
PLANNING COMMISSION AGENDA
Monday, January 29, 2024 at 6:00 p.m.
Caledonia Village Hall – 5043 Chester Lane

1. Meeting Called to Order

2. Roll Call

3. Approval of Minutes

- A. Meeting Minutes – November 27, 2023
- B. Special Joint Meeting with Village Board Minutes – December 18, 2023

4. Public Comment: Provides citizens a two-minute opportunity to voice their opinions to the Plan Commission. The Plan Commission is unable to respond as any discussion may conflict with open meeting requirements.

5. Public Hearing and Possible Action on Items set for Public Hearing

- A. **CONDITIONAL USE & BUILDING, SITE, AND OPERATION PLAN REVIEW** – Review a request for a conditional use for a fenced, outdoor storage yard for related business equipment and materials and a building, site, and operation plan for the construction of a ±5,580 square-foot fenced, outdoor storage area located at 6228 Douglas Avenue submitted by Pete Sanfelippo, Applicant, Meade Inc., Owner. (Parcel ID No. 104-04-23-18-168-000)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/BER9CN4Y0I>
- B. **REZONE REVIEW**– Review a request to rezone a ±28.81-acre parcel located at 2115 5 ½ Mile Road from R-3, Single-Family Residential to I-1, Institutional District which better recognizes the existing use of a school on the parcel and provides the correct zoning district for future school expansion submitted by Jason Albrecht, Applicant, Racine Unified School District, Owner. (Parcel ID No. 104-04-23-17-082-000)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/XGA7YVXKSV>

6. New Business

- A. **BUILDING, SITE, & OPERATION PLAN REVIEW** – Review a building, site, and operation plan for the construction of two building expansion for the Olympia-Brown School building consisting of a total of ±42,992 square feet and other site improvements located at 2115 5 Mile Road submitted by Jason Albrecht, Applicant, Racine Unified School District, Owner. (Parcel ID No. 104-04-23-082-000)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/OYLAHWP8I0>
- B. **BUILDING, SITE, & OPERATION PLAN REVIEW** – Review a building, site, and operation plan for the construction of a ±651 square-foot accessory structure with solar array for the property located at 7133 Michna Road submitted by MaryLynn Conter Strack, Applicant, Sisters of St. Dominic, Owner. (Parcel ID No. 104-04-23-07-029-010) More information at Caledonia ZoningHub: <https://s.zoninghub.com/L4M9H0IQJJ>
- C. **PRELIMINARY PLAT AMENDMENT** – Review an amendment to the preliminary plat for the Homestead Acres Subdivision creating 75 lots with modification waiver requests related to Section 14-3-5(b) located on two parcels located north and east of 7500 Northwestern Avenue submitted by Nancy Washburn, Applicant, Newport Group LLC, Owner. (Parcel ID Nos. 104-04-22-34-081-010 & 104-04-22-35-029-030)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/3RD983MS4U>

- D. PRELIMINARY PLAT AMENDMENT – Review an amendment to the preliminary plat for the Audubon Arboretum Subdivision creating 120 lots with modification waiver requests related to Section 14-3-5(b) located on multiple parcels located at 6444 Charles Street submitted by Nancy Washburn, Applicant, Audubon Park-Racine LLC, Owner. (Parcel ID Nos. 104-04-23-17-084-000, 104-04-23-17-085-000, 104-04-23-17-086-005, & 104-04-23-17-083-000)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/MLUKZRB368>
- E. PRELIMINARY PLAT AMENDMENT – Review an amendment to the preliminary plat for Catlyn Woods Subdivision located at 6235 Middle Road, creating 68 lots with modification waiver requests related to Section 14-3-5(b) & 14-3-4(c)(2)(c)(i)(b) submitted by Nancy Washburn, Applicant, Middle Road Investments LLC, Owner. (Parcel ID No. 104-04-23-17-072-000)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/67PKGMMCLC>
- F. CERTIFIED SURVEY MAP – Review the proposed combination of three existing parcels into one parcel located at 5915, 5919, 5945 Erie Street (now Water’s Edge Drive) submitted by Aaron Kock, Applicant, CCM-Caledonia LLC, Owner. (Parcel ID Nos. 104-04-23-21-003-030, 104-04-23-21-003-010, 104-04-23-21-003-020) More information at Caledonia ZoningHub: <https://s.zoninghub.com/QEJEEPM7QI>
- G. PRELIMINARY CONDOMINIUM PLAT – Review a preliminary condominium plat for the Water’s Edge Condominiums creating 93 units with modification waiver requests related to Section 14-3-5(b) located at 5915, 5919, 5945 Erie Street (now Water’s Edge Drive) submitted by Aaron Kock, Applicant, CCM-Caledonia LLC, Owner.
More information at Caledonia ZoningHub: <https://s.zoninghub.com/QY3HH4JCAZ>

7. Old Business

- A. CONCEPT SUBDIVISION PLAT REVIEW – Review a concept subdivision plat creating 14 lots for the parcel located at 5908 4 Mile Road submitted by Nancy Washburn, Applicant, TNG 23 LLC, Owner. (Parcel ID No. 104-0422-24-036-020)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/Z0V3I70HUZ>

8. Adjournment

Dated January 25, 2024

Jennifer Olsen
Caledonia Village Clerk

Only Commission members are expected to attend. However, attendance by all Board members (including non-members of the Plan Commission) is permitted. If additional (non-commission) Board members attend, three or more Board members may be in attendance. Section 19.82(2), Wisconsin Statutes, states as follows: If one-half or more of the members of a governmental body are present, the meeting is rebuttably presumed to be for the purposes of exercising the responsibilities, authority, power or duties delegated to or vested in the body. To the extent that three or more members of the Caledonia Village Board actually attend, this meeting may be rebuttably presumed to be a “meeting” within the meaning of Wisconsin’s open meeting law. Nevertheless, only the commission’s agenda will be discussed. Only commission members will vote. Board members who attend the commission meeting do so for the purpose of gathering information and possible discussion regarding the agenda. No votes or other action will be taken by the Village Board at this meeting.

1. Meeting called to order

President Weatherston called the meeting to order at 6:00 pm at the Village Hall, 5043 Chester Lane, Racine, WI.

2. Roll Call/Introductions

Members present: Tom Knitter, Joe Kiriaki, Michael Moore, Ami May, Ron Bocciardi, Trustee Pierce and President Weatherston.

Absent: None.

Also present: Development Director Peter Wagner, Planner/Zoning Administrator Todd Roehl, Director of Public Services Tony Bunkelman, Village Administrator Kathy Kasper and Village Attorney Elaine Ekes. Trustee Martin was also present.

Trustee Pierce asked about a missing item regarding the Crawford subdivision plat on the agenda. Wagner stated that the applicant asked for more time for this item, therefore it was not added to the agenda.

3. Approval of Minutes

Motion by Pierce to approve the minutes from October 30, 2023. Seconded by May. Motion carried unanimously.

4. Public Comment

None.

5. Public Hearing and Possible Action on Items set for Public Hearing

5A. TEXT AMENDMENT – Review a proposed text amendment that will repeal and replace Title 16, Chapter 13, Floodplain Regulations for required updates as prescribed by the Federal Emergency Management Agency and Wisconsin Department of Natural Resources, submitted by Village of Caledonia

This is a text amendment to repeal and replace Title 16, Chapter 13: Floodplain regulations. This is done periodically when the Federal Emergency Management Agency updates their floodplain regulations. Staff worked with the Wisconsin DNR to be compliant with the FEMA floodplain maps. The Village has an option to incorporate language for nonconforming structures in the floodplain that need replacement or repair to allow the municipalities to waive the 50% requirement of the valve of the structure. Staff recommended not including this language and staying at the 50% requirement that is currently in place.

Public Hearing opened at 6:09PM

President Weatherston asked three times if anyone wanted to speak in favor of this proposal.

In Favor:

Fran Martin, 5630 5 Mile Road - Is wondering if this affects the residents that live around the root river.

President Weatherston asked three times if anyone wanted to speak against this proposal.

Against:

None.

Public Hearing closed at 6:11PM

5A. Commission Deliberation

Motion by Pierce to recommend approval to the Village Board to repeal and replace Title 16, Chapter 13, Floodplain Regulations for required updates as prescribed by the Federal Emergency Management Agency and Wisconsin Department of Natural Resources, submitted by Village of Caledonia.

Seconded by Kiriaki.

Motion carried unanimously.

5B. REZONE & CONDITIONAL USE REVIEW – Review a request to rezone a ±5.994-acre parcel located at 13038 Golf Road and a ±40.25-acre parcel located directly east of 13038 Golf Road from A-2, Agricultural District to M-3, Heavy Manufacturing District and a request for a conditional use for the future development of one bio-solid storage building for the parcels submitted by Dan Hintz, Applicant, Racine County and Hintz Real Estate Development Company, Owners. (Parcel ID Nos. 104-04-22-31-021-000 & 104-04-22-31-007-000)

The applicant is requesting to rezone 5.994 acres and 40.25 acres of two parcels from A-2, Agricultural to M-3, Heavy Manufacturing District for the future development of a bio-solids storage building. This requires both a rezone and a conditional use for the sites. The M-3 district would be consistent with the land use plan and the future use of this site. Staff have worked with the property owner as well as Racine County, to identify potential sites for this use, and this site was identified as the best site for the location for this type of industrial use.

Conditions will be considered if the Plan Commission recommends approval to the Village Board. Back in 2013 this was approved at a different site. All the conditions from that are included in the conditions of this approval as well as some new conditions that are outlined in Wagner's memo.

Public Hearing opened at 6:23PM

President Weatherston asked three times if anyone wanted to speak in favor of this proposal.

In Favor:

Dan Hintz, 4101 CTH V, is asking that the conditions are considered to change the extension condition allowing the applicant to request the use to continue if the contract gets extended.

President Weatherston asked three times if anyone wanted to speak against this proposal.

Against:

None.

Public hearing closed at 6:27PM

5B. Commission Deliberation

Trustee Pierce stated that she has heard complaints about odor at this property and was wondering if the surrounding properties were notified.

Ron Bocciardi asked about 10-year extension and about the 10-year check in. Staff explained how an extension and/or check-in process would work if included in the conditions of approval.

Kiriaki asked if this was discussed with staff and if the matter should be held until such time staff and the applicant come to an agreement regarding the expiration of the conditional use. Staff stated that they would work with the applicant to address the possibility of requesting an extension in ten years and have the language in place when the review goes to the Village Board.

REZONE

Motion by Pierce to recommend approval to the Village Board that the ±5.994-acre parcel located at 13038 Golf Road and the ±40.25-acre parcel located directly east of 13038 Golf Road be rezoned from A-2, Agricultural District to M-3, Heavy Manufacturing District for the following reason:

1. The proposed rezoning is in accord with the 2035 Land Use Plan industrial/business park land use designation for the subject property.

Seconded by Knitter.

Motion carried unanimously.

CONDITIONAL USE

Motion by Pierce to recommend approval to the Village Board that the conditional use allowing the construction of a 72'x420' storage building to operate a bio-solid storage facility with no outdoor storage for the parcel located at 13038 Golf Road and the parcel directly east of 13038 Golf Road with conditions outlined in Exhibit A with the amendment to Section 26 including language allowing for an extension of the use in ten years and allowing for the repurposing of the building with Village approval.

Seconded by Bocciardi.

Kiriaki asked if Mr. Hintz was okay with these changes and whether this should be held until language is crafted addressing the extension. Hintz stated that he can work with staff to address the extension and building repurpose language before going to the Village Board for approval. Wagner stated that he can work with the applicant to draft language that would be acceptable to both the Village and applicant prior to Village Board review.

Ekes recommended that this item be moved forward to the Village Board otherwise this will have to wait until the January meeting.

Roll Call

AYE – Knitter AYE – Pierce
AYE – Bocciardi AYE – Weatherston
AYE – May NAY – Kiriaki
AYE - Moore

Motion Carried 6-1.

5C. REZONE & CONDITIONAL USE REVIEW – Review a request to rezone ±2.488 acres of a ±4.29-acre parcel located east of 5333 Douglas Avenue from R-7, Multi-Family Residential (Legacy District) to Rm-1, Multi-Family Residential District and a request for a conditional use to construct a 73-unit senior-living apartment building submitted by Alf McConnel, Applicant, McConnell Trust Alfred G, Owner. (Parcel ID No. 104-04-23-20-102-131)

In 2009 the applicant received approval for a senior-living apartment building on this parcel. Since that time, the applicant has requested and received extensions on the conditional use. Due to the length of time since the original approval, the applicant has been required to go through the conditional use review process again. Any apartment building greater than eight units and is to be used as a senior-living facility requires conditional use. In addition to the conditional use request, the applicant is requesting a rezoning of the parcel to reflect the current multi-family residential zoning district. There are no differences in zoning regulations between the old R-7 District and the new RM-1 District. The rezone change will update the zoning classification to the current multi-family residential zoning district naming convention.

Public Hearing opened at 6:45PM

President Weatherston asked three times if anyone wanted to speak in favor of this proposal.

In Favor:

None.

President Weatherston asked three times if anyone wanted to speak against this proposal.

Against:

Fran Martin, 8630 5-mile road, stated that when this was addressed 6 years ago, there were issues with the neighbors regarding the height of the building. She asked if their neighbors were notified. Staff responded to the comment and clarified that the project Martin was referencing was for the property located north of the property being considered this evening and that the residents along 4 ½ Mile were outside the 300-foot notification buffer for this rezone and conditional use request.

Public Hearing closed: 6:47PM

5C. Commission Deliberation

REZONE

Motion by Moore to recommend approval to the Village Board that ±2.488 acres of the ±4.26-acre parcel located directly east of 5333 Douglas Avenue from R-7, Multi-Family Residential District to RM-1, Multi-Family Residential District for the following reasons:

1. The proposed rezoning is in accord with the 2035 Land Use Plan high density residential land use designation for the subject property.
2. The rezoning will reclassify the legacy zoning district, R-7, Multi-Family Residential District to the current RM-1, Multi-Family Residential District.

Seconded by Pierce.

Motion carried unanimously.

CONDITIONAL USE

Motion by Bocciardi recommending that the Village Board approve the request for a conditional use allowing the construction and utilization of a 73-unit senior-living apartment building for the parcel located directly east of 5333 Douglas Avenue with conditions outlined in Exhibit A for the following reasons:

1. The proposed use is allowed by underlying zoning through the conditional use review process.
2. The proposed use is consistent with the 2035 Land Use Plan designating high density residential land use for the parcel.
3. The Proposed use is consistent with the approved Planned Unit Development Overlay District regulations.

Seconded by Knitter.

Motion carried unanimously.

5D. REZONE & CONDITIONAL USE REVIEW – Review a request to rezone ±22.5 acres of a ±28.95-acre parcel from B-4, Planned Business District (Legacy District) & A-2, Agricultural District to B-3, Highway Business District and to request a conditional use for a future commercial development of a logistic business with outdoor storage located directly east of 5735 USH 41 submitted by Pavle Dunder, Applicant, John & Bridget Pettinger, Owners. (Parcel ID No. 104-04-22-19-038-000)

The applicant is looking for a rezone and a conditional use. The property is currently zoned B-4, Planned Business District (Legacy District) and A-2, Agricultural District. The applicant is looking to rezone the western portion of the parcel to B-3, Highway Business District which is a zoning district that is consistent with the Village land use plan. According to Smart Growth Law, the zoning must be consistent with the land use plan. The eastern six acres of the parcel will remain A-2, Agricultural District and cannot be developed. This area will act as a buffer area of open space to the residential area to the east. Staff recommends approval as the rezone request is consistent with the land use plan for commercial use.

The applicant is also requesting a conditional use approval for the future use of the property as a truck logistic business with outdoor storage of semi-tractors and trailers. If the conditional use is approved, the applicant will be required to come back for the Plan Commission and Village Board for building, site, and operation plan review and approval.

Public Hearing opened at 6:55PM

President Weatherston asked three times if anyone wanted to speak in favor of this proposal.

In Favor:

**Plan Commission Meeting
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Deja Junior, located in Milwaukee, is the buyer agent for the applicant. She described the proposed business wishing to relocate to this site and provided business operational details.

Millie Milinic, a representative of the business proposing to locate on the site stated she was here to answer any questions the Plan Commission may have regarding the business.

President Weatherston asked three times if anyone wanted to speak against this proposal.

Against:

Fran Marin, 5630 5 Mile Road, is concerned when there is a new commercial area she is always concerned with the buffers when it comes to residential areas. She is asking if those people have also been notified. Staff stated that everyone within 300 feet was notified of the rezone and conditional use request.

Public Hearing closed: 7:01PM

5D. Commission Deliberation

May stated that she saw open space on the picture presented and is questioning if the agricultural land on the parcel is being added to the existing buffer zone. Staff stated that the agricultural land on the east end will act as a buffer area to the residential area to the east.

REZONE

Motion by Pierce to recommends that the Village Board recommends approve the rezoning of ± 22.5 acres of a ± 28.95 -acre parcel located directly east of 5735 USH 41 from B-4, Planned Business District (Legacy District) and A-2, Agricultural District to B-3, Highway Business District for the following reason:

1. The proposed rezoning is in accord with the 2035 Land Use Plan commercial land use designation for the subject property.

Seconded by May.

Motion carried unanimously.

CONDITIONAL USE

Motion by Kiriaki recommending that the Village Board approve the conditional use allowing the operation of a truck logistic business with outdoor storage of semi tractors and trailers for the parcel located directly east of 5735 USH 41 with conditions outlined in Exhibit A for the following reasons:

1. The proposed use is allowed by underlying zoning through the conditional use review process.
2. The proposed use is consistent with the 2035 Land Use Plan designating commercial use for the parcel

Seconded by Pierce

Motion carried unanimously.

6. New Business

6A. LAND ACQUISITION – Review Plan Commission Resolution 2023-03 recommending the transfer of ownership of a parcel (totaling ± 5.994 acres) located at 13038 Golf Road from Racine

County to the Village of Caledonia submitted by Village of Caledonia, Applicant, Racine County, Owner. (Parcel ID No. 104-04-22-31-021-000)

The Village has been working with the property owner of the South Hills Golf Course for over a year regarding future development of the area along the interstate. As part of the discussions with the property owner, we identified that the existing bio-solid storage building located on the golf course property would be an obstruction to future development of the land along the interstate. During this time, staff has worked with the property owner to identify parcels inside and outside the Village that could be suitable for the relocation of the bio-solid building. After much research, staff recommended a solution to relocate the building to the property located directly east of 13038 Golf Road. The owner analyzed the site and concluded that the relocation to the vacant parcel located east of 13038 Golf Road could work if the parcel at 13038 Golf Road was acquired for access purposes to the new location of the bio-solid building.

Racine County is the owner of the property at 13038 Golf Road. Staff reviewed the proposed relocation with the County and the County agreed that the transfer of land to the Village, and ultimately to Hinz Real Estate Company LLC, would be acceptable with the understanding that the transfer of land would economically benefit the Village and County.

When there is a land acquisition or sale, the Plan Commission is tasked with determining if a land transfer is consistent with Village plans and must adopt a resolution stating that the land transfer is not inconsistent with Village plans such as the Village Comprehensive Plan. Staff recommends adopting Resolution PC2023-003 regarding the land transfer.

Motion by Bocciardi to adopt Resolution PC2023-03 approving the transfer of ownership of a parcel located at 13038 Golf Road from Racine County to the Village of Caledonia.

Seconded by Moore.

Trustee Pierce asked if we are accepting the land from Racine County and selling it or giving it to the applicant. Staff explained that there will be a development agreement between the property owner and the Village regarding the transfer of land and what costs that will be charged as part of the transfer.

Motion carried unanimously.

6B. BUILDING, SITE, & OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction of a ±252 square-foot storage building located at 8334 CTH V submitted by St. Nikola Free Serbian Orthodox Church, Applicant, St. Nikolas' Association Inc., Owner. (Parcel ID No. 104-04-22-06-057-000)

When an owner of a nonresidential parcel wants to construct a building or modify the property, they are required to go before the Plan Commission and Village Board for site plan approval. They are proposing to construct a storage building on the site to store equipment related to park uses on the property. Staff explained that the proposed building complies with Village regulations for accessory buildings in the park district.

Motion by Kiriaki recommending to the Village Board that the building, site, and operational plan for the construction of a ±252 square-foot storage building located at 8334 CTH V be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.

2. The proposed use is consistent with the existing use on the property

Seconded by Knitter.

Motion carried unanimously.

6C. BUILDING, SITE, & OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction of a ±647 square-foot building expansion for the Franksville Market building located at 10616 Northwestern Avenue submitted by Rajwinder Singh, Applicant, Franksville Market LLC, Owner. (Parcel ID No. 104-04-22-32-029-000)

The applicant is looking to add an addition on the north and east of the existing commercial building on the property. The purpose of the addition is to expand cooler and freezer space as part of the convenience store operations. In addition to the storage addition, they are proposing to add a stairwell on the south elevation which will provide a private entrance to the residential unit on the second floor. Currently, there is a stairwell inside the convenience store accessing the second floor. The addition meets the setback requirements for the zoning district. The applicant is proposing to create a screen wall around the coolers to hide the metal exterior of the coolers. The screen wall will match the existing exterior color and material on the building. Staff recommend approval of the site plan with the condition that it complies with Village regulations. One issue that will need to be addressed is the location of existing water and sanitary laterals where the building additions are to be located.

Motion by Pierce that the Plan Commission recommend approval to the Village Board that the building, site, and operational plan for the construction of a ±647 square-foot addition to the existing commercial building located at 10616 Northwestern Avenue be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed use is consistent with the existing use on the property.

Seconded by Moore.

Motion carried unanimously.

7. Adjournment

Meeting adjourned at 7:20PM

Respectfully submitted,
Megan O'Brien
Public Services Administrative Coordinator

**SPECIAL JOINT MEETING WITH
CALEDONIA VILLAGE BOARD
AND CALEDONIA PLAN COMMISSION
December 18, 2023**

Board Present: Trustee Stillman, Trustee Lambrecht, Trustee Martin, and President Weatherston

Plan Commissioners Present: Commissioners Tom Knitter, Joe Kiriaki, Michael Moore and Ron Bocciardi

Excused: Ami May, Trustees McManus, Wishau and Pierce

Staff/Others: Also present were Public Services Director Anthony Bunkelman, Finance Director Wayne Krueger, Administrator Kathy Kasper, Development Director Pete Wagner, Fire Chief Henningfeld and Attorney Ekes

1. Call the meeting to order

President Weatherston called the meeting to order at 6:00 p.m. at Village Hall, located at 5043 Chester Lane, Racine, Wisconsin.

Roll call: Trustee Stillman, Trustee Lambrecht, Trustee Martin, and President Weatherston, Commissioners Tom Knitter, Joe Kiriaki, Michael Moore and Ron Bocciardi.

2. Public Hearing

A. TEXT AMENDMENT – Review a proposed text amendment that will amend Title 16, Chapter 13, Floodplain Regulations for required updates as prescribed by the Federal Emergency Management Agency and Wisconsin Department of Natural Resources, submitted by Village of Caledonia.

Public Hearing Opened at 6:02pm

President Weatherston asked three times if anyone wanted to speak in favor of this proposal.

No comments

President Weatherston asked three times if anyone wanted to speak in opposition of this proposal.

No comments

Public Hearing Closed at 6:03pm

3. New Business

3A. TEXT AMENDMENT – Possible Recommendation by Plan Commission and Possible Action by Village Board regarding Ordinance 2023-28 – An Ordinance To Amend Title 16, Chapter 13 Of The Code Of Ordinances For The Village Of Caledonia Relating to Floodplain Regulations.

Discussion was had on the update to the floodplain regulation. Fran Martin asked Peter Wagner to confirm that if residential structure in the floodplain is destroyed by fire or other damage such as storms or tornados, that the property owner will be allowed to rebuild in the same location (not expand) in compliance with current codes. Peter agreed that, yes, the code would allow for this.

Plan Commission action:

Motion by Commissioner Kiriaki to approve Amending Title 16, Chapter 13 Of The Code Of Ordinances For The Village Of Caledonia Relating to Floodplain Regulations as presented. Seconded by Trustee Knitter. Motion carried, unanimously.

Village Board action:

Motion by Trustee Martin to approve Ordinance 2023-28 – An Ordinance To Amend Title 16, Chapter 13 Of The Code Of Ordinances For The Village Of Caledonia Relating to Floodplain Regulations. Seconded by Trustee Stillman. Motion carried, unanimously.

3B. VILLAGE BOARD ONLY - RESOLUTION 2023-136 Authorizing The Village Of Caledonia To Order A Ford F450 Chassis And Power Load System A Life Line Type I Ambulance From Jefferson Fire & Safety

Motion by Trustee Martin to approve Resolution 2023-136 Authorizing The Village Of Caledonia To Order A Ford F450 Chassis And Power Load System A Life Line Type I Ambulance From Jefferson Fire & Safety. Seconded by Trustee Stillman. Motion carried, unanimously.

3C. VILLAGE BOARD ONLY – RESOLUTION 2023-137- Authorizing The Village Of Caledonia To Purchase A Forcible Entry Training Prop From King Innovations, LLC.

Motion by Trustee Stillman to approve Resolution 2023-137- Authorizing The Village Of Caledonia To Purchase A Forcible Entry Training Prop From King Innovations, LLC. Seconded by Trustee Lambrecht. Motion carried, unanimously.

3D. VILLAGE BOARD ONLY – Update on Recruitment for Village Clerk/Treasurer and Custodian positions.

The Administrator gave an update on the Recruitment for the Village Clerk. Staff held interviews and has extended an offer for the Village Clerk/Treasurer. The appointment will be on the 1/9/24 village board agenda. Interviews for a custodian will be held in the new year.

3E. VILLAGE BOARD ONLY – Approval of AP list

Motion by Trustee Lambrecht to approve payment of the accounts payable listing in the amount of \$1,755,360.93. Seconded by President Weatherston. Motion carried, unanimously.

3F. VILLAGE BOARD ONLY – Participation In Settlement re McKinsey & Co., Inc. National Prescription Opiate Consultant Litigation; United States District Court of Northern California; Case No. 3:21-md-02996-CRB.

Attorney Ekes provided background on this item and a recommendation that the village remain as participants in the class settlement.

Motion by Trustee Lambrecht to continue participation in Settlement re McKinsey & Co., Inc. National Prescription Opiate Consultant Litigation; United States District Court of Northern California; Case No. 3:21-md-02996-CRB. Seconded by Trustee Stillman. Motion carried, unanimously.

4. Adjournment

President Weatherston Adjourned the meeting at 6:26 p.m.

Respectfully submitted,

Kathryn Kasper, Village Administrator



Meeting Date: January 29, 2024

Item No. **5a**

PLAN COMMISSION REPORT

Proposal: Conditional Use and Building, Site, and Operation Plan Reviews

Description: Request for a conditional use to operate a contractor's yard with outdoor storage of materials and equipment related to the business and approval of a building, site, and operation plan for outdoor storage located at 6228 Douglas Avenue.

Applicant(s): Pete Sanfelippo

Address(es): 6228 Douglas Avenue

Suggested Motions: That the Plan Commission recommends to the Village Board that a conditional use allowing the operation of a contractor's yard with outdoor storage of equipment and materials related to the business with conditions outlined in Exhibit A, located at 6228 Douglas Avenue be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the conditional use review process.
2. The proposed use is consistent with the 2035 Land Use Plan designating manufacturing use for the parcel.

That the Plan Commission recommends to the Village Board that the building, site, and operation plan for the constructions of a $\pm 5,580$ square-foot, gravel, outdoor storage yard with fencing located at 6228 Douglas Avenue be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site, and operation plan review process.
2. The proposed use complies with the approved conditional use conditions and restrictions for a contractor's yard with outdoor storage.

Owner(s): Meade Inc.

Tax Key(s): 104-04-23-18-168-000

Lot Size(s): 3.04 acres

Current Zoning District(s): M-2, General Manufacturing District

Overlay District(s): N/A

Wetlands: ☒ Yes ☐ No

Floodplain: ☐ Yes ☒ No

Comprehensive Industrial
Plan:

Background: A new tenant is occupying the existing manufacturing building located at 6228 Douglas Avenue. As part of their business, they require an area for outdoor storage of equipment and materials. This type of use is a conditional use in the M-2 District. In addition to the conditional use, the applicant is modifying the site to accommodate this type of use. This requires a building, site and operation plan review. Therefore, the Plan Commission will need to make two motions on the following proposal. One for the conditional use and the other for the building, site, and operation plan. Staff has drafted suggested motions for each proposal.

CONDITIONAL USE REVIEW

The applicant wishes to store equipment and materials in the rear and side yard of the property. To accommodate this use, the applicant is proposing to construct a 5,580 square-foot gravel pad along the north lot line and extend further west in the rear of the property. The applicant is proposing a six-foot white privacy fence that has a residential fence design. The fencing will extend along the north lot line and extend south to the point where the asphalt meets concrete paving. This will mitigate the visual impact the residents to the west and north will have if the conditional use is approved. The applicant is also proposing to incorporate a line of shrubs along the fence line to provide a more residential look to the site. Staff is proposing to prohibit any outdoor storage of equipment or materials in the street yard of the property. These conditions are outlined in Section 3 of Exhibit A which will be incorporated as part of the suggested motion. If the Plan Commission is comfortable with the conditional use as presented, staff has drafted a suggested motion.

BUILDING, SITE, AND OPERATION PLAN REVIEW

If the Plan Commission approves the requested conditional use for the operation of an outdoor storage yard, the next step is to review the proposed modifications to the property to accommodate the new use.

As illustrated on the site plan, the applicant is proposing to add a 5,580 square-foot gravel pad which will be bordered by a white vinyl privacy fence along the northern portion of the property. The applicant complies with Zoning Code Section 16-5-7(b): Buffer Yards, which states that manufacturing districts abutting a residential district must have a buffer yard of at least twenty feet in addition to district setbacks. The applicant is proposing a 25-foot setback which complies with the code. The applicant has provided a landscape plan showing vegetation spaced evenly along the fence line. No other modifications to the site are being proposed at this time.

If the Plan Commission is comfortable the requested conditional use and building, site, and operation plan, staff has drafted a suggested motion recommending approval.

Respectfully submitted:



Peter Wagner, AICP
Development Director

Exhibit A:

Conditional Use Permit

Conditions and Restrictions

6228 Douglas Avenue

Applicant: Peter Sanfelippo
Property Address(es): 6228 Douglas Avenue
Parcel ID No.: 104-04-23-18-168-000

Approved by Plan Commission: _____
Approved by Village Board: _____

1. LEGAL DESCRIPTION

Plat of a survey for **ERV NELSEN REAL ESTATE** of that part of the Southeast t and the Southwest t of Section 18, Township 4 North, Range 23 East, in the Town of Caledonia, Racine County, Wisconsin, bounded as follows: Begin at a point on the North-South t line of said Section located N00°29'27"W 1293.66 feet from a standard Racine County monument marking the South¼ corner of said Section; run thence S86°07'17"W 310.00 feet; thence N00°29'27"W 296.11 feet; thence N86°07'17"E 375.88 feet to the centerline of State Trunk Highway //32; thence S28°29'42"E 325.14 feet along said centerline; thence S86°07'18"W 218.81 feet to the point of beginning. Containing 3.070 acres. SUBJECT TO the rights of the public in and to State Trunk Highway #32.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

- A. All requirements of the Village of Caledonia Municipal Code are in effect and apply to this conditional unless modified as set forth herein.
- B. The conditional use as set forth in the application, narrative, and concept site plans received December 28, 2023 are incorporated hereby by reference and shall be modified to comply with these conditions and restrictions.
- C. A precise detailed site plan for the area affected by the conditional use, shall be submitted to, and approved by, the Plan Commission and Village Board prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) General Development Plan

- a) Detailed building/structure location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
- i) Location(s) and future expansion
- ii) Number & type(s) of dwellings
- iii) Number of garage & surface parking spaces
- iv) Dimensions
- v) Setbacks
- h) Location(s) of loading berth(s)
- i) Location of sanitary sewer (existing & proposed)
- j) Location of water (existing & proposed)
- k) Location of storm sewer (existing & proposed)
- l) Location(s) of wetlands (field verified)
- m) Location(s) and details of sign(s)
- n) Location(s) and details of proposed fences/gates

2) Landscape Plan

- a) Screening plan, including parking lot screening/berming
- b) Number, initial size, and type of plantings
- c) Percentage open/green space

3) Building Plan

- a) Architectural elevations (w/dimensions)
- b) Building floor plans
- c) Materials of construction (including colors)

4) Lighting Plan

- a) Types & color of fixtures
- b) Mounting heights
- c) Types & color of poles
- d) Photometrics of proposed fixtures

5) Grading, Drainage and Stormwater Management Plan

- a) Contours (existing & proposed)
- b) Location(s) of storm sewer (existing and proposed)
- c) Location(s) of stormwater management structures and basins (if required)

6) Fire Protection

- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction

- C. All plans for new buildings, additions, exterior remodeling, site modifications, and landscaping shall be submitted to the Plan Commission and Village Board for their review and approval prior to the issuance of a building permit.
- D. For any new buildings, additions, structures, and site modifications, site grading and drainage, stormwater management, and erosion control plans shall be submitted to the Village's Public Services Director for approval, if required. The Caledonia Utility District approval must be received prior to the issuance of any building permits.
- E. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of these properties.

3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

- A. Uses allowed on this property shall be limited to those allowed in the M-2 General Manufacturing zoning district, these Conditions and Restrictions, and all applicable sections of the Municipal Code.
- B. Allow the operation of a contractor's yard with outdoor storage of equipment and materials related to the business in only the side and rear yard of the property.
- C. Solid waste collection and recycling shall be the responsibility of the applicant.
- D. Removal of snow from off-street parking areas, walks, public sidewalks, private roads and access drives shall be the responsibility of the applicant. Snow shall not be stored in the public right-of-way.
- E. Fencing will be required to screen the outdoor storage area on the north and west sides and install a vegetative buffer.

4. PARKING AND ACCESS

Parking stall dimensions shall be in accordance with Title 16, Chapter 12 of the Municipal Code.

5. LIGHTING

Plans for new outdoor lighting shall be submitted for review and approval by the Electrical Inspector and/or Development Director in accordance with Title 16, Chapter 10, Section 4 of the Municipal Code. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway.

6. SETBACKS

The external setbacks for the planned unit development setbacks shall be at least as follows:

	Street Setback	Rear Setback	Side Setback
Principal Structure	40 ft	25 ft	20 ft
Parking	15 ft	5 ft	5 ft

Section 16-5-7(b): Buffer Yards apply, and an additional 20-foot setback requirement will be applied to above stated setbacks.

7. TIME OF COMPLIANCE

The operator of the conditional use shall commence work in accordance with these Conditions and Restrictions within eighteen (18) months from the date of adoption of the resolution authorizing this Conditional Use. This Conditional Use approval shall expire within eighteen (18) months after the date of adoption of the resolution if a building permit has not been issued for this use and substantial work has not commenced. The applicant shall reapply for a Conditional Use approval prior to recommencing work or construction.

8. OTHER REGULATIONS

Compliance with all other applicable Village, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

9. STORMWATER

The applicant must contact the Village of Caledonia Stormwater Utility District regarding Stormwater regulations for this site. Compliance with all regulations and requirements, as determined by the Village of Caledonia Stormwater Utility District is required. Stormwater management plans shall be submitted for approval and be in compliance with all Village requirements, as determined by the Public Services Director before permits are issued.

10. FIRE DEPARTMENT APPROVAL

Applicant shall obtain approval from the Village of Caledonia Fire Department and meet applicable codes.

11. CALEDONIA SEWER AND WATER UTILITY DISTRICTS

Applicant must contact the Caledonia Sewer and Water Utility Districts regarding Utility District regulations for this site. Compliance with all regulations and requirements, as determined by the Caledonia Sewer and Water Utility Districts is required.

12. SIGNAGE

The Village's signage requirements are set forth in Title 16 of the Village's Code of Ordinances. Any proposed advertising sign at the site will require a separate sign permit prior to installation. Please contact Village Zoning staff for advertising sign regulations and permit procedures. Banners, balloons, flashing or animated signs are prohibited.

13. NO ACCUMULATION OF REFUSE AND DEBRIS

Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.

14. PROPERTY MAINTENANCE REQUIRED

A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade. All drives shall be paved with asphalt. Parking areas shall be paved. Designated outdoor storage area may use crushed stone as an improved surface material. All drives and parking areas shall be maintained in a dust-free condition.

15. PERFORMANCE STANDARDS

The applicant must comply with the provisions of Title 16, Chapter 10, Section 4 of the Municipal Code, as adopted by the Village of Caledonia and any conditions established by subsequent Conditional Use Approvals.

16. ACCESS

The applicant must allow any Village employee full and unlimited access to the project site at a reasonable time to investigate the project's construction, operation, or maintenance.

17. COMPLIANCE WITH LAW

The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 9, 14, 16 and 18 of the Village of Caledonia Code of Ordinances.

18. REIMBURSE VILLAGE COSTS

Applicant shall reimburse the Village all costs incurred by the Village for review of this rezoning approval including but not limited to engineering, legal and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.

19. AMENDMENTS TO CONDITIONAL USE

No additions, deletions, or changes may be made to the project, site plan, or these conditions without the Village of Caledonia's prior approval. All addition, deletion, and/or change requests must be submitted to the Village of Caledonia in writing. A minor change to the conditions of this permit, as deemed by the Zoning Administrator, may be made at a staff level, if authorized by the Zoning Administrator.

20. BINDING EFFECT

These conditions bind and are applicable to the Applicant, property owner, successor and assigns, owner's association(s) and any other users of the Property with respect to the uses on the Property.

21. VIOLATIONS & PENALTIES

Any violations of the terms of these conditions and restrictions of this Conditional Use shall be subject to enforcement and the issuance of citations in accordance with Village Code of Ordinances. If the owner, applicant or operator of the Conditional Use is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the Village shall have the right to initiate revocation procedures for this Conditional Use, subject to the provisions of paragraph 9 herein. Nothing herein shall preclude the Village from commencing an action in Racine County Circuit Court to enforce the terms of this Conditional Use or to seek an injunction regarding any violation of this Conditional Use or any other Village ordinances.

22. REVOCATION

Should an applicant, its heirs, successors or assigns and any other users of the property fail to comply with the conditions and restrictions of the approval issued by the Village Board, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth in the Municipal Code.

23. AGREEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the Village or terminated by mutual agreement of the Village and the owner, and their subsidiaries, related entities, successors and assigns. Therefore, Peter Sanfelippo, Meade Inc.; its heirs, successors, and assigns, including all users, future owners, occupants and owner's association(s), are responsible for full compliance with the above conditions.

24. SUBSEQUENT OWNERS

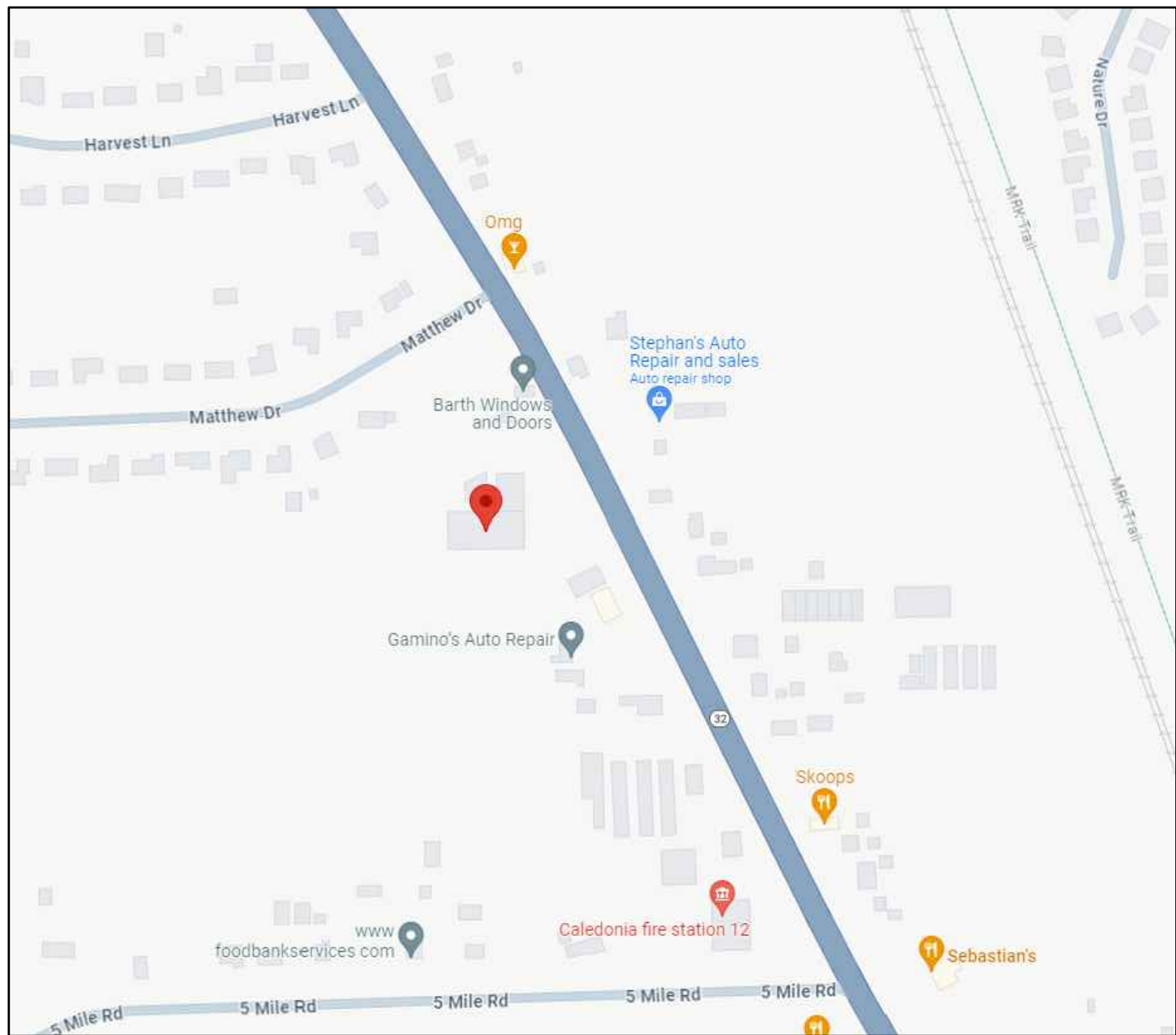
It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.

DRAFT





AREA MAP:



PROJECT: MEADE INC.

ADDRESS: 6228 DOUGLAS AVE.
RACINE, WI 53402

SHEET INDEX:

TS	TITLE SHEET
CIVIL DRAWINGS	
C1.01	EXISTING CONDITIONS PLAN
C1.02	PROPOSED SITE PLAN
C1.03	GRADING & EROSION CONTROL PLAN
C1.04	LANDSCAPE PLAN
C2.01	CONSTRUCTION NOTES & DETAILS
ARCHITECTURAL	
A1.0	SITE PLAN

PROJECT CONTACTS:

OWNER CONTACT: PETE SANFELIPPO
MEADE INC.
EMAIL: PS@MEADE100.COM

ARCHITECT: SHAUN SULLIVAN
ENVISION DESIGN LLC
342 N WATER ST. SUITE 600
MILWAUKEE, WI 53202
P: 262-327-4338

CIVIL ENGINEER: KEVIN PARISH
PARISH SURVEY & ENGINEERING
122 WISCONSIN STREET
WEST BEND, WI 53095
P: 262-346-7800

CONTRACTOR: T.B.D.

DATE: 01.25.2024

MUNICIPALITY: VILLAGE OF CALEDONIA

SEAL:

envision design
ARCHITECTURE

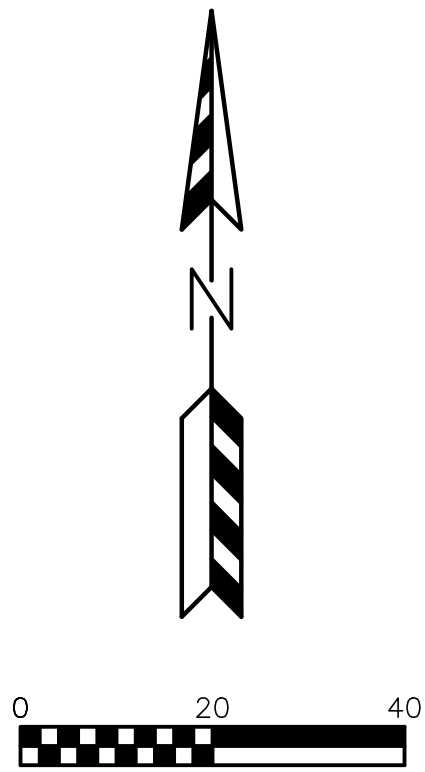
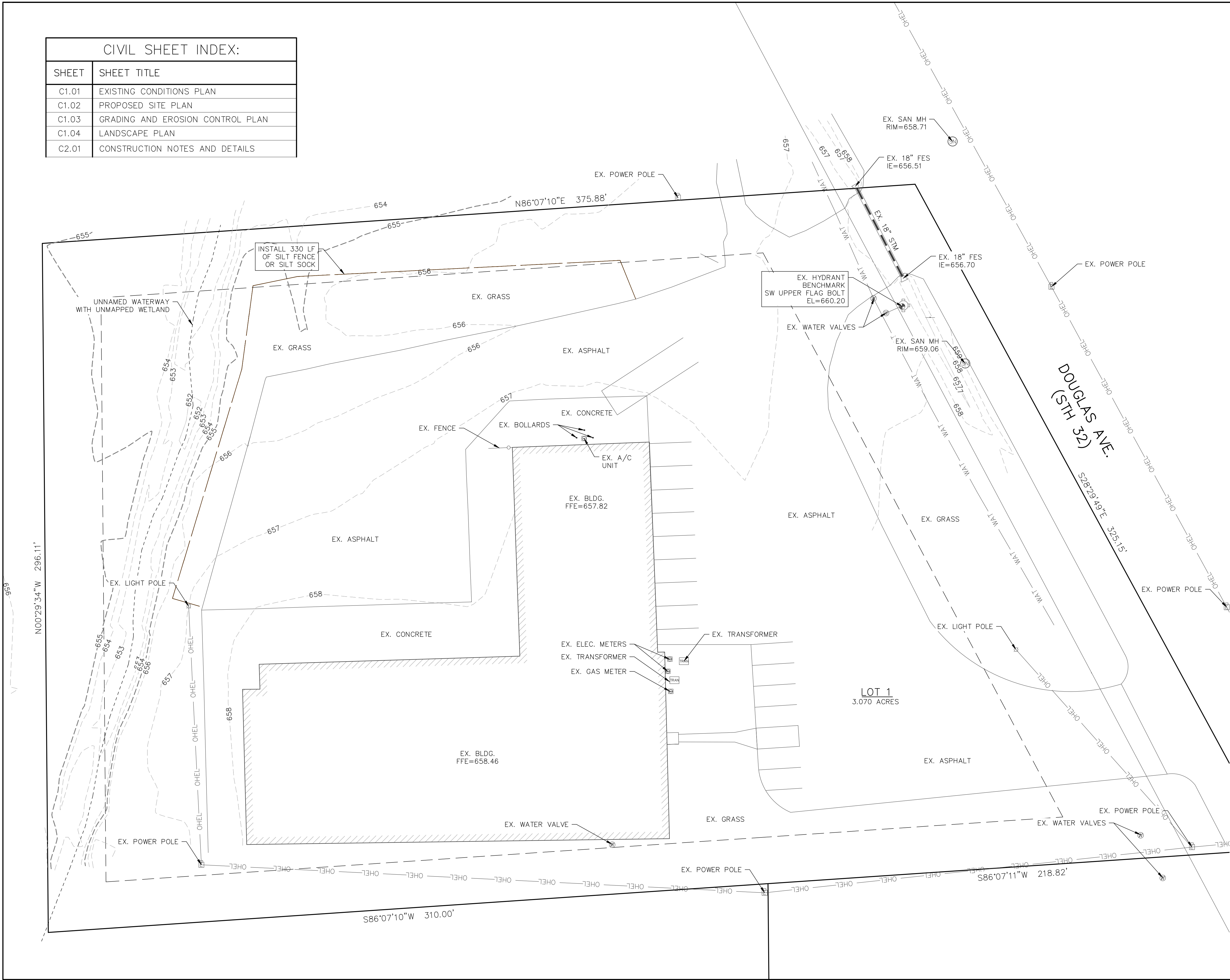
MEADE INC.
6228 DOUGLAS AVE.
RACINE, WI 53402

SHEET TITLE
TITLE SHEET

REVISIONS	
XX.XX.XXXX	XX.XX.XXXX
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XX.XX.XXXX	XX.XX.XXXX

PROJECT NUMBER	...
SET USE	PERMIT
DATE	01.25.2024
SHEET	TS

CIVIL SHEET INDEX:	
SHEET	SHEET TITLE
C1.01	EXISTING CONDITIONS PLAN
C1.02	PROPOSED SITE PLAN
C1.03	GRADING AND EROSION CONTROL PLAN
C1.04	LANDSCAPE PLAN
C2.01	CONSTRUCTION NOTES AND DETAILS



LEGEND:

- SILT FENCE/SILT SOCK
- 896 - - - - - EXISTING MINOR CONTOUR.
- -895- - - - - EXISTING MAJOR CONTOUR.
- OHEL - - - - - OVERHEAD ELECTRIC LINE.
- BuEl - - - - - BURIED ELECTRIC LINE.
- BuTel - - - - - BURIED TELEPHONE LINE.
- FO - - - - - FIBER OPTIC LINE.
- GAS - - - - - GAS LINE.
- SAN - - - - - SANITARY SEWER MAIN OR LATERAL.
- WAT - - - - - WATER MAIN OR SERVICE.
- - - - - STORM SEWER LINE.
- ELEC - - - - - ELECTRIC METER.
- GAS - - - - - GAS METER.
- GAS - - - - - GAS VALVE.
- FIRE - - - - - FIRE HYDRANT.
- PP - - - - - POWER POLE.
- SN - - - - - SANITARY SEWER MANHOLE.
- ST - - - - - STORM SEWER MANHOLE.
- SI - - - - - STORM SEWER INLET.
- T - - - - - TELEPHONE PEDESTAL.
- TRAN - - - - - TRANSFORMER.
- W - - - - - WATER VALVE.

REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

PSE
PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800
www.parishse.com

PROJECT TITLE:
**MEADE INC.
6228 DOUGLAS AVE.
RACINE, WI 53402**

PLAN TITLE:
**EXISTING
CONDITIONS
PLAN**

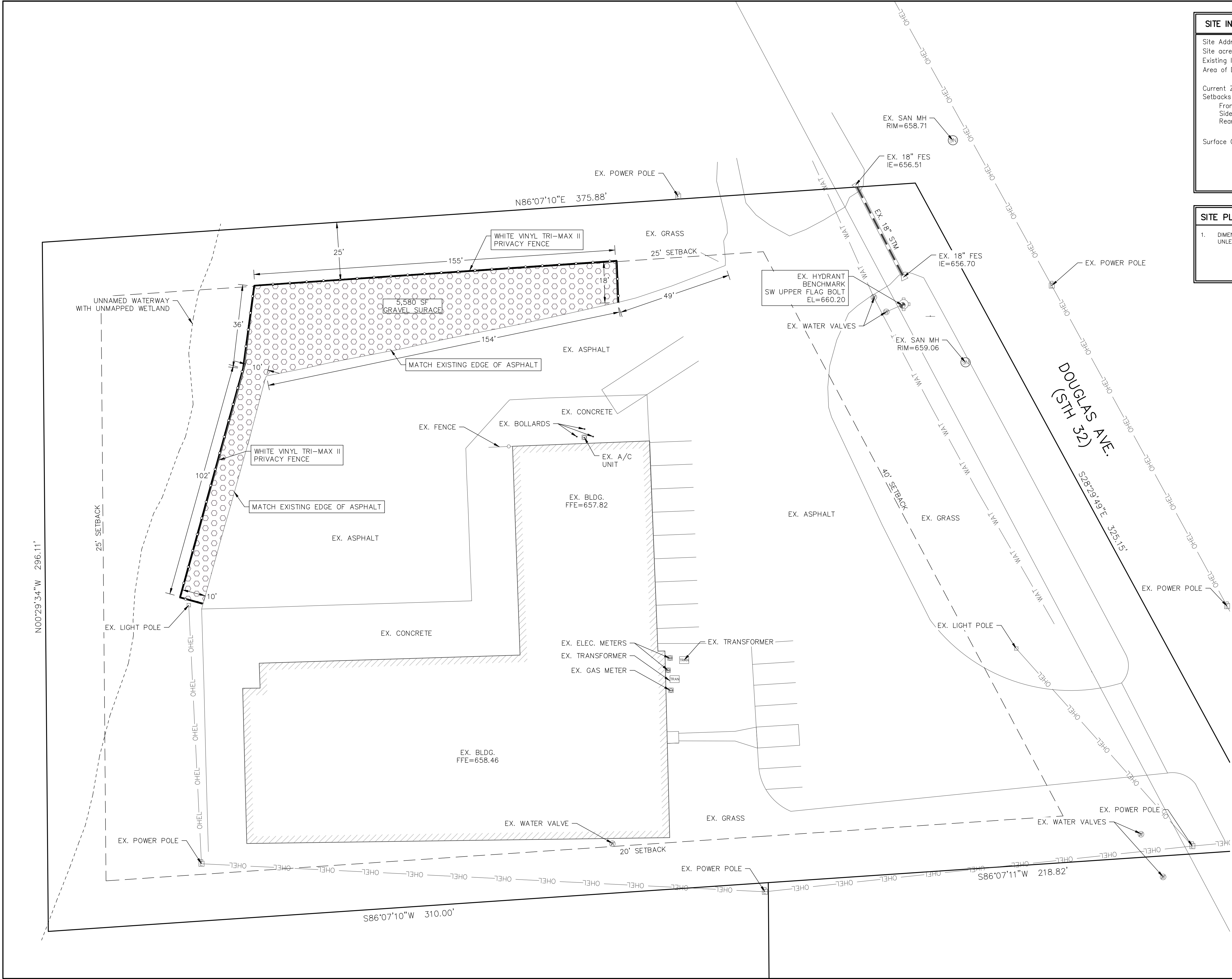
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DESIGNED BY:
EPN
CHECKED BY:
KJP

PLAN DATE:
1/25/2024

PROJECT NO:
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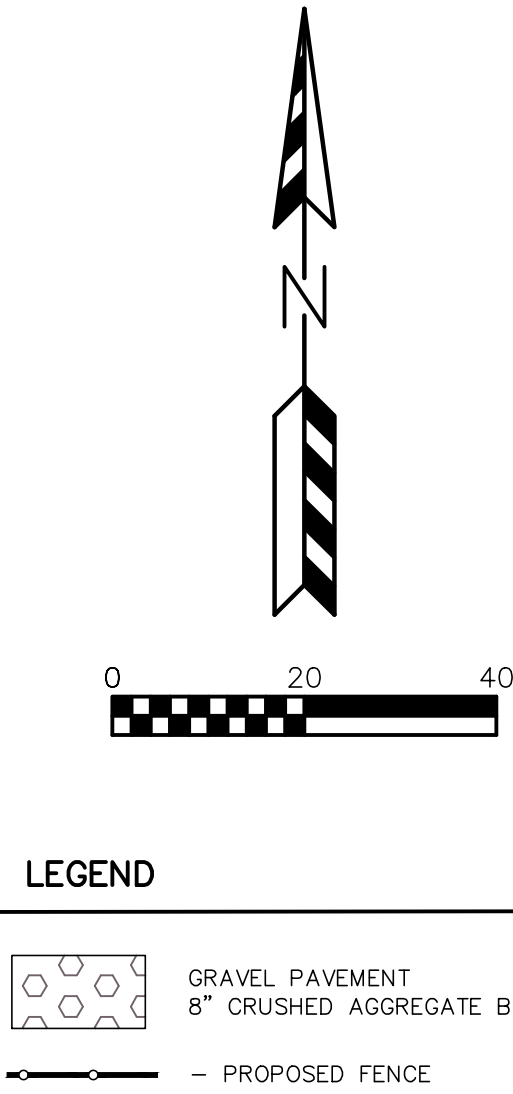
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SHEET NO:
C1.01



SITE INFORMATION BLOCK	
Site Address	6228 DOUGLAS AVE
Site acreage (total)	3.070 ACRES
Existing Impervious Area	1.670 ACRES
Area of Disturbance	0.110 ACRES
Current Zoning	M-2
Setbacks Building/Pavement	
Front	40'
Side	25'
Rear	25'
Surface Coverage Total:	
Impervious	77,414 SQ FT (1.78 Acres)
Pervious	56,299 SQ FT (1.29 Acres)
Total	133,713 SQ FT (3.07 Acres)
Impervious Percentage	57.9%

SITE PLAN NOTES:	
1.	DIMENSIONS ARE TO EDGE OF PAVEMENT AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.



