



## **VILLAGE OF CALEDONIA UTILITY DISTRICT MEETING AGENDA**

**Wednesday, April 3, 2024 – 6:00 p.m.**

**Caledonia Village Hall – 5043 Chester Lane**

**THIS WILL BE AN IN-PERSON MEETING**

- 1. Meeting Called to Order**
- 2. Roll Call**
- 3. Approval of Minutes**
  - a. Utility District Regular Meeting – March 6, 2024
- 4. Citizen Comments**
- 5. Communications and Announcements**
  - a. Racine Water Utility Agenda & Minutes
  - b. Racine Sewer Utility Agenda & Minutes
  - c. MS4 Annual Report
  - d. Utility Operator Staffing Update
- 6. Approval of O&M Bills**
  - a. O&M Bills related to the Sewer, Water & Storm Water Utility District
- 7. Project Updates**
  - a. Riverbend Lift Station Safety Site, Lift Station & Forcemain Upgrade
  - b. Annual Televising Program – Sanitary Sewer
  - c. Central Lift Station Safety Site & Attenuation Basin
  - d. TID #4 Elevated Storage Tank & Adams Road Watermain
  - e. Western Village / Sundance Heights Watermain Replacement
  - f. Hoods Creek – Aldebaran Brushing Project
  - g. Turtle Creek Restoration
  - h. 4 Mile Road Tile (Club View Subdivision to Erie Street)
- 8. Action Items**
  - a. Riverbend Lift Station – Pump Repair / Replacement
  - b. Conditional Approval – Civil Engineering Infrastructure Plan – Cold Storage Build to Suit – Caledonia Corporate Park – Zilber Property Group
  - c. Conditional Approval – Onsite Civil Engineering Infrastructure Plan – CSW Expansion Phase 3.5 – Central Storage & Warehouse, LLC
  - d. Conditional Approval – Condominium Plat – Waters Edge Place Condominiums – CCM Caledonia, LLC
  - e. Approval & Authorization of Signatures – Raymond School District – Ditch Cleanup Project
- 9. Adjournment**

**Village of Caledonia Utility District Meeting  
March 6, 2024**

**1 – Order**

President Howard Stacey called the Village of Caledonia Utility District meeting to order at 6:00 pm.

**2 – Roll Call**

**PRESENT:** 5 – President Howard Stacey, Robert Kaplan, Dave Ruffalo, John Strack and Trustee Lee Wishau.

**STAFF:** Public Services Director Anthony A. Bunkelman P.E.

**3 - Approval of Minutes February 7, 2024**

A motion was made by Commissioner Kaplan to approve the Utility District's minutes of February 7, 2024, seconded by Commissioner Strack. **The motion carried 5-0.**

**4 – Citizen Comments**

Commissioner Strack indicated that he is not seeking reappointment to the Commission. His last meeting will be the April meeting.

**5 – Communications & Announcements**

**a. Racine Water Utility Agenda & Minutes**

The Commission looked over the agenda and minutes from the February 19<sup>th</sup> meeting of the Racine Water Utility.

**b. Racine Sewer Utility Agenda & Minutes**

The Commission looked over the agenda and minutes from the February 19<sup>th</sup> meeting of the Racine Sewer Utility.

**c. Annual Notice of Allocated Capacity Usage – Racine Wastewater**

The Village Administrator (and Public Services Director) received the annual notice of allocated capacity usage from Racine Wastewater. Director Bunkelman will be reviewing the letter and responding as necessary.

**d. Utility Operator Staffing Update**

Director Bunkelman indicated that the open position was reposted. There was 1 application received and is currently being reviewed.

**6 – Approval of O&M Bills**

- a.** Trustee Wishau moved to approve the Sewer Utility Invoices in the amount of \$15,470.83 from the March 1<sup>st</sup> invoice list. Seconded by Commissioner Kaplan.  
**Motion carried.**

- b. Trustee Wishau moved to approve the Water Utility Invoices in the amount of \$57,112.60 from the March 1<sup>st</sup> invoice list. Seconded by Commissioner Kaplan.  
**Motion carried.**
- c. Trustee Wishau moved to approve the Storm Water Utility Invoices in the amount of \$41,042.98 from the March 1<sup>st</sup> invoice list. Seconded by Commissioner Kaplan.  
**Motion carried.**

## **7 – Project Updates**

- a. **Riverbend Lift Station Safety Site, Lift Station & Forcemain Upgrade**  
Facility Plan to be wrapped up at a later date. Project on hold temporarily to not have conflicts with the Highway 38 Bridge Replacement.
- b. **Annual Televising Program – Sanitary Sewer**  
Continue to perform repairs that staff can perform.
- c. **Central Lift Station Safety Site & Attenuation Basin**  
Pump #2 has been installed and Pump #3 has been pulled for rebuild. Held meeting with Muffin Monster manufacturing for information on installation at Central. Awaiting delivery of Air Release Valves for replacement on forcemain.
- d. **TID #4 Elevated Storage Tank & Adams Road Watermain**  
Awaiting Can Booster location recommendation, to be determined based on pressures. Once reviewed, will perform final DNR submittal.
- e. **Western Village / Sundance Heights Watermain**  
Performed survey work for watermain replacement. Preliminary Watermain design is underway. Working with Engineering Department for road culvert replacements.
- f. **Hoods Creek – Aldebaran Brushing Project**  
Contractor will be contacted to begin work again in 2024.
- g. **Turtle Creek Restoration**  
Southern Wisconsin Appraisal meeting with owners to discuss easements. Will be working with Great Lakes Tree to remove some of the trees that are creating issues in the Klema Ditch.
- h. **4 Mile Road Tile (Club View Subdivision to Erie Street)**  
Meeting with Design Engineer scheduled to go over scope of the project.

## **8 – Action Items**

- a. **Storm Water Management Plan & Site Construction Plan Conditional Approval – Olympia Brown School Expansion – 2115 5 ½ Mile Road**  
Director Bunkelman gave an overview of the Storm Water Management Plan and the Site Construction Plan for the project.

Trustee Wishau moved to conditionally approve the Storm Water Management Plan and the Site Construction Plan for the Olympia Brown School Addition at 2115 5 ½ Mile Road subject to the conditions outlined in the February 29<sup>th</sup> 2024 memo from Director Bunkelman. Seconded by Commissioner Kaplan. **Motion carried (4-0, Strack abstained.)**

**b. POWTS Installation Request – Carey A Carbonneau Revocable Trust Dated 7/19/2023 – 3802 Highway 31**

Director Bunkelman gave an overview of the existing sanitary sewer and the relationship of that existing sanitary sewer to the existing home and property. By Ordinance, the property is allowed to install a POWTS system due to the home being more than 500' from the existing sanitary sewer. There are also other factors brought up in Director Bunkelman's memo in support of this request.

Commissioner Ruffalo moved to recommend that the POWTS Installation Request for the Carey A Carbonneau Trust Dated 7/19/2023 property of 3802 Highway 31 be allowed to be installed subject to the reasons outlined in the February 27<sup>th</sup> 2024 memo from Director Bunkelman. Seconded by Trustee Wishau. **Motion carried.**

**c. Authorization of Signatures – Storm Water Drainage Easement – Gifford School – 8332 Northwestern Avenue**

Trustee Ruffalo moved to authorize the President and Secretary of the Caledonia Utility District to execute the Storm Water Drainage Easement Agreement with the Racine Unified School District. Seconded by Commissioner Kaplan. **Motion carried (4-0, Strack abstained.)**

**9 – Adjournment**

Upon a motion by Commissioner Kaplan and seconded by Commissioner Strack, the Commission moved to adjourn the regular meeting at 6:47 pm. **Motion carried.**

Respectively submitted,  
Anthony A. Bunkelman P.E.  
Public Services Director





# City of Racine

City Hall  
730 Washington Ave.  
Racine, WI 53403  
[www.cityofracine.org](http://www.cityofracine.org)

## Meeting Agenda Waterworks Commission

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Tuesday, March 19, 2024

4:00 PM

City Hall, Room 303

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### ROLL CALL

[0201-24](#)

**Subject:** Approval of Minutes for the February 19, 2024, Waterworks Commission Meeting

**Fiscal Note:** N/A

**Attachments:**

[wa minutes 20240219](#)

[0202-24](#)

**Subject:** Request from Racine Fire Department to Enter into an Authorization Agreement for Public Safety Services Antenna Installation on the Louis Sorenson Road Water Tower

**Fiscal Note:** N/A

**Attachments:**

[louis sorenson rd\\_antenna site agreemt\\_draft](#)

[0203-24](#)

**Subject:** Proposal from AECOM for Consulting Services Agreement for 2024 Leak Detection Survey

**Fiscal Note:** Cost of the proposal is \$39,340.00.

**Attachments:**

[AECOM\\_2024 leak detection proposal](#)

[0217-24](#)

**Subject:** Proposal from Carlson Dettmann Consulting for Water Utility Market Rate Study

**Fiscal Note:** Cost of the proposal is \$18,500.00.

**Attachments:**

[market rate study carlson dettmann consultg](#)

[0204-24](#)

**Subject:** Bid Opening Results on Contract W-24-2, 2024 Pavement Restoration

**Fiscal Note:** The lowest responsible bid is from Conventional Concrete Systems at \$401,425.00.

**Attachments:**

[w-24-2 bid opening results](#)

[0213-24](#)

**Subject:** Bid Opening Results on Contract W-24-3, Hamilton Avenue Water Main Replacement

**Fiscal Note:** The lowest responsible bid is from Earth X at \$1,284,475.00.

**Attachments:**

[w-24-3\\_bid opening results](#)

[0218-24](#)

**Subject:** Resolution Regarding Declaration of Official Intent to Reimburse Costs Attributed to 2025 Lead Service Line Replacement Project

**Fiscal Note:** N/A

**Attachments:**

[draft comfort resolution - lead service line replacement 2025](#)

[0220-24](#)

**Subject:** Resolution Regarding Declaration of Official Intent to Reimburse Costs Attributed to 2025 Water Main Replacement Project

**Fiscal Note:** N/A

**Attachments:**

[draft comfort resolution - water main replacement 2025](#)

[0221-24](#)

**Subject:** Resolution Regarding Declaration of Official Intent to Reimburse Costs Attributed to the 42" Phase 4 Water Main Replacement Project

**Fiscal Note:** N/A

**Attachments:**

[draft comfort resolution - 42" phase 4 water main replacement 2025](#)

[0222-24](#)

**Subject:** Discussion Regarding the Village of Mount Pleasant TID#7 Water Main Extension Development Project (V. Mount Pleasant, developer)

**Fiscal Note:** N/A

## Adjournment

**If you are disabled and have accessibility needs or need information interpreted for you, please contact the Water Utility Administration Office at 262.636.9181, at least 48 hours prior to this meeting.**



# City of Racine

City Hall  
730 Washington Ave.  
Racine, WI 53403  
www.cityofracine.org

## Meeting Minutes - Draft

### Waterworks Commission

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Tuesday, March 19, 2024

4:00 PM

City Hall, Room 303

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#### ROLL CALL

**PRESENT:** 5 - Natalia Taft, John Tate II, Paul Vornholt, Mollie Jones and Terry McCarthy

**EXCUSED:** 2 - Stacy Sheppard and Cory Mason

[0201-24](#)

**Subject:** Approval of Minutes for the February 19, 2024, Waterworks Commission Meeting

**Recommendation:** To Approve

**Fiscal Note:** N/A

A motion was made by Vice President Taft, seconded by Alder Jones, that this file be Approved

[0202-24](#)

**Subject:** Request from Racine Fire Department to Enter into an Authorization Agreement for Public Safety Services Antenna Installation on the Louis Sorenson Road Water Tower

**Recommendation:** To Approve

**Fiscal Note:** N/A

*The Utility has decommissioned the Regency Mall Water Tank upon elimination of the 862 pressure zone. Public safety communication equipment located at this Mall Tank site would be transferred to the Utility Louis Sorenson Road Water Tower on a rent-free basis pending agreement approval by the City Attorney. The City Attorney recommends and will prepare a Memorandum of Understanding to serve as the agreement mechanism between the parties.*

A motion was made by Vice President Taft, seconded by Alder McCarthy, that this file be Approved pending review by the City Attorney's office.

[0203-24](#)

**Subject:** Proposal from AECOM for Consulting Services Agreement for 2024 Leak Detection Survey

**Recommendation:** To Approve

**Fiscal Note:** Cost of the proposal is \$39,340.00.

*The Water Utility Director presented a proposal from AECOM to perform leak detection on approximately 20% of system infrastructure (i.e. mains, valves, and*

hydrants) in 2024.

**A motion was made by Vice President Taft, seconded by Alder Jones, that this file be Approved**

[0217-24](#)

**Subject:** Proposal from Carlson Dettmann Consulting for Water Utility Market Rate Study

**Recommendation:** To Approve

**Fiscal Note:** Cost of the Water Utility share of the proposal is \$9,250.00

*The Water Utility Director presented a proposal for Carlson Dettmann Consulting to perform a market survey to align the Utility pay scale with the current utility market rates. Any modifications will be proposed to be included in the 2025 budget.*

**A motion was made by Alder McCarthy, seconded by Alder Jones, that this file be Approved**

[0204-24](#)

**Subject:** Bid Opening Results on Contract W-24-2, 2024 Pavement Restoration

**Recommendation:** To Approve

**Fiscal Note:** The lowest responsible bid is from Conventional Concrete Systems at \$401,425.00.

*The Water Utility Director is authorized and directed to execute the contract on behalf of the Water Utility.*

**A motion was made by Vice President Taft, seconded by Alternate Vornholt, that this file be Approved**

[0213-24](#)

**Subject:** Bid Opening Results on Contract W-24-3, Hamilton Avenue Water Main Replacement

**Recommendation:** To Approve

**Fiscal Note:** The lowest responsible bid is from Earth X at \$1,284,475.00.

*The Water Utility Director is authorized and directed to execute the contract on behalf of the Water Utility.*

**A motion was made by Vice President Taft, seconded by Alder McCarthy, that this file be Approved**

[0218-24](#)

**Subject:** Communication sponsored by Alder McCarthy Requesting Approval of a Resolution Regarding Declaration of Official Intent to Reimburse Costs Attributed to 2025 Lead Service Line Replacement Project

**Recommendation of the Waterworks Commission on 03/19/2024:**

To Approve with a Referral to the Finance & Personnel Committee

**Fiscal Note:** The aggregate principal amount of debt for the project is expected not to exceed \$5,000,000 with the balance reduced by eligible Principal Forgiveness earned. Funding for the Project to be financed through the FY 2025 WDNR Safe Drinking Water Loan Program.

*The Water Utility Director presented a Resolution that would provide that all costs related to the Project that occur prior to finalization of the loan are rolled into the loan total for reimbursement of Utility funds. This loan would cover both public and private side planned lead service line replacement by the Utility.*

**A motion was made by Vice President Taft, seconded by Alder McCarthy, that this file be Approved & Referred to the Finance and Personnel Committee**

[0220-24](#)

**Subject:** Communication sponsored by Alder McCarthy Requesting Approval of a Resolution Regarding Declaration of Official Intent to Reimburse Costs Attributed to 2025 Water Main Replacement Project

**Recommendation of the Waterworks Commission on 03/19/2024:**  
To Approve with a Referral to the Finance & Personnel Committee

**Fiscal Note:** The aggregate principal amount of debt for the project is expected not to exceed \$4,500,000 with the balance reduced by eligible Principal Forgiveness earned. Funding for the Project to be financed through the FY 2025 WDNR Safe Drinking Water Loan Program.

*The Water Utility Director presented a Resolution that would provide that all costs related to the Project that occur prior to finalization of the loan are rolled in the project loan total for reimbursement of Utility funds.*

**A motion was made by Vice President Taft, seconded by Alder Jones, that this file be Approved & Referred to the Finance and Personnel Committee**

[0221-24](#)

**Subject:** Communication sponsored by Alder McCarthy Requesting Approval of a Resolution Regarding Declaration of Official Intent to Reimburse Costs Attributed to the 42" Phase 4 Water Main Replacement Project

**Recommendation of the Waterworks Commission on 03/19/2024:**  
To Approve with a Referral to the Finance & Personnel Committee

**Fiscal Note:** The aggregate principal amount of debt for the project is expected not to exceed \$5,000,000 with the balance reduced by eligible Principal Forgiveness earned. Funding for the Project to be financed through the FY 2025 WDNR Safe Drinking Water Loan Program.

*The Water Utility Director presented a Resolution that would provide that all costs*

*related to the Project that occur prior to finalization of the loan are rolled in the project loan total for reimbursement of Utility funds.*

**A motion was made by Vice President Taft, seconded by Alder McCarthy, that this file be Approved and Referred to the Finance and Personnel Committee**

[0222-24](#)

**Subject:** Discussion Regarding the Village of Mount Pleasant TID#7 Water Main Extension Development Project (V. Mount Pleasant, developer)

**Fiscal Note:** N/A

*Public Works Director/Village Engineer, Anthony Beyer, along with Community Development Director, Sam Schultz, addressed the Commission on behalf of the Village of Mt. Pleasant regarding a proposed water main installation (on CTH C at CTH V westward to the East Frontage Rd., and south down to Hwy 20) to serve the TID #7 development project. This was a preliminary discussion and update preceding a formal Developer's Agreement to be considered at a later date.*

**A motion was made by Vice President Taft, seconded by Alternate Vornholt, that this file be Received and Filed**

## **Adjournment**

*There being no further business to address, the meeting was adjourned at 4:33 p.m.*



# City of Racine

City Hall  
730 Washington Ave.  
Racine, WI 53403  
[www.cityofracine.org](http://www.cityofracine.org)

## Meeting Agenda Wastewater Commission

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Tuesday, March 19, 2024

4:30 PM

City Hall, Room 303

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### ROLL CALL

[0224-24](#)

**Subject:** Approval of Minutes for the February 19, 2024, Wastewater Commission Meeting

**Fiscal Note:** N/A

**Attachments:**

[ww minutes 20240219](#)

[0225-24](#)

**Subject:** Mount Pleasant Interceptor Rates 2024

**Fiscal Note:** N/A

**Attachments:**

[mt. pleasant interceptor rates 2024](#)

[0243-24](#)

**Subject:** Proposal from Carlson Dettmann Consulting for Wastewater Utility Market Rate Study

**Fiscal Note:** Cost of the proposal is \$18,500

**Attachments:**

[market rate study carlson dettmann consultg](#)

[0226-24](#)

**Subject:** Communication from Wastewater Utility Director regarding Renewable Energy Study and Planning

**Fiscal Note:** N/A

**Attachments:**

[renewable energy projects scope memo](#)

[0227-24](#)

**Subject:** Communication from Wastewater Utility Director regarding Construction Air Permit Issuance

**Fiscal Note:** N/A

**Attachments:**

[air permit letter widnr 20240304](#)

[0242-24](#)

**Subject:** Communication sponsored by Alder McCarthy submitting the Amendment of Resolution Authorizing Purchase of Land and Easements

Related to Chicory Road Area Sewer Improvements Project

**Fiscal Note:** Additional temporary easement cost of \$5,530

**Attachments:**      [amendmt of resolution chicory rd easement](#)

[0228-24](#)

**Subject:** Amendment #2 of Rate Stabilization Fund Policy

**Fiscal Note:** N/A

**Attachments:**      [rate stabilz policy amendmt #2](#)

## CLOSED SESSION

*It is intended that the Wastewater Commission will convene in closed session pursuant to Wisconsin Statutes Section 19.85(1)(e), to address matters that, for competitive or bargaining reasons, require a closed session, and which, if publicly noticed, would compromise such negotiation, and bargaining strategy.*

[0229-24](#)

**Subject:** Communication sponsored by Alder McCarthy requesting that the Wastewater Commission meet regarding bargaining and development opportunities, which, for competitive and bargaining reasons, require a closed session

**Fiscal Note:** N/A

## OPEN SESSION

*The Wastewater Commission will return to Open Session and may take action on any item discussed in Closed Session.*

## Adjournment

**If you are disabled and have accessibility needs or need information interpreted for you, please contact the Wastewater Utility Administration Office at 262.636.9181, at least 48 hours prior to this meeting.**





# City of Racine

City Hall  
730 Washington Ave.  
Racine, WI 53403  
[www.cityofracine.org](http://www.cityofracine.org)

## Meeting Minutes - Draft Wastewater Commission

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Tuesday, March 19, 2024

4:30 PM

City Hall, Room 303

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The meeting was called to order by Commission President, Natalia Taft, at 4:35 p.m.

