor events / displays / art
26	Pedestrian access to parking lots
27	Screening adjacent residential neighborhoods
28	Sign landscaping specifications
29	Site planning for future use / redevelopment
30	Size specifications for landscaping
31	Sod installation for yards on public rights-of-way
32	Traffic calming
33	Vehicular cross access between non-residential sites
34	Vehicle entry specifications





TO: Village of Caledonia Planning Commission
CC: Peter Wagner, Elaine Ekes, Jarmen Czuta, Tim Barbeau
FROM: Orrin Sumwalt, AICP
RPT DATE: September 24, 2019
MTG DATE: September 30, 2019
RE: Akal Trucking – Town of Raymond Coop Boundary Request

BACKGROUND:

1. Petitioner: Sukhjinder Singh, Musafar Group, LLC
2. Agent: Scott Maier, Ayres Associates
3. Property Owner: Musafar Group, LLC
4. Parcel ID Number: 012-04-21-12-038-030
5. Address of Petitioned Parcel: ~ 3015 W. 6 ½ Mile Road
6. Area: 19.14 acres
7. Existing Zoning: B-5 Highway Business District
8. Existing Land Use: Recreational

BACKGROUND:

The subject property is located at approximately 3015 W. 6 ½ Mile Road (west of the Hitters Baseball facility) and is currently vacant. The proposal is to construct a ± 5,260 square-foot commercial building for the servicing of semi-tractors and trailers for a trucking company business use and associated semi-tractor and trailer parking. The proposed use is allowed within the underlying B-5 Highway Business District as a conditional use. The Raymond Village Board approved the proposed use at their meeting on Monday, September 24.

PLANNER COMMENTS:

A submittal is attached showing the proposed site plan, building elevations, grading plan and landscape plan. The new building is proposed to be located in the northeast portion of the site. Semi-tractors and trailers will be parked on the west side of the property on a gravel lot. The applicant is also proposing a small truck turnaround area on the south end of the project area, which could also be used for drivers to park their personal vehicles. Proposed landscaping consists of four canopy trees along the road frontage on the east side of the driveway and turf in certain areas. All of the parking areas, and the access areas on the west and south sides of the building are proposed to be gravel, except for the driveway and one accessible parking space, which would be paved with heavy duty concrete. The applicant is proposing to construct the building of prefinished steel siding with a masonry band along the base, aluminum storefront windows and a flat roof. The applicant has provided an artists' rendering depicting the proposed colors for the exterior materials. An office area is located on the east side of the structure with windows and an access door on the south elevation and a service bay is located on the west side of the building. Overhead doors are only found on the south elevation which faces away from the roadway and public view.

The proposal is in front of the Village Planning Commission and Board to determine approval and possible contingencies according to the Cooperative Boundary Agreement between the Village of Raymond and the Village of Caledonia.

The following Caledonia/Raymond design guidelines apply to the newly proposed structure:

four-feet to increase the percentage of this finish material on the building. In addition, the west elevation would benefit from the addition of windows (similar to the north elevation of the service bay), which would help break up this elevation.

8. Building Placement – Requires building facades to be parallel or perpendicular to the right-of-way.
 - a. The proposed new building is perpendicular to the 6 ½ Mile Road right-of-way.
9. Lighting Specifications – Lighting should be proposed at a maximum 0.5 foot-candles at property lines and no lights should exceed 12 foot-candles. Pole lights should be 15-20 feet maximum. All off-street lighting should be down-cast, cutoff fixtures with zero-degree tilt.
 - a. No lighting plans have been provided. The contingencies noted for lighting above will be required at time of building permit approvals.

RECOMMENDATIONS:

Overall, staff recommends approval of the new structure and site plan subject to the contingencies below along with any Plan Commission added items.

Suggested Motion:

The Plan Commission recommends the Village Board approve the conditional use, site, building, and landscape ~~plans~~ ^{approximately} 5,260 square-foot commercial building located upon property bearing Parcel ID No. 012-04-21-12-038-030 with conditions 1-7 outlined in the staff report dated September 24, 2019.

1. All rooftop mechanicals shall be screened upon construction with similar architectural materials found on the principal structure.
2. Any required ground mechanical equipment, misc. outdoor storage, or refuse containers shall be screened by landscaping or fencing.
3. The landscape plan shall be updated to include the addition of dense plantings (primarily evergreen trees) along the street frontage on the west side of the driveway to screen the semi-tractors and trailers from the view of the roadway, the addition of five (5) shrubs per 50-feet along the entire road frontage, and a three-foot wide foundation planting bed along the north elevation of the building. A revised Landscape Plan shall be submitted to the Village for review and approval by the Development Director, prior to issuance of a Building Permit.
4. The employee/patron parking lot on the west side of the proposed building and the access drive from W. 6 ½ Mile Road shall be paved (concrete or asphalt). A revised Paving Plan shall be submitted to the Village for review and approval by the Development Director, prior to issuance of a Building Permit.
5. The width of the masonry band around the base of the building shall be increased to four feet, and windows consistent with the design and spacing of the windows on the north elevation of the service bay, shall be added to the west elevation to break up the plane of this wall. Revised Architectural Elevations shall be submitted to the Village for review and approval by the Development Director, prior to issuance of a Building Permit.
6. Any outdoor lighting shall be down-cast, full cut-off fixtures. Any pole lights shall not exceed 20 feet and shall have a concrete base of no more than 6" above ground. Lights should produce no more than 0.5 foot candles at the property line with no lighting to exceed 12 foot candles. A Lighting Plan shall be submitted to the Village for review and approval by the Development Director, prior to issuance of a Building Permit.
7. The proposed use meets the intent of the Village of Caledonia development standards and we find that the proposed use is a spectacular use for this parcel to be allowed to proceed without connecting to sewer and water in accordance with the Cooperative Plan between Caledonia and Raymond.



Drainage Compliance Letter - Amendment

April 23, 2024

Village of Raymond
2255 76th St.
Franksville, WI 83126

Re: Musafar Group LLC –Drainage Compliance Letter – Building Expansion

The purpose of this letter is to demonstrate that the proposed development of the Musafar Group LLC development is in compliance with the assumptions of the originally approved master final drainage report developed for the Raymond Business Park (dated 1/22/2014 by Nielsen Madsen & Barber, S.C.)

Proposed Improvements

Musafar Group LLC is planning to expand their existing building to provide additional service bays.

History of Prior Approvals

The Musafar Group LLC development obtained prior approvals consisted of a 5,400-square foot building with gravel parking, concrete ADA parking spaces, concrete sidewalk, garage, storage shed, and landscaping. The gravel parking was converted to asphalt parking; which was contemplated in the original approval as well. This lot was initially contemplated for development as part of the overall development of the Raymond Business Park. The overall development provided detention and water quality for the overall development of the Raymond Business Park with certain assumptions for the future developments within the park. The overall development plan and stormwater design for the business park assumed Lot 6 would have an impervious area of 7.85 Acres (341,946+/- SF).

Compliance with Prior Approved Drainage Report

The proposed development is part of Lot 6 within the original Raymond Business Park drainage report. The overall development of the business park constructed a large detention facility within Lot 6 to account for stormwater quality and quantity. The original Musafar Group approval proposed approximately 5,400 SF of building area and 3,786 SF of impervious pavement/sidewalk. At a total of 9,186 SF of new impervious area, this results in utilizing 2.7% of the allowable impervious area that Lot 6 was designed for. The proposed parking and drive area was originally proposed as gravel; however, it was converted to asphalt parking resulting in a new total impervious area of approximately 107,621+/- SF which is 31% of the allowable impervious area the lot was designed for. A second amendment was approved to allow for a storage area and garage.

The garage/storage amendment added 3,052 SF of new gravel driveway at the garage and 2,098 SF of new impervious surface for the garage and storage area. Including the gravel driveway as impervious, this resulted in the total impervious area for the site at approximately 112,771+/- SF. This resulted in the site having used 33% of the allowable impervious area per the original drainage study.

This truck practice area amendment contemplates the full paving of the track (and center area of the track) as impervious area. Although the 1st phase of the practice track construction proposed only a gravel track with the center area remaining, the future phases anticipate the

track to be asphalt paved and the center area to be gravel. Since it is anticipated to be paved, the approval assumed full buildout of the track (and center area) to be impervious. This resulted in 162,000+/- SF of additional impervious area, resulting in a total property impervious area to 274,771+/- SF. This is 80% of the assumed impervious area assumed in the master drainage study for the business park.

Since this building expansion is located on an existing parking lot area that was already part of the previously approved impervious area calculations, the proposed building additional is in compliance with prior approved drainage reports and amendments. The building expansion area will follow the existing drainage patterns.

In summary, the Musafar Group LLC is in general compliance with the original development assumptions and no additional improvements to the storm sewer system is necessary. As additional development occurs on the lot, further analysis would be required to maintain compliance with the design assumptions of the overall business park drainage plan.

If you should have any questions, please feel free to contact me at 262-522-4901.

Sincerely,

A handwritten signature in dark ink, appearing to read 'S. Maier', with a stylized flourish at the end.

Scott Maier P.E.

MUSAFAR GROUP LLC - BUILDING EXPANSION

3015 WEST 6 1/2 MILE ROAD
RAYMOND, WI 53108

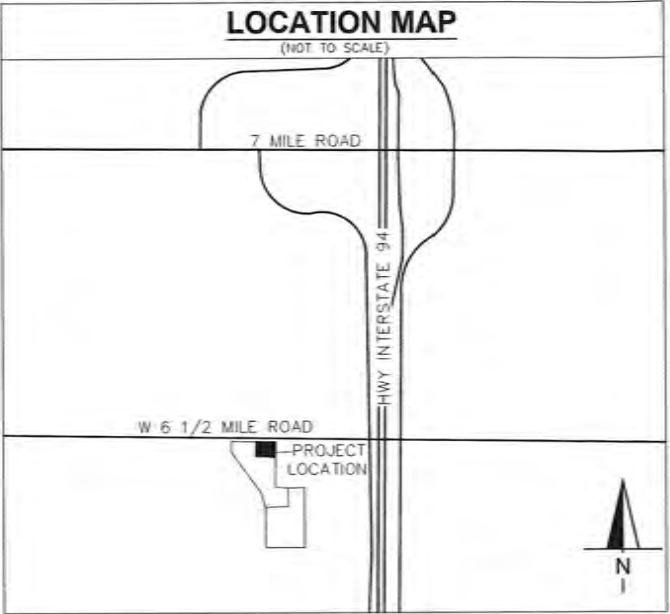
CIVIL ENGINEERING PLANS

AYRES ASSOCIATES

N17 W24222
RIVERWOOD DR.
SUITE 310
WAUKESHA, WI 53188
262.522.4901
www.AyresAssociates.com

GENERAL SITE WORK NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS BEFORE CONSTRUCTION BEGINS.
2. NO CONSTRUCTION PLANS SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION" PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE SURVEYOR'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE SURVEYOR OR ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS, AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
3. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
4. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR LENGTH SPECIFIED IN THE GENERAL CONDITIONS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB PER OSHA REGULATIONS.
6. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADE, WARNING DEVICES, AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS, LATEST EDITION, AND IN ACCORDANCE WITH LOCAL MUNICIPAL CODES. A TRAFFIC CONTROL PERMIT IS REQUIRED FOR WORK ON CITY STREETS.
7. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.
8. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN INSPECTED AND APPROVED AS REQUIRED BY THE OWNER AND ENTITY THAT HAS JURISDICTION OVER THE WORK.
9. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS A PAY ITEM IS LISTED ON THE BID LIST.
10. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
11. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE.
12. THE TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT. APPROPRIATE FACILITIES TO MAINTAIN THE DRY TRENCH SHALL BE PROVIDED BY THE CONTRACTOR, AND THE COST OF SUCH SHALL BE INCIDENTAL TO THE UNIT PRICE BID FOR THE ITEM. PLANS FOR THE SITE DEWATERING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE OWNER.
13. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH NPDES STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL AND SHALL BE MAINTAINED BY THE CONTRACTOR AND REMAIN IN PLACE UNTIL THE NOTICE OF TERMINATION HAS BEEN OBTAINED. THE CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS TO THE EROSION CONTROL TO STAY IN COMPLIANCE WITH THE NPDES PERMIT. THESE ADJUSTMENTS MAY BE MADE TO ACCOMMODATE PHASED CONSTRUCTION AND/OR SPECIFIC SITE CONDITIONS.
14. THE CONTRACTOR SHALL PREPARE RECORD DRAWINGS AND MAKE THE NECESSARY SUBMITTALS TO THE ENGINEER. SAID PLANS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDING VERIFICATION OF ALL CONCRETE PADS, INVERT, RIM, AND SPOT GRADE ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER.
15. THE CONTRACTOR SHALL VIDEOTAPE THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
16. ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW AND APPROVAL.
17. THE PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OFFSITE OF ANY EXISTING PAVING AND STRUCTURES REMOVED.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SURVEY.



HORIZONTAL DATUM

HORIZONTAL POSITIONS SHOWN ON THIS PLAN ARE BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM GRID, SOUTH ZONE (NAD-27), IN U.S. SURVEY FEET. ALL COORDINATE AND DISTANCE VALUES ARE GIVEN IN GROUND MEASUREMENTS. BEARINGS ARE REFERENCED TO THE NORTH QUARTER LINE OF THE SOUTHEAST QUARTER OF SECTION 12 T4N, R21E, WISCONSIN STATE PLANE COORDINATES 1927, SOUTH ZONE, IN GROUND DISTANCES WHICH HAS A RECORDED BEARING OF S89°27'51"E.

VERTICAL DATUM

VERTICAL DATUM IS BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929). REFERENCE BENCH MARK IS A BRASS CAP IN CONCRETE MONUMENT MARKING THE CENTER OF SECTION 12, T4N, R21E AND HAS A PUBLISHED ELEVATION OF 734.39.

LEGAL DESCRIPTION

THE NORTHWEST 1/2 AND PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 21 EAST IN THE TOWN OF RAYMOND, RACINE COUNTY, WISCONSIN.

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	GENERAL NOTES
C2.0	EXISTING CONDITIONS
C3.0	SITE PLAN
C4.0	PAVING AND HORIZONTAL CONTROL PLAN
C5.0	EROSION AND GRADING PLAN
A2.1	EXTERIOR ELEVATIONS

PROJECT TEAM

OWNER
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W229 N1870 WESTWOOD DRIVE
WAUKESHA, WI 53186
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TEL: (262)-323-6883
EMAIL: AROENSCH@DUFFEKCONSTRUCTION.COM

MUSAFAR GROUP LLC
RAYMOND, WI
COVER SHEET

Drawn By: AJ
Checked By: SEM
Date: 04/23/24
Project No. 24-0466
Sheet Number

C0.0

www.DiggersHotline.com



GENERAL SITE WORK NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS BEFORE CONSTRUCTION BEGINS.
2. NO CONSTRUCTION PLANS SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION" PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE SURVEYOR'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE SURVEYOR OR ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS, AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
3. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
4. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR LENGTH SPECIFIED IN THE GENERAL CONDITIONS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB PER OSHA REGULATIONS.
6. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADEING, WARNING DEVICES, AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS, LATEST EDITION, AND IN ACCORDANCE WITH LOCAL MUNICIPAL CODES. A TRAFFIC CONTROL PERMIT IS REQUIRED FOR WORK ON CITY STREETS.
7. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.
8. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN INSPECTED AND APPROVED AS REQUIRED BY THE OWNER AND ENTITY THAT HAS JURISDICTION OVER THE WORK.
9. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS A PAY ITEM IS LISTED ON THE BID LIST.
10. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
11. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE.
12. THE TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT. APPROPRIATE FACILITIES TO MAINTAIN THE DRY TRENCH SHALL BE PROVIDED BY THE CONTRACTOR, AND THE COST OF SUCH SHALL BE INCIDENTAL TO THE UNIT PRICE BID FOR THE ITEM. PLANS FOR THE SITE DETAIRING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DETAIRING DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE OWNER.
13. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH NPDES STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL AND SHALL BE MAINTAINED BY THE CONTRACTOR AND REMAIN IN PLACE UNTIL THE NOTICE OF TERMINATION HAS BEEN OBTAINED. THE CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS TO THE EROSION CONTROL TO STAY IN COMPLIANCE WITH THE NPDES PERMIT. THESE ADJUSTMENTS MAY BE MADE TO ACCOMMODATE PHASED CONSTRUCTION AND/OR SPECIFIC SITE CONDITIONS.
14. THE CONTRACTOR SHALL PREPARE RECORD DRAWINGS AND MAKE THE NECESSARY SUBMITTALS TO THE ENGINEER. SAID PLANS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDING VERIFICATION OF ALL CONCRETE PADS, INVERT, RM, AND SPOT GRADE ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER.
15. THE CONTRACTOR SHALL VIDEO TAPE THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
16. ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW AND APPROVAL.
17. THE PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OFFSITE OF ANY EXISTING PAVING AND STRUCTURES REMOVED.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SURVEY.