LEGEND	
	GRAVEL PAVEMENT
	8" CRUSHED AGGREGATE BASE COURSE
	PROPOSED FENCE

REVISIONS:	
NO.	DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

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122 Wisconsin Street, West Bend, WI 53095
262.346.7800 www.parishse.com

PROJECT TITLE:
**MEADE INC.
6228 DOUGLAS AVE.
RACINE, WI 53402**

PLAN TITLE:
**PROPOSED
SITE PLAN**

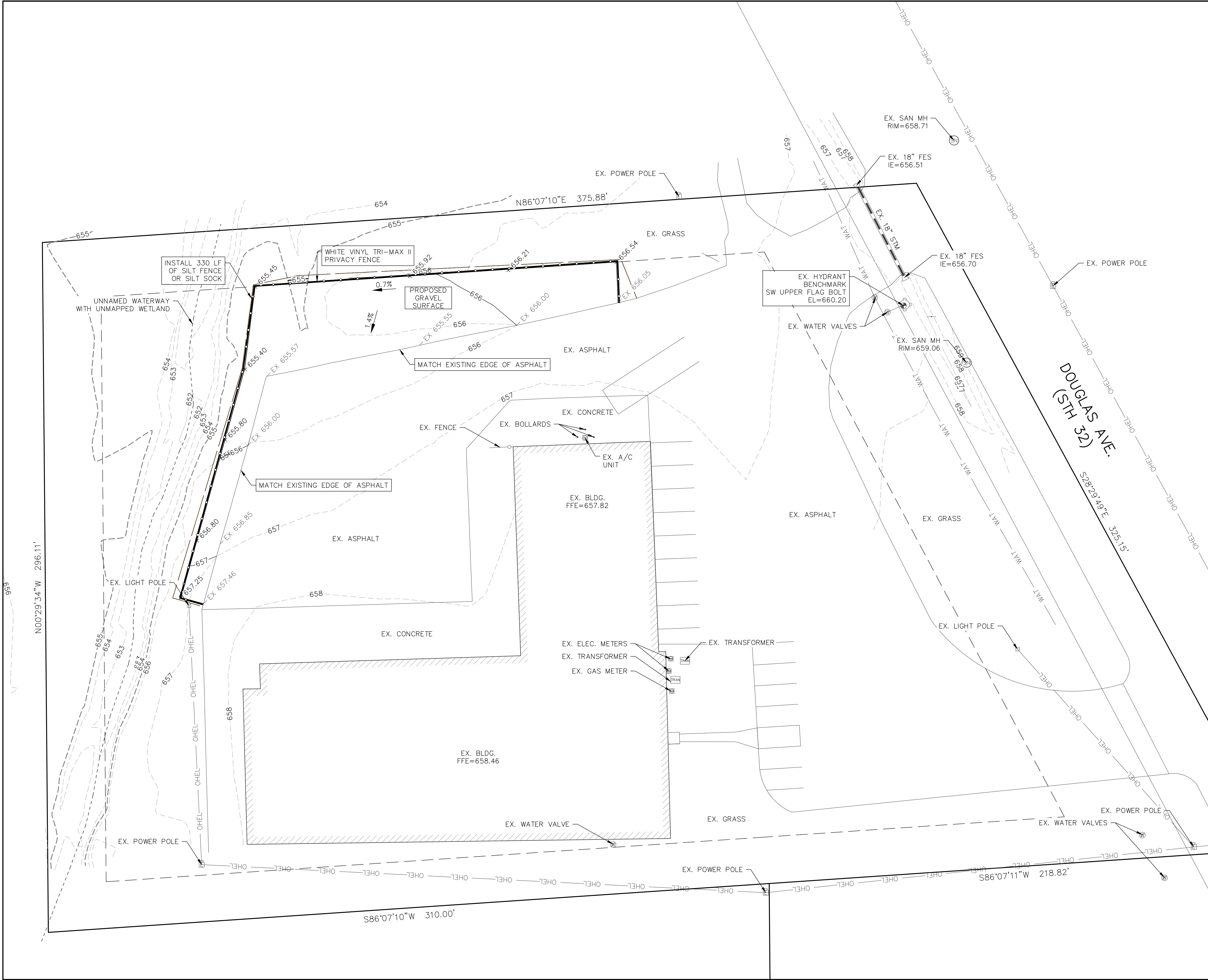
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DESIGNED BY:
EPN
CHECKED BY:
KJP

PLAN DATE:
1/25/24

PROJECT NO:
\ED-14-23

PERMIT SET

SHEET NO:
C1.02



- LEGEND:**
- 936 --- - EXISTING MINOR CONTOUR.
 - 935 --- - EXISTING MAJOR CONTOUR.
 - 936 --- - PROPOSED MINOR CONTOUR.
 - 935 --- - PROPOSED MAJOR CONTOUR.
 - EX 934.23 - EXISTING SPOT ELEVATION.
 - 934.23 - PROPOSED SURFACE ELEVATION.
 - - EXISTING STORM SEWER.
 - - INSTALL SILT FENCE.

STAGES OF CONSTRUCTION TIME SCHEDULE:

APRIL 1, 2024

1. INSTALL SITE SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCES AS SHOWN ON PLANS. ANY ADDITIONAL CONSTRUCTION ENTRANCES IF APPROVED BY THE VILLAGE OF CALEDONIA SHALL HAVE A TRACKING PAD.

APRIL 1, 2024 - JUNE 1, 2024

2. STRIP TOPSOIL WITHIN THE LIMITS OF THE WET DETENTION PONDS AND CONSTRUCT A TEMPORARY STOCKPILE, TO BE SEED AND SILT FENCE PLACED AROUND THE PERIMETER.
3. BEGIN PROPOSED SITE GRADING - RESEED SECTIONS OF PROJECT THROUGHOUT THE GRADING PROCESS TO MINIMIZE RUN-OFF.
4. INSTALL GRAVEL SURFACING
5. APPLY FINAL STABILIZATION TO ENTIRE SITE.

JUNE 2 - 15, 2024

ALL PERMANENT SEEDING SHALL BE COMPLETED BY SEPTEMBER 15. ALL TEMPORARY SEEDING SHALL BE COMPLETED BY OCTOBER 15 (REFER TO DNR STANDARD 1059.)

SPREAD SALVAGED OR IMPORTED TOPSOIL IN PROPOSED LANDSCAPE AREAS AND RESTORE.

CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS. NOTIFY VILLAGE OF CALEDONIA PRIOR TO CHANGE.

AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPs SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT THE THE MAXIMUM EXTENT PRACTICABLE

REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED AND STABILIZE AND AREAS DISTURBED BY REMOVAL OF BMPs.

REVISIONS:		
NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX

PSE
PARISH SURVEY & ENGINEERING
 122 Wisconsin Street, West Bend, WI 53095
 262.346.7800 www.parishse.com

PROJECT TITLE:

**MEADE INC.
 6228 DOUGLAS AVE.
 RACINE, WI 53402**

PLAN TITLE:

**GRADING
 AND EROSION CONTROL
 PLAN**

DRAWN BY:

EPN

DESIGNED BY:

EPN

CHECKED BY:

KJP

PLAN DATE:

1/25/2024

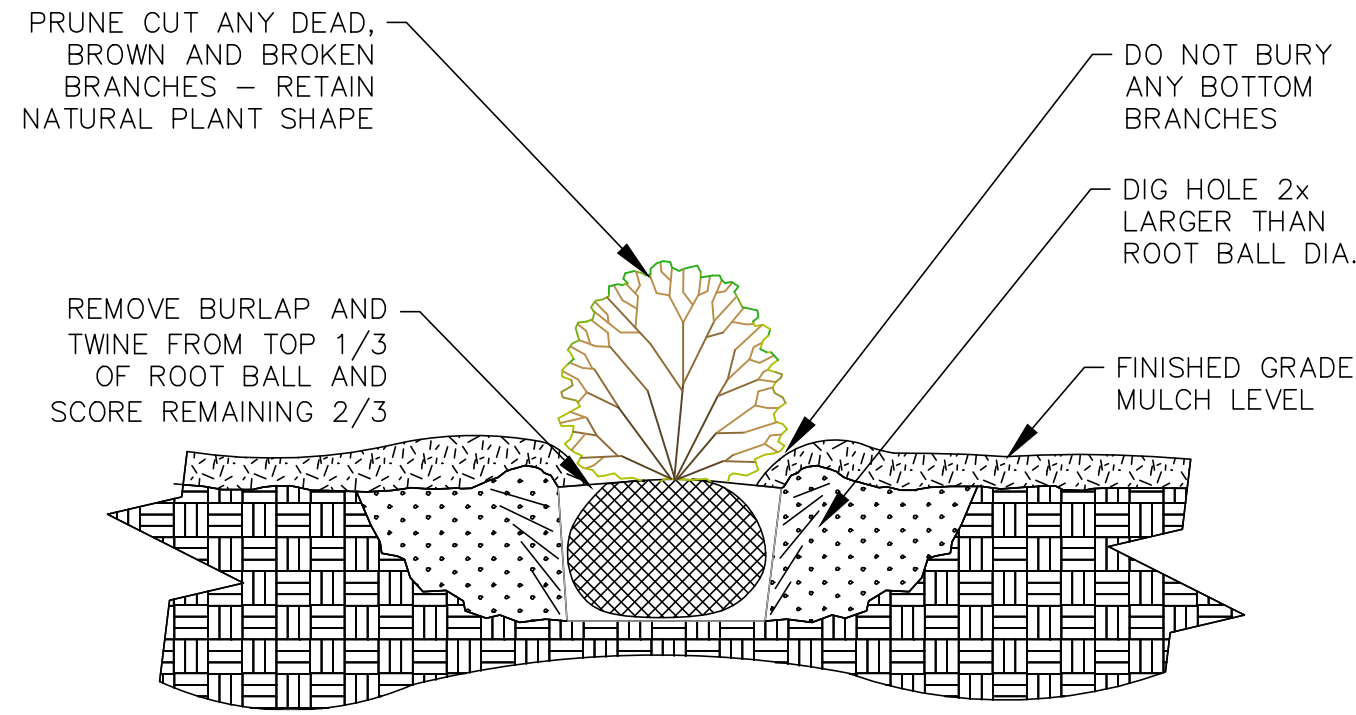
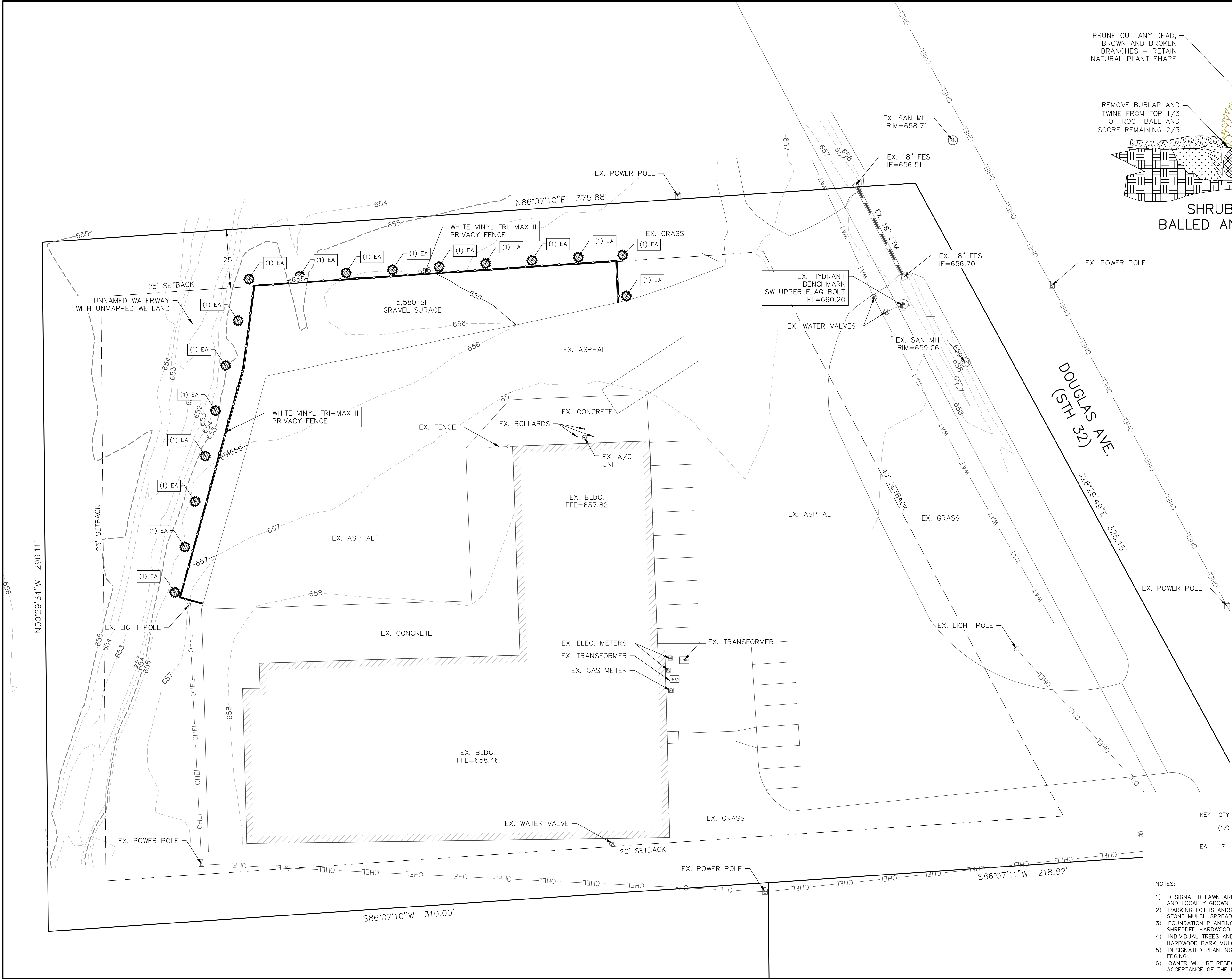
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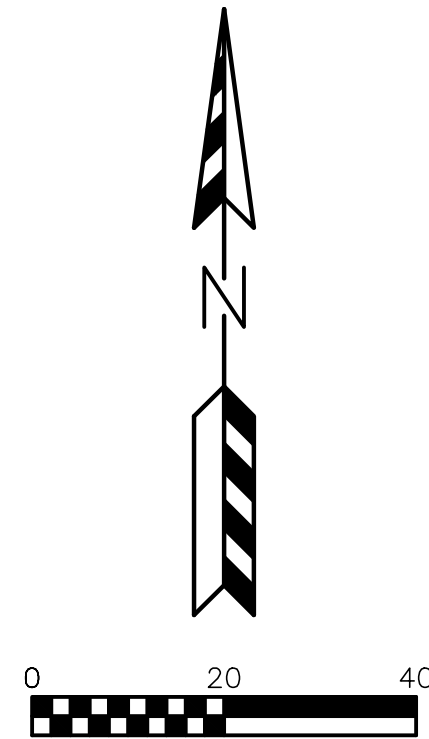
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SHEET NO:

C1.03



SHRUB PLANTING
BALLED AND BURLAPPED



PLANT LIST			
KEY	QTY	SIZE	COMMON NAME
(17)			UPRIGHT EVERGREEN SHRUBS
EA	17	4"	EMERALD ARBORVITAE

- NOTES:
- 1) DESIGNATED LAWN AREAS TO RECEIVE A MINIMUM OF 6" OF TOPSOIL, STARTER FERTILIZER, AND LOCALLY GROWN BLUEGRASS SOD.
 - 2) PARKING LOT ISLANDS AND DESIGNATED PLANTING BEDS TO BE MULCHED WITH #2 WASHED STONE MULCH SPREAD TO A DEPTH OF 3" OVER WEED BARRIER FABRIC.
 - 3) FOUNDATION PLANTING BEDS AND DESIGNATED PLANTING BEDS TO BE MULCHED WITH SHREDDED HARDWOOD BARK MULCH SPREAD TO A DEPTH OF 3".
 - 4) INDIVIDUAL TREES AND SHRUB GROUPINGS IN LAWN AREAS TO RECEIVE SHREDDED HARDWOOD BARK MULCH PLANT RINGS (4" DIAMETER) SPREAD TO A DEPTH OF 3".
 - 5) DESIGNATED PLANTING BEDS TO BE SEPARATED FROM LAWN AREAS WITH 5" BLACK VINYL EDGING.
 - 6) OWNER WILL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE AFTER COMPLETION AND ACCEPTANCE OF THE PROJECT.

REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

PSE
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122 Wisconsin Street, West Bend, WI 53095
262.346.7800 www.parishse.com

PROJECT TITLE:
**MEADE INC.
6228 DOUGLAS AVE.
RACINE, WI 53402**

PLAN TITLE:
**LANDSCAPE
PLAN**

DRAWN BY:
EPN
DESIGNED BY:
EPN
CHECKED BY:
KJP

PLAN DATE:
1/25/2024

PROJECT NO:
\ED-14-23

BID SET

SHEET NO:
C1.04

GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES:

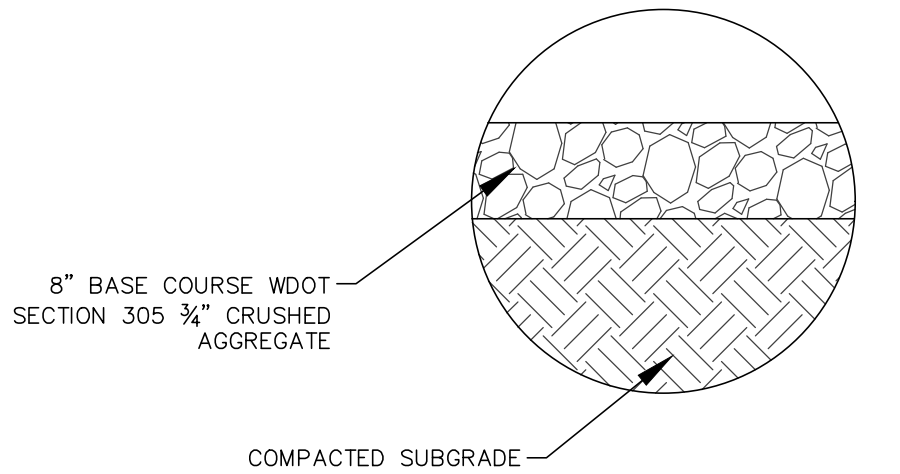
1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 360.382-383, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.5" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
10. TRASH AND DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.
11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

SPECIFICATIONS FOR GRADING & EROSION CONTROL:

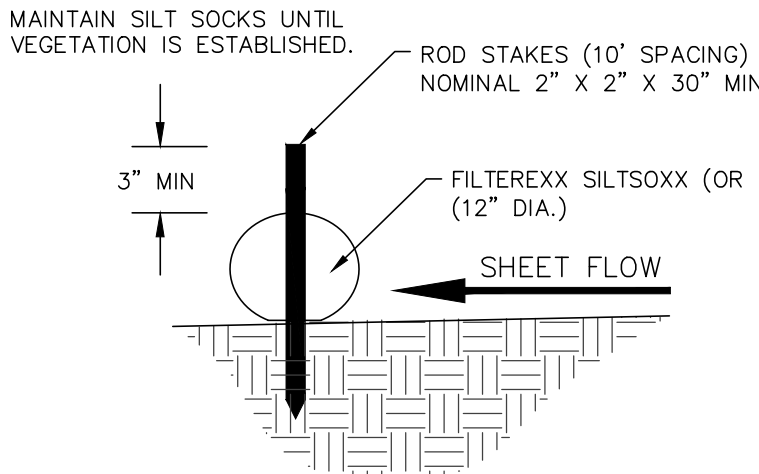
1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HAUL OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.
3. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING.
4. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERCEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WRITING BEFORE ANY DEVIATIONS ARE MADE.
5. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIALS, FREE OF ALL ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIAL AND INSPECTED AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF PROOF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERCUT, AND COMPACTION OF THE SCARIFIED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIALS SHALL BE FREE OF ANY DELETERIOUS, ORGANIC OR FROZEN MATTER AND SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM D-423) AND PLASTICITY INDEX (ASTM D-424) IF 30 AND 10 RESPECTFULLY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP TWELVE (12") INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM THREE (3") INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6") INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER. ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT. IF THE FILL IS TO PROVIDE NON-FROST SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN GW, GP, SW, OR SP PER UNITED SOIL CLASSIFICATION SYSTEM (ASTM D-2487). FOR STRUCTURAL FILL THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION TO THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF THE MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS. THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTION EQUIPMENT BEING USED. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION. MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY. DISING, HARROWING OR PULVERIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE, AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-398) MAXIMUM DENSITY.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. SUBGRADE TOLERANCES ARE +/- 1" FOR LANDSCAPE AREAS AND +/- 1/2" FOR ALL PAVEMENT AND BUILDING AREAS.
8. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4" ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.
9. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHED OR PUMPING TO ALLEVIATE WATER PONDING. ANY DEWATERING SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DEWATERING TREATMENT DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.
10. THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. **THE EXISTING GRAVEL TRAILER PARKING IS TO BE USED AS STONE TRACKING PAD.** THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
11. SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
12. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
13. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
14. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
15. ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH CURLEX EROSION CONTROL FABRIC (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

RESTORATION NOTES:

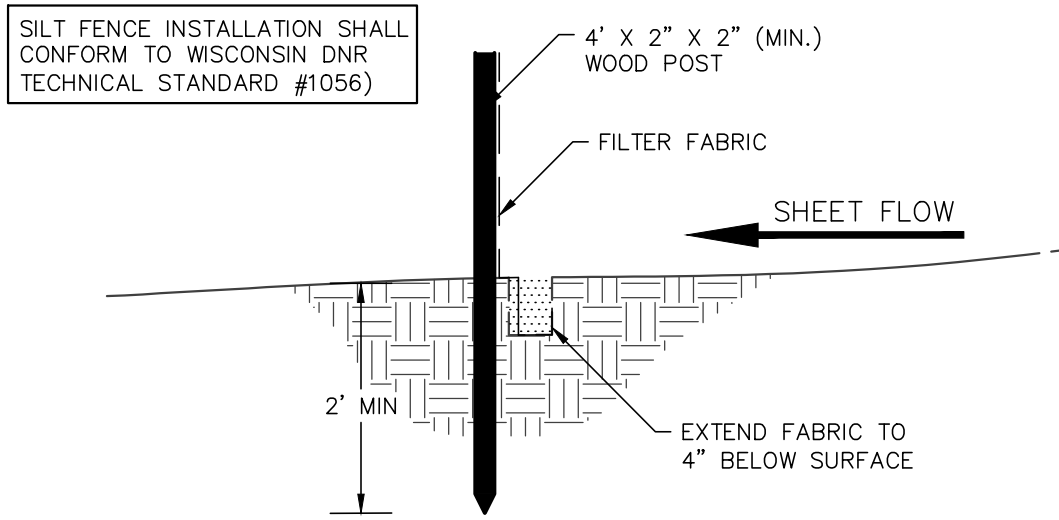
1. ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEEDDED WITH OLDS "NOMOW" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEEDDED WITH MIXTURES IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.
2. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.
3. ALL FINISH GRADED AREAS SHALL BE SEEDDED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEEDDED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059, FOR SEEDING RATES OF COMMONLY USED SPECIES. THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDBED PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDDED AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.



GRAVEL SURFACE SECTION



SILT SOCK DETAIL



SILT FENCE CONSTRUCTION (SHEET FLOW)

REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

PSE
PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800
www.parishse.com

PROJECT TITLE:

**MEADE INC.
6228 DOUGLAS AVE.
RACINE, WI 53402**

PLAN TITLE:

**CONSTRUCTION
NOTES
AND DETAILS**

DRAWN BY:

EPN

DESIGNED BY:

EPN

CHECKED BY:

KJP

PLAN DATE:

1/25/2024

PROJECT NO:

\ED-14-23

PERMIT SET

SHEET NO:

C2.01



REVISIONS	
XX.XX.XXXX	XX.XX.XXXX
XX.XX.XXXX	XX.XX.XXXX
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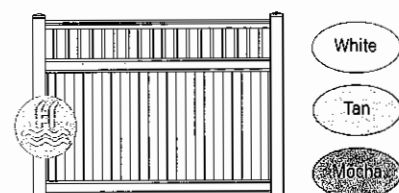


Polyvinyl Privacy Fencing provides privacy and security for your outdoor living space while offering options and colors to match your style. Whether you are protecting your family and pets or creating a secluded oasis for your backyard pool, Privacy Fencing will ensure your outdoor living space is safe and beautiful.

PRIVACY

MODELS

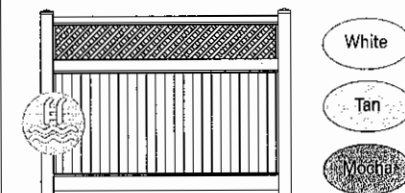
KINGSTON



48", 60", 72", 84", 96"
for 72", 84", and 96" heights



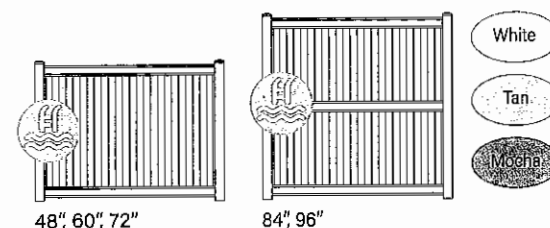
MAJESTIC II



48", 60", 72", 84", 96"
for 72", 84", and 96" heights

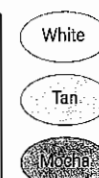


SUPERIOR

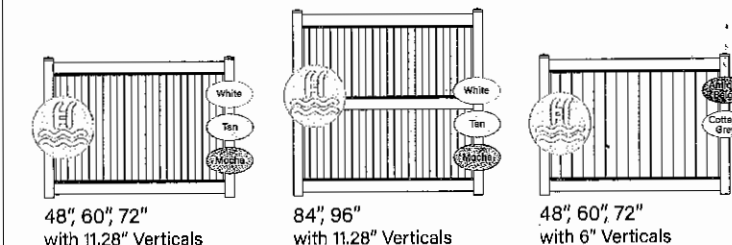


48", 60", 72"

84", 96"



SUPERIOR II



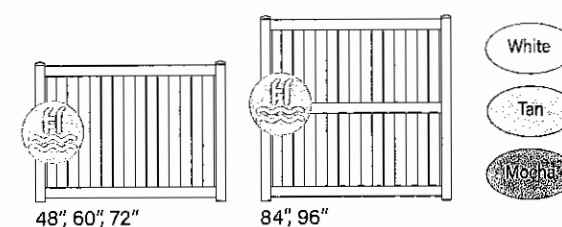
48", 60", 72"
with 11.28" Verticals

84", 96"
with 11.28" Verticals

48", 60", 72"
with 6" Verticals

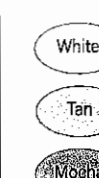
Rails and Posts available in White, Tan, and Mocha only

TRI-MAX II

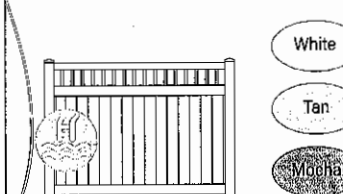


48", 60", 72"

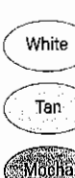
84", 96"



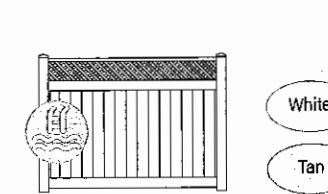
TRI-MAX II with Vertical Topper



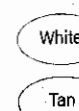
60", 72", 84"
for 72" and 84" heights



TRI-MAX II with Lattice Topper



72"





Meeting Date: January 29, 2024

Item No. **5b**

PLAN COMMISSION REPORT

Proposal: Rezone

Description: Review a request to rezone a ±28.81-acre parcel zoned R-3, Single-Family Residential District to I-1, Institutional District which better recognizes the existing use of a school on the parcel and provides the correct zoning district for future school expansion.

Applicant(s): Jason Albrecht

Address(es): 2115 5 1/2 Mile Road

Suggested Motion: That the Plan Commission recommends to the Village Board that the parcel located 2115 5 1/2 Mile Road be rezoned from R-3, Single-Family Residential District to I-1, Institutional District for the following reasons:

1. The rezoning of the parcel will maintain existing property rights to use and develop the property as a school.
2. The proposed rezoning is in accord with the 2035 Land Use Plan designation as governmental and institutional for the subject property.

Owner(s): Racine Unified School District

Tax Key(s): 104-04-23-17-082-000

Lot Size(s): 28.81 acres

Current Zoning District(s): R-3, Single-Family Residential District

Overlay District(s): N/A

Wetlands: ☐ Yes ☒ No Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Governmental & Institutional

Background: The applicant is requesting the rezoning of the parcel located at 2115 5 ½ Mile Road from R-3, Single-Family Residential District to I-1, Institutional District. The site currently is occupied by Olympia-Brown Elementary School. The applicant intends to expand the site to include a middle school.

The reason for the rezoning request is the result of the Village adopting the new zoning code. As part of the zoning code revision, some zoning districts were renamed, reclassified, or deleted. As part of the revision process, staff chose not to modify the zoning map, but rather update the zoning map as development proposals were received.

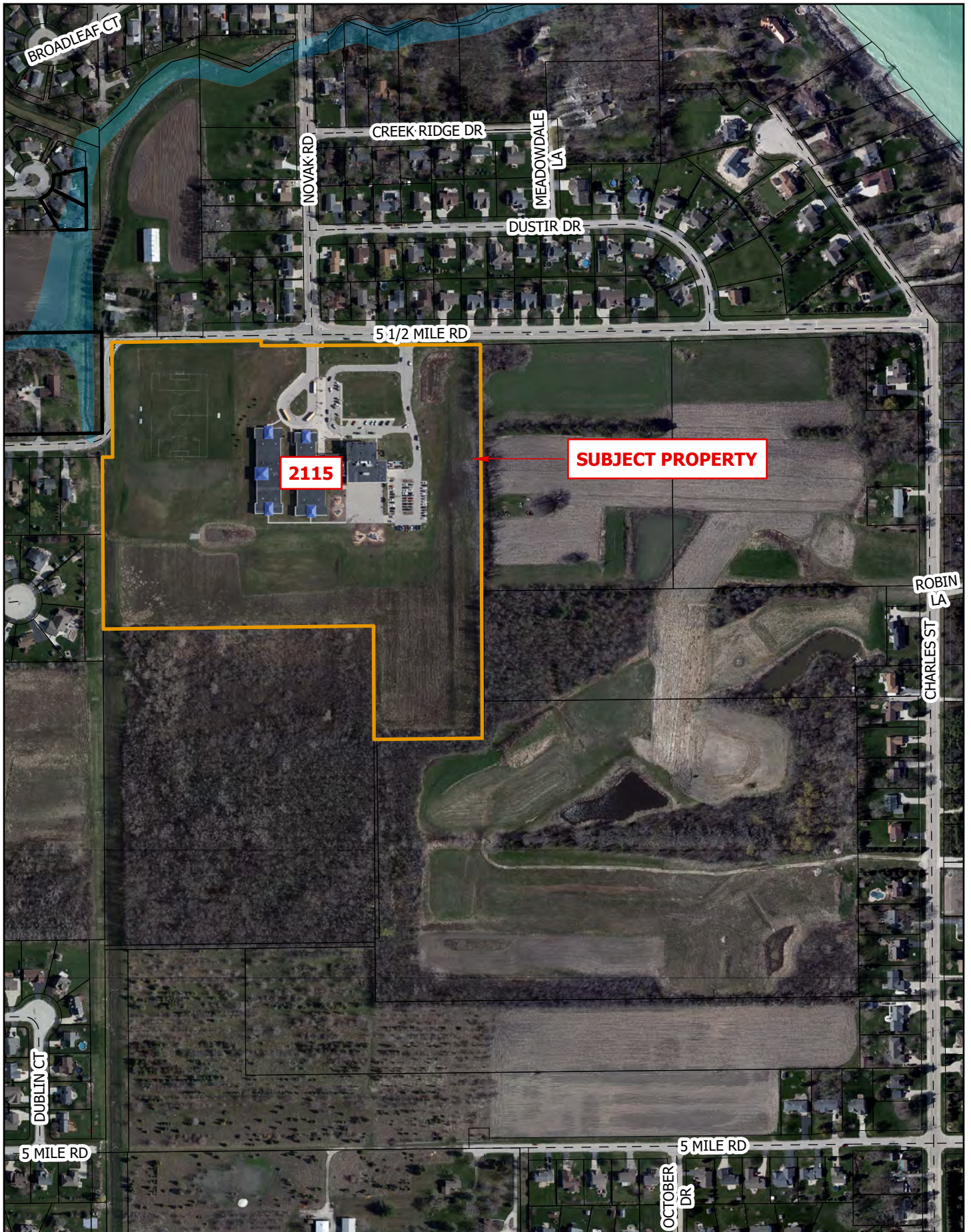
In this case, the current zoning district for this parcel is residential. Schools are a conditional use in a residential district. When the school was built, the Village did not have a zoning district that allowed a school use by right. In October of 2022, the Village adopted a new zoning district, I-1, Institutional. This district allows, by right, public and private schools, churches, and other governmental uses.

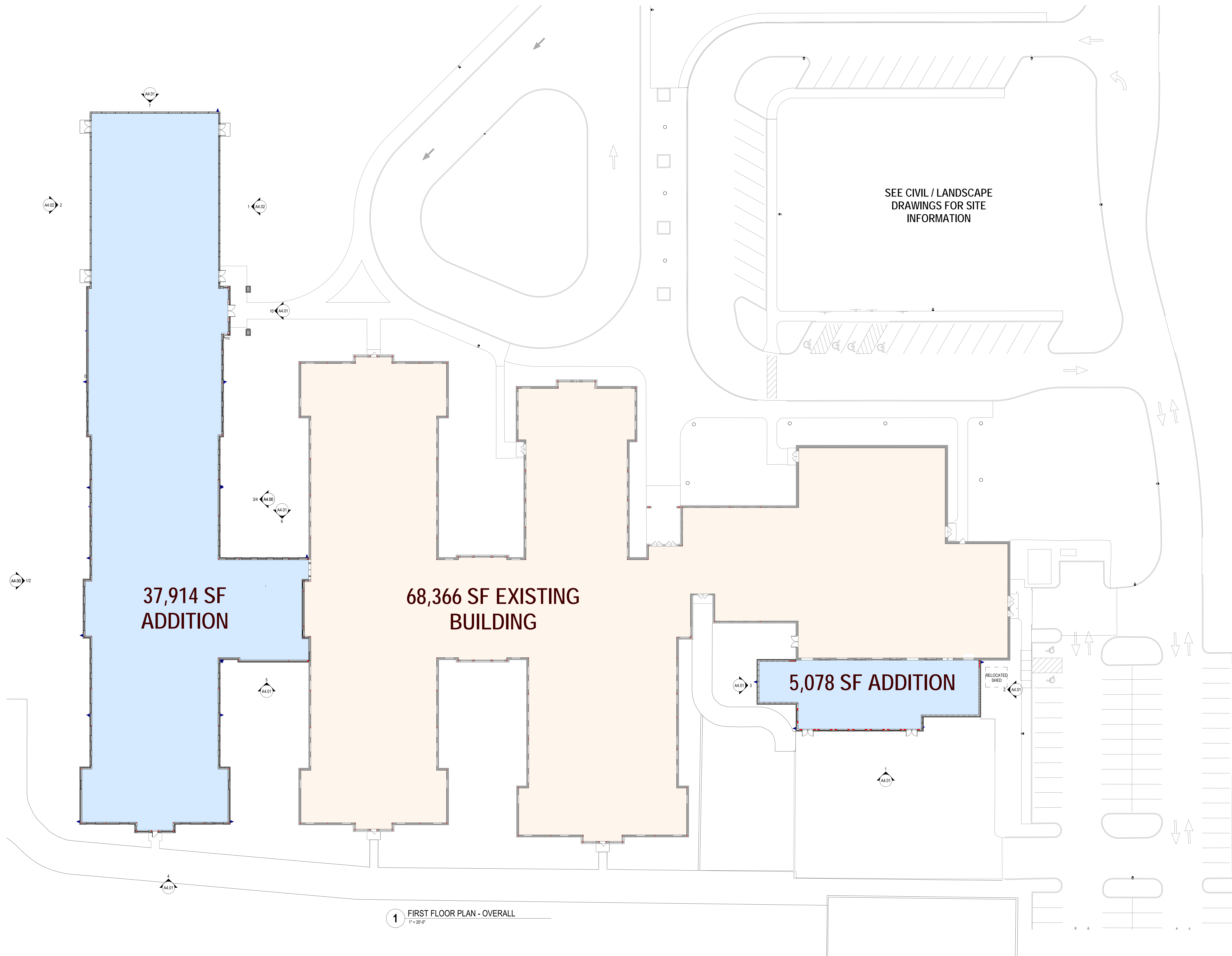
Staff recommends the rezoning request, as the current use is a permitted use the I-1, zoning district. The land use category for this parcel is governmental and institutional. The I-1 zoning district is consistent with the land use plan. If the Plan Commission is comfortable with the rezoning request, staff has drafted a suggested motion recommending to the Village Board approval of the rezoning request.



Respectfully submitted:

Peter Wagner, AICP
Development Director



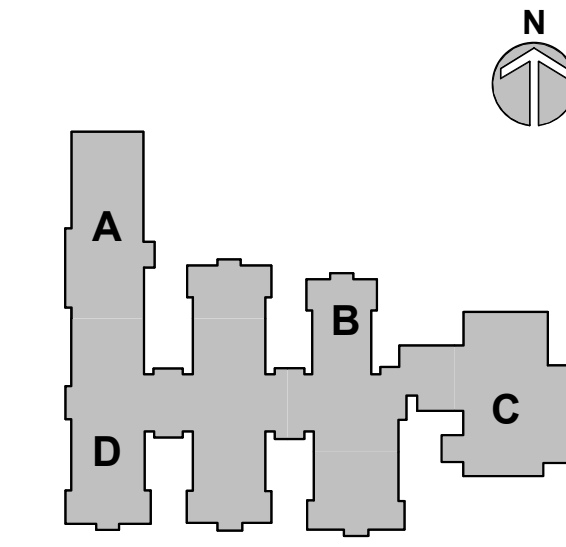


Consultant:

Project:
Olympia Brown Elementary
Addition & Renovation

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION

Location:
2115 S 1/2 Mile Rd.
Racine, WI 53402
Key Plan:



PLANNING COMMISSION
SUBMITTAL

Sheet:
FIRST FLOOR PLAN -
OVERALL

Scale:
1" = 20'-0"

Revisions:

No.	Date:	Description:

Date:
1.03.23

Project No.:
230033.00

Sheet No.:



4 PERSPECTIVE VIEW LOOKING SOUTHWEST
N.T.S.



3 PERSPECTIVE VIEW LOOKING WEST
N.T.S.



2 AERIAL VIEW LOOKING SOUTHWEST
N.T.S.



1 PERSPECTIVE VIEW LOOKING SOUTHWEST
N.T.S.

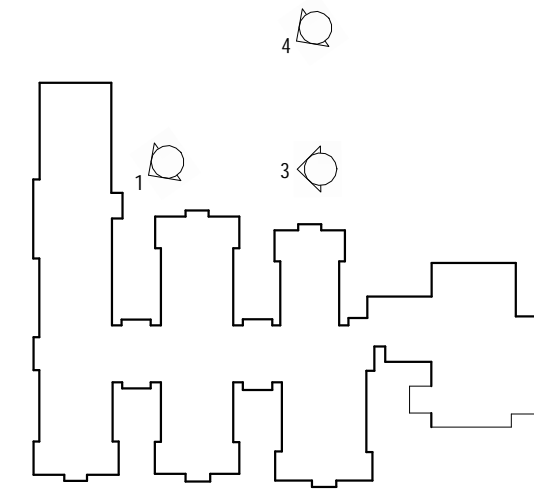
Consultant:

Project:
Olympia Brown Elementary
Addition & Renovation

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION

Location:
2115 S 1/2 Mile Rd.
Racine, WI 53402

Key Plan:



PLANNING COMMISSION
SUBMITTAL

Sheet:

RENDERINGS

Scale:

N.T.S.

Revisions:

No.	Date:	Description:

Date:

1.03.23

Project No.:

230033.00

Sheet No.:

A5.00



Meeting Date: January 29, 2024

Item No. **6a**

PLAN COMMISSION REPORT

Proposal: Building, Site, & Operation Plan Review

Description: Review a building, site, and operation plan for the construction of two building expansion for the Olympia-Brown School building consisting of a total of ±42,992 square feet and other site improvements located at 2115 5 Mile Road.

Applicant(s): Jason Albrecht

Address(es): 2115 5 1/2 Mile Road

Suggested Motion: That the Plan Commission recommends to the Village Board that the building, site, and operation plan for the construction of two building additions consisting of ±42,992 square feet and other site improvements located 2115 5 1/2 Mile Road be approved with conditions outlined in Exhibit A for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed use is compatible with the existing use of a school on the property.

Owner(s): Racine Unified School District

Tax Key(s): 104-04-23-17-082-000

Lot Size(s): 28.81 acres

Current Zoning District(s): R-3, Single-Family Residential District (pending rezoning to I-1, Institutional)

Overlay District(s): N/A

Wetlands: ☐ Yes ☒ No Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Governmental & Institutional

Background: The applicant is requesting approval of a building, site, and operation plan for the construction of two building expansions for the Olympia-Brown School building consisting of a total of ±42,992 square feet and other site improvements located at 2115 5 1/2 Mile Road. Olympia-Brown Elementary school currently exists on the property and these additions will allow the school to expand to a K-8th grade school. The applicant anticipates construction in March 2024 with a construction completion date of August 2024.

Building Exterior/Design

The proposed additions will mimic the exterior of the existing building. The primary exterior material will consist of light brown/cream brick and CMU. In addition, there will be metal blue panels accenting the building with a focus on the new middle school entrance. Along all sides of the building, windows will be installed. The roof will consist of the same material as the existing building, which is a rubberized roof. This type of roofing is typical for a flat roofed building. Overall, the building complies with Village design standards. The use of different materials and colors creates a sense of top, middle, bottom to the building. Furthermore, the applicant is proposing these materials on all four sides of the building which complies with the Village's preference for four-sided architecture. As part of these additions, rooftop mechanicals will be installed. The applicant is proposing gray screening for the rooftop mechanicals which complies with code.

The middle school addition will be ±38,000 square feet and will be located along the west side of the existing building for future use as a middle school. The addition complies with building setbacks from the lot lines and conforms with building height limits. The addition on the south side of the building will be ±5,000 square feet for the purpose of a kitchen and cafeteria expansion. This addition complies with setbacks and building design standards.

Site Modifications

To accommodate these additions, the applicant is proposing to modify the bus lane in front of the school to have room for the additional buses and access to the middle school. The Fire Department has reviewed and approved the proposed bus lane design. Also, a fire access lane behind the school will be constructed for improved fire service access.

There will be twelve parking spaces constructed in front of the school in addition to the existing twenty-four stalls. Another 40 stalls will be constructed south of the existing staff parking lot. Overall, the site will have a total of 121 stalls, including handicap stalls. The proposed stalls comply with code dimension standards and the minimum number of parking stalls for these additions to the building. The parking lot addition complies with parking island standards and includes plantings.

At this time, the applicant is not proposing to expand or add dumpster areas on the property. If in the future, it is needed, the applicant will need to get site plan approval from the Village and building permits prior to construction.

The playground area will be expanded to include two half-court basketball courts, two gaga pits, and painted game forms located south of the existing playground areas. This expanded area complies with setback requirements for the district. The existing playground areas will not be modified as part of this project.

Landscaping

The proposed landscaping meets Village landscape design standards. In regard to the parking lot, the applicant is proposing to install shrubs and trees within parking lot islands. Trees and evergreens will be installed along the perimeter of the expanded playground and staff parking lot. In front of the school, landscaping will remain mostly the same. Three trees will be installed in the center green space that will complement the existing landscape beds. Where the modified bus lane loop is located, three trees will be installed in addition to the existing trees within the loop. Landscape beds are proposed between the various

wings of the building on the north and south side of the building. More trees will be installed along 5 ½ Mile Road extending to the west. The Plan Commission has the authority to require additional plantings. Staff had determined that what the applicant is proposing complies with the landscape design standards.

Lighting

No new lighting is being proposed at this time. Any new lighting installed on the property will require the applicant to submit a lighting plan to the Village for approval prior to installation and comply with exterior light installation standards.

Fire Department

The applicant has worked with the Fire Department to ensure adequate fire service access to the site. Staff will continue to work with the applicant to ensure the building complies with fire code regulations prior to building permits being issued.

Engineering

As part of this project review, the applicant will be required to update their stormwater management plan and submit it to the Utility District for review and approval. Staff will work with the applicant to ensure compliance with stormwater management requirements. For example, the Storm Water Pond Easement will need to be modified to encompass the modified storm water pond and they will need to provide a legal description and exhibit for the modified storm water pond easement.

RUSD shall incorporate the future modification of the 5-1/2 Mile Road Right-of-Way on their plan set and ensure the setbacks for the new addition meet the zoning requirements. RUSD shall also follow Village of Caledonia Resolutions 2015-60, 2015-61, and 2015-70 regarding the future re-alignment of 5-1/2 Mile Road and the Village's right to special assess costs in the future against RUSD for the infrastructure and roadway improvements made in accordance with Wisconsin State Statutes.

If the Plan Commission is comfortable with the building additions and site modifications, staff has drafted a suggested motion recommending to the Village Board approval of the proposed building, site, and operation plan as proposed with conditions outlined in Exhibit A.


EXHIBIT A - CONDITIONS 2115 5 ½ Mile Road (Parcel ID No. 104-04-23-17-082-000)

1. Compliance. Failure to comply with the terms and conditions stated herein could result in the issuance of citation(s) and/or revocation of this permit.
 2. Binding Effect. These conditions bind and are applicable to the Property Owner, Agent, and any other users of the Property Owner with respect to the uses on the Property.
 3. Plans. The proposed ±42,000 square-foot, school building additions shall be located, constructed, and utilized in accordance with the plans and documents received by the Village Planning Department on January 3, 2024.
 4. Fire Department Approval. Owner shall obtain approval from the Village of Caledonia Fire Department and meet applicable codes.
-

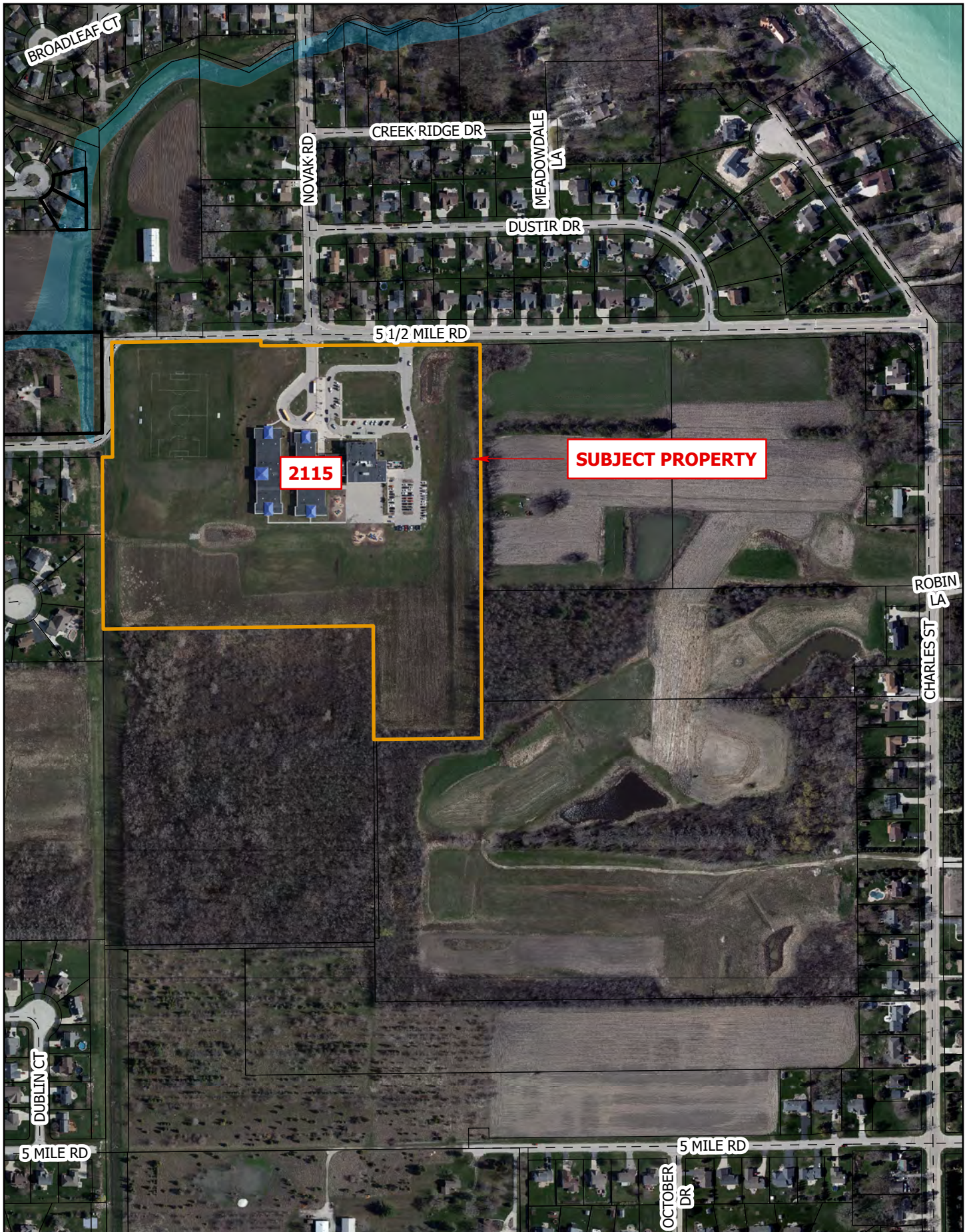
5. Caledonia Sewer and Water Utility Districts. The property owner or designated agent must contact the Caledonia Sewer and Water Utility Districts regarding Utility District regulations for this site. Compliance with all regulations and requirements, as determined by the Caledonia Sewer and Water Utility Districts is required.
 6. Engineering Department. The property owner or designated agent must contact the Village of Caledonia Engineering Department and must comply with all regulations and requirements of the Village of Caledonia Engineering Department.
 7. Future Roadway Modifications. The property owner shall comply with Village of Caledonia Resolutions 2015-60, 2015-61, and 2015-70 regarding the future re-alignment of 5-1/2 Mile Road and the Village's right to special assess costs in the future against the property owner for the infrastructure and roadway improvements made in accordance with Wisconsin State Statutes.
 8. Lighting. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway.
 9. No Accumulation of Refuse and Debris. Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.
 10. Property Maintenance Required. A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade. All drives shall be paved with asphalt. Parking areas shall be paved. All drives and parking areas shall be maintained in a dust free condition.
 11. Performance Standards. The applicant must comply with the provisions of Title 16, Chapter 10, Section 4, Various Performance Standards.
 12. Expiration. This approval will expire eighteen (18) months from the date of the Village's final approval unless substantial work has commenced following such grant. If this office determines that no substantial work has commenced, the project may not occur and will require the applicant to resubmit their plans for approval and incur all costs associated with the review.
 13. Access. The applicant must allow any Village employee full and unlimited access to the project site at a reasonable time to investigate the project's construction, operation, or maintenance.
 14. Compliance with Law. The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 9, 14, 16 and 18 of the Village of Caledonia Code of Ordinances.
-

15. Agreement. Your accepting the site plan approval and beginning the project means that you have read, understand, and agree to follow all conditions of this approval. Therefore, Jason Albrecht, Racine Unified School District, and their heirs, successors, and assigns, including tenants, are responsible for full compliance with the above conditions.
 16. Subsequent Owners. It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.
-

Respectfully submitted:

A handwritten signature in black ink, appearing to read "Peter Wagner".

Peter Wagner, AICP
Development Director





Caledonia Planning Commission
5043 Chester Lane
Racine, WI 53402

January 03, 2024

Dear Caledonia Planning Commission,

The Racine Unified School District is proposing to build (2) new additions onto the existing Olympia Brown Elementary School extending west and south on the existing parcel located at 5 ½ Mile Road and Novak. Site improvements include existing parking lot expansion - including site lighting to the southeast, bus loop enlargement at the northwest adjacent to the new classroom addition, added fire access lane along the south of the existing / new building, and landscape and stormwater management improvements.

1. Project Contact Information

Architect

Stuart LaRose | Director, Education and Worship Studio
Zimmerman Architectural Studios
(414) 918-1456 | stuart.larose@zastudios.com

Jason Albrecht | Project Manager
Zimmerman Architectural Studios
(414) 918-1403 | jason.albrecht@zastudios.com

Landscape Architect

Luke Haas | Director of Landscape Architecture
Harwood Engineering Consultants
(414) 918-1220 | luke.haas@hecl.com

Engineer

Brad M. Seubert | Director of Civil Engineering
Harwood Engineering Consultants
(414) 918-1204 | brad.seubert@hecl.com

Owner

James Hooper | Director of Facility Planning
Racine Unified School District
(262) 631-7014 | james.hooper@rusd.org

- | | |
|-------------------------|---|
| 2. Existing Zoning: | R-3 zoning district – Elementary School |
| Proposed Zoning: | I-3 institutional district – Elementary / Middle School |
| Land Use Designation: | Governmental and Institutional |
| 3. Student enrollment: | Current: 535 students; Proposed: 750 students with 836 total student Capacity |
| 4. Number of Employees: | 83 +/- |
| 5. Existing Structure: | Single Story, 68,366 SF school |

- Proposed Structure: New single Story, 38,000 SF middle school classroom addition (west) + 5,000 SF Kitchen / Cafeteria expansion (southeast)
6. Hours of Operation: Monday – Friday 7:00 AM – 4:00 PM - Classes are in session
- Monday – Friday 4:00 PM – 10:00 PM – Athletic and occasional special events
- Saturdays & Sundays 7:00 AM – 4:00 PM - Athletic and occasional special events
7. Exterior Materials: Brick / CMU: Light brown/cream colored to match existing conditions
Metal Panels: Blue to match existing conditions
Clear anodized aluminum framed window system
EPDM Roof
8. Construction Start: March 2024 (anticipated)
Construction Completed: January 2025 (anticipated)

Respectfully Submitted,

Jason Albrecht, AIA, NCARB, CDT
Senior Associate | Project Manager
Phone: 414.918.1403
jason.albrecht@zastudios.com
Zimmerman Architectural Studios, Inc.