### ROLL CALL

**PRESENT:** 7 - Natalia Taft, John Tate II, Mollie Jones, Terry McCarthy, Anthony Beyer, Anthony Bunkelman and Paul Vornholt

**EXCUSED:** 4 - John Hewitt, Stacy Sheppard, Claude Lois and Cory Mason

[0224-24](#)

**Subject:** Approval of Minutes for the February 19, 2024, Wastewater Commission Meeting

**Recommendation:** To Approve

**Fiscal Note:** N/A

A motion was made by Bunkelman, seconded by Alder Jones, that this file be Approved

[0225-24](#)

**Subject:** Mount Pleasant Interceptor Rates 2024

**Recommendation:** To Approve

**Fiscal Note:** N/A

*The rates are calculated annually and approved by the Village of Mt. Pleasant Sewer Utility using methodology from an Agreement established in 1993 to recover operation, maintenance, and depreciation costs applied to SSR Party flow conveyed through the interceptor.*

A motion was made by Beyer, seconded by Alder McCarthy, that this file be Approved

[0243-24](#)

**Subject:** Proposal from Carlson Dettmann Consulting for Wastewater Utility Market Rate Study

**Recommendation:** To Approve

**Fiscal Note:** Cost of the proposal is \$18,500

*The Wastewater Utility Director presented a proposal for Carlson Dettmann Consulting to perform a market survey to align the Utility pay scale with the current utility market rates. Any modifications will be proposed to be included in the 2025 budget.*

**A motion was made by Vornholt, seconded by Vice President Tate II, that this file be Approved with the understanding that the total cost of the proposal will be split evenly between the Water and Wastewater Utilities.**

[0226-24](#)

**Subject:** Communication from Wastewater Utility Director regarding Renewable Energy Study and Planning

**Recommendation:** To Receive & File

**Fiscal Note:** N/A

*In an effort to fulfill the direction of the Commission to attain energy efficiency, Wastewater staff has contracted with Cascade Energy to review our current and future energy demands. Currently, the treatment facility is about 41% renewable. Upon completion of equipment upgrades currently in progress which includes: air permitting, aeration process control, and an engine generator, this percentage is projected to reach 59%.*

**A motion was made by Alder McCarthy, seconded by Vice President Tate II, that this file be Received and Filed**

[0227-24](#)

**Subject:** Communication from Wastewater Utility Director regarding Construction Air Permit Issuance

**Fiscal Note:** N/A

*The Wastewater Utility Director updated the Commission on the issuance of the Utility's new Construction and Operation Air Pollution Control Permit effective 03/04/2024. The construction permit has a duration of 18 months and the operating permit will expire in March of 2029. With this Permit, the Utility will also move from a Title V "minor" source to a "major" source, meaning that there will be greater operating flexibility, along with more stringent testing and reporting.*

**A motion was made by Alder Jones, seconded by Bunkelman, that this file be Received and Filed**

[0242-24](#)

**Subject:** Communication sponsored by Alder McCarthy submitting the Amendment of Resolution Authorizing Purchase of Land and Easements Related to Chicory Road Area Sewer Improvements Project

**Recommendation:** To Approve with a Referral to the Finance & Personnel Committee

**Fiscal Note:** Additional temporary easement cost of \$5,530

*The Wastewater Utility updated the Commission on the proposed construction of a storage basin in the Chicory Road area related to the Chicory Road Sewer Improvements Project. Construction of the walls for the storage basin will require installation of anchors that extend beyond the limits of the current purchased easement, thereby making it necessary that the Utility purchase more temporary easement to accommodate these anchors.*

**A motion was made by Vornholt, seconded by Alder Jones, that this file be Approved & Referred to the Finance and Personnel Committee**

[0228-24](#)

**Subject:** Amendment #2 of Rate Stabilization Fund Policy

**Recommendation of the Wastewater Commission on 03/19/2024:**

To Defer this item until the next meeting due to the absence of Mayor Mason, who requested to have input on this item

**Fiscal Note:** N/A

**A motion was made by Vornholt, seconded by Alder Jones, that this file be Deferred**

**CLOSED SESSION**

**A motion was made by Alder McCarthy, seconded by Beyer, to enter into Closed Session**

**AYES:**

**Beyer**

**Bunkelman**

**Jones**

**McCarthy**

**Taft**

**Tate II**

**Vornholt**

[0229-24](#)

**Subject:** Communication sponsored by Alder McCarthy requesting that the Wastewater Commission meet regarding bargaining and development opportunities, which, for competitive and bargaining reasons, require a closed session

**Recommendation:** To be discussed

**Fiscal Note:** N/A

*Closed Session Discussion*

**OPEN SESSION**

**A motion was made by Vice President Tate II, seconded by President Taft, to enter into Open Session**

**AYES:**

**Beyer**

**Bunkelman**

**Jones**

**McCarthy**

**Taft**

**Tate II**

**Vornholt**

**A motion was made by Alder McCarthy, seconded by Vice-President Tate II,  
that this item be Received & Filed**

**Adjournment**

*There being no further business to discuss, the meeting was adjourned at 5:19 p.m.*

# Submittal of Annual Reports and Other Compliance Documents for Municipal Separate Storm Sewer System (MS4) Permits

NOTE: Missing or incomplete fields are highlighted at the bottom of each page. You may save, close and return to your draft permit as often as necessary to complete your application. After 120 days your draft is **deleted**.

Form 3400-224(R8/2021)

## Reporting Information :

Will you be completing the Annual Report or other submittal type? ☒ Annual Report ☐ Other

**Project Name:** 2023 Annual Report

**County:** Racine

**Municipality:** Caledonia Village

**Permit Number:** S050059

**Facility Number:** 31160

**Reporting Year:** 2023

Is this submittal also satisfying an Urban Nonpoint Source Grant funded deliverable? ☐ Yes ☒ No

## Required Attachments and Supplemental Information

Please complete the contents of each tab to submit your MS4 permit compliance document. The information included in this checklist is necessary for a complete submittal. A complete and detailed submittal will help us review about your MS4 permit document. To help us make a decision in the shortest amount of time possible, the following information must be submitted:

### Annual Report

- Review related web site and instructions for [Municipal storm water permit eReporting](#) [Exit Form]
- Complete all required fields on the annual report form and upload required attachments
- Attach the following other supporting documents as appropriate using the attachments tab above
  - Public Education and Outreach Annual Report Summary
  - Public Involvement and Participation Annual Report Summary
  - Illicit Discharge Detection and Elimination Annual Report Summary
  - Construction Site Pollution Control Annual Report Summary
  - Post-Construction Storm Water Management Annual Report Summary
  - Pollution Prevention Annual Report Summary
    - Leaf and Yard Waste Management
    - Municipal Facility (BMP) Inspection Report
    - Municipal Property SWPPP
    - Municipally Property Inspection Report
    - Winter Road Maintenance
  - Storm Sewer Map Annual Report Attachment
  - Storm Water Quality Management Annual Report Attachment
  - TMDL Attachment
  - Storm Water Consortium/Group Report

- Municipal Cooperation Attachment
- Other Annual Report Attachment
- Attach the following permit compliance documents as appropriate using the attachments tab above
  - Storm Water Management Program
    - Public Education and Outreach Program
    - Public Involvement and Participation Program
    - Illicit Discharge Detection and Elimination Program
    - Construction Site Pollutant Control Program
    - Post-Construction Storm Water Management Program
    - Pollution Prevention Program
      - Municipal Storm Water Management Facility (BMP) Inventory
      - Municipal Storm Water Management Facility (BMP) Inspection and Maintenance Plan
  - Total Maximum Daily Load documents (*\*If applicable, see permit for due dates.*)
    - TMDL Mapping\*
    - TMDL Modeling\*
    - TMDL Implementation Plan\*
    - Fecal Coliform Screening Parameter \*
    - Fecal Coliform Inventory and Map (*S050075-03 general permittees Appendix B B.5.2 – document due to the department by March 31, 2022*)
    - Fecal Coliform Source Elimination Plan (*S050075-03 general permittees Appendix B - document due to the department by October 31, 2023*)
- Sign and Submit form

## Municipal Contact Information- Complete

**Notice:** Pursuant to s. NR 216.07(8), Wis. Adm. Code, an owner or operator of a Municipal Separate Storm Sewer System (MS4) is required to submit an annual report to the Department of Natural Resources (Department) by March 31 of each year to report on activities for the previous calendar year ("reporting year"). This form is being provided by the Department for the user's convenience for reporting on activities undertaken in each reporting year of the permit term. Personal information collected will be used for administrative purposes and may be provided to the extent required by Wisconsin's Open Records Law [ss. 19.31-19.39, Wis. Stats.].

**Note:** Compliance items must be submitted using the Attachments tab.

### Municipality Information

**Name of Municipality:** Caledonia Village

**Facility ID # or (FIN):** 31160

**Updated Information:**

☐ Check to update mailing address information

**Mailing Address:** 5043 Chester Lane

**Mailing Address 2:**

**City:** Caledonia Village

**State:** WI

**Zip Code:**

53402

xxxxx or xxxxx-xxxx

### Primary Municipal Contact Person (Authorized Representative for MS4 Permit)

The "Authorized Representative" or "Authorized Municipal Contact" includes the municipal official that was charged with compliance and oversight of the permit conditions, and has signature authority for submitting permit documents to the Department (i.e., Mayor, Municipal Administrator, Director of Public Works, City Engineer).

☐ Select to **create new** primary contact

**First Name:** Tony

**Last Name:** Bunkelman

☒ Select to **update** current contact information

**Title:** Public Services Dtr

**Mailing Address:** 5043 Chester Lane

**Mailing Address 2:**

**City:** Caledonia

**State:** WI

**Zip Code:** 53402

xxxxx or xxxxx-xxxx

**Phone Number:** 262-835-6416

Ext:

xxx-xxx-xxxx

**Email:** abunkelman@caledonia-wi.gov

### Additional Contacts Information (Optional)

☐ I&E Program

☐ IDDE Program

☐ IDDE Response Procedure Manual

**Individual with responsibility for:  
(Check all that apply)**

- ☐ Municipal-wide Water Quality Plan
- ☐ Ordinances
- ☐ Pollution Prevention Program
- ☐ Post-Construction Program
- ☐ Winter roadway maintenance

**First Name:**

**Last Name:**

**Title:**

**Mailing Address:**

**Mailing Address 2:**

**City:**

**State:**

**Zip Code:**

 xxxxx or xxxxx-xxxx

**Phone Number:**

 Ext:  xxx-xxx-xxxx

**Email:**

**Municipal Billing Contact Person (Authorized Representative for MS4 Permit)**

☐ Select to **create new** Billing contact

**First Name:**

**Last Name:**

☒ Select to **update** current contact information

**Title:**

**Mailing Address:**

**Mailing Address 2:**

**City:**

**State:** WI

**Zip Code:**

 xxxxx or xxxxx-xxxx

**Phone Number:**

 Ext:  xxx-xxx-xxxx

**Email:**

1. Does the municipality rely on another entity to satisfy some of the permit requirements?

☒ Yes ☐ No

☒ Public Education and Outreach Root Pike WIN

☒ Public Involvement and Participation Root Pike WIN

☒ Illicit Discharge Detection and Elimination Strand & Associates

☐ Construction Site Pollutant Control



- ☐ Post-Construction Storm Water Management
- ☐ Pollution Prevention

2. Has there been any changes to the municipality’s participation in group efforts towards permit compliances (i.e., the municipality has added or dropped consortium membership)?

☐ Yes ☒ No

**Minimum Control Measures- Section 1 : Complete****1. Public Education and Outreach**

- a. Does MS4 conduct any educational efforts or events independently (not with a group) ☐ Yes  
☒ No
- b. How many total educational events were held during the reporting year:
- c. Were any of the public education and outreach delivery mechanisms conducted during the reporting year active or interactive? ☒ Yes ☐ No
- d. Please select all storm water topics, target audiences, and delivery mechanisms used in the reporting year

Public Education and Outreach Delivery Mechanisms (Active and Passive)	
Active/Interactive Mechanisms	Passive Mechanisms
<input checked="" type="checkbox"/> Education activities (school presentations, summer camps) <input checked="" type="checkbox"/> Information booth at event <input checked="" type="checkbox"/> Targeted group training (contractors, consultants, etc.) <input checked="" type="checkbox"/> Government event (public hearing, council meeting) <input checked="" type="checkbox"/> Workshops <input checked="" type="checkbox"/> Tours <input type="checkbox"/> Other: <input type="text"/>	<input checked="" type="checkbox"/> Passive print media (brochures at front desk, posters, etc.) <input checked="" type="checkbox"/> Distribution of print media (mailings, newsletters, etc.) via mail or email. <input checked="" type="checkbox"/> Media offerings (radio and TV ads, press release, etc.) <input checked="" type="checkbox"/> Social media posts <input type="checkbox"/> Signage <input checked="" type="checkbox"/> Website <input type="checkbox"/> Other: <input type="text"/>

Topics Covered	Target Audience
<input checked="" type="checkbox"/> Illicit discharge detection and elimination <input checked="" type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing <input checked="" type="checkbox"/> Yard waste management/pesticide and fertilizer application <input checked="" type="checkbox"/> Stream and shoreline management <input checked="" type="checkbox"/> Residential infiltration <input checked="" type="checkbox"/> Construction sites and post-construction storm water management <input checked="" type="checkbox"/> Pollution prevention <input checked="" type="checkbox"/> Green infrastructure/low impact development <input type="checkbox"/> Other: <input type="text"/>	<input checked="" type="checkbox"/> General Public <input checked="" type="checkbox"/> Public Employees <input checked="" type="checkbox"/> Residents <input checked="" type="checkbox"/> Businesses <input checked="" type="checkbox"/> Contractors <input checked="" type="checkbox"/> Developers <input checked="" type="checkbox"/> Industries <input checked="" type="checkbox"/> Public Officials <input type="checkbox"/> Other: <input type="text"/>

- e. Will additional information/summary of these education events be attached to the annual report?  
☒ Yes ☐ No

If no, please provide additional comment in the brief explanation box below. *Limit response to 250 characters and/or attach supplemental information on the attachments page.*

**Minimum Control Measures - Section 2 : Complete****2. Public Involvement and Participation**

a. Permit Activities. Select all of the following topics the Permittee did to engage public participation and involvement.

Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input type="checkbox"/> MS4 Annual Report <input checked="" type="checkbox"/> Storm Water Management Program <input type="checkbox"/> Storm Water related ordinance <input type="checkbox"/> Other: <input type="text"/>	<input checked="" type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Public Officials <input type="checkbox"/> Other	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

b. Volunteer Activities. Select all of the following audiences targeted for volunteer involvement and participation related to storm water.

☐ NA (Individual Permittee)

Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
Volunteer Opportunity	<input checked="" type="checkbox"/> General Public <input checked="" type="checkbox"/> Public Employees <input checked="" type="checkbox"/> Residents <input checked="" type="checkbox"/> Businesses <input checked="" type="checkbox"/> Contractors <input checked="" type="checkbox"/> Developers <input checked="" type="checkbox"/> Industries <input checked="" type="checkbox"/> Public Officials <input type="checkbox"/> Other	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

c. Brief explanation on Public Involvement and Participation reporting. *Limit response to 250 characters and/or attach supplemental information on the attachments page.*

This education and outreach report and associated activities were produced and executed by Root Pike WIN's Respect Our Waters Program. Please contact the program manager with questions: [laura@rootpikewin.org](mailto:laura@rootpikewin.org).

**Minimum Control Measures - Section 3 : Complete****3. Illicit Discharge Detection and Elimination**

a. How many total outfalls does the municipality have?

b. How many outfalls did the municipality evaluate as part of their

routine ongoing field screening program?

- c. From the municipality's routine screening, how many were confirmed illicit discharges?
- d. How many illicit discharge complaints did the municipality receive?
- e. From the complaints received, how many were confirmed illicit discharges?
- f. How many of the identified illicit discharges did the municipality eliminate in the reporting year (from both routine screening and complaints)?

(If the sum of 3.c. and 3.e. does not equal 3.f., please explain below.)

- g. What types of regulatory mechanisms does the municipality have available to compel compliance with this program? Check all that are available and how many times each were used in the reporting year.

- ☒ Verbal Warning
- ☒ Written Warning (including email)
- ☒ Notice of Violation
- ☒ Civil Penalty/ Citation

Additional Information: \_\_\_\_\_

- h. Brief explanation on Illicit Discharge Detection and Elimination reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Caledonia performs inspections on 29 priority outfalls each year. Caledonia will investigate Outfall 25. In 2024 Caledonia will be reviewing the Outfalls and testing procedures with Strand. Caledonia will submit results when performed to the DNR.

Form 3400-224 (R8/2021)

## Minimum Control Measures - Section 4 : Complete

### 4. Construction Site Pollutant Control

- a. How many total construction sites with one acre or more of land disturbing construction activity were active at any point in the reporting year?
- b. How many construction sites with one acre or more of land disturbing construction activity did the municipality issue permits for in the reporting year?
- c. How many erosion control inspections did the municipality complete in the reporting year (at sites with one acre or more of land disturbing construction activity)?
- d. What types of regulatory mechanisms does the municipality have available to compel compliance with this program? Check all that are available and how many times each were used in the reporting year.
- ☒ Verbal Warning

- ☒ Written Warning (including email)
- ☒ Notice of Violation
- ☒ Civil Penalty/ Citation
- ☒ Stop Work Order
- ☒ Forfeiture of Deposit
- ☐ Other - Describe below

10

10

0

0

0

0

- e. Brief explanation on Construction Site Pollutant Control reporting . *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Form 3400-224 (R8/2021)

## Minimum Control Measures - Section 5 : Complete

### 5. Post-Construction Storm Water Management

- a. How many new structural storm water management Best Management Practice (BMP) have received local approval ?

10

\*Engineered and constructed systems that are designed to provide storm water quality control such as wet detention ponds, constructed wetlands, infiltration basins, grassed swales, permeable pavement,

- b. Does the MS4 have procedures for inspecting and maintaining private storm water facilities? ☒ Yes ☐ No

- c. If Yes, how many privately owned storm water management facilities were inspected in the reporting year ? Inspections completed by private landowners should be included in the reported number.

6

- d. Does the municipality utilize privately owned storm water management BMP in its pollutant reduction analysis? ☒ Yes ☐ No

- e. Does MS4 have maintenance authority on these privately owned BMPs?

Yes

- f. How many municipally operated (private) storm water management BMPs were inspected in the reporting year? 4

- g. What types of enforcement actions does the municipality have available to compel compliance with the regulatory mechanism? Check all that apply and enter the number of each used in the reporting year.

- ☒ Verbal Warning

0

- ☒ Written Warning (including email)

0

- ☒ Notice of Violation

0

<input checked="" type="checkbox"/> Civil Penalty/ Citation	0
<input checked="" type="checkbox"/> Forfeiture of Deposit	0
<input checked="" type="checkbox"/> Complete Maintenance	0
<input checked="" type="checkbox"/> Bill Responsible Party	0
<input type="checkbox"/> Other - Describe below	

- e. Brief explanation on Post-Construction Storm Water Management reporting . *If marked 'Unsure' on any questions above, justify your reasoning. Limit your response to 250 characters and/or attach supplemental information on the attachments page.*

Caledonia is preparing a comprehensive list of all Privately Owned and Municipally Owned Storm Water Management BMPs. This will be supplied with the 2024 Annual Report. Caledonia has created an inspection form and will inspect all BMPs in 2024.

Form 3400-224 (R8/2021)

## Minimum Control Measures - Section 6 : Complete

### 6. Pollution Prevention

Storm Water Management Best Management Practice Inspections ☐ Not Applicable

- a. Enter the total number of municipally owned or operated (i.e., privately owned BMPs) structural storm water management best management practices. 11
- b. How many new municipally owned storm water management best management practices were installed in the reporting year ? 2
- c. How many municipally owned (public) storm water management best management practices were inspected in the reporting year? 2
- d. What elements are looked at during inspections (250 character limit)?  
Side slopes, Outlet structures, Overflow Weirs, Safety Shelves
- e. How many of these facilities required maintenance? 2
- f. Brief explanation on Storm Water Management Best Management Practice inspection reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Caledonia has prepared a comprehensive list of Storm Water BMPs that are Municipally owned. An inspection form has been created and all BMPs will be inspected in 2024.

Public Works Yards & Other Municipally Owned Properties that require a stormwater pollution prevention plan (SWPPP)\* ☐ Not Applicable

- g. How many municipal properties require a SWPPP? 1
- h. How many inspections of municipal properties have been conducted in the 0

reporting year?

- i. Have amendments to the SWPPPs been made?

☐ Yes ☒ No

- j. If yes, describe what changes have been made. Limit response to 250 characters and/or attach supplemental information on the attachment page:

- k. Brief explanation on Storm Water Pollution Prevention Plan reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

\* Any municipally owned property that has the potential to generate stormwater pollution should have a SWPPP. For example, if a municipal property stores compost piles, material storage, yard wastes, etc., outside and can contaminate stormwater runoff—a SWPPP is required.

Collection Services - *Street Sweeping Program* ☐ Not Applicable

- l. Did the municipality conduct street sweeping during the reporting year?

☐ Yes ☒ No

- m. If known, how many tons of material was removed?

0

- n. Does the municipality have a [low hazard exemption](#) for this material?

☐ Yes ☒ No

- o. If street sweeping is identified as a storm water best management practice in the pollutant loading analysis, was street cleaning completed at the assumed frequency?

☐ Yes - Explain frequency \_\_\_\_\_

☐ No - Explain \_\_\_\_\_

☒ Not Applicable

Collection Services - *Catch Basin Sump Cleaning Program* ☐ Not Applicable

- p. Did the municipality conduct catch basin sump cleaning during the reporting year?

☒ Yes ☐ No

- q. How many catch basin sumps were cleaned in the reporting year?

5

- r. If known, how many tons of material was collected?

1

- s. Does the municipality have a low hazard exemption for this material?

☐ Yes ☒ No

- t. If catch basin sump cleaning is identified as a storm water best management practice in the pollutant loading analysis, was cleaning completed at the assumed frequency?

☐ Yes- Explain frequency \_\_\_\_\_

☐ No - Explain \_\_\_\_\_

☒ Not Applicable

Collection Services - *Leaf Collection Program* ☐ Not Applicable

- u. Does the municipality conduct curbside leaf collection?

☐ Yes ☒ No

v. Does the municipality notify homeowners about pickup? ☐ Yes ☒ No

w. Where are the residents directed to store the leaves for collection?

☐ Pile on terrace ☐ Pile in street ☐ Bags on terrace

☒ Other - Describe Village Yard Waste Site

x. What is the frequency of collection?

Wednesdays & Weekends (March-  
November)

y. Is collection followed by street sweeping?

☐ Yes ☒ No

z. Brief explanation on Collection Services reporting. *Limit response to 250 characters and/or attach supplemental information on the attachments page*

Winter Road Management ☐ Not Applicable

\*Note: We are requesting information that goes beyond the reporting year, answer the best you can.

aa. How many lane-miles of roadway is the municipality responsible for doing snow and ice control? (*One mile of a two-way road equals two lane miles.*)

314

ab. Provide amount of de-icing products used by month last winter season?

Solids (tons) (ex. sand, or salt-sand)

Product	Oct	Nov	Dec	Jan	Feb	Mar
<u>Salt</u>	0	0	0	1400	111	0

Liquids (gallons) (ex. brine)

	Oct	Nov	Dec	Jan	Feb	Mar
<u>None</u>						

ac. Was salt applying machinery calibrated in the reporting year?