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL. TECHNICAL STANDARDS IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON THE PLAN. MODIFICATIONS TO THE SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
3. ALL EROSION CONTROL MEASURES AS INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. THE CONTRACTOR SHALL FURNISH AND INSTALL ADDITIONAL MEASURES AS REQUIRED TO COMPLETE THE WORK AND COMPLY WITH APPLICABLE PERMITS, REGULATIONS, AND PROJECT REQUIREMENTS OR AS REQUESTED BY STATE INSPECTORS, MUNICIPAL INSPECTORS, A/E, AND OTHER APPLICABLE AGENCIES. ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
4. INLET PROTECTION SHALL BE INSTALLED AT ALL INLETS WITHIN THE CONSTRUCTION SITE AS WELL AS AT ANY DOWNSLOPE INLETS THAT MAY BE AFFECTED BY CONSTRUCTION. INSTALL PRIOR TO STARTING ANY WORK ON SITE. IF NEW INLETS ARE INSTALLED FOR PROJECT, NEW INLET PROTECTION SHALL BE INSTALLED AT THOSE INLETS.
5. INLET PROTECTION SHALL BE KEPT CLEAR OF DEBRIS ON A DAILY BASIS THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT. INLET PROTECTION SHALL BE REMOVED ONCE PROJECT HAS ENDED AND SITE HAS BEEN STABILIZED BY NILES GENERAL PERMIT REQUIREMENTS.
6. PAVED SURFACES ADJACENT TO THE CONSTRUCTION SITE SHALL BE SHEDD AND/OR SCRAPED TO REMOVE SOIL, SEDIMENT, DIRT, AND/OR DUST AS NEEDED THROUGHOUT THE DAY AND AT THE END OF EVERY DAY. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT VEHICLES FROM TRACKING PROJECT MATERIALS OFF DISCARDING MUD, DIRT, DEBRIS OR CONSTRUCTION MATERIALS ONTO VILLAGES OF RAYMOND STORIES, SIDEWALKS, AND PARKWAYS. IF THIS WORK IS NOT COMPLETED WITHIN THIS TIME FRAME, VILLAGE OF RAYMOND HAS THE RIGHT TO PERFORM THIS WORK AND BILL THE CONTRACTOR.
7. CONTRACTOR SHALL INSTALL EROSION CONTROLS ON THE DOWNSLOPE SIDE OF ALL STOOPILES.
8. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DUST CONTROL ON THE PROJECT THROUGHOUT EACH DAY. ALL DAMAGE RESULTING FROM DUST SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH THE LOCAL AND STATE REGULATIONS.
9. ALL SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
10. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1, UNLESS APPROVED BY THE GEOTECHNICAL ENGINEER.
11. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN SEVEN (7) DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH.
12. THE MINIMUM SEEDING RATE FOR TEMPORARY SEEDING IN TURF AREAS IS 5 POUNDS GRASS SEED MIX PER 1000 SQUARE FEET USED AND COMBINED WITH ANNUAL RYEGRASS AT A RATE OF 15 POUNDS PER 1000 SQUARE FEET, UNLESS OTHERWISE SPECIFIED.
13. ALL DISTURBED AREAS SHALL BE SEEDDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES.
14. ALL DISTURBED AREAS TO BE SEEDDED SHALL RECEIVE A MINIMUM OF 12 INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH.
15. SILT FENCING SHALL BE INSTALLED WITHIN THE CRITICAL ROAD ZONE OR WITHIN THE DRIP LINE OF ANY TREES OR SHRUBS TO BE PROTECTED. USE SILT SOCKS WHICH DO NOT REQUIRE EXCAVATION AND GUTTING ROADS.
16. INSPECTION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK AND AFTER EACH 4" WORK RAINFALL) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
17. CONTRACTOR SHALL KEEP RECORDS ON SITE OF ALL EROSION CONTROL INSPECTIONS AND AVAILABLE FOR REVIEW BY INSPECTORS WHEN REQUESTED.
18. CONTRACTOR SHALL REMOVE SEDIMENT FROM THE STORM FACILITIES IMPACTED BY CONSTRUCTION INCLUDING STRUCTURES OUTSIDE OF THE CONSTRUCTION SITE AFTER COMPLETION OF ALL SITE CONSTRUCTION AND PRIOR TO SUBSTANTIAL COMPLETION.
19. CONTRACTOR SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION IN ACCORDANCE WITH WORK REQUIREMENTS.

EARTHWORK NOTES:

- 1. GENERAL**
- A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.
- B. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT, IF IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPROVE THEMSELF AT ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS OR EXTRA MONIES WILL BE RECOGNIZED.
- C. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC., MUST BE ACCOUNTED FOR TO DETERMINE SUBGRADE ELEVATIONS.
- D. PLANS FOR THE SITE DRAINAGE, IF EMPLOYED, SHALL BE SUBMITTED AND APPROVED PRIOR TO IMPLEMENTATION. NO ADDITIONAL CONSTRUCTION SHALL BE MADE FOR DRAINERING DURING CONSTRUCTION.
- E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REHABILITATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SEAL AND FILTER FENCING, ETC., TO PROTECT ADJACENT PROPERTY, NEIGHBORS, ETC., SHALL OCCUR BEFORE GRADING BEGINS.
- 2. TOPSOIL, EXCAVATION INCLUDES:**
- A. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THESE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STARTING TOPSOIL OR FILL AREAS.
- B. PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND OTHER AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.
- C. TOPSOIL STOCKPILED FOR REUSEP SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DEPOSED OF OFF-SITE AT CONTRACTOR'S EXPENSE.
- D. TOPSOIL REUSEP SHALL INCLUDE INJURING AND SPREADING SIX (6) INCHES OF TOPSOIL DIRECTLY OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER.
- 3. FILL/EXCAVATION INCLUDES:**
- A. EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE.
- B. PLACEMENT OF SUBGRADE MATERIALS SHALL BE WITHIN THESE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF .10 FEET. THE FILL MATERIALS SHALL BE PLACED PER THE GEOTECHNICAL RECOMMENDATIONS.
- C. COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 95% OF THE WETTED PROCTOR DRY DENSITY OR PER GEOTECHNICAL RECOMMENDATIONS (THE MORE STRINGENT SHALL APPLY).
- 4. UNDESIRABLES, THE CONTRACTOR SHALL:**
- A. SPREAD AND COMPACT UNIFORMITY TO THE DEGREE SPECIFIED BY THE GEOTECHNICAL RECOMMENDATIONS FOR ALL EXCESS TREMPOIL SURF, AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
- B. SCOOP, SIFT, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SATURABLE SUBGRADE MATERIAL IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS WASTEWATER CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS. (LANDSCAPE AREAS SHOULD BE RIPPED TO 12" BEFORE SUBGRADE FILLING IS REINSTALLED BY LANDSCAPE CONTRACTOR.)
- C. PROVIDE WATER TO ADD TO CUT AREAS IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.
- 5. TESTING AND FINAL ACCEPTANCE:**
- A. THE CONTRACTOR SHALL PROOF ROLL THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- B. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.

PAVING NOTES:

1. GENERAL
- A. FINISH WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTION; PLACEMENT OF SUBGRADE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING, AND CURING CONCRETE PAVEMENT, CURBS, AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.
- B. COMPACTION REQUIREMENTS PER GEOTECHNICAL REQUIREMENTS AND LOCAL MUNICIPALITIES HAVING JURISDICTION OVER THE WORK.
- C. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING WARNING DEVICES, AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, AND IN ACCORDANCE WITH VALUE OF RAYMOND CODE.
2. SUBGRADE PREPARATION
- A. EXISTING WORK FOR PROPOSED PAVEMENT SUBGRADE MUST BE FINISHED TO WITHIN 0.1 FOOT PLUS OR MINUS OF PLAN ELEVATION. THE CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADDED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS, UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN WRITING PRIOR TO THE GRADING FOR BASE COURSE CONSTRUCTION. IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.
- B. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF-ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOISTURE. IF UNSUITABLE SUBGRADE IS DISCOVERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING METHODS:
- 1) SCARIFY, DISC, AND AERATE.
 - 2) REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.
 - 3) REMOVE AND REPLACE WITH GRANULAR MATERIAL.
 - 4) USE OF GEOTEXTILE FABRIC.
- C. PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER.
3. CONCRETE WORK
- A. ALL EXTERIOR CONCRETE SHALL MEET LOCAL MUNICIPAL, STATE, OR OWNER REQUIREMENTS FOR THE JURISDICTION HAVING AUTHORITY OVER THE WORK. IF NO SPECIFICATIONS ARE AVAILABLE, THE STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS SHALL PREVAIL. IF REQUIREMENTS CONFLICT WITH EACH OTHER, THE AUTHORITY HAVING JURISDICTION OVER THE WORK SHALL COMPLY, OTHERWISE FOLLOW THE MORE RESTRICTIVE.
- B. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5-FOOT INTERVALS AND 1/2-INCH PRE-WOLDED FIBER EXPANSION JOINTS AT 50-FOOT INTERVALS AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, ETC.
- C. CONCRETE CURING AND PROTECTION SHALL BE PROVIDED BY THE CONTRACTOR.
- D. THE COST OF AGGREGATE BASE OR SUBGRADE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM.
4. TESTING AND FINAL ACCEPTANCE
- A. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE GEOTECHNICAL ENGINEER.
- B. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.

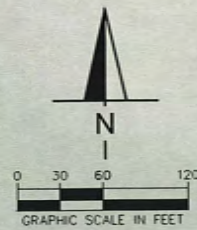
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GENERAL NOTES

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Date: 04/23/24
Project No. 24-0466
Sheet Number

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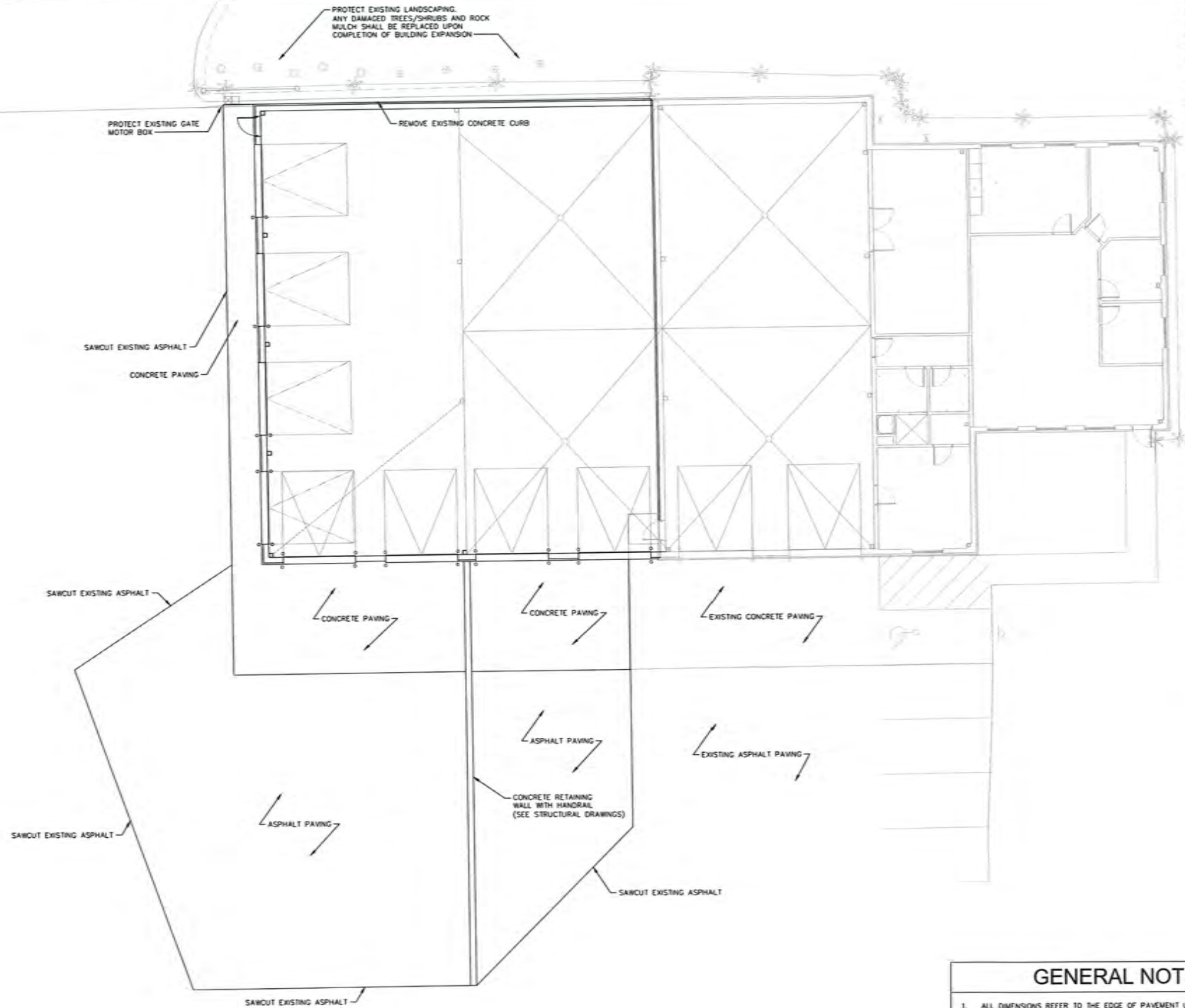
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MUSAFAR GROUP LLC
RAYMOND, WI
EXISTING CONDITIONS

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C2.0

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GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
5. ALL CONCRETE AND ASPHALT SHALL BE SAWCUT AND PROVIDE A CLEAN EDGE FOR RESTORATION PAVING. ALL CONCRETE EDGES TO EXISTING PAVING SHALL HAVE AN EXPANSION JOINT. CONTRACTOR IS RESPONSIBLE FOR ALL CONTROL AND EXPANSION JOINT PLACEMENTS.



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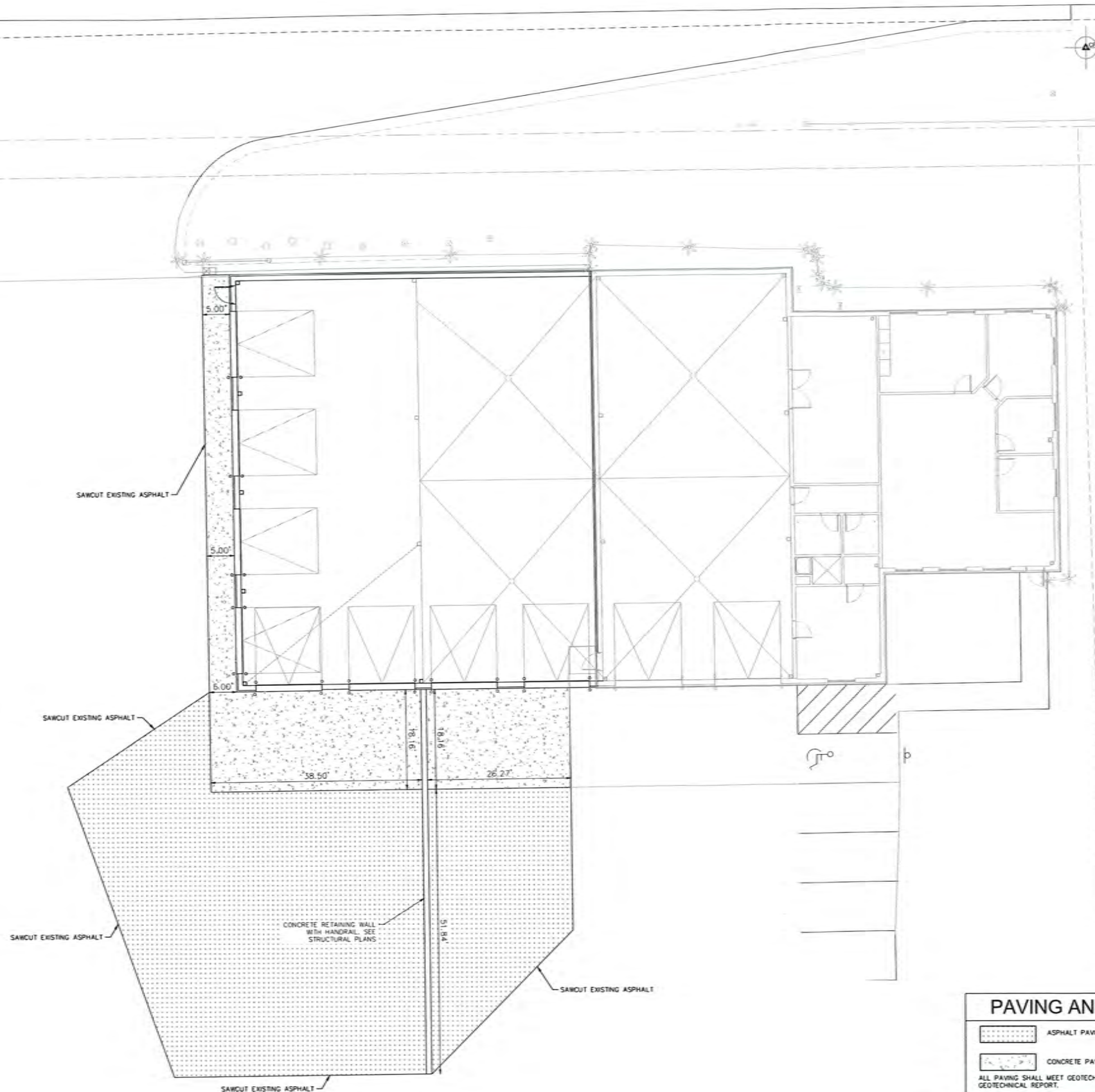
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RAYMOND, WI
SITE PLAN

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C3.0

File: I:\24-24-0446_Akoi Trucking Building Expansion\3D\Civil\3D Plan Sheets\C4.0 PAVING AND HORIZONTAL CONTROL PLAN.dwg Layout: C4.0 PAVING AND HORIZONTAL CONTROL PLAN User: MavisS Plotted: Apr 23, 2024 - 1:28pm



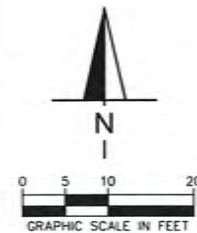
PAVING AND CURB LEGEND

	ASPHALT PAVING
	CONCRETE PAVING

ALL PAVING SHALL MEET GEOTECHNICAL RECOMMENDATIONS. SEE PHASE 1 GEOTECHNICAL REPORT.