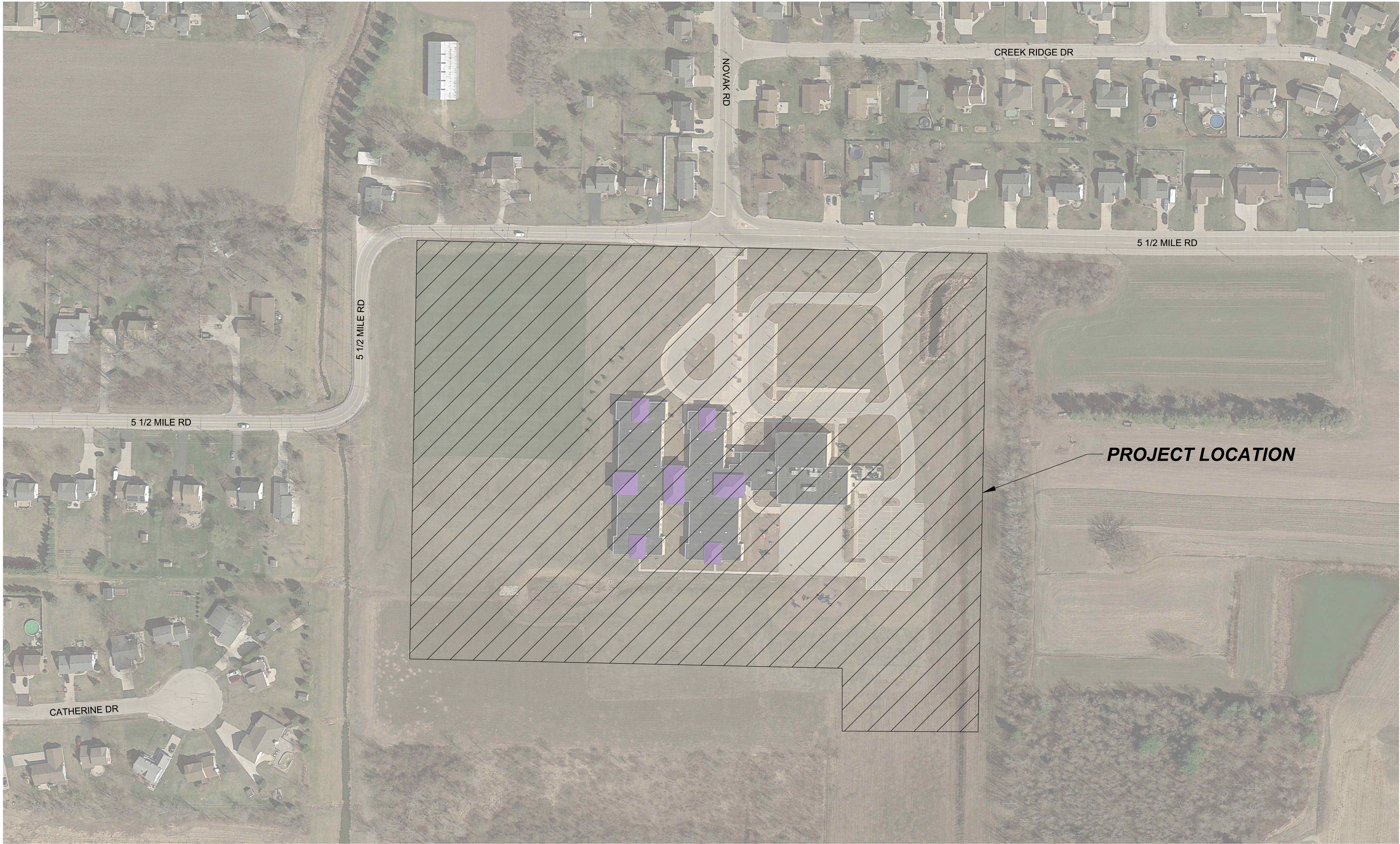


PLANNING COMMISSION SUBMITTAL

1.03.23



A0.00



LEGEND:

UTILITY	GRADING	SITE
EXISTING: — W — W — WATERMAIN — E — E — BURIED ELECTRIC — OHW — OHW — OVERHEAD WIRE — GAS — GAS — GAS LINE — SAN — SAN — SANITARY SEWER — ST — ST — STORM SEWER UTILITY POLE LIGHT POLE SANITARY MANHOLE FIRE HYDRANT WATER VALVE STORM SEWER STRUCTURE PROPOSED: — W — W — WATERMAIN — E — E — ELECTRICAL LINE — GAS — GAS — GAS LINE — SAN — SAN — SANITARY SEWER — ST — ST — STORM SEWER WATER VALVE STORM SEWER STRUCTURE FLARED END SECTION	EXISTING: — 100.00 — MAJOR CONTOUR — 160.00 — MINOR CONTOUR — EXIST 100.00 — EXISTING SPOT ELEVATION PROPOSED: — 100.00 — MAJOR CONTOUR — 160.00 — MINOR CONTOUR — 100.00 — SPOT ELEVATION (FINISHED GRADE, TOP OF PAVEMENT, FLANGE OF CURB) — DOOR 100.00 — DOOR ELEVATION — GR 100.00 — GROUND GRADE AT BUILDING — 100.50TC — SPOT ELEVATION (T/C - TOP OF CURB, E/P - EDGE OF PAVEMENT) — 100.00E/P — — 100.50TW — RETAINING WALL SPOT ELEVATION (TW - GROUND GRADE AT TOP OF WALL, BW - GROUND GRADE AT BOTTOM) — 100.00BW — — 12" PES 100.00BW — FLARED END SECTION (PIPE SIZE, INVERT ELEVATION) — DRAINAGE FLOW DIRECTION — EMERGENCY OVERFLOW ROUTE	EXISTING: EXISTING PARKING COUNT EXISTING SIGN EXISTING ADA PARKING SPACE PROPOSED: PARKING COUNT ADA PARKING SPACE SIGN TRUNCATED DOMES PAVEMENT MARKING DIRECTIONAL ARROWS

GENERAL NOTES AND SPECIFICATIONS:

- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY CAPITOL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO (VERIFYING ELEVATION, LOCATION AND SIZE). SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
- ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003), AS WELL AS, THE MUNICIPAL CONSTRUCTION STANDARDS AND THE DEPT. OF SAFETY AND PROFESSIONAL SERVICES SEC. 382-387.
- ALL PERMITS MUST BE RECEIVED FROM THE MUNICIPALITY AND WDMR (IF REQUIRED) PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL APPLICABLE PERMITS ARE RECEIVED PRIOR TO STARTING CONSTRUCTION.
- NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
- BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PAVEMENT. SPOIL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
- ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- ALL PROPOSED WATERMAIN SHALL BE: PVC SDR 18, CLASS 150, AWWA C900 WITH ELASTOMERIC JOINTS (UNLESS OTHERWISE NOTED).
- PROPOSED SANITARY SEWER PIPE SHALL BE: PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
- PROPOSED STORM SEWER SHALL BE: PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NONMETALLIC UTILITIES MUST BE PROVIDED. PROVIDE TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS SECTIONS 182.0715(2R) OF THE STATE STATUTES.

- UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- ALL MANHOLES, CATCH BASINS, INLETS, VALVES BOXES, ETC WITHIN THE PROJECT AREA SHALL BE RESET AND ADJUSTED TO MATCH FINISH GRADE.
- ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
- ALL ON-SITE CONCRETE CURB AND GUTTER TO BE 18" WIDE VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
- ALL CURB ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE CURB DETAIL FOR TOP OF CURB ELEVATIONS.
- ALL CURB RADI ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
- REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
- ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
- PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS. CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

CIVIL SHEET INDEX:

C1.00	PROJECT LOCATION AND GENERAL NOTES
C1.10	SITE PLAN - OVERALL
C1.11	SITE PLAN - NORTH WEST
C1.12	SITE PLAN - SOUTH WEST
C1.13	SITE PLAN - NORTH EAST
C1.14	SITE PLAN - SOUTH EAST
C1.20	GRADING PLAN - OVERALL
C1.21	GRADING PLAN - NORTH WEST
C1.22	GRADING PLAN - SOUTH WEST
C1.23	GRADING PLAN - NORTH EAST
C1.24	GRADING PLAN - SOUTH EAST
C1.30	EROSION CONTROL PLAN
C1.40	DEMOLITION PLAN
C1.50	EXISTING SURVEY
C5.00	CONSTRUCTION DETAILS

Consultant:

Project:

Olympia Brown Elementary
Addition & Renovation

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION


Location:
2115 S 1/2 Mile Rd.
Racine, WI 53402

Key Plan:

Plan Commission Set

Sheet:

PROJECT
LOCATION AND
GENERAL NOTES

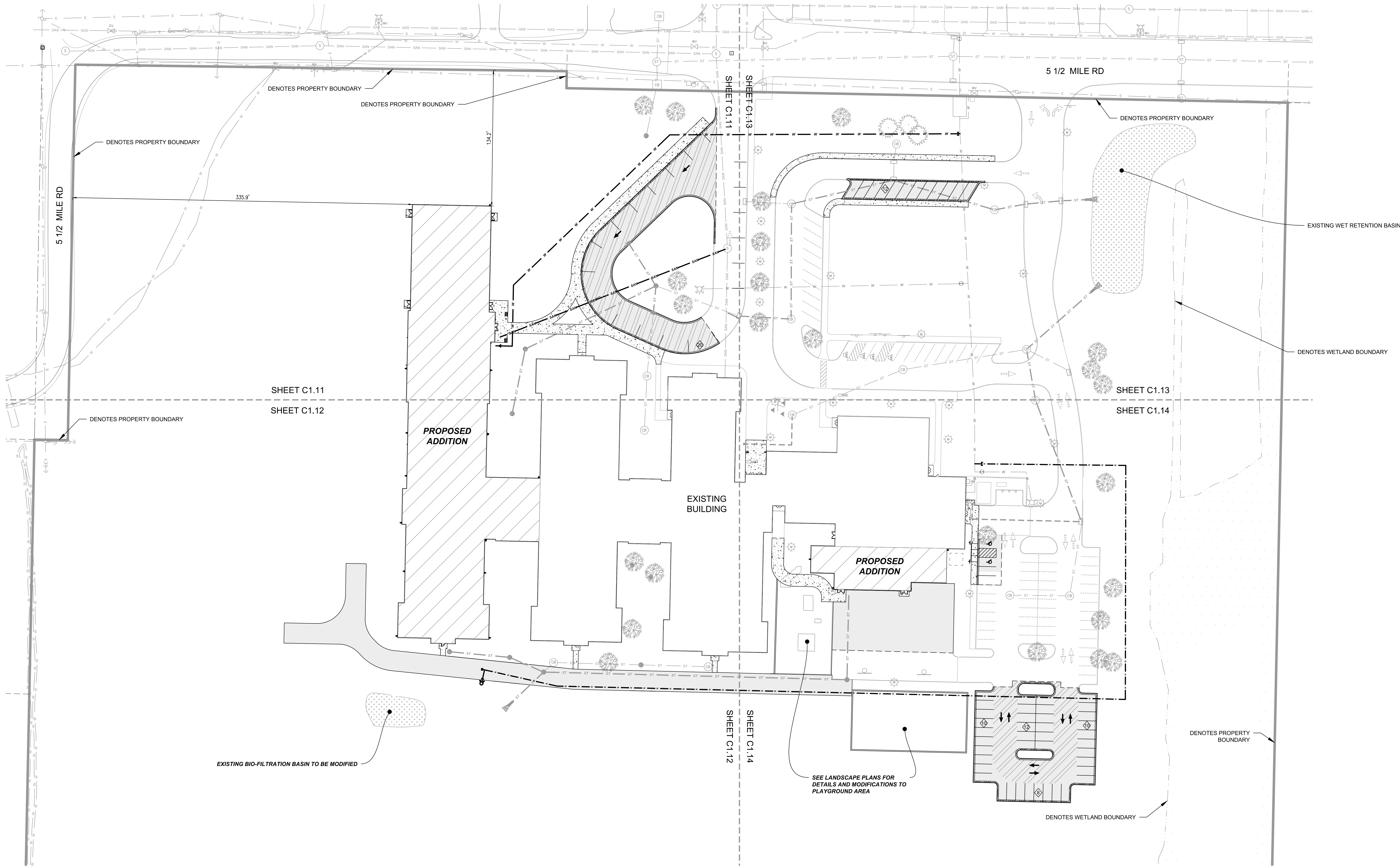
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SCALE: 1" = 100'		
Revisions:		
No:	Date:	Description:

Date:
01.03.23

Project No.:
230033.00

Sheet No.:

C1.00



SITE CALCULATION TABLE	
TOTAL SITE AREA	29.30 AC
TOTAL DISTURBED AREA	5.86 AC
EXISTING IMPERVIOUS AREA	4.99 AC
PROPOSED IMPERVIOUS AREA	5.72 AC
PROPOSED GREENSPACE	23.58 AC
(80.47% OF SITE)	
EXISTING REGULAR PARKING SPACES	56
EXISTING HANDICAP PARKING	6
EXISTING TOTAL PARKING	62
PROPOSED REGULAR PARKING SPACES	136
PROPOSED HANDICAP PARKING	6
PROPOSED TOTAL PARKING	142

HATCH LEGEND	
	PROPOSED CONCRETE SIDEWALK
	PROPOSED REGULAR DUTY ASPHALT PAVEMENT
	PROPOSED VALLEY STYLE CURB AND GUTTER
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED REVERSE CURB




IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS. AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION

SITE PLAN -
OVERALL

Scale:

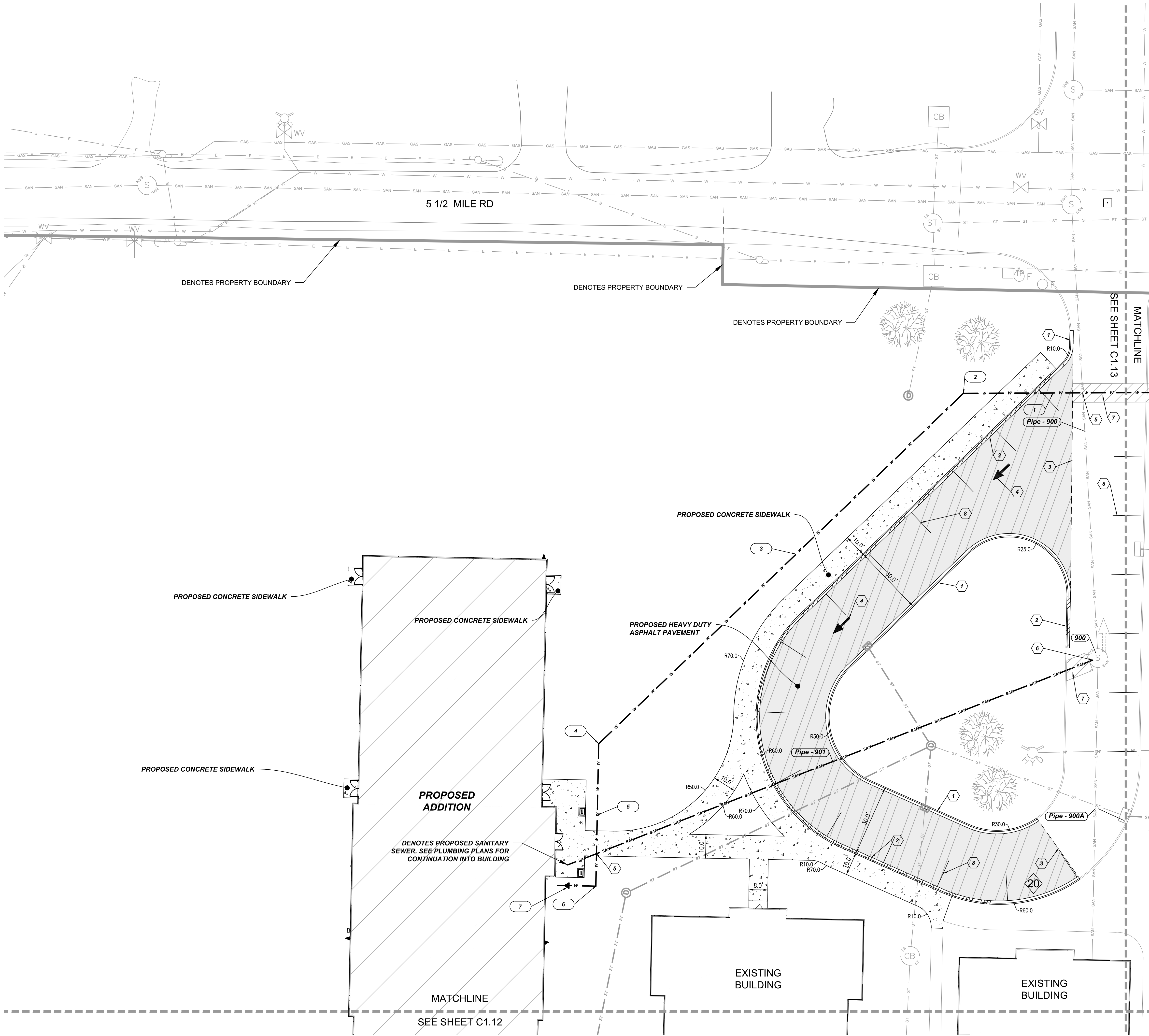
North



SCALE: 1" = 40'

Revisions:

No.:	Date:	Description:



Sanitary Structure Table	
#	Structure Details
900	EXISTING SANITARY MANHOLE RIM = 622.04 Pipe - 901 = 616.10 Pipe - 900A = 615.08 Pipe - 900 = 615.07

Sanitary Pipe Table					
Pipe Name	Size	Material	Length	Slope	Description
Pipe - 900	8	PVC	193	1.00%	EXISTING SANITARY SEWER
Pipe - 900A	8	PVC	128	1.00%	EXISTING SANITARY SEWER
Pipe - 901	6	PVC	241	1.00%	

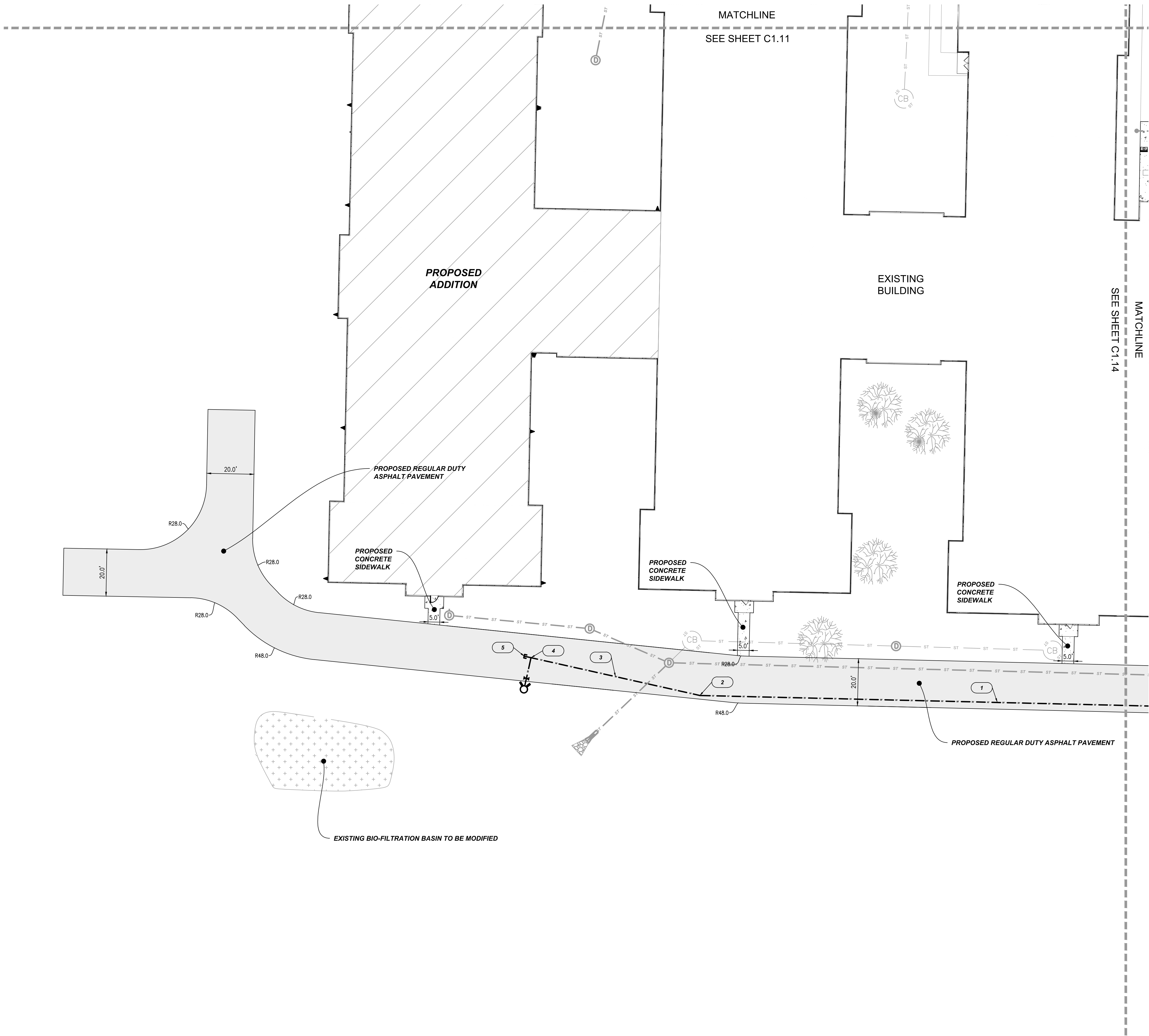
- NOTES**
- DENOTES PROPOSED 18" REGULAR STYLE CURB AND GUTTER (TYP)
 - DENOTES PROPOSED 18" REVERSE STYLE CURB AND GUTTER (TYP)
 - SAWCUT EXISTING PAVEMENT (FULL DEPTH) AND CREATE BUTT JOINT WHERE PROPOSED MEETS EXISTING. MATCH TO EXISTING PAVEMENT
 - DENOTES PROPOSED PAVEMENT MARKING DIRECTIONAL ARROW. MATCH COLOR AND DIMENSIONS TO EXISTING DIRECTIONAL ARROWS ON SITE
 - CAUTION! UTILITY CROSSING. VERIFY EXACT LOCATION AND ELEVATION PRIOR TO STARTING CONSTRUCTION. MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN SEWER AND WATERMAIN. ADJUST DEPTH OF WATERMAIN TO MAINTAIN 18" VERTICAL SEPARATION
 - CORE NEW HOLE INTO EXISTING SANITARY MANHOLE FOR PROPOSED SANITARY SEWER
 - REMOVE AND REPLACE EXISTING PAVEMENT, CURB AND SIDEWALK AS REQUIRED TO INSTALL PROPOSED UTILITIES. SLURRY BACKFILL REQUIRED WITHIN ROADWAY
 - DENOTES PROPOSED PARALLEL PARKING STRIPING (TYP)

- UTILITY TAGS**
- WATER**
- PROPOSED 287 L.F. 8" PVC WATERMAIN
 - PROPOSED 8" 45° BEND
 - PROPOSED 215 L.F. 8" PVC WATERMAIN
 - PROPOSED 8" 45° BEND
 - PROPOSED 60 L.F. 8" PVC WATERMAIN
 - PROPOSED 8" 90° BEND AND 13 L.F. 6" PVC WATERMAIN
 - PROPOSED 8" x 6" REDUCER AND 3 L.F. 6" PVC WATERMAIN. SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING

HATCH LEGEND	
	PROPOSED CONCRETE SIDEWALK
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED REVERSE CURB



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS. AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



UTILITY TAGS

WATER

- PROPOSED 562 L.F. 8" PVC WATERMAIN
- PROPOSED 8" 11.25" BEND
- PROPOSED 73 L.F. 8" PVC WATERMAIN
- PROPOSED 8" x 6" TEE, 6" AUX VALVE, 12 L.F. 6" PVC WATERMAIN, HYDRANT LEAD AND HYDRANT ASSEMBLY
- PROPOSED 3 L.F. 8" PVC WATERMAIN, STUB WATERMAIN FOR FUTURE DEVELOPMENTS

HATCH LEGEND

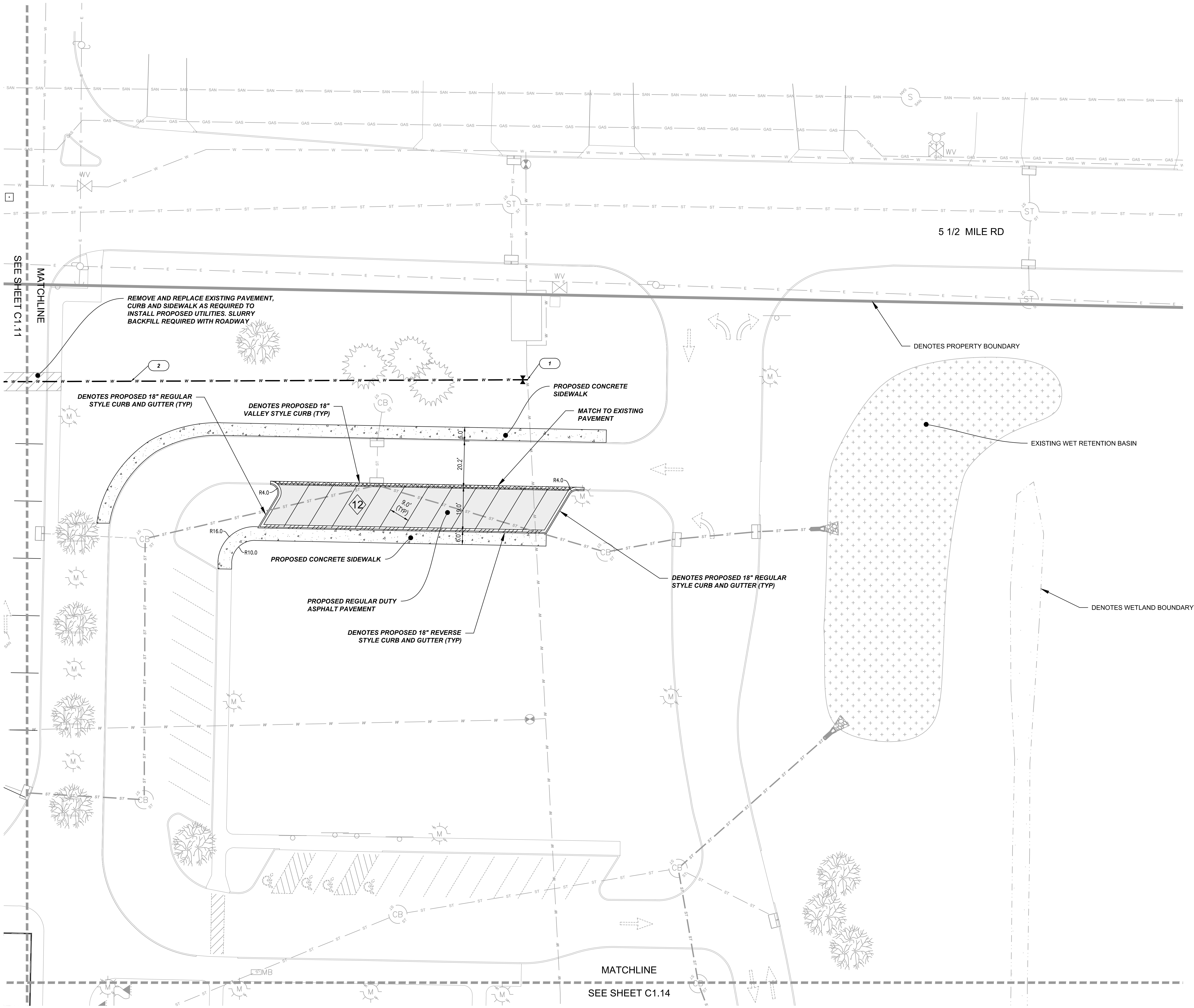
[Hatch Pattern]	PROPOSED CONCRETE SIDEWALK
[Hatch Pattern]	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
[Hatch Pattern]	PROPOSED REVERSE CURB

SITE PLAN - SOUTH WEST

Scale: 1" = 20'

Revisions:

No.	Date:	Description:



UTILITY TAGS

WATER

- CONNECT TO EXISTING 8" WATERMAIN, INSTALL 8" x 8" TEE, 2 L.F. 8" PVC WATERMAIN, AND 8" GATE VALVE
- PROPOSED 287 L.F. 8" PVC WATERMAIN

HATCH LEGEND

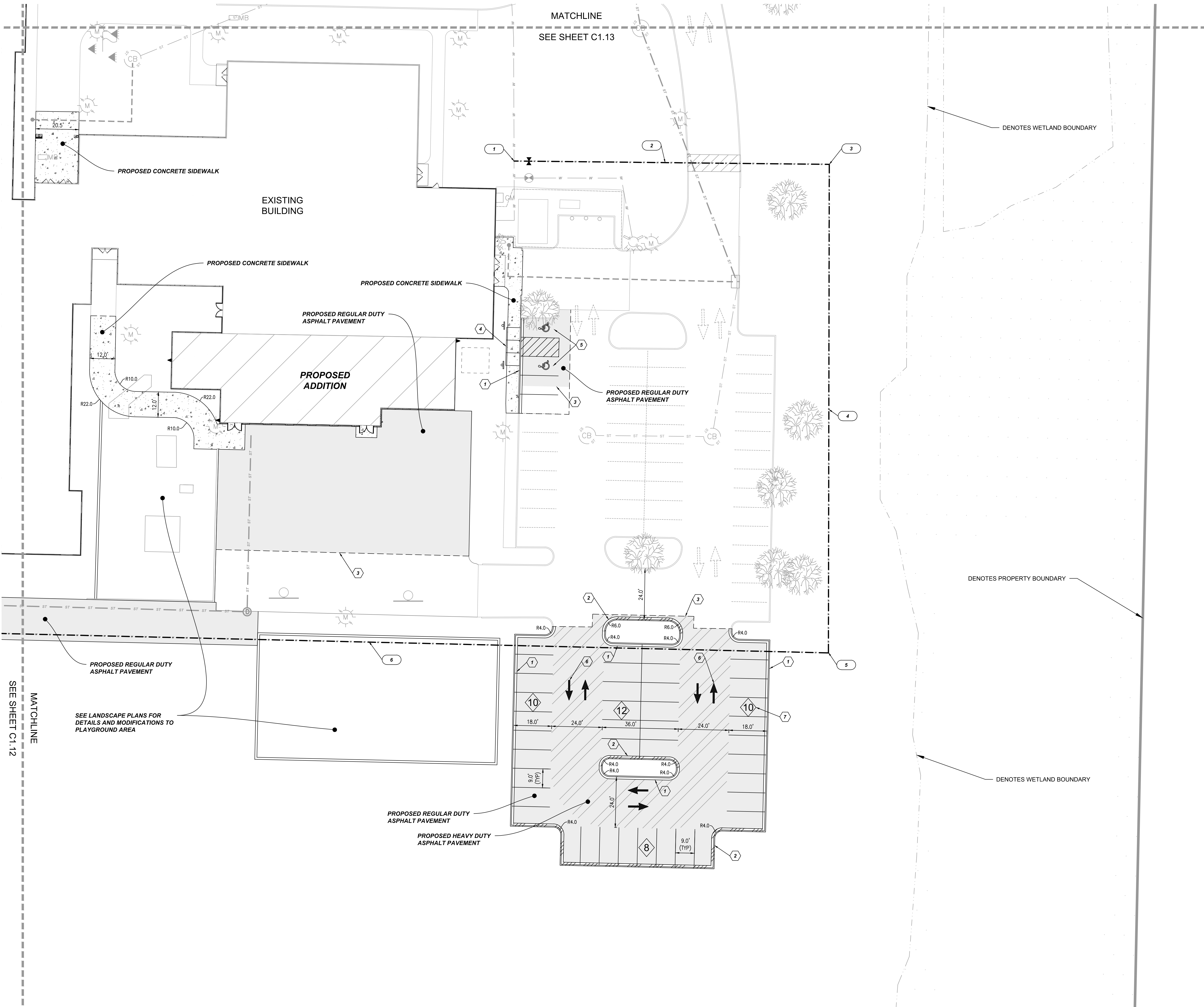
- PROPOSED CONCRETE SIDEWALK
- PROPOSED REGULAR DUTY ASPHALT PAVEMENT
- PROPOSED VALLEY STYLE CURB AND GUTTER
- PROPOSED REVERSE CURB

SITE PLAN - NORTH EAST

Scale: 1" = 20'

Revisions:

No:	Date:	Description:



- UTILITY TAGS**
- WATER**
- CONNECT TO EXISTING 8" WATERMAIN, INSTALL 8" x 8" TEE, 7 L.F. 8" PVC WATERMAIN, AND 8" GATE VALVE
 - PROPOSED 142 L.F. 8" PVC WATERMAIN
 - PROPOSED 8" 90° BEND
 - PROPOSED 231 L.F. 8" PVC WATERMAIN
 - PROPOSED 8" 90° BEND
 - PROPOSED 562 L.F. 8" PVC WATERMAIN

- NOTES**
- DENOTES PROPOSED 18" REGULAR STYLE CURB AND GUTTER (TYP)
 - DENOTES PROPOSED 18" REVERSE STYLE CURB AND GUTTER (TYP)
 - SAWCUT EXISTING PAVEMENT (FULL DEPTH) AND CREATE BUTT JOINT WHERE PROPOSED MEETS EXISTING. MATCH TO EXISTING PAVEMENT
 - DENOTES PROPOSED TYPE 2 ADA RAMP
 - DENOTES PROPOSED ADA PARKING STALL. SEE SHEET C5.00 FOR DETAILS
 - DENOTES PROPOSED PAVEMENT MARKING DIRECTIONAL ARROW (TYP). MATCH COLOR AND DIMENSIONS TO EXISTING DIRECTIONAL ARROWS ON SITE
 - DENOTES PROPOSED PARKING COUNT (TYP)
 - REMOVE AND REPLACE EXISTING PAVEMENT, CURB AND SIDEWALK AS REQUIRED TO INSTALL PROPOSED UTILITIES. SLURRY BACKFILL REQUIRED WITHIN ROADWAY

- HATCH LEGEND**
- PROPOSED CONCRETE SIDEWALK
 - PROPOSED REGULAR DUTY ASPHALT PAVEMENT
 - PROPOSED HEAVY DUTY ASPHALT PAVEMENT
 - PROPOSED REVERSE CURB

Consultant:



Project:

Olympia Brown Elementary
Addition & Renovation

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION

Location:
2115 S 1/2 Mile Rd.
Racine, WI 53402

Key Plan:

Plan Commission Set

Sheet:

SITE PLAN - SOUTH EAST

Scale:

SCALE: 1" = 20'

Revisions:

No.	Date:	Description:

Date:

01.03.23

Project No.:

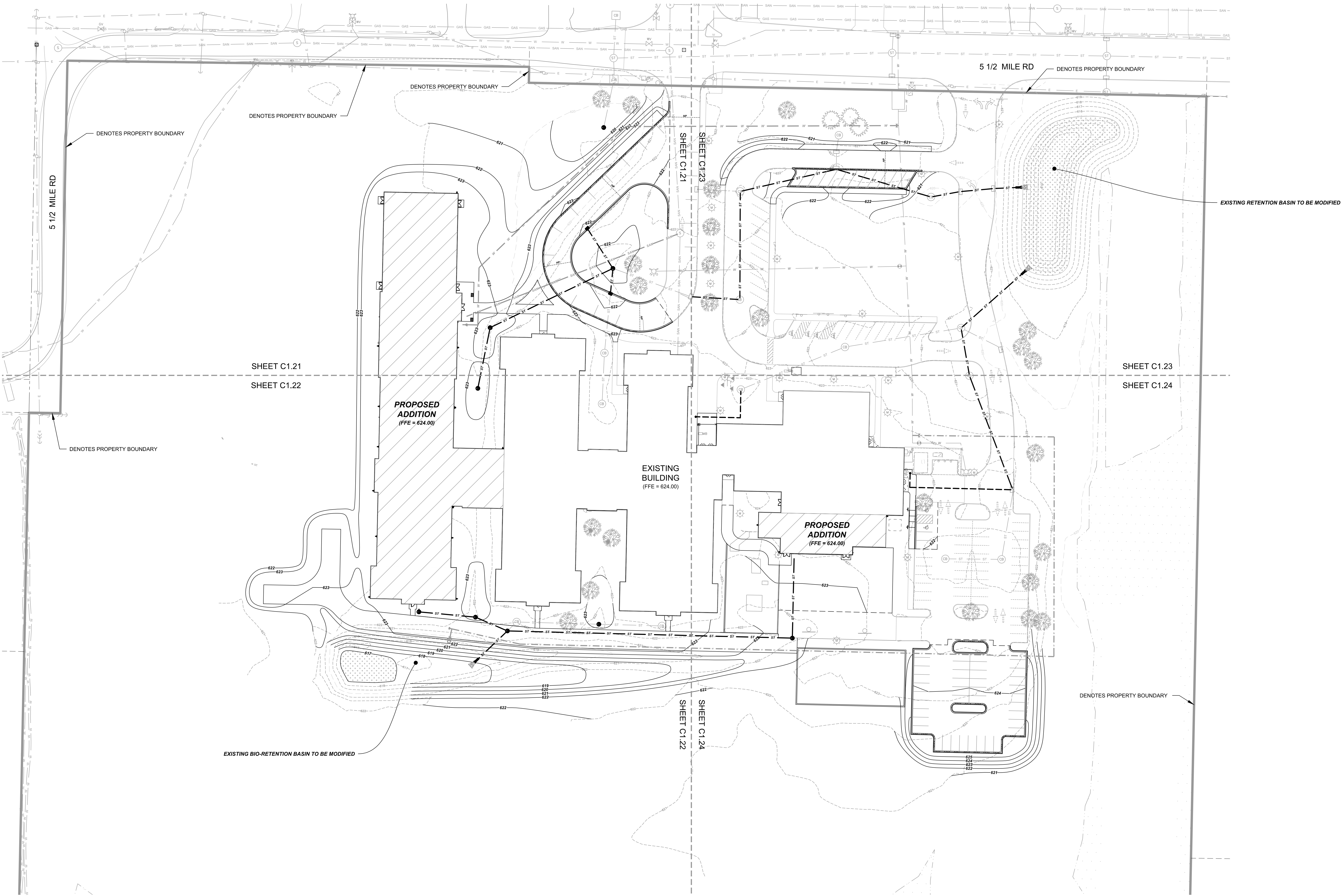
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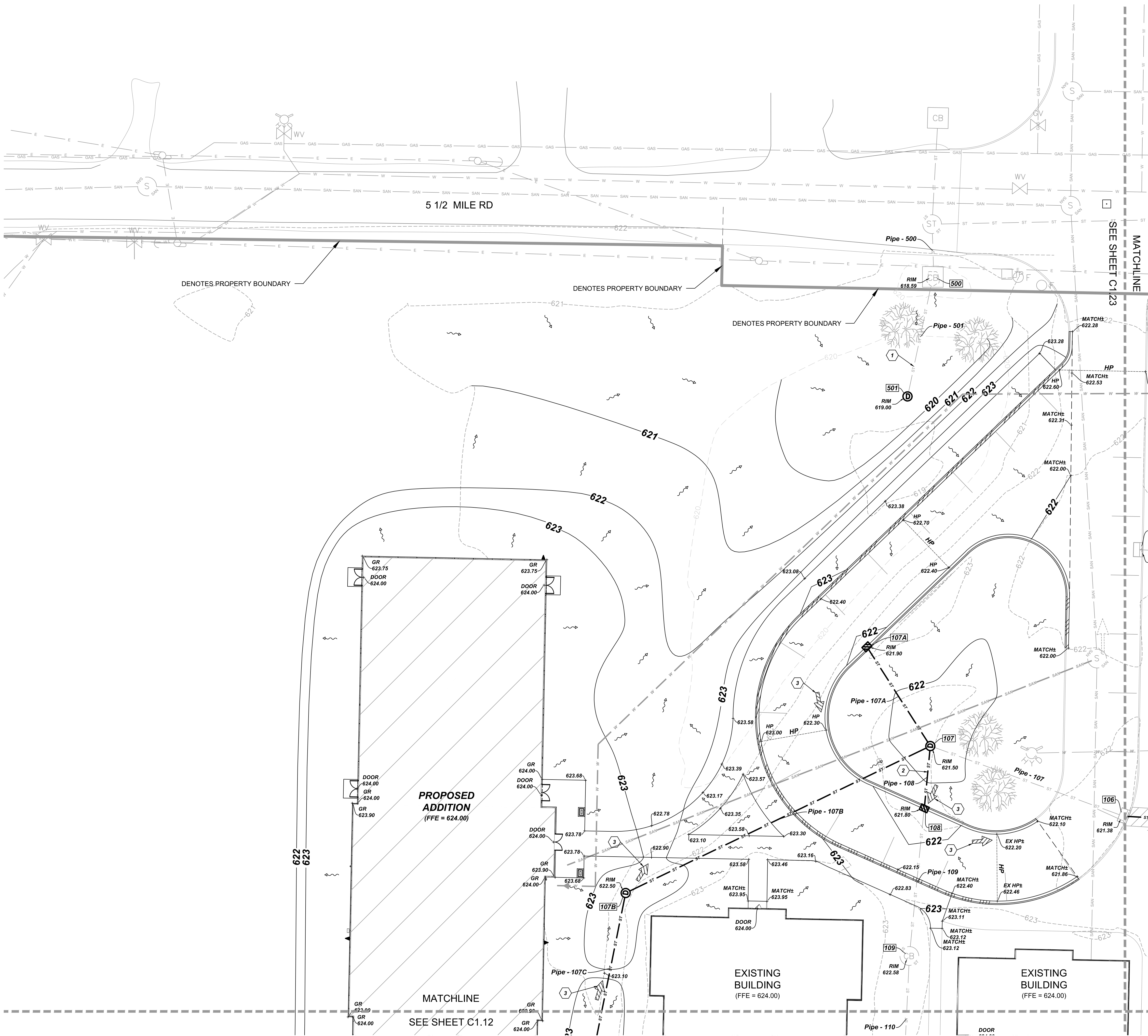
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C1.14

IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS. AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.







- NOTES**
- CAUTION! UTILITY CROSSING. VERIFY EXACT LOCATION AND ELEVATION PRIOR TO STARTING CONSTRUCTION. MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN SEWER AND WATERMAIN. ADJUST DEPTH OF WATERMAIN TO MAINTAIN 18" VERTICAL SEPARATION.
 - REMOVE SECTION OF EXISTING STORM SEWER AND CONNECT TO PROPOSED CATCH BASIN.
 - DENOTES PROPOSED EMERGENCY OVERFLOW ROUTE

Storm Structure Table	
#	Structure Details
100	EXISTING CATCH BASIN - CURB RIM = 619.53 Pipe - 101 = 615.37 Pipe - 100 = 615.37
101	EXISTING CATCH BASIN - CURB RIM = 619.64 Pipe - 102 = 615.55 Pipe - 101 = 615.44
102	EXISTING CATCH BASIN - CURB RIM = 619.30 Pipe - 103 = 615.98 Pipe - 102 = 615.95
103	EXISTING CATCH BASIN - CURB RIM = 620.88 Pipe - 104 = 615.20 Pipe - 103A = 616.55 Pipe - 103 = 616.29
103A	EXISTING CATCH BASIN - CURB RIM = 620.62 Pipe - 103B = 616.63 Pipe - 103A = 616.63
103B	EXISTING CATCH BASIN - CURB RIM = 620.06 Pipe - 103B = 616.70
104	EXISTING CATCH BASIN - CURB RIM = 620.80 Pipe - 105 = 616.80 Pipe - 104A = 616.80 Pipe - 104 = 616.93
104A	EXISTING CATCH BASIN - CURB RIM = 621.01 Pipe - 104A = 616.69
105	EXISTING CATCH BASIN RIM = 621.12 Pipe - 106 = 617.36 Pipe - 105 = 617.37
106	EXISTING CATCH BASIN - CURB RIM = 621.58 Pipe - 107 = 617.57 Pipe - 106 = 617.62
107	CATCH BASIN (6" DIA) RIM = 621.50 Pipe - 108 = 616.06 Pipe - 107A = 616.06 Pipe - 107B = 616.60 Pipe - 107 = 616.06
	CATCH BASIN - CURB RIM = 621.50 Pipe - 107A = 616.50
107A	CATCH BASIN - CURB RIM = 621.50 Pipe - 107A = 616.50

107B	CATCH BASIN - CURB RIM = 622.50 Pipe - 107C = 619.17 Pipe - 107B = 619.17
107C	CATCH BASIN - CURB RIM = 622.40 Pipe - 107C = 619.50
108	CATCH BASIN - CURB RIM = 621.80 Pipe - 109 = 618.23 Pipe - 108 = 618.23
109	EXISTING CATCH BASIN RIM = 622.38 Pipe - 110 = 618.76 Pipe - 109 = 618.64
110	EXISTING CATCH BASIN RIM = 622.21 Pipe - 110 = 618.83
200	EXISTING CATCH BASIN RIM = 620.88 Pipe - 201 = 615.93 Pipe - 200A = 615.95 Pipe - 200 = 615.93
200A	EXISTING CATCH BASIN - CURB RIM = 619.65 Pipe - 200A = 616.25 Pipe - 200 = 616.25
200B	EXISTING CATCH BASIN RIM = 621.30 Pipe - 200C = 617.17 Pipe - 200B = 617.22
200C	EXISTING CATCH BASIN RIM = 622.53 Pipe - 200D = 619.48 Pipe - 200C = 618.17
200E	EXISTING CATCH BASIN - CURB RIM = 623.75 Pipe - 200E = 621.20
201	EXISTING CATCH BASIN RIM = 620.63 Pipe - 202 = 616.12 Pipe - 201 = 616.15
202	EXISTING CATCH BASIN - CURB RIM = 621.45 Pipe - 203 = 616.57 Pipe - 202A = 616.70 Pipe - 202 = 616.70

202B	STORM CLEANOUT RIM = 623.90 Pipe - 202B = 621.90
203	EXISTING CATCH BASIN RIM = 621.38 Pipe - 204 = 617.21 Pipe - 203 = 617.14
204	EXISTING CATCH BASIN RIM = 621.54 Pipe - 204 = 617.45
300	CATCH BASIN (6" DIA) RIM = 623.30 Pipe - 301 = 618.51 Pipe - 400 = 618.29 Pipe - 300A = 618.29 Pipe - 300 = 618.29
300A	CATCH BASIN RIM = 621.85 Pipe - 300B = 618.75 Pipe - 300A = 618.75
301	EXISTING CATCH BASIN RIM = 622.08 Pipe - 302 = 618.59 Pipe - 301A = 619.45 Pipe - 301 = 618.63
302	RIM = 622.50 Pipe - 303 = 618.94 Pipe - 302 = 618.94
303	EXISTING CATCH BASIN RIM = 623.26 Pipe - 303A = 619.19 Pipe - 303 = 619.21
400	CATCH BASIN RIM = 622.00 Pipe - 402 = 618.44 Pipe - 400 = 618.44
401	CATCH BASIN RIM = 623.50 Pipe - 402 = 618.82 Pipe - 401 = 618.62
500	EXISTING CATCH BASIN RIM = 618.59 Pipe - 501 = 616.40 Pipe - 500 = 615.78
501	EXISTING CATCH BASIN RIM = 619.00 Pipe - 501 = 618.59

Storm Pipe Table					
Pipe Name	Size	Material	Length	Slope	Description
Pipe - 100	24	RCP	27	0.40%	
Pipe - 101	24	PVC	36	0.20%	
Pipe - 102	24	PVC	31	1.30%	
Pipe - 103	24	PVC	104	0.29%	
Pipe - 103A	12	PVC	19	0.31%	EXISTING STORM SEWER
Pipe - 103B	12	PVC	17	0.42%	EXISTING STORM SEWER
Pipe - 104	18	PVC	104	0.70%	EXISTING STORM SEWER
Pipe - 104A	12	PVC	45	0.20%	EXISTING STORM SEWER
Pipe - 105	15	PVC	114	0.50%	
Pipe - 106	15	PVC	52	0.50%	
Pipe - 107	12	PVC	87	0.56%	EXISTING STORM SEWER
Pipe - 107A	12	PVC	50	0.88%	
Pipe - 107B	12	PVC	144	0.40%	
Pipe - 107C	6	PVC	65	0.50%	

Pipe Name	Size	Material	Length	Slope	Description
Pipe - 108	12	PVC	27	0.64%	
Pipe - 109	12	PVC	63	0.65%	EXISTING STORM SEWER
Pipe - 110	12	PVC	54	0.13%	EXISTING STORM SEWER
Pipe - 200	24	RCP	89	0.55%	
Pipe - 200A	12	PVC	48	0.62%	EXISTING STORM SEWER
Pipe - 200B	12	PVC	124	1.04%	EXISTING STORM SEWER
Pipe - 200C	12	PVC	118	0.84%	EXISTING STORM SEWER
Pipe - 200D	6	HDPE	30	5.00%	PERFORATED UNDERDRAIN
Pipe - 200E	6	HDPE	47	0.50%	PERFORATED UNDERDRAIN
Pipe - 201	18	PVC	51	0.43%	
Pipe - 202	18	PVC	128	0.45%	
Pipe - 202A	6	HDPE	108	4.73%	PERFORATED UNDERDRAIN
Pipe - 202B	6	HDPE	15	0.50%	PERFORATED UNDERDRAIN
Pipe - 203	15	PVC	74	0.77%	EXISTING STORM SEWER

Pipe Name	Size	Material	Length	Slope	Description
Pipe - 204	15	PVC	59	0.41%	EXISTING STORM SEWER
Pipe - 300	18	HDPE	48	0.60%	W/ RCP FES
Pipe - 300A	12	PVC	300	0.15%	
Pipe - 300B	8	PVC	84	1.43%	
Pipe - 301	18	PVC	14	0.88%	EXISTING STORM SEWER
Pipe - 301A	12	PVC	17	1.00%	EXISTING STORM SEWER
Pipe - 302	18	PVC	67	0.41%	EXISTING STORM SEWER
Pipe - 303	18	PVC	66	0.41%	EXISTING STORM SEWER
Pipe - 303A	18	SCD 40	6	1.00%	EXISTING STORM SEWER
Pipe - 400	15	HDPE	37	0.42%	
Pipe - 401	15	HDPE	60	0.30%	
Pipe - 402	12	PVC	3	1.00%	
Pipe - 500	12	PVC	22	0.71%	EXISTING STORM SEWER
Pipe - 501	12	PVC	52	0.36%	EXISTING STORM SEWER

Consultant:



Project:

Olympia Brown Elementary
Addition & Renovation

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION

Location:
2115 S 1/2 Mile Rd.
Racine, WI 53402

Key Plan:

Plan Commission Set

Sheet:

GRADING PLAN -
NORTH WEST

Scale:



SCALE: 1" = 20'

Revisions:

No.	Date:	Description:

Date:

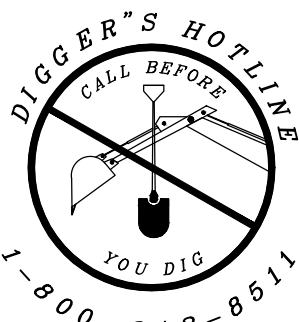
01.03.23

Project No.:

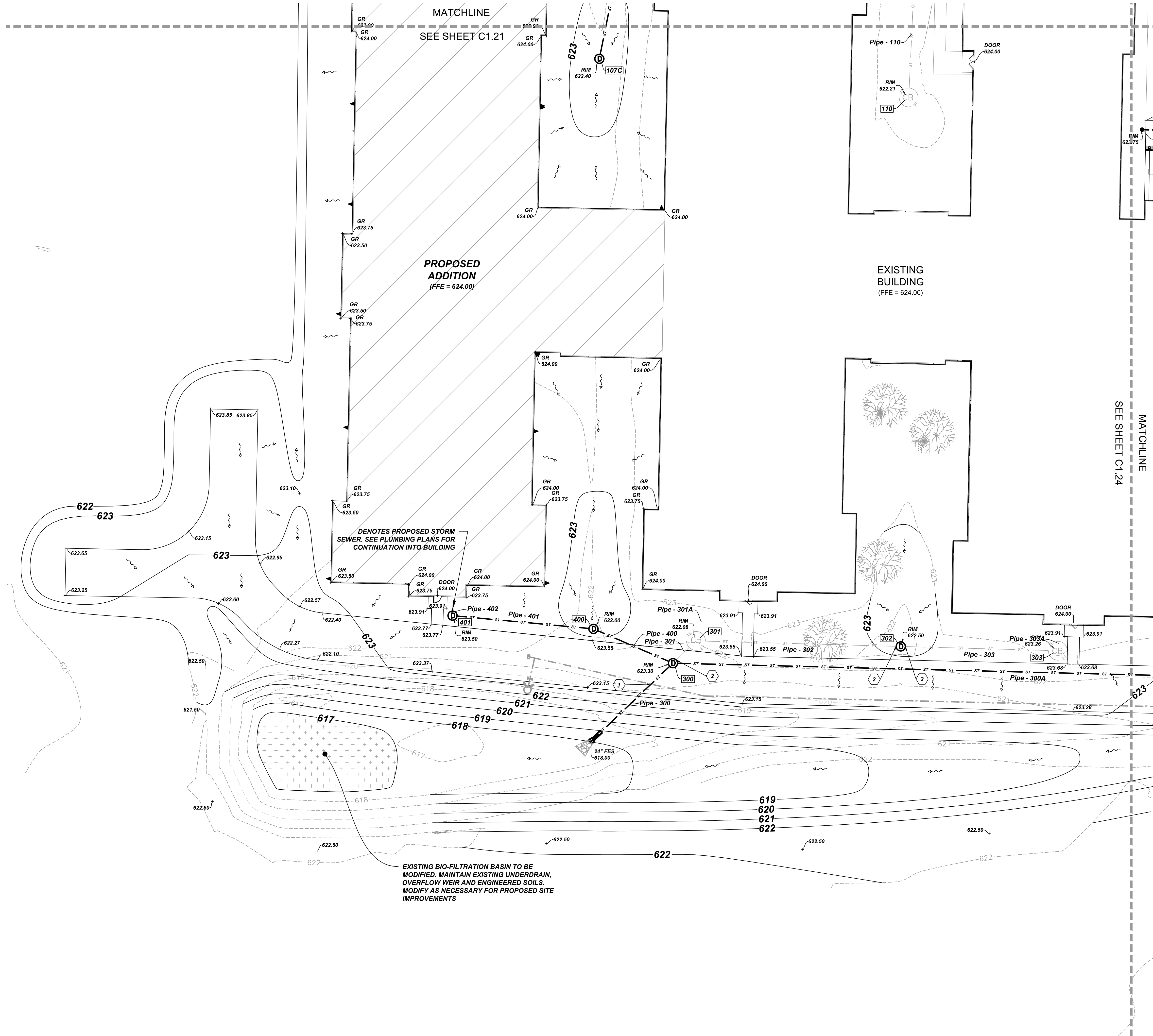
230033.00

Sheet No.:

C1.21



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS. AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



- NOTES**
- CAUTION! UTILITY CROSSING. VERIFY EXACT LOCATION AND ELEVATION PRIOR TO STARTING CONSTRUCTION. MAINTAIN A MINIMUM OF 12" VERTICAL SEPARATION BETWEEN SEWER AND WATERMAIN. ADJUST DEPTH OF WATERMAIN TO MAINTAIN 10" VERTICAL SEPARATION.
 - REMOVE SECTION OF EXISTING STORM SEWER AND CONNECT TO PROPOSED CATCH BASIN.