☒ Yes ☐ No

ad. Have municipal personnel attended salt reduction strategy training in the reporting year?

☒ Yes ☐ No

Training Date	Training Name	# Attendance
8/22/2023	Roads Workshop	14

ae. Brief explanation on Winter Road Management reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page*

The Highway Superintendent records the amount of salt used on roads for snow and ice control. Some equipment has been calibrated and new equipment for liquid is being installed.

Internal (Staff) Education & Communication

af. Has the municipality provided an opportunity for internal training or education to staff implementing the municipality's procedures for each of the pollution prevention program element ?

☐ Yes ☒ No

If yes, describe what training was provided (250 character limit):



- ag. Describe how the municipality has kept the following local officials and municipal staff aware of the municipal storm water discharge permit programs, procedures and pollution prevention program requirements.

Elected Officials

MS4 Permit, MS4 Annual Report & the 2023 MS4 Audit were discussed at Utility District and Village Board Meetings

Municipal Officials

The 2023 MS4 Audit was discussed and changes to processes have changed to meet requirements

Appropriate Staff ( such as operators, Department heads, and those that interact with public)

The 2023 MS4 Audit was discussed and changes to processes have changed to meet requirements

- ah. Brief explanation on Internal Education reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Form 3400-224 (R8/2021)

## Minimum Control Measures - Section 7 : Complete

### 7. Storm Sewer System Map

- a. Did the municipality update their storm sewer map this year?

☒ Yes ☐ No

If yes, check the areas the map items that got updated or changed:

☒ Storm water treatment facilities

☒ Storm pipes

☐ Vegetated swales

☐ Outfalls

☐ Other - Describe below

- b. Brief explanation on Storm Sewer System Map reporting. *If you marked Unsure for an question for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

The Storm Sewer Map is constantly being updated in GIS for information as it is gathered.

**Final Evaluation - Complete****Fiscal Analysis**

Complete the fiscal analysis table provided below. For municipalities that do not break out funding into permit program elements, please enter the monetary amount to your best estimate of what funding may be going towards these programs.

<b>Annual Expenditure</b> Reporting Year	<b>Budget</b> Reporting Year	<b>Budget</b> Upcoming Year	<b>Source of Funds</b>
---	---------------------------------	--------------------------------	------------------------

**Element:** Public Education and Outreach

4455	4750	5000	<u>Storm water utility</u>
------	------	------	----------------------------

**Element:** Public Involvement and Participation

4455	4750	5000	<u>Storm water utility</u>
------	------	------	----------------------------

**Element:** Illicit Discharge Detection and Elimination

11060	12500	13000	<u>Storm water utility</u>
-------	-------	-------	----------------------------

**Element:** Construction Site Pollutant Control

20000	20000	20000	<u>Permit fee and/or deposit/escrow</u>
-------	-------	-------	---

**Element:** Post-Construction Storm Water Management

20000	20000	20000	<u>Storm water utility</u>
-------	-------	-------	----------------------------

**Element:** Pollution Prevention

11060	12500	13000	<u>Storm water utility</u>
-------	-------	-------	----------------------------

**Other (describe)**

Storm Sewer System Map			
------------------------	--	--	--

28078	10000	10000	<u>Storm water utility</u>
-------	-------	-------	----------------------------

Please provide a justification for a "0" entered in the Fiscal Analysis. *Limit response to 250 characters.*

--

**Water Quality**

**a:** Were there any known water quality improvements in the receiving waters to which the municipality's storm sewer system directly discharges to?

☐ Yes ☒ No ☐ Unsure      If Yes, explain below:

**b:** Were there any known water quality degradation in the receiving waters to which the municipality's storm sewer system directly discharges to?

☐ Yes ☒ No ☐ Unsure      If Yes, explain below:

**c:** Have any of the receiving waters that the municipality discharges to been added to the impaired waters list during the reporting year?

☐ Yes ☒ No ☐ Unsure

**d:** Has the municipality evaluated their storm water practices to reduce the pollutants of concern?

☐ Yes ☒ No ☐ Unsure

### Storm Water Quality Management

**a.** Has the municipality completed or updated modeling in the reporting year (relating to developed urban area performance standards of s. NR 151.13(2)(b)1., Wis. Adm. Code)? ☐ Yes ☒ No

**b.** If yes, enter percent reduction in the annual average mass discharging from the entire MS4 to surface waters of the state as compared to implementing no storm water management controls:

Total suspended solids (TSS)

Total phosphorus (TP)

### Additional Information

Based on the municipality's storm water program evaluation, describe any proposed changes to the municipality's storm water program. *If your response exceeds the 250 character limit, attach supplemental information on the attachments page.*

Spreadsheet of all Municipal Owned & Private Owned BMPs with Plans (if possible),  
Inspection of all BMPs, Changes to IDDE testing and review of Outfalls

**Requests for Assistance on Understanding Permit Programs**

Would the municipality like the Department to contact them about providing more information on understanding any of the Municipal Separate Storm Sewer Permit programs?

Please select all that apply:

- ☐ Public Education and Outreach
- ☐ Public Involvement and Participation
- ☐ Illicit Discharge Detection and Elimination
- ☐ Construction Site Pollutant Control
- ☐ Post-Construction Storm Water Management
- ☐ Pollution Prevention
- ☐ Storm Water Quality Management
- ☐ Storm Sewer System Map
- ☐ Water Quality Concerns
- ☐ Compliance Schedule Items Due
- ☐ MS4 Program Evaluation

**Required Attachments and Supplemental Information**


Any other MS4 program information for inclusion in the Annual Report may be attached on here. Use the Add Additional Attachments to add multiple documents.

Upload Required Attachments (15 MB per file limit) - [Help reduce file size and trouble shoot file uploads](#)

\*Required Item


**Note:** To replace an existing file, use the 'Click here to attach file ' link or press the to delete an item.

**Storm Sewer System Map**

 File Attachment	<a href="#">Caledonia Storm Sewer Utilities.zip</a>
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**Attach - Other Supporting Documents**


AR EO

 File Attachment	<a href="#">Synopsis - ROW 2023 - Village of Caledonia.xlsx</a>
---	---


AR IDDE

 File Attachment	<a href="#">Caledonia-Illicit Discharge Detection and Elimination Screening and Sampling Summary-2023 Optimized.pdf</a>
---	---


AR Other

 File Attachment	<a href="#">Survey Summary - Village of Caledonia.pdf</a>
---	---

AR Other

 File Attachment	<a href="#">Slide Deck - ROW 2023 - Village of Caledonia.pdf</a>
---	--

AR Other

 File Attachment	<a href="#">Supplimental Materials - ROW 2023 - Village of Caledonia.xlsx</a>
---	---

(To remove items, use your cursor to hover over the attachment section. When the drop down arrow appears, select remove item)

**Attach - Permit Compliance Documents**

(To remove items, use your cursor to hover over the attachment section. When the drop down arrow appears, select remove item)

**Sign and Submit Your Application**

**Steps to Complete the signature process**

- 1. Read and Accept the Terms and Conditions
- 2. Press the Submit and Send to the DNR button

**NOTE:** For security purposes all email correspondence will be sent to the address you used when registering your WAMS ID. This may be a different email than that provided in the application. For information on your WAMS account click [HERE](#).

**Terms and Conditions**

**Certification:** I hereby certify that I am an authorized representative of the municipality covered under Caledonia Village MS4 Permit for which this annual report or other compliance document is being submitted, and that the information contained in this submittal and all attachments were gathered and prepared under my direction or supervision. Based on my inquiry of the person or persons under my direction or supervision involved in the preparation of this document, to the best of my knowledge, the information is true, accurate, and complete. I further certify that the municipality’s governing body or delegated representatives have reviewed or been apprised of the contents of this annual report. I understand that Wisconsin law provides severe penalties for submitting false information.

Signee (must check current role prior to accepting terms and conditions)

- ☒ Authorized municipal contact using WAMS ID.
- ☐ Delegation of Signature Authority ( Form 3400-220 ) for agent signing on the behalf of the authorized municipal contact.
- ☐ Agent seeking to share this item with authorized municipal contact (authorized municipal contact must get WAMS id and complete signature).

<b>Name:</b>	Anthony A Bunkelman
<b>Title:</b>	Public Services Director

Authorized Signature.

☒ I accept the above terms and conditions.

Signed by : i:0#.f|wamsmembership|tbunkelman on 2024-03-26T16:02:11  
**You have already signed and submitted this application to the DNR.** Please [contact the Wisconsin DNR](#) for assistance.

After providing the final authorized signature, the system will send an email to the authorized party and any agents. This email will include a copy to the final read only version of this application.

FUND	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
<b>ACH - WE ENERGIES</b>							
Water Utility Fund	380	ACH - WE ENERGIES	4864356574	DEC 2023 GAS AND ELECTRIC	01/03/2024	1,873.80	500-00-64140 Utilities
Sewer Utility Fund	380	ACH - WE ENERGIES	4864356574	DEC 2023 GAS AND ELECTRIC	01/03/2024	12,763.68	501-00-64140 Utilities
Storm Water Utility Fund	380	ACH - WE ENERGIES	4864356574	DEC 2023 GAS AND ELECTRIC	01/03/2024	254.00	502-00-64140 Utilities
Water Utility Fund	380	ACH - WE ENERGIES	4901625971	JAN 24 GAS & ELECTRIC	01/31/2024	2,434.82	500-00-64140 Utilities
Sewer Utility Fund	380	ACH - WE ENERGIES	4901625971	JAN 24 GAS & ELECTRIC	01/31/2024	16,869.31	501-00-64140 Utilities
Storm Water Utility Fund	380	ACH - WE ENERGIES	4901625971	JAN 24 GAS & ELECTRIC	01/31/2024	318.47	502-00-64140 Utilities
Water Utility Fund	380	ACH - WE ENERGIES	4938812533	FEB 2024 GAS & ELECTRIC	03/01/2024	2,682.10	500-00-64140 Utilities
Sewer Utility Fund	380	ACH - WE ENERGIES	4938812533	FEB 2024 GAS & ELECTRIC	03/01/2024	17,565.68	501-00-64140 Utilities
Storm Water Utility Fund	380	ACH - WE ENERGIES	4938812533	FEB 2024 GAS & ELECTRIC	03/01/2024	286.46	502-00-64140 Utilities
Total ACH - WE ENERGIES:						55,048.32	
<b>BADGER METER INC.</b>							
Water Utility Fund	163	BADGER METER INC.	1639662	ULTRASONIC METER; 13551 DE	02/26/2024	1,399.24	500-18701-107 CIP - Meters
Water Utility Fund	163	BADGER METER INC.	1641259	TWIST TIGHT EXTENSIONS	03/04/2024	315.26	500-18701-107 CIP - Meters
Total BADGER METER INC.:						1,714.50	
<b>BUY RIGHT, INC.</b>							
Water Utility Fund	273	BUY RIGHT, INC.	14873-426263	CAR BATTERY 2020 GMC SIER	02/28/2024	88.05	500-00-63300 Vehicle Repairs & Maintenance
Sewer Utility Fund	273	BUY RIGHT, INC.	14873-426263	CAR BATTERY 2020 GMC SIER	02/28/2024	88.04	501-00-63300 Vehicle Repairs & Maintenance
Water Utility Fund	273	BUY RIGHT, INC.	14873-426315	BATTERY CORE RETURN	02/28/2024	-11.00	500-00-63300 Vehicle Repairs & Maintenance
Sewer Utility Fund	273	BUY RIGHT, INC.	14873-426315	BATTERY CORE RETURN	02/28/2024	-11.00	501-00-63300 Vehicle Repairs & Maintenance
Total BUY RIGHT, INC.:						154.09	
<b>FERGUSON WATERWORKS #1476</b>							
Water Utility Fund	1810	FERGUSON WATERWORKS #14	0409566	UPPER VLV HYD, SEAT RING B	03/26/2024	2,284.80	500-00-64270 Infrastructure Maintenance
Total FERGUSON WATERWORKS #1476:						2,284.80	
<b>FOTH INFRASTRUCTURE &amp; ENVIRO, LLC</b>							
Sewer Utility Fund	666	FOTH INFRASTRUCTURE & EN	88792	HOODS CREEK ATTENUATION	03/01/2024	846.40	501-00-62100 Contracted Services
Water Utility Fund	666	FOTH INFRASTRUCTURE & EN	88796	WASHINGTON MEADOWS WAT	03/01/2024	2,843.00	500-00-62100 Contracted Services
Water Utility Fund	666	FOTH INFRASTRUCTURE & EN	88800	SUNDANCE HEIGHTS WATER M	03/01/2024	14,814.73	500-18738-107 CIP - SUNDANCE HEIGHTS
Water Utility Fund	666	FOTH INFRASTRUCTURE & EN	88801	CUD GENERAL ENGINEERING	03/01/2024	2,418.50	500-00-61340 Engineering Design Charges
Sewer Utility Fund	666	FOTH INFRASTRUCTURE & EN	88801	CUD GENERAL ENGINEERING	03/01/2024	3,213.20	501-00-61340 Engineering Design Charges
Sewer Utility Fund	666	FOTH INFRASTRUCTURE & EN	89013	HOODS CREEK ATTENUATION	03/16/2024	578.60	501-00-62100 Contracted Services
Water Utility Fund	666	FOTH INFRASTRUCTURE & EN	89017	SUNDANCE HEIGHTS WATER M	03/16/2024	14,396.70	500-18738-107 CIP - SUNDANCE HEIGHTS

FUND	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
Water Utility Fund	666	FOTH INFRASTRUCTURE & EN	89018	CALEDONIA WATER SERVICE I	03/16/2024	308.00	500-00-61340 Engineering Design Charges
Water Utility Fund	666	FOTH INFRASTRUCTURE & EN	89059	CUD GENERAL ENGINEERING	03/18/2024	558.10	500-00-61340 Engineering Design Charges
Sewer Utility Fund	666	FOTH INFRASTRUCTURE & EN	89059	CUD GENERAL ENGINEERING	03/18/2024	2,554.10	501-00-61340 Engineering Design Charges
Sewer Utility Fund	666	FOTH INFRASTRUCTURE & EN	89060	3241 STH 31 SEWER & WATER	03/18/2024	717.60	501-00-61340 Engineering Design Charges
Total FOTH INFRASTRUCTURE & ENVIRO, LLC:						43,248.93	
<b>JOHNSON CONTROLS SECURITY SOLUTIONS</b>							
Water Utility Fund	969	JOHNSON CONTROLS SECURI	39939490	Q2-24; SECURITY SYSTEM; CE	03/09/2024	311.91	500-00-64150 Communication Services
Sewer Utility Fund	969	JOHNSON CONTROLS SECURI	39939490	Q2-24; SECURITY SYSTEM; CE	03/09/2024	311.92	501-00-64150 Communication Services
Total JOHNSON CONTROLS SECURITY SOLUTIONS:						623.83	
<b>KORTENDICK HARDWARE</b>							
Water Utility Fund	1096	KORTENDICK HARDWARE	163786	RAIN-X, GORILLA TAPE, 9V BAT	03/01/2024	38.90	500-00-64070 Work Supplies
Sewer Utility Fund	1096	KORTENDICK HARDWARE	163786	RAIN-X, GORILLA TAPE, 9V BAT	03/01/2024	38.91	501-00-64070 Work Supplies
Sewer Utility Fund	1096	KORTENDICK HARDWARE	163829	SUMP PUMP, 5 IN 1 SPRAY, CO	03/04/2024	243.48	501-00-64250 Equipment Repairs & Maintenanc
Water Utility Fund	1096	KORTENDICK HARDWARE	163849	ROLLER COVER, PAINT TRAY, P	03/05/2024	24.79	500-00-64070 Work Supplies
Sewer Utility Fund	1096	KORTENDICK HARDWARE	163849	ROLLER COVER, PAINT TRAY, P	03/05/2024	24.80	501-00-64070 Work Supplies
Water Utility Fund	1096	KORTENDICK HARDWARE	164195	RM3 RAPID MCRO CHN 20"	03/20/2024	19.00	500-00-64070 Work Supplies
Sewer Utility Fund	1096	KORTENDICK HARDWARE	164195	RM3 RAPID MCRO CHN 20"	03/20/2024	18.99	501-00-64070 Work Supplies
Water Utility Fund	1096	KORTENDICK HARDWARE	164196	CHAIN EXCHANGED FOR RS 3	03/20/2024	-19.00	500-00-64070 Work Supplies
Sewer Utility Fund	1096	KORTENDICK HARDWARE	164196	CHAIN EXCHANGED FOR RS 3	03/20/2024	-18.99	501-00-64070 Work Supplies
Water Utility Fund	1096	KORTENDICK HARDWARE	164196	CHAIN EXCHANGED FOR RS 3	03/20/2024	17.50	500-00-64070 Work Supplies
Sewer Utility Fund	1096	KORTENDICK HARDWARE	164196	CHAIN EXCHANGED FOR RS 3	03/20/2024	17.49	501-00-64070 Work Supplies
Total KORTENDICK HARDWARE:						405.87	
<b>MENARDS RACINE</b>							
Water Utility Fund	1281	MENARDS RACINE	82345	STEP LADDER	02/27/2024	50.00	500-00-64070 Work Supplies
Sewer Utility Fund	1281	MENARDS RACINE	82345	STEP LADDER	02/27/2024	49.99	501-00-64070 Work Supplies
Total MENARDS RACINE:						99.99	
<b>MIDWEST METER INC.</b>							
Water Utility Fund	1325	MIDWEST METER INC.	0165224-IN	FLANGE COUPINGS, ASSOR. N	03/15/2024	6,484.18	500-18701-107 CIP - Meters
Total MIDWEST METER INC.:						6,484.18	



FUND	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
<b>NETWORK SPECIALIST OF RACINE, INC.</b>							
Sewer Utility Fund	1390	NETWORK SPECIALIST OF RAC	45681	APRIL-24; OFFICE ANYWHERE	03/07/2024	300.00	501-00-64300 IT Maintenance & Subscriptions
Water Utility Fund	1390	NETWORK SPECIALIST OF RAC	45681	APRIL-24; OFFICE ANYWHERE	03/07/2024	300.00	500-00-64300 IT Maintenance & Subscriptions
Water Utility Fund	1390	NETWORK SPECIALIST OF RAC	45681	CREDIT ON ACCOUNT	03/07/2024	-11.25	500-00-64300 IT Maintenance & Subscriptions
Sewer Utility Fund	1390	NETWORK SPECIALIST OF RAC	45681	CREDIT ON ACCOUNT	03/07/2024	-11.25	501-00-64300 IT Maintenance & Subscriptions
Water Utility Fund	1390	NETWORK SPECIALIST OF RAC	45767	3-YR DOMAIN NAME RENEWAL	03/26/2024	106.00	500-00-64300 IT Maintenance & Subscriptions
Sewer Utility Fund	1390	NETWORK SPECIALIST OF RAC	45767	3-YR DOMAIN NAME RENEWAL	03/26/2024	106.00	501-00-64300 IT Maintenance & Subscriptions
Total NETWORK SPECIALIST OF RACINE, INC.:						789.50	
<b>OAK CREEK WATER UTILITY</b>							
Water Utility Fund	1423	OAK CREEK WATER UTILITY	5318	WATER TESTS	03/07/2024	365.00	500-00-62560 Water Sampling and Testing
Total OAK CREEK WATER UTILITY:						365.00	
<b>RACINE WATER &amp; WASTEWATER UTILITIES</b>							
Water Utility Fund	1574	RACINE WATER & WASTEWATE	WAINV-17161	OCT-DEC 2023; BAC-T SAMPLE	01/31/2024	1,350.00	500-00-62560 Water Sampling and Testing
Total RACINE WATER & WASTEWATER UTILITIES:						1,350.00	
<b>SJE, INC.</b>							
Sewer Utility Fund	1119	SJE, INC.	CD99514595	PUMP SERVICE - REBUILD SEC	02/21/2024	27,336.00	501-18737-000 CIP-Central Attenuation Basin
Total SJE, INC.:						27,336.00	
<b>TOTAL ENERGY SYSTEMS LLC</b>							
Water Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV112308	GENERATOR REPAIR; TOWABL	01/12/2024	183.50	500-00-64250 Equipment Repairs & Maintenanc
Sewer Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV112308	GENERATOR REPAIR; TOWABL	01/12/2024	1,468.00	501-00-64250 Equipment Repairs & Maintenanc
Storm Water Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV112308	GENERATOR REPAIR; TOWABL	01/12/2024	183.50	502-00-64250 Equipment Repairs & Maintenanc
Water Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV112313	GENERATOR REPAIR; TOWABL	01/12/2024	183.50	500-00-64250 Equipment Repairs & Maintenanc
Sewer Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV112313	GENERATOR REPAIR; TOWABL	01/12/2024	1,468.00	501-00-64250 Equipment Repairs & Maintenanc
Storm Water Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV112313	GENERATOR REPAIR; TOWABL	01/12/2024	183.50	502-00-64250 Equipment Repairs & Maintenanc
Water Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV112355	GENERATOR REPAIR; TOWABL	01/15/2024	183.50	500-00-64250 Equipment Repairs & Maintenanc
Sewer Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV112355	GENERATOR REPAIR; TOWABL	01/15/2024	1,468.00	501-00-64250 Equipment Repairs & Maintenanc
Storm Water Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV112355	GENERATOR REPAIR; TOWABL	01/15/2024	183.50	502-00-64250 Equipment Repairs & Maintenanc
Sewer Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV112824	GENERATOR REPAIR - RIVER B	01/22/2024	1,885.00	501-00-64250 Equipment Repairs & Maintenanc
Sewer Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV112950	GENERATOR REPAIR - DUNKEL	01/24/2024	1,335.00	501-00-64250 Equipment Repairs & Maintenanc
Sewer Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV112991	GENERATOR REPAIR - WIND P	01/24/2024	1,235.33	501-00-64250 Equipment Repairs & Maintenanc
Sewer Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV113374	GENERATOR REPAIR - HOODS	01/31/2024	2,060.00	501-00-64250 Equipment Repairs & Maintenanc
Sewer Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV113417	GENERATOR REPAIR - HOODS	01/31/2024	1,890.22	501-00-64250 Equipment Repairs & Maintenanc

FUND	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
Sewer Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV116461	GENERATOR MAINTENANCE/R	03/26/2024	5,527.72	501-00-64250 Equipment Repairs & Maintenanc
Sewer Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV94632-1	KOHLER 175REOZT4 DIESEL G	02/20/2023	8,000.00	501-00-65030 Equipment
Water Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV94632-1	KOHLER 175REOZT4 DIESEL G	02/20/2023	1,000.00	500-00-65030 Equipment
Storm Water Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV94632-1	KOHLER 175REOZT4 DIESEL G	02/20/2023	1,000.00	502-00-65157 Generator Upgrades
TOTAL ENERGY SYSTEMS LLC:						29,438.27	
<b>UTILITY VENDOR REFUND</b>							
Water Utility Fund	8996	UTILITY VENDOR REFUND	100-0154-70; R	DUPLICATE PAYMENT	03/07/2024	47.43	500-00-46251 Residential Service
Sewer Utility Fund	8996	UTILITY VENDOR REFUND	100-0154-70; R	DUPLICATE PAYMENT	03/07/2024	170.00	501-00-46251 Residential Service
Water Utility Fund	8996	UTILITY VENDOR REFUND	100-0154-70; R	DUPLICATE PAYMENT	03/07/2024	15.53	500-00-46255 Public Fire Protection
Total UTILITY VENDOR REFUND:						232.96	
<b>WI DEPT OF TRANSPORTATION</b>							
Storm Water Utility Fund	2168	WI DEPT OF TRANSPORTATION	03132024	VEHICLE TITLE & PLATE TRANS	03/13/2024	169.50	502-00-65040 Equipment-Vehicles
Total WI DEPT OF TRANSPORTATION:						169.50	
Grand Totals:						169,745.74	

**PAYMENT TOTALS BY FUND**

Water Utility Fund	\$110,110.22
Sewer Utility Fund	\$ 2,578.93
Storm Water Utility Fund	\$ 57,056.59
<b>TOTAL</b>	<b>\$169,745.74</b>

# **CALEDONIA UTILITY DISTRICT PROJECT SUMMARY WORKSHEET**

## **Riverbend Drive Lift Station Safety Site & Forcemain Upgrade**

- Facility Plan to be wrapped up at a later date. Project on hold temporarily to not have conflicts with the Highway 38 Bridge Replacement.