GENERAL NOTES

- ALL DIMENSIONS REFER TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTE
- SINCE THE BUILDING EXPANSION IS CONNECTING TO THE EXISTING BUILDING STRUCTURE MINOR ADJUSTMENTS TO THESE DIMENSIONS MAY BE NEEDED TO ENSURE THE EXPANSION IS CONNECTING TO THE EXISTING BUILDING PROPERLY. ALL BUILDING DIMENSION SHALL BE PULLED FROM ARCHITECTURAL PLANS AND SITE DIMENSIONS CAN ADJUST ACCORDINGLY.



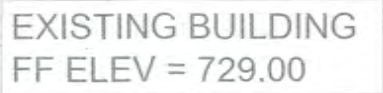
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MUSAFAR GROUP LLC
RAYMOND, WI
PAVING AND HORIZONTAL CONTROL PLAN

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C4.0



GRADING LEGEND

ME = MATCH EXISTING ELEVATION
TW = TOP OF WALL
BW = BOTTOM OF WALL
T FENCE (TO BE INSTALLED PRIOR TO CONSTRUCTION)
SLOPE AND FLOW DIRECTION
EXISTING CONTOUR
PROPOSED CONTOUR



0 5 10 20

GRAPHIC SCALE IN FEET

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MUSAFAR GROUP LLC
RAYMOND, WI
**EROSION AND
GRADING PLAN**

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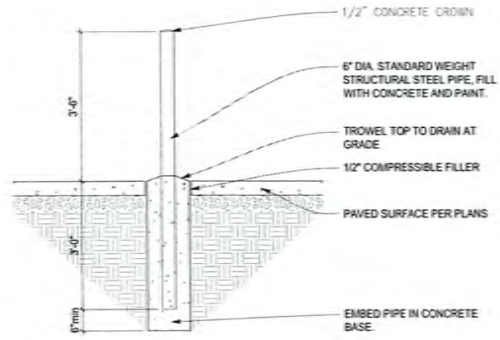
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MUSAFAR GROUP LLC
RAYMOND, WI
EXTERIOR ELEVATIONS

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Sheet Number

A2.1



4 PIPE BOLLARD
SCALE: 1/2" = 1'-0"

ELEVATION LEGEND

- VISION GLASS
- TEMPERED GLASS
- NEW METAL SIDING - EXTERIOR COLOR 1
- NEW METAL SIDING - EXTERIOR COLOR 2
- EXISTING METAL SIDING
- NEW 4" MASONRY VENEER
- EXISTING 4" MASONRY VENEER
- C.J. - CONTROL JOINT
- WINDOW TYPE. REFER TO SHEET A2.1

ELEVATION CODED NOTES:

- PRE-FINISHED GUTTER AND DOWNSPOUT - MATCH EXTERIOR COLOR 1
- PRE-FINISHED STEEL SIDING - SEE ELEVATION LEGEND FOR COLOR
- PRECAST CONCRETE SILL
- 4" DEEP SPLIT FACE MASONRY VENEER
- LIGHT FIXTURE
- RETAINING WALL
- CONCRETE FILLED BOLLARD - SEE DETAIL A2.1
- DOOR & FRAME - PAINT TO MATCH EXTERIOR COLOR 1
- TOP OF FOUNDATION WALL AT RAMP

EXTERIOR ELEVATION GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL ROUGH OPENING SIZES
- WINDOW SYSTEM TO BE EXTERIOR GLAZED
- ALL EXTERIOR MATERIALS TO BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION
- ALL MASONRY, MASONRY VENEER, EIFS, etc SHALL HAVE CONTROL JOINTS SPACED PER INSTITUTE MINIMUM STANDARDS. CONTACT ARCHITECT FOR LOCATIONS NOT INDICATED ON THE PLANS

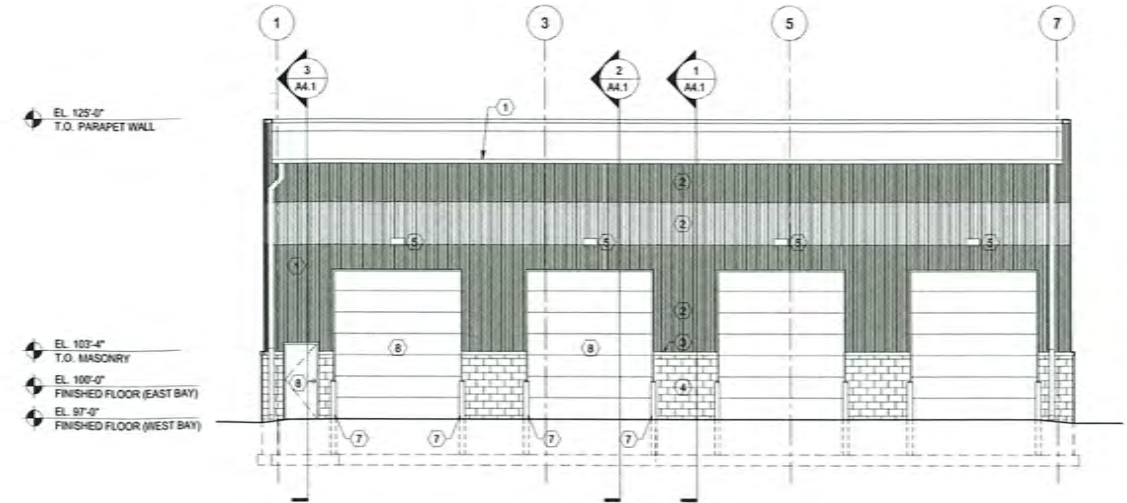


WINDOW TYPES
NOTE: MINIMUM MANUFACTURER'S R-VALUE OF R-10 REQUIRED

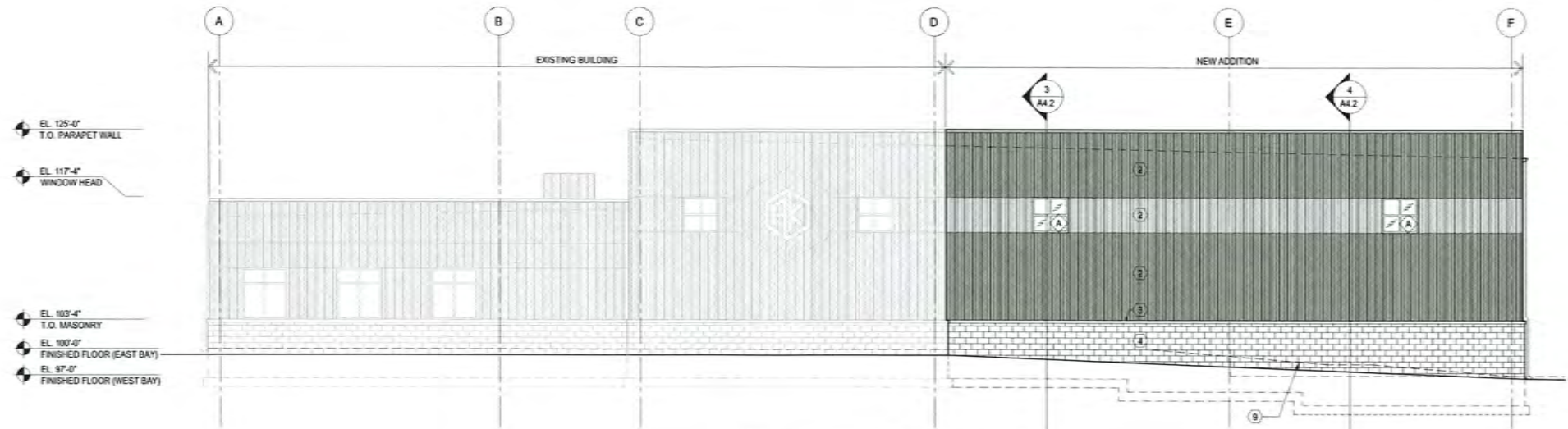
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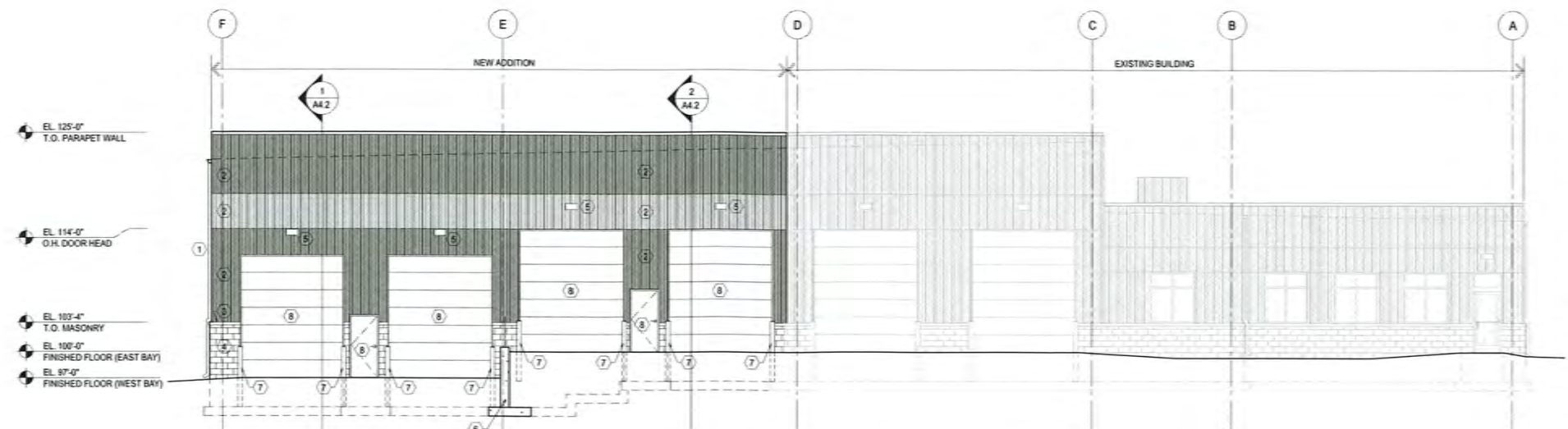
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3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



Meeting Date: June 24, 2024

Item No. **6d**

PLAN COMMISSION REPORT

Proposal: Cooperative Boundary Agreement Review

Description: Review a rezoning of a parcel from B-3, Commercial Service District and M-3, Heavy Industrial District to B-5, Highway Business District; a request for a conditional use permit allowing the operation of truck transportation businesses with outdoor parking of semi tractors with trailers; a building, site, and operation plan for the construction and utilization of two $\pm 4,920$ square-foot buildings and expanded parking located at 405 27th Street in the Village of Raymond.

Applicant(s): Predrag Maric

Address(es): 405 27th Street

Suggested Motion: That the Plan Commission recommends to the Village Board that the rezoning, conditional use, and building, site, and operation plan for the operation of a truck transportation business and the construction of two $\pm 4,920$ square-foot buildings and expanded parking lot located at 405 27th Street in the Village of Raymond be approved for the following reasons:

1. The Village of Raymond Plan Commission and Village Board granted approval of the rezoning, conditional use, and building, site, and operation plan.
2. The proposed use meets the intent of the Village of Caledonia development standards and find that the proposed use is a spectacular use for this parcel without connecting to sewer and water in accordance with the Cooperative Boundary Agreement between the Villages of Caledonia and Raymond.

Owner(s): Maric Investments LLC

Tax Key(s): 168-04-21-01-005-000

Lot Size(s): 10.25 acres

Current Zoning District(s): B-3, Commercial Service District and M-3, Heavy Industrial District

Overlay District(s): N/A

Wetlands: ☐ Yes ☒ No

Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Business Park

Background: The applicant is requesting multiple approvals regarding the expansion of business operations at 405 27th Street in the Village of Raymond. The applicant has received approvals for the rezone, conditional use, and building, site, and operation plan from the Village of Raymond.

These proposals are being reviewed by the Village of Caledonia as part of the Cooperative Boundary Agreement between the two municipalities that was adopted in 2009. Public hearings related to rezoning and conditional uses do not apply when reviewing another municipality's development project.

The intent of the Boundary Agreement is to ensure that development occurring along both sides of the Interstate has a consistent and high-quality appearance. The following is a review of three individual reviews: rezone, conditional use, and site plan. It is the Plan Commission's discretion to determine whether the proposed development meets the standards outlined in the Cooperative Boundary Agreement and whether the proposed development is to be considered a "spectacular" development. Other elements of the project are solely reviewed by the Village of Raymond and not the Village of Caledonia. Examples of a development element include a grading plan, stormwater management plan, and compliance with fire code.

REZONING

The applicant is requesting a rezoning of the property from B-3, Commercial Service District and M-3, Heavy Industrial District to the B-5, Highway Business District to accommodate for the use of the site as a truck transportation business with outdoor parking of semi-tractors with trailers which is conditional use in the B-5 District.

Parcels to the south are currently zoned B-5, and parcels to the north are zoned M-3 and B-5. The rezone request is consistent with the Raymond's Land Use Map identifying the property as future commercial use. Due to the proximity of the parcel to the Interstate, rezoning the parcel to B-5, Highway Business is appropriate and is compatible with abutting land uses. Furthermore, the rezone will make the entire parcel the same zoning classification which will provide less confusion as to what is a permitted use on the site. The rezone will also provide the basis for the requested conditional use for the operation of a truck transportation business to operate on the property.

CONDITONIAL USE

The applicant is requesting a conditional use permit to allow for the operation of a truck transportation business on the property. The FOTH report details the proposed operations and conditions of approval. Staff has reviewed the conditions of approval and have no concerns. The parking of semis will be limited to the western portion of the property and cannot be easily seen from the freeway. The addition of two commercial buildings will further screen the parking area at the rear of the property. The proposed use is compatible with the existing abutting uses and should not negatively impact neighboring properties. The proximity to the interstate provides direct access from the property to the interstate, minimizing the impact on municipal roads.

BUILDING, SITE, AND OPERATION PLAN

Site plan reviews for projects located in the Village of Raymond are not reviewed the same way as in the Village of Caledonia. Caledonia's review focuses on compliance with Caledonia Standards in Exhibit K of the Cooperative Boundary Agreement and determines if the site is "spectacular" as not to require water and sewer to proceed. As stated earlier in this report, the purpose of the review is to ensure high quality in appearance.

The site has three existing buildings and a gravel parking lot on the western portion of the property. The applicant is requesting to expand the parking lot on the west and to construct two ±4,920 square-foot commercial buildings on the south of the property.

The proposed parking lot expansion complies with setback requirements and does require interior landscape islands. The applicant will be illuminating the parking lot, however, per the agreement the Village of Raymond will determine if the design standard is met. Overall, the proposed parking lot conforms with standards outlined in Exhibit K.

Exhibit K Guidelines:

1. Loading Docks/Mechanicals/Shipping Areas Screening & Appearance – Requires overhead door/receiving areas to be screened or designed with high degree of visual appeal. Screening can be completed with fencing, topography, and/or landscaping.

- There are multiple overhead doors proposed on the north elevation of both buildings which is interior to the site. The setback of the building should mitigate the visual impact from the frontage road.

2. Street Edge Landscaping Required – Requires Street frontage landscaping with trees 50' on center minimum and/or berms for screening.

- Landscaping is proposed along the west elevation of the proposed building closest to the frontage road consisting of shrubs and three trees. In addition, the applicant will be adding shrubs and a turf area to the south of the existing commercial buildings so help soften the view heading to the parking lot to the west.

3. Four-Sided Architecture Required – Requires similar architecture and use of materials throughout all facades of a proposed structure.

- The proposed buildings will use the same exterior materials on all four sides of the building.

4. Roof Style/Materials – Requires hip, gambrel, gable roofs utilizing cedar, asphalt, or dimensional shingles unless metal roofs compliment neighborhood character of area.

- A pitched roof is being proposed for the building constructed of steel. Buildings in the surrounding area are constructed of steel.

5. Rooftop Mechanicals Screening– Requires all future rooftop mechanicals to be screened with similar architectural materials.

- No rooftop mechanicals are currently shown. If there are rooftop mechanicals, the applicant will be required to screen from the roadway.

6. Building Massing/Height/Form– Requires buildings to have distinct base, middle, top.

- The use of windows and roof pitch creates the appearance of a base, middle, and top of the building.

7. Appropriate Building Materials – Requires the primary façade be finish grade materials (glass, brick, stone, wood, or decorative block as examples).

- The proposed building exterior consists primarily of metal siding with glass window accents. These buildings are accessory building used for service and repair. The primary building has brick and glass exterior materials. The Plan Commission can consider a development proposal on a case-by-case basis and with a $\frac{3}{4}$ majority approval waive this standard.

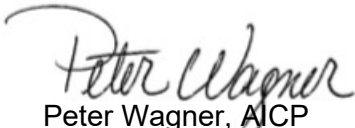
8. Building Placement Guidelines – Building facades shall be parallel or perpendicular to the right-of-way.

- The placement of the building is parallel with the road. As these are accessory buildings, they do not have a storefront design on any elevation. The use of landscaping and windows breakup the building elevation facing the roadway.

9. Signage – No signs are proposed as part of this development.

If the Plan Commission is comfortable with the proposed development project, staff drafted a suggested motion approving the rezone, conditional use, and building, site, and operation plan the operation of a truck transportation business and the construction and utilization of two commercial buildings and expanded parking lot located at 405 27th Street, Village of Raymond.