Storm Structure Table	
#	Structure Details
100	EXISTING CATCH BASIN - CURB RIM = 619.53 Pipe - 101 = 615.37 Pipe - 100 = 615.37
101	EXISTING CATCH BASIN - CURB RIM = 619.64 Pipe - 102 = 615.55 Pipe - 101 = 615.44
102	EXISTING CATCH BASIN - CURB RIM = 619.30 Pipe - 103 = 615.99 Pipe - 102 = 615.95
103	EXISTING CATCH BASIN - CURB RIM = 620.88 Pipe - 104 = 615.20 Pipe - 103A = 616.55 Pipe - 103 = 616.29
103A	EXISTING CATCH BASIN - CURB RIM = 620.82 Pipe - 103B = 616.63 Pipe - 103A = 616.61
103B	EXISTING CATCH BASIN RIM = 620.06 Pipe - 103B = 616.70
104	EXISTING CATCH BASIN - CURB RIM = 620.86 Pipe - 105 = 616.80 Pipe - 104A = 616.80 Pipe - 104 = 616.93
104A	EXISTING CATCH BASIN - CURB RIM = 621.01 Pipe - 104A = 616.69
105	EXISTING CATCH BASIN RIM = 621.12 Pipe - 106 = 617.36 Pipe - 105 = 617.37
106	EXISTING CATCH BASIN - CURB RIM = 621.38 Pipe - 107 = 617.57 Pipe - 106 = 617.42
107	CATCH BASIN (5' DIA) RIM = 621.50 Pipe - 108 = 616.06 Pipe - 107A = 616.06 Pipe - 107B = 616.60 Pipe - 107 = 616.06
107A	CATCH BASIN - CURB RIM = 621.00 Pipe - 107A = 616.50

107B	CATCH BASIN RIM = 622.50 Pipe - 107C = 619.17 Pipe - 107B = 619.17
107C	CATCH BASIN RIM = 622.40 Pipe - 107C = 619.50
108	CATCH BASIN - CURB RIM = 621.80 Pipe - 109 = 618.23 Pipe - 108 = 618.23
109	EXISTING CATCH BASIN RIM = 622.38 Pipe - 110 = 618.76 Pipe - 109 = 618.64
110	EXISTING CATCH BASIN RIM = 622.21 Pipe - 110 = 618.83
200	EXISTING CATCH BASIN RIM = 620.17 Pipe - 200B = 615.93 Pipe - 201 = 615.93 Pipe - 200A = 615.85 Pipe - 200 = 615.93
200A	EXISTING CATCH BASIN - CURB RIM = 619.65 Pipe - 200A = 616.25
200B	EXISTING CATCH BASIN RIM = 621.30 Pipe - 200C = 617.17 Pipe - 200B = 617.22
200C	EXISTING CATCH BASIN RIM = 622.53 Pipe - 200D = 619.48 Pipe - 200C = 618.17
200E	STORM CLEANOUT RIM = 623.75 Pipe - 200E = 621.20
201	EXISTING CATCH BASIN RIM = 620.63 Pipe - 202 = 616.12 Pipe - 201 = 616.15
202	EXISTING CATCH BASIN - CURB RIM = 621.45 Pipe - 203 = 616.57 Pipe - 202A = 616.70 Pipe - 202 = 616.70

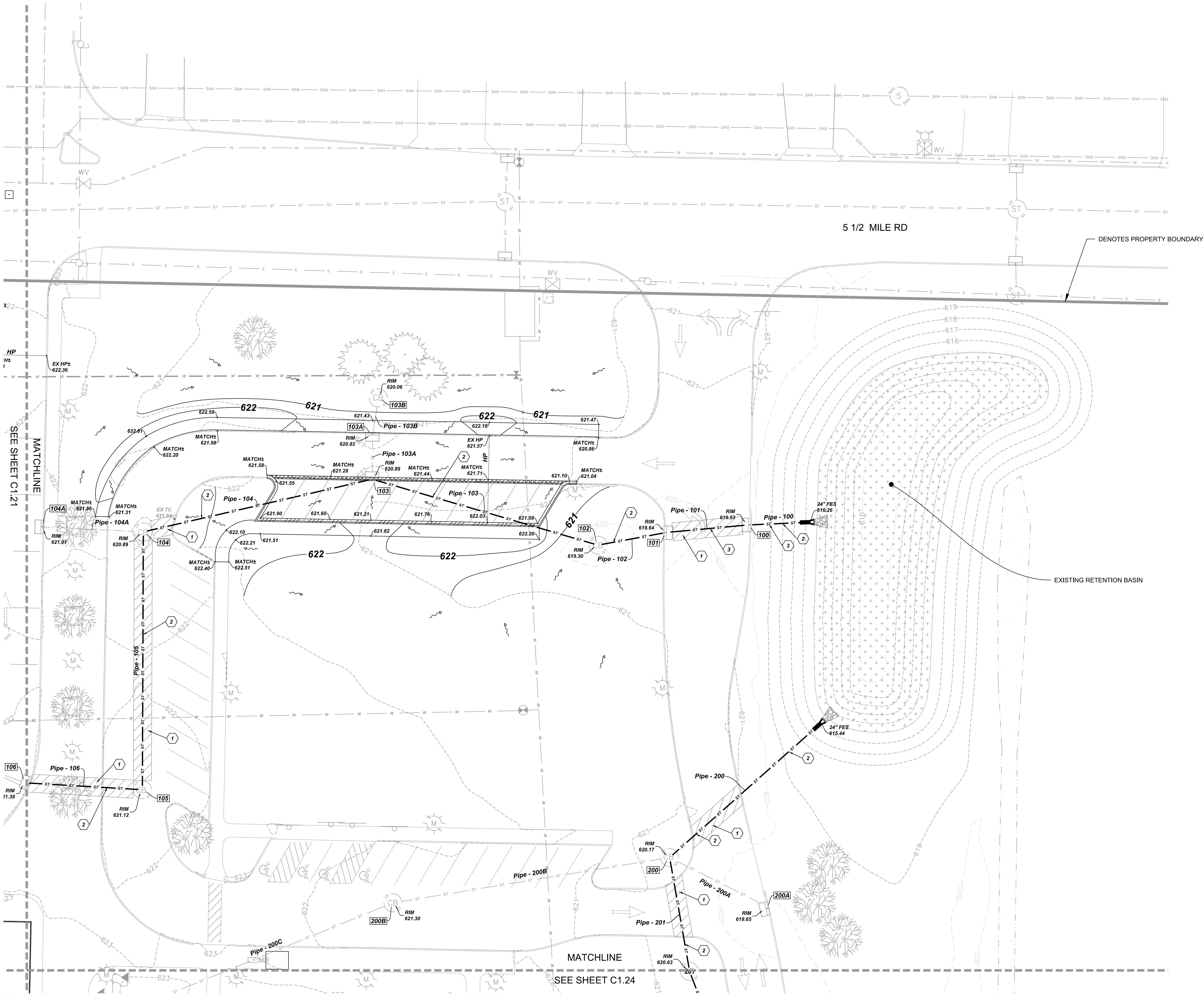
202B	STORM CLEANOUT RIM = 623.90 Pipe - 202B = 621.90
203	EXISTING CATCH BASIN RIM = 621.39 Pipe - 204 = 617.21 Pipe - 203 = 617.14
204	EXISTING CATCH BASIN RIM = 621.54 Pipe - 204 = 617.45
300	CATCH BASIN (6' DIA) RIM = 623.30 Pipe - 301 = 618.51 Pipe - 400 = 618.29 Pipe - 300A = 618.29 Pipe - 300 = 618.29
300A	CATCH BASIN RIM = 621.85 Pipe - 300B = 618.75 Pipe - 300A = 618.75
301	EXISTING CATCH BASIN RIM = 622.08 Pipe - 302 = 618.59 Pipe - 301A = 619.45 Pipe - 301 = 618.63
302	RIM = 622.50 Pipe - 303 = 618.94 Pipe - 302 = 618.84
303	EXISTING CATCH BASIN RIM = 623.26 Pipe - 303A = 619.19 Pipe - 303 = 619.21
400	CATCH BASIN RIM = 622.00 Pipe - 401 = 618.44 Pipe - 400 = 618.44
401	CATCH BASIN RIM = 623.50 Pipe - 402 = 618.82 Pipe - 401 = 618.62
500	EXISTING CATCH BASIN RIM = 618.59 Pipe - 501 = 616.40 Pipe - 500 = 615.78
501	EXISTING CATCH BASIN RIM = 619.00 Pipe - 501 = 618.59

Storm Pipe Table					
Pipe Name	Size	Material	Length	Slope	Description
Pipe - 100	24	RCP	27	0.40%	
Pipe - 101	24	PVC	36	0.20%	
Pipe - 102	24	PVC	31	1.30%	
Pipe - 103	24	PVC	104	0.29%	
Pipe - 103A	12	PVC	19	0.31%	EXISTING STORM SEWER
Pipe - 103B	12	PVC	17	0.42%	EXISTING STORM SEWER
Pipe - 104	18	PVC	104	0.70%	EXISTING STORM SEWER
Pipe - 104A	12	PVC	45	0.20%	EXISTING STORM SEWER
Pipe - 105	15	PVC	114	0.50%	
Pipe - 106	15	PVC	52	0.50%	
Pipe - 107	12	PVC	87	0.56%	EXISTING STORM SEWER
Pipe - 107A	12	PVC	50	0.88%	
Pipe - 107B	12	PVC	144	0.40%	
Pipe - 107C	6	PVC	65	0.50%	

Pipe Name	Size	Material	Length	Slope	Description
Pipe - 108	12	PVC	27	0.64%	
Pipe - 109	12	PVC	63	0.65%	EXISTING STORM SEWER
Pipe - 110	12	PVC	54	0.13%	EXISTING STORM SEWER
Pipe - 200	24	RCP	89	0.55%	
Pipe - 200A	12	PVC	48	0.62%	EXISTING STORM SEWER
Pipe - 200B	12	PVC	124	1.04%	EXISTING STORM SEWER
Pipe - 200C	12	PVC	118	0.84%	EXISTING STORM SEWER
Pipe - 200D	6	HDPE	30	5.00%	PERFORATED UNDERDRAIN
Pipe - 200E	6	HDPE	47	0.50%	PERFORATED UNDERDRAIN
Pipe - 201	18	PVC	51	0.43%	
Pipe - 202	18	PVC	128	0.45%	
Pipe - 202A	6	HDPE	108	4.73%	PERFORATED UNDERDRAIN
Pipe - 202B	6	HDPE	15	0.50%	PERFORATED UNDERDRAIN
Pipe - 203	15	PVC	74	0.77%	EXISTING STORM SEWER

Pipe Name	Size	Material	Length	Slope	Description
Pipe - 204	15	PVC	59	0.41%	EXISTING STORM SEWER
Pipe - 300	18	HDPE	48	0.60%	W/ RCP FES
Pipe - 300A	12	PVC	300	0.15%	
Pipe - 300B	8	PVC	84	1.43%	
Pipe - 301	18	PVC	14	0.88%	EXISTING STORM SEWER
Pipe - 301A	12	PVC	17	1.00%	EXISTING STORM SEWER
Pipe - 302	18	PVC	67	0.41%	EXISTING STORM SEWER
Pipe - 303	18	PVC	66	0.41%	EXISTING STORM SEWER
Pipe - 303A	18	SCH 40	6	1.00%	EXISTING STORM SEWER
Pipe - 400	15	HDPE	37	0.42%	
Pipe - 401	15	HDPE	60	0.30%	
Pipe - 402	12	PVC	3	1.00%	
Pipe - 500	12	PVC	22	0.71%	EXISTING STORM SEWER
Pipe - 501	12	PVC	52	0.36%	EXISTING STORM SEWER

Revisions:		
No.	Date:	Description:



- NOTES**
1. REMOVE AND REPLACE EXISTING PAVEMENT, SIDEWALK, AND CURB AND GUTTER TO INSTALL PROPOSED UTILITIES
 2. EXISTING STORM SEWER TO BE INCREASED IN PIPE DIAMETER. CORE NEW HOLE IN CATCH BASIN
 3. EXISTING STORM SEWER TO BE INCREASED IN PIPE DIAMETER AND INVERTS TO BE ADJUSTED AT CATCH BASINS. CORE NEW HOLE IN CATCH BASIN

Storm Structure Table

#	Structure Details
100	EXISTING CATCH BASIN - CURB RIM = 619.53 Pipe - 101 = 615.37 Pipe - 100 = 615.37
101	EXISTING CATCH BASIN - CURB RIM = 619.64 Pipe - 102 = 615.55 Pipe - 101 = 615.44
102	EXISTING CATCH BASIN - CURB RIM = 619.30 Pipe - 103 = 615.98 Pipe - 102 = 615.95
103	EXISTING CATCH BASIN - CURB RIM = 620.88 Pipe - 104 = 615.20 Pipe - 103A = 616.55 Pipe - 103 = 616.29
103A	EXISTING CATCH BASIN - CURB RIM = 620.82 Pipe - 103B = 616.63 Pipe - 103A = 616.61
103B	EXISTING CATCH BASIN RIM = 620.06 Pipe - 103B = 616.70
104	EXISTING CATCH BASIN - CURB RIM = 620.85 Pipe - 104A = 616.80 Pipe - 104 = 616.53
104A	EXISTING CATCH BASIN - CURB RIM = 621.01 Pipe - 104A = 616.69
105	EXISTING CATCH BASIN RIM = 621.12 Pipe - 106 = 617.36 Pipe - 105 = 617.37
106	EXISTING CATCH BASIN - CURB RIM = 621.58 Pipe - 107 = 617.57 Pipe - 106 = 617.42
107	CATCH BASIN (6" DIA) RIM = 621.50 Pipe - 108 = 616.06 Pipe - 107A = 616.06 Pipe - 107B = 616.60 Pipe - 107 = 616.06
107A	CATCH BASIN - CURB RIM = 621.60 Pipe - 107A = 616.50
107B	CATCH BASIN RIM = 622.50 Pipe - 107C = 619.17 Pipe - 107B = 619.17
107C	CATCH BASIN RIM = 622.40 Pipe - 107C = 619.50
108	CATCH BASIN - CURB RIM = 621.80 Pipe - 109 = 618.23 Pipe - 108 = 618.23
109	EXISTING CATCH BASIN RIM = 622.38 Pipe - 301 = 618.51 Pipe - 400 = 618.29 Pipe - 300A = 618.29 Pipe - 300 = 618.29
110	EXISTING CATCH BASIN RIM = 622.21 Pipe - 110 = 618.83
200	EXISTING CATCH BASIN RIM = 620.17 Pipe - 200B = 615.93 Pipe - 201 = 615.93 Pipe - 200A = 615.85 Pipe - 200 = 615.93
200A	EXISTING CATCH BASIN - CURB RIM = 619.65 Pipe - 200A = 616.25
200B	EXISTING CATCH BASIN RIM = 621.30 Pipe - 200C = 617.17 Pipe - 200B = 617.22
200C	EXISTING CATCH BASIN RIM = 622.53 Pipe - 200D = 619.48 Pipe - 200C = 618.17
200D	EXISTING CATCH BASIN - CURB RIM = 621.35 Pipe - 200E = 621.20
200E	STORM CLEANOUT RIM = 623.75 Pipe - 200E = 621.20
201	EXISTING CATCH BASIN RIM = 620.63 Pipe - 202 = 616.12 Pipe - 201 = 616.15
202	EXISTING CATCH BASIN - CURB RIM = 621.45 Pipe - 203 = 616.57 Pipe - 202A = 616.70 Pipe - 202 = 616.70
202A	STORM CLEANOUT RIM = 623.75 Pipe - 202A = 621.20
202B	STORM CLEANOUT RIM = 623.93 Pipe - 202B = 621.90
203	EXISTING CATCH BASIN RIM = 621.39 Pipe - 204 = 617.21 Pipe - 203 = 617.14
204	EXISTING CATCH BASIN RIM = 621.54 Pipe - 204 = 617.45
300	CATCH BASIN (6" DIA) RIM = 623.30 Pipe - 301 = 618.51 Pipe - 400 = 618.29 Pipe - 300A = 618.29 Pipe - 300 = 618.29
300A	CATCH BASIN RIM = 621.85 Pipe - 300B = 618.75 Pipe - 300A = 618.75
301	EXISTING CATCH BASIN RIM = 622.08 Pipe - 302 = 618.59 Pipe - 301A = 619.45 Pipe - 301 = 618.63
302	RIM = 622.50 Pipe - 303 = 618.94 Pipe - 302 = 618.94
303	EXISTING CATCH BASIN RIM = 623.26 Pipe - 303A = 619.19 Pipe - 303 = 619.21
400	CATCH BASIN RIM = 622.00 Pipe - 401 = 618.44 Pipe - 400 = 618.44
401	CATCH BASIN RIM = 623.50 Pipe - 402 = 618.82 Pipe - 401 = 618.62
500	EXISTING CATCH BASIN RIM = 618.59 Pipe - 501 = 616.40 Pipe - 500 = 615.78
501	EXISTING CATCH BASIN RIM = 619.00 Pipe - 501 = 616.59

Storm Pipe Table				
Pipe Name	Size	Material	Length	Slope
Pipe - 100	24	RCP	27	0.40%
Pipe - 101	24	PVC	36	0.20%
Pipe - 102	24	PVC	31	1.30%
Pipe - 103	24	PVC	104	0.28%
Pipe - 103A	12	PVC	19	0.31%
Pipe - 103B	12	PVC	17	0.42%
Pipe - 104	18	PVC	104	0.70%
Pipe - 104A	12	PVC	45	0.20%
Pipe - 105	15	PVC	114	0.50%
Pipe - 106	15	PVC	52	0.50%
Pipe - 107	12	PVC	87	0.56%
Pipe - 107A	12	PVC	50	0.88%
Pipe - 107B	12	PVC	144	0.40%
Pipe - 107C	6	PVC	65	0.50%

Pipe Name	Size	Material	Length	Slope	Description
Pipe - 108	12	PVC	27	0.64%	
Pipe - 109	12	PVC	63	0.65%	EXISTING STORM SEWER
Pipe - 110	12	PVC	54	0.13%	EXISTING STORM SEWER
Pipe - 200	24	RCP	89	0.55%	
Pipe - 200A	12	PVC	48	0.62%	EXISTING STORM SEWER
Pipe - 200B	12	PVC	124	1.04%	EXISTING STORM SEWER
Pipe - 200C	12	PVC	118	0.84%	EXISTING STORM SEWER
Pipe - 200D	6	HDPE	30	5.00%	PERFORATED UNDERDRAIN
Pipe - 200E	6	HDPE	47	0.50%	PERFORATED UNDERDRAIN
Pipe - 201	18	PVC	51	0.43%	
Pipe - 202	18	PVC	128	0.45%	
Pipe - 202A	6	HDPE	108	4.73%	PERFORATED UNDERDRAIN
Pipe - 202B	6	HDPE	15	0.50%	PERFORATED UNDERDRAIN
Pipe - 203	15	PVC	74	0.77%	EXISTING STORM SEWER

Pipe Name	Size	Material	Length	Slope	Description
Pipe - 204	15	PVC	59	0.41%	EXISTING STORM SEWER
Pipe - 300	18	HDPE	48	0.60%	W/ RCP FES
Pipe - 300A	12	PVC	300	0.15%	
Pipe - 300B	8	PVC	84	1.43%	
Pipe - 301	18	PVC	14	0.88%	EXISTING STORM SEWER
Pipe - 301A	12	PVC	17	1.00%	EXISTING STORM SEWER
Pipe - 302	18	PVC	67	0.41%	EXISTING STORM SEWER
Pipe - 303	18	PVC	66	0.41%	EXISTING STORM SEWER
Pipe - 303A	18	SCH 40	6	1.00%	EXISTING STORM SEWER
Pipe - 400	15	HDPE	37	0.42%	
Pipe - 401	15	HDPE	60	0.30%	
Pipe - 402	12	PVC	3	1.00%	
Pipe - 500	12	PVC	22	0.71%	EXISTING STORM SEWER
Pipe - 501	12	PVC	52	0.36%	EXISTING STORM SEWER

Consultant:



Project:

Olympia Brown Elementary
Addition & Renovation

Location:
2115 S 1/2 Mile Rd.
Racine, WI 53402

Key Plan:

Plan Commission Set

Sheet:

**GRADING PLAN -
NORTH EAST**

Scale:

SCALE: 1" = 20'

Revisions:

No.	Date:	Description:

Date:

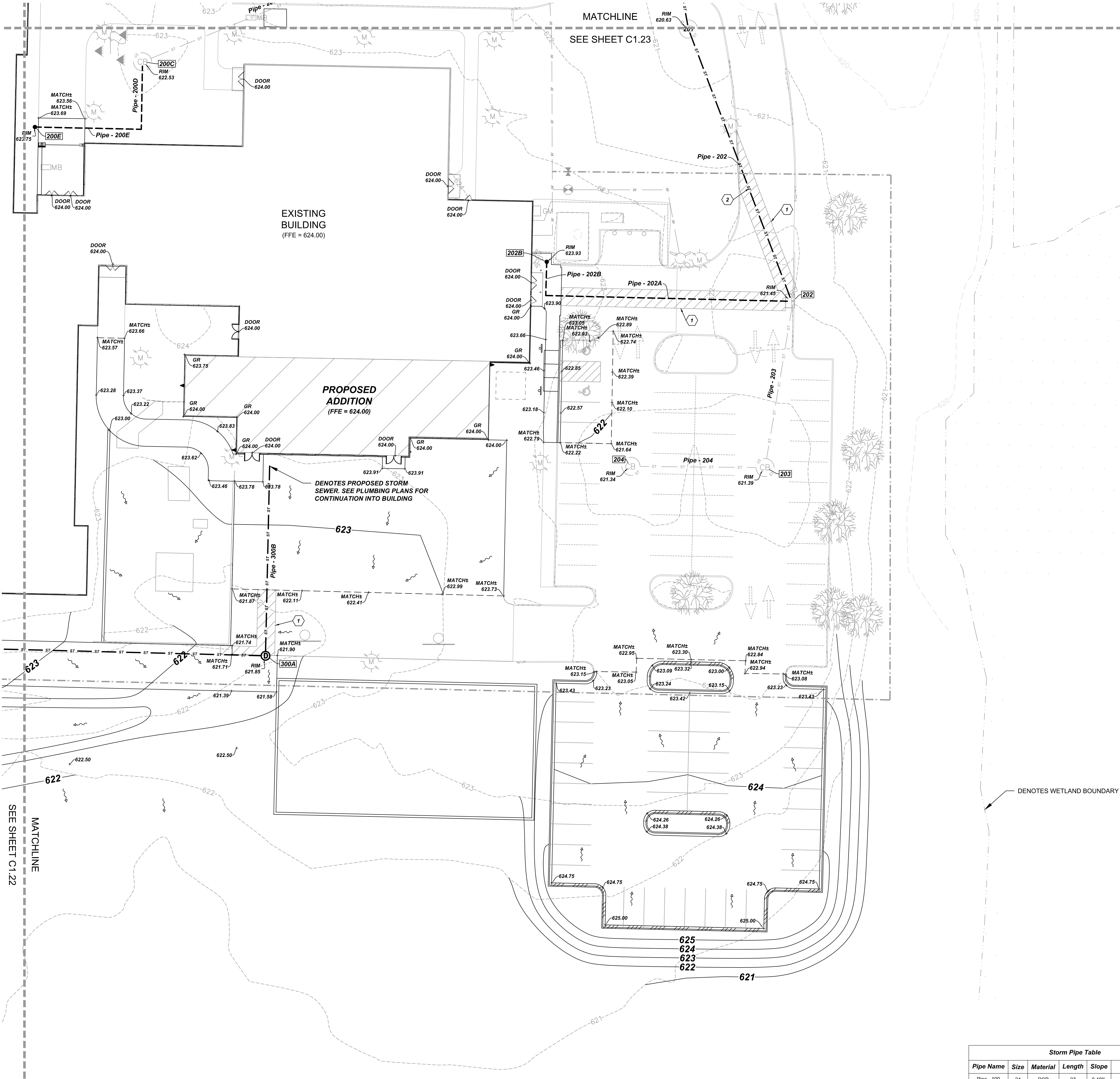
01.03.23

Project No.:

230033.00

Sheet No.:

C1.23



- NOTES**
1. REMOVE AND REPLACE EXISTING PAVEMENT, SIDEWALK, AND CURB AND GUTTER TO INSTALL PROPOSED UTILITIES
 2. EXISTING STORM SEWER TO BE INCREASED IN PIPE DIAMETER, CORE NEW HOLE IN CATCH BASIN

Storm Structure Table	
#	Structure Details
100	EXISTING CATCH BASIN - CURB RIM = 619.53 Pipe - 101 = 615.37 Pipe - 100 = 615.37
101	EXISTING CATCH BASIN - CURB RIM = 619.64 Pipe - 102 = 615.55 Pipe - 101 = 615.44
102	EXISTING CATCH BASIN - CURB RIM = 619.30 Pipe - 103 = 615.99 Pipe - 102 = 615.95
103	EXISTING CATCH BASIN - CURB RIM = 620.88 Pipe - 104 = 615.20 Pipe - 103A = 616.55 Pipe - 103 = 616.29
103A	EXISTING CATCH BASIN - CURB RIM = 620.62 Pipe - 103B = 616.63 Pipe - 103A = 616.61
103B	EXISTING CATCH BASIN RIM = 620.06 Pipe - 103B = 616.70
104	EXISTING CATCH BASIN - CURB RIM = 620.88 Pipe - 105 = 616.80 Pipe - 104A = 616.80 Pipe - 104 = 616.93
104A	EXISTING CATCH BASIN - CURB RIM = 621.01 Pipe - 104A = 616.69
105	EXISTING CATCH BASIN RIM = 621.12 Pipe - 106 = 617.36 Pipe - 105 = 617.37
106	EXISTING CATCH BASIN - CURB RIM = 621.35 Pipe - 107 = 617.57 Pipe - 106 = 617.42
107	CATCH BASIN (6' DIA) RIM = 621.50 Pipe - 108 = 616.06 Pipe - 107A = 616.06 Pipe - 107B = 616.60 Pipe - 107 = 616.08
107A	CATCH BASIN - CURB RIM = 621.90 Pipe - 107A = 616.50
107B	CATCH BASIN RIM = 622.50 Pipe - 107C = 619.17 Pipe - 107B = 619.17
107C	CATCH BASIN RIM = 622.40 Pipe - 107C = 619.50
108	CATCH BASIN - CURB RIM = 621.80 Pipe - 109 = 618.23 Pipe - 108 = 618.23
109	EXISTING CATCH BASIN RIM = 622.38 Pipe - 110 = 618.76 Pipe - 109 = 616.64
110	EXISTING CATCH BASIN RIM = 622.21 Pipe - 110 = 618.83
103A	EXISTING CATCH BASIN RIM = 620.17 Pipe - 200B = 615.93 Pipe - 201 = 615.93 Pipe - 200A = 615.95 Pipe - 200 = 615.93
200	EXISTING CATCH BASIN RIM = 620.08 Pipe - 302 = 618.59 Pipe - 301A = 619.45 Pipe - 301 = 618.63
200A	EXISTING CATCH BASIN - CURB RIM = 619.65 Pipe - 200A = 616.25
200B	EXISTING CATCH BASIN RIM = 621.30 Pipe - 200C = 617.17 Pipe - 200B = 617.22
200C	EXISTING CATCH BASIN RIM = 622.53 Pipe - 200D = 619.48 Pipe - 200C = 618.17
200E	STORM CLEANOUT RIM = 623.75 Pipe - 200E = 621.20
201	EXISTING CATCH BASIN RIM = 620.63 Pipe - 202 = 616.12 Pipe - 201 = 616.15
202	EXISTING CATCH BASIN - CURB RIM = 621.45 Pipe - 203 = 616.57 Pipe - 202A = 616.70 Pipe - 202 = 616.70
202B	STORM CLEANOUT RIM = 623.90 Pipe - 202B = 621.90
203	EXISTING CATCH BASIN RIM = 621.39 Pipe - 204 = 617.21 Pipe - 203 = 617.14
204	EXISTING CATCH BASIN RIM = 621.54 Pipe - 204 = 617.45
300	CATCH BASIN (6' DIA) RIM = 623.30 Pipe - 301 = 618.51 Pipe - 400 = 618.29 Pipe - 300A = 618.29 Pipe - 300 = 618.29
300A	CATCH BASIN RIM = 621.85 Pipe - 300B = 618.75 Pipe - 300A = 618.75
301	EXISTING CATCH BASIN RIM = 622.08 Pipe - 302 = 618.59 Pipe - 301A = 619.45 Pipe - 301 = 618.63
302	RIM = 622.50 Pipe - 303 = 618.94 Pipe - 302 = 618.94
303	EXISTING CATCH BASIN RIM = 623.26 Pipe - 303A = 619.19 Pipe - 303 = 619.21
400	CATCH BASIN RIM = 622.00 Pipe - 401 = 618.44 Pipe - 400 = 618.44
401	CATCH BASIN RIM = 623.50 Pipe - 402 = 618.82 Pipe - 401 = 618.62
500	EXISTING CATCH BASIN RIM = 618.59 Pipe - 501 = 616.40 Pipe - 500 = 615.78
501	EXISTING CATCH BASIN RIM = 619.00 Pipe - 501 = 616.59

Storm Pipe Table					
Pipe Name	Size	Material	Length	Slope	Description
Pipe - 100	24	RCP	27	0.40%	
Pipe - 101	24	PVC	36	0.20%	
Pipe - 102	24	PVC	31	1.30%	
Pipe - 103	24	PVC	104	0.29%	
Pipe - 103A	12	PVC	19	0.31%	EXISTING STORM SEWER
Pipe - 103B	12	PVC	17	0.42%	EXISTING STORM SEWER
Pipe - 104	18	PVC	104	0.70%	EXISTING STORM SEWER
Pipe - 104A	12	PVC	45	0.20%	EXISTING STORM SEWER
Pipe - 105	15	PVC	114	0.50%	
Pipe - 106	15	PVC	52	0.50%	
Pipe - 107	12	PVC	87	0.56%	EXISTING STORM SEWER
Pipe - 107A	12	PVC	50	0.88%	
Pipe - 107B	12	PVC	144	0.40%	
Pipe - 107C	6	PVC	65	0.50%	

Pipe Name	Size	Material	Length	Slope	Description
Pipe - 108	12	PVC	27	0.64%	
Pipe - 109	12	PVC	63	0.65%	EXISTING STORM SEWER
Pipe - 110	12	PVC	54	0.13%	EXISTING STORM SEWER
Pipe - 200	24	RCP	89	0.55%	
Pipe - 200A	12	PVC	48	0.62%	EXISTING STORM SEWER
Pipe - 200B	12	PVC	124	1.04%	EXISTING STORM SEWER
Pipe - 200C	12	PVC	118	0.84%	EXISTING STORM SEWER
Pipe - 200D	6	HDPE	30	5.00%	PERFORATED UNDERDRAIN
Pipe - 200E	6	HDPE	47	0.50%	PERFORATED UNDERDRAIN
Pipe - 201	18	PVC	51	0.43%	
Pipe - 202	18	PVC	128	0.45%	
Pipe - 202A	6	HDPE	108	4.73%	PERFORATED UNDERDRAIN
Pipe - 202B	6	HDPE	15	0.50%	PERFORATED UNDERDRAIN
Pipe - 203	15	PVC	74	0.77%	EXISTING STORM SEWER

Pipe Name	Size	Material	Length	Slope	Description
Pipe - 204	15	PVC	59	0.41%	EXISTING STORM SEWER
Pipe - 300	18	HDPE	48	0.60%	W/ RCP PES
Pipe - 300A	12	PVC	300	0.15%	
Pipe - 300B	8	PVC	84	1.43%	
Pipe - 301	18	PVC	14	0.88%	EXISTING STORM SEWER
Pipe - 301A	12	PVC	17	1.00%	EXISTING STORM SEWER
Pipe - 302	18	PVC	67	0.41%	EXISTING STORM SEWER
Pipe - 303	18	PVC	66	0.41%	EXISTING STORM SEWER
Pipe - 303A	18	SCH 40	6	1.00%	EXISTING STORM SEWER
Pipe - 400	15	HDPE	37	0.42%	
Pipe - 401	15	HDPE	60	0.30%	
Pipe - 402	12	PVC	3	1.00%	
Pipe - 500	12	PVC	22	0.71%	EXISTING STORM SEWER
Pipe - 501	12	PVC	52	0.36%	EXISTING STORM SEWER

Consultant:



Project:

Olympia Brown Elementary
Addition & Renovation

Location:
2115 S 1/2 Mile Rd.
Racine, WI 53402

Key Plan:

Plan Commission Set

Sheet:

GRADING PLAN - SOUTH EAST

Scale:

SCALE: 1" = 20'

Revisions:

No.	Date:	Description:

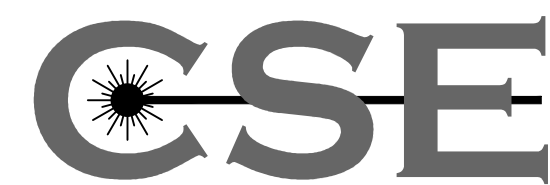
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01.03.23

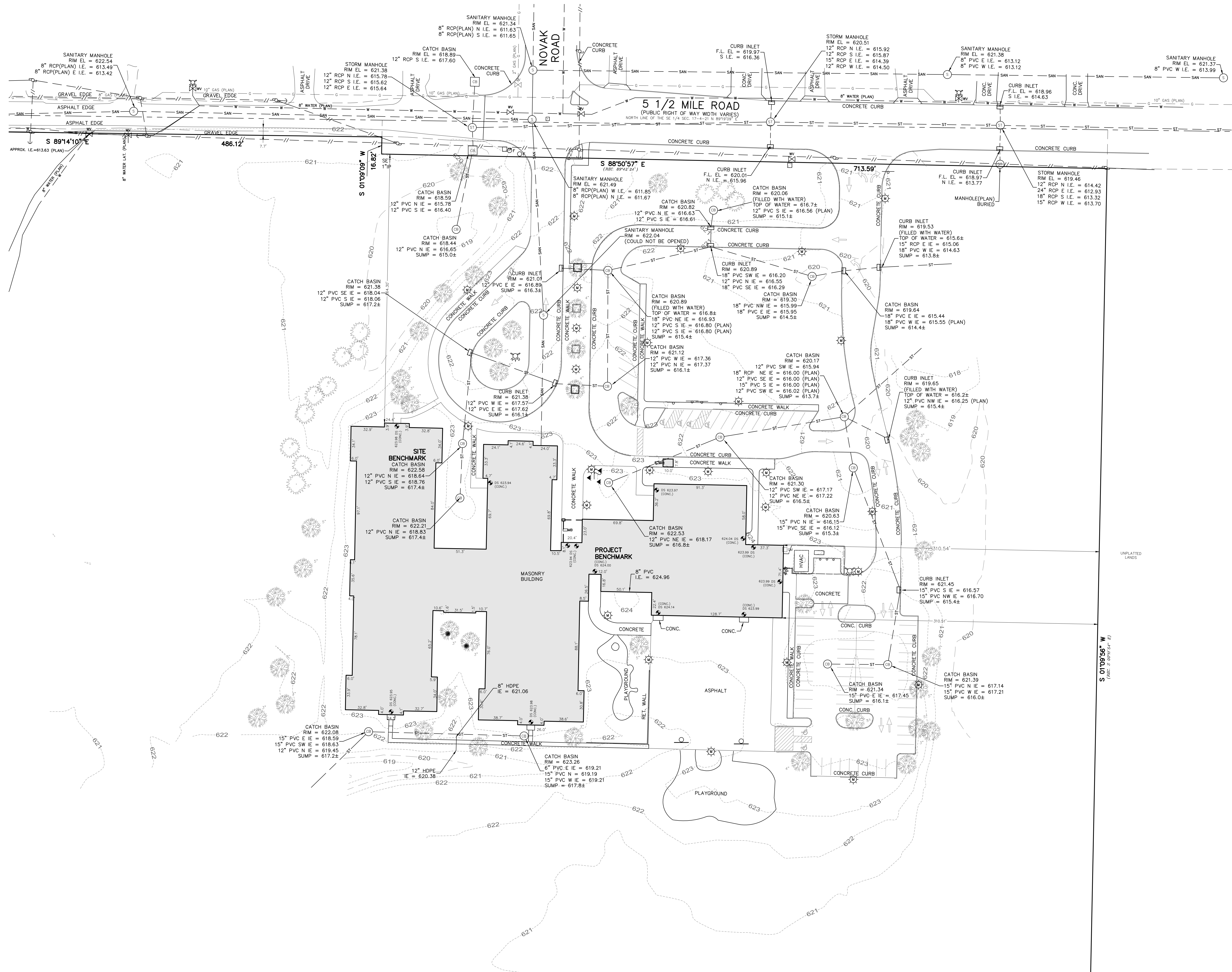
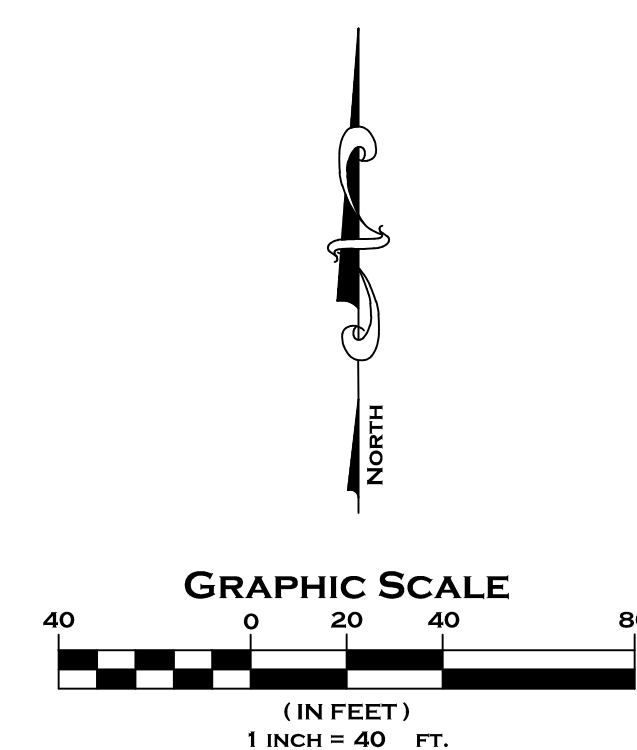
Project No.:

230033.00

Sheet No.:



CAPITOL SURVEY ENTERPRISES
220 REGENCY CT. STE. 210
BROOKFIELD, WI 53005
PH: (262) 786-6600
FAX: (414) 786-6608
WWW.CAPITOLSURVEY.COM



EXISTING CONDITIONS SURVEY
FOR
OLYMPIA BROWN
5 1/2 MILE ROAD
CALEDONIA, WI

DRAWN BY:	NJF	DATE:	SEP. 27, 2023
CHECKED BY:	NJF	DRAWING No.	EC - 0
CSE Job No.:	15 - 013	SHEET	1 OF 1

- NOTES
- LEGAL DESCRIPTION PROVIDED BY CLIENT.
 - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55101C0116D, WITH A DATE OF IDENTIFICATION OF MAY 2, 2012, IN COMMUNITY NO. 550628, VILLAGE OF CALEDONIA, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
 - PROJECT BENCHMARK - FLOOR AT DOOR OF BUILDING AS SHOWN HEREON. EL = 624.00
 - SITE BENCHMARK - NORTH RIM OF CATCH BASIN AS SHOWN HEREON. EL = 622.58
 - ELEVATIONS BASED ON INFORMATION PROVIDED BY CLIENT.
 - SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), RACINE COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)).


NOTE: SURVEY COMPLETED BY CAPITOL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED.

LEGEND	
— SAN —	SANITARY SEWER
— ST —	STORM SEWER
— W —	WATER MAIN
— G —	GAS LINE
— TEL —	BURIED TELEPHONE LINE
— E —	BURIED ELECTRIC LINE
— FO —	BURIED FIBER OPTIC LINE
— CATV —	BURIED CABLE TELEVISION LINES
— COMB —	COMBINATION SEWER
— MFL —	METAL FENCE
— 624.14	DOOR SILL ELEVATION
— 624.00	FIRE DEPARTMENT CONNECTION
— TRANS —	ELECTRIC TRANSFORMER
— METER —	ELECTRIC METER
— BOX —	ELECTRIC BOX AT GRADE
— PED —	TELEPHONE PEDestal
— METER —	GAS METER
— COND —	AIR CONDITIONER
— WOOD —	WOOD SIGN
— COMB —	COMBINATION SEWER
— MFL —	METAL FENCE
— 624.14	DOOR SILL ELEVATION
— 624.00	FIRE DEPARTMENT CONNECTION
— HYDRANT —	HYDRANT
— VALVE —	WATER VALVE
— VALVE —	GAS VALVE
— MANHOLE —	MANHOLE
— INLET —	STORM MANHOLE
— INLET —	CATCH BASIN
— INLET —	CURB INLET
— POLE —	METAL LIGHT POLE
— POLE —	WOOD LIGHT POLE
— BOX —	WALL BOX
— LIGHT —	FIBER OPTIC MARKER
— WIRE —	GUY WIRE



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

EXISTING
SURVEY

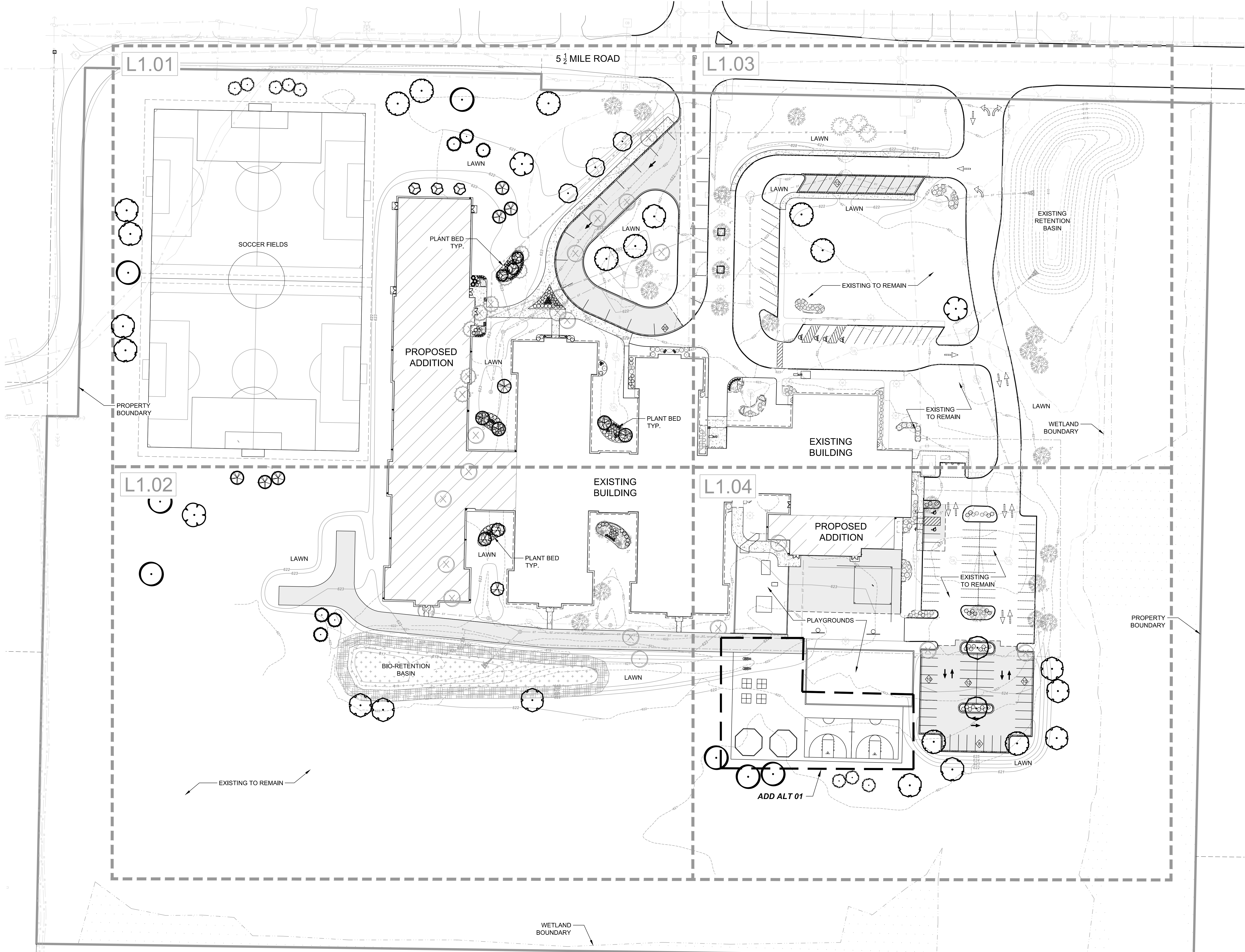
Scale:		North 
SCALE: 1" = 40'		
Revisions:		
No:	Date:	Description:

Date:
01.03.23

Project No.:
230033.00

Sheet No.:





LANDSCAPE SHEET INDEX

L1.00	LANDSCAPE PLAN - OVERALL
L1.01	LANDSCAPE PLAN - NORTHWEST
L1.02	LANDSCAPE PLAN - SOUTHWEST
L1.03	LANDSCAPE PLAN - NORTHEAST
L1.04	LANDSCAPE PLAN - SOUTHEAST
L2.00	LANDSCAPE DETAILS & NOTES

LANDSCAPE KEY

CONCRETE 	EXISTING TREES TO REMAIN 	DECIDUOUS TREES 	ORNAMENTAL TREES 	DECIDUOUS SHRUBS
ASPHALT 	EXISTING TREES TO BE REMOVED 	EVERGREEN TREES 	ORNAMENTAL GRASSES 	PERENNIALS
BIO-RETENTION SEED MIX 				
SLOPE SEED MIX 				

GENERAL NOTES

Lawn areas to be seeded with premium commercial grade bluegrass seed mix, see specifications.

Plant beds, parking lot islands and maintenance strips to receive a 3-4" deep layer of shredded hardwood mulch.

All plantings shall comply with standards as described in the American Standard of Nursery Stock - ANSI Z60.1 (Latest Version)

Caution: underground utilities are present on site. The Contractor shall verify location of all above- and below-grade utilities, both public & private, prior to commencement of site construction. If unanticipated above- or below-grade conditions are encountered, notify Client & Landscape Architect prior to proceeding. Coordinate with local public utility locating entity as needed.

Contractor to limit construction traffic to within work areas. All adjacent damage shall be the responsibility of the contractor to restore.

Consultant:

Project:

Olympia Brown Elementary
Addition & Renovation

Location:
2115 S 1/2 Mile Rd.
Racine, WI 53402

Key Plan:

Plan Commission Set

Sheet:

LANDSCAPE PLAN OVERALL

Scale: 1" = 40'



Revisions:

No.	Date:	Description:

Date:

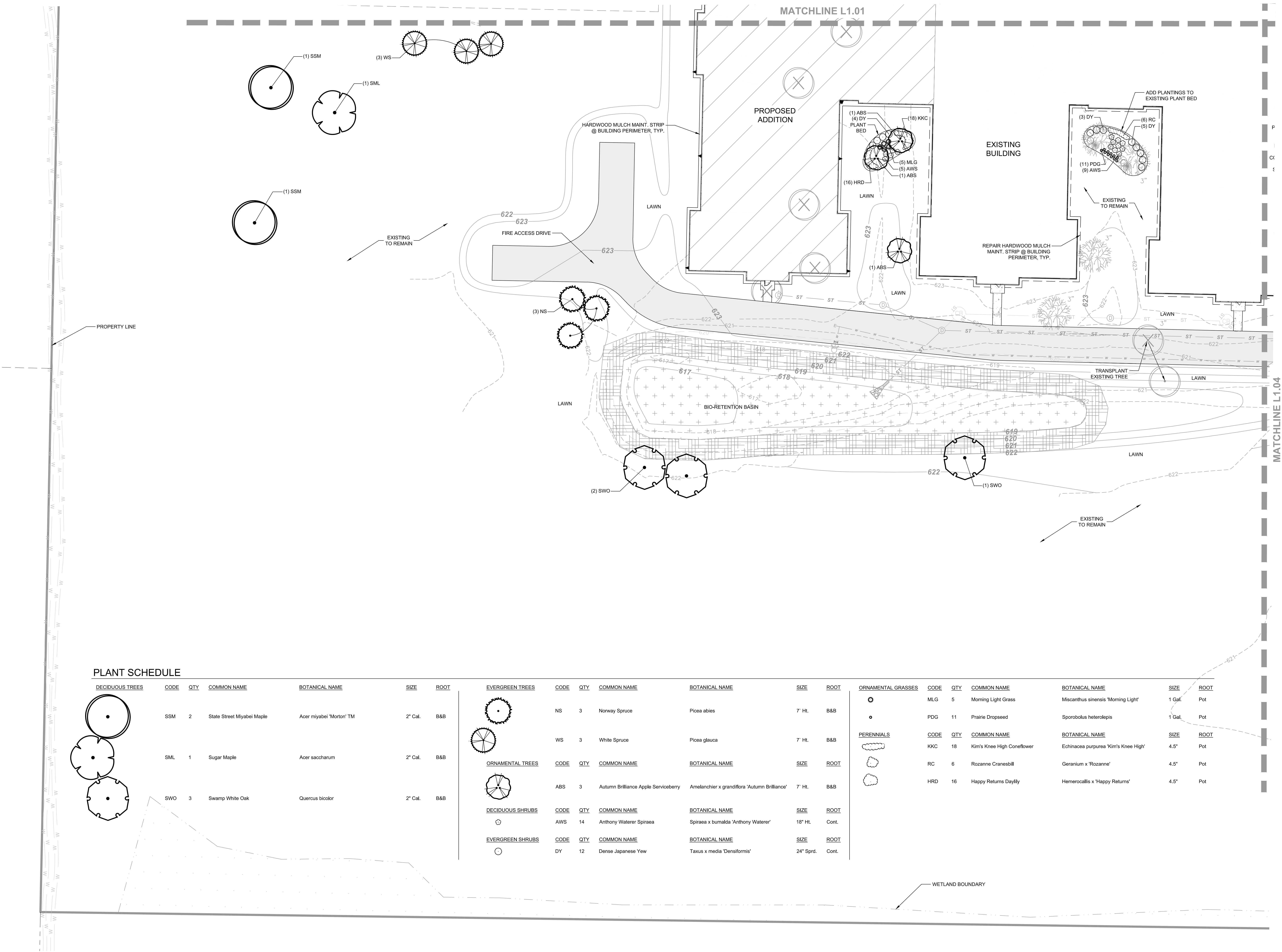
01.03.23

Project No.:


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Sheet No.:

L1.00



PLANT SCHEDULE

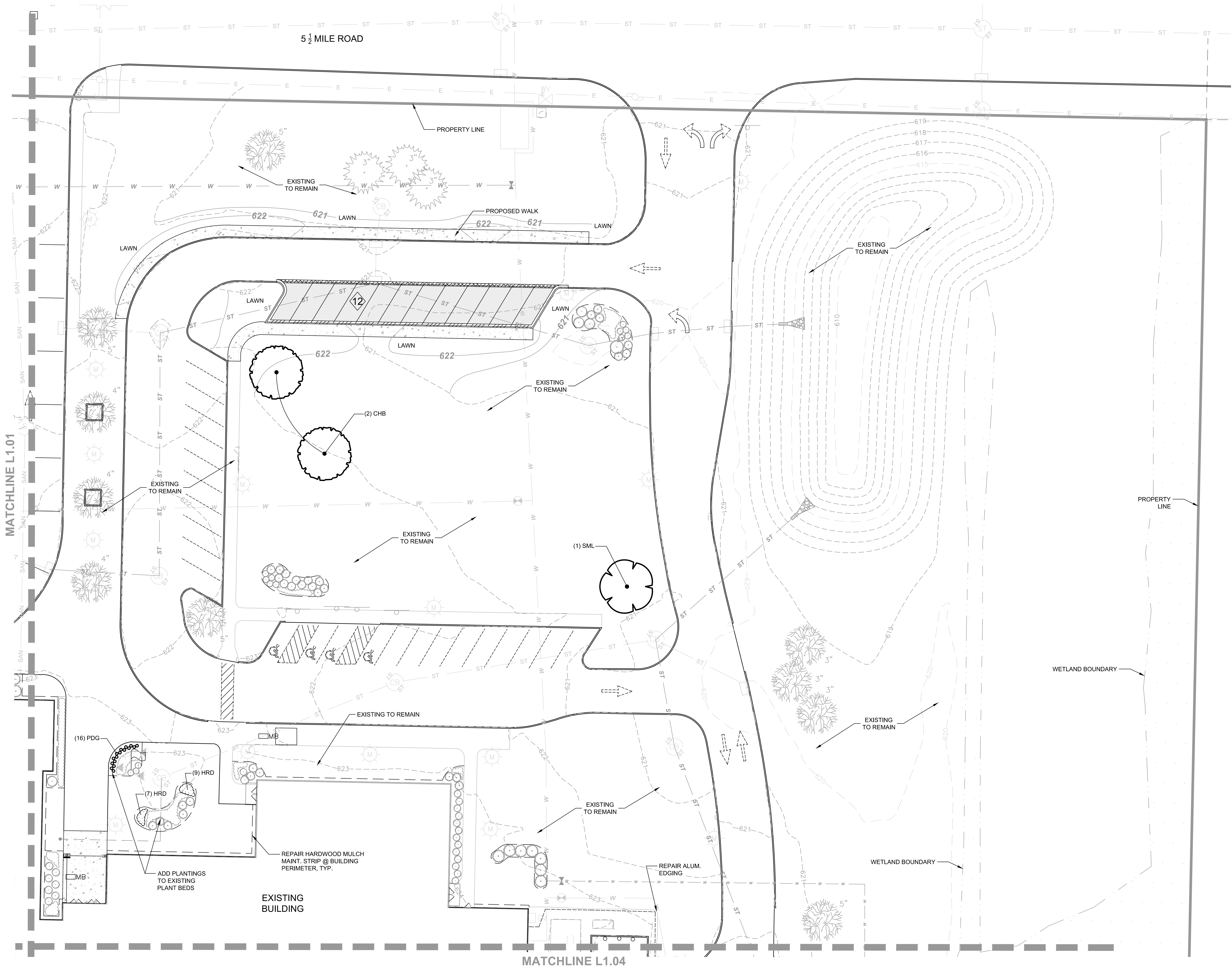
DECIDUOUS TREES						EVERGREEN TREES						ORNAMENTAL GRASSES								
CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT			
	SSM	2	State Street Miyabei Maple	Acer miyabei 'Morton' TM	2" Cal.	B&B		NS	3	Norway Spruce	Picea abies	7' Ht.	B&B		MLG	5	Morning Light Grass	Miscanthus sinensis 'Morning Light'	1 Gal.	Pot
	SML	1	Sugar Maple	Acer saccharum	2" Cal.	B&B		WS	3	White Spruce	Picea glauca	7' Ht.	B&B		PDG	11	Prairie Dropseed	Sporobolus heterolepis	1 Gal.	Pot
	SWO	3	Swamp White Oak	Quercus bicolor	2" Cal.	B&B		ORNAMENTAL TREES			PERENNIALS									
								CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	
	SML	1	Sugar Maple	Acer saccharum	2" Cal.	B&B		ABS	3	Autumn Brilliance Apple Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	7' Ht.	B&B		KKC	18	Kim's Knee High Coneflower	Echinacea purpurea 'Kim's Knee High'	4.5"	Pot
								AWS	14	Anthony Waterer Spiraea	Spiraea x bumalda 'Anthony Waterer'	18" Ht.	Cont.		RC	6	Rozanne Cranesbill	Geranium x 'Rozanne'	4.5"	Pot
	SWO	3	Swamp White Oak	Quercus bicolor	2" Cal.	B&B		DECIDUOUS SHRUBS			EVERGREEN SHRUBS									
								CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	
	SWO	3	Swamp White Oak	Quercus bicolor	2" Cal.	B&B		DY	12	Dense Japanese Yew	Taxus x media 'Densiformis'	24" Sprd.	Cont.		HRD	16	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	4.5"	Pot

LANDSCAPE PLAN
SOUTHWEST

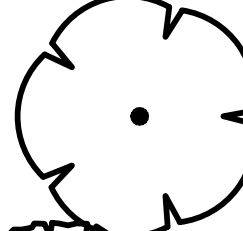
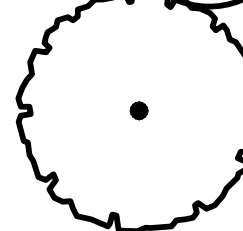


Scale: 1" = 20'

Revisions:

No.	Date:	Description:



PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
	SML	1	Sugar Maple	Acer saccharum	2" Cal.	B&B
	CHB	2	Common Hackberry	Celtis occidentalis	2" Cal.	B&B
ORNAMENTAL GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
	PDG	16	Prairie Dropseed	Sporobolus heterolepis	1 Gal.	Pot
PERENNIALS	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
	HRD	16	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	4.5"	Pot



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED ONE CALL SYSTEM* NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

LANDSCAPE PLAN
NORTHEAST

Scale: 1" = 20' North

Revisions:		
No:	Date:	Description:

Date:
01.03.23
Project No.:
230033.00
Sheet No.:

IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

General Notes

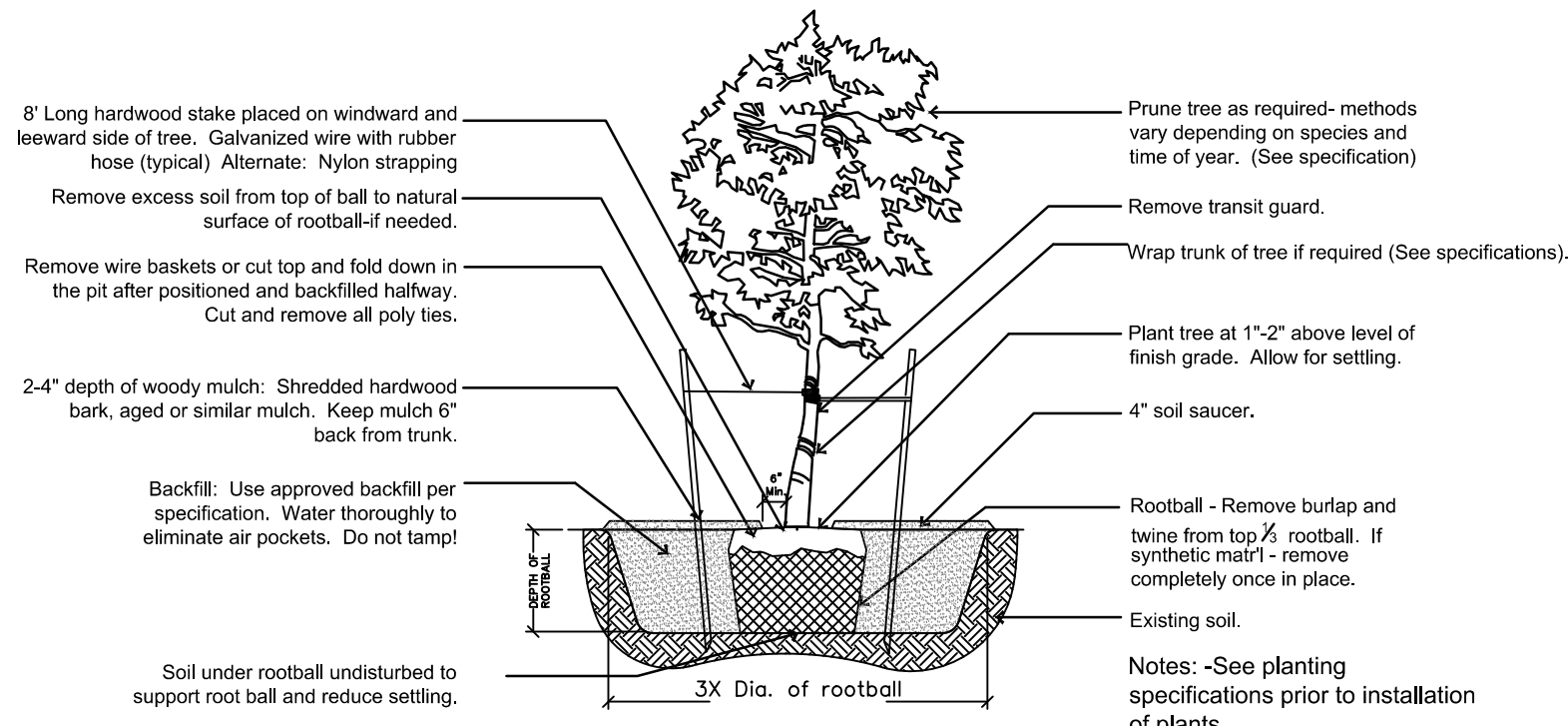
- 1.01 All landscape installation & maintenance to conform with all applicable local codes & ordinances, including (but not limited to) select portions of Village of Caledonia Municipal Code.
- 1.02 See Site dwgs. for work limits, scope of construction, hardscape, dimensions &/or construction notes. See Civil dwgs. for all hardscape, grading, stormwater management, site utilities & erosion control. See Landscape dwgs. for landscape plans, site amenities, details, schedules, notes. See Architectural dwgs. for all construction. See Electrical drawings for all power, circuiting, lighting & security. See Mechanical drawings for other site equipment.
- 1.03 Contractor shall provide shop drawings and material submittals of **all** hardscape & landscape construction elements shown in plan set for Landscape Architect review prior to construction.
- 1.04 Contractor to provide samples for Landscape Architect's approval on all colors, finishes & materials prior to construction, including (but not limited to) topsoil, gravels, mulches, seed mixes et al.
- 1.05 Caution: underground utilities are present on site. The Contractor shall verify location of all above- and below-grade utilities, both public & private, prior to commencement of site construction. If unanticipated above- or below-grade conditions are encountered, notify Client & Landscape Architect prior to proceeding. Coordinate with local public utility locating entity as needed.
- 1.06 Contractor to verify hardscape layout prior to construction. Contact Landscape Architect if discrepancies are found.
- 1.07 Contractor to limit construction traffic to within work limit lines. All adjacent damage shall be the responsibility of the contractor to restore. See Civil drawings for limits of disturbance.
- 1.08 All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall or existing building foundations.