## **Annual Televising Program – Sanitary Sewer**

- Continue to perform repairs that staff can perform.

## **Central Lift Station Safety Site & Attenuation Basin**

- Pump #2 reinstalled. Awaiting results from teardown of Pump #3. Awaiting delivery of Air Release Valves for replacement on forcemain.

## **TID #4 Elevated Storage Tank & Adams Road Watermain**

- Awaiting can booster location recommendation, to be determined based on pressures. Wrapping up final design on tower. Will be submitting to the DNR in the next week or two.

## **Western Village / Sundance Heights Watermain**

- Watermain design is completed. Awaiting information from the Engineering Department for the road culvert replacements.

**CALEDONIA UTILITY DISTRICT  
STORM WATER PROJECTS  
PROJECT SUMMARY WORKSHEET**

**Hoods Creek – Aldebaran Brushing Project**

- Contractor will be contacted to begin work again in 2024.

**Turtle Creek Restoration**

- Southern Wisconsin Appraisal meeting with owners to discuss easements.
- Will be working with Great Lake Tree to remove some of the trees that are creating issues in the Klema Ditch.


**4 Mile Road Tile (Club View Subdivision to Erie Street)**

- Awaiting proposal from Design Engineer.

# MEMORANDUM

**DATE:** Wednesday, March 27, 2024

**TO:** Caledonia Utility District

**FROM:** Anthony A. Bunkelman P.E.  
Public Services Director 

**RE:** Riverbend Lift Station – Pump Replacement vs Repair

## BACKGROUND INFORMATION

The Caledonia Utility District recently had 1 of the 8” pumps at Riverbend go out of service. The pump was removed and sent to LW Allen to provide a quote to repair the pump. On March 4<sup>th</sup>, a quote to repair the pump was received, along with a description of the repairs needed. The pump has a damaged volute, damaged front head, and a damaged impeller. The cost for a full rebuild of this pump to factory tolerances is \$44,873.00.

When this quote was received it was immediately asked what the cost of a new pump would be so that an analysis could be done. The cost for a new, identical pump would be \$64,845.00.

The typical service life for a lift station pump is 20 to 30 years. The pump is an original pump from when the station was built in 1988, so it has 36 years of service on it. To spend \$44,873 on this pump is difficult to do when spending an additional \$20,000 will get a new pump.

The lead time for a new pump is 13 weeks and the repair of the pump is anticipated at 11 weeks. With the lead time not being that much different it is still recommended that a new pump is purchased.

It is recommended that the Utility District purchase a new Fairbank 8” B5415 Pump for Riverbend Lift Station.

## RECOMMENDATION

**Move to forward to the Committee of the Whole to sole source purchase a Fairbanks 8” B5415 Pump for \$64,845.00 for the Riverbend Lift Station.**



**L.W. ALLEN, LLC**

*A Full Service Distributor*

**PUMPS – CONTROLS – REPAIR CENTER**

**PROPOSAL**

TEL: (800) 362-7266  
www.lwallen.com/altronex

Name	Customer	Proposal#	Due/Bid Date
Caledonia River Bend LS	Tony	03240967	March 6, 2024

**Scope**

Caledonia, WI – River Bend Lift Station – 8 B5415 Pump Repair  
S/N K3R1-057705

LW Allen would like to thank you for allowing us the opportunity to quote repairs on the subject unit.  
Below I have outlined the scope of repair and pricing for a 8" B5415 pump.

**Scope of Supply:**

Furnish One (1) Complete **New** Fairbanks Model 5415 Pump. Less Pump Base and Suction Elbow.

This pump will be an exact duplicate of the existing pump.

**Items specifically not included in this proposal.**

1. Sales or use tax.
2. Receiving and storage of equipment on the job site.
3. Installation of pump or other materials, brackets, wire, clamps, piping, junction boxes, etc., not specifically described in our material list.
4. Performance, payment or equipment bond of any kind.
5. Installation of any instruments.
6. By-pass Pumping
7. Freight is pre-paid and Add
8. Non-Wearing Parts-pump base and suction elbow.

**New Proposal Amount \$ 64,845.00 USD**

**Freight Terms: Freight is not included.**

Respectfully submitted by,

Rick Bartelt

Sales Engineer

rbartelt@lwallen.com

**Acceptance of Proposal (Purchase Order or Signature) – The preceding prices, specifications and attached terms and conditions of sale are satisfactory and hereby accepted. You are authorized to proceed.**

Signature

Name Print/Type

Official Position

Date



# Standard Terms and Conditions

**Controlling Provisions:** The terms and conditions and supplemental exhibits contained herein (the “Terms and Conditions”) shall supersede any provisions, terms, and conditions contained on any purchase order or other written form any direct buyer (“Buyer”) may use or provide (whether received by S.J. Electro Systems, Inc. or any of its subsidiaries or affiliates (collectively, “SJE”) prior or subsequent to the date hereof), and the rights of the parties shall be governed exclusively by the Terms and Conditions as described herein. SJE sells certain services, products, replacement parts and related software (collectively, the “Goods”). The purchase of the Goods is governed by the Terms and Conditions. Any communication by Buyer to SJE to purchase Goods will be treated by SJE as a request to purchase the Goods. The response, however communicated, will be understood by all parties as an agreement by SJE to sell to Buyer the requested Goods pursuant to the Terms and Conditions. **SJE specifically opposes any terms or conditions that are in addition to or different from the Terms and Conditions, unless specifically agreed to in each instance in writing by SJE.**

**Quotations, Acceptance, and Agreements:** Any quotation is a good faith estimate. To the extent that SJE has been provided by or on behalf of Buyer any specifications, description of operating conditions or other data and Information In connection with the selection or design of the Goods, and the actual operating conditions or other circumstances differ from those provided by Buyer and relied upon by SJE, any warranties or other provisions contained herein which are affected by such conditions shall be null and void.

Acceptance of a quotation, whether by a separate purchase order or by other means, shall constitute an acknowledgement and approval of the quotation as written and an acceptance of the Terms and Conditions. Written quotations which have not been finalized by a binding purchase order shall expire on the date specified in the quotation or, in the absence of such specification, thirty (30) calendar days from the date issued. SJE may revise or withdraw a quotation at any time prior to the finalization of a binding purchase order.

*Per company policy, a separate written agreement signed by both parties or a purchase order accepted and acknowledged by SJE is required to form any legally binding agreement.*

**Intellectual Property:** All devices, patents, designs (including drawings, plans and specifications), software existing or to be developed, estimates, prices, notes, memos, summaries, electronic data and other documents or information prepared or disclosed by SJE shall remain the sole intellectual property of SJE. Following acceptance and final payment, SJE shall grant to Buyer a non-transferable, non-exclusive license for use and sale of the Goods.

**Credit Approval:** The credit terms granted on each order are subject to SJE’s continuing approval of Buyer’s credit. SJE may withdraw the extension of credit and require modified payment terms if, in SJE’s sole judgment, Buyer’s credit or financial standing is impaired such that SJE in good faith deems payment insecure.

**Prices and Taxes:** All prices are FOB shipping point, unless otherwise stated or referenced in attached exhibits. All prices are subject to any commercially reasonable additions that may be necessary to cover any duties, taxes or charges. All prices are in U.S. Dollars. Prices may be subject to change without notice.

**Shipping Policy:** Shipping and handling charges cover the transportation of the Goods from SJE’s warehouse to Buyer, unless otherwise specified. Standard shipping rates are assessed upon placement of order. SJE uses many methods of shipment including UPS shipping services but reserves the right to substitute carriers without notice. UPS next-day air, UPS second-day air, UPS three-day ground, UPS Express and UPS Expedited are services available to Buyer for expediting orders. Expedited orders will be shipped based on the method Buyer selects. These services may not be available for shipment into all countries.

*While SJE will use all reasonable commercial efforts to maintain the delivery date(s) acknowledged or quoted by SJE, all shipping dates are approximate and not guaranteed. SJE reserves the right to make partial shipments. SJE, at its option, shall not be bound to tender delivery of any Goods for which Buyer has not provided shipping instructions and other required information. If the shipment of the Goods is postponed or delayed by Buyer for any reason, Buyer agrees to reimburse SJE for any and all storage costs and other additional expenses resulting therefrom. The actual shipping weights may vary.*

**Title, Risk of Loss, Inspection of Equipment:** Title and risk of loss to the Goods shall pass to Buyer upon delivery of the Goods to the respective delivery carrier. Buyer shall immediately inspect the Goods upon receipt and any damage must be noted on the delivery carrier’s bill of lading at time of receipt. SJE is not liable for any damages caused by shipping. SJE is not liable for any shortages or nonconformance unless notified by Buyer within two (2) business days of Buyer’s receipt of the Goods.

**Operations/Maintenance Manuals:** Installation, maintenance and operation manuals will be furnished to Buyer in the number of copies specified at the time of quotation or order. Additional copies subject to charges as outlined in attached exhibits.

**Installation and Use:** Buyer will be solely responsible for the proper application, installation and service of the Goods. Installation instructions are supplied by SJE and must be followed.

**Export/Import:** Buyer agrees that all applicable import and export control laws, regulations, orders and requirements, including, but not limited to, those of the United States and the European Union, and the jurisdictions in which SJE and Buyer are established or from which Goods may be supplied, will apply to their receipt and use. In no event shall Buyer use, transfer, release, import, or export Goods in violation of such applicable laws, regulations, orders or requirements.

**Payment:** Buyer shall pay SJE the full purchase price as set forth in the respective order between SJE and Buyer. Unless otherwise agreed to in writing between SJE and Buyer, freight, storage, insurance, taxes, duties, and any governmental charges relating to the Goods shall be paid by Buyer. If SJE is required to pay any such charges, Buyer shall immediately reimburse SJE upon notice from SJE of same. All payments are due within approved credit terms. Buyer may be charged the lower of 1.5% interest per month or the maximum legal rate on all amounts not received by the due date described therein.

**Security Interest:** SJE shall retain a security interest in the Goods until the full purchase price has been paid. Buyer’s failure to pay any amounts due, including interest, shall give SJE the right to possession and removal of the Goods after providing ten (10) days written notice to Buyer. SJE’s taking of such possession shall be without prejudice to any other remedies SJE may have.

**Changes, Cancellations, Returns:** Buyer may request changes or additions to the Goods consistent with SJE’s specifications and criteria. In the event such changes or additions are accepted by SJE, SJE shall have the absolute right to revise the prices and dates of delivery, and to add charges for work and materials rendered unnecessary by such changes or additions. All changes, cancellations, or returns must have SJE prior written approval and subject to restocking fees and service charges. Authorized returns must be packaged and shipped prepaid to SJE.

**Return Policy:** SJE will only accept Goods returned within one (1) year from the date of manufacture, un-used, and current production models. Returned Material Authorization (“RMA”) numbers must be assigned to any Goods Buyer wishes to return for credit. To obtain an RMA, Buyer must contact SJE’s Service Center at 218-847-1317 or toll free at 888-342-5753. Buyer is responsible for payment of return shipping fees unless such returned Goods result from an SJE order processing error. Upon return, SJE shall reimburse Buyer for the return freight resulting from the return of Goods due to such SJE order processing error. In the event of any return in compliance with this paragraph, SJE will provide Buyer credit for the returned Goods and work to reship correct Goods to Buyer. SJE reserves the right to refuse acceptance of returned Goods after inspection. SJE will not accept returns for Goods that are custom-built for Buyer as such items cannot be resold by SJE; however, custom-built Goods remain subject to applicable warranty provisions in each case.

*Notwithstanding the foregoing (and so long as the return is not due to an order processing error of SJE), a restocking fee shall be charged to Buyer for returned Goods as outlined in the attached Exhibits.*

**Force Majeure:** SJE shall not be liable or responsible to Buyer, nor be deemed to have defaulted under or breached any agreement with Buyer, for any failure or delay in fulfilling or performing any term of any agreement with Buyer, when and to the extent such failure or delay is caused by or results (directly or indirectly) from acts beyond SJE’s reasonable control, including, without limitation: (a) acts of God; (b) flood, fire, earthquake or explosion; (c) war, invasion, hostilities (whether war is declared or not), terrorist threats or acts, riot or other civil unrest; (d) government order or law; (e) actions, embargoes or blockades in effect on or after the date of any subject agreement between SJE and Buyer; (f) action by any governmental authority; (g) national or regional emergency; (h) strikes, labor stoppages or slowdowns or other industrial services; or (i) any other cause beyond the reasonable control of SJE.

**Indemnification and Default:** In addition to all other amounts due hereunder, Buyer shall reimburse SJE in full for all collection costs or charges, including reasonable attorney fees, which SJE may incur in the collection of any past due amounts from Buyer, including applicable interest on overdue accounts. If Buyer is in default under this or any other agreement with SJE, SJE may defer performance hereunder until such default is resolved. SJE shall have no obligation to provide factory startup assistance or factory training (when requested) until all invoices (including retentions) for equipment have been paid in full. Furthermore, SJE shall have no liability to Buyer to the extent Buyer damages, or any damages are suffered by, or claims are made against Buyer as a result of Buyer’s negligence, willful misconduct, misrepresentation of any Goods, or failure to utilize the Goods properly.

**Warranty and Liability:** During the warranty period, Buyer’s exclusive remedy will be either repair or replacement, at the sole discretion of SJE and subject to the Terms and Conditions of any component which proves to be defective due to defective materials or workmanship of SJE.

*SJE DISCLAIMS ANY IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR PARTICULAR PURPOSE, AND SJE SHALL NOT, IN ANY MATTER, BE LIABLE FOR ANY SPECIAL, INDIRECT, PUNITIVE, INCIDENTAL OR CONSEQUENTIAL DAMAGES, INCLUDING LIQUIDATED DAMAGES, OR PENALTIES THAT RESULT FROM A BREACH OF CONTRACT, BREACH OF WARRANTY (EXPRESS OR IMPLIED), STRICT LIABILITY, PRODUCT LIABILITY OR OTHERWISE. IN NO EVENT SHALL SJE’S LIABILITY TO BUYER OR ANY OTHER PARTY EXCEED THE LESSER OF (i) THE COST OF REMEDIATING ANY DEFECT OR DEFICIENCY IN THE PERFORMANCE OF SJE HEREUNDER OR (ii) THE PURCHASE PRICE OF THE GOODS IN RESPECT OF WHICH THE CLAIM IS MADE.*

*ANY ELECTRICAL WIRING AND SERVICING OF THE GOODS MUST BE PERFORMED BY A LICENSED ELECTRICIAN. WARRANTY CLAIMS FOR GOODS WHICH WERE AT ANY TIME WIRED OR SERVICED BY ANYONE OTHER THAN A LICENSED ELECTRICIAN SHALL NOT BE HONORED IN WHOLE OR PART BY SJE.*

*Furthermore, this warranty shall not apply to: (a) damage due to any weather-related or other conditions beyond the control of SJE; (b) defects or malfunctions resulting from the Goods not installed, operated, or maintained in accordance with instructions provided, applicable local codes, ordinances, or accepted trade practices; (c) failures resulting from abuse, misuse, accident, or negligence; or (d) Goods repaired and/or modified without prior written authorization from SJE.*

*Some states do not allow limitations on implied warranty duration, as such, this limitation may not apply to Buyer. Some states do not allow the exclusion or limitation of incidental or consequential damages, as such, these limitations or exclusions may not apply to Buyer. The above-described warranty gives Buyer specific legal rights, and Buyer may also have other rights which vary from state to state.*

**TO OBTAIN WARRANTY SERVICE:** Buyer shall assume all responsibility and expense for removal, reinstallation, and freight associated with any warranty service. Any Goods to be repaired or replaced under this warranty must be returned to SJE, or such place as designated by SJE. Buyer can contact SJE Service Center at 218-847-1317 or toll free at 888-342-5753 for an RMA on any Goods being submitted for a warranty claim.

**Applicable Law and Forum:** Any disputes between Buyer and SJE shall be venued in Becker County District Court in the State of Minnesota. Buyer agrees to submit to such jurisdiction and agrees that the dispute shall be governed by and construed in accordance with the laws of the State of Minnesota without giving effect to any choice or conflict of law pro





**ALTRONEX**  
CONTROL SYSTEMS

f



**L.W. ALLEN, LLC**

*A Full Service Distributor*

**PUMPS – CONTROLS – REPAIR CENTER**

**PROPOSAL**

TEL: (800) 362-7266  
www.lwallen.com/altronex

Name	Customer	Proposal#	Due/Bid Date
Caledonia River Bend LS	L.W. Allen	300240967Rev1	February 27, 2024

### Scope

Caledonia, WI – River Bend Lift Station – 8 B5415 Pump Repair  
S/N

LW Allen would like to thank you for allowing us the opportunity to quote repairs on the subject unit.  
Below I have outlined the scope of repair and pricing for a 8" B5415 pump.

### Scope of Shop Repair:

- Disassemble pump complete.
- Clean all components.
- Inspect each component thoroughly and compare critical dimensions to manufactured tolerance.
- Furnish an inspection report indicating each component's condition and recommended repairs.
- Replace the following OEM components:
  - Impeller hardware
  - Impeller wear ring.
  - Front Head
  - Front Head wear ring
  - Back Head
  - Shaft Sleeve
  - Bearings
  - Mechanical Seal
  - Misc. Gaskets, O-rings, Lip seals, and hardware (as needed).
- The following components are considered to be reuseable:
  - High Ring Base
  - Vertical Base
  - Frame
  - Pump Shaft
  - Volute
  - Bearing Housing and Cover.
  - Suction Elbow
- Assemble the pump complete.
- Pressure Test New Mechanical Seal

This quotation includes only the parts or processes specifically outlined above. Any additional parts or processes required will be included only after the approval and authorization by the Customer. Warranty will be contingent on the inclusion of any processes deemed necessary by LW Allen.

The above quotation is valid for **30 days**

Taxes are excluded, and will be billed separately, as applicable.

**Items specifically not included in this proposal.**

1. Sales or use tax.
2. Receiving and storage of equipment on the job site.
3. Installation of pump or other materials, brackets, wire, clamps, piping, junction boxes, etc., not specifically described in our material list.
4. Performance, payment or equipment bond of any kind.
5. Installation of any instruments.
6. By-pass Pumping

**New Proposal Amount \$ 44,873.00 USD**

**Freight Terms: Freight is included.**

Respectfully submitted by,

Rick Bartelt

Sales Engineer

rbartelt@lwallen.com

**Acceptance of Proposal (Purchase Order or Signature) – The preceding prices, specifications and attached terms and conditions of sale are satisfactory and hereby accepted. You are authorized to proceed.**

---

Signature

Name Print/Type

Official Position

Date

# Standard Terms and Conditions

**Controlling Provisions:** The terms and conditions and supplemental exhibits contained herein (the “Terms and Conditions”) shall supersede any provisions, terms, and conditions contained on any purchase order or other written form any direct buyer (“Buyer”) may use or provide (whether received by S.J. Electro Systems, Inc. or any of its subsidiaries or affiliates (collectively, “SJE”) prior or subsequent to the date hereof), and the rights of the parties shall be governed exclusively by the Terms and Conditions as described herein. SJE sells certain services, products, replacement parts and related software (collectively, the “Goods”). The purchase of the Goods is governed by the Terms and Conditions. Any communication by Buyer to SJE to purchase Goods will be treated by SJE as a request to purchase the Goods. The response, however communicated, will be understood by all parties as an agreement by SJE to sell to Buyer the requested Goods pursuant to the Terms and Conditions. **SJE specifically opposes any terms or conditions that are in addition to or different from the Terms and Conditions, unless specifically agreed to in each instance in writing by SJE.**

**Quotations, Acceptance, and Agreements:** Any quotation is a good faith estimate. To the extent that SJE has been provided by or on behalf of Buyer any specifications, description of operating conditions or other data and Information In connection with the selection or design of the Goods, and the actual operating conditions or other circumstances differ from those provided by Buyer and relied upon by SJE, any warranties or other provisions contained herein which are affected by such conditions shall be null and void.