Respectfully submitted:



Peter Wagner, AICP
Development Director

EXHIBIT K: DESIGN STANDARDS

The requirements of Title 16 of the Village of Caledonia Code of Ordinances shall apply, as modified by the categories below, in the Raymond Plan Area.

CATEGORY 1 - JOINT REGULATIONS WITHIN THE RAYMOND PLAN AREA

The following regulations are intended to ensure that the appearance of new commercial buildings, landscapes, and signage elements in the Raymond Plan Area match the corresponding elements in the Village of Caledonia.

Guidelines to be based on Caledonia standards

1	Loading dock and shipping/receiving area requirements/screening (16-3-2 (c) (8))	Garage doors, loading areas, service entries and areas, and mechanical equipment shall be screened or designed with a high degree of visual appeal. This treatment can minimize the negative visual impact such necessary functions have and can help enhance and define adjacent spaces. Various techniques should be used to completely screen views into these areas. Densely planted trees, shrubs, opaque fencing, and/or garden walls should be used to screen service areas, loading areas, trash receptacles and ground-floor mechanicals. These elements should be at least seven (7) feet high (plant material should be at least seven (7) feet within 2 years of planting).
2	Street edge landscaping (16-3-3 (b) (1))	Trees no more than 50' on center of the tree trunk. Trees shall be planted parallel to the right-of-way. Trees shall be canopy, deciduous trees from the Village Street Tree List. Trees bordering a parcel shall be of the same species in order to provide visual continuity along the street edge. In addition to rhythmic planting of trees, a secondary landscape layer located behind the tree line should be created using ornamental fences and continuous evergreen hedges that block views of parking areas. Unless otherwise noted these should have a minimum height of 4' above the elevation at the right-of-way. Berms should not be used as a device for visual screening unless specific approval is given by the Village Board. When berms are approved for use, they shall have a minimal slope in contrast to the surrounding landscape. When a berm is intended to screen a building from a public right-of-way, the berm must be configured so that the building is screened at all visual angles from the public right-of-way. Trees, fences, and hedges may be eliminated when there is a planned view of an open landscaped area included as part of a long-term open space management plan.
3	Encourage four-sided architecture	Four-sided architecture, which utilizes similar building materials and design for all sides of a proposed structure, is encouraged.
4	Roof style/material recommendations	Pitched roofs such as hip, gambrel, gable, etc. should be required; utilizing cedar, architectural asphalt or dimensional shingles is preferred. Metal roofs should be considered only where they complement the residential character of the proposed architecture. The use of raised steel seamed panels or other similar materials is generally discouraged and is subject to review and approval of the Plan Commission.
5	Screening rooftop mechanicals	Roof top mechanical installations should be screened so as to block the view from adjacent streets and properties. Screening should match or complement the overall theme of the building. All screening is subject to review and approval by the Plan Commission.
6	Building massing, height, and form (16-3-2 (c) (3))	Buildings shall be comprised of a visually distinct base, middle and top. Buildings shall not exceed two (2) stories except as noted in the standards for specific types of places or as may be allowed for by a conditional use or in a planned unit development. This provides a flexible method of relating the building to the pedestrian (base), to the surrounding architecture (middle), and the opportunity for unique identity where the building meets the sky (top). Expression of the elements should be handled through changes in plane and material, horizontal bands, cornices, and/or varied window openings. Large buildings should be comprised of a series of masses and forms to give the building hierarchy, scale and visual richness. Building massing and components should demonstrate consistent proportional harmonies as indicated in the guideline illustrations.
7	Signage (excluding freeway signage) (16-3-5; 16-7)	Signage shall consist of both freestanding and building signs. Freestanding signage should be of the following types: agriculture, directional, freeway, home occupation, monument, subdivision, off-premises, private property, street banner, governmental, recreational, trail, or temporary. Building signage should be of the following types: awning or canopy, projecting, wall, or window. Prohibited signs include beacons, streamers, pennants, pinwheels, and strings of lights not permanently mounted to a rigid background, and inflatable signs, tethered balloons, and signs affixed to a cart, trailer or other rolling mechanism, unless specifically permitted as a temporary sign but not to exceed 30 days of use in each calendar year. Prohibited signs also include signs that revolve, are animated, have moving parts, or are illuminated by flashing or moving lights. Billboards and pole signs where the bottom of the sign is more than 11 feet from grade, and roof signs that are separated from the rest of the roof by more than 12 inches are also prohibited.
8	Freeway Signage (16-3-5)	Freeway signage shall be defined as a freestanding sign within one-hundred fifty (150) feet of the Interstate 94 right-of-way. The road side edge of such sign should be located as close to the interstate right-of-way as feasible, but shall maintain a minimum of five (5) feet from the public right-of-way. Freeway signs shall be constructed as set forth in the accompanying Freeway Sign Diagram.
9	Appropriate building materials (16-3-2 (c) (4))	The primary facade and sides of the building visible from the public space, public parking, walkways, and rights-of-way shall be clad in finish grade materials unless otherwise allowed under a conditional use or planned unit development. Glass, brick, stone, wood, and decorative block are examples of finish grade materials that are appropriate for use on visible facades. The rear or side of the building shall use the same materials.
10	Building placement guidelines (16-3-2 (c) (2))	<i>Modified from current regulation: Building facades shall be parallel or perpendicular to the right-of-way (or parallel or perpendicular to the tangent to curve taken at the midpoint)</i>

Guidelines to be based on Raymond standards

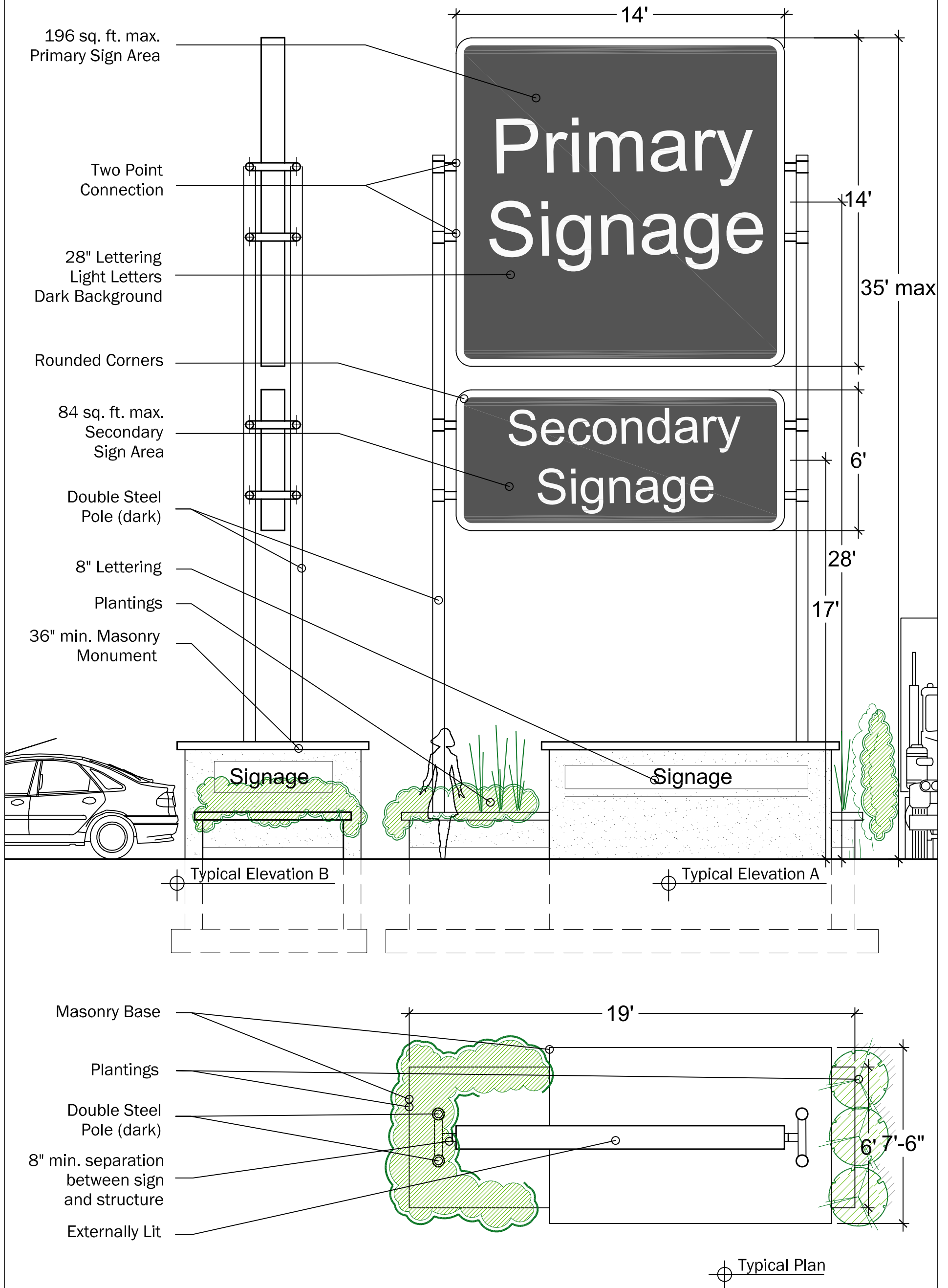
11	Preserve existing tree lines/Open space, natural resource protection	Landscaping for development sites should be designed to complement the built and natural environment of the subject project and adjacent sites. Existing tree lines should be preserved. If removal of existing tree line is required due to its undesirable nature, new plantings that result in no loss of a screening effect shall be required when adjacent to residential uses. Tree species that are native to Wisconsin and the Town of Raymond are encouraged.
12	Lighting specifications	All off-street lighting shall be down-cast, cutoff fixtures with a zero-degree tilt. The total height of fixtures, measured from grade to the highest point of the pole and/or lamp, should be no more than 15 to 20 feet. The base should be no greater than 6" above grade. Low pressure sodium bulbs are strongly discouraged.
13	Lighting position specifications	Lighting should be positioned so as not to cause glare on adjacent properties and streets. A maximum of 0.5 foot candles of light at the property line should be permitted. Require the submittal of a photometric site plan which illustrates the amount of light, measured in foot candles. No lighting should be permitted to exceed 12 foot candles. Consider exceptions to the height of lighting fixtures, provided that the total fixture height is equal or less than the height of adjacent building eaves.
14	Color guidelines	The coloring of all brick, decorative masonry, or stone shall be expressed as integral to the product and not painted on the surface of the product. Neutral colors are preferred over primary colors.

EXHIBIT K: DESIGN STANDARDS

CATEGORY 2 - REGULATIONS IN RAYMOND THAT ARE ENCOURAGED BUT NOT NEEDING SPECIFIC CORRESPONDENCE WITH CALEDONIA

The Town should develop, review, and apply these guidelines independently of Caledonia anywhere within the Raymond Plan Area.

15	Access drive locations
16	Additional façade features
17	Encourage multiple uses for outdoor areas
18	Entrance features
19	Foundation plantings for primary structures
20	Glazing
21	Impermeable surface ratios
22	Non-motorized access/trails/connections to adjacent development
23	Outbuilding location specifications
24	Outbuilding style / material specifications
25	Outdoor events / displays / art
26	Pedestrian access to parking lots
27	Screening adjacent residential neighborhoods
28	Sign landscaping specifications
29	Site planning for future use / redevelopment
30	Size specifications for landscaping
31	Sod installation for yards on public rights-of-way
32	Traffic calming
33	Vehicular cross access between non-residential sites
34	Vehicle entry specifications





TO: Village of Raymond Plan Commission
FROM: Ben Kohout, AICP – Foth
RPT DATE: May 14, 2024
MTG DATE: May 22, 2024
RE: Maric Investments, LLC –
Rezoning
Conditional Use Permit (CUP) Request
Site Plan/Plan of Operation

BACKGROUND:

1. Petitioner: Predrag Maric (Maric Investments, LLC)
2. Property Owner: Maric Investments, LLC
3. Property Address: 405 27th Street
4. Tax Parcel Number: 168-04-21-01-005-000
5. Area: 10.25 Ac
6. Existing Zoning: B-3 Commercial Service District and M-3 Heavy Industrial District
7. Proposed Zoning: B-5 Highway Business District
8. Existing Land Use: Business Park
9. Proposed Land Use: NA

BACKGROUND:

On March 25, 2019, the Town Board approved a conditional use permit for Rick Zarate for car dealership sales and service, which included a gravel parking lot for approximately 300 vehicles to serve as overflow parking/storage for the Manheim Milwaukee auto auction in the rear (M-3) portion of the property. According to the property owner, sometime in 2022 Manheim moved out and Mr. Maric started parking his semi-trucks there. Mr. Maric had been parking his semi-trucks in the existing gravel lot in the rear (M-3) portion of the property without any approval from the Village.

On December 19th, 2023, the Plan Commission directed the property owner to clean up the site (all semi-tractors and semi-trailers removed) and reapply for a Concept Plan once the violation has been remedied.

On December 27, 2023, the Zoning Administrator mailed a Zoning Violation letter for failure to obtain or comply with a conditional use permit to Predrag Maric (Maric Investments, LLC) ordering the semi-tractors, semi-trailers and/or any other commercial equipment associated with the illegal business operations from the property at 405 27th Street within 30-days.

On January 16, 2024, the Zoning Administrator conducted a site visit and found that all the semi-tractors and semi-trailers were not removed from the gravel parking lot in the rear of the property. There were still six (6) parking spaces with vehicles parked in them on the property. Specifically,

vehicles were parked in stalls 27 (box truck), 43 (van and utility trailer), 44 (semi-tractor and trailer), 45 (semi-trailer), 47 (SUV, semi-tractor and trailer), and 64 (semi-tractor).

On January 25, 2024, Mr. Maric confirmed all the vehicles had been removed from the property.

On January 26, 2024, the petitioner submitted a new Plan Commission Review Application for a Concept Plan, the application fee, and fourteen copies of their submittal materials.

On February 26, 2024, during their review of Mr. Maric's Concept Plan Application the Village Board agreed 50 trucks could be moved back to the property but that if nothing else was done within ninety (90) days the trucks would need to be removed again. Ninety (90) days from February 26, 2024, is May 26, 2024.

OVERVIEW:

The petitioner is requesting approval of a rezoning, conditional use permit and approval of the associated site plan and plan of operation, grading plan and soil disturbance permit for two (2) approximately 4,920 sq. ft. buildings with office space and shop bays, and a parking lot expansion for a transportation hub for Mr. Maric's three (3) transportation companies (Maric Transportation, Inc., PM Truck World, LLC, and Kalina Transportation, LLC) on property owned by Maric Investment, LLC and located at 405 27th Street (168-04-21-12-005-000).

Mr. Maric's transportation companies will occupy the west building for a truck terminal with office and shop space for truck repair. According to the petitioner, the intent is to lease the eastern proposed building to Direct Auto Sale (Car Dealership) for additional space. Staff anticipates the future tenant of the eastern proposed building will require a separate Site Plan/Plan of Operation and/or Conditional Use Permit Amendment as applicable in addition to a Zoning Permit prior to taking occupancy of the building. The site plan includes:

- Two (2) office/shop buildings (approximately 4,920 s.f. each)
- 197 off-street parking stalls (including 30 standard parking stalls, one (1) ADA accessible stall, 97 semi-tractor/trailer stalls, and 69 semi-trailer stalls)
- 24/7 access for semi-trucks
- Security gate, fencing, and video monitoring
- Proposed vehicular electrical plugin stations
- Nineteen (19) proposed light poles
- 103,078 s.f. of proposed additional parking lot area
- 317,929 s.f. of impervious surface (pavement and gravel) or 87.55 %
- 45,222 s.f. of green space
- New concrete access drive and asphalt approach on 27th Street (West Frontage Road)

The project narrative indicates Mr. Maric's transportation companies would have regular business hours of 6:00 a.m. to 6:00 p.m. However, Semi-truck drivers will have access to the secure parking lot at the rear of the property 24 hours per day, 7 days per week. The petitioner anticipates 5 employees at this time. According to the petitioner, they are currently working with WisDOT on access.

ENGINEER COMMENTS:

Dan Snyder, P.E., Village Engineer has provided separate correspondence.

PLANNER COMMENTS:

1. **Comprehensive Plan.** The property located at 405 27th Street has an existing land use of Business Park. The Future Land Use of Business Park is consistent with the proposed zoning of B-5 Highway Business District.
2. **Zoning District Requirements.** The proposed zoning for the property is B-5 Highway Business District in which any development within five hundred (500) feet of an existing or mapped right-of-way of a freeway or expressway and within one thousand five hundred (1,500) feet of their existing or mapped centerline of interchange with any other road shall be deemed to be a conditional use. Any development within fifty (50) feet of any existing or mapped state trunk highway or county trunk highway and within one hundred fifty (150) feet of an existing or mapped centerline of intersection with any other road shall be deemed to be a conditional per Section 20-1339 (b) of the Village Zoning Ordinance. Furthermore, truck terminals are allowed as a conditional use in the B-5 Highway Business District as a conditional use per Section 20-1339 (a) (7) of the Village Zoning Ordinance.

10. **Rezoning.** The petitioner is requesting to rezone the property from B-3 Commercial Service District and M-3 Heavy Industrial District to B-5 Highway Business District.

A key provision of Wisconsin State Statute 66.1001 requires that certain land use actions/decisions be made which are "consistent" with the goals, objectives, and policies of an adopted comprehensive plan. The proposed Future Land Use Commercial is consistent with the proposed zoning of B-5 Highway Business District.