Landscape Notes

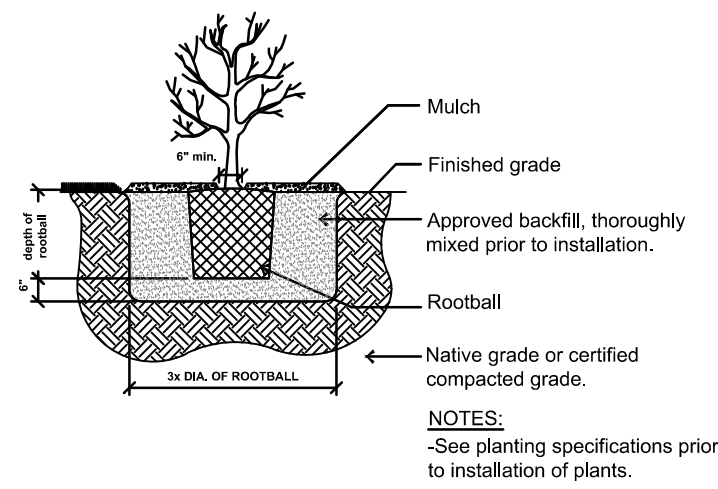
- 2.01 Rough grading & topsoil import/spreading are to be completed by others. Finish grading, seed area and planting bed preparation shall be the landscape contractor's responsibility. Verify all existing site and grading conditions prior to construction.
- 2.02 All areas disturbed by site construction shall be fine graded and restored with vegetative cover as shown. See plans for cover types & locations, see specifications for materials & installation.
- 2.03 Contractor shall verify plant quantities shown on plan. Symbol quantities take precedence over plant keys, except as noted in the plant schedule. Contractor shall forward a material list to the Landscape Architect prior to construction identifying species, sizes & plant sources to be used on the project.
- 2.04 All plant materials shall conform to the schedule and shall meet quality requirements outlined in the ANLA "American Standard for Nursery Stock", ANSI Z60.1-2004.The Landscape Architect reserves the right to reject any substandard planting material. Such rejected material shall be removed from the project site immediately.
- 2.05 An Owner's representative shall be allowed to inspect and approve trees at the nursery prior to delivery to the site.
- 2.06 All nursery tags/labels shall be left on plant materials until the project punch-list inspection is completed by the Landscape Architect. Untagged materials will be assumed to be deficient.
- 2.07 Topsoil requirements:
- All planting beds shall contain screened blended topsoil mix to a min. depth of 18". All turf, low-mow & shortgrass prairie areas shall have min. 6".
 - Existing topsoil meeting project specifications may be stripped, stored & re-used if previously approved. Contractor shall remove all excessive clay, gravel & stones detrimental to healthy plant growth. Contractor shall remove all debris greater than 1" diameter.
 - Contaminated soil shall be removed from the project site if discovered.
 - Subgrade shall be tilled and/or scarified prior to placement of topsoil.
 - Contractor shall be responsible for obtaining soil tests for existing or imported topsoil. Soil testing results shall include (but are not limited to) soil pH, % organic matter, % nitrogen / phosphorus / potassium, % calcium, and soil texture (percentages of sand, silt and/or clay.) Soil testing shall include recommendations for soil amendments if required to support growth of standard ornamental landscape materials.
- 2.08 Contractor is responsible for ensuring that all tree pits & planting areas drain properly. Notify Landscape Architect if drainage or moisture problems are encountered while planting.
- 2.09 Contractor shall backfill all trees, shrubs & evergreens with a mix of 1/3 plant starter mix & 2/3 remaining soil. Plant Starter Mix shall be 40% organic black topsoil, 30% sphagnum moss, 20% composted manure & 10% coarse sand by volume. Submit material information for review.
- 2.10 All perennial and groundcover areas shall receive a 3" layer of plant starter mix and perennial starter fertilizer, rototilled into the top 6" of blended topsoil in beds.
- 2.11 Unless otherwise shown, all perennials & shrubs to be planted in triangular arrangements. For plants not shown individually, refer to the spacing shown in the plant schedule.
- 2.12 Mulch: All tree circles, planting beds and maintenance strips to receive a 3" deep layer of high quality shredded hardwood bark mulch.
- 2.13 Plant Bed Edging: Edge all planting beds and maintenance strips with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut per plan. A clean definition between the lawn and plant bed is required.
- 2.14 Contractor shall provide positive drainage away from all structures for a minimum of 10'.
- 2.15 Contractor shall be responsible for providing base bid comprehensive landscape establishment, maintenance and warranty care for one year after installation. Work shall include all watering (as needed for establishment), weeding (once monthly), pruning (twice per season), fertilizing (twice per season), pest management (as needed, min 3 visits per season) and spring / fall clean-ups. Prior to beginning installation, the contractor shall submit a 12-mo. calendar for review/approval including all anticipated maintenance activities & dates.

Seeding Notes & Mixes

- 3.01 This work shall consist of preparing the seed beds and furnishing, sowing and mulching the required seed on the various seeded areas, as outlined in the site plans and specifications. All turf restoration shall be seeded turf unless otherwise noted.
- 3.02 Rough grading, drainage work, topsoiling and fine grading shall be completed before sowing the seed mixes. The areas to be seeded shall be worked with plow chisels, discs & harrows, soil finishers and/or other appropriate equipment until a reasonably even and loose seedbed is obtained. Seed beds shall be prepared immediately in advance of the seeding. If proposed seed areas are weedy, contractor to apply herbicide or other weed control measures to eliminate weeds. Conform with seed supplier's specifications if required.
- 3.03 Confirm that anticipated project schedule date(s) fall within the respective seed supplier's approved calendar prior to installation. Installations completed outside of acceptable seeding dates shall be the performed at the sole responsibility and expense of the contractor. For dormant seeding, a min. of one over-seed application in the following season will be required.
- 3.04 Seeds shall be PLS and will be mixed in accordance w/ mfr's specifications. Provide invoices, bag-tags or mix analysis results for approval prior to installation.
- 3.05 The seed mixtures shall be sown by means of equipment adapted to the purpose. Mechanical distribution of seed (i.e. Truax seed drill, Brillion seeder, cultipacker, slit-seeder, drop spreader or broadcast spreader) are the only accepted methods. No hand-broadcasting of seed.
- 3.06 No seeding shall occur if the wind exceeds 12 MPH.
- 3.07 Coordinate erosion control and/or mulching with Civil dwgs:
- In sloped areas steeper than 4:1, erosion matting shall be installed by others. Landscape installation shall be coordinated with the erosion control contractor.
 - In areas with slopes between 4:1 and 8:1, landscape contractor shall apply clean hay or straw mulch, free of debris and seeds, on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre or as indicated in the respective seed supplier's specifications. Mulch material shall be chopped and blown into the seeded area.
 - Lightweight E.C. matting and/or hydromulch will be accepted as a no-cost alternate if approved by Landscape Architect prior to application.
- 3.08 See Civil dwgs for erosion control devices. Coordinate with erosion control contractor where required to ensure that topsoil, seeding and/or mat installations are properly coordinated.
- 3.09 Seed mix substitutions will be considered only if submitted for approval 10 days before the close of bidding. All mixes shall be installed & maintained per supplier's specifications.
- BLUEGRASS MIX:
"Deluxe 50 Mix" shall be supplied by Reinders, Madison WI, 608-244-0200. Apply @ 6 lbs per 1000 GSF.
- SLOPE MIX:
"Land Restoration Seed Mix for Dry Soils" shall be supplied by Prairie Nursery. Apply @ 10 lbs per AC. Also apply Annual Rye cover crop @ 5 lbs per AC (if seeded in spring) or 15 lbs per AC (if seeded in fall.) Coordinate installation w/ Civil dwgs.
- WET-TOLERANT MIX:
"Detention Basin - Bioswale Seed Mix" shall be supplied by Prairie Nursery. Apply @ 10 lbs PLS per AC. Also apply Annual Rye cover crop @ 5 lbs per AC (if seeded in spring) or 15 lbs per AC (if seeded in fall.) Coordinate installation w/ Civil dwgs.
- 3.10 Contractor shall be responsible for providing base bid comprehensive seed area establishment, maintenance and warranty care for all seeded areas:
- Bluegrass areas shall be for 60 days after installation. Work shall include all watering (min. 1" per week, or as needed), weeding & mowing. Assume 2 mowings prior to Owner hand-off.
 - All other seed areas (wet-tolerant) shall be for two years after installation. Work shall include all watering (as needed for establishment), weeding (both spot herbicide and/or hand-pulling, depending on necessity, once per month), spring / fall clean-up & mowing. Expect 4-6 mowings in the first year, 3-4 mowings in the second year and 2-3 mowings in the third year. All mowings shall be timed to cut germinating weeds but not desirable forbs / grasses. Overseed each spring any bare areas larger than 1 sq. ft.
 - Prior to beginning installation, the contractor shall submit a 24-month calendar for review/approval including all anticipated maintenance activities.



1 Tree Planting Detail
Not To Scale



2 Shrub Planting Detail
Not To Scale

Consultant:



Project:

Olympia Brown Elementary
Additon & Renovation

Location:
2115 S 1/2 Mile Rd.
Racine, WI 53402

Key Plan:

Plan Commission Set

Sheet:

LANDSCAPE
DETAILS & NOTES

Scale: NTS

Revisions:

No:	Date:	Description:

Date:

01.03.23

Project No.:

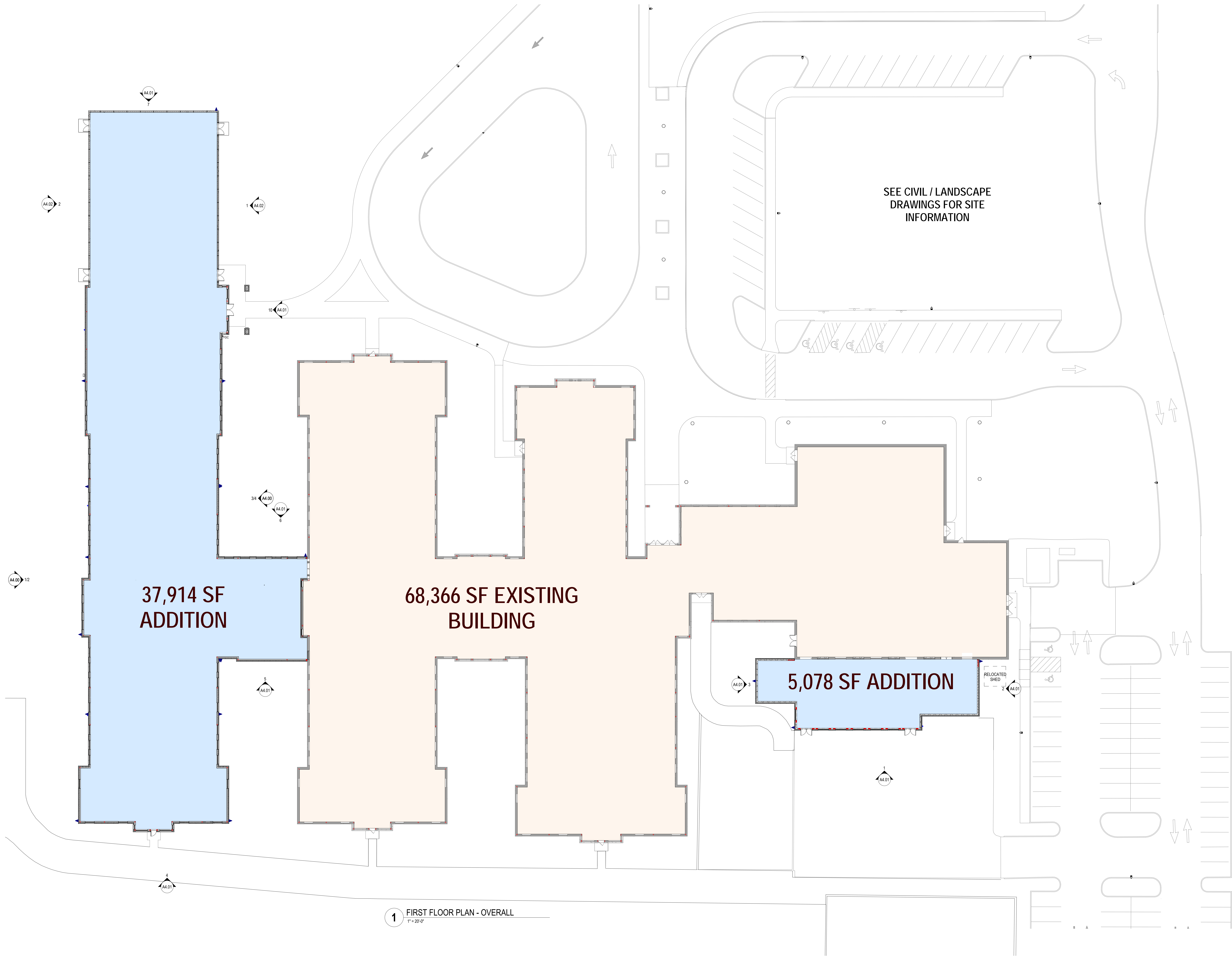
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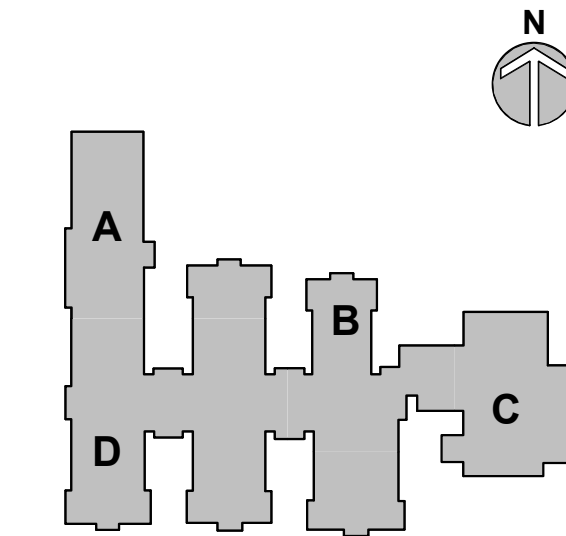
1 FIRST FLOOR PLAN - OVERALL
1" = 20'-0"

Consultant:

Project:
Olympia Brown Elementary
Addition & Renovation

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION

Location:
2115 S 1/2 Mile Rd.
Racine, WI 53402
Key Plan:



PLANNING COMMISSION
SUBMITTAL

Sheet:
FIRST FLOOR PLAN -
OVERALL

Scale:
1" = 20'-0"

Revisions:

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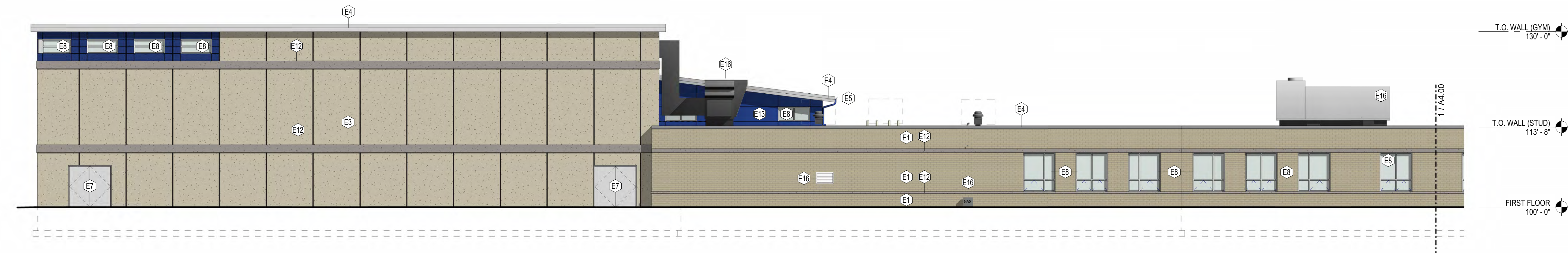
Date:
1.03.23
Project No.:
230033.00
Sheet No.:



4 EAST ELEVATION - SOUTH
1/8" = 1'-0"



3 EAST ELEVATION - NORTH
1/8" = 1'-0"



2 WEST ELEVATION - NORTH
1/8" = 1'-0"



1 WEST ELEVATION - SOUTH
1/8" = 1'-0"

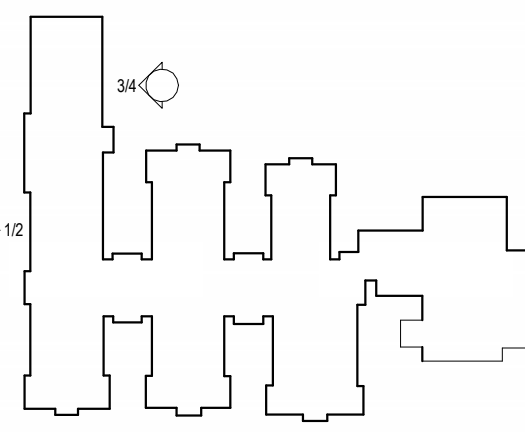
ELEVATION KEYNOTES	
KEY	KEYNOTE DESCRIPTION
E1	4x4x12 RUNNING BOND UTILITY BRICK (B.O.D. HEBRON GOLDENROD VELOUR TO MATCH EXISTING BRICK)
E2	4x8x16 BURNISHED RUNNING BOND CMU (B.O.D. ULTRA BURNISHED #63-2528 DEEP EARTH TO MATCH EXISTING CMU)
E3	PRECAST CONCRETE PANEL (FIELD + ACCENT PAINT COLOR T.B.D.)
E4	PREFIN. METAL COPING (COLOR: SILVER METALLIC)
E5	PREFIN. METAL FASCI / GUTTERS (GUTTERS 5" x 4" COLOR: TO MATCH METAL ROOF PANEL)
E7	INSULATED FRP DOOR (B.O.D. SPECIAL LITE SL-17, COLOR: LIGHT GREY)
E8	ANODIZED ALUMINUM INSULATED GLAZING SYSTEM (COLOR: CLEAR ANODIZED)
E9	ANODIZED ALUMINUM STOREFRONT SYSTEM (COLOR: CLEAR ANODIZED)
E10	ANODIZED ALUMINUM STOREFRONT DOOR (COLOR: CLEAR ANODIZED)
E12	CAST STONE SILL BAND (B.O.D. CUSTOM CAST STONE, COLOR: CREME)
E13	PREFIN. ACM METAL PANEL (B.O.D. ALPOLIC PE ALUM. FACED COMPOSITE PANEL, COLOR: HYB BLUE (4mmHYB3.5) TO MATCH EXISTING)
E14	STANDING SEAM METAL ROOFING (B.O.D. HOLCIUM ELEVATE UNA CLAD UC-3, 24 ga. STEEL w/ PENCIL RIBBS & SEAMS @ 18" o.c., COLOR: ELECTRIC BLUE TO MATCH EXISTING)
E15	METAL SNOW GUARD (COLOR: TO MATCH METAL ROOF PANEL)
E16	MECHANICAL / ELECTRICAL EQUIP. SEE M/E/P DRAWINGS
E17	GALVANIZED STEEL LADDER w/ PARAPET RETURN & SECURITY ENCLOSURE
E18	1 1/4"D x 24"H CAST ALUMINUM SIGNAGE w/ CLEAR ANODIZED FINISH
E19	1" x 1" WIRE MESH PANEL w/ PAINTED METAL FRAME ANCHORED INTO PRECAST CONCRETE PANEL & CAST ALUMINUM SIGNAGE w/ CLEAR ANODIZED FINISH (SEE DETAIL FOR SIZES)

Consultant:

Project:
Olympia Brown Elementary
Addition & Renovation

Location:
2115 S 1/2 Mile Rd.
Racine, WI 53402

Key Plan:



PLANNING COMMISSION
SUBMITTAL

Sheet:

EXTERIOR ELEVATIONS

Scale:
1/8" = 1'-0"

Revisions:		
No.	Date:	Description:

Date:

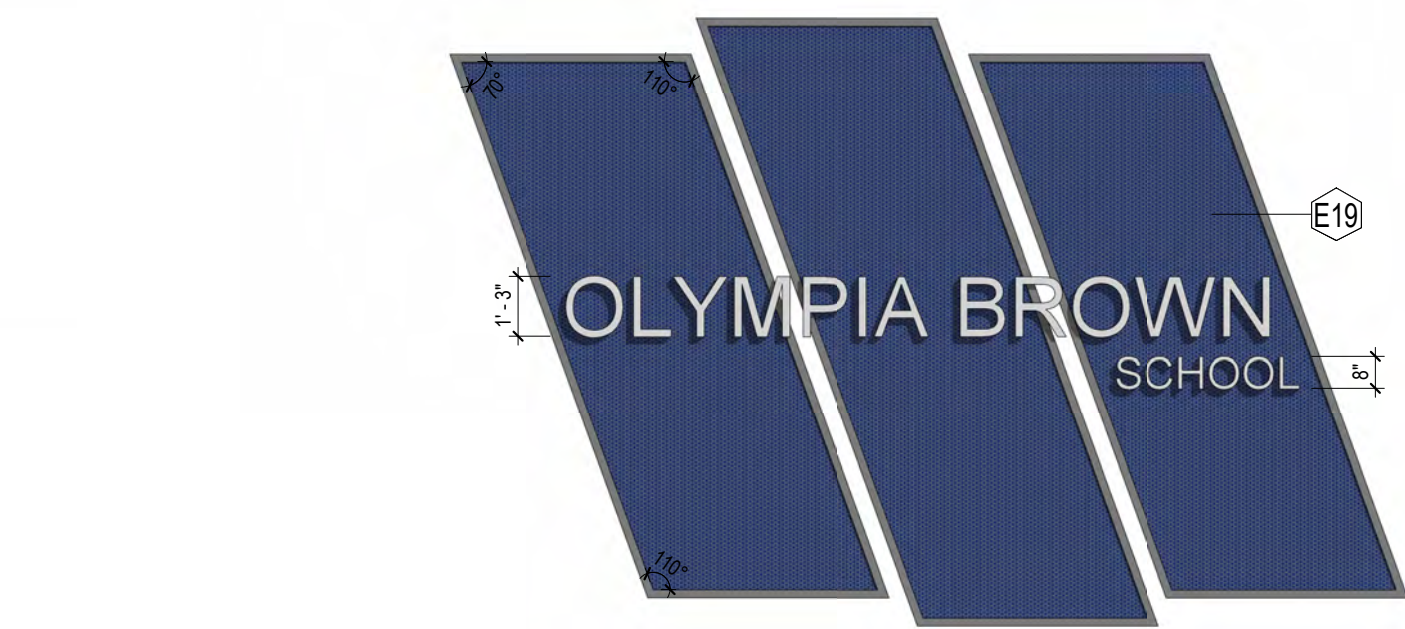
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Project No.:

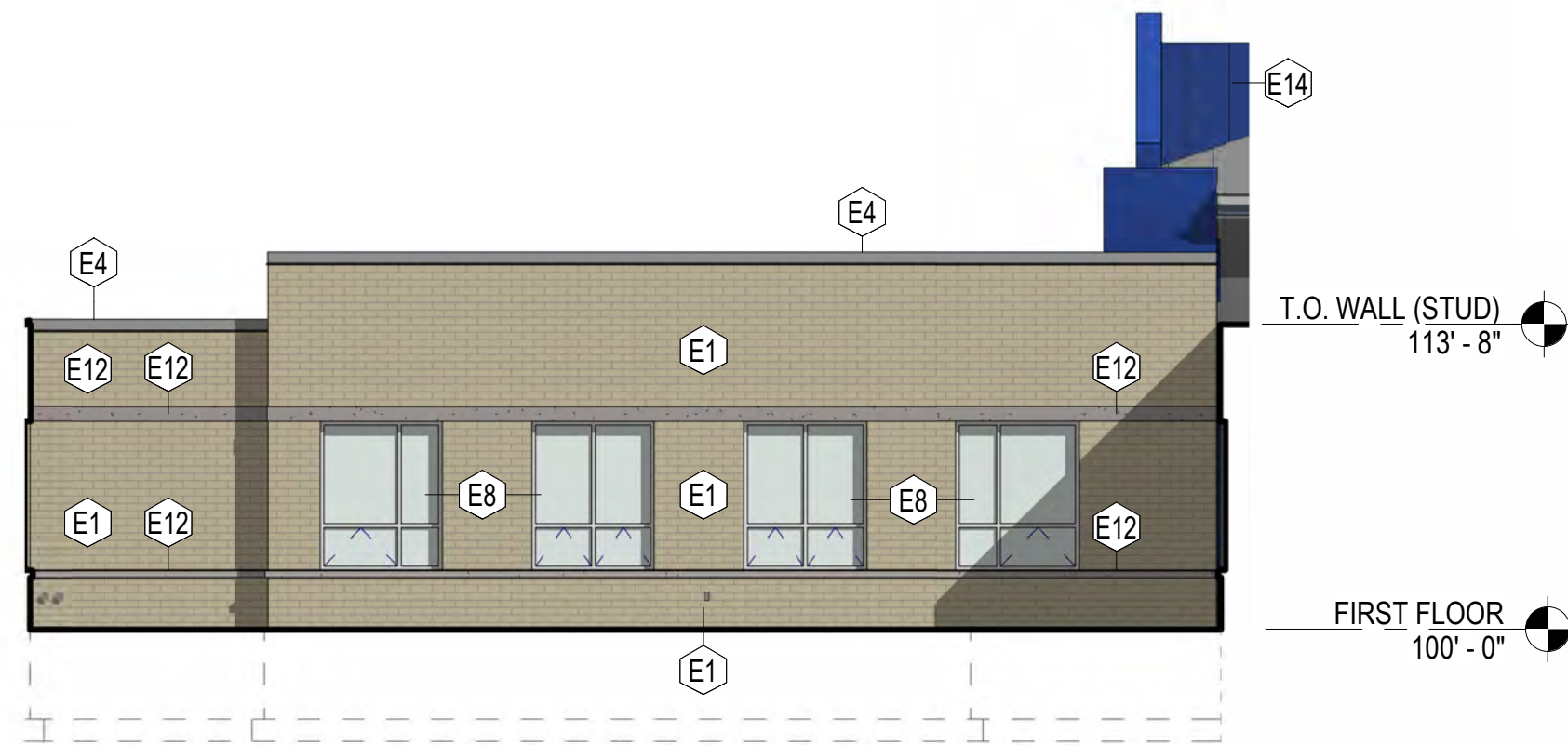
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Sheet No.:

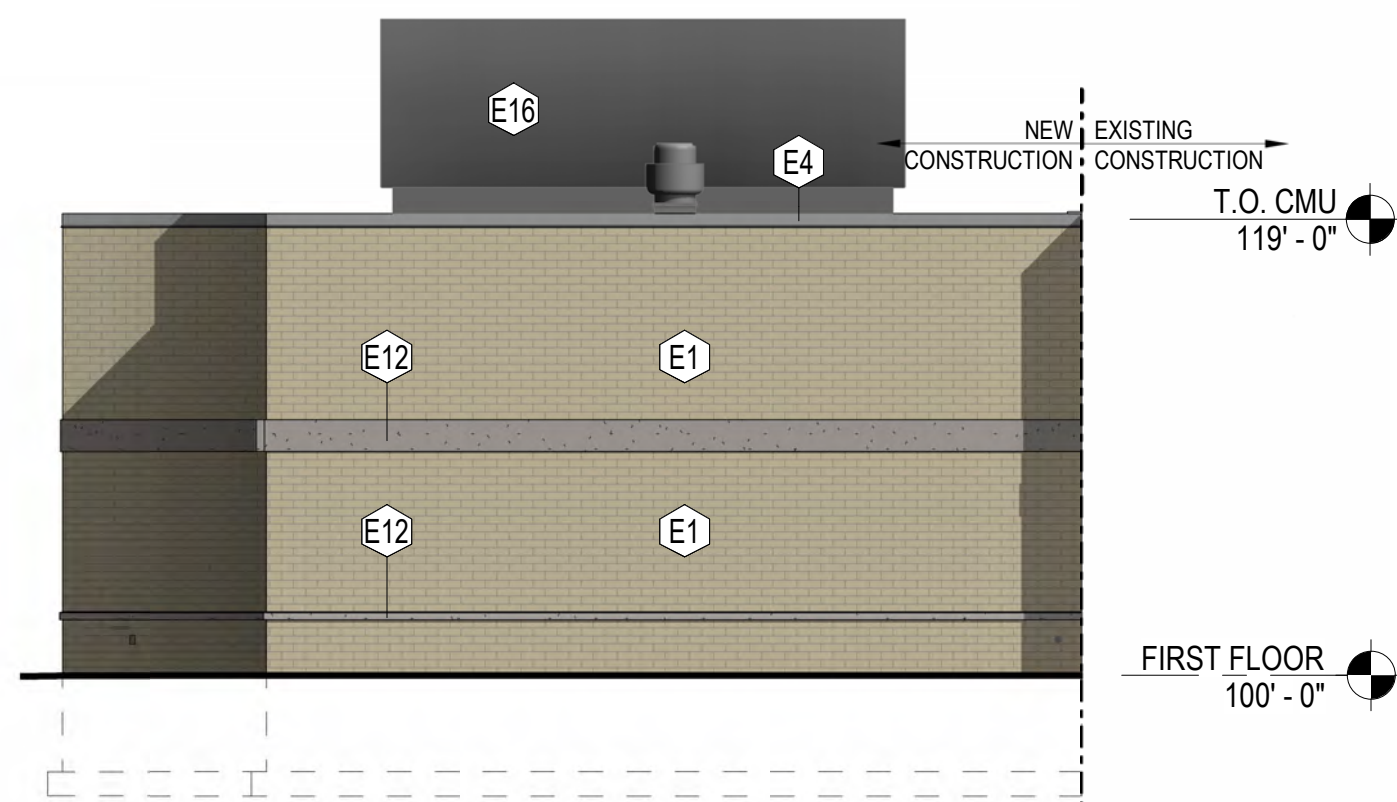
A4.00



9 GYM SIGNAGE ENLARGED
1/4" = 1'-0"



5 SOUTH ELEVATION 2
1/8" = 1'-0"



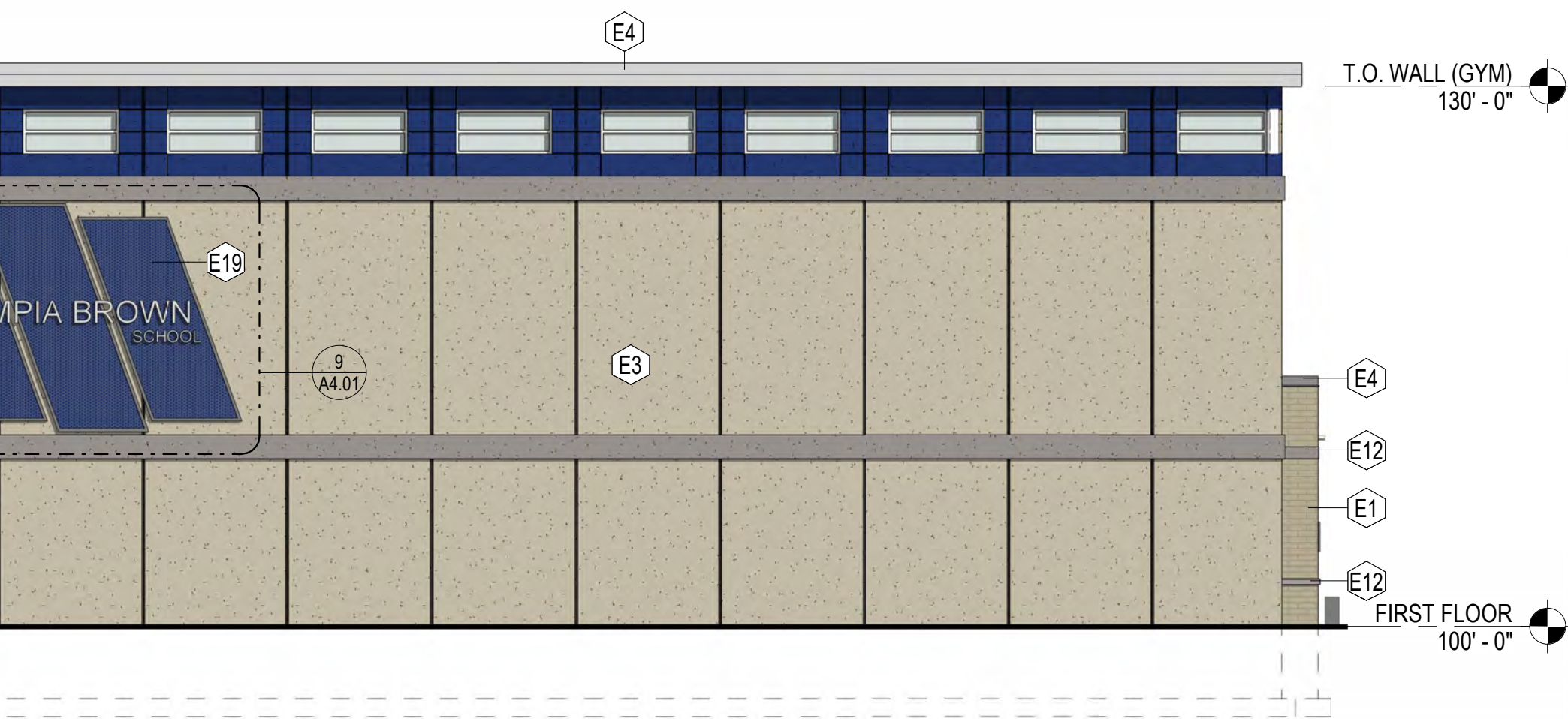
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1/8" = 1'-0"



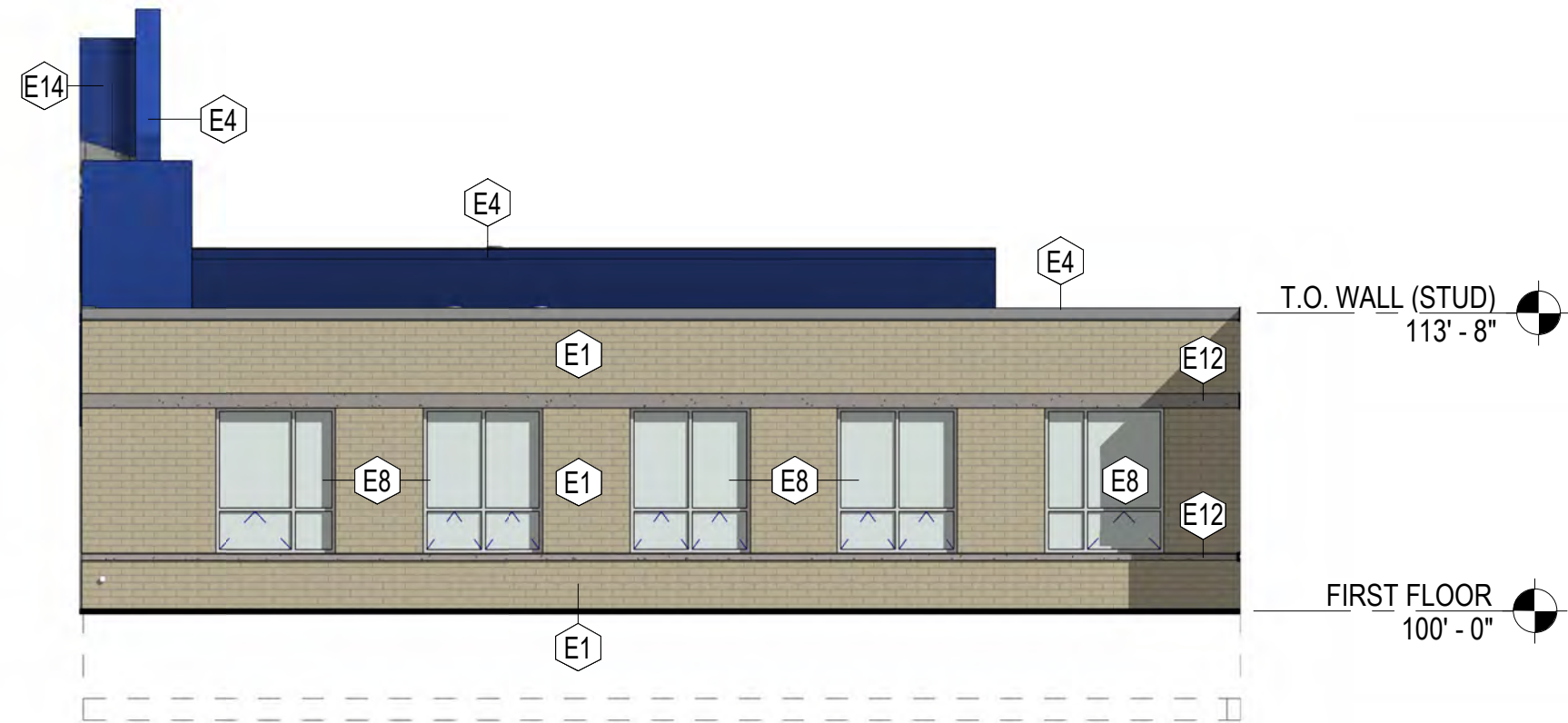
4 SOUTH ELEVATION
1/8" = 1'-0"



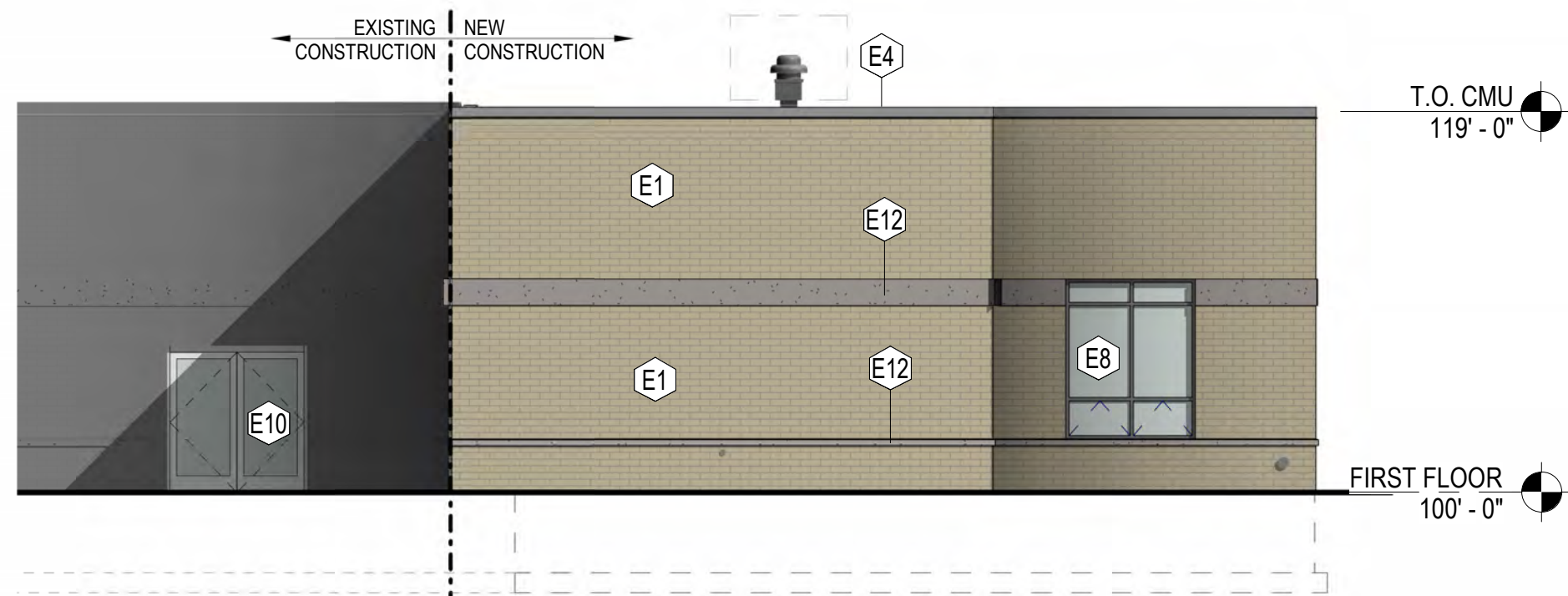
1 SOUTH ELEVATION (CAFETERIA)
1/8" = 1'-0"



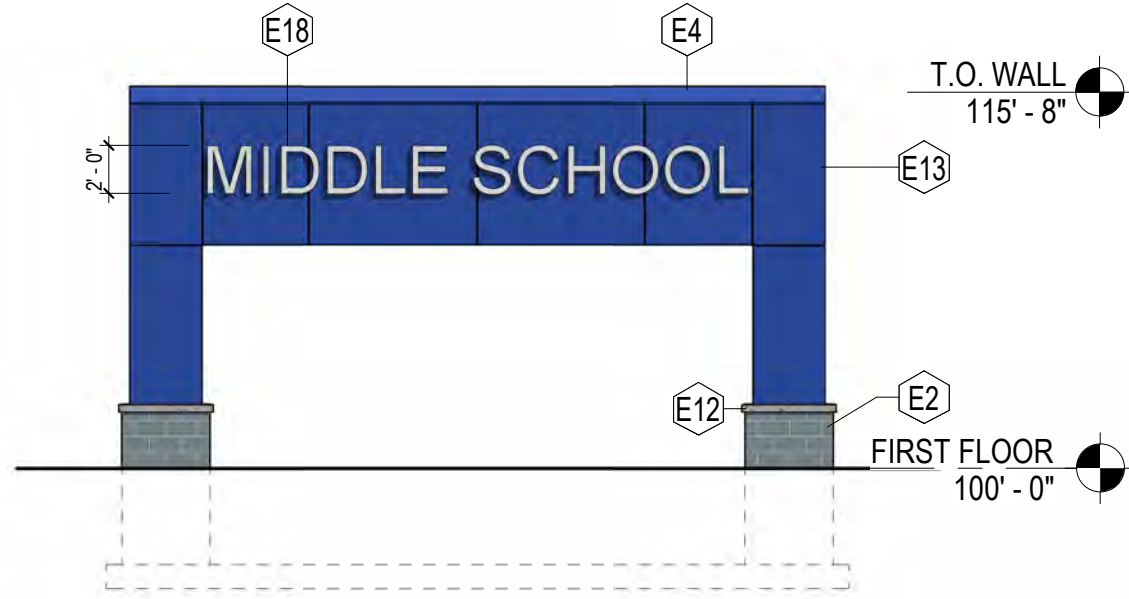
7 NORTH ELEVATION
1/8" = 1'-0"



6 NORTH ELEVATION 2
1/8" = 1'-0"



3 WEST ELEVATION (CAFETERIA)
1/8" = 1'-0"



10 EAST ENTRY ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTES	
KEY	KEYNOTE DESCRIPTION
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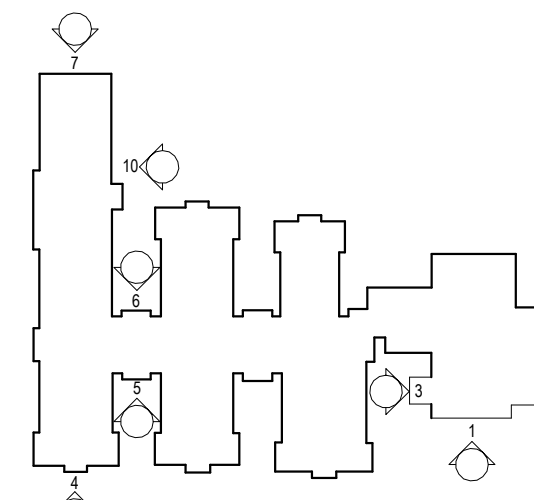
Consultant:

Project:
Olympia Brown Elementary
Addition & Renovation

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION

Location:
2115 S 1/2 Mile Rd.
Racine, WI 53402

Key Plan:



PLANNING COMMISSION
SUBMITTAL

Sheet:

EXTERIOR ELEVATIONS

Scale:
As indicated

Revisions:		
No.	Date:	Description:

Date:

1.03.23

Project No.:

230033.00

Sheet No.:

A4.01



4 PERSPECTIVE VIEW LOOKING SOUTHWEST
N.T.S.



3 PERSPECTIVE VIEW LOOKING WEST
N.T.S.



2 AERIAL VIEW LOOKING SOUTHWEST
N.T.S.



1 PERSPECTIVE VIEW LOOKING SOUTHWEST
N.T.S.

Consultant:

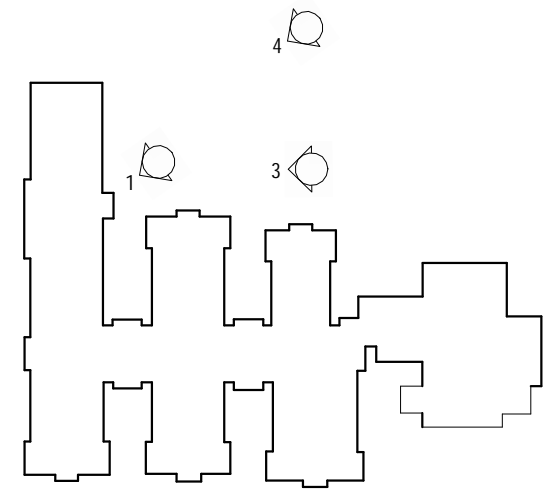
Project:

Olympia Brown Elementary
Addition & Renovation

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION

Location:
2115 S 1/2 Mile Rd.
Racine, WI 53402

Key Plan:



PLANNING COMMISSION
SUBMITTAL

Sheet:

RENDERINGS

Scale:

N.T.S.

Revisions:

No.	Date:	Description:

Date:

1.03.23

Project No.:

230033.00

Sheet No.:

A5.00



Meeting Date: January 29, 2024

Item No. **6b**

PLAN COMMISSION REPORT

Proposal: Building, Site & Operations Plan Review

Description: Review a building, site, and operation plan for the construction of a ±651 square-foot accessory structure with solar array for the property located at 7133 Michna Road.

Applicant(s): MaryLynn Conter Strack

Address(es): 7133 Michna Road

Suggested Motion: That the Plan Commission recommends to the Village Board that the building, site, and operational plan for the construction of a ±651 square-foot accessory structure with a solar array located at 7133 Michna Road be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed use is compatible with the existing use on the property.

Owner(s): Sisters of St. Dominic

Tax Key(s): 104-04-23.07-029-010

Lot Size(s): 15.17 acres

Current Zoning District(s): P-1, Institutional Park District (Legacy District)

Overlay District(s): N/A

Wetlands: ☒ Yes ☐ No Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Recreational

Background: The applicant is requesting approval of a building, site, and operations plan for a ±651 square-foot accessory structure with a solar array located at 7133 Michna Road. The primary purpose of the structure is to provide renewable energy for farm operations on the property. The structure will support solar panels and provide an EV charging station and an outdoor teaching and meeting space for school groups. All non-residential zoned parcels require site plan review and approval prior to submitting building permits.

The application of building design standards does not apply to accessory buildings, however, zoning regulations pertaining to height, size, and location do apply. The applicant is proposing to construct a 15.5'x42' wood pergola that will be less than 17' in height at the peak of the structure. Setbacks greatly exceed the minimum setbacks for the district which require a minimum of 50 feet. The proposed structure will be located greater than 100 feet from a lot line. The materials for the structure will consist of red pine lumber with solar panels as roofing.

The applicant stated that no additional waste materials are expected because of this building, therefore no outdoor dumpsters are being proposed. No ground or rooftop mechanicals are being proposed.

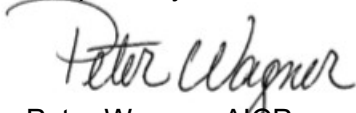
No lighting is being proposed on the building, however, if future lighting is installed, the applicant will be required to comply with exterior lighting regulations as stated in the Municipal Code.

As this structure is located in the central portion of the parcel and cannot be seen from the roadway and is located within a parkland with existing vegetation, no landscaping is required.

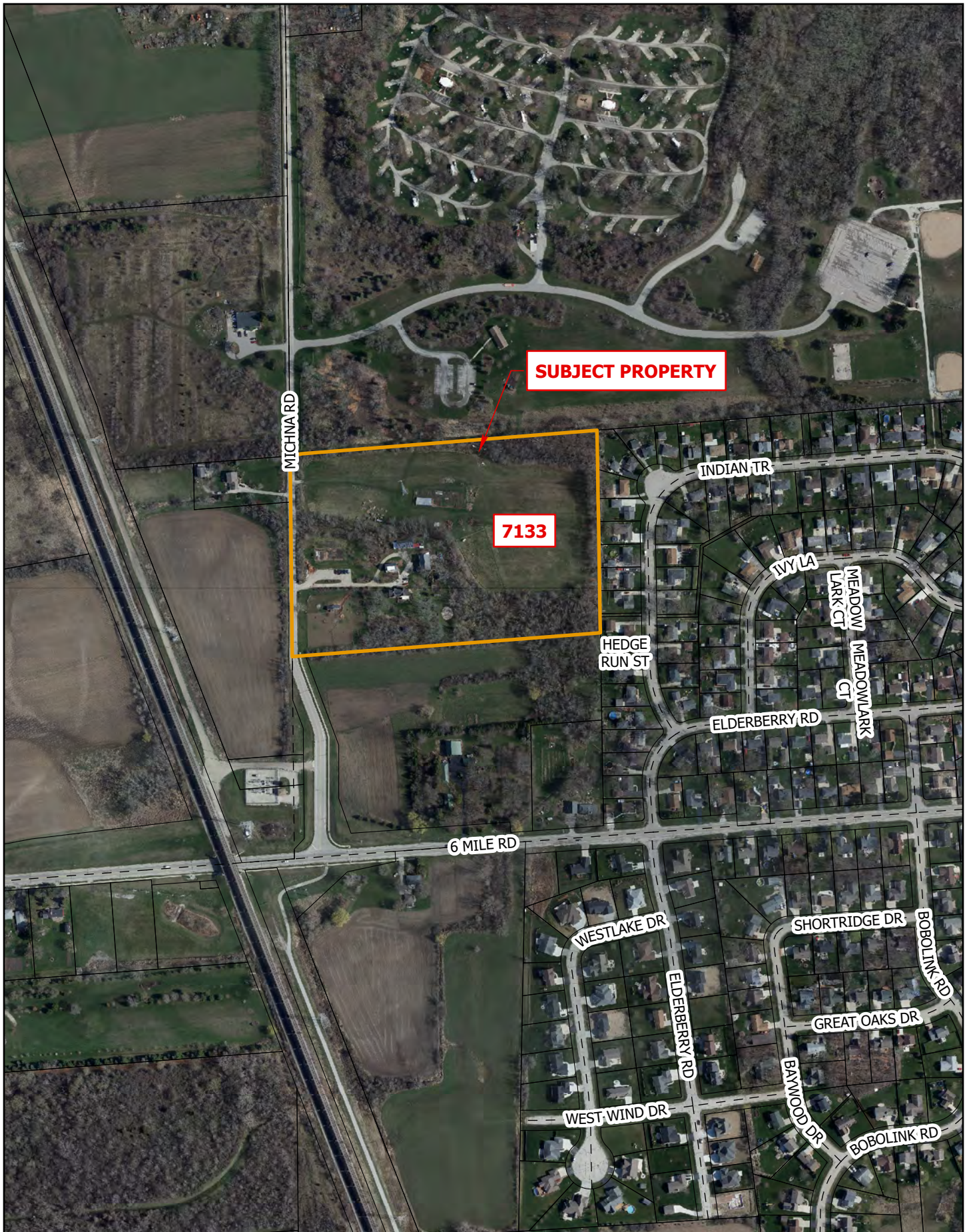
The Fire Department indicated no concerns regarding the proposed site plan.

If the Plan Commission is comfortable with the proposed structure, staff has drafted a suggested motion recommending approval of the proposed structure located at 7133 Michna Road.

Respectfully submitted:



Peter Wagner, AICP
Development Director



Project Narrative

Address:

**Eco-Justice Center
7133 Michna Road
Racine, WI 53402**

Project: **Solar-powered EV Charging Station**

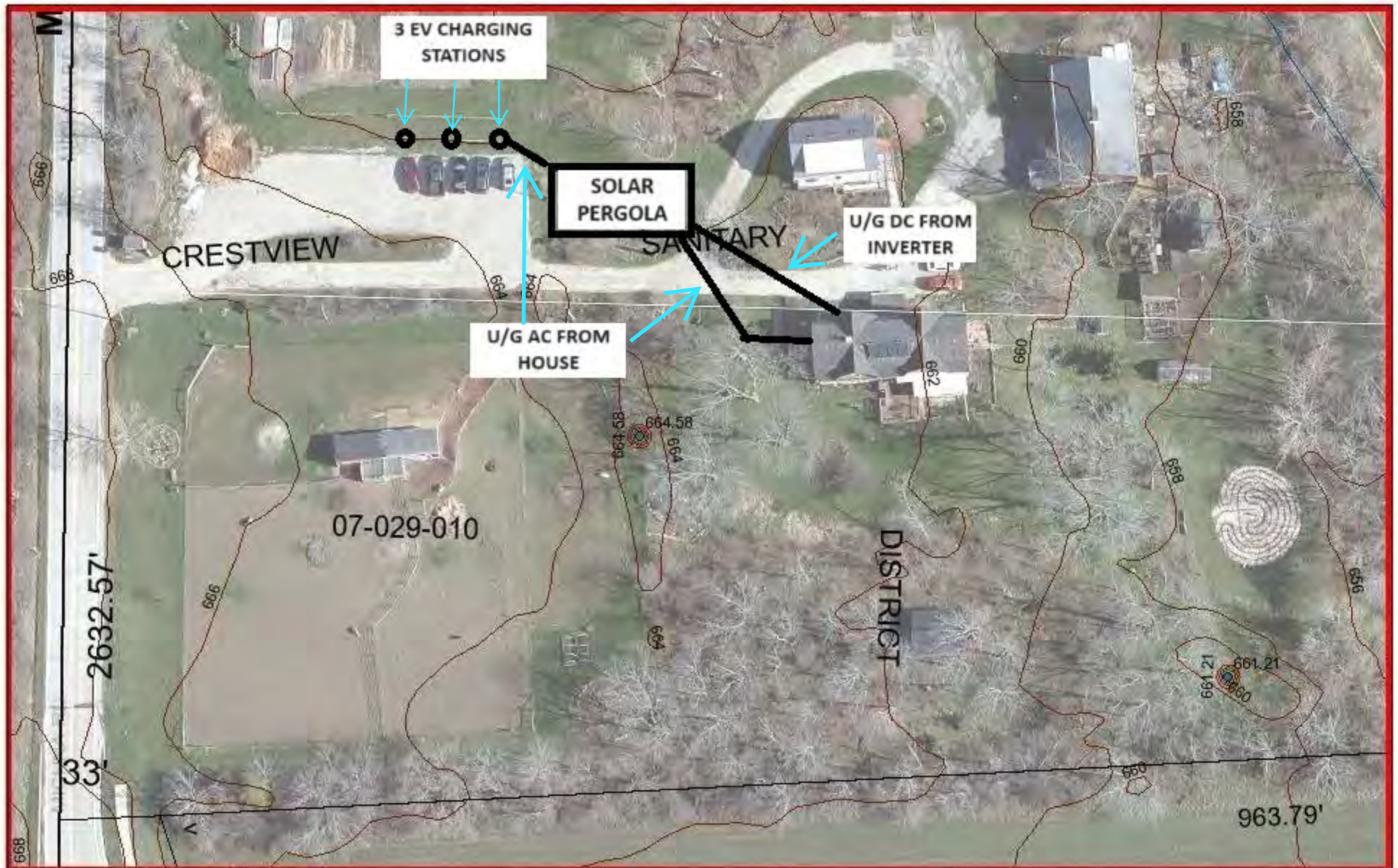
Description:

The property is a 15-acre teaching farm in northern Racine County. It consists of a farmhouse, an education center, and two outbuildings. Currently, the property has three sources of renewable energy: a wind turbine, geothermal heating/cooling, and solar panels on top of one of the outbuildings.