Acceptance of a quotation, whether by a separate purchase order or by other means, shall constitute an acknowledgement and approval of the quotation as written and an acceptance of the Terms and Conditions. Written quotations which have not been finalized by a binding purchase order shall expire on the date specified in the quotation or, in the absence of such specification, thirty (30) calendar days from the date issued. SJE may revise or withdraw a quotation at any time prior to the finalization of a binding purchase order.

*Per company policy, a separate written agreement signed by both parties or a purchase order accepted and acknowledged by SJE is required to form any legally binding agreement.*

**Intellectual Property:** All devices, patents, designs (including drawings, plans and specifications), software existing or to be developed, estimates, prices, notes, memos, summaries, electronic data and other documents or information prepared or disclosed by SJE shall remain the sole intellectual property of SJE. Following acceptance and final payment, SJE shall grant to Buyer a non-transferable, non-exclusive license for use and sale of the Goods.

**Credit Approval:** The credit terms granted on each order are subject to SJE’s continuing approval of Buyer’s credit. SJE may withdraw the extension of credit and require modified payment terms if, in SJE’s sole judgment, Buyer’s credit or financial standing is impaired such that SJE in good faith deems payment insecure.

**Prices and Taxes:** All prices are FOB shipping point, unless otherwise stated or referenced in attached exhibits. All prices are subject to any commercially reasonable additions that may be necessary to cover any duties, taxes or charges. All prices are in U.S. Dollars. Prices may be subject to change without notice.

**Shipping Policy:** Shipping and handling charges cover the transportation of the Goods from SJE’s warehouse to Buyer, unless otherwise specified. Standard shipping rates are assessed upon placement of order. SJE uses many methods of shipment including UPS shipping services but reserves the right to substitute carriers without notice. UPS next-day air, UPS second-day air, UPS three-day ground, UPS Express and UPS Expedited are services available to Buyer for expediting orders. Expedited orders will be shipped based on the method Buyer selects. These services may not be available for shipment into all countries.

*While SJE will use all reasonable commercial efforts to maintain the delivery date(s) acknowledged or quoted by SJE, all shipping dates are approximate and not guaranteed. SJE reserves the right to make partial shipments. SJE, at its option, shall not be bound to tender delivery of any Goods for which Buyer has not provided shipping instructions and other required information. If the shipment of the Goods is postponed or delayed by Buyer for any reason, Buyer agrees to reimburse SJE for any and all storage costs and other additional expenses resulting therefrom. The actual shipping weights may vary.*

**Title, Risk of Loss, Inspection of Equipment:** Title and risk of loss to the Goods shall pass to Buyer upon delivery of the Goods to the respective delivery carrier. Buyer shall immediately inspect the Goods upon receipt and any damage must be noted on the delivery carrier’s bill of lading at time of receipt. SJE is not liable for any damages caused by shipping. SJE is not liable for any shortages or nonconformance unless notified by Buyer within two (2) business days of Buyer’s receipt of the Goods.

**Operations/Maintenance Manuals:** Installation, maintenance and operation manuals will be furnished to Buyer in the number of copies specified at the time of quotation or order. Additional copies subject to charges as outlined in attached exhibits.

**Installation and Use:** Buyer will be solely responsible for the proper application, installation and service of the Goods. Installation instructions are supplied by SJE and must be followed.

**Export/Import:** Buyer agrees that all applicable import and export control laws, regulations, orders and requirements, including, but not limited to, those of the United States and the European Union, and the jurisdictions in which SJE and Buyer are established or from which Goods may be supplied, will apply to their receipt and use. In no event shall Buyer use, transfer, release, import, or export Goods in violation of such applicable laws, regulations, orders or requirements.

**Payment:** Buyer shall pay SJE the full purchase price as set forth in the respective order between SJE and Buyer. Unless otherwise agreed to in writing between SJE and Buyer, freight, storage, insurance, taxes, duties, and any governmental charges relating to the Goods shall be paid by Buyer. If SJE is required to pay any such charges, Buyer shall immediately reimburse SJE upon notice from SJE of same. All payments are due within approved credit terms. Buyer may be charged the lower of 1.5% interest per month or the maximum legal rate on all amounts not received by the due date described therein.

**Security Interest:** SJE shall retain a security interest in the Goods until the full purchase price has been paid. Buyer’s failure to pay any amounts due, including interest, shall give SJE the right to possession and removal of the Goods after providing ten (10) days written notice to Buyer. SJE’s taking of such possession shall be without prejudice to any other remedies SJE may have.

**Changes, Cancellations, Returns:** Buyer may request changes or additions to the Goods consistent with SJE’s specifications and criteria. In the event such changes or additions are accepted by SJE, SJE shall have the absolute right to revise the prices and dates of delivery, and to add charges for work and materials rendered unnecessary by such changes or additions. All changes, cancellations, or returns must have SJE prior written approval and subject to restocking fees and service charges. Authorized returns must be packaged and shipped prepaid to SJE.

**Return Policy:** SJE will only accept Goods returned within one (1) year from the date of manufacture, un-used, and current production models. Returned Material Authorization (“RMA”) numbers must be assigned to any Goods Buyer wishes to return for credit. To obtain an RMA, Buyer must contact SJE’s Service Center at 218-847-1317 or toll free at 888-342-5753. Buyer is responsible for payment of return shipping fees unless such returned Goods result from an SJE order processing error. Upon return, SJE shall reimburse Buyer for the return freight resulting from the return of Goods due to such SJE order processing error. In the event of any return in compliance with this paragraph, SJE will provide Buyer credit for the returned Goods and work to reship correct Goods to Buyer. SJE reserves the right to refuse acceptance of returned Goods after inspection. SJE will not accept returns for Goods that are custom-built for Buyer as such items cannot be resold by SJE; however, custom-built Goods remain subject to applicable warranty provisions in each case.

*Notwithstanding the foregoing (and so long as the return is not due to an order processing error of SJE), a restocking fee shall be charged to Buyer for returned Goods as outlined in the attached Exhibits.*

**Force Majeure:** SJE shall not be liable or responsible to Buyer, nor be deemed to have defaulted under or breached any agreement with Buyer, for any failure or delay in fulfilling or performing any term of any agreement with Buyer, when and to the extent such failure or delay is caused by or results (directly or indirectly) from acts beyond SJE’s reasonable control, including, without limitation: (a) acts of God; (b) flood, fire, earthquake or explosion; (c) war, invasion, hostilities (whether war is declared or not), terrorist threats or acts, riot or other civil unrest; (d) government order or law; (e) actions, embargoes or blockades in effect on or after the date of any subject agreement between SJE and Buyer; (f) action by any governmental authority; (g) national or regional emergency; (h) strikes, labor stoppages or slowdowns or other industrial services; or (i) any other cause beyond the reasonable control of SJE.

**Indemnification and Default:** In addition to all other amounts due hereunder, Buyer shall reimburse SJE in full for all collection costs or charges, including reasonable attorney fees, which SJE may incur in the collection of any past due amounts from Buyer, including applicable interest on overdue accounts. If Buyer is in default under this or any other agreement with SJE, SJE may defer performance hereunder until such default is resolved. SJE shall have no obligation to provide factory startup assistance or factory training (when requested) until all invoices (including retentions) for equipment have been paid in full. Furthermore, SJE shall have no liability to Buyer to the extent Buyer damages, or any damages are suffered by, or claims are made against Buyer as a result of Buyer’s negligence, willful misconduct, misrepresentation of any Goods, or failure to utilize the Goods properly.

**Warranty and Liability:** During the warranty period, Buyer’s exclusive remedy will be either repair or replacement, at the sole discretion of SJE and subject to the Terms and Conditions of any component which proves to be defective due to defective materials or workmanship of SJE.

*SJE DISCLAIMS ANY IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR PARTICULAR PURPOSE, AND SJE SHALL NOT, IN ANY MATTER, BE LIABLE FOR ANY SPECIAL, INDIRECT, PUNITIVE, INCIDENTAL OR CONSEQUENTIAL DAMAGES, INCLUDING LIQUIDATED DAMAGES, OR PENALTIES THAT RESULT FROM A BREACH OF CONTRACT, BREACH OF WARRANTY (EXPRESS OR IMPLIED), STRICT LIABILITY, PRODUCT LIABILITY OR OTHERWISE. IN NO EVENT SHALL SJE’S LIABILITY TO BUYER OR ANY OTHER PARTY EXCEED THE LESSER OF (i) THE COST OF REMEDIATING ANY DEFECT OR DEFICIENCY IN THE PERFORMANCE OF SJE HEREUNDER OR (ii) THE PURCHASE PRICE OF THE GOODS IN RESPECT OF WHICH THE CLAIM IS MADE.*

*ANY ELECTRICAL WIRING AND SERVICING OF THE GOODS MUST BE PERFORMED BY A LICENSED ELECTRICIAN. WARRANTY CLAIMS FOR GOODS WHICH WERE AT ANY TIME WIRED OR SERVICED BY ANYONE OTHER THAN A LICENSED ELECTRICIAN SHALL NOT BE HONORED IN WHOLE OR PART BY SJE.*

*Furthermore, this warranty shall not apply to: (a) damage due to any weather-related or other conditions beyond the control of SJE; (b) defects or malfunctions resulting from the Goods not installed, operated, or maintained in accordance with instructions provided, applicable local codes, ordinances, or accepted trade practices; (c) failures resulting from abuse, misuse, accident, or negligence; or (d) Goods repaired and/or modified without prior written authorization from SJE.*

*Some states do not allow limitations on implied warranty duration, as such, this limitation may not apply to Buyer. Some states do not allow the exclusion or limitation of incidental or consequential damages, as such, these limitations or exclusions may not apply to Buyer. The above-described warranty gives Buyer specific legal rights, and Buyer may also have other rights which vary from state to state.*

**TO OBTAIN WARRANTY SERVICE:** Buyer shall assume all responsibility and expense for removal, reinstallation, and freight associated with any warranty service. Any Goods to be repaired or replaced under this warranty must be returned to SJE, or such place as designated by SJE. Buyer can contact SJE Service Center at 218-847-1317 or toll free at 888-342-5753 for an RMA on any Goods being submitted for a warranty claim.

**Applicable Law and Forum:** Any disputes between Buyer and SJE shall be venued in Becker County District Court in the State of Minnesota. Buyer agrees to submit to such jurisdiction and agrees that the dispute shall be governed by and construed in accordance with the laws of the State of Minnesota without giving effect to any choice or conflict of law pro



**ALTRONEX**  
CONTROL SYSTEMS

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# MEMORANDUM

**DATE:** Wednesday, March 27, 2024

**TO:** Caledonia Utility District

**FROM:** Anthony A. Bunkelman P.E.  
Public Services Director



**RE:** Conditional Approval – Civil Engineering Infrastructure Plan - Cold Storage  
Built to Suit - Caledonia Corporate Park – Zilber Property Group

## BACKGROUND INFORMATION

Andrew Shoaf P.E. of Pinnacle Engineering Group has prepared a Civil Engineering Infrastructure Plan for the Cold Storage Build to Suit at the Caledonia Corporate Park, a commercial business park located on the South side of Highway K, just East of the East Frontage Road. The Cold Storage Built to Suit is located on the South side of Baxter Court and proposes a 310,561 sq ft building.

The Infrastructure Plan is for the necessary for Sanitary Sewer, Sanitary Sewer Lateral, Private Watermain, Water Lateral, and Storm Sewer Improvements that are necessary for the development.

The Zilber Property Group has provided the Village with their intent to construct a building requiring sanitary sewer on the South portion of the Caledonia Corporate Park. The Village has since restarted the TID #4 Phase 4 Sanitary Sewer Project. The TID #4 Phase #4 Sanitary Sewer Project will provide sanitary sewer from the South (through farm fields back to Highway K). The Developer will need to extend the Sanitary Sewer on this lot to serve the remainder of the Development (since it is no longer 1 large building). An Easement will need to be granted for the Sanitary Sewer Project and the Sanitary Sewer Extension.

The existing Watermain within the Caledonia Corporate Park will serve the building. It is recommended that due to the amount of private watermain being installed on this site, a master meter be installed (outside of the fence). An Easement will need to be granted for the master meter vault.

The Storm Water Management for the site has been taken care of by the existing storm water ponds constructed with the development of the Park. The proposed storm sewer on the site will serve this site and will need to be directed to the storm water ponds. The Storm Sewer along the South side of the building will need to be extended (to the Storm Water Pond) or a swale will need to be graded on the abutting property to ensure that the runoff reaches the storm water pond. Easements will need to be granted as necessary for this storm sewer / swale.

The Civil Engineering Infrastructure Plan has been submitted and reviewed by the Village Engineer and the Public Services Director. The Plans are in conformance with the Ordinance and are ready for Utility District Conditional Approval.

Included in this packet are the Review Letter and Civil Engineering Infrastructure Plans (redline).

## **RECOMMENDATION**

**Move to approve the Civil Engineering Infrastructure Plan for the Cold Storage Build to Suit in the Caledonia Corporate Park subject to the following conditions.**

- 1) The Design Engineer determines that the Civil Engineering Infrastructure Plan approved by the Caledonia Utility District is technically adequate and is stamped by the Design Engineer.**
- 2) All conditions outlined in the March 27, 2024 letter from the Village Engineer are met.**
- 3) Legal Descriptions and Exhibits for the Property, Water Master Meter Vault Easement, Sanitary Sewer Easement (TID #4 Phase 4 Project), Sanitary Sewer Extension Easement, and Storm Water Easement (storm sewer /swale) are provided, and TI Investors of Caledonia executes the various Easements.**
- 4) The applicant obtains all necessary permits from the Village, County and State as necessary prior to performing the project.**

March 27, 2024

Pinnacle Engineering Group  
c/o Andy Shoaf, P.E.  
20725 Watertown Road Suite 100  
Brookfield, WI 53186

RE: Cold Storage Build to Suit – Caledonia Corporate Park

Dear Mr. Shoaf,

**The Engineering & Utility Department has performed a review of the Civil Engineering Infrastructure Plans for the Cold Storage Build to Suit dated 3.11.24 for submittal and have the following comments:**

#### Sheet C-5

- Note L calls for a 48" Curb and while the detail page calls out a 36" curb. Please clarify and/or correct. I see that overall dimension is 48" with curb head.
  - Recommend showing the modified line work at 48" for this short stretch to emphasize change.
  - Recommend calling out a taper length to transition from one curb section to the other.
- West entrance shows a street light pole in the proposed driveway. Village Staff believe this was modified upon installation to be on the north side of Baxter Court. Please clarify and update the drawings.
- Provide Turning Template for West Access as it violates Village Ordinance for width. Design Vehicle should be shown proving the width is required.

#### Sheet C-6

- Provide a curb and gutter (18" should be fine) along the south side of the south drive to intercept the drainage from crossing the roadway. Should run the majority of the length of the south drive until the asphalt/concrete transition.
- Recommend showing the sanitary manhole location for grading purposes.
  - Manhole rim grade may be an error – appears to be 10' lower than existing grade.
- Retaining Wall possible conflict with fence at the 90 degree bend. Clarify fence and wall layout and modify if necessary.
- Provide retaining wall detail.



- Storm Sewer outlet onto adjacent property. Invert grade appears to require 10' cut and there should be a proposed easement in order to take this drainage across another lot.
  - Is there an overall plan for that line? (besides running to the pond).
  - Recommend easement coordinates with possible sanitary easement and push as far south as possible to accommodate future buildouts?
- Three (3) ROW access permits required and Three (3) driveway permits required. Will allow 1 permit each with 3x the fee.
- Provide inlet rim grade at the West driveway.
  - Standards require boot felt 3' each way of inlet. New driveway will require boot felt shifted south along curb line into radius.
- Property Gate and Fence at far east access appears as if it will have to follow a lot of grade change up and down as it runs west. Possible to shift fence north to top of bank to reduce the grade changes?
- **\*\*Discussion\*\*** - Possibility to run west lot line drainage swales and inlet system along the lot line? Work with Zilber and possible development to the west to keep everything centered on lot line?

#### Sheet C-7

- Will need to grant Sanitary Sewer Easement for Village Project over the proposed main and lateral – sampling manhole. Will need to discuss how this is accessed with the user.
- Will need to design and construct sanitary sewer main extension and grant easement for remaining lots to the west for this development. It will be developers responsibility to extend sanitary sewer from the Village main to the balance of the lot.
- Sanitary Sewer Manhole 35-54 has incorrect Rim Grade. Village Plans show 765.50.
- Provide detail for Outside Drop.
- Provide greater separation of the sampling manhole from the Fire Protection Loop. (8' preferred)
- Storm Sewer ES 116.1 – Invert grade 10' lower than plan grades. Discuss overall plan here per previous comments.
- Storm BC 106.1 – why not run pipe straight into CB? Eliminate bend?
  - Same with BC 104.3, 104.2 and 103.1.
- Storm BC 103.1 – is this location correct? Appears to be a high point on Werner Roof Plan.
- Confirming the 36" RCP line is accurate due to cover issues and not an error in callout?
- Will need to install a master meter vault on water lateral at east access (outside of fence).

## Detail Sheets

- Correct curb and gutter detail naming.
- Provide retaining wall detail.

## General Comments

- The Engineering Department & Utility District retains the right to additional review comments until the plans are approved.
- Once approved, 3 sets of stamped hard copies, 1 electronic (pdf) copy are to be submitted for the building plans and infrastructure plans.
- The building will require the application for all necessary state/county/local permits. Local permits include the Building Permit, Land Disturbance permit ROW access, Site Grading, etc.

If there are any questions about the grading, paving, and storm sewer plans, please contact me at [rschmidt@caledonia-wi.gov](mailto:rschmidt@caledonia-wi.gov) or 262-835-6475. If there are any questions about the utilities, please contact Tony Bunkelman at [abunkelman@caledonia-wi.gov](mailto:abunkelman@caledonia-wi.gov) or 262-835-6416.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ryan Schmidt". The signature is stylized with a large, looping "R" and a cursive "Schmidt".

Ryan Schmidt, PE  
Village Engineer  
Village of Caledonia



THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC. DESIGNED: ASB, CHECKED: JAS, DRAFTED: EP

CIVIL ENGINEERING INFRASTRUCTURE PLANS  
FOR  
**COLD STORAGE BUILD TO SUIT**  
VILLAGE OF CALEDONIA, WI

PLANS PREPARED  
FOR

**ZILBER**  
PROPERTY GROUP<sup>SM</sup>

LEGEND

	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER CATCH BASIN (ROUND CASTING)	⊙	●
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	□	■
PRECAST FLARED END SECTION	△	▶
CONCRETE HEADWALL	∩	∩
VALVE BOX	⋈	⋈
FIRE HYDRANT	⋈	⋈
CLEANOUT	⊠	⊠
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—W—	—W—
FIRE PROTECTION	—	—FP—
ELECTRICAL CABLE	—E—	—E—
OVERHEAD WIRES	—OHW—	—OHW—
GAS MAIN	—G—	—G—
TELEPHONE LINE	—T—	—T—
UTILITY CROSSING		⊕
CAUTION EXISTING UTILITIES NEARBY		⊕
GRANULAR TRENCH BACKFILL		⊕
LIGHTING	⊕	⊕
ELECTRICAL TRANSFORMER OR PEDESTAL	⊕	⊕
POWER POLE	⊕	⊕
POWER POLE WITH LIGHT	⊕	⊕
GUY WIRE	⊕	⊕
STREET SIGN	⊕	⊕
CONTOUR	—749—	—749—
SPOT ELEVATION	× (750.00)	± 750.00
WETLANDS	—	—
PRIMARY ENVIRONMENTAL CORRIDOR	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	→	→
DIVERSION SWALE	→	→
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊕	⊕
SOIL BORING	⊕	⊕
TOPSOIL PROBE	⊕	⊕
FENCE LINE, TEMPORARY SILT	—SF—	—SF—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