3. **Plan of Operation.** The proposed plan of operation includes:
 - a. **Uses and activities:** Two (2) office/shop buildings (60' x 82' or approximately 4,920 s.f. each).
 - b. **Number of Employees:** 4-6 office employees and 4 employees working in the shop.
 - c. **Standard hours of operation:** Proposed business hours are 6:00 a.m. to 6:00 p.m. Monday through Sunday. Semi-truck drivers shall have access to the secure parking lot 24 hours per day, 7 days per week. The Plan Commission should determine whether the proposed hours of operation are appropriate.
 - d. **Outdoor Storage:** No outdoor storage proposed. Semi-truck and trailer parking will be to the rear of the site in the designated parking area. The Plan Commission should determine whether the proposed semi-truck and trailer parking area is adequately screened.
 - e. **Landscaping:** The property has several existing mature trees around the existing single-family home at 405 27th Street and a large swath of mixed vegetation green space in the rear of the property. The petitioner's proposal includes the removal of almost all this greenspace. The applicant has provided a landscape plan with minimal foundation plantings on the south sides of the two (2) existing Direct Auto Sales buildings and the eastern side of the eastern proposed new building. Proposed plantings include: two (2)

shade trees, one (1) ornamental tree, and thirty-four (34) shrubs. The Plan Commission should determine whether the proposed landscaping is appropriate.

- f. **Parking:** The Site Plan depicts 197 off-street parking stalls (including 30 standard parking stalls, one (1) ADA accessible stall, 97 semi-truck and trailer parking stalls, and 69 semi-trailer parking stalls. The proposed surface for the semi-truck and trailer parking is gravel and the proposed surface for the standard parking stalls and ADA accessible stall is concrete pavement located on the west side of the proposed new buildings.

The site plan should show snow storage areas, to ensure snow can safely be removed from paved areas without damaging landscaping or illegally placing snow in the public right-of-way.

- g. **Exterior Lighting:** The proposed Lighting Plan (Sheet E-1) includes Nineteen (19) 23-foot pole mounted full-cutoff LED light fixtures throughout the proposed parking lots and eleven (11) wall-mount full-cutoff LED light fixtures on the proposed building. The color temperature of the proposed lighting fixtures is 4,000k. Foth recommends the color temperature of all exterior lighting fixtures be a "warm white" (3,000K or less).

The Plan Commission should determine whether the proposed lighting is appropriate.

- h. **Signage:** Any business signage shall be required to obtain signage approval through the Village of Raymond sign application process.

- i. **Chemicals/Hazardous Materials:** No.

- j. **Stormwater Management and Erosion Control:** Drainage will be adequately captured and utilize newly proposed swales, storm sewer, and an Underground Detention System (MC-7200 StormTech Chambers) as depicted on the Storm Sewer and Drainage Plan and described in the Stormwater Management Plan.

- k. **Refuse Disposal:** No details provided at this time.

4. **Architecture.** The petitioner has provided architectural elevations and an artist's rendering of the exterior of the proposed building. The Plan Commission should determine whether the proposed building materials are appropriate.

5. **Traffic, Circulation and Access.** The site will be accessible via a proposed new 24' wide concrete driveway along 27th Street (West Frontage Road).

6. **Environmentally Sensitive Areas.** Wetland and Waterway Consulting, LLC completed a wetland determination for the subject property on April 5, 2024. Fieldwork was completed by Kristi Sherfinski, an assured delineator qualified via the Wisconsin Department of Natural Resources' (WDNR's) Wetland Delineation Assurance Program. The report concluded the presence of Wetland 1, a 0.20-acre drainageway with fresh wet meadow vegetation that crosses the subject area from southeast to northwest. It receives water from a large culvert at the southeast corner and from surface water runoff from the parking lots to the east and south. The feature ultimately drains to a wetland complex associated with the Root River to the west.

The petitioner is proposing to impact all of Wetland 1 to expand the gravel parking lot for truck parking associated with his proposed transportation hub use.

7. **Caledonia Boundary Agreement.** The Village of Caledonia has not yet reviewed this proposal.

8. Conditional Use Permit

Petitioner has included the following items as part of their submittal:

- Plan Commission Review Application
- Rezoning Description
- Narrative Report
- Existing Conditions Plan
- Dimensioned Site Plan
- Site Grading & Erosion Control Plan
- Parking Lot Construction Plans
- Storm Sewer & Drainage Plan
- Stormwater Management Plan
- Landscape Plan
- Lighting Plan
- Building Elevations and Structural Plans
- Wetland Report

Per 2017 Wisconsin Act 67, conditional use authority is now specifically addressed within the statutes. In summary, conditional use decisions must be made based on substantial evidence – facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion. The applicant must present substantial evidence demonstrating that the application and all requirements and conditions established by the Village relating to the conditional use are or shall be satisfied. Any condition imposed by the Village through ordinance or by the Village Board must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer or renewal. The Village's decision to approve or deny the application must be supported by substantial evidence. In addition, per Wis. Stats. 66.1001(2m)(b), a conditional use permit that may be issued by a political subdivision does not need to be consistent with the political subdivision's comprehensive plan.

ENGINEER COMMENTS:

Comments from the Village Engineer regarding technical review of the Stormwater Management Plan and Site Plan are forthcoming and will be provided via separate correspondence when available.

STAFF RECOMMENDATION:

Depending on confirmation by the Village of Raymond Plan Commission of the above-described comments, the Village of Raymond Plan Commission may take the following actions:

Rezoning

The Village of Raymond Plan Commission recommends to the Raymond Board **Approval** of the rezoning request by Predrag Maric (Maric Investments, LLC) for the property located at 405 27th Street bearing Tax Parcel No. 168-04-21-01-005-000, subject to the following conditions:

1. The subject property to be rezoned from B-3 Commercial Service District and M-3 Heavy Industrial District to B-5 Highway Business District shall be limited to Tax Parcel Number 168-04-21-01-005-000.
2. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Raymond for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions. Additionally, any unpaid bills owed to the Village of Raymond by the Subject Property Owner and/or Agent, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees or forfeitures owed to the Village of Raymond must be paid on demand and prior to issuance of any permits and shall be placed upon the tax roll for the Subject Property if not paid within thirty (30) days of the billing by the Village of Raymond, pursuant to Section 66.0627, Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional approval that is subject to all remedies available to the Village of Raymond, including possible cause for termination of the conditional approval.

Conditional Use Permit

If the Village of Raymond Plan Commission wishes to **Approve** the Conditional Use Permit Request for Predrag Maric (Maric Investments, LLC) for the property located at 405 27th Street bearing Tax Parcel No. 168-04-21-01-005-000 then it is recommended the approval be subject to the following conditions:

1. This conditional use approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Raymond Plan Commission on May 22, 2024.
2. Subject to a detailed stormwater management plan being reviewed and approved by the Village Engineer prior to the commencement of any land disturbing activities on the property.
3. Operator must obtain a zoning permit and building permit prior to commencement of the construction of the new buildings.
4. The hours of operation for Predrag Maric's transportation companies (Maric Transportation, Inc., P.M. Truck World, LLC and Kalina Transportation, LLC) shall be

- limited to 6:00 a.m. to 6:00 p.m. Monday through Sunday, with semi-truck access to the secure parking lot 24 hours per day, 7 days per week.
5. Outdoor storage of any materials or equipment is prohibited.
 6. Any Village of Caledonia review conditions shall be met.
 7. Any business signage shall be required to obtain signage approval through the Village of Raymond sign application process.
 8. The color temperature of all exterior lighting fixtures shall be 3,000K or less.
 9. Any landscaping, or lighting plans require separate staff review before implementation.
 10. The Conditional Use approval shall not be in full force and effect until such time as the Petitioner obtains the necessary approvals and satisfies all comments, conditions, and concerns of the:
 - a. Village of Raymond Plan Commission and Board, Village Engineer, Village Planner and Village Attorney with respect to the submitted plans, documents, and specifications.
 - b. Wisconsin Department of Transportation and/or Racine County Public Works and Development Services Department.
 - c. Wisconsin Department of Natural Resources (WNDR), and U.S. Army Corps of Engineers (USACE).
 11. This conditional use permit will expire nine (9) months from the date of the Village Board approval unless substantial work has commenced following said approval. If the Village determines that no substantial work has commenced, the project may not occur unless the Village Board grants a written extension. Written extension requests shall be submitted to the Village at least 30 days prior to permit/approval expiration.
 12. The property shall comply with all rules and regulations of the Village of Raymond and the Raymond Fire Department, including submission to routine inspections by the Village and Fire Department Staff.
 13. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Raymond for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions. Additionally, any unpaid bills owed to the Village of Raymond by the Subject Property Owner and/or Agent, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees or forfeitures owed to the Village of Raymond must be paid on demand and prior to issuance of any permits and shall be placed upon the tax roll for the

Subject Property if not paid within thirty (30) days of the billing by the Village of Raymond, pursuant to Section 66.0627, Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional approval that is subject to all remedies available to the Village of Raymond, including possible cause for termination of the conditional approval.

14. Other Conditions.

- a. No use is hereby authorized unless the use is conducted in a lawful, orderly, and peaceful manner. Nothing in this permit shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order, or rule of either the municipal governing body, the County of Racine, the State of Wisconsin, the United States of America, or other duly constituted authority, except only to the extent that it authorizes the use of the subject property above described in any specific respects described herein. This permit shall not be deemed to constitute a building permit, nor shall this permit constitute any other license or permit required by Village ordinance or other law.
- b. This Conditional Use hereby authorized shall be confined to the subject property described, without extension or expansion other than as noted herein, and shall not vary from the purposes herein mentioned unless expressly authorized in writing by the Village of Raymond Plan Commission as being in compliance with all pertinent ordinances.
- c. Should the permitted Conditional Use be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the petitioner be delinquent in payment of any monies due and owing to municipality, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area or for similar cause based upon consideration of public health, safety or welfare, the Conditional Use may be terminated by action of the Village of Raymond Plan Commission, pursuant to the enforcement provisions of this Conditional Use Permit.
- d. Any change, addition, modification, alteration and/or amendment of any aspect of this Conditional Use, including but not limited to an addition, modification, alteration, and/or amendment to the use, premises, structures, lands, or owners, other than as specifically authorized herein, shall require a new permit and all procedures in place at the time must be followed.
- e. Unless this Conditional Use Permit expressly states otherwise, plans that are specifically required by this Conditional Use Permit may be amended upon the prior approval of the Village of Raymond Board, upon receipt of a recommendation from the Plan Commission, if the Village of Raymond Plan Commission finds the plan amendment to be minor and consistent with the Conditional Use Permit. Any change in any plan that the Village of Raymond Plan Commission feels, in its sole discretion, to be substantial, shall require a new permit, and all procedures in place at the time must be followed.

- f. Should any paragraph or phrase of this Conditional Use Permit be determined by a Court to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the Conditional Use and the remainder shall continue in full force and effect.
- g. If any aspect of this Conditional Use Permit or any aspect of any plan contemplated and approved under this Conditional Use is in conflict with any other aspect of the Conditional Use or any aspect of any plan of the Conditional Use, the more restrictive provision shall be controlling as determined by the Village of Raymond Plan Commission.

EXHIBIT:

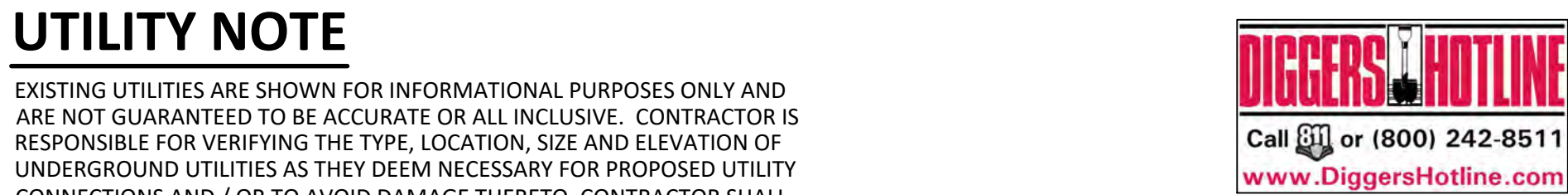
- A. GIS Location Map
- B. Petitioner Application



for
MARIC INVESTMENTS, LLC.

405 27th Street, Village of Raymond, Racine County, Wisconsin

Description	Existing	Description	Existing	Proposed
EDGE OF WOODS		WATER SHUT OFF		
DECIDUOUS TREE		WATER MAIN VALVE		
DECIDUOUS TREE REMOVAL		HYDRANT		
CONIFEROUS TREE		WATER MAIN REDUCER		
CONIFEROUS TREE REMOVAL		SANITARY MANHOLE		
BUSH		SANITARY CLEAN OUT		
SOIL BORING		STORM MANHOLE		
TELEPHONE BOX		CATCH BASIN		
GUY WIRE		LIGHT POLE		
UTILITY POLE		ENDWALL		
GAS VALVE		STORM SEWER		
GAS METER		SANITARY SEWER		
SEPTIC VENT		WATERMAIN		
ELECTRIC MANHOLE		CONTOURS		
COMMUNICATION MANHOLE		FIRE PROTECTION		
WATER MANHOLE		UTILITY CROSSING		
HVAC UNIT		DITCH OR SWALE		
UNDERGROUND VAULT		CULVERT		



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BASE LINE	BL	INVERT ELEVATION	IE
LONG CORD OF CURVE	CHD	LENGTH OF CURVE	LC
CURB AND GUTTER	C&G	MANHOLE	MH
CATCH BASIN	CB	NORMAL WATER LEVEL	NWL
CENTERLINE	CL	POINT OF CURVATURE	PC
EDGE OF PAVEMENT	EOP	POINT OF TANGENCY	PT
FINISHED FIRST FLOOR	FFF	TANGENCY OF CURVE	TAN
FINISHED GRADE	FG	POINT OF VERTICAL INTERSECTION	PVI
FLOW LINE	FL	RADIUS	R
FLOWPLAIN	FP	RIGHT OF WAY	ROW
ORDINARY HIGH WATER MARK	OHWM	SANITARY SEWER	SAN
TOP OF BANK	TOB	STORM SEWER	STM
TOP OF CURB	TOC	TOP OF FOUNDATION	TOF
TOP OF WALK	TOW	WATER MAIN	WM

<u>Plan Sheet</u>	<u>Sheet No.</u>
TITLE SHEET	C-1
EXISTING CONDITIONS	C-2
SITE PLAN	C-3
DEMOLITION PLAN	C-4
SITE GRADING & EROSION CONTROL PLAN	C-5
PAVEMENT GRADING PLAN	C-6
STORM SEWER & DRAINAGE PLAN	C-6 & C-7
TYPICAL SECTIONS & CONSTRUCTION DETAILS	C-8 & C-9
PROJECT SPECIFICATIONS	C-10
ADS STORMTRECT CHAMBER DETAILS	C-11

MARIC INVESTMENTS, LLC.
 PREDRAG MARIC
 10416 WEST WHITNALL EDGE COURT #202
 FRANKLIN, WI 53132
 PHONE: 414-801-9735
 EMAIL: predrag.maric@gmail.com

VILLAGE OF RAYMOND KARI MORGAN VILLAGE PRESIDENT OFFICE: 262-930-8953 EMAIL: kmorgan_raymond@yahoo.com	VILLAGE OF CALEDONIA PETER WAGNER DEVELOPMENT DIRECTOR OFFICE: 262-835-6446 EMAIL: pwagner@caledonia-wi.gov
LINDA M. TERRY VILLAGE CLERK OFFICE: 262-835-4426 EMAIL: clerk@raymondwi.com	TONY BUNKELMAN, P.E. UTILITY DIRECTOR OFFICE: 262-835-6416 EMAIL: abunkelman@caledonia-wi.gov
BARBARA HILL VILLAGE TREASURER OFFICE: 262-835-4426 EMAIL: treasurer@raymondwi.com	RYAN SCHMIDT, P.E. PUBLIC WORKS DIRECTOR OFFICE: 262-835-6475 EMAIL: rschmidt@caledonia-wi.gov
LEE GREIVELL BUILDING INSPECTOR OFFICE: 262-835-4819 EMAIL: lgreivell@gmail.com	JAMES KEEKER SENIOR BUILDING INSPECTOR OFFICE: 262-835-6406 EMAIL: jkeeker@caledonia-wi.gov
JEFF MUENKEL VILLAGE PLANNER OFFICE: 414-386-7171 EMAIL: jeff.muenkel@foth.com	WISCONSIN D.O.T. SOUTHEAST REGION OFFICE: (414) 266-1167
ORRIN SUMWALT PROJECT PLANNER OFFICE: 414-386-7914 EMAIL: orrinsumwalt@foth.com	KEVIN KOEHNKE, P.E. PERMITS COORDINATOR 141 NW BARSTOW ST WAUKESHA, WI 53187 OFFICE: (262) 548-5891
DAN SNYDER VILLAGE ENGINEER OFFICE: 414-386-7171 EMAIL: dan.snyder@foth.com	DEPARTMENT OF NATURAL RESOURCES PETER C. WOOD, PE WATER RESOURCE ENGINEER OFFICE: 262-884-2360 EMAIL: peterwood@wisconsin.gov

AT&T	WE-ENERGIES
MIKE TOYEK	ALLIE MILLER
OFFICE: 262-636-0549	KENOSHA SOUTH
EMAIL: mt1734@att.com	OFFICE: 262-552-3227
	EMAIL: allie.miller@we-energies.com
TDS TELECOM	
SOUTHEAST WISCONSIN	NATURAL GAS EMERGENCY:
OFFICE: 877-483-7142	(800) 261-5325
SPECTRUM	ELECTRICAL EMERGENCY:
ROBERT TUNUTA	(800) 662-4797
UTILITY COORDINATOR	
OFFICE: 414-277-4205	
CELL: 414-758-5688	
EMAIL: tunuta@charter.net	