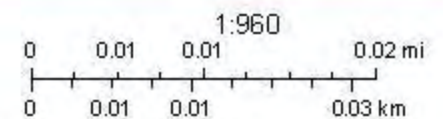
The new solar array will be located near the parking lot in the southwest part of the property. The structure will serve as an EV charging station for the parking lot as well as an outdoor teaching & meeting space for school groups. The project consists of a 20 kW system which will be utilizing the Couillard Solar Foundation solar canopy. The solar canopy kit (panels, metal ladders, brackets and hardware) will be attached to a pergola base. This structure will follow a similar outline as three existing solar pergolas constructed by the Couillard Solar Foundation (two in Deerfield, one in Reedsburg). The size of the pergola structure is 15.5' x 42' and the size of the solar canopy is 22.5' x 45' with an overhang of 3 feet. The height of the structure is 12ft with the solar canopy pitched at 1.68'.

The amount of energy expected to be produced is 25,750 kWhs. The power will be trenched to the meter attached to the farmhouse. Four Level 1 chargers will be mounted on the posts of the pergola, and three Level 2 chargers will be mounted to posts in the parking lot. Level 2 chargers can charge an electric vehicle to 80% from empty in 4-10 hours.

ArcGIS WebMap



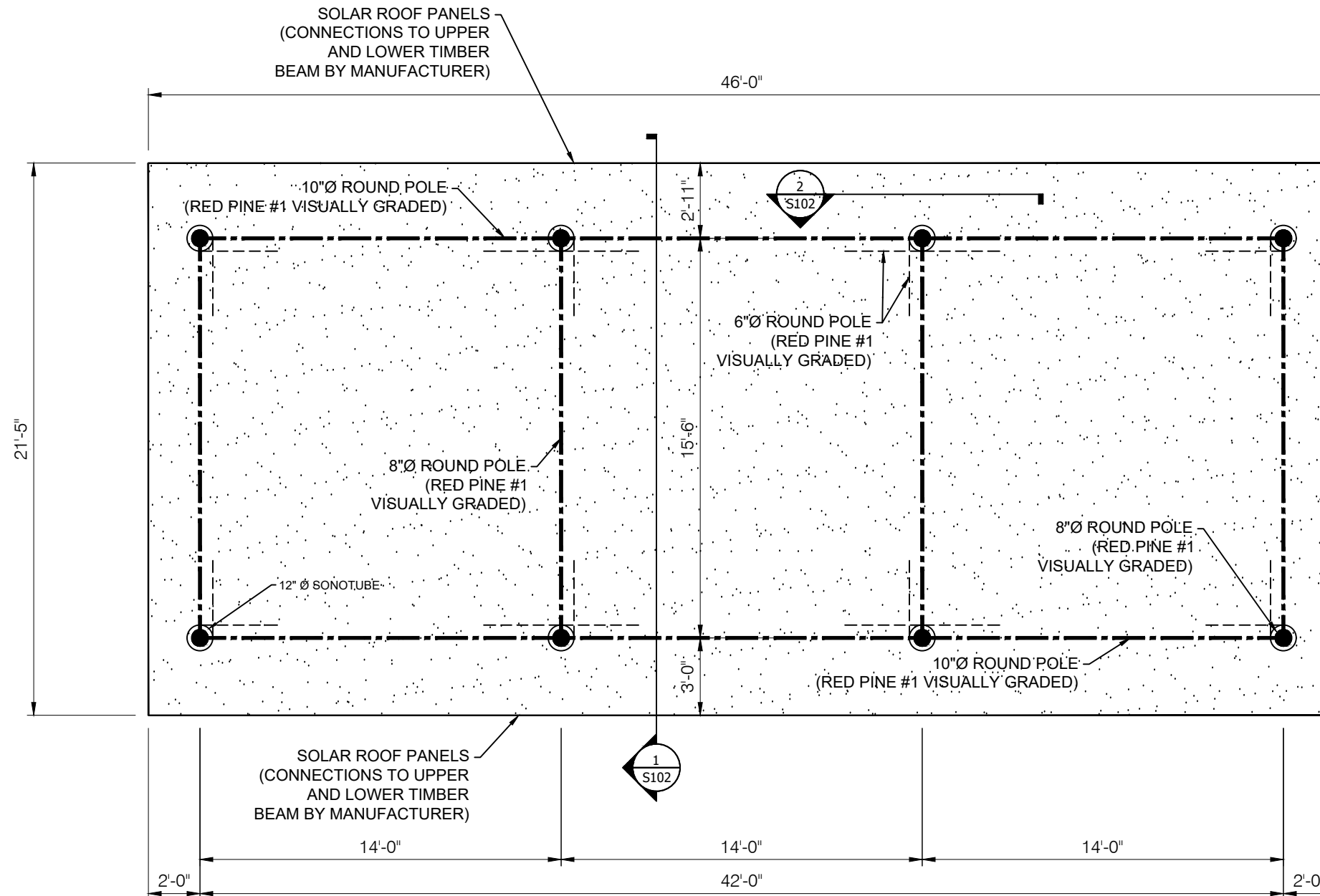
December 14, 2023



Racine County, SBWRPC, Southeastern Wisconsin Regional Planning Commission, Wisconsin DNR, Esri Canada, Esri, HERE, Garmin,

ArcGIS WebApp Builder

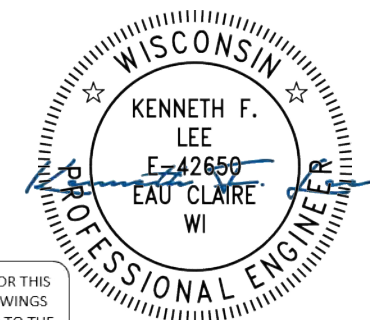




1
S101

PLAN VIEW

SCALE: 3/16" = 1'-0"



ALL SEALS FOR THIS
SET OF DRAWINGS
ARE APPLIED TO THE
COVER SHEET

10/24/2023

KENNETH F. LEE, PE
3818 TIMBER CREEK COURT
EAU CLAIRE, WI 54701
PHONE: (608) 415-3081
EMAIL: KENNETH.F.LEE.PE@GMAIL.COM

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REVISIONS:

DATE	INIT.	DESCRIPTION

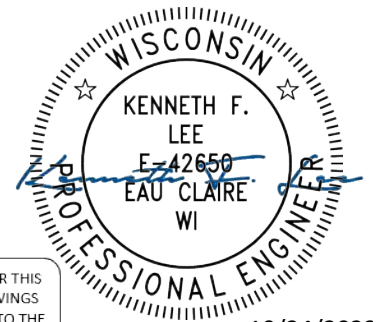
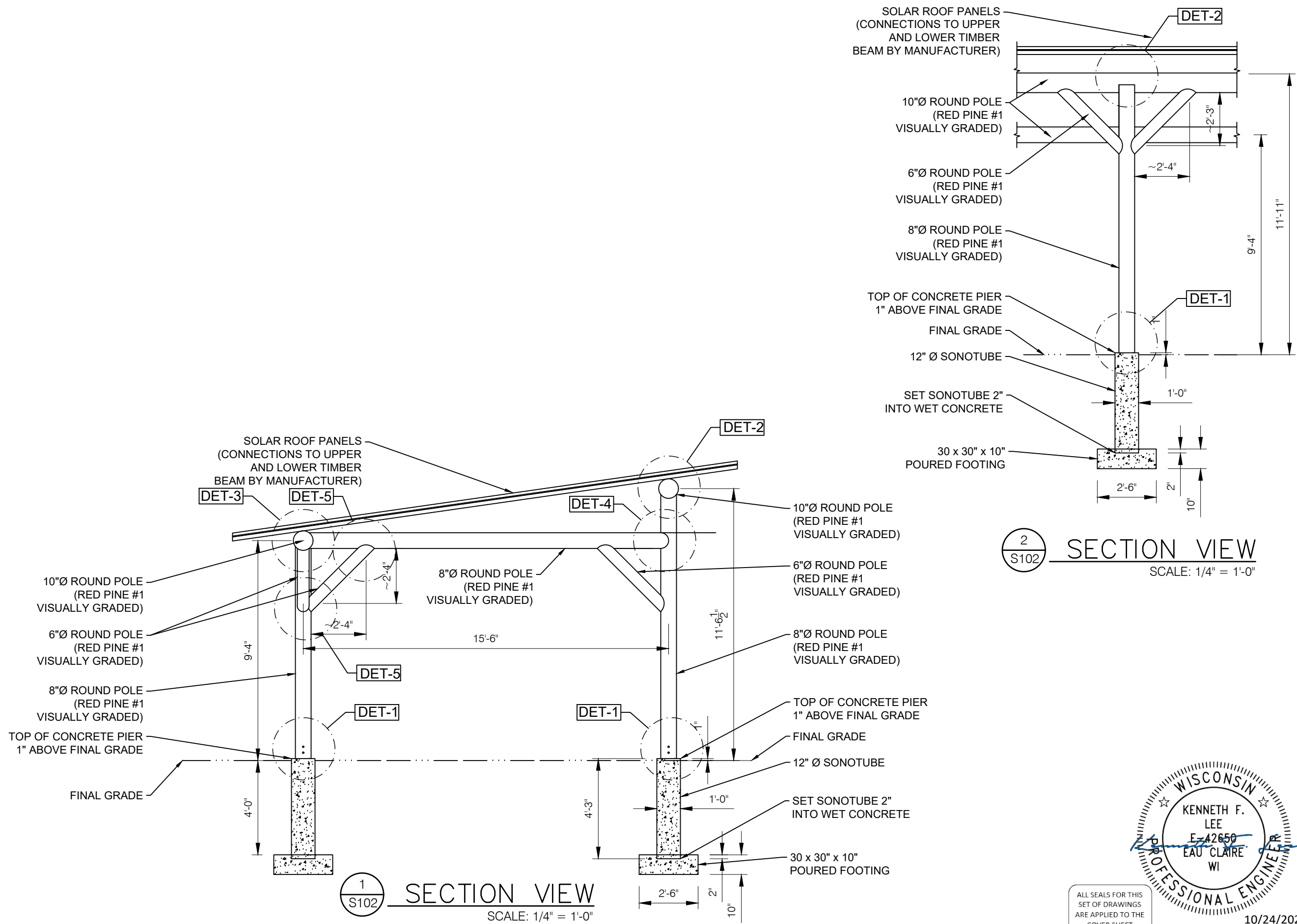
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DRAWN BY:	KFL
CHECKED BY:	---

STATUS:
ISSUED FOR
CONSTRUCTION

PROJECT: CAL MKE TBD ...	DESCRIPTION: SOLAR PAVILION
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PROJECT NO.:
06-23-1003

SHEET:
S101



ALL SEALS FOR THIS
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10/24/2023

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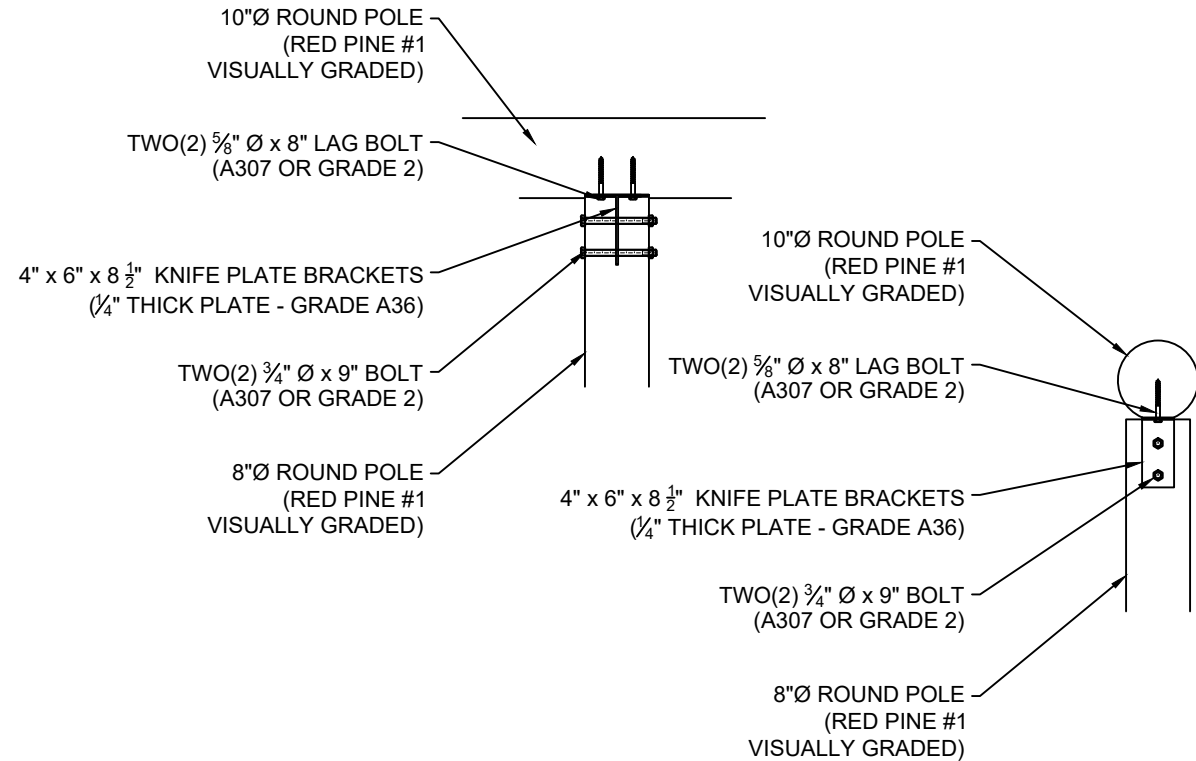
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CHECKED BY: ---

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ISSUED FOR
CONSTRUCTION

PROJECT: CAL MKE
TBD
DESCRIPTION: SOLAR PAVILION

PROJECT NO.:
06-23-1003

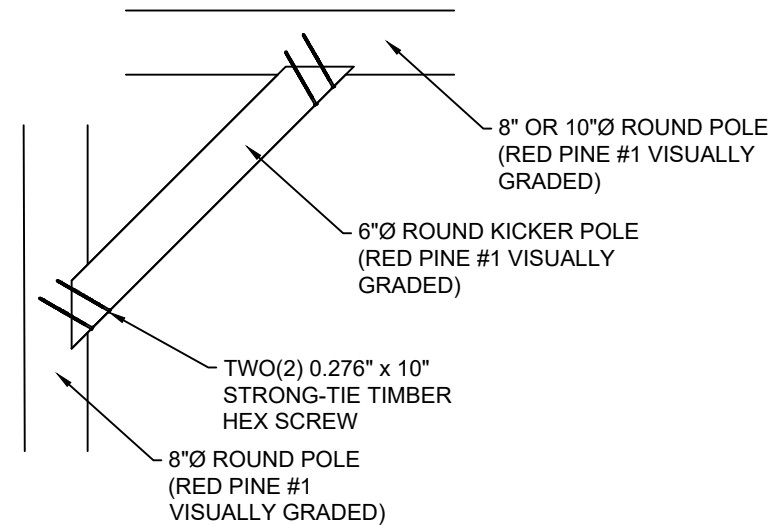
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S102



2
S103

COLUMN TO MAIN BEAM

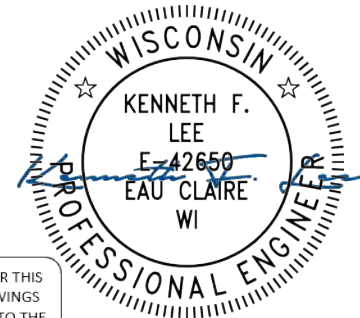
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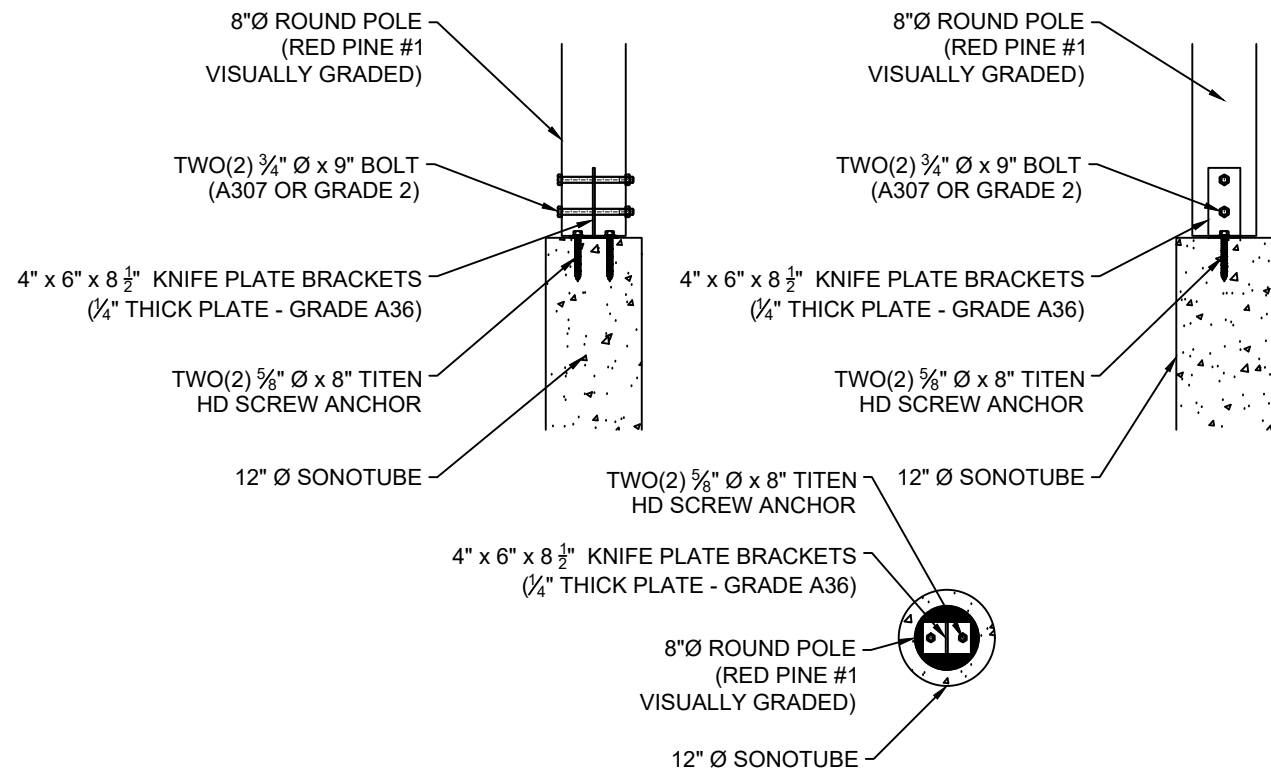
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S103

COLUMN KICKER

SCALE: 1/4" = 1'-0"



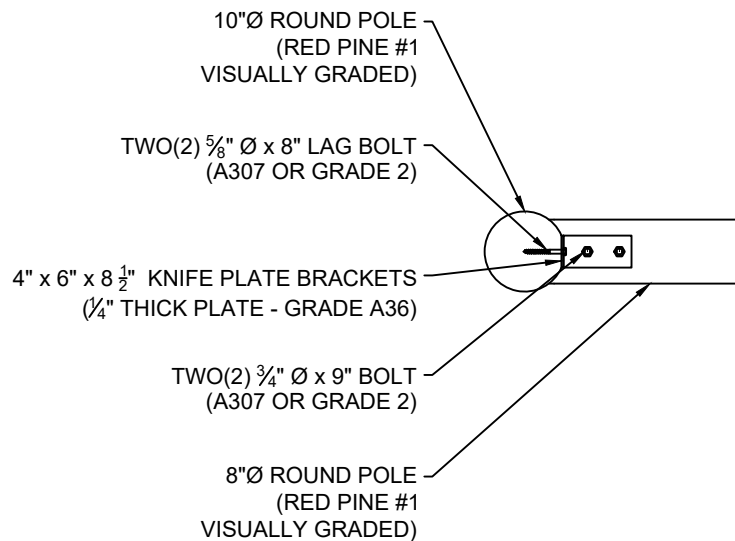
ALL SEALS FOR THIS SET OF DRAWINGS ARE APPLIED TO THE COVER SHEET



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S103

COLUMN ANCHORAGE

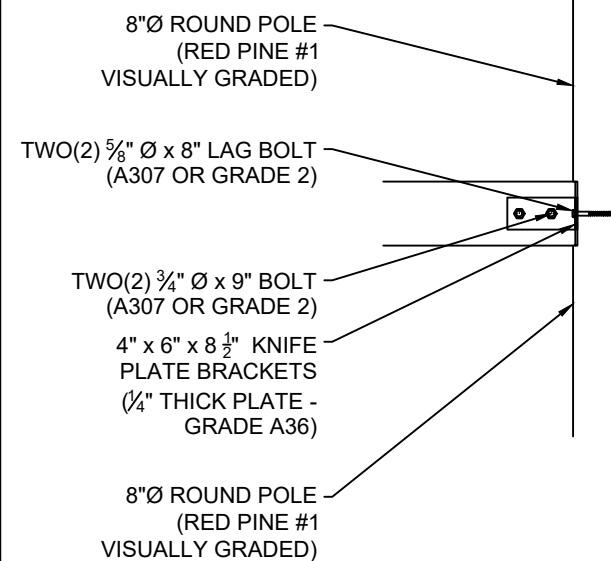
SCALE: 1/4" = 1'-0"



3
S103

BRIDGE BEAM TO MAIN BEAM

SCALE: 1/4" = 1'-0"



4
S103

BRIDGE BEAM TO COLUMN

SCALE: 1/4" = 1'-0"

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REVISIONS:		
DATE	INIT	DESCRIPTION

ISSUED DATE:	10/24/2023
DRAWN BY:	KFL
CHECKED BY:	---

STATUS:
ISSUED FOR CONSTRUCTION

PROJECT:	DESCRIPTION:
CAL MKE TBD ...	SOLAR PAVILION

PROJECT NO.:
06-23-1003

SHEET:
S103

MEMORANDUM

Date: January 18, 2024

To: Plan Commission

From: Ryan Schmidt, P.E.
Village Engineer



Re: **Amended Preliminary Plat – Homestead Acres
SE ¼ of Section 34 & SW ¼ of Section 35, T4N, R22E; Village of Caledonia,
Racine County, WI - Parcel ID's: 51-104-04-22-35-029-030 & 51-104-04-22-
34-081-010**

BACKGROUND INFORMATION

The Planning and Engineering Department has received an amended Preliminary Plat for the Homestead Acres Subdivision submitted by Nancy Washburn on behalf of The Newport Group, LTD. The proposed Subdivision is located between Dunkelow Road, CTH K, Fenceline Road, and the Union Pacific Railroad. The Newport Group LTD is requesting approval of the amended Preliminary Plat which remains largely the same as the Preliminary Plat from 2005.

The Homestead Acres Subdivision was initially submitted and approved for the Concept Plan and Preliminary Plat in 2005. The approved Preliminary Plat, attached as **Exhibit A**, included 80 lots with 106 dwelling units and an Open Space exceeding 40%. The Preliminary Plat has been extended every 2-3 years as well as a concept plan amendment in 2018. The concept plan included a Phase I of the development, a SWMP, and a set of construction plans for the Northeast corner of the development. The current proposal now includes 75 lots with some lots lost due to the Village of Caledonia Utility District purchasing and expanding the Hoods Creek Attenuation Basin at the corner of CTH K and Airline Road via CSM 3051.

The Amended Preliminary Plat for Homestead Acres, as shown in **Exhibit B**, is zoned R-3 Suburban Residential PUD and R-6 Two Family Residential PUD allowing for flexible design and use of a reduced square footage and width in areas. The average lot size for the proposed development is approximately 0.38 acre for both single family and two-family lots. The Village's Comprehensive Land Use Plan calls for Low Density Residential. The average lot size falls below the Land Use Plan but is allowed for under the PUD. The Developer has submitted a phasing plan with the preliminary plat which includes Phase 1, 2, and 3. Phase 1 includes Lots 1-21; Phase 2 is Lots 22-54; Phase 3 is Lots 55-75 for the two-family units. This phasing has been included as **Exhibit C**.

The subdivision is part of the Sewer and Water District. The Caledonia Utility District will need to approve any modifications to the current Phase 1 SWMP and Construction Plans. Any future construction plans shall also be reviewed and approved by the CUD prior to the issuance of any building permits.

A DNR Wetland delineation was updated in 2018 with the Concept Plan amendment compared to the original map in 2005. This updated wetland delineation report shows a very similar layout

compared to the original. The full wetland report will be required to be submitted to the Village prior to recording of the Final Plat. The wetlands as shown do appear to match what is shown on the Wisconsin DNR Surface Water Data Viewer. A 75' wetland buffer where no impervious surface may drain is required to be met per this preliminary plat. This may impact the development of a few lots, particularly Lots 8-10. It is recommended this buffer is shown on the Final Plat. These lots may need to be further investigated and modified or each lot will require dedicated collection systems to drain all impervious surfaces away from this wetland buffer. The OHWM has been delineated on the Preliminary Plat and all lots will require a 75' setback from this mark for all primary and accessory structures. All building pads appear to meet this requirement and a note shall be provided as such.

This subdivision may utilize the Village Standards for open ditch cross section as the neighboring subdivisions have open ditches as well. Curb and gutter is acceptable and if used, shall follow the modified local road section approved by the Board of Public Works in 2023 (32' flange to flange). All cul-de-sacs shall be constructed with an island meeting the Village Standard cross sections with a 32.5' radius to the flange. The primary N-S road should be constructed as a Collector Roadway for a rural cross section. A concrete curb and gutter shall be installed at each radius connecting rural roadways or urban to rural sections.

A 50' No Access Restriction shall be applied to all corner lots as well as a 25'x25' Vision Triangle Easement. Farm Meadow Road is shown as now having no cross connection to the primary North-South Road (Airline Road or Haymeadow Road) due to expanded storm water management needs. A permanent turnaround tee easement will be required in this location and no driveways will be authorized off of them to serve the private residence. The Village will require these to be paved.

For this amended Preliminary Plat, it is recommended that the Plan Commission consider a waiver to Ordinance 14-3-5(b) to allow a subdivision to be developed without Conservation Easements. The Subdivision meets and exceeds the 40% open space with 41.2%. The Developer will be required to submit a Stewardship Plan for maintaining this common Open Space. A waiver from the Conservation Easement has been requested and granted for subdivisions in the sewer and water service area in the past and therefore, the following recommendation is proposed:

Move to Recommend that the Village Board approve a Modification Waiver from Ordinance 14-3-5(b) for the amended Preliminary Plat of Homestead Acres to allow a subdivision to develop without Conservation Easements within the Sanitary Sewer and Water Service Area.

Village Staff have reviewed the amended Preliminary Plat for Homestead Acres and recommend approval subject to the conditions listed below.

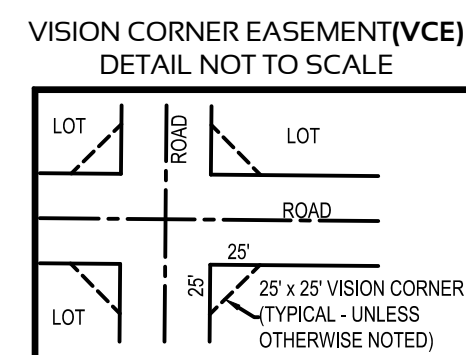
RECOMMENDATION

Move to recommend approval of the amended Preliminary Plat for Homestead Acres and the Modification Wavier from Ordinance 14-3-5(b) subject to the following conditions:

- 1. Civil/Site Plans and the SWMP shall be submitted and approved prior to the issuance of any building permits. Submit updated plans for approval for Phase 1.**

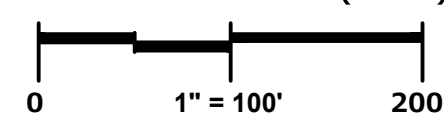
- 2. Final Plat shall be submitted, approved, and recorded prior to the issuance of building permits**
- 3. Preliminary Construction Plans shall be submitted to the Village with the Final Plat of any phase.**
- 4. The Developer shall enter into a Subdivision Development Agreement at the time of Construction Plan Submittal and prior to any construction on the site.**
- 5. Future Phases shall have sewer and water extensions reviewed and approved by the Caledonia Utility District, Racine Wasterwater, and the Wisconsin DNR.**
- 6. Stormwater Pond easements are to be provided via separate documents and will need to include exhibits and legal descriptions.**
- 7. Submit for review and approval by the Village a Stewardship Plan for maintaining the Open Space.**
- 8. Submit for review and approval by the Village the Homeowners Association organizational documents and restrictive covenants for review and approval as to required provisions by Village Staff.**
- 9. The Developer shall restrict the common open space in the outlots from any further land divisions and development**
- 10. Road Cross Section can be the local urban cross section approved by the Board of Public Works in 2023. This includes a 32' flange to flange width and 5" total asphalt thickness for all roads within the Preliminary Plat.**
- 11. Mainline North-South Road is designed as a collector rural roadway per Village Standards.**
- 12. Grant a 12' Drainage and Utility Easement around perimeter of subdivision. Ensure the labeling for both rear yard easements have the updated name of the easement as well.**
- 13. Lots abutting an Outlot will not require a 12' Drainage and Utility Easement unless determined otherwise by the Master Grading and Drainage Plans.**
- 14. Provide a note on the Plat that driveways shall not have a centerline slope steeper than 6%.**
- 15. Add a note on the Plat that "Lots filled greater than 3 feet may require additional courses in the foundations to reach suitable soil. Will need to provide a soil compaction certification for the areas of greater than 3 feet of fill."**
- 16. Prior to the construction of any infrastructure or earthmoving activities, the Developer shall obtain a Land Disturbance Permit from the Village of Caledonia and any other Federal, State or County permits as required (i.e DNR NOI, Army Corps of Engineers, etc.).**
- 17. All infrastructure shall be inspected during installatio by Village/Utility District inspectors/observers.**
- 18. Final As-builts for all infrastructure shall be prepared, submitted, reviewed, and approved prior to the release of any building permits.**
- 19. The amended subdivision Preliminary Plat must conform to all Ordinances in Title 9, 14, and 18 as necessary.**





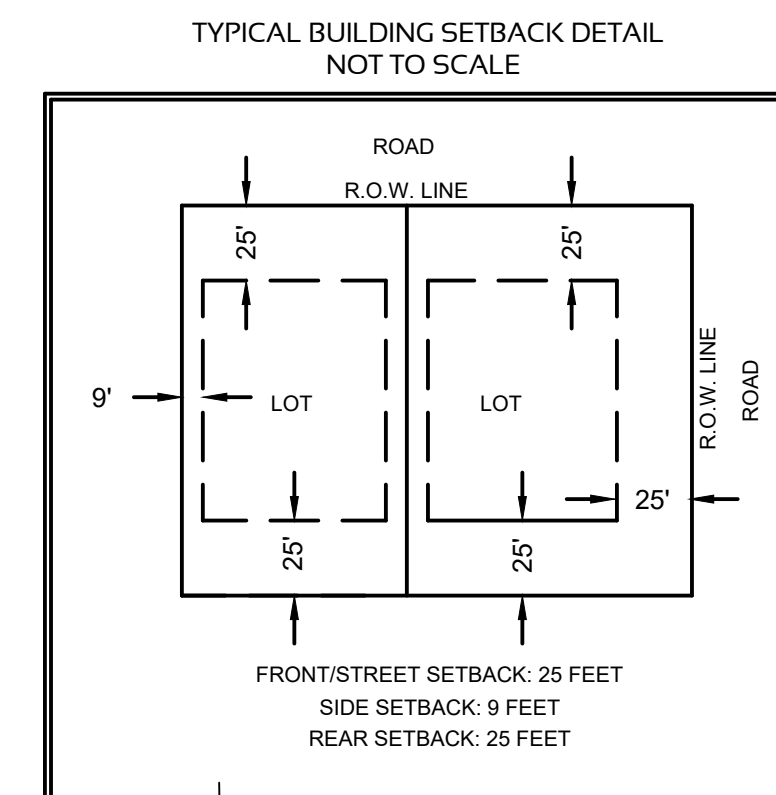
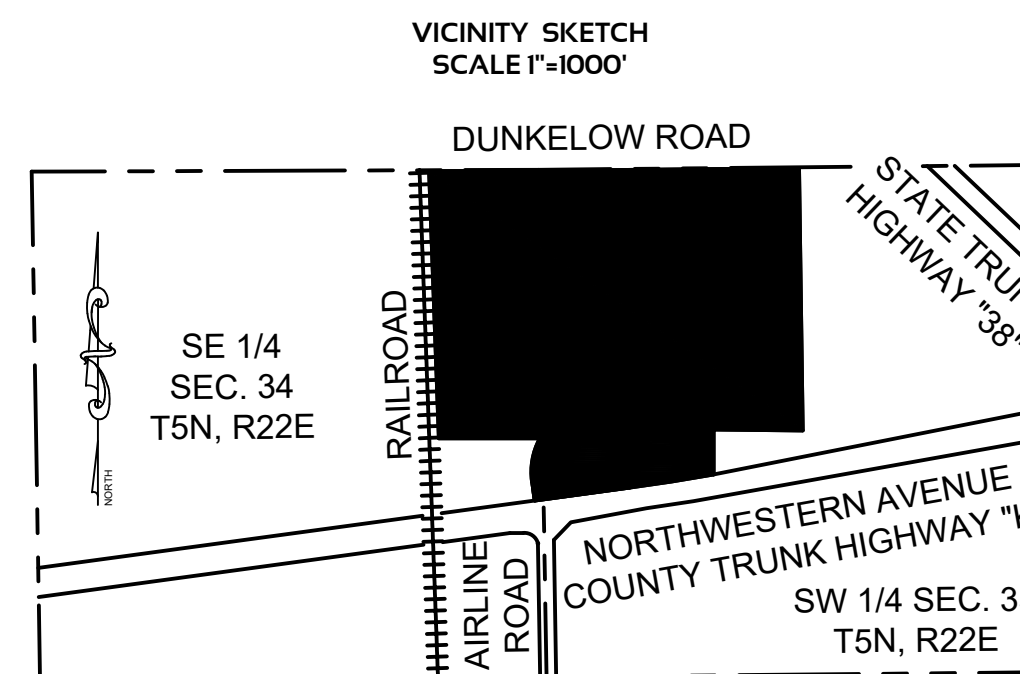
JANUARY 4, 2024

GRAPHICAL SCALE (FEET)



PRELIMINARY PLAT OF HOMESTEAD ACRES

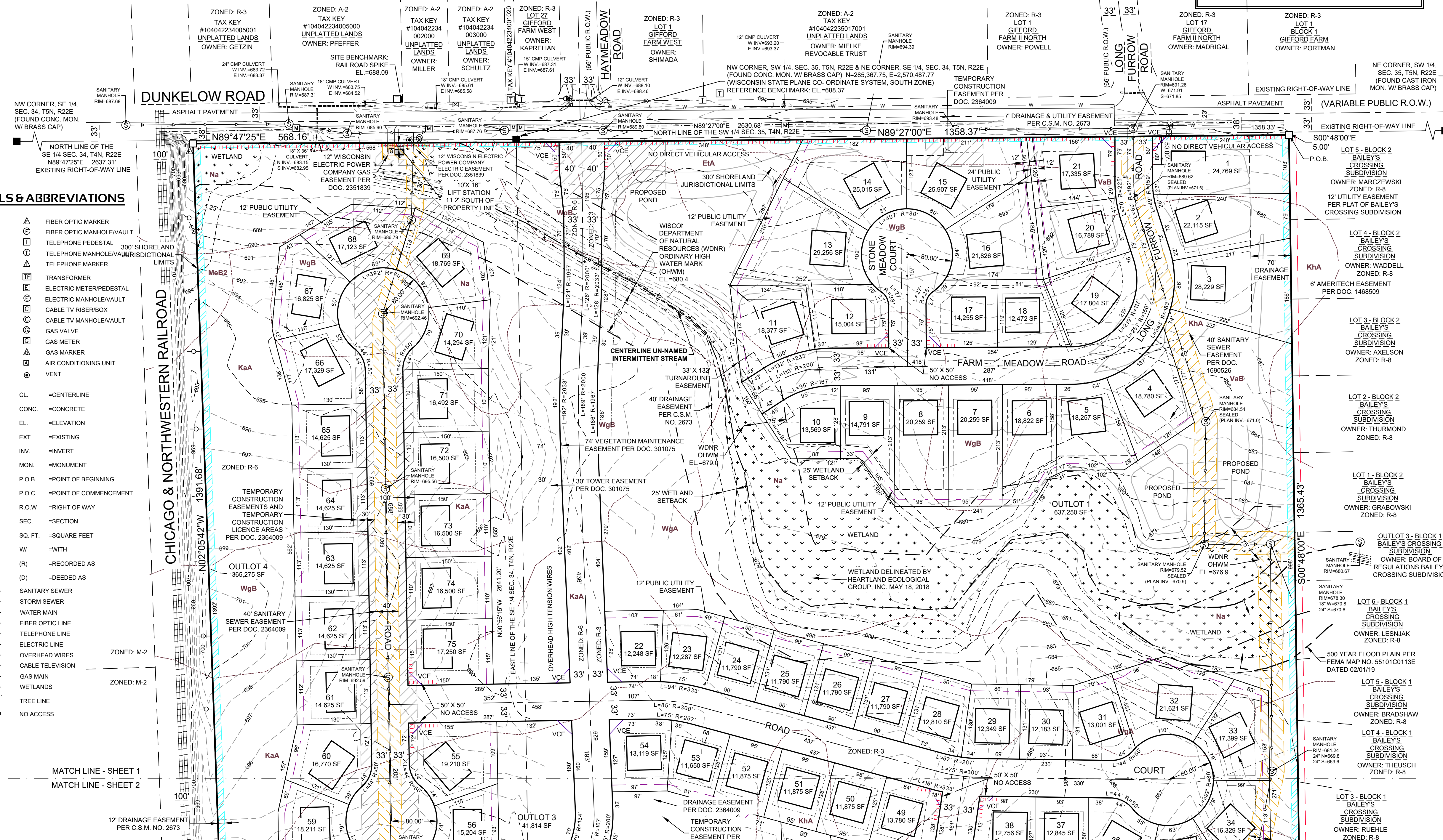
Being a part of Lot 1 of Certified Survey Map No. 2673, in the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 34 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of Section 35, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.



www.pinnacle-enqr.com

LEGEND OF SYMBOLS & ABBREVIATIONS

- | | | | |
|--|------------------|---------|---------------------------|
| | SANITARY MANHOLE | | FIBER OPTIC MARKER |
| | STORM MANHOLE | | FIBER OPTIC MANHOLE/VAULT |
| | STORM INLET | | TELEPHONE PEDESTAL 300' |
| | CLEANOUT | | TELEPHONE MANHOLE/VAULT |
| | CATCH BASIN | | TELEPHONE MARKER |
| | LATERAL | | TRANSFORMER |
| | UNKNOWN MANHOLE | | ELECTRIC METER/PEDESTAL |
| | WELL | | ELECTRIC MANHOLE/VAULT |
| | HYDRANT | | CABLE TV RISER/BOX |
| | WATER VALVE | | CABLE TV MANHOLE/VAULT |
| | DOWN SPOUT | | GAS VALVE |
| | SPRINKLER VALVE | | GAS METER |
| | WATER SHUT OFF | | GAS MARKER |
| | STANDPIPE | | AIR CONDITIONING UNIT |
| | WATER MANHOLE | | VENT |
| | FLOOD LIGHT | | |
| | LIGHT POLE | CL. | =CENTERLINE |
| | TRAFFIC SIGNAL | CONC. | =CONCRETE |
| | UTILITY POLE | EL. | =ELEVATION |
| | GUY WIRE | EXT. | =EXISTING |
| | SIGN | INV. | =INVERT |
| | MAIL BOX | MON. | =MONUMENT |
| | FLAG POLE | P.O.B. | =POINT OF BEGINNING |
| | BOLLARD | P.O.C. | =POINT OF COMMENCEMENT |
| | CROSS CUT | R.O.W. | =RIGHT OF WAY |
| | IRON PIPE | SEC. | =SECTION |
| | IRON REBAR/ROD | SQ. FT. | =SQUARE FEET |
| | MAG NAIL | W/ | =WITH |
| | SECTION MONUMENT | (R) | =RECORDED AS |
| | BENCH MARK | (D) | =DEEDED AS |
| | CONIFER TREE | | |
| | DECIDUOUS TREE | | |
| | BUSH | | |
| | WETLAND SYMBOL | | |
| | SANITARY SEWER | | |
| | STORM SEWER | | |
| | WATER MAIN | | |
| | FIBER OPTIC LINE | | |
| | TELEPHONE LINE | | |
| | ELECTRIC LINE | | |
| | OVERHEAD WIRES | | ZONED: |
| | CABLE TELEVISION | | |
| | GAS MAIN | | |
| | WETLANDS | | ZONED: |
| | TREE LINE | | |
| | NO ACCESS | | |



This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PINNACLE ENGINEERING GROUP

Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The north line of the Southwest 1/4 of Section 35, Township 4 North, Range 22 East bears N89°27'00"E.

Prepared for:
NEWPORT GROUP LTD
8338 CORPORATE DRIVE SUITE 300
RACINE, WISCONSIN 53406

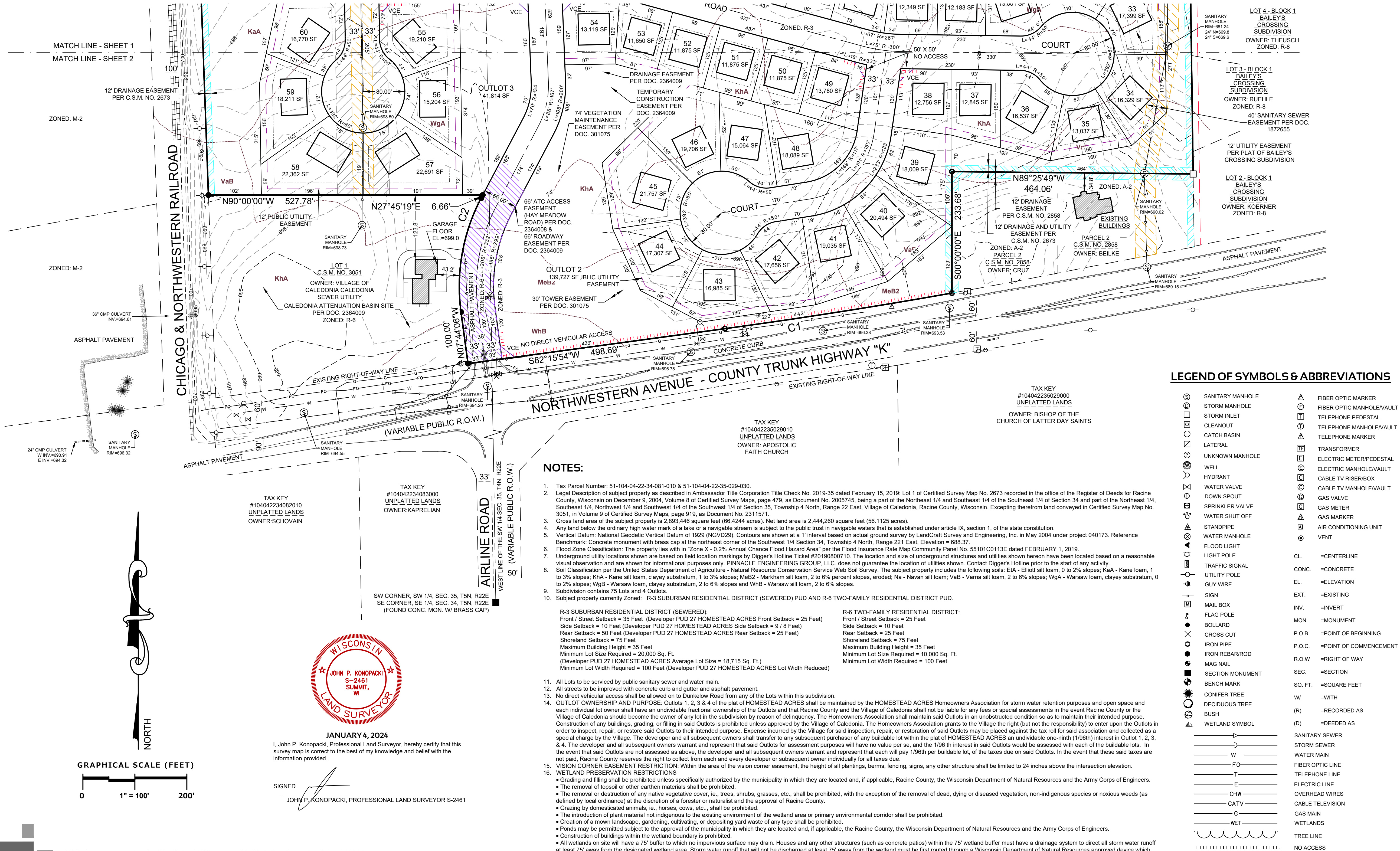
REVIEWING AGENCIES:
- Village of Caledonia
- Department of Administration

PEG JOB#953.00
SHEET 1 OF 2

PRELIMINARY PLAT OF
HOMESTEAD ACRES

Being a part of Lot 1 of Certified Survey Map No. 2673, in the
Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section
34 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and
Northwest 1/4 of Section 35, Township 4 North, Range 22 East,
Village of Caledonia, Racine County, Wisconsin.

CURVE TABLE					
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	442.39'	10737.59'	002°21'38"	S81°05'05"W	442.35'
C2	226.17'	365.13'	035°29'24"	S10°00'37"W	222.57'



Z:\PROJECTS\2017\953.00-WI\CAD\MASTER\953.00- MASTER.DWG 1/10/2024 1:33 PM



SITE DATA TABLE

PHASE 1: 21 LOTS (60'x60' PADS)
PHASE 2: 33 LOTS (60'x60' PADS)
PHASE 3: 21 LOTS/42 UNITS (50'x70' PADS)

ZONING:
R-3 SUBURBAN RESIDENTIAL DISTRICT (SEWERED)- **PUD 27 HOMESTEAD ACRES**
- FRONT/STREET SETBACK: 25 FEET
- SIDE YARD SETBACK: 9 FEET & 8 FEET, TOTAL OF 17 FEET
- REAR YARD SETBACK: 25 FEET
- AVG LOT SIZE: 18,715 SQ FT
- MINIMUM LOT WIDTH: 100 FEET

R-6 TWO-FAMILY RESIDENTIAL DISTRICT
- FRONT/STREET SETBACK: 25 FEET
- SIDE YARD SETBACK: 10 FEET
- REAR YARD SETBACK: 25 FEET
- MIN LOT SIZE: 10,000 SQ FT
- MIN LOT WIDTH: 100 FEET

OPEN SPACE CALCULATIONS:
- TOTAL GROSS AREA: 2,906,865 SF (66.73 AC)
- RIGHT OF WAY:
449,879 SF (10.33 AC) - **15.5%**
- LOTS:
987,482 SF (22.67 AC) - **34.0%**
- BUILDING PADS:
271,500 SF (6.23 AC) - **9.3%**
- OUTLOTS (WETLANDS, PONDS, GREEN SPACE):
1,198,004 SF (27.50 AC) - **41.2%**

DENSITY CALCULATIONS
- PHASE 1
GROSS AREA: 801,667 SF (18.40 AC)
RIGHT OF WAY: 96,292 SF (2.21 AC)
NET AREA (GROSS - ROW): 705,375 SF (16.19 AC)

PHASE 1 LOTS: 21 LOTS
DENSITY: 1.3 DUA

- PHASE 2
GROSS AREA: 1,102,408 SF (25.31 AC)
RIGHT OF WAY: 128,667 SF (2.95 AC)
NET AREA (GROSS - ROW): 973,741 SF (22.36 AC)

PHASE 1 LOTS: 33 LOTS
DENSITY: 1.5 DUA

- PHASE 3
GROSS AREA: 886,019 SF (4.98 AC)
RIGHT OF WAY: 108,148 SF (2.48 AC)
NET AREA (GROSS - ROW): 777,871 SF (17.86 AC)

PHASE 1 LOTS: 21 LOTS (42 UNITS)
DENSITY: 2.4 DUA

MEMORANDUM

Date: January 18, 2024

To: Plan Commission

From: Ryan Schmidt, P.E.
Village Engineer



Re: **Amended Preliminary Plat - Audubon Arboretum
SE ¼ of Section 17, T4N, R23E; Village of Caledonia, Racine County, WI
Parcel ID's: 51-104-04-23-17-084-000, 51-104-04-23-17-085-000, 51-104-04-23-17-086-005, & 104-04-23-17-083-000**

BACKGROUND INFORMATION

The Planning and Engineering Department has received an amended Preliminary Plat for the Audubon Arboretum Subdivision submitted by Bear Development, LLC on behalf of Audubon Park-Racine, LLC. The proposed Subdivision is located between 5-1/2 Mile Road, Charles Street, and 5 Mile Road and was initially approved in 2005. Bear Development is requesting approval of the amended Plat which includes the following revisions:

- Internal street layout has been revised to increase efficiency and remove unnecessary traffic circles and “eyebrow” street sections.
- The overall lot count has been increased to include lots off 5-1/2 Mile Road and Charles Street. Total count of 120.
- The overall density has increased to 1.6 dwelling units per acre.

The Audubon Arboretum Subdivision was submitted for concept in 2005, approved for a Preliminary Plat back in 2005, and continually extended from there. The Final Plat was approved at Plan Commission in 2008 but never at Village Board. The approved Preliminary Plat from 2005 has been included as **Exhibit A**. In 2018, a Concept Plan & Plat Revision was brought to the Planning Commission and Village Board to be modified and to request the approval of 2 waivers: Subdivision Plat with less than 40% Open Space and a Cul-De-Sac longer than 800'. The amended Concept Plan and Waivers were approved by both the Plan Commission and the Village Board via Resolution 2018-13. These waivers are still held today. With this 2018 submission, there were minor changes to the overall layout of the subdivision, which included modifying the geometry of one major street from a circle to a cul-de-sac. Most recently, in 2021, the Preliminary Plat was extended and to be reviewed again in 2024.

The Amended Preliminary Plat as provided in **Exhibit B**, includes the modified geometry of Audubon Court and Cardinal Court, removal of the traffic circle at Oriole Road and Audubon Parkway, modified lot layouts and updated DNR wetland mapping. Cardinal Court is recommended to be renamed as a street in Caledonia is already named Cardinal Drive. The parcels are located within the Sewer and Water service area. They are zoned R-3 PUD allowing for flexible lot design and use of a reduced lot square footage and width in areas to preserve the required density of the Comprehensive Plan. Lots now range from 11,508 SF to 51,160 SF. The Village's Comprehensive Land Use Plan calls for Low Density Residential (19,000 SF to 1.49

acres). The Average Lot Size is 0.36 acres or approximately 16,000 square feet which is under the PUD.

A DNR Wetland delineation was updated in 2022 compared to the original 2002 map. This updated wetland delineation report shows reduced areas of wetland impact compared to the original. The full wetland report will be required to be submitted to the Village prior to recording of the Final Plat. The wetlands as shown do appear to match what is shown on the Wisconsin DNR Surface Water Data Viewer. A 75' wetland buffer where no impervious surface may drain is required to be met per this preliminary plat. This may impact the development of a few lots, particularly Lots 55-56, 84, 96-97, 107-108, 119, and 120. It is recommended this buffer is shown on the Final Plat. These lots may need to be further investigated and modified or each lot will require unique collection systems to drain all impervious surfaces away from this wetland buffer.

Upon further review of the Wisconsin DNR Surface Water Data Viewer, WBIC 3000518 is an unnamed stream/reach. This is represented as encroaching upon Lot 119 and if considered a navigable waterway, requires a 75' shoreland setback from the OHWM (Ordinary High Water Mark). The Developer shall confirm with the DNR and determine the feasibility Lot 119.

A SWMP and set of Preliminary Construction Plans were submitted after the 2018 modifications. These plans will need to be modified and reviewed by the Engineering Department and Utility District prior to any permits being issued. Any comments will be provided directly to the Developer. A set of construction plans shall be submitted with the Final Plat and a Development Agreement shall be entered into with the Developer as a condition of any Final Plat approval. A pre-development agreement is already on file.

The corridor of 5-1/2 Mile Road and Charles Street are considered primary thoroughfare. These roads will be restricted to 1 access per lot. 5-1/2 Mile Road and Charles Street both have approximately 80' of Road Right-of-Way, which will be acceptable for these segments of road. The Right-of-Way along 5-1/2 Mile Road shall be modified to include a minimum of 33' at the eastern most portion of the proposed development and taper back to match the northwestern corner of the parcel parallel to the centerline of 5-1/2 Mile Road. The new line bearing and distance shall be updated on the Preliminary Plat and the additional land shall be dedicated to the Village for public road purposes. The internal Village Roads shall be updated to include a 66' Right-of-Way throughout.

A 50' No Access Restriction shall be applied to all corner lots as well as a 25'x25' Vision Triangle Easement. The detail provided will need to be amended and the description will need to be revised to include "no" vegetation, fences, structures, etc. in the easement. All lots shall be restricted to 1 access per single family lot. No access to Charles Street will be restricted for Lot 105.

A waiver to the 40% open space requirement in sewer and water service areas was approved in 2018 via Resolution 2018-13. The Subdivision as proposed contains approximately 24% open space pending any modifications to the layout. The Developer shall submit for review and approval a Stewardship Plan for maintaining the Open Space as shown. For this amended Preliminary Plat, it is also recommended that the Plan Commission consider a waiver to Ordinance 14-3-5(b) to allow a subdivision to be developed without Conservation Easements.

These waivers have been granted for subdivisions in the sewer and water service area in the past and therefore, the following recommendation is proposed:

Move to Recommend that the Village Board approve a Modification Waiver from Ordinance 14-3-5(b) for the amended Preliminary Plat of Audubon Arboretum to allow a subdivision to develop without Conservation Easements within the Sanitary Sewer and Water Service Area.

The Engineering Department has reviewed the amended Preliminary Plat for Audubon Arboretum and recommends approval subject to the conditions listed below.

RECOMMENDATION

Move to recommend approval of the amended Preliminary Plat for Audubon Arboretum and the Modification Waiver from Ordinance 14-3-5(b) subject to the following conditions:

- 1. The SWMP shall be modified for the amended layout and submitted to the Village and Utility District for review and approval.**
- 2. Civil/Site Plans, including Sanitary and Water extensions, shall be submitted to the Village and Utility District with the Final Plat.**
- 3. Water and Sewer Extension Plan shall be submitted and approved by the Wisconsin DNR and Racine Wastewater Utility.**
- 4. Final Plat shall be submitted, approved, and recorded prior to the issuance of building permits.**
- 5. Submit for review and approval by the Village a Stewardship Plan for maintaining the Open Space.**
- 6. Submit for review and approval by the Village the Homeowners Association organizational documents and restrictive covenants for review and approval as to required provisions by Village Staff.**
- 7. The Developer shall restrict the common open space in the outlots from any further land divisions and development.**
- 8. Civil/Site Plans and the SWMP shall be approved prior to the issuance of any building permits.**
- 9. A Development Agreement shall be entered into as condition of any Final Plat Approval.**
- 10. Road Cross Section shall be modified to include the local urban cross section approved by the Board of Public Works in 2023. This includes a 32' flange to flange width and 5" total asphalt thickness for all local roads within the Preliminary Plat.**
- 11. Update Village Roads to 66' ROW on all internal road sections.**
- 12. Show 75' wetland buffer for drainage concerns on Final Plat and all individual site grading plans when submitted. Provide DNR requirement of the 75' buffer to the Village.**
- 13. Provide additional notes for wetland buffer such as "no-mow" areas if required.**
- 14. Provide information on the WBIC 3000518 water way on Lot 119 per the WDNR. Modify Lot 119 accordingly.**
- 15. Cul-De-Sac islands shall be built to Village Standards with a 32.5' radius to the flange of the island curb. Cardinal Court appears to be larger than this.**
- 16. Correct the drafting error at Lots 46 and 97 for the road width on the Final Plat.**
- 17. Show 50' No Access Easements at all intersections and provide note on Plat.**
- 18. Correct Vision Corner Easement Detail and Plans to be 25'.**

19. Correct Item 12 on Page 2 describes the Vision Corner Easement for the spelling error and that no plantings, berms, fencing, signs or any other structure are allowed in these areas. Nothing shall be grown to a height of no more than 6" in this area.
20. Call out Temporary Turnaround Tee Easement on Oriole Road.
21. Adjust North Lot Line to include a 33' Right-of-Way for public road purposes at the northeast corner. Extend line to the northwest corner and update the bearing and legal description information. Call out dedication of public road right-of-way.
22. Developer shall provide a minimum 5' sidewalk for Lots 1-8 and Lots 114-118 along the Right-of-Way for Safe Access to School. Final design shall be determined with the Civil/Site Plans. Shall include ADA ramp crossings at Dustir Drive.
23. All lots are to be restricted to 1 access onto the Village Right-of-Way. A note shall be provided on the Final Plat.
24. Lot 105 shall be restricted to no access on to Charles Street.
25. Outlot 5 shall have both ponds modified to be within the Outlot. Ponds currently encroach onto buildable lots. Civil Site Plans shall provide this detail.
26. Grant a 12' Drainage and Utility Easement around perimeter of subdivision except for where it abuts the ROW or Outlot at Lot 73, 105, 119,120. This will not be required along Outlot 1 rear yards pending the master grading plan of the development.
27. Update naming of easement in the rear yard of properties to include "drainage".
28. Recommend showing a generic 25' radius for the future Robin Lane curb connections on Charles Street and Dustir Drive onto 5-1/2 Mile Road.
29. Dustir Drive is spelled incorrectly on the Preliminary Plat. Please correct.
30. Rename Cardinal Court due to similarities with Cardinal Drive in another subdivision.
31. Road connections to 5-1/2 Mile Road and Charles Street will require pavement removal limits in the concrete to be coordinated with the Village Engineer prior to removal. This shall be noted on construction plans when submitted.
32. Southbound white edge line on Charles Street shall be modified to include a acceleration/deceleration lane. Sandblasting and repainting will be required and shall be noted on the proposed Civil/Site Plans.
33. Ensure all easements are shown within 300' of the subdivision.
34. Access from Parcel 104-04-23-17-086-002, otherwise known as 6320 Charles Street, shall be discussed between the Owner, Developer, and Village by the time of Construction. The access on Charles Street may need to be modified due to standard no access restrictions when Robin Lane is connected..
35. Provide a note on the Plat that driveways shall not have a centerline slope steeper than 6%.
36. Add a note on the Plat that "Lots filled greater than 3 feet may require additional courses in the foundations to reach suitable soil. Will need to provide a soil compaction certification for the areas of greater than 3 feet of fill."
37. Prior to the construction of any infrastructure or earthmoving activities, the Developer shall obtain a Land Disturbance Permit from the Village of Caledonia and any other Federal, State or County permits as required (i.e DNR NOI, Army Corps of Engineers, etc.).
38. All infrastructure shall be inspected during installation by Village/Utility District inspectors/observers.