ABBREVIATIONS

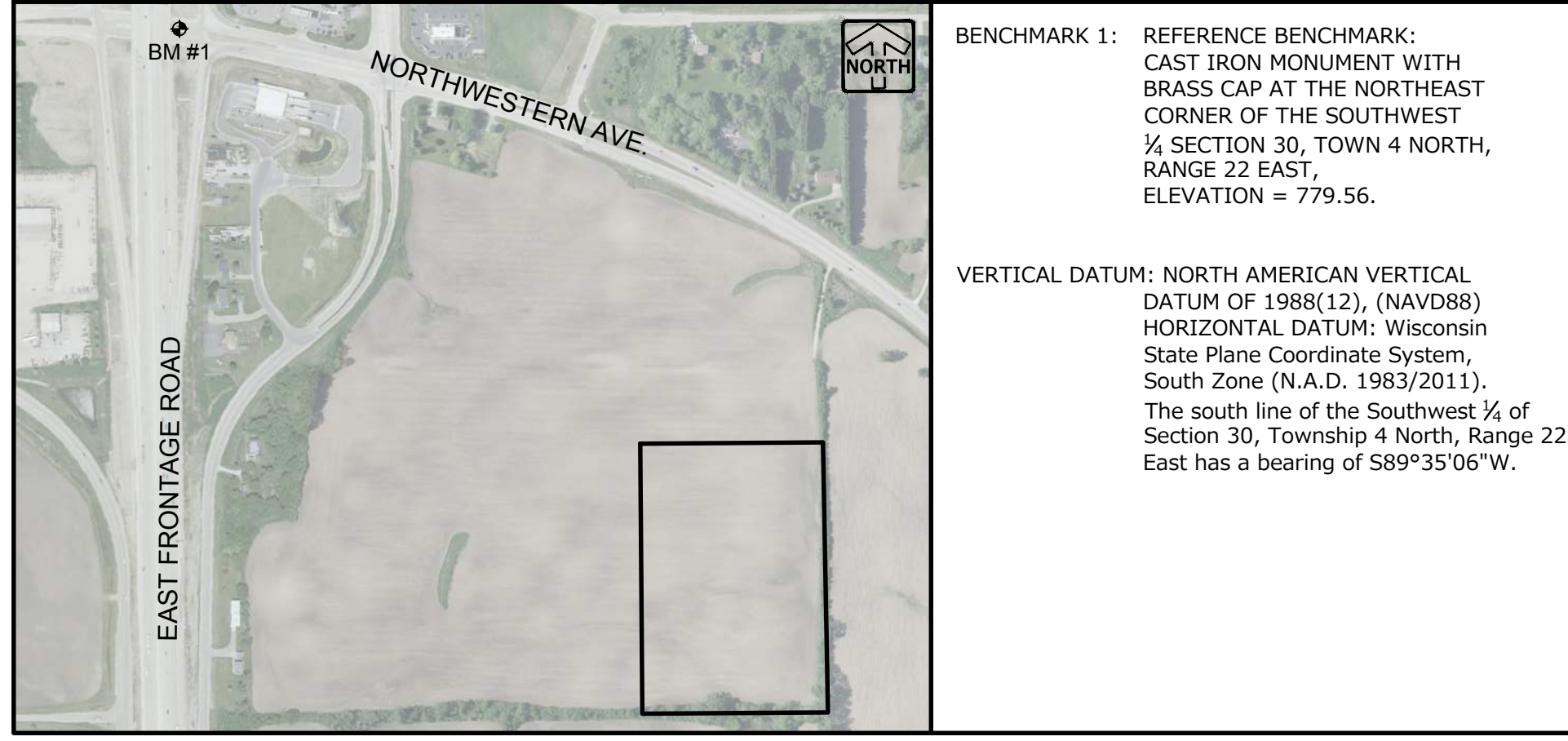
BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TF	TOP OF FOUNDATION
FP	FLOODPLAIN	TP	TOP OF PIPE
FR	FRAME	TS	TOP OF SIDEWALK
FW	FLOODWAY	TW	TOP OF WALK
HWL	HIGH WATER LEVEL	WM	WATER MAIN
INV	INVERT	Δ	INTERSECTION ANGLE
L	LENGTH OF CURVE		
MH	MANHOLE		



GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- A DRAFT GEOTECHNICAL REPORT HAS BEEN PREPARED BY ECS ON 12/21/2021. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

BENCHMARKS



PROJECT TEAM CONTACTS

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REQUIRED SUBMITTALS FOR APPROVAL

- ASPHALT PAVEMENTS
- CONCRETE PAVEMENTS (EXTERIOR)
- STONE BASE COURSE
- TRENCH BACKFILL
- PIPE BEDDING

REQUIRED SUBMITTALS FOR RECORDS

- WATER MAIN PIPE FITTINGS
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND UTILITY RECORD DRAWINGS
- CHEMICAL SOIL STABILIZATION MIX DESIGN (IF APPLICABLE)



EXPIRATION DATE: JULY 31, 2024

PINNACLE ENGINEERING GROUP, LLC  
ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.


**COLD STORAGE  
BUILD TO SUIT**  
VILLAGE OF CALEDONIA, WI

COVER SHEET

REVISIONS

1	MUNICIPAL SUBMITTAL	03/11/24			

REC JOB NO. 1912.30-WI	AREA	SHEET
REC PLAN	12/19/23	C-1
START DATE	SCALE	C-11



**PINNACLE ENGINEERING GROUP**  
ENGINEERING | NATURAL RESOURCES | SURVEYING

PLAN | DESIGN | DELIVER  
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SITE AND DIMENSIONAL PLAN NOTES

1. ALL DIMENSIONS ARE EDGE OF PAVEMENT, FACE OF CURB, SHOULDER, OR CENTER OF LANE LINE UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
2. ALL PROPOSED CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER (SEE DETAIL), UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.
3. BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
5. IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
6. REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
7. ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF CALEDONIA, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
8. CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
9. PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
10. THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
11. DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
12. LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
13. PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
14. BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
15. ASPHALTIC CONCRETE PAVING SPECIFICATIONS-  
  
CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.  
  
WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (1° C).  
  
GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.  
  
CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.  
  
BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.  
  
SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.  
  
ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.  
  
SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
16. TRAFFIC CONTROL SHALL BE PER M.U.T.C.D.
17. PUBLIC CURB & GUTTER REPLACEMENT SHALL BE TIED TO EXISTING CURB & GUTTER WITH #4 TIE BARS. PUBLIC CURB & GUTTER SHALL BE A 6-BAG MIX.

GRADING NOTES

1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
2. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
3. SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE CURB AND GUTTER FLOWLINE UNLESS OTHERWISE NOTED.
4. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.  
  
CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.  
  
THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
5. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
6. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
7. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
8. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL, OR THE MAXIMUM COMPACTION LIFT DEPTH.
9. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
10. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
11. THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
12. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
13. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
15. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
16. CONTRACTOR SHALL COMPLY WITH ALL VILLAGE OF CALEDONIA CONSTRUCTION STANDARDS/ORDINANCES.
17. LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.
18. TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3%(s) OPTIMUM MOISTURE CONTENT.
19. SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY PINNACLE ENGINEERING GROUP. IN NO WAY DOES PEG WARRANT THE BASEMAP IS ALL INCLUSIVE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CONTENT AND ACCURACY.

UTILITY NOTES

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
3. UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF CALEDONIA 3RD WORK ORDER AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES SPS 382.
4. LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
5. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
6. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
7. ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
8. THE CONTRACTOR SHALL CONTACT THE VILLAGE OF CALEDONIA PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE CITY-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
9. ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
11. FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL. REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
13. STORM SEWER SPECIFICATIONS -  
  
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:  
  
HEIGHT OF COVER (FEET): 0-2 2-3 3-6 6-15 15-25 25+  
MINIMUM CONCRETE PIPE CLASSIFICATION: IV III II III IV ENGINEER TO SPECIFY  
  
HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL. WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF NASHITO DESIGNATION M-294 TYPE "IS" OR POLYVINYL CHLORIDE (PVC) - CLASS PS40 MEETING NASHITO M278. AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.  
  
INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-0" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-2502 WITH TYPE D GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3067, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.  
  
BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".  
  
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1661 W/ NEENAH R-1660-0003 ROCKING COVER W/ 2 PICK HOLES AND 8 VENT HOLES
14. WATER MAIN SPECIFICATIONS -  
  
PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 235, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.2.7.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.  
  
HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS". THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 24-INCHES. HYDRANT MANUFACTURE: KENNEDY GUARDIAN, HYDRANT AND TAP VALES: TRAFFIC MODEL W/ BREAKAWAY FLANGES, TWO 2-1/2" HOSE NOZZLES (7-1/2" NSTO AND ONE 5-1/4" PUMPER OR STEAMER NOZZLE (4 NST), A 1-1/2" PENTAGON OPERATING NUT AND COW OPENING, 6" MECHANICAL JOINT INLET CONNECTION.  
  
BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2.0F THE "STANDARD SPECIFICATIONS".  
  
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. SLURRY BACK FILL UNDER PUBLIC ROAD PAVEMENT. SLURRY LIMITS: FROM TOP OF COVER STONE TO PAVEMENT. SLURRY TO BE 1-BAG PORTLAND MIX. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
15. SANITARY SEWER SPECIFICATIONS -  
  
PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.  
  
BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."  
  
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". SLURRY BACK FILL UNDER PUBLIC ROAD PAVEMENT. SLURRY LIMITS: FROM TOP OF COVER STONE TO PAVEMENT. SLURRY TO BE 1-BAG PORTLAND MIX. GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".  
  
MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF CALEDONIA. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.  
  
MANHOLE FRAMES AND COVERS - NEENAH R-1661 FRAME W/ SOLID GASKETED LID AND 2 CONCEALED PICK HOLES. CONFORM TO STANDARD SPECIFICATIONS CH. 3.5.0
16. WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
17. TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES. TRACER WIRE: COPPERHEAD TRACERWIRE #10 SOLID CCS SUPERFLEX (BLUE). WIRE CONNECTORS SHALL BE SNAKEBITE (BLUE) MADE BY COPPERHEAD INDUSTRIES, LLC. THE TRACER WIRE FOR THE SANITARY SEWER LATERAL SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
18. SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT ("WPDES" PERMIT NO. WI-5087831-1) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
3. MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISCHARGE OF EXISTING SURFACE COVER. AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATIONS) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:  
  
PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
10. ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE PROJECT. CONTRACTOR HAS COMPLETED THE PROJECT.
12. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
13. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.
14. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
15. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
16. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
17. ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN 755BN EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
18. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
19. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
20. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH OF THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.

COLD STORAGE  
BUILD TO SUIT  
VILLAGE OF CALEDONIA, WI

GENERAL NOTES

REVISIONS

1	MUNICIPAL SUBMITTAL	03/11/24	—	—	—
—	—	—	—	—	—
—	—	—	—	—	—
—	—	—	—	—	—

PEG JOB NO. 1912-30-WI  
PEG PM: AEA  
START DATE: 12/19/23  
SCALE: INT'S

SHEET  
C-2  
C-11



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CURVE TABLE				
CURVE NO.	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	684.45'	758.00'	N25°14'37"E	661.43'
C2	669.68'	4378.00'	S68°51'11"E	669.02'
C3	641.75'	4227.18'	S61°01'02"E	641.13'

NE CORNER, SW 1/4  
SEC. 30, T4N, R22E  
(FOUND MON. W/ BRASS CAP)  
N=290,554.49; E=2,517,908.11  
(WISCONSIN STATE PLANE CO-  
ORDINATE SYSTEM, SOUTH ZONE)

NE CORNER, SW 1/4  
SEC. 30, T4N, R22E  
(FOUND CAST IRON MON. W/  
BRASS CAP)  
N=290,584.40; E=2,520,342.55  
(WISCONSIN STATE PLANE CO-  
ORDINATE SYSTEM, SOUTH ZONE  
REFERENCE BENCHMARK;  
EL.=779.56 (NAVD88))

SE CORNER, SW 1/4  
SEC. 30, T4N, R22E  
(FOUND CAST IRON MON. W/  
BRASS CAP)  
N=287,937.16; E=2,520,391.75  
(WISCONSIN STATE PLANE CO-  
ORDINATE SYSTEM, SOUTH ZONE)  
P.O.B. SURVEY

5X3' FIELD INLET SW CORNER, SW 1/4  
RIM=741.78 SEC. 30, T4N, R22E  
INV=737.86 (24" S) (FOUND CONC. MON. W/ BRASS  
CAP)  
CATCH BASIN N=287,919.41; E=2,517,941.50  
RIM=742.46 (WISCONSIN STATE PLANE CO-  
INV=N/A) ORDINATE SYSTEM, SOUTH ZONE  
SUMP=733.46

LINE OF THE SW 1/4 SEC. 30, T4N, R22E  
S89°35'06"W 2450.31'

UNPLATTED LANDS

TAX KEY #104-04-22-31-011-000

OWNER: HILLSIDE DEVELOPMENT OF  
CAL CALEDONIA LP

UNPLATTED LANDS  
TAX KEY #104-04-22-31-010-000  
OWNER: HILLSIDE  
DEVELOPMENT OF CAL  
CALIFORNIA LR



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**COLD STORAGE  
BUILD TO SUIT  
VILLAGE OF CALEDONIA, WI**

## EXISTING CONDITIONS

## REVISIONS

1	MUNICIPAL SUBMITTAL	03/11/24			

	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 5
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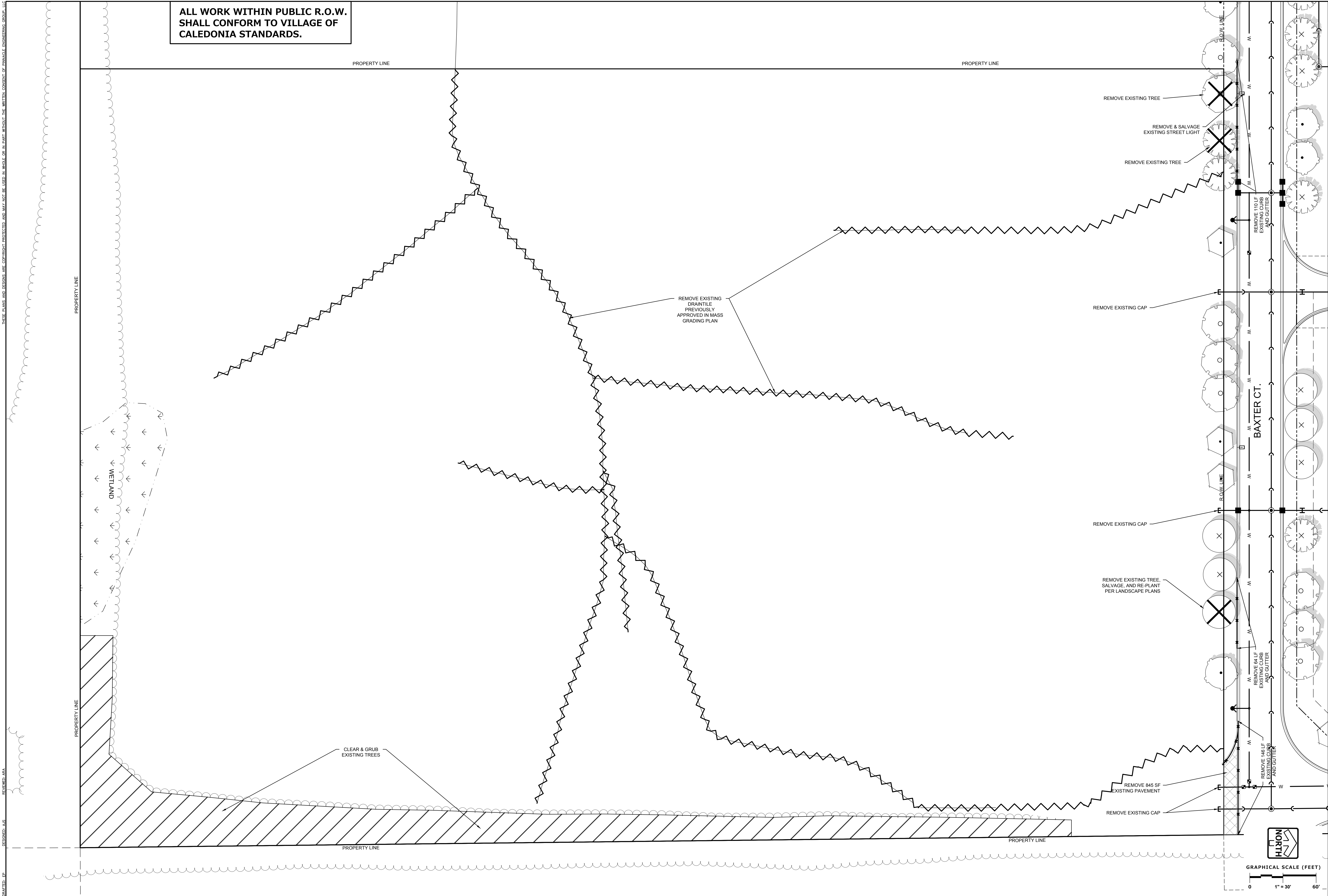
REG JUB NOA 22:50 WTA  
ARA

START DATE 12/19/23

SHEET  
C-3  
OF  
C-11

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DESIGNED: JAS  
DRAFTED: EP  
REVIEWED: ARA



ALL WORK WITHIN PUBLIC R.O.W.  
SHALL CONFORM TO VILLAGE OF  
CALEDONIA STANDARDS.

PROPERTY LINE

PROPERTY LINE

REMOVE EXISTING TREE  
REMOVE & SALVAGE  
EXISTING STREET LIGHT  
REMOVE EXISTING TREE

REMOVE 110 LF  
EXISTING CURB  
AND GUTTER

REMOVE EXISTING  
DRAINTILE  
PREVIOUSLY  
APPROVED IN MASS  
GRADING PLAN

REMOVE EXISTING CAP

BAXTER CT.

REMOVE EXISTING CAP

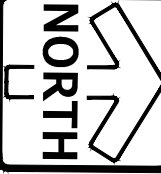
REMOVE EXISTING TREE,  
SALVAGE, AND RE-PLANT  
PER LANDSCAPE PLANS

REMOVE 64 LF  
EXISTING CURB  
AND GUTTER

CLEAR & GRUB  
EXISTING TREES

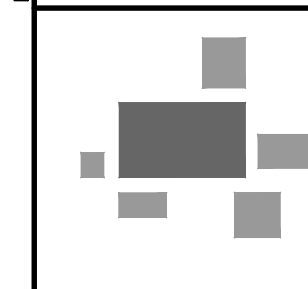
REMOVE 845 SF  
EXISTING PAVEMENT  
REMOVE EXISTING CAP

REMOVE 146 LF  
EXISTING CURB  
AND GUTTER



GRAPHICAL SCALE (FEET)

0 1" = 30' 60'



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# COLD STORAGE BUILD TO SUIT VILLAGE OF CALEDONIA, WI

## DEMOLITION PLAN

REVISIONS	
1. MUNICIPAL SUBMITTAL	03/11/24

REG. JOB NO. 1912.30-WI  
REG. NO. ARA  
START DATE 12/19/23  
SCALE 1" = 30'

SHEET  
**C-4**  
of  
**C-11**

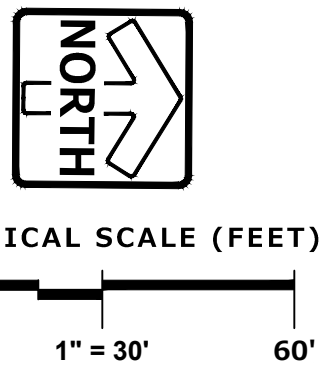
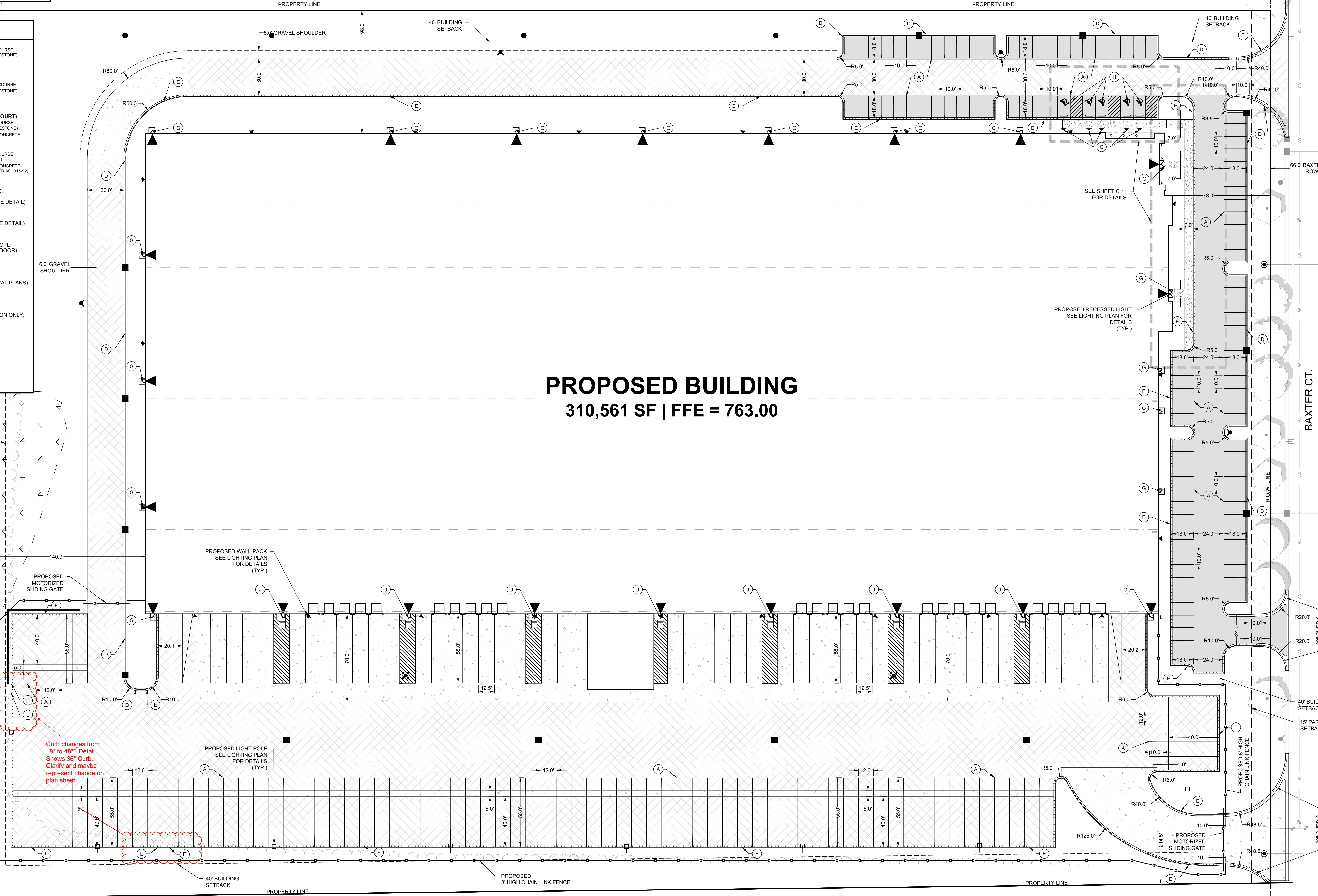


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REVIEWED: AEA  
DESIGNED: JAS  
DRAFTED: EP

SITE DATA	
SITE AREA:	722,062 S.F./16.58 AC
ZONING CLASSIFICATION:	M1
BUILDING FOOTPRINT AREA:	310,561 S.F./7.13 AC/43.00%
PAVING AREA:	200,918 S.F./5.99 AC/36.13%
GREEN SPACE:	150,583 S.F./3.46 AC/20.85%
PARKING PROVIDED (10'x18')	106 (5 ADA)

ALL WORK WITHIN PUBLIC R.O.W.  
SHALL CONFORM TO VILLAGE OF  
CALEDONIA STANDARDS.