[illegible]

ISSUE FOR REVIEW - 12-1-2023

EXISTING UTILITY DATA

CB 1 RIM 718.07 IE. 8" E 717.17 (ELBOW)	CB 2 RIM 718.85 IE. 6" W 716.25 (PVC) IE. 6" S 716.60 (UD) IE. 15" E 715.35 (RCP)	CB 3 RIM 719.06 IE. 6" N 715.66 (UD) IE. 6" S 715.56 (UD) IE. 15" E 714.31 (RCP) IE. 15" W 714.26 (RCP) IE. 18" N 714.16 (RCP)
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UTILITY NOTE

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NOTES

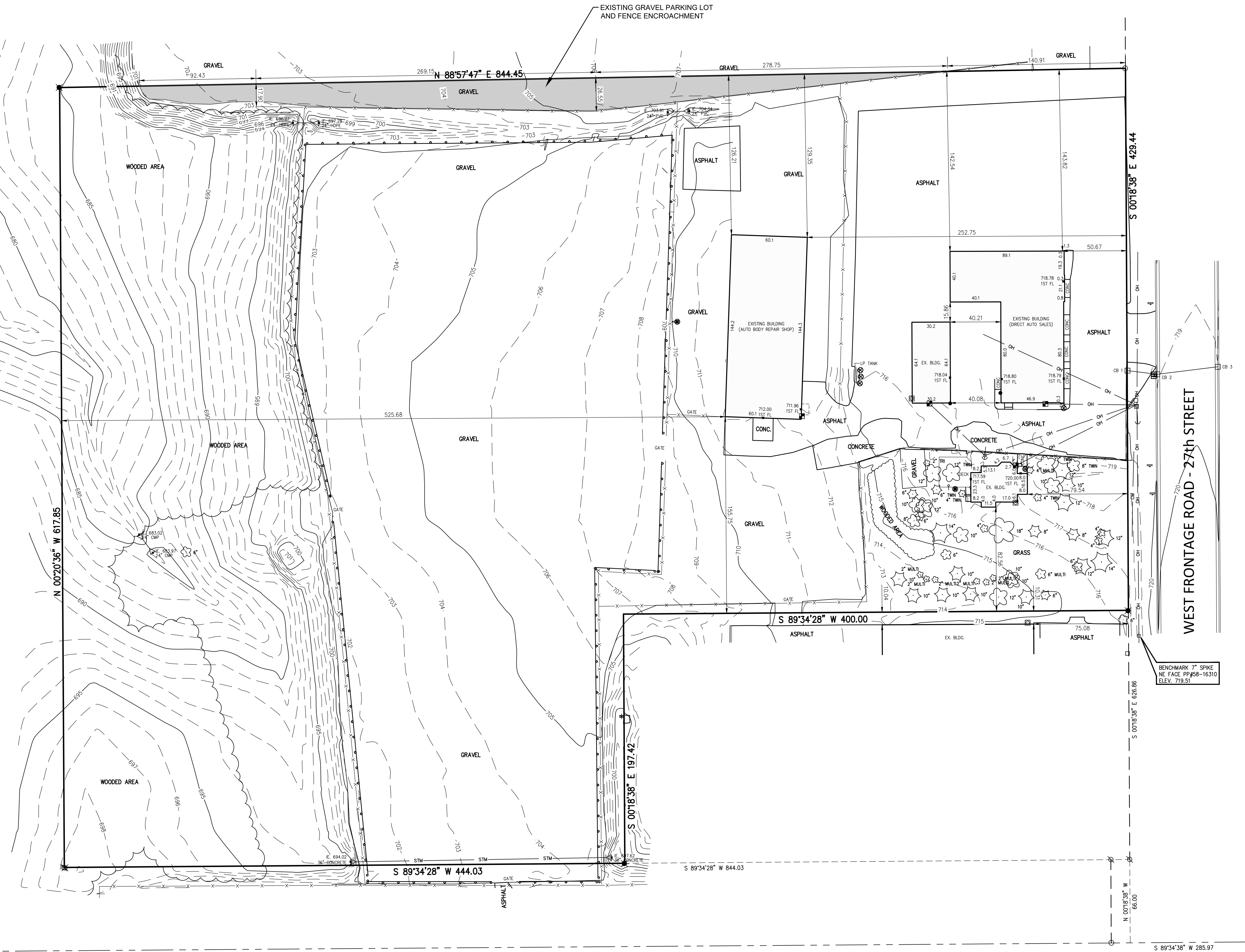
BEARING BASE: GRID NORTH, WISCONSIN
COORDINATE SYSTEM, SOUTH ZONE.
BASED UPON NAD 1983 / 2011.

ALL ELEVATIONS REFER TO NAVD 1988 (12).



LEGEND

CLEAN OUT	DECIDUOUS TREE	REBAR W/YELLOW CAP FOUND
CATCH BASIN	CONIFEROUS TREE	1-1/4" IRON PIPE FOUND
STORM SEWER	MISC. MANHOLE	1" IRON PIPE FOUND
DOWNSPOUT	WELL	REBAR W/YELLOW DOT CAP FOUND
DRAIN TILE	GUARD POST	3/4" REBAR SET
ELECTRIC METER	FENCE	3/4" REBAR FOUND
OVERHEAD WIRES	GUARD RAIL	COMMUNICATION BOX
POWER POLE	GAS METER	MAILBOX
GUY WIRE	SIGN	



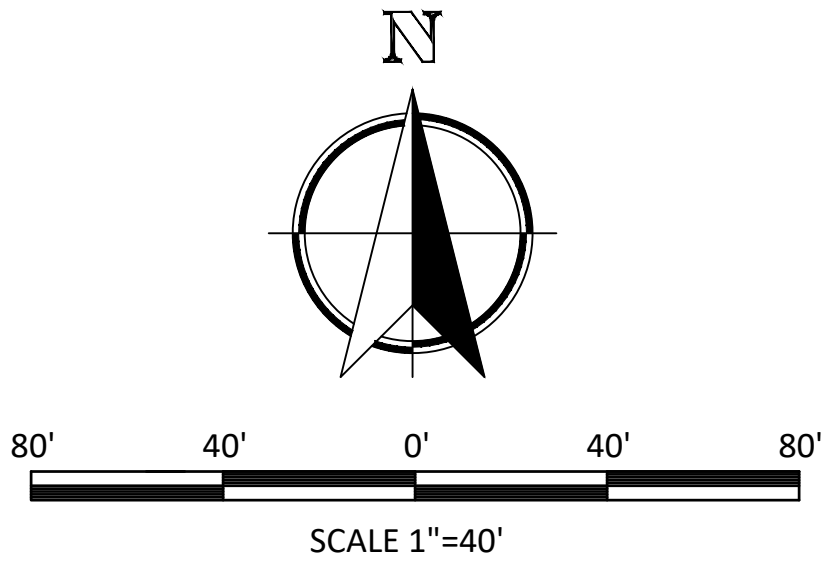
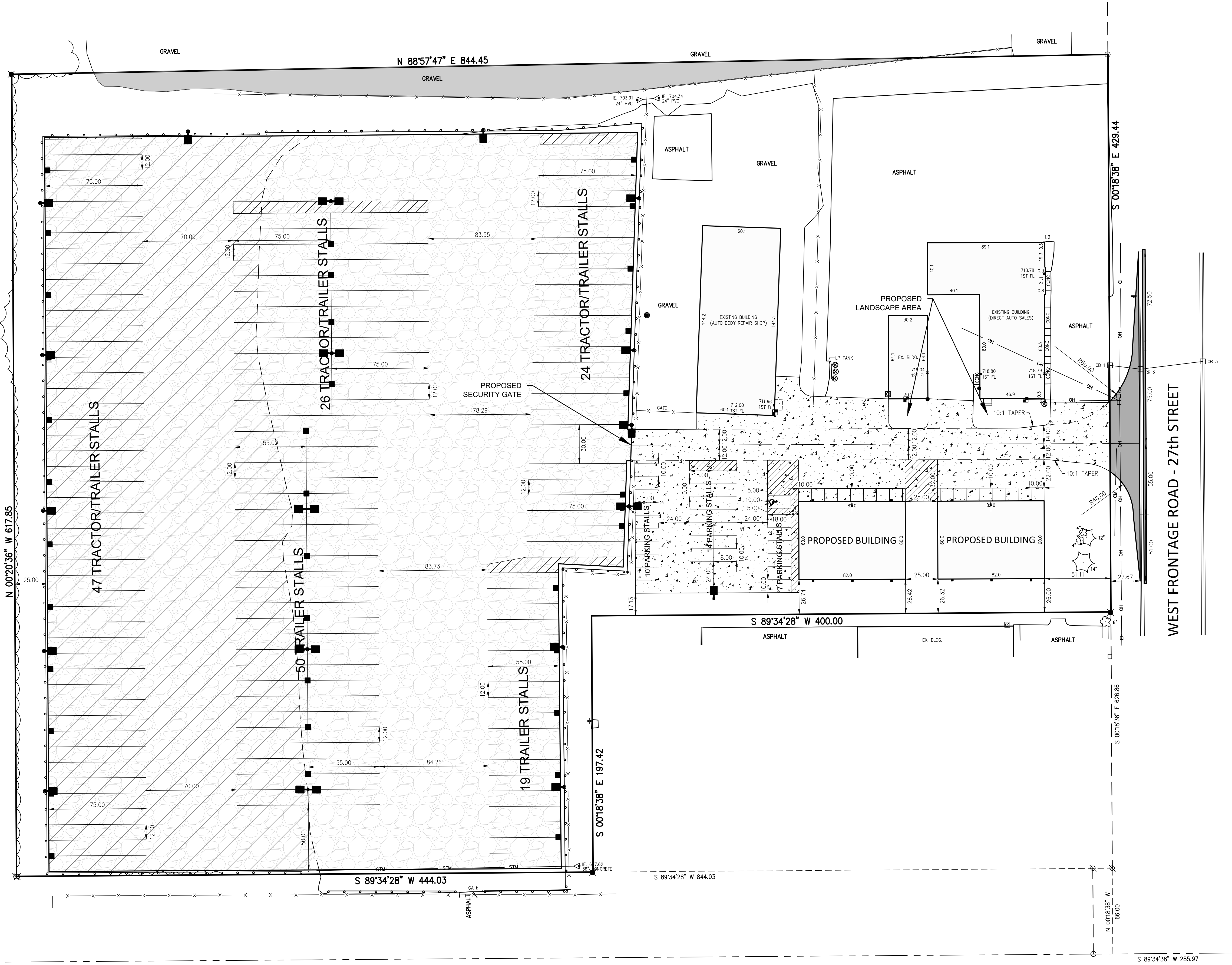
**MARIC TRANSPORTATION
BUILDINGS & PARKING LOT
EXISTING CONDITIONS PLAN**
FOR
MARIC INVESTMENTS, LLC
VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: _____ MRM
DRAFTED: _____ JWR
DATE: 8-31-2023
CHECKED: _____ ALJ
DATE: 11-27-2023

2022.0236.01

SHEET
C-2



PARKING INFORMATION

EXISTING	
25' X 12' TRACTOR STALLS	20
75' X 12' TRACTOR/TRAILER STALLS	75
TOTAL STALLS	95

PROPOSED	
55' x 12' TRAILER STALLS	69
75' X 12' TRACTOR/TRAILER STALLS	97
18' X 10' STANDARD CAR STALLS	30
18' X 10' HANDICAP STALL	1
TOTAL STALLS	197

PARKING LOT EXPANSION INFORMATION

EXISTING LOT AREA	138,737 s.f.
PROPOSED ADDITIONAL LOT AREA	103,078 s.f.
TOTAL AREA	241,815 s.f.

LEGEND

- PROPOSED SEMI TRACTOR TRAILER PARKING LOT AREA
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED VEHICULAR ELECTRICAL HEATING PLUGIN STATIONS
- DOUBLE LIGHT POLE LOCATIONS
- SINGLE LIGHT POLE LOCATIONS
- BUILDING BOX LIGHT LOCATION

UTILITY NOTE

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NO.	REVISION	BY	DATE

PROJ. MGR: MRM
DRAFTED: JWR
DATE: 8-31-2023
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DATE: 11-27-2023

2022.0236.01

SHEET
C-3

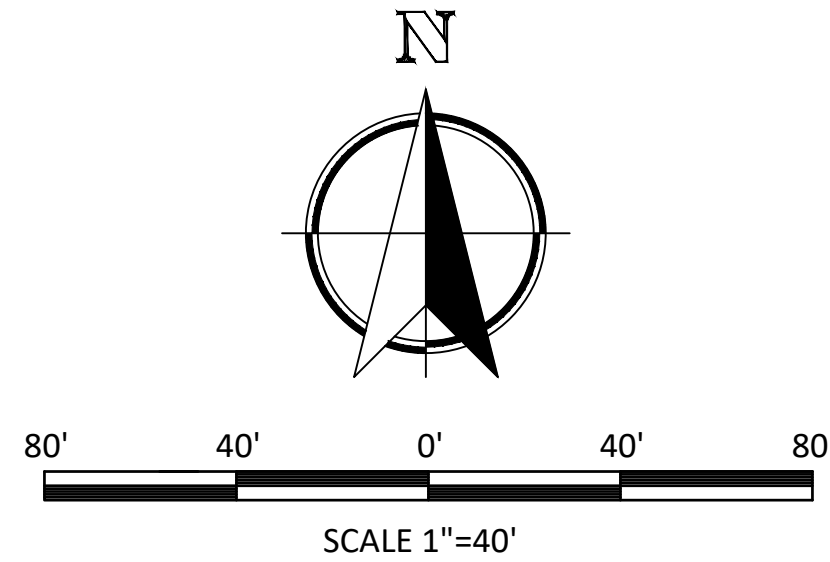
LEGEND


- CLEARING & GRUBBING LIMITS
- EXISTING STRUCTURE TO BE REMOVED (BY OTHERS)
- STRIP & SALVAGE TOPSOIL
- PAVEMENT TO BE REMOVED
- GRAVEL TO BE SALVAGED AND RE-GRADED
- FENCE TO BE REMOVED & SALVAGED
- GUARD RAIL TO BE REMOVED & SALVAGED
- CURB & GUTTER TO BE REMOVED



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Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

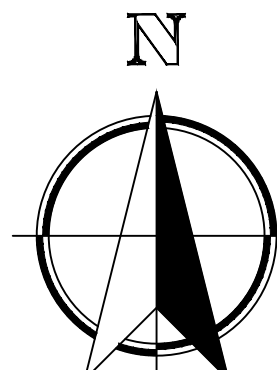
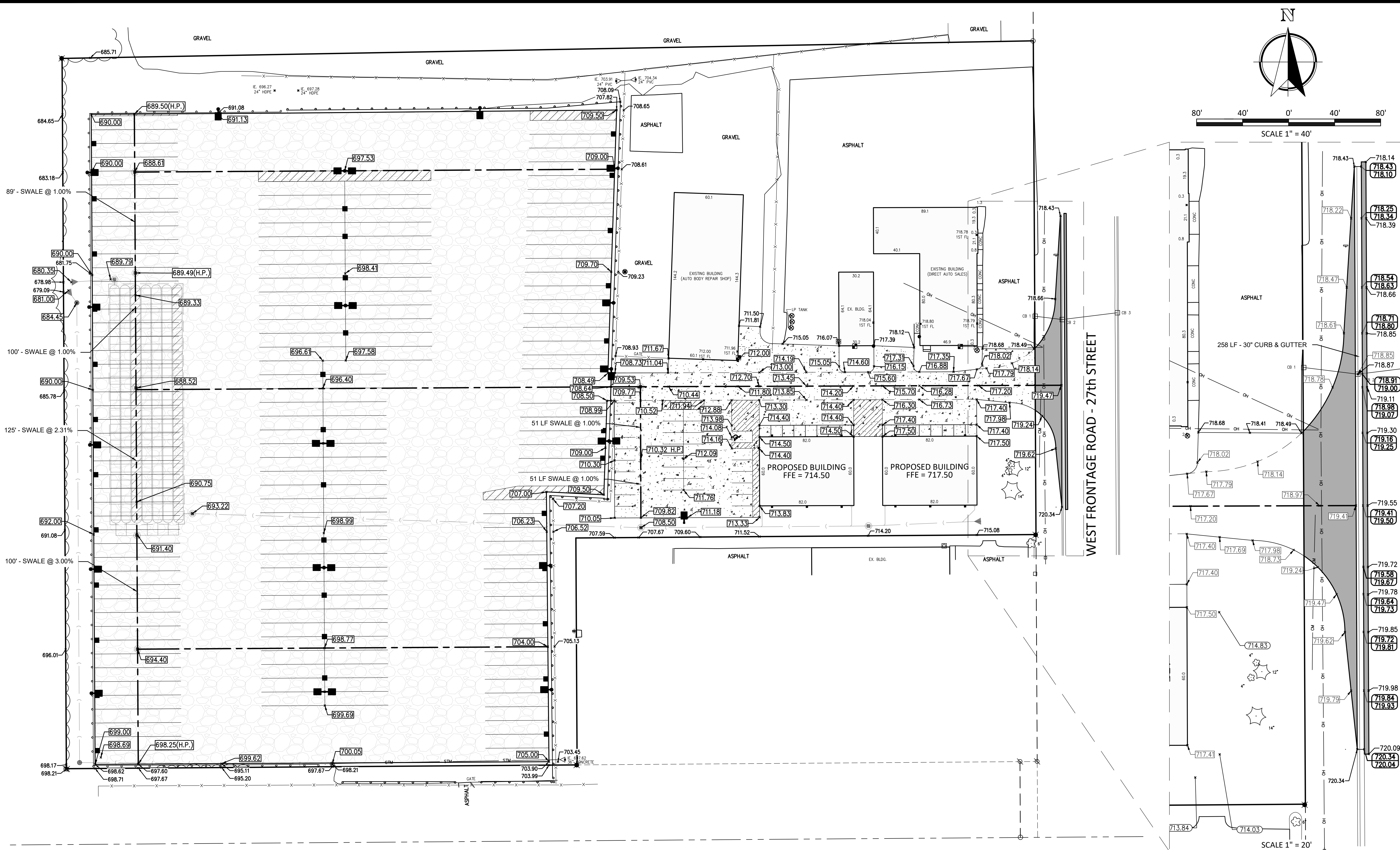
**MARIC TRANSPORTATION
BUILDINGS & PARKING LOT
DEMOLITION PLAN**
FOR
MARIC INVESTMENTS, LLC
VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