- 39. Final As-builts for all infrastructure shall be prepared, submitted, reviewed, and approved prior to the release of any building permits.**
- 40. The amended subdivision Preliminary Plat must conform to all Ordinances in Title 9, 14, and 18 as necessary.**

CHARLES ST & 5 & 1/2 MILE PROPERTIES

0 255 510 1,020
US Feet



January 12, 2024

Mr. Peter Wagner
Village of Caledonia Development Director
5043 Chester Lane
Racine, WI 53402

Re: Audubon Arboretum- Preliminary Plat Amendment

Dear Mr. Wagner:

Bear Development is pleased to submit this letter and the enclosed submittal materials as a formal application for Preliminary Plat Amendment for Audubon Arboretum. Bear Development is acting with the authorization of the owner of the record, Audubon Park-Racine, LLC.

Project Summary

Audubon Park-Racine, LLC is the record owner of approximately 68.64 acres of vacant land in the Village of Caledonia, specifically, Tax Key Parcels 104042317084000, 104042317085000, 104042317086005 and 104042317083000. The property is generally located southwest of the intersection of Charles Street and 5 ½ Mile Road. The property has public road frontage on Charles Street and 5 ½ Mile Road and is adjacent to Olympia Fields School. Bear Development is respectfully requesting Preliminary Plat Amendment approval to facilitate a single-family neighborhood.

Current Use

The subject parcel is vacant and includes areas of wetlands and immature tree cover. The subject property is located within the Sewer Service Area.

Current Comprehensive Plan Designation: Low Density Residential

Current Zoning

The subject property is currently zoned R-3 Suburban Residential, with a Planned Unit Development. The PUD granted modifications for reduced lot width and minimum lot area requirements. The Village of Caledonia also granted approval of waivers related to Open Space Percentage and maximum length of a cul-de-sac street. We understand these waivers remain intact and valid.

Current Preliminary Plat

Audubon Arboretum was granted Preliminary Plat approval. The Preliminary Plat has been extended due to a combination of adverse market conditions and extreme construction costs which made site development unfeasible.



Phone: 262.694.2327



beardevelopment.com



4011 80th Street, Kenosha, WI 53142

Based on recent favorable discussions with the Village of Caledonia regarding Tax Incremental Financing, we feel that the development of Audubon Arboretum is realistic and can proceed in the near term.

Proposed Preliminary Plat Amendment

Bear Development, LLC is respectfully requesting an amendment to the Audubon Arboretum Preliminary Plat. While the general and layout of the Audubon Arboretum Preliminary Plat remains intact, the proposed plat includes the following revisions:

- The internal street layout has been revised to increase efficiency and to remove an unnecessary traffic circle and “eyebrow” street section.
- The overall lot count has been increased. Additional lots have been included off of Charles Street and 5 ½ Mile Road.
- The overall density of Audubon Arboretum is 1.6 dwelling units per acres.

Compatibility

As with the original approvals for Audubon Arboretum, we feel a single-family neighborhood in this location is consistent with the adjacent land use and zoning. The proposed preliminary plat amendment and future low density residential land use will have no adverse impacts on the surrounding lands.

Upon favorable hearing before the Plan Commission and Village Board, we will advance full engineering plans and a Final Plat

Should you have any questions regarding this request, please do not hesitate to contact me. I can be reached at (262) 949-3788 or by email, dan@beardevelopment.com.

Thank you for your time and consideration.

Sincerely,

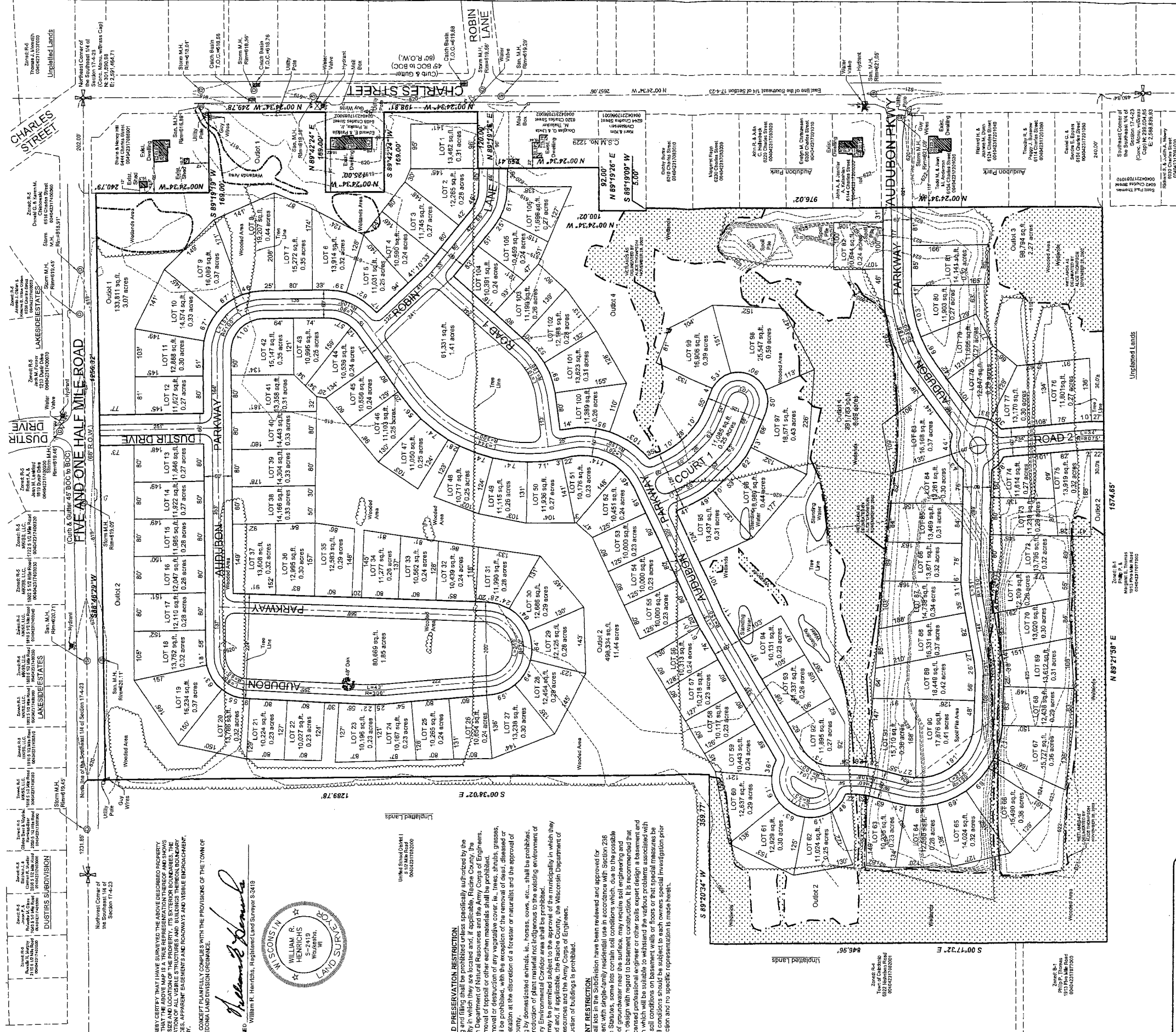


Daniel Szczap
Bear Development, LLC

PRELIMINARY PLAT OF

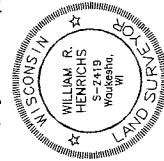
AUDUBON ARBORETUM

Being a part of the Northeast 1/4, Northwest 1/4, Southeast 1/4 and the Southeast 1/4 of Section 17, Township 4 North, Range 23 East, in the Town of Caledonia, Racine County, Wisconsin.



THESE CERTIFICATES HAVE BEEN SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND BUILDINGS THEREON, BOUNDARY, IF ANY, APPARENT BOUNDARIES AND ROADWAYS AND VISIBLE ENHANCEMENT, IF ANY.

THE CONVEYANCE PLANNED COURSE WITHIN THE PROVISIONS OF THE TOWN OF CALEDONIA LAND DIVISION ORDINANCE.

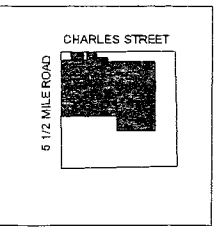


WETLAND PRESERVATION RESTRICTION

1. Grading and filling shall be prohibited unless specifically authorized by the municipality in which they are located and, if applicable, Racine County, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
2. The removal of topsoil or other material from any wetland area, grasses, etc., shall be prohibited, with the exception of the removal of dead, diseased or dying vegetation at the discretion of a forester or naturalist and the approval of Racine County.
3. Grazing by domesticated animals, i.e., horses, cows, etc., shall be prohibited.
4. Grazing by deer or other animals not indigenous to the existing environment of the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
5. Ponds may be permitted subject to the approval of the municipality in which they are located and, if applicable, Racine County, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
6. Construction of buildings is prohibited.

BASEMENT RESTRICTION

Although all lots in the Subdivision have been reviewed and approved for development with single-family residential use in accordance with Section 238 Wisconsin Statutes, some lots contain soil conditions which, due to the possible presence of groundwater near the surface, may require soil engineering and foundation design with regard to basement construction. It is recommended that either a licensed professional engineer or other soils expert design a basement and/or foundation for each lot. The design should take into account various problems associated with saturated soil conditions on basement walls. Owners should investigate prior to construction and no specific representation is made hereof.



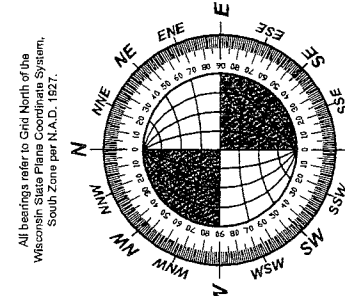
VICINITY SKETCH 1-2000'

Southeast 1/4 of Sec. 17, T.4N., R.23E.

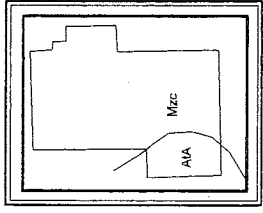


OWNER/DEVELOPER

NEWPORT DEVELOPERS, INC.
C/O RAY LEFFLER
1020 WEST BOULEVARD
RACINE, WI 53405
(262) 632-9990



All bearings refer to Grid North of the Wisconsin State Plane Survey System, South Zone per N.A.D. 1983.



SOILS MAP
SCALE: 1"=100'

SITE DATA

1. THE DEVELOPER AND ALL SUBSEQUENT OWNERS SHALL TRANSFER TO ANY SUBSEQUENT PURCHASER OF ANY BALDABLE LOT WITHIN THE SUBDIVISION A TRUE AND CORRECT COPY OF THIS PLAT AND THE RECORDING OF THIS PLAT SHALL BE A CONDITION OF ANY SALE OF ANY BALDABLE LOT.
2. THE DEVELOPER AND ALL SUBSEQUENT OWNERS WARRANT AND REPRESENT THAT THE PLAT AND THE RECORDING OF THIS PLAT SHALL BE A TRUE AND CORRECT COPY OF THE ORIGINAL LOT.
3. IN THE EVENT THAT THE SAID LOT OWNERS ARE NOT ASSURED AS ABOVE, THAT EACH WILL PAY AN UNDIVIDED EQUAL SHARE PER BALDABLE LOT, IF THE TAXES DUE ON THE SAID LOT, IN THE EVENT THAT THESE SAID TAXES ARE NOT PAID BY THE SAID LOT OWNERS, THE TAXES SHALL BE PAID BY EACH AND EVERY CO-OWNER OR SUBSEQUENT OWNER INDIVIDUALLY FOR ALL TAXES DUE.
4. THE PLAT SHALL BE OPENED BY FRACTIONAL OWNERSHIP BY THE HOME OWNERS ASSOCIATION ON OPEN SPACE AND OPEN SPACE MANAGEMENT.

NET DENSITY

GROSS PARENT PARCEL
AREA: 3,037,548 Sq. Ft. / 69.7 ac
NUMBER OF LOTS: 106 units
GROSS DENSITY: 1.52
LOT SUMMARY:
NUMBER OF LOTS: 106
AVERAGE LOT SIZE: 0.29 ac (12,947 Sq. Ft.)
NUMBER OF LOTS ADJACENT TO OPEN SPACE: 58 (55%)
OPEN SPACE AREA: 1,260,241 Sq. Ft. / 28.92 ac (41.5%)

Setback Requirements:

Front Yard = 30'
Side Yard = 6' (Garage Side), 9' on the opposite side
Rear Yard = 40'

Preliminary Plat of

AUDUBON ARBORETUM

TOWN OF CALEDONIA

RACINE COUNTY, WISCONSIN

Property Owner:
VWA
Charles N. Kant
Elizabeth Proskia
5615 Charles Street
Racine, WI 53402

DESIGNED BY: D. BORCH 7/17/04
CHECKED BY:
APPROVED BY:
PROJECT NO.-REVISION: 040174-04/12/05
SCALE: 1" = 100'

Map Prepared by: William R. Henrichs, RLS S-2419
LANDCRAFT SURVEY AND ENGINEERING, INC.
REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
207 SOUTH 16TH STREET, WEST ALFAL, WI 53227
PH: (414) 224-1000 FAX: (414) 224-1001
WWW.LANDCRAFTSURVEY.COM





MEMORANDUM

Date: January 18, 2024

To: Plan Commission

From: Ryan Schmidt, P.E.
Village Engineer



Re: **Amended Preliminary Plat – Catlyn Woods**
SW ¼ of Section 17, T4N, R23E; Village of Caledonia, Racine County, WI
Parcel ID's: 51-104-04-23-17-072-000

BACKGROUND INFORMATION

The Planning and Engineering Department has received an amended Preliminary Plat for the Catlyn Woods Subdivision submitted by Bear Development, LLC on behalf of Middle Road Investments, LLC. The proposed Subdivision is located between Middle Road, Catherine Drive, and Rebecca Drive and was initially approved in 2006. Bear Development is requesting approval of the amended Preliminary Plat which remains largely the same except for 2 additional lots. The overall site is 49.94 acres.

The Catlyn Woods Subdivision was initially submitted and approved for the Concept Plan in 2005 and Preliminary Plat in 2006. The approved Preliminary Plat, attached as **Exhibit A**, included 68 lots with an Open Space exceeding 40%, which primarily consisted of mapped wetlands. The Plat has been extended every 2-3 years with expiration in February of 2024. The current proposal now includes 70 lots, with the 2 new lots having frontage on Middle Road.

The Amended Preliminary Plat for Catlyn Woods, as shown in **Exhibit B**, is zoned R-4 PUD allowing for flexible design and use of a reduced square footage and width in areas. The average lot size for the proposed development is approximately ¼ to 1/3 of an acre. The Village's Comprehensive Land Use Plan calls for Low Density Residential. The average lot size fall below the Land Use Plan but is allowed for under the PUD.

A DNR Wetland delineation was updated in 2022 and compared to the original delineation in 2005. This updated wetland delineation report shows a very similar layout compared to the original. The full wetland report will be required to be submitted to the Village prior to recording of the Final Plat. The wetlands as shown do appear to match what is shown on the Wisconsin DNR Surface Water Data Viewer. A 75' wetland buffer where no impervious surface may drain is required to be met per this preliminary plat. This may impact the development of a few lots, particularly Lots 18,22, and 24. It is recommended this buffer is shown on the Final Plat. These lots may need to be further investigated and modified or each lot will require dedicated collection systems to drain all impervious surfaces away from this wetland buffer.

There is an unnamed stream on the Wisconsin DNR Surface Water Data Viewer that runs through the proposed subdivision listed as WBIC 5038787. The Developer shall determine if this is in fact a navigable waterway per the DNR. If so, the OHWM shall be determined and a 75' setback of all structures will be required for the proposed subdivision. The setback, OHWM,

and stream alignment shall be shown on the Final Plat. This will impact the northern section of Lots 1-4 and 27-33 and 48. If it is not determined to be a navigable waterway or body of water, then the Developer shall provide proof of such to the Village before any Final Plat is recorded.

The Subdivision is shown with what appears to be curb and gutter streets. This subdivision may utilize the Village Standards for open ditch cross section as the neighboring subdivisions have open ditches as well. Curb and gutter is acceptable and if used, shall follow the modified local road section approved by the Board of Public Works in 2023 (32' flange to flange). A cul-de-sac is shown without an island. This shall be constructed with an island meeting the Village Standard cross sections with a 32.5' radius to the flange.

A 50' No Access Restriction shall be applied to all corner lots as well as a 25'x25' Vision Triangle Easement. The detail provided will need to be amended and the description will need to be revised to include "no" vegetation, fences, structures, etc. in the easement. All lots shall be restricted to 1 access per single family lot.

The Village's Master Drainage Plan shows two watersheds in the proposed subdivision: M-16-6W and M-16-41. Swales appears to follow much of the wetland area which will be acceptable in Outlots. A portion of the drainage swale runs along the north side of the land and requires a 30' easement for drainage purposes. Properties along Catherine Drive have a 12' easement in the rear of their lots and therefore, an 18' Storm Sewer and Drainage Easement shall be granted along the north lot line in the rear of Lots 1-4 and 27-33. An appropriately designed storm sewer pipe will need to be approved under Randal Lane and Whitewater Street for each of these drainage areas when a SWMP and Construction Plans are submitted.

The Klema Ditch runs along the eastern-most portion of the subdivision. The Developer shall dedicate a 60' segment of land parallel to this east lot line and along the Klema Ditch to the Village of Caledonia.

For this amended Preliminary Plat, it is recommended that the Plan Commission consider multiple waivers. The first waiver to Ordinance 14-3-5(b) to allow a subdivision to be developed without Conservation Easements. The Subdivision as presented in **Exhibit B** falls short of the 40% Open Space with only 31%, but the Developer has presented **Exhibit C** to amend the Plat to achieve 41% prior to the Village Board meeting. A waiver for Conservation Easements is requested and has been granted for subdivisions in the sewer and water service area in the past. The Developer shall be required to submit a Stewardship Plan on how these Open Spaces will be maintained and they shall be restricted from further development. Therefore, the following recommendation is proposed:

Move to Recommend that the Village Board approve a Modification Waiver from Ordinance 14-3-5(b) for the amended Preliminary Plat of Catlyn Woods to allow a subdivision to develop without Conservation Easements within the Sanitary Sewer and Water Service Area.

The second recommended waiver is to Ordinance 14-3-4 (c)(2)(c)(i)(b) for allowing a flag lot on Lot 70 as provided in **Exhibit B** and **C**. The lot appears to be irregularly shaped and will require a waiver to meet Ordinance because of the wetland restrictions surrounding the land in this

location. Staff has reviewed the proposed lot layout from **Exhibits B & C** as part of the Preliminary Plat review and recommends the following:

Move to Recommend that the Village Board approve a Modification Waiver from Ordinance 14-3-4 (c)(2)(c)(i)(b) for the amended Preliminary Plat of Catlyn Woods to allow a flag lot to be developed with the Subdivision.

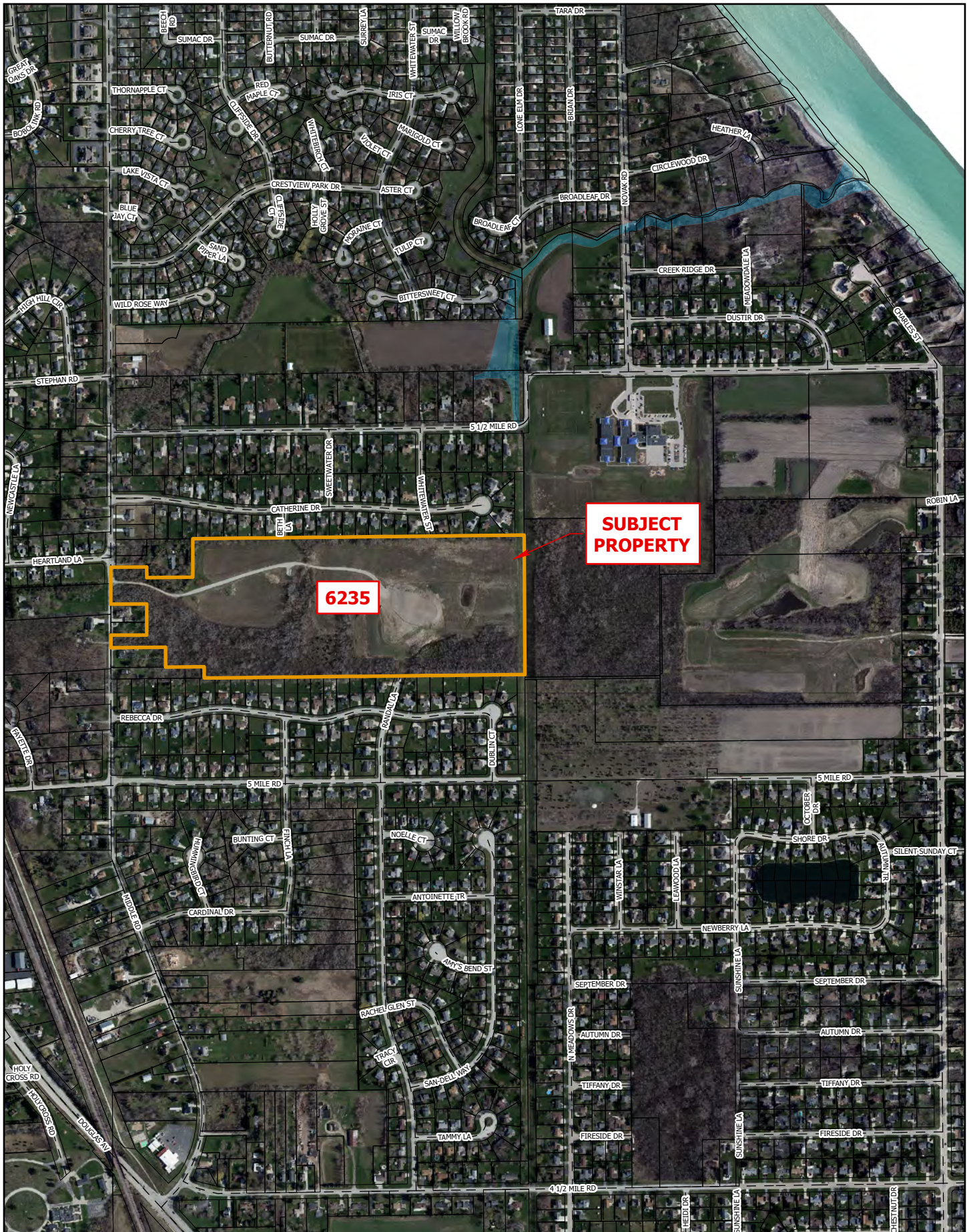
Village Staff have reviewed the amended Preliminary Plat for Catlyn Woods and recommend approval subject to the conditions listed below.

RECOMMENDATION

Move to recommend approval of the amended Preliminary Plat for Catlyn Woods and the Modification Waivers from Ordinance 14-3-5(b) and Ordinance 14-3-4 (c)(2)(c)(i)(b) subject to the following conditions:

- 1. An Updated Preliminary Plat is submitted to the Village prior to the Village Board Meeting meeting the 40% Open Space requirement.**
- 2. An updated pre-development agreement is entered into and a \$1,000 deposit is provided to the Village.**
- 3. Dedicate a 60' segment of land at the east lot line along the Klema Ditch to the Village of Caledonia.**
- 4. Civil/Site Plans and the SWMP shall be submitted and approved prior to the issuance of any building permits.**
- 5. Preliminary Construction Plans shall be submitted to the Village with the Final Plat.**
- 6. Sanitary Sewer Extensions shall be approved by the Caledonia Utility District, Racine Wastewater, and the Wisconsin DNR.**
- 7. Water Extensions shall be approved by the Caledonia Utility District and the Wisconsin DNR.**
- 8. Stormwater Pond easements shall be submitted via separate documents which will include exhibits and legal descriptions.**
- 9. Final Plat shall be submitted, approved, and recorded prior to the issuance of building permits.**
- 10. The Developer shall enter into a Subdivision Development Agreement at the time of Construction Plan Submittal and prior to any construction on the site.**
- 11. Submit for review and approval by the Village a Stewardship Plan for maintaining the Open Space.**
- 12. Submit for review and approval by the Village the Homeowners Association organizational documents and restrictive covenants for review and approval as to required provisions by Village Staff.**
- 13. The Developer shall restrict the common open space in the outlots from any further land divisions and development.**
- 14. Investigate the waterway labeled WBIC 5038787 by the Wisconsin DNR and provide a modified Plat meeting the 75' setbacks from the OHWM or evidence that this is not a navigable waterway or stream from the DNR to leave the plat as proposed prior to the Village Board meeting.**
- 15. Road Cross Section can include the local urban cross section approved by the Board of Public Works in 2023. This includes a 32' flange to flange width and 5" total asphalt thickness for all roads within the Preliminary Plat.**

- 16. Grant a 12' Drainage and Utility Easement around perimeter of subdivision. Ensure the labeling for both rear yard easements have the updated name of the easement as well.**
- 17. Grant an 18' Storm Sewer and Drainage Easement along the backside of Lots 1-4 and 27-33.**
- 18. Provide a note on the Plat that driveways shall not have a centerline slope steeper than 6%.**
- 19. Add a note on the Plat that "Lots filled greater than 3 feet may require additional courses in the foundations to reach suitable soil. Will need to provide a soil compaction certification for the areas of greater than 3 feet of fill."**
- 20. Prior to the construction of any infrastructure or earthmoving activities, the Developer shall obtain a Land Disturbance Permit from the Village of Caledonia and any other Federal, State or County permits as required (i.e DNR NOI, Army Corps of Engineers, etc.).**
- 21. All infrastructure shall be inspected during installatio by Village/Utility District inspectors/observers.**
- 22. Final As-builts for all infrastructure shall be prepared, submitted, reviewed, and approved prior to the release of any building permits.**
- 23. The amended subdivision Preliminary Plat must conform to all Ordinances in Title 9, 14, and 18 as necessary.**





Providing Creative Real Estate Solutions to Build Better Communities

January 12, 2024

Mr. Peter Wagner
Village of Caledonia Development Director
5043 Chester Lane
Racine, WI 53402

Re: Catlyn Woods- Preliminary Plat Amendment

Dear Mr. Wagner:

Bear Development is pleased to submit this letter and the enclosed submittal materials as a formal application for Preliminary Plat Amendment for Catlyn Woods. Bear Development is acting with the authorization of the owner of the record, Middle Road Investments, LLC.

Project Summary

Middle Road Investments, LLC is the record owner of approximately 50.18 acres of vacant land in the Village of Caledonia, specifically, Tax Key Parcel 104042317072000. The property is located on the East side of Middle Road, approximately 100 feet north of Five Mile Road. Bear Development is respectfully requesting approval to facilitate a single-family neighborhood.

Current Use

The subject parcel is vacant and includes areas of wetlands and immature tree cover. The subject property is located within the Sewer Service Area.

Current Comprehensive Plan Designation: Low Density Residential

Current Zoning

The subject property is currently zoned R-4 Urban Residential, with a Planned Unit Development to allow for up to 70 lots. The PUD also granted modifications for reduced lot width and setback requirements.

Current Preliminary Plat

Catlyn Woods was granted Preliminary Plat approval. The Preliminary Plat has been extended due to a combination of adverse market conditions and extreme construction costs which made site development unfeasible.

Based on recent favorable discussions with the Village of Caledonia regarding Tax Incremental Financing, we feel that the development of Catlyn Woods is realistic and can proceed in the near term.



Phone: 262.694.2327



beardevelopment.com



4011 80th Street, Kenosha, WI 53142

Proposed Preliminary Plat Amendment

Bear Development, LLC is respectfully requesting an amendment to the Catlyn Woods Preliminary Plat. While the general layout of Catlyn Woods remains the same, the proposed plat includes two (2) additional homesites which front Middle Road. The density of the Catlyn Woods project is 1.6 dwelling units per acre.

Compatibility

As at the time of original approvals for Catlyn Woods, we feel a single-family neighborhood in this location is consistent with the adjacent land use and zoning. The proposed preliminary plat amendment and future low density residential land use will have no adverse impacts on the surrounding lands.

Upon favorable hearing before the Plan Commission and Village Board, we will advance full engineering plans and a Final Plat

Should you have any questions regarding this request, please do not hesitate to contact me. I can be reached at (262) 949-3788 or by email, dan@beardevelopment.com.

Thank you for your time and consideration.

Sincerely,

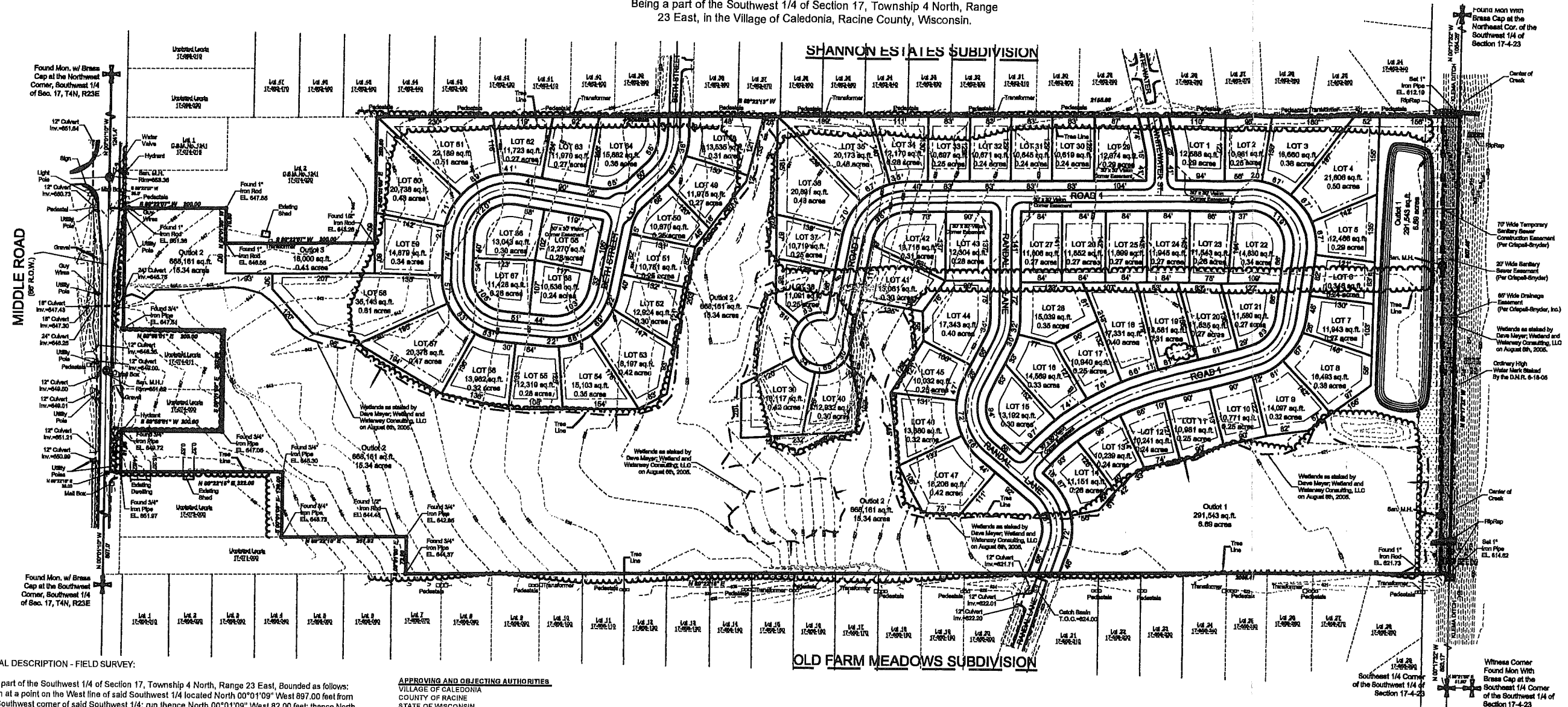


Daniel Szczap
Bear Development, LLC



PRELIMINARY PLAT: CATLYN WOODS SUBDIVISION

Being a part of the Southwest 1/4 of Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, Racine County, Wisconsin.

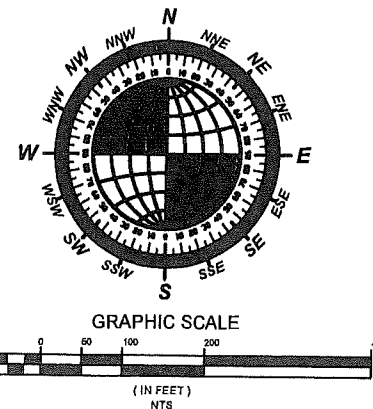


LEGAL DESCRIPTION - FIELD SURVEY:

That part of the Southwest 1/4 of Section 17, Township 4 North, Range 23 East, Bounded as follows: Begin at a point on the West line of said Southwest 1/4 located North 00°01'09" West 897.00 feet from the Southwest corner of said Southwest 1/4; run thence North 00°01'09" West 82.00 feet; thence North 89°58'51" West 233.00 feet; thence North 00°01'09" West 202.00 feet; thence South 89°58'51" West 233.00 feet; thence North 00°01'09" West 419.50 feet; thence North 89°22'07" East 2687.19 feet to a point on the East line of said Southwest 1/4; thence South 00°19'06" East 907.46 feet on said East line; thence South 89°22'07" West 2084.92 feet; thence North 00°01'09" West 74.00 feet; thence South 89°22'07" West 251.92 feet; thence North 00°01'09" West 130.00 feet; thence South 89°22'07" West 355.08 feet to the point of beginning. Reserving the rights of the public in and to the Middle Road. Said Lands being in the Village of Caledonia, County of Racine, State of Wisconsin. Excepting therefrom land conveyed in Certified Survey Map 1241 recorded June 12, 1987 in Volume 3 of Certified Survey Maps, page 617, as Document No. 1232289.

Containing 2,175,554 square feet or 49.94 acres.

All bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone.

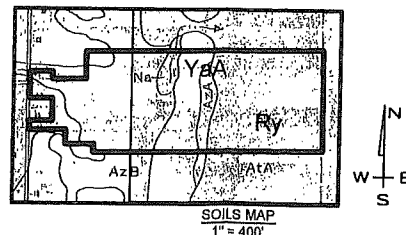


APPROVING AND OBJECTING AUTHORITIES:

VILLAGE OF CALEDONIA
COUNTY OF RACINE
STATE OF WISCONSIN

SURVEYOR
WILLIAM R. HENRICHS, RLS-2419
LANDCRAFT SURVEY AND ENGINEERING, INC.
2077 SOUTH 116TH STREET
WEST ALLIS, WI 53227

DEVELOPER
TNGS, LLC
C/O RAY LEFFLER
8949 MARINER DR.
RACINE, WI 53408
PH. 262-898-7777

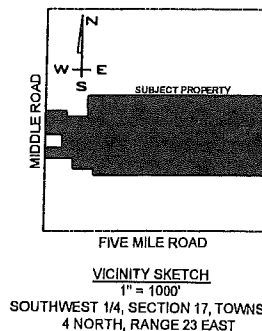


Notes:

- 1) Proposed House Note:
The particular style and/or design of the proposed house could be significantly affected by topographic conditions, and that "exposed basement" construction may be necessary to minimize rear yard disturbance. By approving this subdivision as submitted, Racine County does not warrant that each lot shown will accommodate every conceivable type of building style or footprint that may be considered by potential lot owners.
- 2) Open Space Outlot Notes:
A) The developer and all subsequent owners shall transfer to any subsequent purchaser of any buildable lot within the subdivision an undivided one-eighth (1/8) interest in the Outlots and 2.
B) The developer and all subsequent owners warrant and represent that the said outlots 1 and 2 for assessment purposes will have no value per se, and the 1/8 interest in the said outlots would be assessed with each of the buildable lots.
C) In the event that the said outlot is not assessed as above, the developer and all subsequent owners warrant and represent that each will pay 1/8th per buildable lot, of the taxes due on said outlots 1 and 2. In the event that these said taxes are not paid, Racine County reserves the right to collect from each and every developer or subsequent owner individually for all taxes due.

ZONING:
RSPUD - Suburban Residential District/
Planned Unit Development Overlay District

ZONING REQUIREMENTS:
Min. front setback - 25 feet
Min. sideyard - 8 feet on one side
and 9 feet on the other
Min. rear yard - 20 feet



OPEN SPACE CALCULATION

Gross Site Area - 49.94 Acres
Open Space Area - 22.03 Acres
Percent Open Space - 44.11%

Allowable Number of Units - 70 Units
(per Caledonia Plan Commission Approval 5/2/05)
Proposed Units - 68 Units

LOT AREA CALCULATIONS

Gross Site Area - 49.94 Acres
Proposed Number of Units - 68 Units
Gross Density - 1.36 du/ao

NET OUT AREAS

Wetlands - 19.53 Acres



I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS PRELIMINARY PLAT FULLY COMPLES WITH THE PROVISIONS OF SECTION 18-158 OF THE SUBDIVISION REGULATIONS OF THE TOWN OF CALEDONIA.

Signed: *William R. Henrichs*
William R. Henrichs, Registered Land Surveyor S-2419

LANDCRAFT SURVEY AND ENGINEERING, INC.
REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
2077 SOUTH 116TH STREET, WEST ALLIS, WI 53227
PHONE (414) 604-0874 FAX (414) 604-0877
info@landcraftse.com

DESIGNED BY: D. BORCH
CHECKED BY: W. HENRICHS - 12/28/05
APPROVED BY: _____
PROJECT NO.-REVISION: 040733 - 12/27/05

PRELIMINARY PLAT:
CATLYN WOODS
VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

THESE PLANS AND DESIGNS ARE COPYRIGHTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

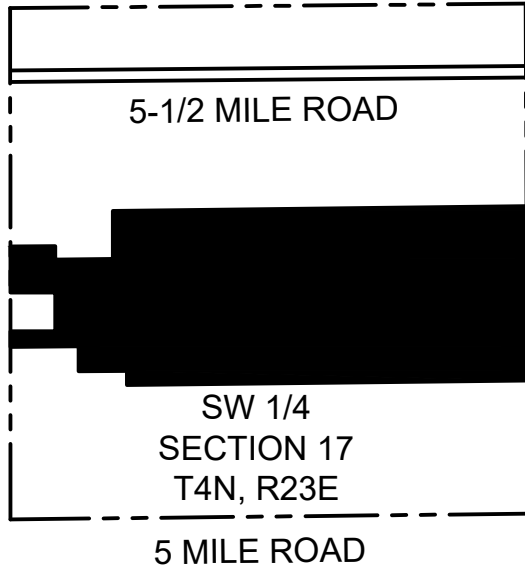
PRELIMINARY PLAT OF CATLYN WOODS SUBDIVISION

Being a part of the Northeast 1/4, the Southeast 1/4, the Southwest 1/4 and the Northwest 1/4 all in the Southwest 1/4 of Section 17, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin.



JANUARY 8, 2024

VICINITY SKETCH
SCALE 1"=1000'

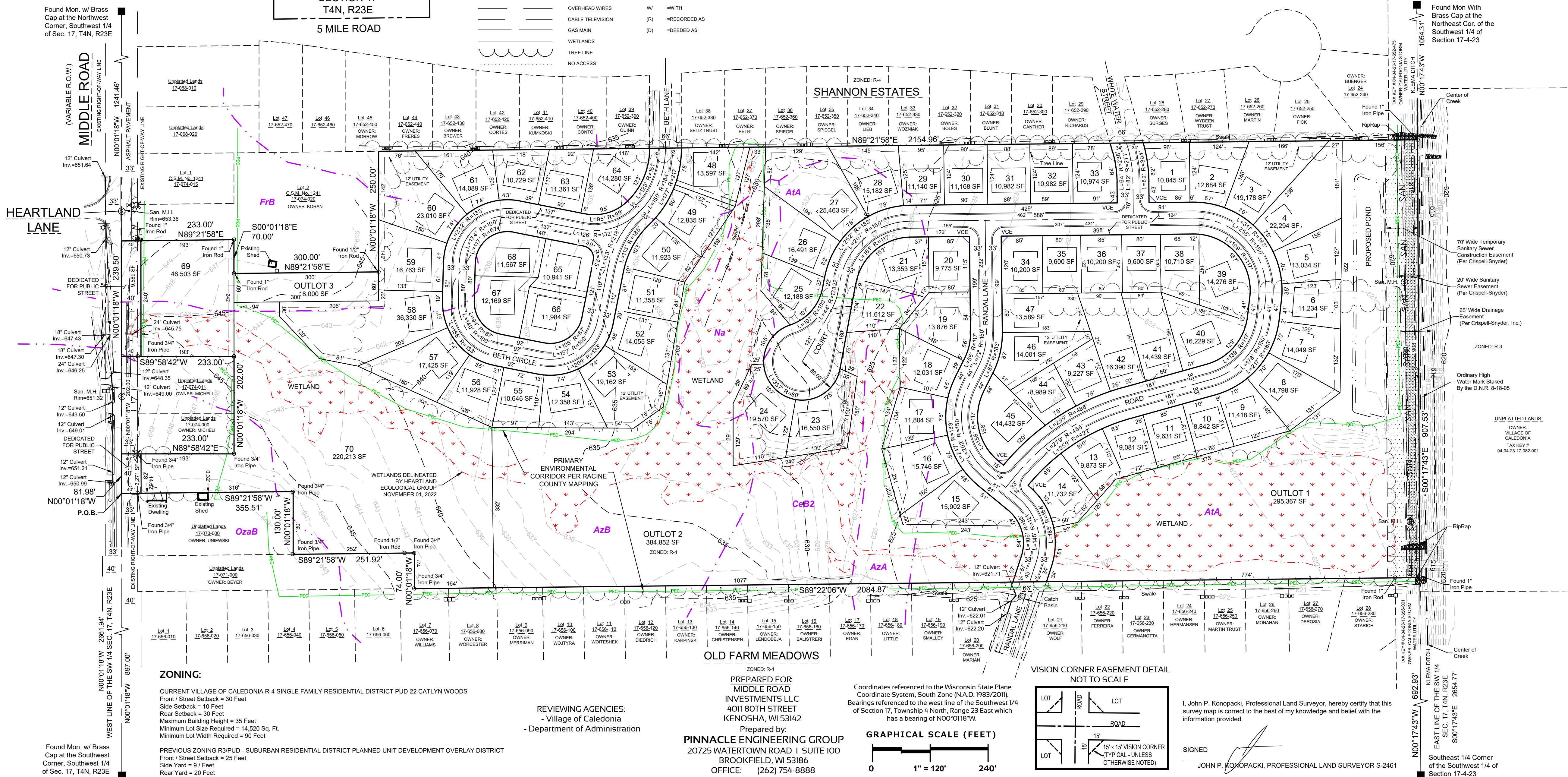


LEGEND OF SYMBOLS & ABBREVIATIONS

Sanitary Manhole	Fiber Optic Marker	Sign
Storm Manhole	Fiber Optic Manhole/Vault	Mail Box
Storm Inlet	Telephone Pedestal	Flag Pole
Cleanout	Telephone Manhole/Vault	Basketball Hoop
Catch Basin	Telephone Marker	Bollard
Lateral	Transformer	Cross Cut
Unknown Manhole	Electric Meter/Pedestal	Iron Pipe
Well	Electric Manhole/Vault	Iron Rebar/Rod
Hydrant	Cable TV Riser/Box Cable	Mag Nail
Water Valve	TV Manhole/Vault	Section Monument
Down Spout	Gas Valve	Benck Mark
Sprinkler Valve	Gas Meter	Conifer Tree
Water Shut Off	Gas Marker	Deciduous Tree
Standpipe	Air Conditioning Unit	Bush
Water Manhole	Vent	Wetland Symbol
Flood Light	Directional Arrow	CL - Centerline
Light Pole	Conc. - Concrete	EL - Elevation
Traffic Signal Pole	Handicap Stall	EXT - Existing
Utility Pole	Spot Elevation	INV - Invert
Guy Wire	Sanitary Sewer	MON - Monument
	Storm Sewer	P.O.B. - Point of Beginning
	Water Main	P.O.C. - Point of Commencement
	Fiber Optic Line	R.O.W. - Right of Way
	Telephone Line	SEC - Section
	Electric Line	SQ. FT. - Square Feet
	Overhead Wires	WI - With
	Cable Television	(R) - Recorded As
	Gas Main	(D) - Deeded As
	Tree Line	
	No Access	

NOTES:

- Tax Parcel Number: 104-04-23-17-072-000
- Legal Description of subject property as described in LandCraft Survey and Engineering Inc. Plat of Survey Project No. 040733 dated October 03, 2005: That part of the Southwest 1/4 of Section 17, Township 4 North, Range 23 East, Bounded as follows: Begin at a point on the West line of said Southwest 1/4 located North 00°01'09" West 897.00 feet from the Southwest corner of said Southwest 1/4; run thence North 00°01'09" West 233.00 feet; thence North 89°58'51" West 233.00 feet; thence North 00°01'09" West 419.50 feet; thence North 89°22'07" East 2887.19 feet to a point on the East line of said Southwest 1/4; thence South 00°01'09" East 907.46 feet on said East line; thence South 89°22'07" West 74.00 feet; thence North 89°22'07" West 251.92 feet; thence North 00°01'09" West 130.00 feet; thence South 89°22'07" West 355.08 feet to the point of beginning. Reserving the rights of the public in and to the Middle Road. Said Lands being in the Town of Caledonia, County of Racine, State of Wisconsin. Excepting therefrom land conveyed in Certified Survey Map 1241 recorded June 12, 1987 in Volume 3 of Certified Survey Maps, page 617, as Document No. 1232289.
- Gross land area of the subject property is 2,186,034 square feet (50.1844 acres). Net land area is 1,888,811 square feet (43.3611 acres).
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Contours are shown at a 1' interval based on actual ground survey by LandCraft Survey and Engineering Inc. Plat of Survey Project No. 040733 dated October 03, 2005. Reference Benchmark: Concrete monument with brass cap at the southeast corner of the Southwest 1/4 Section 17, Township 4 North, Range 23 East, Elevation = 862.62
- Flood Zone Classification: The property lies within "Zone X" per Flood Insurance Rate Map Community Panel No. 555101C0112D AND 55101C0116D dated MAY 2, 2012.
- Underground utility locations shown are based on field location markings by Digger's Hotline. The location and size of underground structures and utilities shown hereon have been located based on a reasonable visual observation and are shown for informational purposes only. PINNACLE ENGINEERING GROUP, LLC does not guarantee the location of utilities shown. Contact Digger's Hotline prior to the start of any activity.
- Soil Classification per the United States Department of Agriculture - Natural Resource Conservation Service Web Soil Survey. The subject property includes the following soils: A1A - Ashkum silty clay loam, 0-2 % slopes; A2A - Aztalan loam, 0 to 2% slopes; A2B - Aztalan loam, 2 to 6% slopes; CeB2 - Casco loam, 2 to 6% slopes; FRB - Fox loam, clayey substratum, 2 to 6% slopes; Na - Navan silt loam; OzaB - Ozaukee silt loam, 2 to 6% slopes.
- Subdivision contains 70 Lots and 3 Outlots.
- All Lots to be serviced by public sanitary sewer and water main.
- All streets will be improved to Village of Caledonia specifications.
- OUTLOT OWNERSHIP AND PURPOSE: Outlots 1, 2 & 3 of the plat of CATLYN WOODS shall be maintained by the CATLYN WOODS Homeowners Association for storm water retention purposes and open space and each individual lot owner shall have an undividable fractional ownership of the Outlots in an unobstructed condition so as to maintain their intended purpose. Construction of any buildings, grading, or filling in said Outlots is prohibited unless approved by the Village of Caledonia. The Homeowners Association grants to the Village the right (but not the responsibility) to enter upon the Outlots in order to inspect, repair, or restore said Outlots to their intended purpose. Expense incurred by the Village for said inspection, repair, or restoration of said Outlots may be placed against the tax roll for said association and collected as a special charge by the Village. The developer and all subsequent owners shall transfer to any subsequent purchaser within the plat of CATLYN WOODS an undividable one-ninth (1/9th) interest in Outlot 1, 2, & 3. The developer and all subsequent owners warrant and represent that said Outlots for assessment purposes will have no value per se, and the 1/9th interest in said Outlots would be assessed with each of the buildable lots. In the event that said Outlots are not assessed as above, the developer and all subsequent owners warrant and represent that each will pay 1/70th per buildable lot, of the taxes due on said Outlots. In the event that these said taxes are not paid, Racine County reserves the right to collect from each and every developer or subsequent owner individually for all taxes due.
- VISION CORNER EASEMENT (VCE) RESTRICTION: Within the area of the vision corner easement, the height of all plantings, berms, fencing, signs, any other structure shall be limited to 24 inches above the intersection elevation.
- WETLAND PRESERVATION RESTRICTIONS
Grading and filling shall be prohibited unless specifically authorized by the municipality in which they are located and, if applicable, Racine County, the Wisconsin Department of Natural Resources and the Army Corps of Engineers. The removal of topsoil or other earthen materials shall be prohibited. The removal or destruction of any native vegetation cover, i.e., trees, shrubs, grasses, etc., shall be prohibited, with the exception of the removal of dead, dying or diseased vegetation, non-indigenous species or noxious weeds (as defined by local ordinance) at the discretion of a forest or naturalist and approval of Racine County. Grazing by domesticated animals, i.e., horses, cows, etc., shall be prohibited. The introduction of plant material not indigenous to the existing environment of the wetland area or primary environmental corridor shall be prohibited. Creation of a new landscape, gardening, cultivating, or depositing yard waste of any type shall be prohibited. Ponds may be permitted subject to the approval of the municipality in which they are located and, if applicable, the Racine County, the Wisconsin Department of Natural Resources and the Army Corps of Engineers. Construction of buildings within the wetland boundary is prohibited. All wetlands on site will have a 75' buffer to which no impervious surface may drain. Houses and any other structures (such as concrete patios) within the 75' wetland buffer must have a drainage system to direct all storm water runoff at least 75' away from the designated wetland area. Storm water runoff that will not be discharged at least 75' away from the wetland must be first routed through a Wisconsin Department of Natural Resources approved device which will provide adequate water treatment prior to discharging closer than 75'. Wood deck patios with spacing between the boards and draining onto a gravel base or naturally vegetated area including mowed lawn are not considered impervious surfaces.
- BASEMENT RESTRICTION: Although all lots in the Subdivision have been reviewed and approved for development with single-family residential use in accordance with Section 236 Wisconsin Statutes, some lots contain soil conditions which, due to the possible presence of groundwater near the surface, may require soil engineering and foundation design with regard to basement construction. It is recommended that either a licensed professional engineer or other soils expert design a basement and foundation which will be suitable to withstand the various problems associated with saturated soil conditions on basement walls or floors or that special measures be taken. Soil conditions should be subject to each owners professional investigation prior to construction and no specific representation is made herein.



ZONING:

CURRENT VILLAGE OF CALEDONIA R-4 SINGLE FAMILY RESIDENTIAL DISTRICT PUD-22 CATLYN WOODS
Front / Street Setback = 30 Feet
Side Setback = 10 Feet
Rear Setback = 30 Feet
Maximum Building Height = 35 Feet
Minimum Lot Size Required = 14,520 Sq. Ft.
Minimum Lot Width Required = 90 Feet

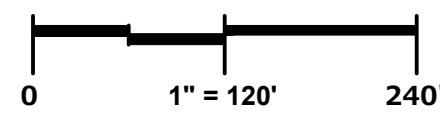
PREVIOUS ZONING R3/PUD - SUBURBAN RESIDENTIAL DISTRICT PLANNED UNIT DEVELOPMENT OVERLAY DISTRICT
Front / Street Setback = 25 Feet
Side Yard = 9 Feet
Rear Yard = 20 Feet

REVIEWING AGENCIES:
- Village of Caledonia
- Department of Administration

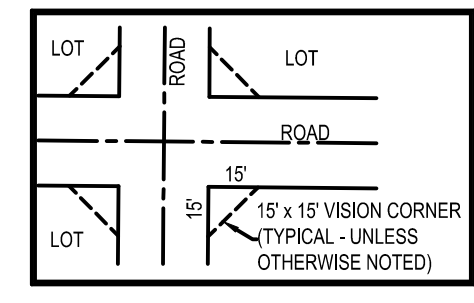
OLD FARM MEADOWS
ZONED: R-4
PREPARED FOR
MIDDLE ROAD
INVESTMENTS LLC
4011 80TH STREET
KENOSHA, WI 53142
Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD 1 SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

Coordinates referenced to the Wisconsin State Plane
Coordinate System, South Zone (NAD 1983/2011).
Bearings referenced to the west line of the Southwest 1/4
of Section 17, Township 4 North, Range 23 East which
has a bearing of N00°01'18"W.