LEGEND	
	<b>LIGHT DUTY PAVEMENT</b> - 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED VIRGIN LIMESTONE) - 3/4" ASPHALTIC CONC. (2 LIFTS) - 1.75" LOWER LAYER (SMT 58-28 S) - 1.75" UPPER LAYER (SMT 58-28 S)
	<b>HEAVY DUTY PAVEMENT</b> - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED VIRGIN LIMESTONE) - 4/2" ASPHALTIC CONC. (2 LIFTS) - 2.3" LOWER LAYER (SMT 58-28 S) - 2.0" UPPER LAYER (SMT 58-28 S)
	<b>CONCRETE PAVEMENT (TRUCK COURT)</b> - 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED VIRGIN LIMESTONE) - 6" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH 6x6 GAUGE STEEL MESH)
	<b>CONCRETE SIDEWALK</b> - 4" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 5" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH 6x6 WELDED WIRE FABRIC PER ACI 315-92)
	4" SOLID WHITE STRIPE
	4" DIAGONAL AT 45° SPACED 2' O.C.
	ADA PARKING STALL SIGNAGE (SEE DETAIL)
	18" CURB & GUTTER (SEE DETAIL)
	18" REVERSE CURB & GUTTER (SEE DETAIL)
	TAPER CURB HEAD (SEE DETAIL)
	BUILDING DOOR SLAB (2% MAX SLOPE WITHIN 5-FT OF DRIVE IN OR MAN DOOR)
	ADA STALL INSIGNIA
	ADA CURB RAMP (SEE DETAIL)
	STEEL STAIRS (SEE ARCHITECTURAL PLANS)
	BOLLARD (SEE DETAIL)
	48" VERTICAL CURB AND GUTTER
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	MAN DOOR
	OVERHEAD DOOR
	CURB & GUTTER
	CURB & GUTTER REVERSE PITCH



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BUILD TO SUIT  
VILLAGE OF CALEDONIA, WI

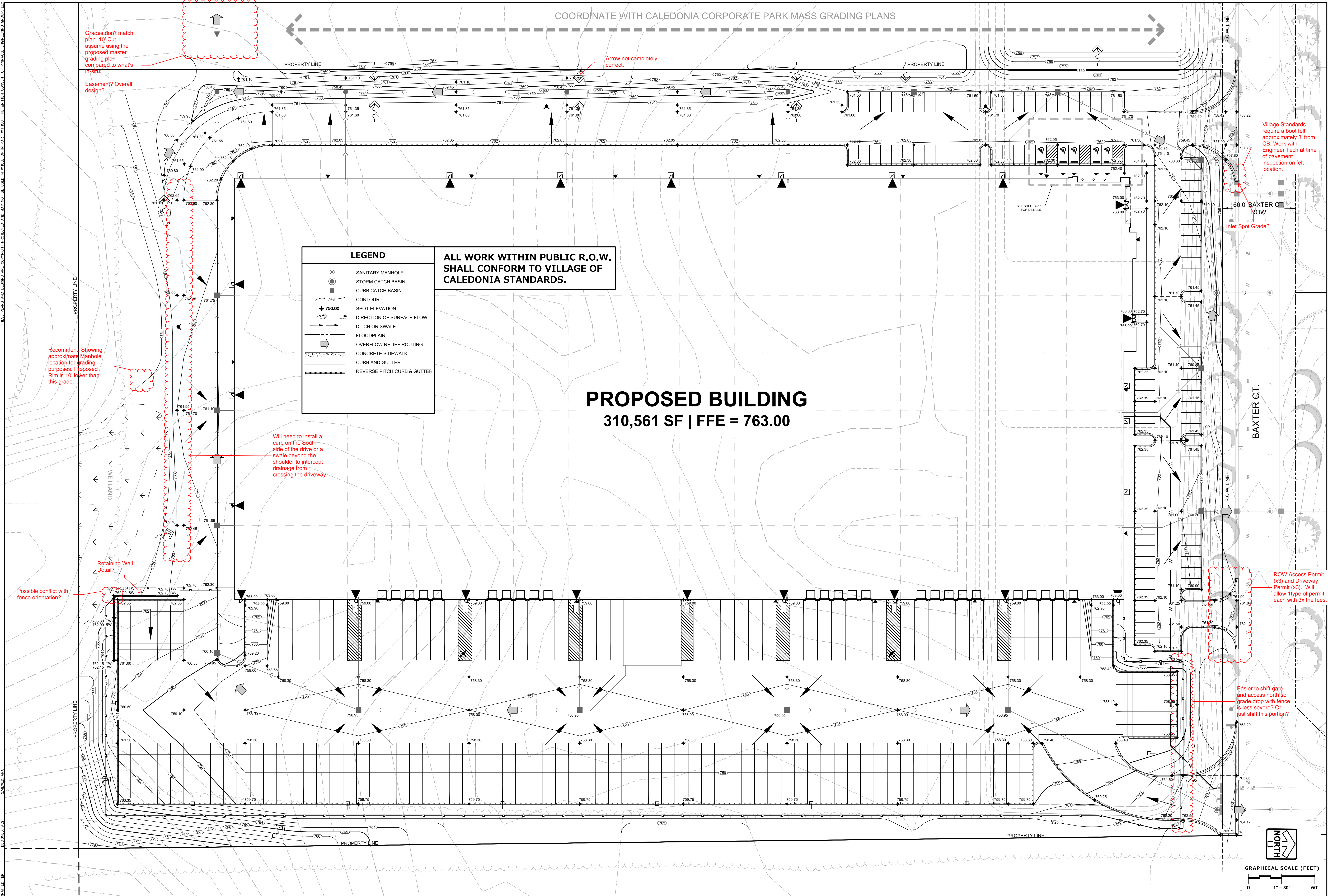
SITE DIMENSIONAL & PAVING PLAN

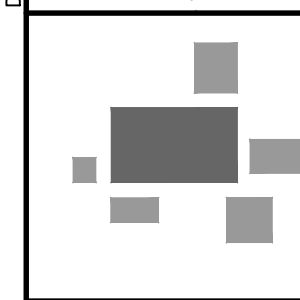
REVISIONS	
1	MUNICIPAL SUBMITTAL 03/11/24

REG. JOB NO. 1912.30-W1	AREA	SHEET
START DATE 12/19/23	SCALE 1"=30'	C-5 of C-11
DATE 03/11/24		



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**COLD STORAGE  
BUILD TO SUIT  
VILLAGE OF CALEDONIA, WI**

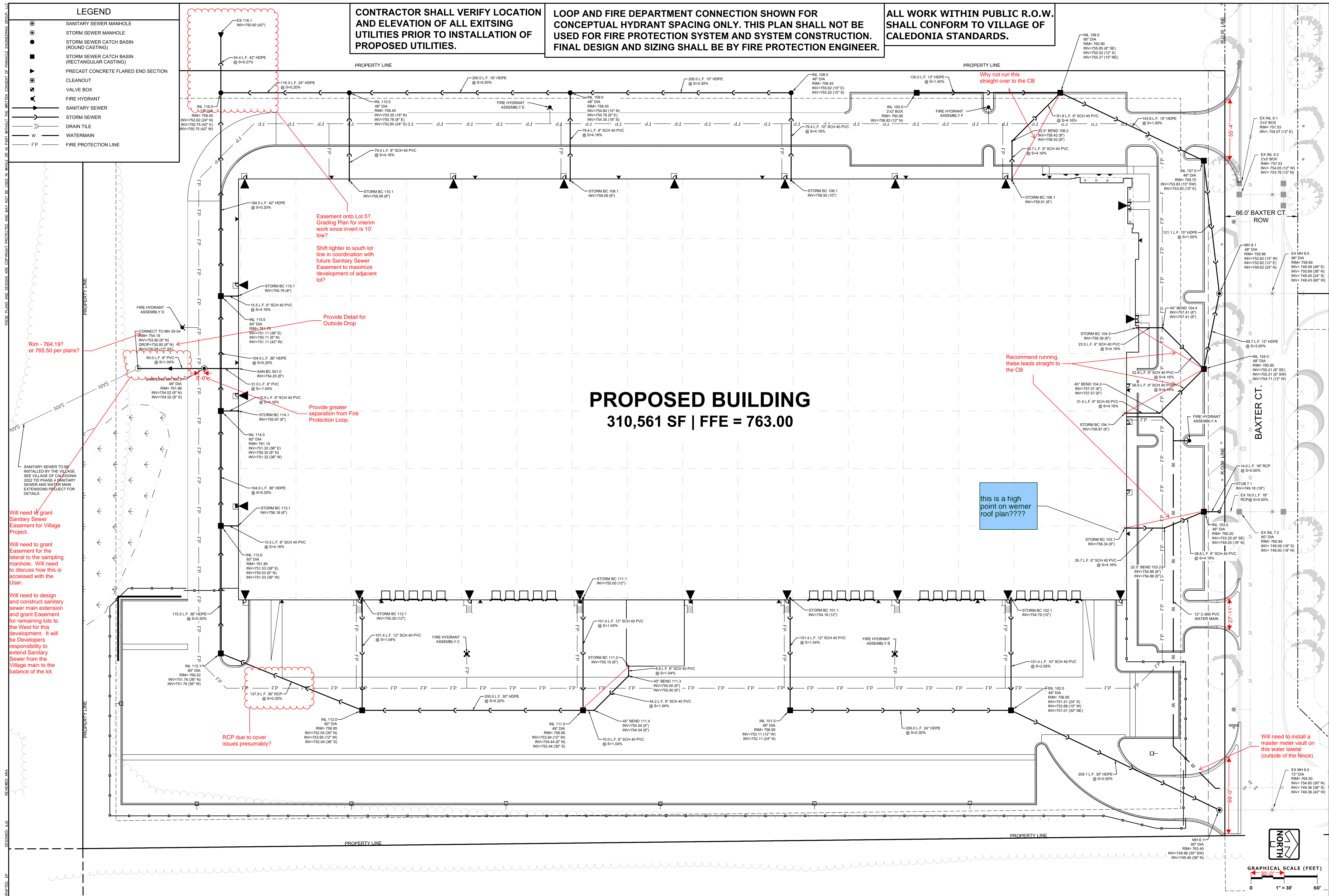
**GRADING PLAN**

REVISIONS	
1. MUNICIPAL SUBMITTAL	03/11/24

REG. JOB NO. 1912.30-WI  
REG. NO. 1912.30-WI  
START DATE: 12/19/23  
SCALE: 1" = 30'

SHEET  
**C-6**  
of  
**C-11**



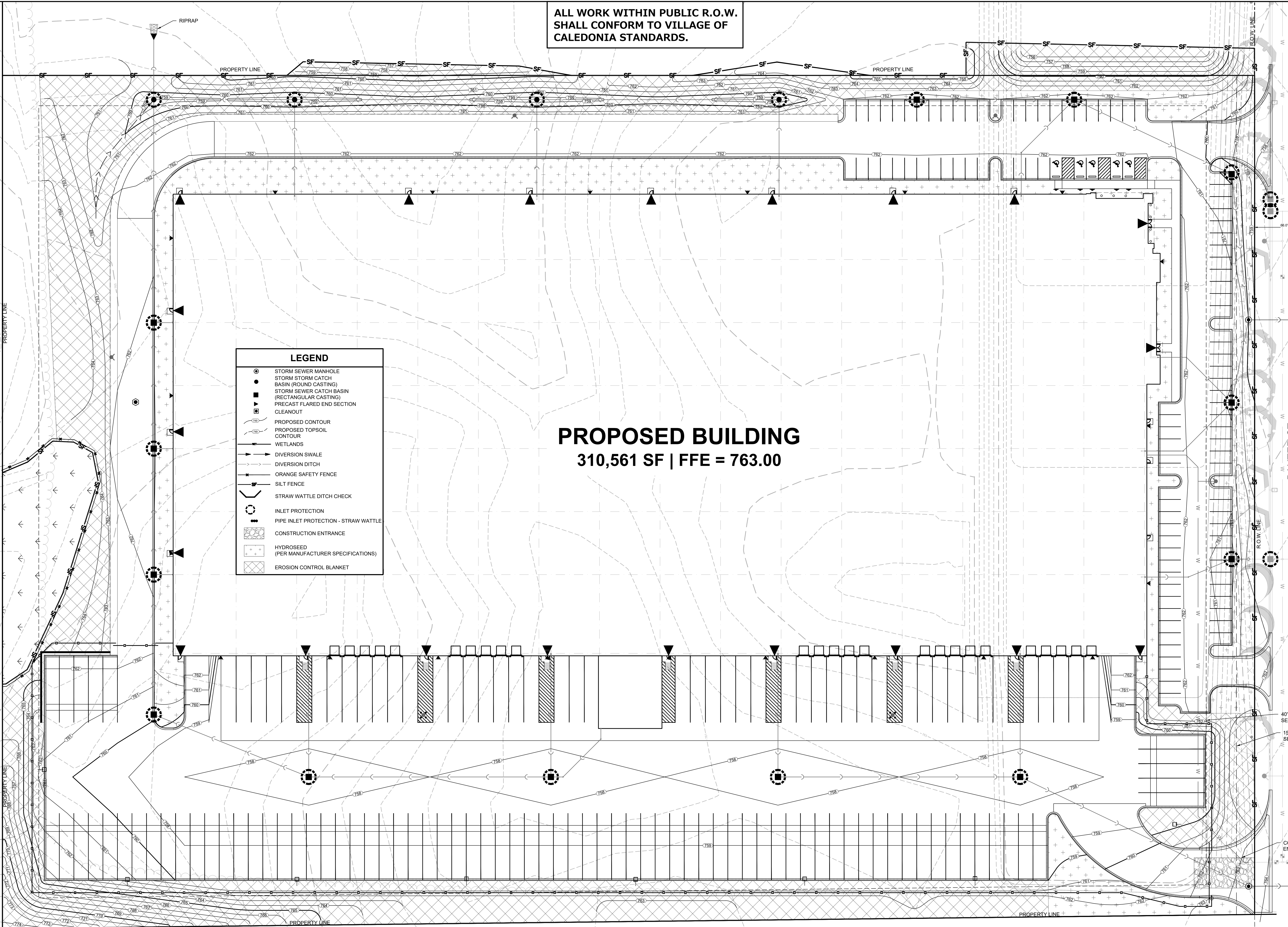




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DESIGNED: JAS  
CHECKED: JAS  
DRAWN: EP  
REVIEWED: JAS

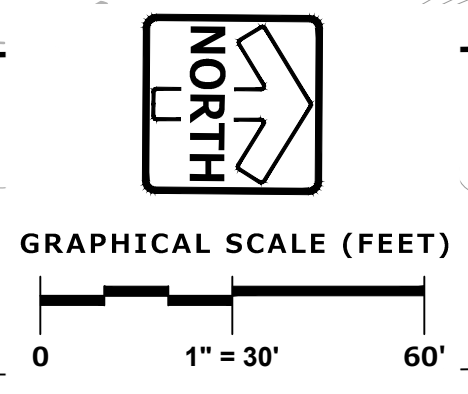
ALL WORK WITHIN PUBLIC R.O.W.  
SHALL CONFORM TO VILLAGE OF  
CALEDONIA STANDARDS.



**LEGEND**

- STORM SEWER MANHOLE
- STORM STORM CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- ▲ PRECAST FLARED END SECTION
- CLEANOUT
- PROPOSED CONTOUR
- PROPOSED TOPSOIL CONTOUR
- WETLANDS
- DIVERSION SWALE
- DIVERSION DITCH
- ORANGE SAFETY FENCE
- SILT FENCE
- STRAW WATTLE DITCH CHECK
- INLET PROTECTION
- PIPE INLET PROTECTION - STRAW WATTLE
- CONSTRUCTION ENTRANCE
- ++ HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
- EROSION CONTROL BLANKET

**PROPOSED BUILDING**  
310,561 SF | FFE = 763.00



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**COLD STORAGE  
BUILD TO SUIT  
VILLAGE OF CALEDONIA, WI**

**SITE STABILIZATION PLAN**

REVISIONS	
1. MUNICIPAL SUBMITTAL	03/11/24

REG. JOB NO. 1912.30-WI  
REG. NO. 1912.30-WI  
START DATE: 12/19/23  
SCALE: 1" = 30'