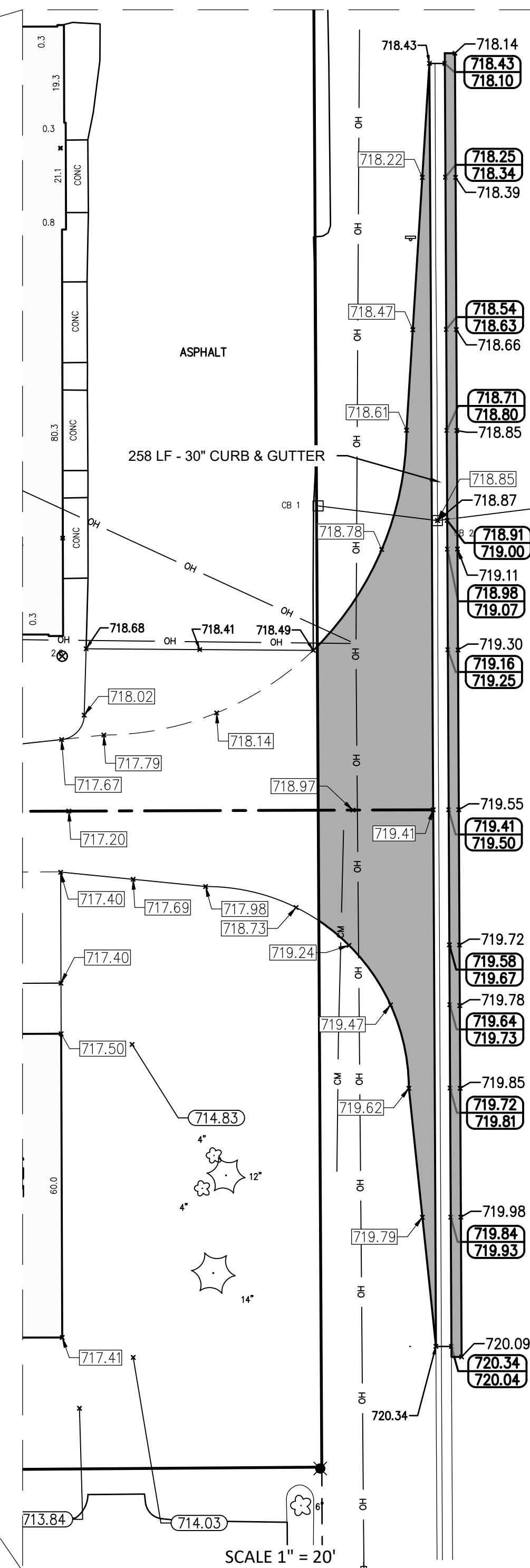
PROJ. MGR: _____ MRM
DRAFTED: _____ JWR
DATE: 8-31-2023
CHECKED: _____ ALJ
DATE: 11-27-2023

2022.0236.01

SHEET
C-4



80' 40' 0' 40' 80'
SCALE 1" = 40'



PAVEMENT GRADING LEGEND

- 804.85 EXISTING SURFACE SPOT GRADES
- 804.85 PROPOSED SURFACE SPOT GRADES
- 804.85 PROPOSED TOP OF CURB GRADE
- 804.85 PROPOSED FLANGE OF CURB GRADE
- HEAVY-DUTY GRAVEL
- HEAVY-DUTY ASPHALT PAVEMENT
- HEAVY-DUTY CONCRETE PAVEMENT
- CENTERLINE OF PAVEMENT SWALE

UTILITY NOTE

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mb
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Tele: (262)634-5588 Website: www.nmbssc.net

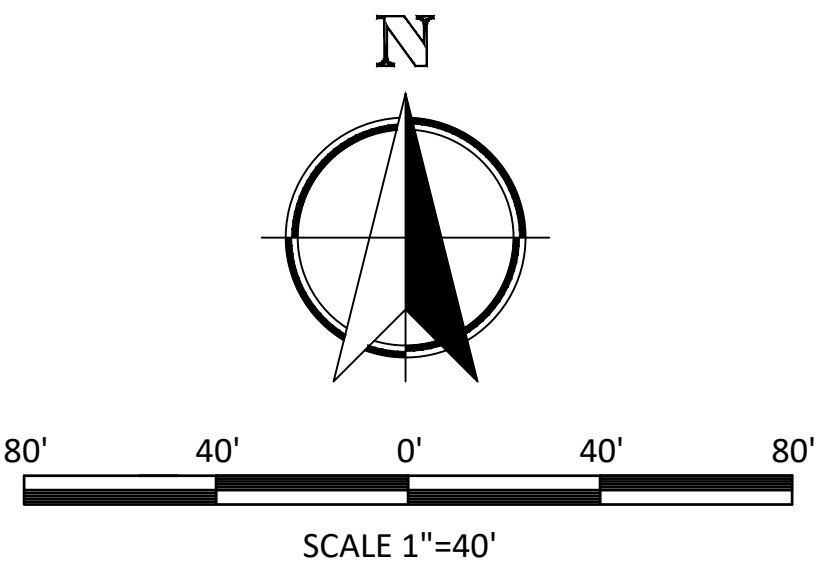
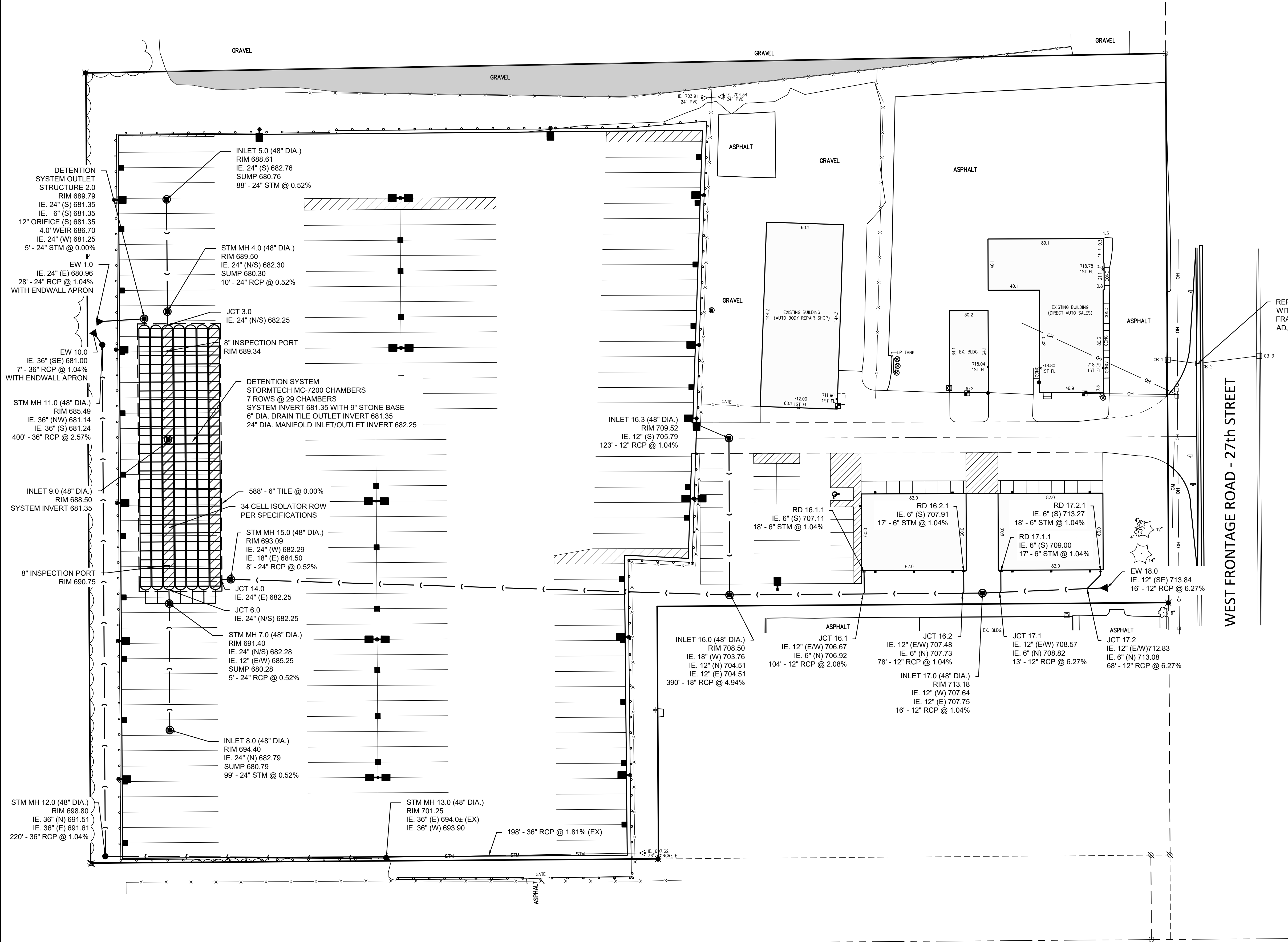
MARIC TRANSPORTATION
BUILDINGS & PARKING LOT
PAVEMENT GRADING PLAN
FOR
MARIC INVESTMENTS, LLC
VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: MRM
DRAFTED: JWR
DATE: 8-31-2023
CHECKED: ALJ
DATE: 11-28-2023

2022.0236.01
SHEET
C-6

ISSUE FOR REVIEW - 12-1-2023



REPLACE CATCH BASIN
WITH NEENAH INLET
FRAME AND GRATE R-3205.
ADJUST RIM TO 718.85

STORM SEWER LEGEND

- STM — EXISTING STORM SEWER
- () — PROPOSED STORM SEWER

WEST FRONTAGE ROAD - 27th STREET

UTILITY NOTE

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1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbasc.net

MARIC TRANSPORTATION BUILDINGS & PARKING LOT STORM SEWER & DRAINAGE PLAN

FOR
MARIC INVESTMENTS, LLC

VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

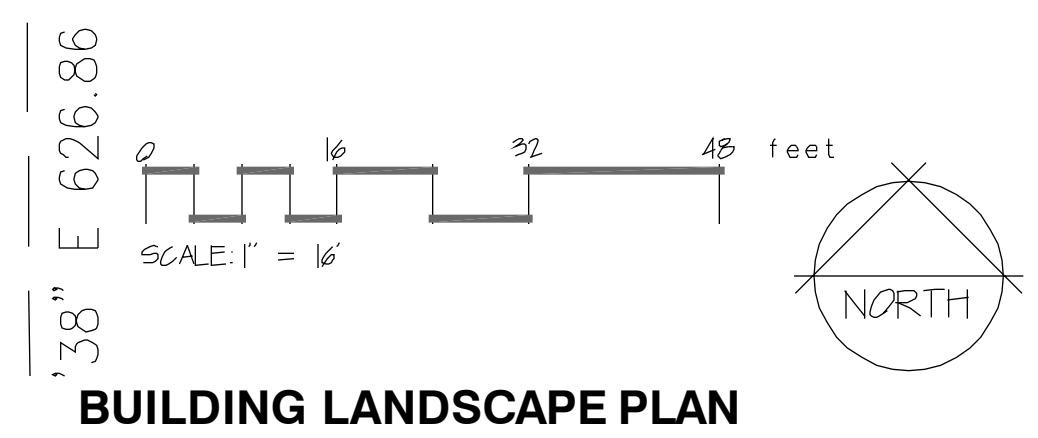
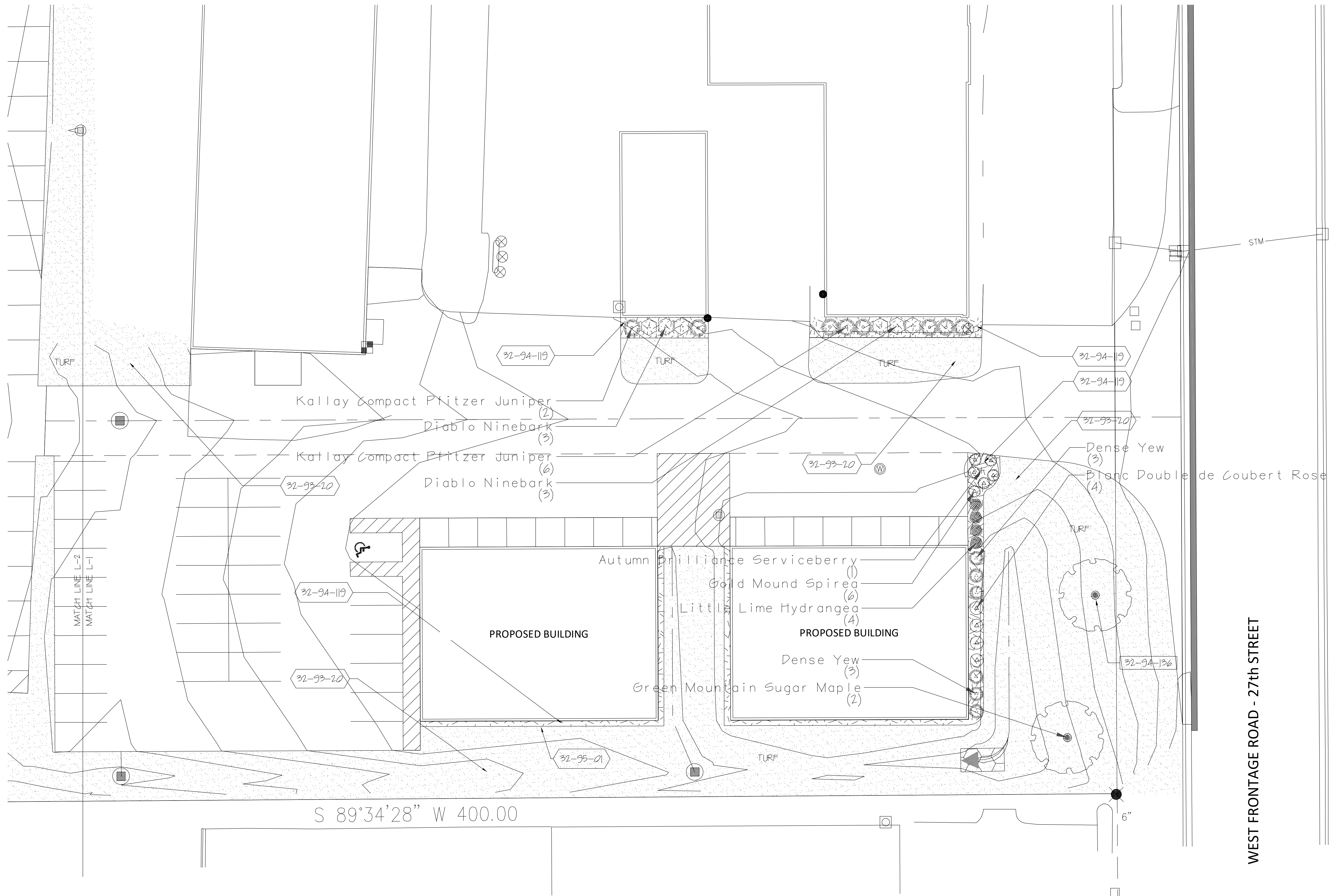
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2022.0236.01