GRAPHICAL SCALE (FEET)



VISION CORNER EASEMENT DETAIL NOT TO SCALE



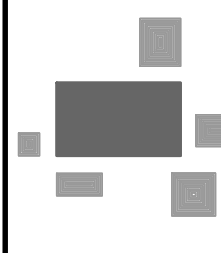
I, John P. Konopacki, Professional Land Surveyor, hereby certify that this
survey map is correct to the best of my knowledge and belief with the
information provided.
SIGNED
JOHN P. KONOPACKI, PROFESSIONAL LAND SURVEYOR S-2461

REVISIONS

NO.	DATE	DESCRIPTION
1	01/08/2024	1" = 120'
2	01/08/2024	DRAFTED BY: ST

REG JOB No.	3002.00
REG PM	
DATE	01/08/2024
SCALE	1" = 120'
DRAFTED BY: ST	
SHEET	1 OF 1

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PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

WISCONSIN OFFICE:
20725 WATERTOWN ROAD SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888

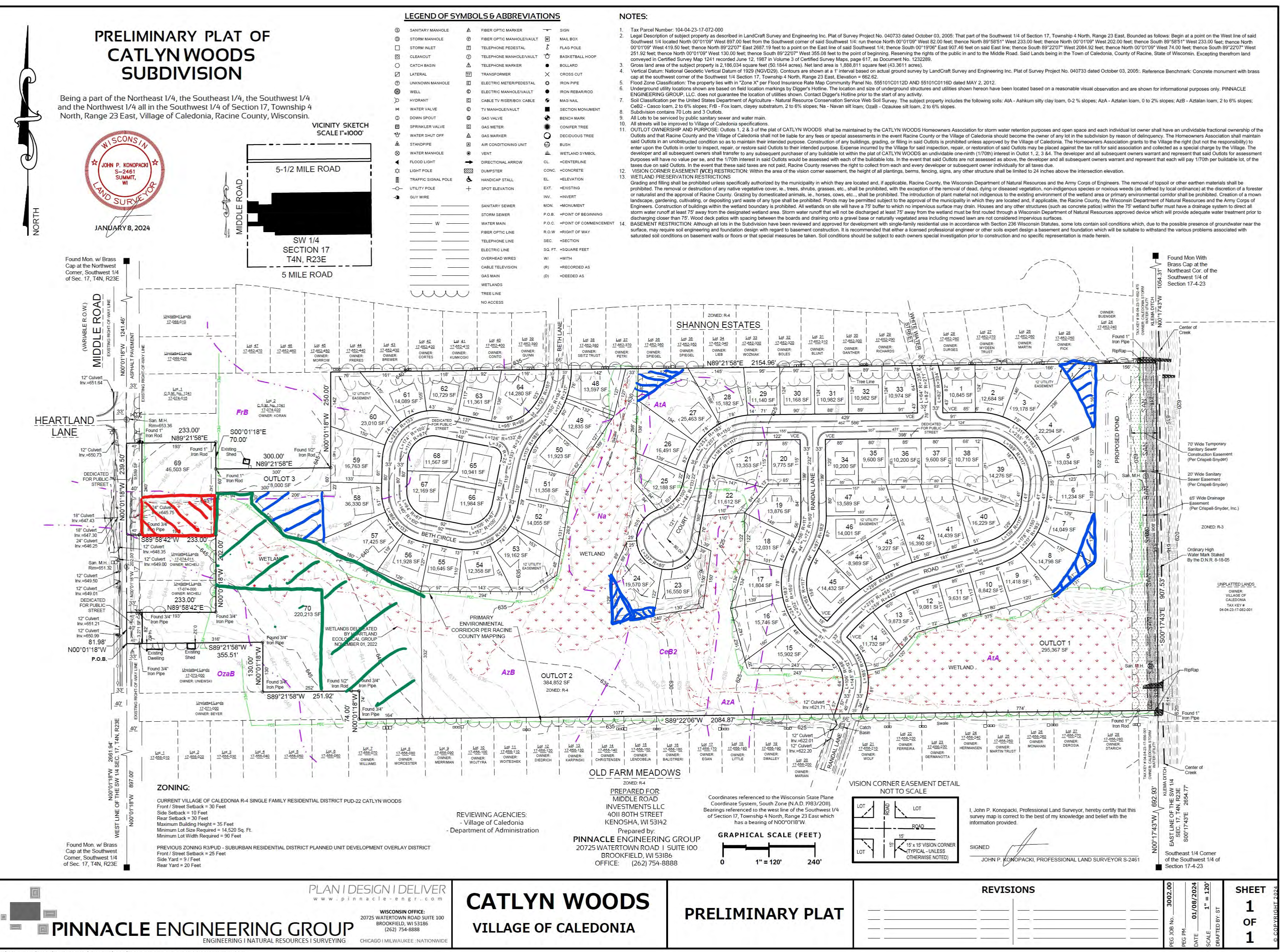
CHICAGO | MILWAUKEE | NATIONWIDE

CATLYN WOODS
VILLAGE OF CALEDONIA

PRELIMINARY PLAT



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PRELIMINARY PLAT



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CATLYN WOODS
VILLAGE OF CALEDONIA

PRELIMINARY PLAT

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MEMORANDUM

Date: January 23, 2024

To: Plan Commission

From: Ryan Schmidt, P.E.
Village Engineer



Re: **Certified Survey Map– CCM – Caledonia, LLC**
NE ¼ of Section 21, T4N, R23E; Village of Caledonia, Racine County, WI
Parcel ID's: 51-104-04-23-21-003-020, 51-104-04-23-21-003-010, 51-104-04-23-21-003-030

BACKGROUND INFORMATION

The Planning and Engineering Department has received a Certified Survey Map from Cardinal Capital Management, Inc. The property is owned by CCM-Caledonia, LLC. The proposed CSM is located along Waters Edge Drive (where Erie Street ends) just south of the new 5 Mile Road and north of the Sisters of St Dominic along the east side of the road. The property is currently in 3 parcels per CSM 3464 (5915, 5959, and 5945 Erie Street). The CSM combines these parcels into one. The CSM has been included as **Exhibit A** and is the proposed location of a future Condominium Subdivision.

The Developer is required to allow public access to the trail around the condo development per the Development Agreement. This shall be provided in writing and shown on the CSM and the Condominium Plats. This may be done via easement or other means approved by the Village. Additional public easements are required for the sanitary sewer service, water meter pit to the development (beyond what is shown) and for drainage along Waters Edge Drive. These shall be shown as required for the first phase of development on the Condominium Plat and the CSM. Additional sanitary sewer easements will be required and a condition of approval for future plat approvals for each phase.

Access for the Sisters of St Dominic shall be provided upon completion of the project and as part of the Development Agreement. A temporary access easement and road is in place now to handle the traffic, however, upon future phases of development, the temporary access will transfer to the private road system constructed by the developer. This language shall be shown on the Condominium Plat and the CSM. This may be achieved via an ingress-egress easement or similar method but shall be provided.

Resolution 2020-116 renamed a portion of Erie Street to Waters Edge Drive beginning at a point 1,170 feet north of the intersection of Kentwood Drive and Erie Street and extending Northerly along such Right-of-Way line to connect with the currently named Waters Edge Drive. The Developer and Landowner shall update the CSM accordingly. A legal description may be provided upon request.

Conditions of approval for the CSM and Condominium Plat shall continue the obligation of Cardinal Capital Management to reimburse the Village for continuing costs per the Development

Agreement, Ordinance No. 2020-19, Resolution 2023-12, and Ordinance No. 2023-82. Per Item 20 of Resolution 2023-12 and the Planned Unit Development Conditions and Restrictions, the “applicant shall reimburse the Village all costs incurred by the Village for review of this rezoning and PUD Planned Unit Development Overlay District approval including but not limited to engineering, legal, and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.”

Village Staff has reviewed the proposed Certified Survey Map and recommend approval subject to the conditions listed below.

RECOMMENDATION

Move to recommend approval of the Certified Survey Map subject to the following conditions:

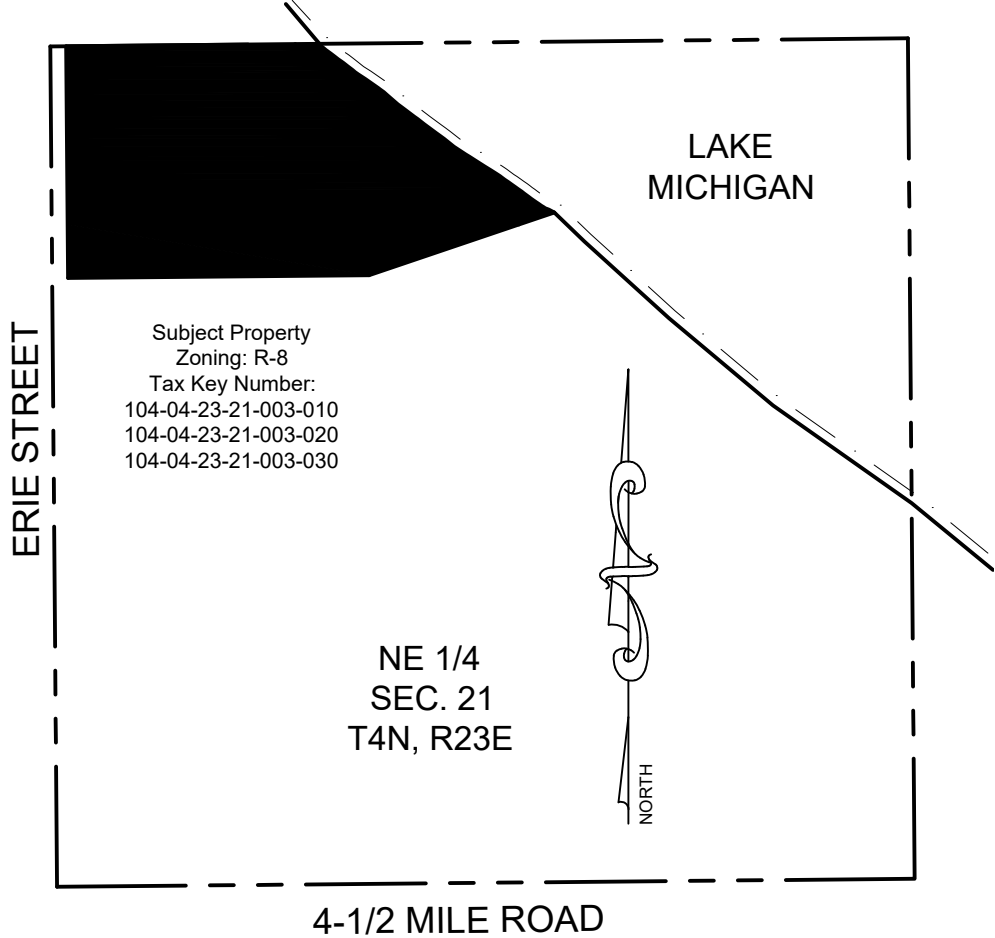
- 1. CCM, Inc. shall reimburse the Village for all continuing costs per the Development Agreement, Ordinance No. 2020-19, Resolution 2023-12 and Ordinance No. 2023-82.**
- 2. Public Access is granted to for the trail system around the development and labeled on the CSM and the Condominium Plat. TheProperty Owner, its successors and assigns including the Condominium Association to be created, shall be required to maintain the trail system in perpetuity.**
- 3. Access for the Sisters of St. Dominic is included on the Condominium Plat and CSM. A note shall be provided on how this is achieved on both the CSM and Condominium Plat.**
- 4. Sanitary Sewer easements required for Phase 1 of the future condominium development shall be included on this CSM prior to approval and recording.**
- 5. The 10’ drainage easement along proposed west lot line and running parallel to Waters Edge Drive shall be included on the CSM prior to approval and recording.**
- 6. Village Roadway shall be updated to Waters Edge Drive on the CSM and on all legal descriptions as required. A legal description of the resolution changing the name may be provide upon request.**
- 7. Add coordinates on Section Corners and Meander Corners**
- 8. Give Distance between the NE Section Corner & Meander Corner with bearings.**
- 9. All utility and other easements required to be granted to the Village shall be memorialized in a written easement agreement and separately recorded in a form required and approved by the Village. All exhibits and legal descriptions shall be included with the documents.**



CERTIFIED SURVEY
MAP NO. _____

Being Lot 1, Lot 2 and Lot 3 of Certified Survey Map No. 3464,
in the Northwest 1/4 of the Fractional Northeast 1/4 of Section
21, Township 4 North, Range 23 East,
Village of Caledonia, Racine County, Wisconsin

VICINITY SKETCH
SCALE 1"=1000'



NOTES:

- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- Coordinates referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). Bearings referenced to the west line of the Northeast 1/4 of Section 21, Township 4 North, Range 23 East which has a bearing of S00°27'09"E.
- Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution.
- WETLANDS DELINEATED BY HEARTLAND ECOLOGICAL GROUP, SEPTEMBER 4, 2020, AS SHOWN ON CERTIFIED SURVEY MAP NO. 3464.
- PRIMARY ENVIRONMENTAL CORRIDOR (PEC) DELINEATED BY HEARTLAND ECOLOGICAL GROUP, SEPTEMBER 4, 2020, AS SHOWN ON CERTIFIED SURVEY MAP NO. 3464.
- Wisconsin Electric Power Company Easement per Document No. 1099856 to be vacated by separate document.

Prepared for:
CCM-CALEDONIA LLC
901 S 70TH STREET
WEST ALLIS, WI 53214

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461



DECEMBER 21, 2023

DRAFTED BY:ST
PEG JOB#2145.00
SHEET 1 OF 5

CERTIFIED SURVEY MAP
NO. _____

Being Lot 1, Lot 2 and Lot 3 of Certified Survey Map No. 3464, in the Northwest 1/4 of the Fractional Northeast 1/4 of Section 21, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin

NW CORNER, NE 1/4
SEC. 21, T4N, R23E
(FOUND CAST IRON MON. W/ BRASS CAP)
N=299,063.92; E=2,594,135.31
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE)

N89°27'51"E 791' +/-
N89°27'51"E 716.12'

WEST MEANDER
CORNER FOR THE
NE CORNER, NE 1/4
SEC. 21, T4N, R23E
(FOUND CAST IRON
MON. W/ BRASS CAP)

WETLANDS
PER CSM 3464

PEC PER
CSM 3464

MEANDER LINE
S46°46'34"E 367.97'

TOP OF
BLUFF

LAKE MICHIGAN

GRAPHICAL
SCALE (FEET)

0 1" = 150'

MEANDER LINE
S54°03'57"E 531.42'

LOT 1
774,982 SQ. FT.
17.7911 ACRES TO
MEANDER LINE

LIFT STATION

DECEMBER 21, 2023

ERIE STREET

S00°27'09"E 2626.28'
WEST LINE OF THE NE 1/4 SEC. 21, T4N, R23E

N00°27'09"W 724.41'

49.50'

33'

49.5'

SW CORNER, NE 1/4
SEC. 21, T4N, R23E
(FOUND CAST IRON
MON. W/ BRASS CAP)

LEGEND:

○ - Denotes Found 3/4" Iron Pipe
● - Denotes Found 3/4" Iron Rod

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2145.00
SHEET 2 OF 5

CERTIFIED SURVEY MAP
NO. _____

Being Lot 1, Lot 2 and Lot 3 of Certified Survey Map No. 3464, in the Northwest 1/4 of the Fractional Northeast 1/4 of Section 21, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin

PEG JOB#2145.00
SHEET 3 OF 5

PARCEL 2 CSM 2180
OWNER: TAGHON
TAX KEY #104-04-23-16-025-038

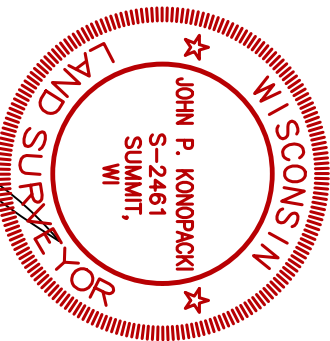
UNPLATTED LANDS
TAX KEY #104-04-23-16-026-000
OWNER: WILLIAMS
N89°27'51"E 791' +/-
N89°27'51"E 716.12'

20' SANITARY
SEWER EASEMENT
PER DOC. 1517867
NORTH LINE OF THE NE 1/4 SEC. 21, T4N, R23E
N89°27'51"E 618.01'

ERIE STREET

S00°27'09"E 2626.28'
WEST LINE OF THE NE 1/4 SEC. 21, T4N, R23E

N00°27'09"W 724.41'

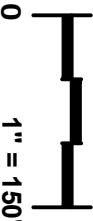


LOT 1



LAKE MICHIGAN

GRAPHICAL
SCALE (FEET)



MEANDER LINE
S46°46'34"E 367.97'
MEANDER LINE
S54°03'57"E 537.42'

DECEMBER 21, 2023

WISCONSIN ELECTRIC
POWER COMPANY
EASEMENT PER
DOC. 936982

LIFT STATION

SANITARY SEWER
EASEMENT PER
CSM 3464

50' TEMPORARY ACCESS
EASEMENT PER CSM 3464

WISCONSIN ELECTRIC
POWER COMPANY
EASEMENT PER DOC. 942710

UNPLATTED LANDS
TAX KEY #104-04-23-21-007-003
OWNER: SISTERS
OF ST DOMINIC
S71°18'50"N 611' +/-
S71°18'50"N 494.46'

UNPLATTED LANDS
TAX KEY #104-04-23-21-001-000
OWNER: DOMINICAN
COLLEGE OF RACINE INC

UNPLATTED LANDS
TAX KEY #104-04-23-21-010-000
OWNER: SISTERS
OF ST DOMINIC

UNPLATTED LANDS
TAX KEY #104-04-23-21-007-004
OWNER: SISTERS
OF ST DOMINIC

LEGEND:

- - Denotes Found 3/4" Iron Pipe
- - Denotes Found 3/4" Iron Rod

Prepared By:

PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

CERTIFIED SURVEY MAP NO. _____

Being Lot 1, Lot 2 and Lot 3 of Certified Survey Map No. 3464, in the Northwest 1/4 of the Fractional Northeast 1/4 of Section 21, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed and mapped Lot 1, Lot 2 and Lot 3 of Certified Survey Map No. 3464, as recorded in the Register of Deeds office for Racine County as Document No. 2602721, in the Northwest 1/4 of the Fractional Northeast 1/4 of Section 21, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

Commencing at the northwest corner of the Fractional Northeast 1/4 of said Section 21;
Thence North 89°27'51" East along the north line of said Northeast 1/4, 49.50 feet to the northwest corner of Certified Survey Map No. 3464 and the Point of Beginning;

Thence continuing North 89°27'51" East along the north line of said Certified Survey Map, 716.12 feet to the Meander Line of Lake Michigan;
Thence South 46°46'34" East along said Meander Line, 367.97 feet;
Thence South 54°03'57" East along said Meander Line, 531.42 feet to the southerly line of said Certified Survey Map;
Thence South 71°18'50" West along said southerly line, 494.46 feet;
Thence South 89°27'51" West along said southerly line, 940.43 feet to the east right of way line of Erie Street;
Thence North 00°27'09" West along said right of way line, 724.41 feet to the Point of Beginning.

Including that land between the Meander Line and the Ordinary High Water Line of Lake Michigan.

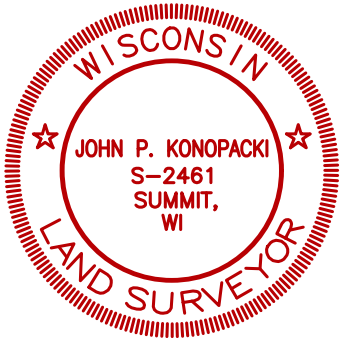
Containing 774,982 square feet (17.7911 acres) of land to the Meander Line of Lake Michigan.

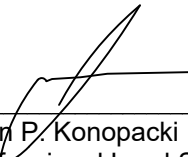
That I have made such survey, land division and map by the direction of CCM-CALEDONIA LLC, owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the Village of Caledonia Land Division Ordinance in surveying and mapping the land within the certified survey map.

Date: DECEMBER 21, 2023




John P. Konopacki
Professional Land Surveyor S-2461

VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Caledonia on this _____ day of _____, 2024.

Date

Village Clerk

CERTIFIED SURVEY MAP NO. _____

Being Lot 1, Lot 2 and Lot 3 of Certified Survey Map No. 3464, in the Northwest 1/4 of the Fractional Northeast 1/4 of Section 21, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin

OWNER'S CERTIFICATE

CCM-CALEDONIA LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this certified survey map to be surveyed, divided and mapped as represented on this certified survey map.

CCM-CALEDONIA LLC, as owner, does further certify that this certified survey map is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval:

- 1. Village of Caledonia

IN WITNESS WHEREOF, the said CCM-CALEDONIA LLC has caused these presents to be signed by (name - print) _____, (title) _____, at (city) _____, _____ County, Wisconsin, on this _____ day of _____, 2024.

In the presence of: CCM-CALEDONIA LLC

Name (signature) - Title

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 2024, (name) _____, (title) _____, of the above named limited liability company, to me known to be the person who executed the foregoing instrument, and to me known to be such _____ (title) of said limited liability company, and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited liability, by its authority.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____

CONSENT OF CORPORATE MORTGAGEE

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing and mapping of the land described in the forgoing affidavit of John P. Konopacki, surveyor, and does hereby consent to the above certification of owners.

IN WITNESS WHEREOF, the said _____, has caused these presents to be signed by _____, its _____, and its corporate seal to be hereunto affixed this _____ day of _____, 2024.

Date

Name - Title

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 2024, _____, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____



DECEMBER 21, 2023

MEMORANDUM

Date: January 23, 2024

To: Plan Commission

From: Ryan Schmidt, P.E.
Village Engineer



Re: **Preliminary Condominium Plat – Waters Edge A Condominium
NE ¼ of Section 21, T4N, R23E; Village of Caledonia, Racine County, WI
Parcel ID's: 51-104-04-23-21-003-020, 51-104-04-23-21-003-010, 51-104-04-23-21-003-030**

BACKGROUND INFORMATION

The Planning and Engineering Department has received a Preliminary Condominium Plat for Water's Edge A Condominium from Cardinal Capital Management, Inc. The property is owned by CCM-Caledonia, LLC. The proposed condominium is located along Waters Edge Drive (where Erie Street ends) just south of the new 5 Mile Road and north of the Sister's of St Dominic along the east side of the road. The property is currently in 3 parcels per CSM 3464 (5915, 5959, and 5945 Erie Street). The proposed Preliminary Condominium Plat has been included as **Exhibit A**.

Waters Edge A Condominium proposes a total of 93 units and a clubhouse on a parcel 17.79 acres (to the meander line). The current parcels are being combined via CSM and reviewed by the Village at the same meetings. The intention is to build out Phase I of the Condos as soon as possible. Phase 1 is considered Units 1-10 with the private driveway and clubhouse. Civil Engineering construction plans and a SWMP have been submitted and approved by Village Staff for the overall site and utility installations. Some portions of the site plan will be required to be submitted again for final approval prior to the issuance of permits and future Condominium Plat approval of additional phases. Individual site grading plans will be required for each unit to be reviewed and approved for Building Permits.

The Developer is required to allow public access to the trail around the condo development per the Development Agreement. This shall be provided in writing and shown on the CSM and the Condominium Final Plat. This may be done via easement or other means approved by the Village. Additional public easements are required for the sanitary sewer service to the development (beyond what is shown), water meter pit, and for drainage along Waters Edge Drive. These shall be shown as required for the first phase of development on the Condominium Plat and the CSM. Additional sanitary sewer easements will be required and a condition of approval for future plat approvals at each phase.

Access for the Sisters of St Dominic shall be provided upon completion of the project and as part of the Development Agreement. A temporary access easement and road is in place now to handle the traffic, however, upon future phases of development, the temporary access will transfer to the private road system constructed by the developer. This language shall be shown on the Condominium Plat and the CSM.

The condominium is called Waters Edge Place in the Development Agreement and should be updated to reflect the same prior to approval of the Preliminary Condominium Plat at the Village Board Meeting. The naming of the condominium is confusing and should be corrected.

A wetland delineation was performed as part of CSM 3464 and was completed in 2020. The wetlands appear to conform with the Wisconsin DNR Surface Water Data Viewer. The Developer shall acquire any permits from the DNR or Army Corps of Engineers for work with the wetlands and the Lake Michigan Bluff.

The applicant shall submit for review and approval by the Village all organizational documents for the condominium and its association(s), including but not limited to the Declaration of Condominium, Declaration of Condominium Restrictive Covenants, Condominium Association Bylaws, and other operational documents.

Conditions of approval for the CSM and Preliminary Condominium Plat shall continue the obligation of Cardinal Capital Management to reimburse the Village for continuing costs per the Development Agreement, Ordinance No. 2020-19, and Ordinance No. 2023-82. Per Item 20 of Resolution 2023-12 and the Planned Unit Development Conditions and Restrictions, the “applicant shall reimburse the Village all costs incurred by the Village for review of this rezoning and PUD Planned Unit Development Overlay District approval including but not limited to engineering, legal, and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.”

For this Preliminary Condominium Plat, it is recommended that the Plan Commission consider a waiver to Ordinance 14-3-5(b) to allow a subdivision to be developed without Conservation Easements. The Condominium development provides approximately 41% Open Space as “Common Open Space” which meets and exceeds the 40% requirement. The Conservation Easement waiver is, however, recommended for subdivisions in the sewer and water service area and have been provided in the past. A Stewardship Plan for maintaining the Common Open Space shall be submitted to the Village for review and approval. If the Stewardship Plan is part of the Restrictive Covenants or Bylaws which are already required for submittal, the Developer shall notify the Village upon submittal. As a result, the following recommendation is proposed:

Move to Recommend that the Village Board approve a Modification Waiver from Ordinance 14-3-5(b) for the Preliminary Condominium Plat of Waters Edge A Condominium to allow a subdivision to develop without Conservation Easements within the Sanitary Sewer and Water Service Area.

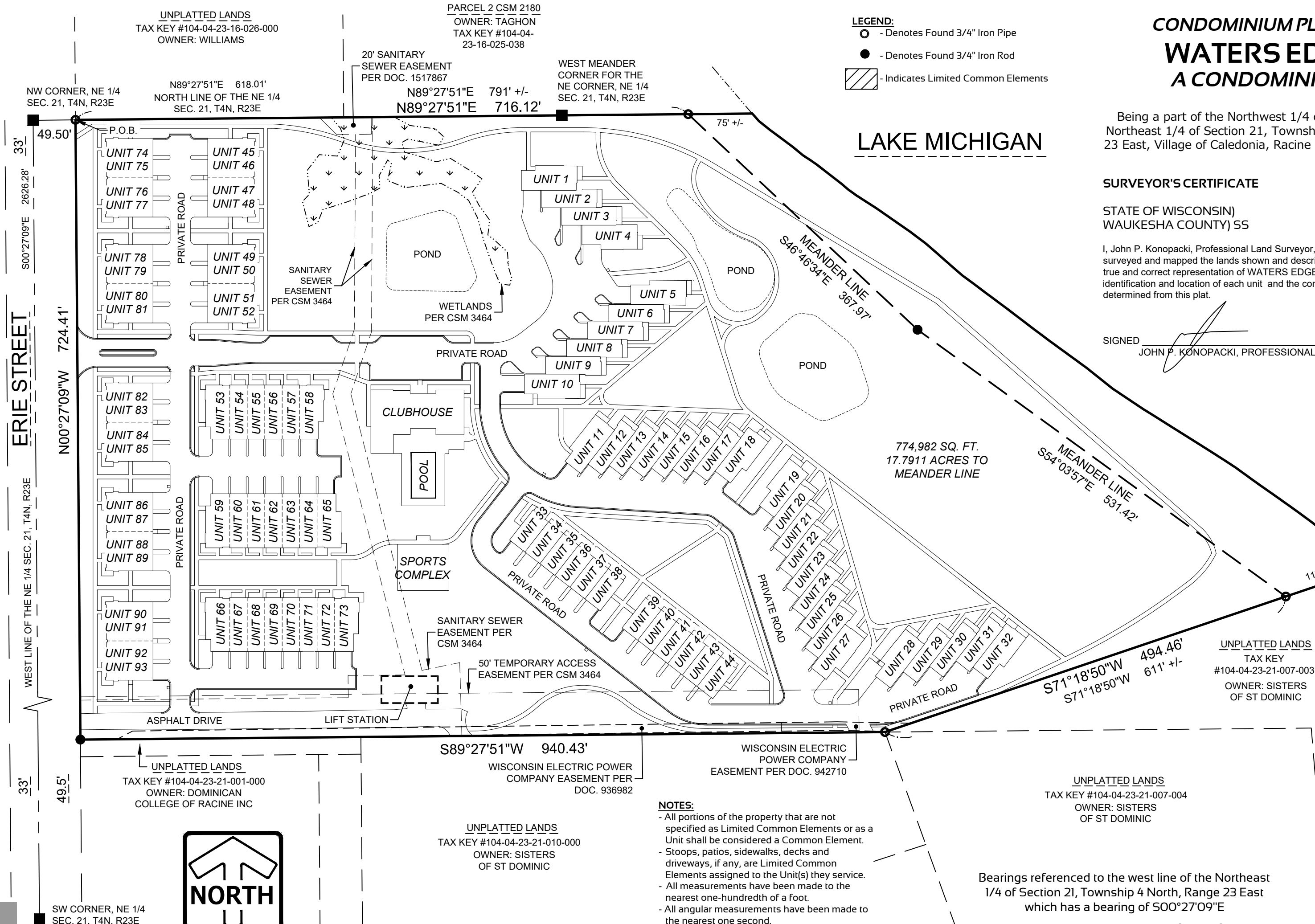
Village Staff have reviewed the amended Preliminary Condominium Plat for Water Edge A Condominium and recommend approval subject to the conditions listed below.

RECOMMENDATION

Move to recommend approval of the Preliminary Condominium Plat for Waters Edge A Condominium, including the Approval of Modification Waiver from Ordinance 14-3-5(b) subject to the following conditions:

- 1. CCM, Inc. shall reimburse the Village for all continuing costs and comply with all requirements of the Development Agreement, Ordinance No. 2020-19, Resolution 2023-12 and Ordinance No. 2023-82.**
- 2. Submit for review and approval by the Village all organizational documents for the condominium and its association(s), including but not limited to the Declaration of Condominium, Restrictive Covenants, Bylaws, and other operational documents.**
- 3. Submit for review and approval by the Village a Stewardship Plan for Open Space Areas.**
- 4. Condominium name shall be updated prior to approval of the Preliminary Condominium Plat at the Village Board.**
- 5. Final Plat shall be submitted, approved, and recorded prior to the issuance of building permits.**
- 6. Construction Plan Details for the retaining wall and boardwalk shall be submitted for approval by the Village prior to the construction of those phases in the development.**
- 7. Stormwater Pond Easements shall be provided as separate documents and include exhibits and legal descriptions.**
- 8. All sewer and water extensions shall be reviewed and approved by the necessary agencies (DNR, Caledonia Utility District, Racine Wastewater).**
- 9. Public Access is granted to for the trail system around the development and labeled on the CSM and the Final Condominium Plat. The Property Owner, its successors and assigns including the Condominium Association to be created, shall be required to maintain the trail system in perpetuity.**
- 10. Access for the Sisters of St. Dominic is included on the Final Condominium Plat and CSM. A note shall be provided on how this is achieved on both the CSM and Final Condominium Plat.**
- 11. The Plat should note “private drive” not “private road”.**
- 12. Village Roadway shall be updated to Waters Edge Drive.**
- 13. Addresses shall be updated as shown on Sheet 2 of the Preliminary Condominium Plat to coordinate with the Development Director final address listings.**
- 14. Add a note on the Plat that “Units filled greater than 3 feet may require additional courses in the foundations to reach suitable soil. Will need to provide a soil compaction certification for the areas of greater than 3 feet of fill.”**
- 15. Prior to the construction of any infrastructure or earthmoving activities, the Developer shall obtain (or extend) a Land Disturbance Permit from the Village of Caledonia and any other Federal, State or County permits as required (i.e DNR NOI, Army Corps, etc).**
- 16. All Village Owned infrastructure shall be inspected during installation by Village/Utility District inspectors/observers.**
- 17. Final As-builts for all infrastructure shall be prepared, submitted, reviewed, and approved prior to the release of any building permits.**
- 18. The proposed Condominium Plat must conform to all Ordinances in Title 9, 14, and 18 as necessary.**





CONDOMINIUM PLAT OF
WATERS EDGE
A CONDOMINIUM

Being a part of the Northwest 1/4 of the Fractional
Northeast 1/4 of Section 21, Township 4 North, Range
23 East, Village of Caledonia, Racine County, Wisconsin

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify that I have
surveyed and mapped the lands shown and described hereon and that this is a
true and correct representation of WATERS EDGE, a condominium and that the
identification and location of each unit and the common elements can be
determined from this plat.

SIGNED JANUARY 5, 2024
JOHN P. KONOPACKI, PROFESSIONAL LAND SURVEYOR S-2461



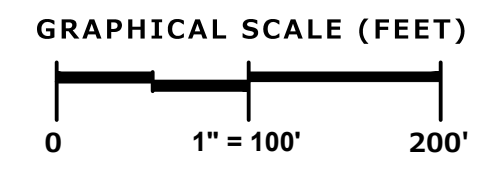
Prepared for:
CCM-CALEDONIA LLC
901 S 70TH STREET
WEST ALLIS, WI 53214

Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD I SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

REGISTER OF DEEDS

- NOTES:**
- All portions of the property that are not specified as Limited Common Elements or as a Unit shall be considered a Common Element.
 - Stoops, patios, sidewalks, decks and driveways, if any, are Limited Common Elements assigned to the Unit(s) they service.
 - All measurements have been made to the nearest one-hundredth of a foot.
 - All angular measurements have been made to the nearest one second.
 - Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution.
 - The Condominium Plat of Waters Edge shall have a total of 93 Units.

Bearings referenced to the west line of the Northeast
1/4 of Section 21, Township 4 North, Range 23 East
which has a bearing of S00°27'09"E



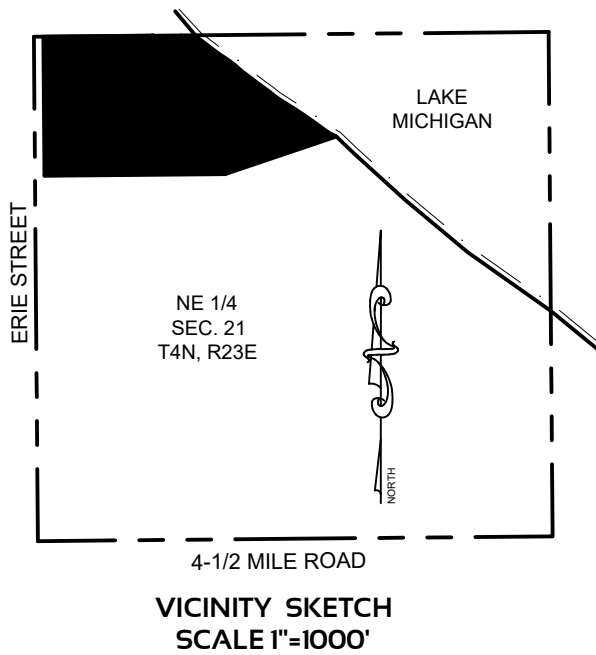
DRAFTED BY:

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PINNACLE ENGINEERING GROUP

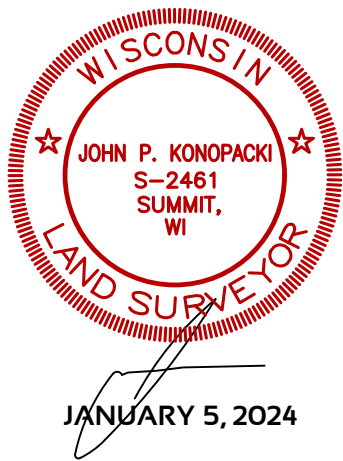
CONDOMINIUM PLAT OF
WATERS EDGE
A CONDOMINIUM

Being a part of the Northwest 1/4 of the Fractional
Northeast 1/4 of Section 21, Township 4 North, Range
23 East, Village of Caledonia, Racine County, Wisconsin



LEGAL DESCRIPTION

Lot 1 of Certified Survey Map No. _____, being all of Lot 1, Lot 2 and Lot 3 of Certified
Survey Map No. 3464, as recorded in the Register of Deeds office for Racine County as Document No.
2602721, in the Northwest 1/4 of the Fractional Northeast 1/4 of Section 21, Township 4 North, Range
23 East, Village of Caledonia, Racine County, Wisconsin.



This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PINNACLE ENGINEERING GROUP

DRAFTED BY:

- CLUBHOUSE:** 5931 Erie Street, Racine, WI
UNIT 1: 5953 - 01 Erie Street, Racine, WI
UNIT 2: 5953 - 02 Erie Street, Racine, WI
UNIT 3: 5953 - 03 Erie Street, Racine, WI
UNIT 4: 5953 - 04 Erie Street, Racine, WI
UNIT 5: 5951 - 05 Erie Street, Racine, WI
UNIT 6: 5951 - 06 Erie Street, Racine, WI
UNIT 7: 5951 - 07 Erie Street, Racine, WI
UNIT 8: 5951 - 08 Erie Street, Racine, WI
UNIT 9: 5951 - 09 Erie Street, Racine, WI
UNIT 10: 5951 - 10 Erie Street, Racine, WI
UNIT 11: 5949 - 11 Erie Street, Racine, WI
UNIT 12: 5949 - 12 Erie Street, Racine, WI
UNIT 13: 5949 - 13 Erie Street, Racine, WI
UNIT 14: 5949 - 14 Erie Street, Racine, WI
UNIT 15: 5949 - 15 Erie Street, Racine, WI
UNIT 16: 5949 - 16 Erie Street, Racine, WI
UNIT 17: 5949 - 17 Erie Street, Racine, WI
UNIT 18: 5949 - 18 Erie Street, Racine, WI
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UNIT 26: 5947 - 26 Erie Street, Racine, WI
UNIT 27: 5947 - 27 Erie Street, Racine, WI
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UNIT 31: 5945 - 31 Erie Street, Racine, WI
UNIT 32: 5945 - 32 Erie Street, Racine, WI
UNIT 33: 5941 - 33 Erie Street, Racine, WI
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UNIT 47: 5973 - 47 Erie Street, Racine, WI
UNIT 48: 5973 - 48 Erie Street, Racine, WI

- UNIT 49:** 5963 - 49 Erie Street, Racine, WI
UNIT 50: 5963 - 50 Erie Street, Racine, WI
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UNIT 52: 5963 - 52 Erie Street, Racine, WI
UNIT 53: 5939 - 53 Erie Street, Racine, WI
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UNIT 81: 5961 - 81 Erie Street, Racine, WI
UNIT 82: 5929 - 82 Erie Street, Racine, WI
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UNIT 86: 5927 - 86 Erie Street, Racine, WI
UNIT 87: 5927 - 87 Erie Street, Racine, WI
UNIT 88: 5927 - 88 Erie Street, Racine, WI
UNIT 89: 5927 - 89 Erie Street, Racine, WI
UNIT 90: 5925 - 90 Erie Street, Racine, WI
UNIT 91: 5925 - 91 Erie Street, Racine, WI
UNIT 92: 5925 - 92 Erie Street, Racine, WI
UNIT 93: 5925 - 93 Erie Street, Racine, WI

MEMORANDUM

Date: October 23, 2023

To: Plan Commission
Utility District
Village Board

From: Ryan Schmidt, PE
Village Engineer

Re: Concept Plat – Crawford Subdivision

The Planning and Engineering Department have received a Concept Subdivision Site Plan from TNG 23, LLC for Parcel ID 104-04-22-24-036-020 located on the north side of 4 Mile Road, approximately 600' east of Short Road. The Concept Plan is for a 14 Lot Residential development with 1 Outlot for a stormwater pond and a dedicated 66' Village Right-of-Way for a local rural subdivision road.

This subdivision was brought before the Plan Commission in February of 2019. The Concept Plan was reviewed and approved at that time with a similar layout and slightly modified zoning. The Plan Commission approved the Concept Plan but no further action was taken. Due to the timing between applications and modification of the zoning code since 2019, it was advised that developer resubmit the proposal and begin with the Concept Plan.

The existing parcel is primarily farm field and wooded area. The only dwelling on the site is proposed to be razed and access removed from 4 Mile Road. The existing site is 8.82 acres in size and is currently zoned R-2. The Developer is proposing to utilize the R-5 Zoning Classification which will require a public hearing alongside the Preliminary Plat review at the next Plan Commission meeting. The R-5 Zoning District requires a 10,890 square foot minimum lot size, 75' frontage requirement (taken at the setback line), 25' rear/front setbacks, and 10' side yard setbacks. The proposed lots will need to conform to these requirements if the Plan Commission approves the zoning change. Per the existing zoning, the parcel could only develop 8 lots for a total of 0.91 units per acre. The proposed Concept Plan with zoning change would allow 1.58 units per acre. The Concept Plan appears to be consistent with the R-5 Zoning but will need to be certain the 10' setback lines are accurately represented.

The Villages 2035 Land Use Plan shows that the property shall be Low Density Residential (19,000 sq. ft. to 1.49 acres). The proposed development average lot size is 20,468 square feet with the smallest lot being 15,255 square feet and the largest being 33,819 square feet. The average lot size for the Concept Plan is consistent with the Land Use Plan requirements.

The Open Space requirement as established by ordinance is 40%. Based on the above information, the proposed open space is 9.71%. This does not meet the required 40% Open Space per Ordinance 14-3-4(c)(4)(b)(ii), but the proposed subdivision is in the Sewer and Water Service Area which has been approved for less than 40% Open Space in previous applications.

Village Staff intend to modify or eliminate the 40% Open Space Requirement in the Sewer and Water Service Area at a later date in coordination with the Legislative and Licensing Committee. They were also working on modifying the Subdivision Ordinance so that Conservation Easements are not required within these subdivisions. This will also require a Modification Waiver from Ordinance 14-3-5(b). The Engineering Department supports the granting of these Modification Waivers as listed below:

1. Approving a subdivision with less than 40% Open Space.
2. Approving a subdivision without Conservation Easements.

The Concept Plat for the Crawford Subdivision is in the Sanitary Sewer and Water Service Areas. Sewer and Water extension plans will need to be submitted, reviewed, and approved by the Caledonia Utility District. A preliminary set of construction plans has been submitted for review. A preliminary Stormwater Management Plan has also been submitted and will be required for the subdivision. This will also need to be reviewed and approved by the Utility District. These preliminary plans will be reviewed, and comments provided to the Developer when completed by Staff and when the Concept Plan has been approved.

The proposed Concept Plan has access onto 4 Mile Road which is considered a principal thoroughfare in the Village of Caledonia. Principal thoroughfares are required to have 45' of right-of-way (90' in total) from the centerline. Currently, there is only 33' from the centerline. It is recommended that a 45' ROW is provided for the Final Plat. In addition, No Access must be shown along the entire frontage of Lot 14 and Outlot 1 along 4 Mile Road.

The proposed access onto 4 Mile Road will require a sight distance study be performed due to the large elevation change to the east to ensure the proposed access location is safe to the traveling public. This shall be provided as a separate exhibit. The combination of speed, volume, sight distance, and proposed Right-of-Way will require a dedicated right turn lane into the subdivision for westbound traffic. Left turn traffic movements into the subdivision appear to have significantly more sight distance for eastbound traffic and a bypass lane would encroach into multiple residential driveways in an unsafe manner. The turn lane shall be designed and incorporated into the site plans as well as the Preliminary Plat. The Village will require curb and gutter to be placed at the radii for the access and turn lane into the development which can terminate via flume or tapered curb section as required.

Access for each parcel in the proposed development shall be limited to 1 access per single family lot. All corner lots shall have a 50'x50' no access restriction at the intersections and along the entire stretch of 4 Mile Road. There shall also be a 25'x25' vision triangle easements placed on each corner lot at the intersection.

Per the Wisconsin DNR Surface Water Data Viewer, there does not appear to be any wetlands on site. The Developer shall provide evidence that there are no wetlands on site. There are no Primary or Secondary Environmental Corridors shown on the property per SEWRPC.

There are three separate motions that need to be addressed for the Concept Subdivision Plat: 2 for modification waivers and 1 for the Concept Plan as a whole. The following recommendations are proposed after the Engineering Department review of the Concept Subdivision Plat:

Move to recommend that the Village Board approve a Modification Waiver from Ordinance 14-3-4(c)(4)(b)(ii) for the Concept Subdivision Plat – Crawford Subdivision to allow the subdivision to develop with less than 40% Open Space within the Sanitary Sewer and Water Service Area subject to the following:

- 1. The Village is in the process of reviewing and may revise the Ordinance Title 14 Chapter 3 regarding Subdivisions for Open Space and Conservation Easements.**
- 2. The 40% Open Space requirement has been restrictive and prohibitive for the development of land within the Sanitary Sewer and Water Service Area.**

Move to recommend that the Village Board approve a Modification Waiver from Ordinance 14-3-5(b) for the Concept Subdivision Plat – Crawford Subdivision to allow the subdivision to develop without Conservation Easements within the Sanitary Sewer and Water Service Area subject to the following:

- 1. The Village is in the process of reviewing and may revise the Ordinance Title 14 Chapter 3 regarding Subdivisions for Open Space and Conservation Easements.**

Move to approve the Concept Plat for the Crawford Subdivision subject to the following:

- Approval of Modification Waivers from Ordinance 14-3-4(c)(4)(b)(ii) and 14-3-5(b)**
- Approval of a rezoning from R-2 to R-5.**
- The Crawford Subdivision must conform to all Ordinances in Title 9, 14, and 18.**
- The Crawford Subdivision Preliminary and Final Plat is updated to include all features as listed in Title 14-3-3(f) and 14-3-3(i).**
- Right-of-Way is provided to be 45' wide along 4 Mile Road for the length of the property.**
- Add a name for the new Road.**
- Addition of all platted Right-of-Ways within 300' of the Plat.**
- Addition of all public and private easements within 300' of the Plat.**
- Provide Ownership information for lots within 100' of the Plat.**
- Provide a wetland delineation or proof that no wetlands exist on the property.**
- Provide a right turn lane into the development from 4 Mile Road.**
- Provide a sight distance study and exhibit for the proposed access.**
- Modify plans to include curb and gutter at the radii for the development.**
- Granting of a minimum 12' Drainage and Utility Easement along the exterior boundary of the subdivision. This is not required along Outlot 1. Easement may need to be large in the rear portion of lots with a large drainage swale.**
- Provide utility easements as required when Utility layouts have been completed.**
- Provide a note on the plat restricting trees, plantings, buildings, berms, fences, patios, etc in easement areas and Right-of-Ways.**
- Provide a note on the Plat that driveways shall not have a centerline slope greater than 6%.**

- **Review and approval of Sanitary Sewer, Watermain, and a Storm Water Management Plan by the Caledonia Utility District.**
- **Review and approval of the Site Grading, Drainage and Road Construction Plans by the Engineering Department, Utility District, and Village Board.**
- **Execute a Development Agreement with appropriate securities for the infrastructure required for the site at time of the Final Plat.**
- **Prior to construction of any infrastructure or earthmoving activities, the Developer shall obtain a Land Disturbance Permit from the Village of Caledonia.**
- **Obtain any and all State or County Permits as required (DNR NOI, etc)**
- **Final as-builts for all infrastructure shall be prepared, submitted, reviewed and approved prior to the release of any building permits.**
- **All comments from Village Department Heads, Committees, and Commissions addressed as necessary.**



5908 4 MILE RD

0 200 400 800 Feet



RESOLUTION NO. 2019-22

**RESOLUTION OF THE VILLAGE BOARD FOR THE VILLAGE OF CALEDONIA
APPROVING THE CRAWFORD PARCEL - UNNAMED SUBDIVISION CONCEPT
PLAN - 4 MILE ROAD, PARCEL ID 104-04-22-24-036-020;
TNG 23, LLC, OWNER**

The Village Board for the Village of Caledonia resolves as follows:

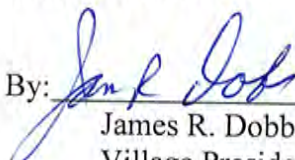
WHEREAS, TNG 23, LLC, owner, has submitted a concept plat in accordance with Chapter 3 of Title 14 of the Village's Code of Ordinances for the Crawford Parcel - Unnamed Subdivision that creates 14 new lots for new single family residences from the existing parcel of land with Parcel ID -104-04-22-24-036-020 within the Sanitary Sewer Service Area as described on the Village Public Works Director's Memo dated January 21, 2019 attached hereto as **Exhibit A**.

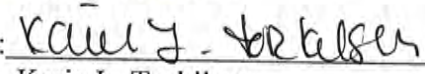
WHEREAS, on February 11, 2019, the Village Plan Commission recommended approval of the concept plan for the Crawford Parcel - Unnamed Subdivision by the Village Board in accordance with the Village Public Works Director's Memo dated January 21, 2019 attached hereto as **Exhibit A** (including the drawing) subject to the conditions outlined therein and review and approval by the Village's Engineering and Utility Departments and Police and Fire Chiefs.

NOW, THEREFORE, BE IT RESOLVED, by the Village Board of the Village of Caledonia that the concept plan for Crawford Parcel - Unnamed Subdivision as set forth above, is hereby approved for the same reasons and requirements set forth above and subject to the same conditions imposed by the Village Plan Commission and compliance with all applicable Village ordinances, unless the applicant applies for an obtains waivers or modifications of such ordinances.

Adopted by the Village Board of the Village of Caledonia, Racine County, Wisconsin, this 18th day of February, 2019.

VILLAGE OF CALEDONIA

By: 
James R. Dobbs
Village President

Attest: 
Karie L. Torkilsen
Village Clerk

MEMORANDUM



Date: January 21, 2019

To: Plan Commission
Village Board

From: Tom Lazcano P.E. *Tom Lazcano*
Public Works Director

Re: Crawford Parcel Concept Plan
Parcel ID's: 104-04-22-24-036-020

The Engineering Department has received a Concept Plan for an Unnamed Subdivision, known as the Crawford Parcel, from TNG 23, LLC.

The Crawford Parcel Subdivision is located on the north side of 4 Mile Road, approximately 640 feet east of Short Road, in the Village of Caledonia. This subdivision is located within the sanitary sewer service area and this Concept Plan is for the creation of a 14 Lot subdivision.

The property currently has an R-2 Zoning Classification on it. The Developer would change the Zoning to R-4. The R-4 Zoning requires 75 feet of frontage and 10,000 square feet size. The Village's 2035 Land Use Plan shows that the property shall be Low Density Residential, 19,000 square feet to 1.49 acres in size. The average area of the 14 Lots in the subdivision would be 21,391 square feet, which meet the land use plan.

The layout for the Crawford Parcel Subdivision is for 14 Lots at approximately 1.58 dwelling units per acre. This overall subdivision plan does have approximately 0.75 acres of open space for an overall open space percentage of 8.5%. If the concept plan is acceptable to the Plan Commission and Village Board then the Developer will need to submit for rezoning.

With this submittal there is 1 Waiver/Modification request that needs to be considered/reviewed on behalf of the Concept Plan. This Wavier/Modifications is for:

1. Approving a subdivision with less than 40% Open Space.

In regards to Waiver/Modification request #1, the Concept Plan is proposing 8.5% open space. This does not meet the 40% requirement, but it is in the sanitary sewer service area and the Village is in the process of eliminating the open space requirement in the sanitary sewer service area.

If the Plan Commission and Village Board **are willing** to support the Concept Plan changes the following motion is recommended.

Move to approve the Crawford Parcel Subdivision Concept Plan subject to the following:

- **The approval of Wavier/Modification Request #1.**

- **All comments from Racine County in regards to the Crawford Parcel Subdivision Concept Plan are addressed as necessary.**
- **The Crawford Parcel Subdivision must meet the R-4 zoning requirements.**
- **The Crawford Parcel Subdivision must conform to all Ordinances in Titles 9, 14, & 18 as necessary.**

January 16, 2019

Ms. Karie Torkilsen
Village Clerk
Village of Caledonia
5043 Chester Lane
Racine, WI 53402

Re: Crawford Parcel – Concept Plan

Dear Ms. Torkilsen:

Raymond Leffler is the proposed developer of an 8.8 acre parcel currently owned by the Crawford Family. In December of 2018 we met with Tony Bunkelman to discuss the potential for development of this site.

Our intention is to develop it into a small residential subdivision as shown on the attached concept consisting of 14 lots with their own contained stormwater management served by sewer and water.

We are requesting a waiver to the subdivision ordinance requirement for a minimum of open space.

Our intent would be to re-zone the property to R-4. The existing buildings on the property are to be razed.

I have included

- 1) Pre-Development Agreement signed by Mr. Leffler.
- 2) Check in the amount of \$3,000.00 per that agreement has been requested
- 3) 11 copies of the new concept plan
- 4) Checklist #1
- 5) List of abutting property owners to follow

We are requesting consideration and possible action for the approval of this concept design & layout so that we may continue with the necessary steps to bring zoning, preliminary, final plat, final engineering and permits forward for your and the Village staff's consideration.

I appreciate your prompt attention to this matter. Please let me know what else you may need.

Respectfully Submitted,



Nancy Washburn
Land Development Administration – Agent

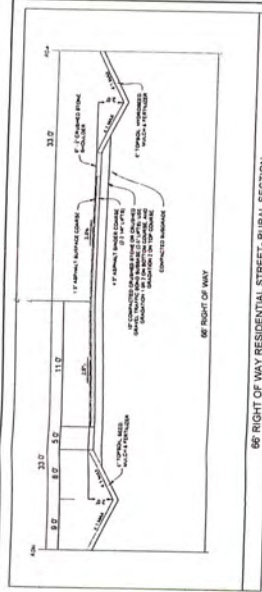
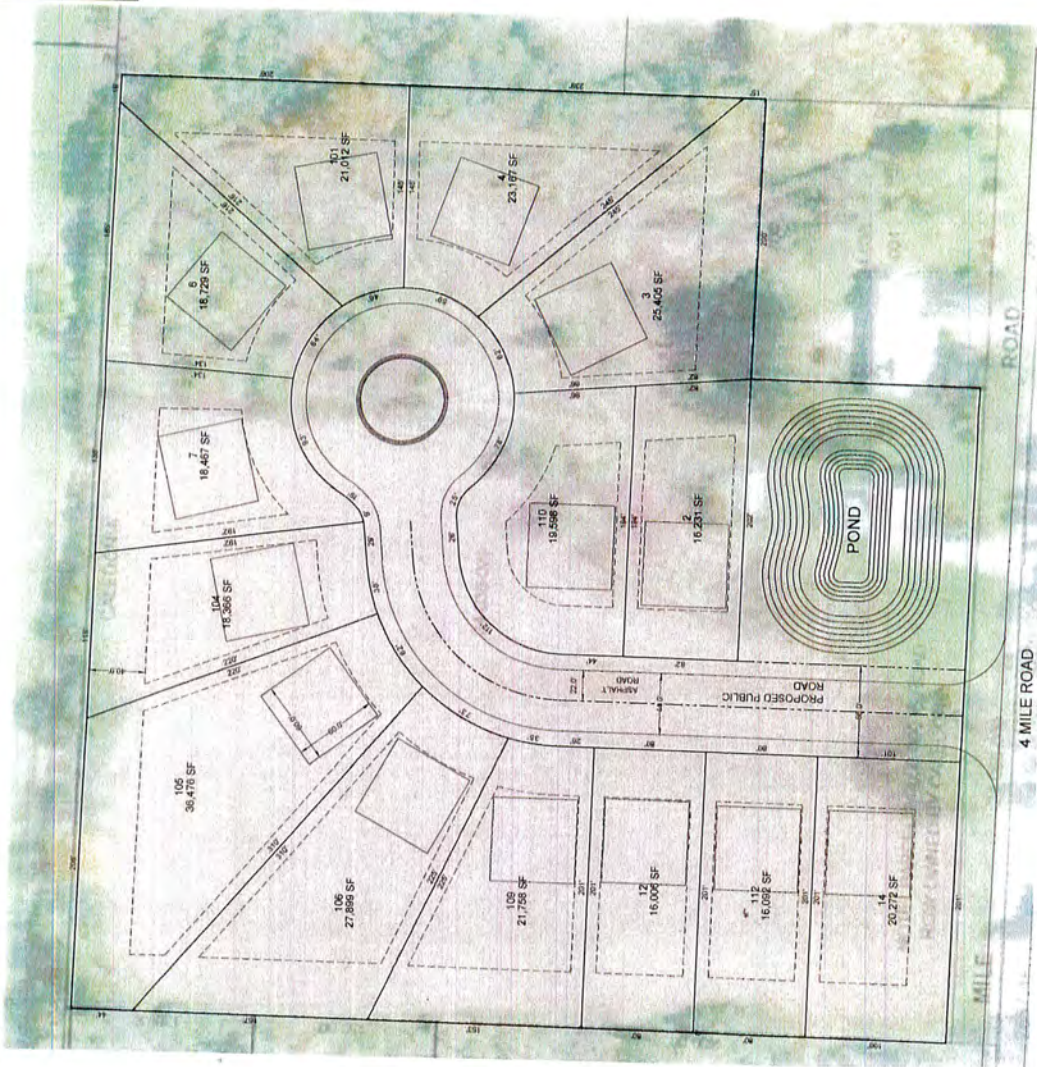
CC: Jarmen Czuta – Racine County Land Planning
Raymond C. Leffler – TNG23, LLC

TOTAL SITE AREA = 394,420 SF (9.025 AC)

SINGLE FAMILY

LOT AREA = 299,477 SF (6.87 AC) = 77.9%
 RIGHT OF WAY AREA = 521,116 SF (1.20 AC) = 13.5%
 OPEN SPACE AREA = 328,277 SF (0.75 AC) = 8.5%
 AVERAGE LOT SIZE = 21,390 SF (0.49 AC)
 UNIT PER ACRE GROSS = .63
 UNIT PER ACRE NET (EXCLUDES POND AND ROADWAY) = .49
 NUMBER OF LOTS = 14
 LENGTH OF ROADWAY = 552 SF
 ZONING = R-4

SET BACKS
 FRONT = 35 SF
 BACK = 40 SF
 SIDE = 9 SF



CRAWFORD PARCEL - CONCEPT PLAN

PINNACLE ENGINEERING GROUP

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005 | WWW.PINNACLE-ENGR.COM |

PLAN DESIGN REVIEW

01/03/2019

THE DEVELOPER INTENDS TO REZONE THE PROPERTY TO R-5. THE LOTS MEET THE R-5 ZONING REQUIREMENTS WHIHC ARE 10,890 SF FT MINIMUM, 75' FRONT (ON THE CURVE/CUL DU -SAC, WE TAKE IT AT THE SETBACK LINE) AND 25.0' FRONT/REAR SETBACK AND 10.0' SIDE YARD SETBACK.

YIELD ANALYSIS

- PER EXISTING ZONE DISTRICT: R-2 SINGLE FAMILY RESIDENTIAL
 - 40,000 SQ FT MINIMUM LOT SIZE, 150' FRONTAGE, 50' STREET SETBACK, 15' SIDE SETBACK & 50' REAR SETBACK
- LOT DENSITY
 - TOTAL LOT YIELD: 8 LOTS WITH 66.0' PUBLIC RIGHT OF WAY
 - TOTAL SITE: 384,206 SF (8.82 ACRES)
 - R.O.W.: 64,216 SF (1.47 AC)- 16.7%
 - LOTS: 319,990 SF (7.35 AC)- 83.3%
 - 0.91 UNITS PER ACRE
- PER REZONING OF R-5 SINGLE FAMILY RESIDENTIAL
 - TOTAL LOTS: 14 LOTS, 1 OUTLOT FOR STORMWATER WITH 66.0' PUBLIC RIGHT OF WAY
 - 1.58 UNITS PER ACRE



CRAWFORD- CONCEPT SITE PLAN

PINNACLE ENGINEERING GROUP

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005 | WWW.PINNACLE-ENGR.COM |

PLAN | DESIGN | DELIVER

PEGJOB# 1542.00

09/20/2023