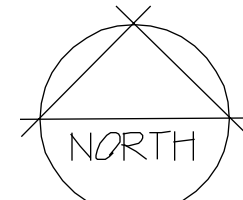
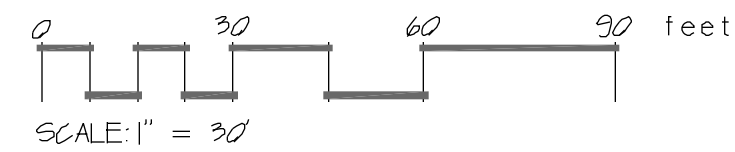
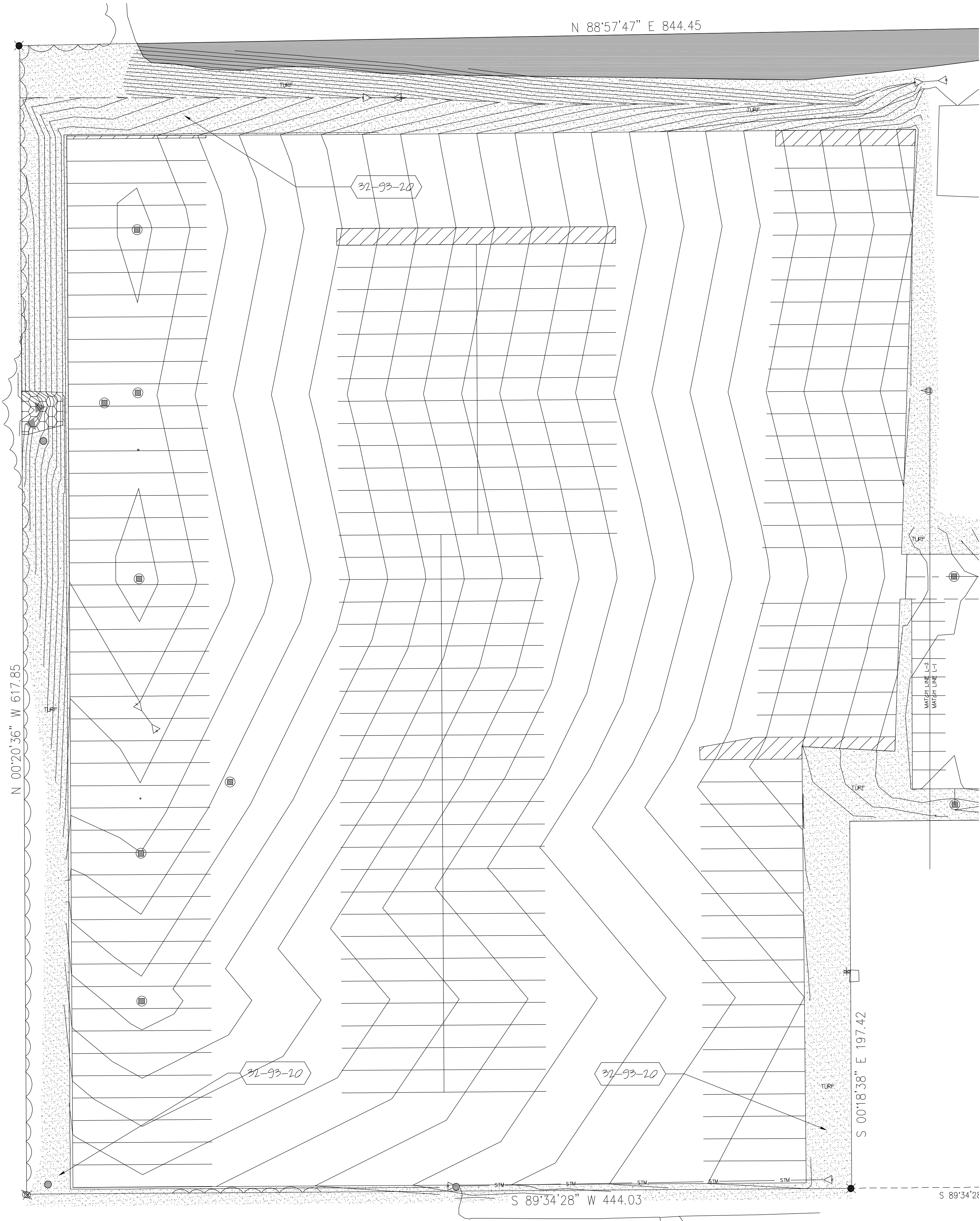
SHEET
C-7

ISSUE FOR REVIEW - 12-1-2023



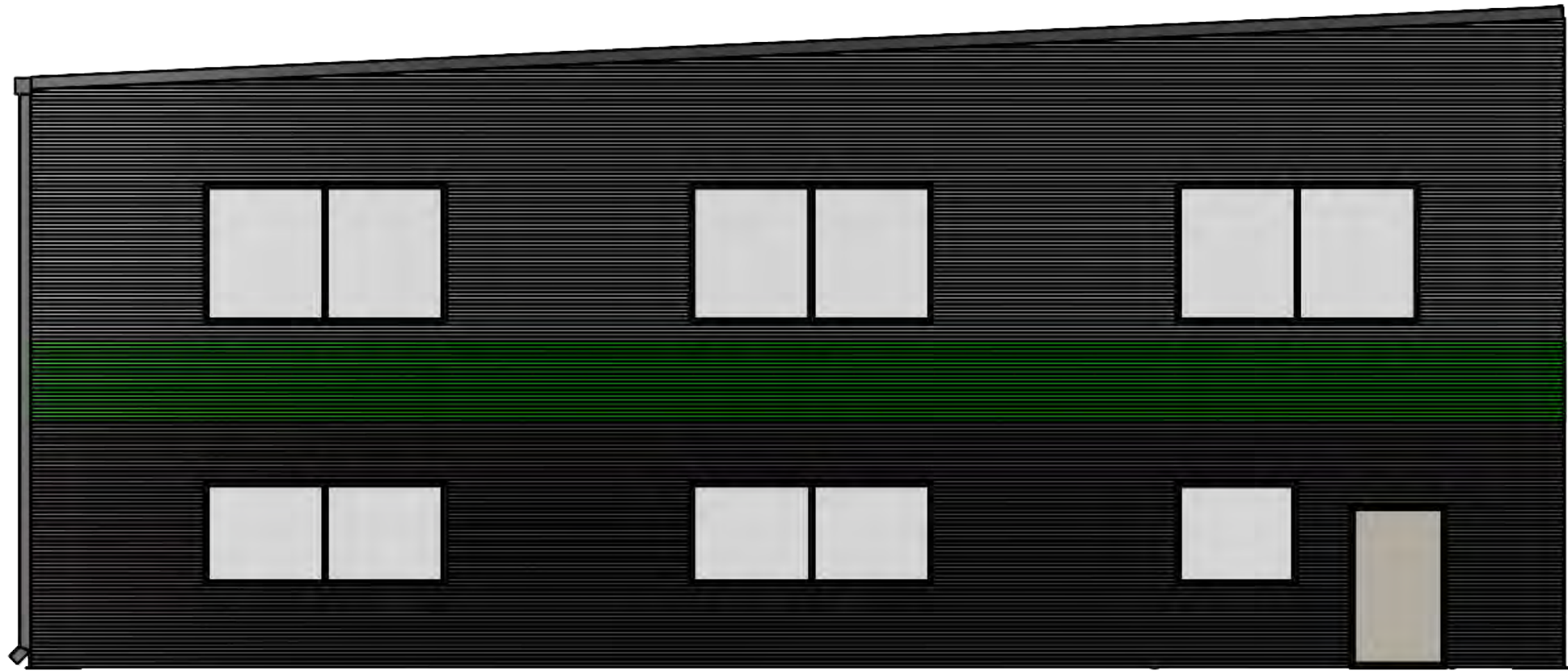
BUILDING LANDSCAPE PLAN

No.	Revision/Issue	Date
1		
2		
3		
4		

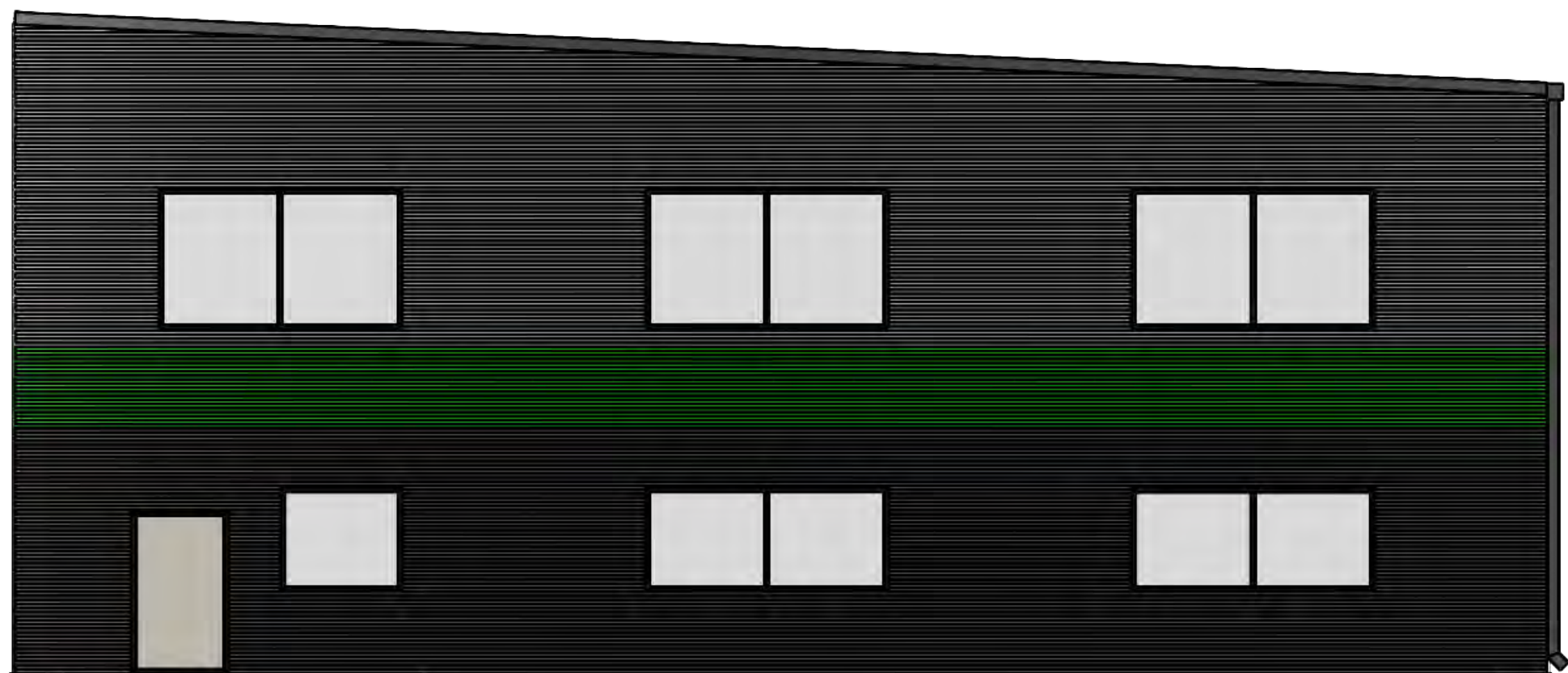


PARKING AREA LANDSCAPING

No.	Revision/Issue	Date
1		
2		
3		
4		

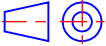



Poz.	Kol.	JM	Naziv				Standard - Izabrane karakteristike				Primedba			
										Masa		Razmera 1:75		
				Datum				Naziv: Maric Investments Inc Adress: 405 27 TH Street,Caledonia,WI						
				Obradio										
				Stand.										
				Odobrio										
								Oznaka: Left View					List:	
													L	
St. i.	Izmena	Datum	Ime					Izv. pod.			Zamena za:			



Poz.	Kol.	JM	Naziv				Standard - Izabrane karakteristike				Primedba		
										Masa		Razmera 1:75	
					Datum	Naziv: Maric Investments Inc Adress: 405 27 TH Street,Caledonia,WI							
					Obradio								
					Stand.								
					Odobrio								
							Oznaka: Right View					List:	
												L	
St. i.	Izmena	Datum	Ime				Izv. pod.			Zamena za:			



Poz.	Kol.	JM	Naziv				Standard - Izabrane karakteristike				Primedba		
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				Obradio									
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								View from the back					L
St. i.	Izmena	Datum	Ime					Izv. pod.				Zamena za:	

Narrative Report

For

Maric Transportation Buildings and Parking Lot Expansion

The owner Predrag Maric is requesting a conditional use permit to construct two 60'x82' (4,920 sf) buildings and expand the existing parking lot for his transportation companies (Maric Transportation, Inc., PM Truck World, LLC. and Kalina Transportation, LLC.)

The existing front building is leased to Direct Auto Sale (Car Dealership) and they currently have a 5-year lease. Direct Auto Sales will also lease the Easterly proposed building for additional space.

The existing rear building is currently leased to VG The Car Co., LLC (Auto Body Repair) and they are also under a 5-year lease.

The proposed Westerly building will be occupied by the owner for his transportation companies for offices and equipment repair. It is projected that the office/shop hours will be from 6 am to 6 pm Monday through Sunday. It is proposed that there will be 4-6 office employees and 4 employees working in the shop. The employee and visitor parking is to the west of the proposed westerly building.

The secured (gated), video monitored and lighted parking lot area would be in operation with semi-trucks coming and going 24 hours 7 days a week. Most of the semi-trucks coming into the site will be the owner's and the owner operators in his companies.

It is proposed to reconstruct the existing driveway between the buildings to better access to all the buildings and parking lot areas.

The proposed buildings will be constructed with insulated aluminum panels and steel roofing.

Al Jeske

From: Kohout, Ben <Ben.Kohout@foth.com>
Sent: Tuesday, May 28, 2024 10:56 AM
To: Al Jeske
Cc: Muenkel, Jeff
Subject: RE: [External] RE: Maric Investments Raymond
Attachments: RPT-2024-0522 Maric REZ, CUP and SPPOO Staff Review (PC).pdf

Hi Al,

So, the plan commission recommended approval with planner's recommendations (attached), PLUS additional landscaping along the North and South property lines for aesthetics. Also, all vehicles on the property should be road-worthy and licensed with no storage of junk vehicles, and a conditional use grant will be drafted hopefully this week or next with everything typed out (as soon as I can allocate some time for this).

Hope this helps for now. If not, let me know.

Thank you,

Ben Kohout
Project Planner, AICP



Foth Infrastructure & Environment, LLC

Ballpark Commons Office Building
7044 South Ballpark Drive, Ste 200
Franklin, WI 53132
Office: (414) 336-7900
Direct: (414) 336-7908
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From: Al Jeske <ajeske@nmbssc.net>
Sent: Tuesday, May 28, 2024 10:42 AM
To: Kohout, Ben <Ben.Kohout@foth.com>
Subject: RE: [External] RE: Maric Investments Raymond

Good Morning Ben

Is it possible to get a pdf copy of the conditions of approval from the meeting.

I would like to submit to Caledonia this week and want to include the conditions in the submittal package.

AL JESKE
Engineering Technician



Meeting Date: June 24, 2024

Item No. **6e**

PLAN COMMISSION REPORT

Proposal: Cooperative Boundary Agreement Review

Description: Review a request to approve a sign plan for the construction and utilization of a ±172 square-foot wall sign located on an existing commercial building located at 195 27th Street in the Village of Raymond.

Applicant(s): August Hoppe

Address(es): 195 27th Street

Suggested Motion: That the Plan Commission recommends to the Village Board that the sign plan for construction and utilization of a ±172 square-foot wall building located at 195 27th Street in the Village of Raymond be approved for the following reasons:

1. The Village of Raymond granted approval of the proposed wall sign in accordance with plans received on May 22, 2024.
2. The proposed sign meets the intent of the Village of Caledonia development standards in accordance with the Cooperative Boundary Agreement between the Villages of Caledonia and Raymond.
3. Any modification of the sign will require review by the Village of Raymond and the Village of Caledonia.

Owner(s): Christensen Revocable Trust

Tax Key(s): 168-04-21-01-004-000

Lot Size(s): 4.056 acres

Current Zoning
District(s): M-2, General Industrial District

Overlay District(s): N/A

Wetlands: ☒ Yes ☐ No Floodplain: ☐ Yes ☒ No

Comprehensive
Plan: Industrial and Business Park

Background: The applicant is requesting approval of a sign plan proposing for the construction and installation of a ±172 square-foot wall sign located on an existing commercial building at 195 27th Street in the Village of Raymond. The site is currently used by Hoppe Tree Service and Urban Wood Lab. Details of this business can be found at <https://www.hoppetreeservice.com>. The applicant is looking to update their wall sign from an unlit, flat wall sign to an internally lit channel letter design wall sign. The applicant has received approval from the Village of Raymond as the proposed sign complies with their sign ordinance.

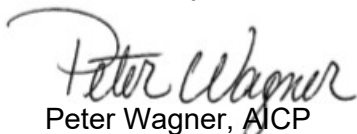
The proposed 172-square-foot sign exceeds the 32-square-foot maximum size limit for wall signs. The Village of Caledonia has a process where an applicant can request modifications to the sign ordinance if approved through a sign plan review process as it relates to size, number, and location. In this case, the applicant is asking to build one 172-square-foot wall sign.

The proposed wall sign in relation to the size of the building appears to be appropriately scaled. Due to the building's proximity to the freeway and being installed on the building, the proposed sign will not create clutter or confusion along the freeway corridor, should not be a distraction to drivers, and provide better readability from the freeway. Staff recommends approval of the proposed sign plan. If the applicant wishes to add or install additional signs, the applicant will need to amend their sign plan to reflect those changes. In your packet is an illustration of the proposed sign. Note that the "wood lab" sign is not part of this approval process and will not be installed on the building.

The intent of the Boundary Agreement is to ensure that development occurring along the Interstate has a consistent and high-quality appearance. The following is a review of the proposed development as to relates to the design standards included in Exhibit K of the Boundary Agreement. It is the Plan Commission's discretion to determine whether the proposed development meets the standards and should be considered a "spectacular" development.

If the Plan Commission is comfortable with the proposed sign plan, staff has drafted a suggested motion to approve the sign plan for the building located at 195 27th Street.

Respectfully submitted:



Peter Wagner, AICP
Development Director



HOPPE

TREE SERVICE

195 27th Street Caledonia, WI 5310



21700 DORAL ROAD
WAUKESHA WI 53186
262.432.1330
www.innovative-signs.com

Day View



Night View



www.Innovative-Signs.com

Customer

Hoppe Tree Service -
Illuminated Channel Letter Signs

Date	Project Manager
11/22/2023	Brad H.
Order #	Designer
EST 12880	Shawn H.

Materials & Specifics

Hoppe Tree Service
White LED Illuminated Channel Letter
Set 68"x 258"
Raceway mounted
4" Letter Depth

Wood Lab Illuminated Cabinet
96" circle

Colors

- Pantone 534c
- Full Color Digital Print
- White

Approval
Signature: _____



www.Innovative-Signs.com

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White



Overall Square Footage = 172 sq ft

Approval
Signature: _____