SHEET  
**C-8**  
of  
**C-11**



**CONSTRUCTION DETAILS**





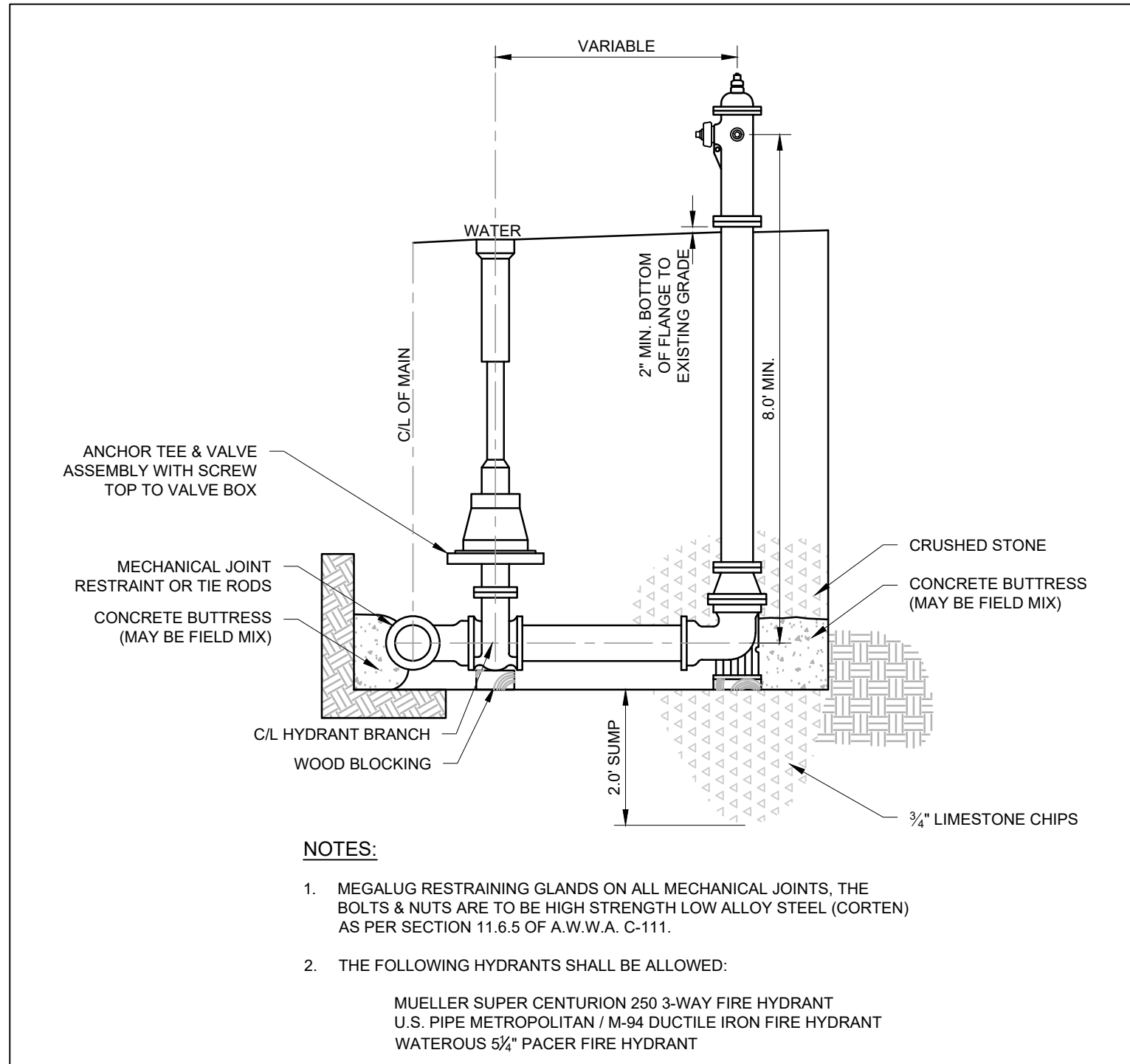


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DESIGNED: JAS

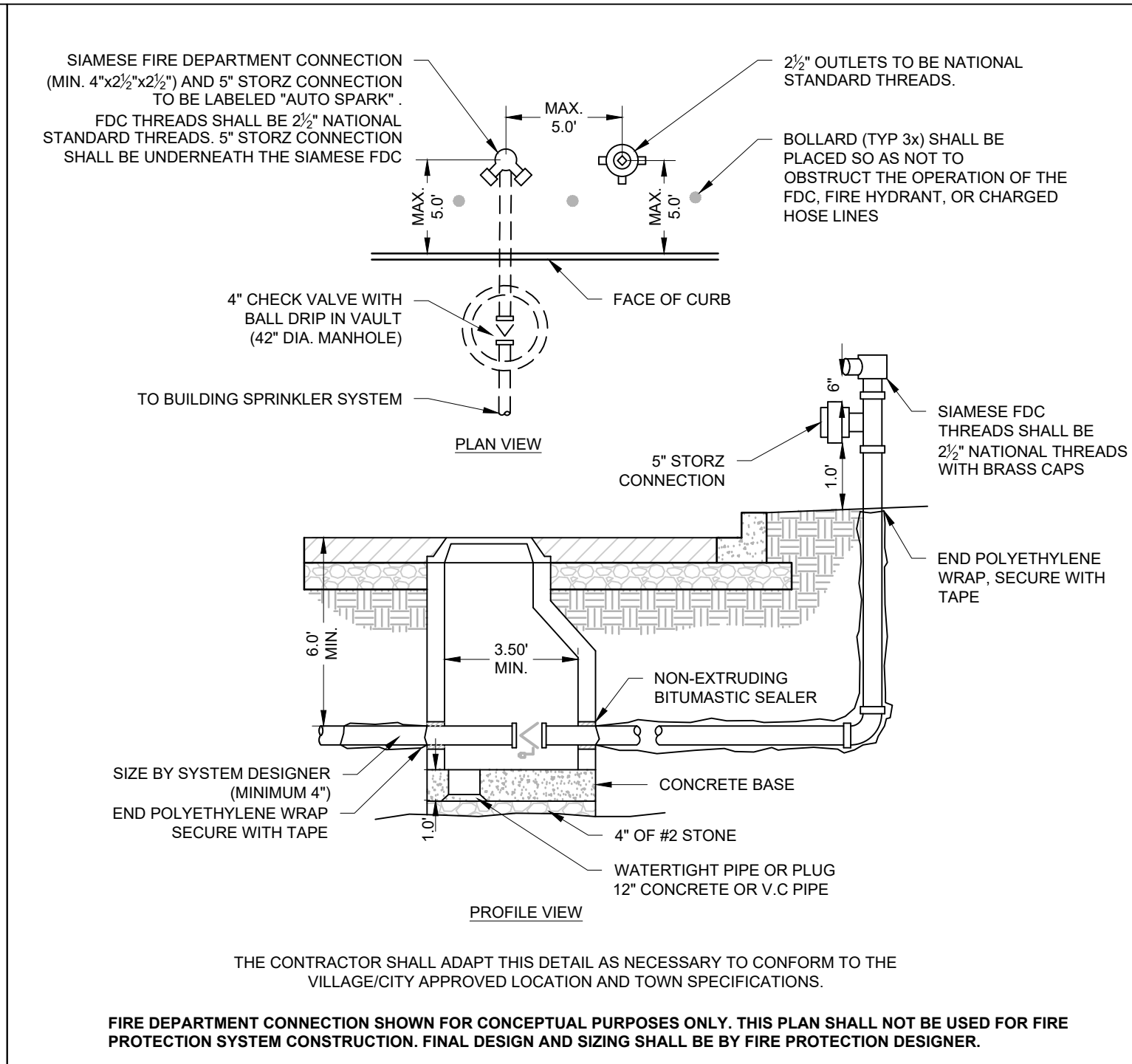
REVIEWED: ASA

DRAWN: EP



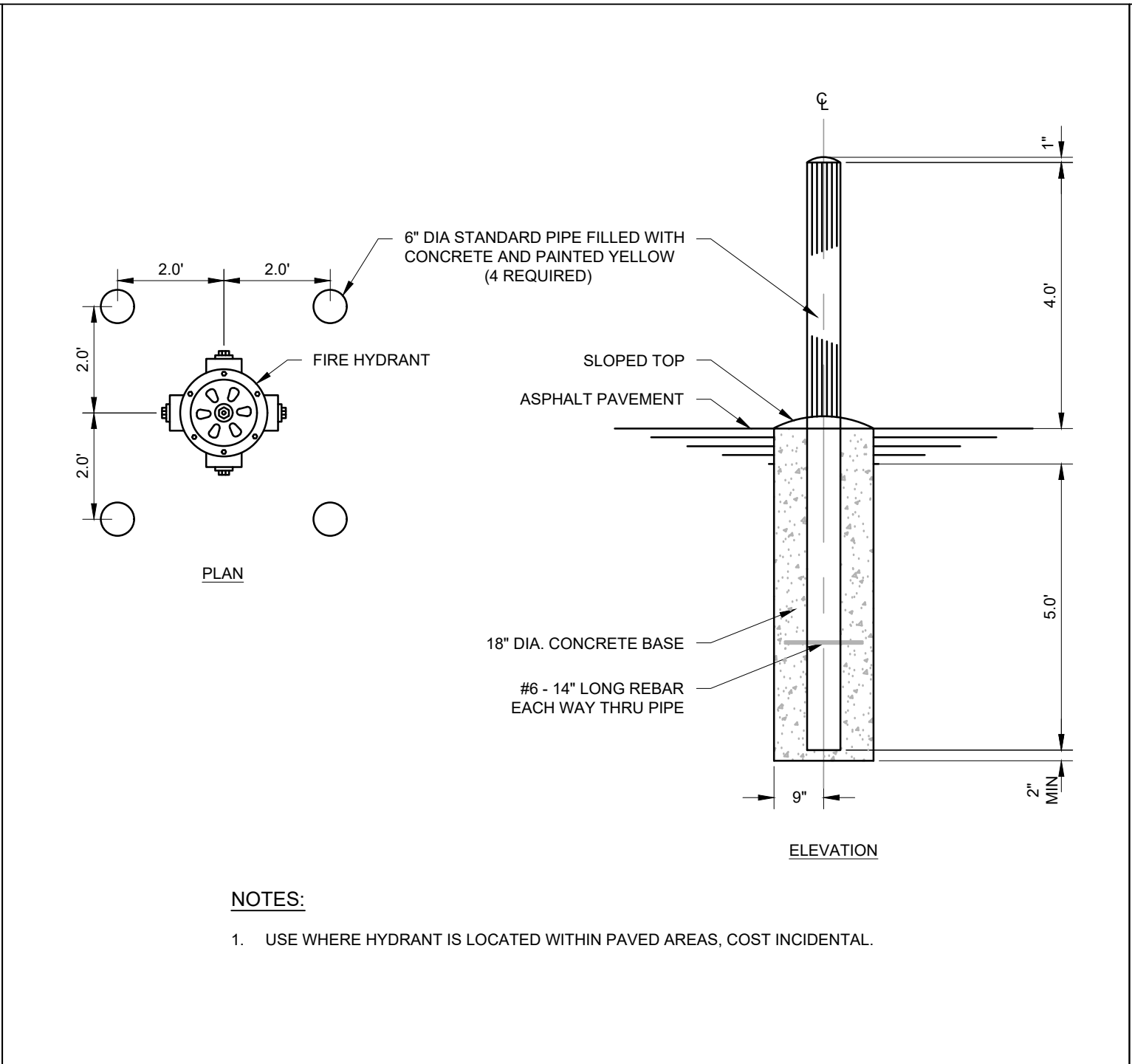
FIRE HYDRANT ASSEMBLY

#001 10-10-13



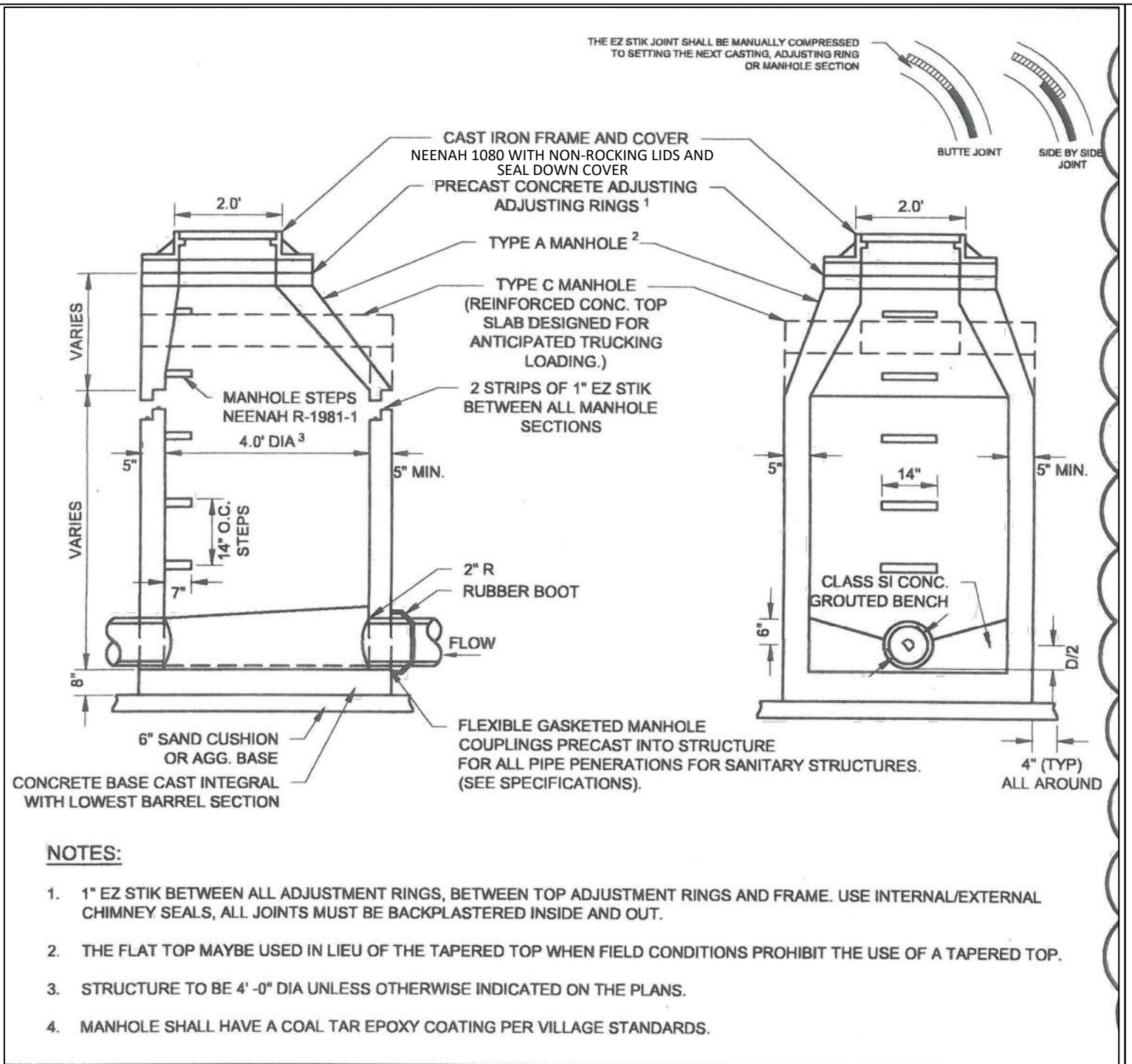
FIRE CONNECTION

#010 12-07-15

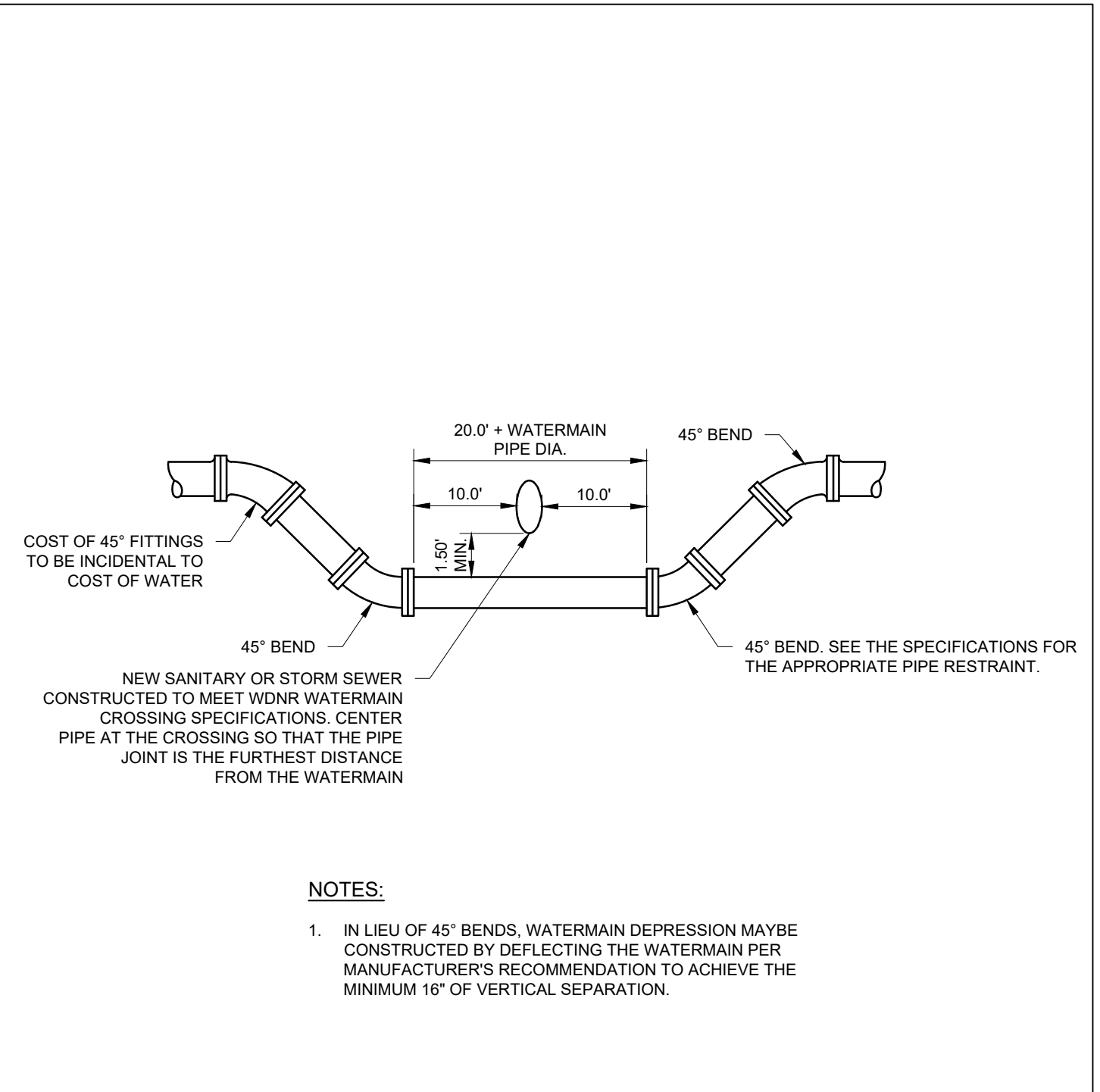


HYDRANT BOLLARD

#003A 10-10-13

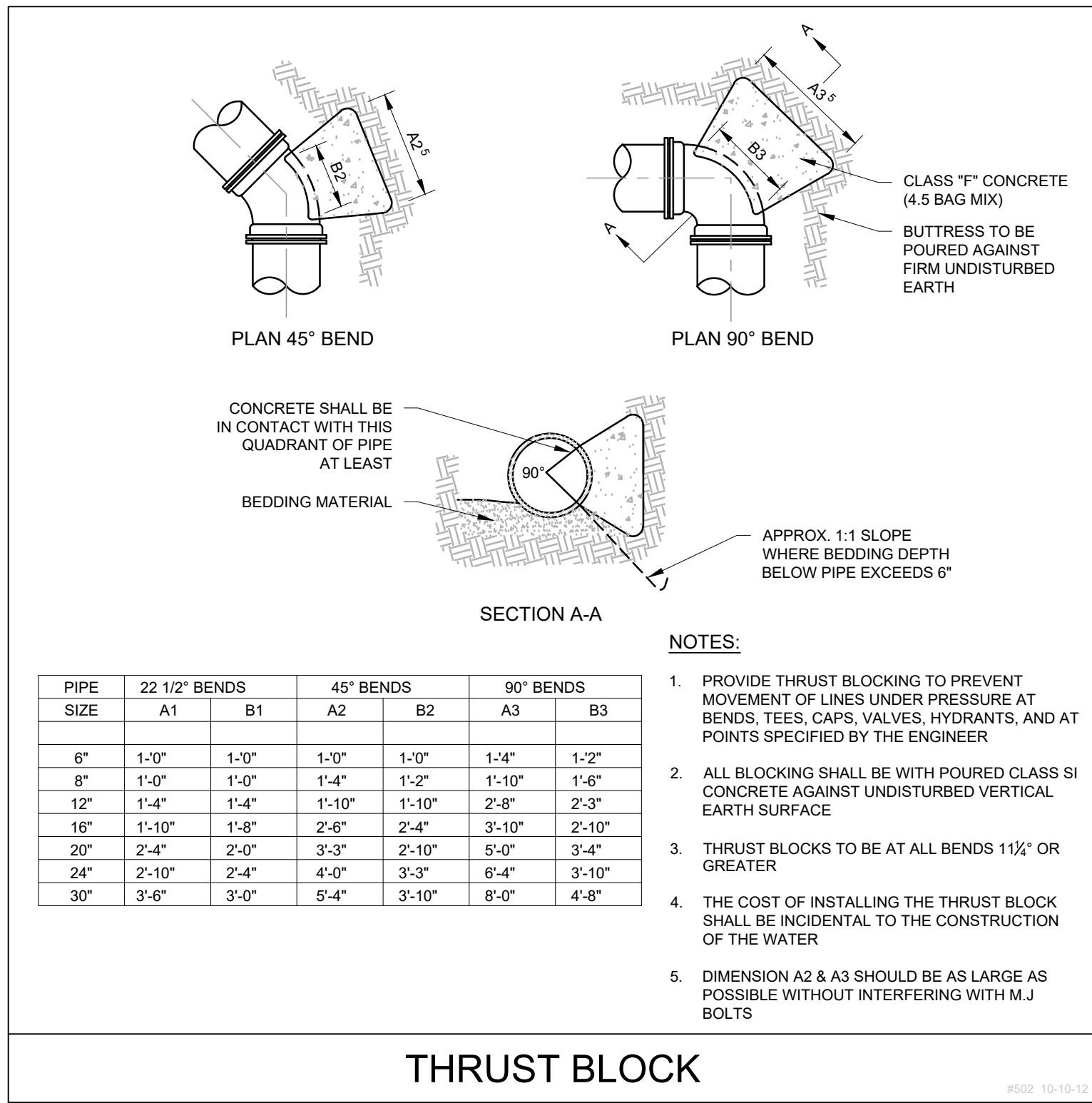


SAMPLING MANHOLE



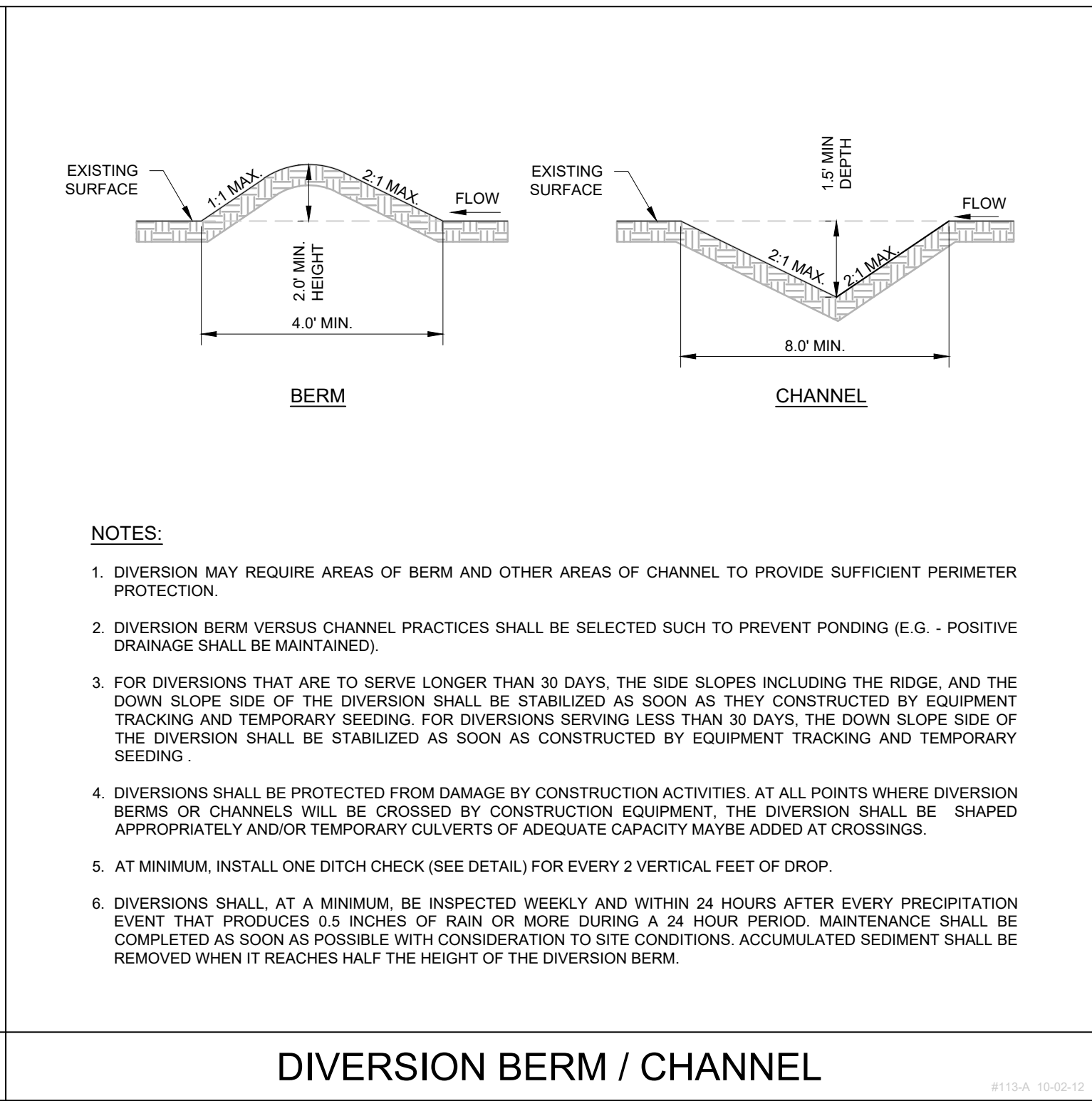
WATER MAIN DEPRESSION

#002 10-10-13



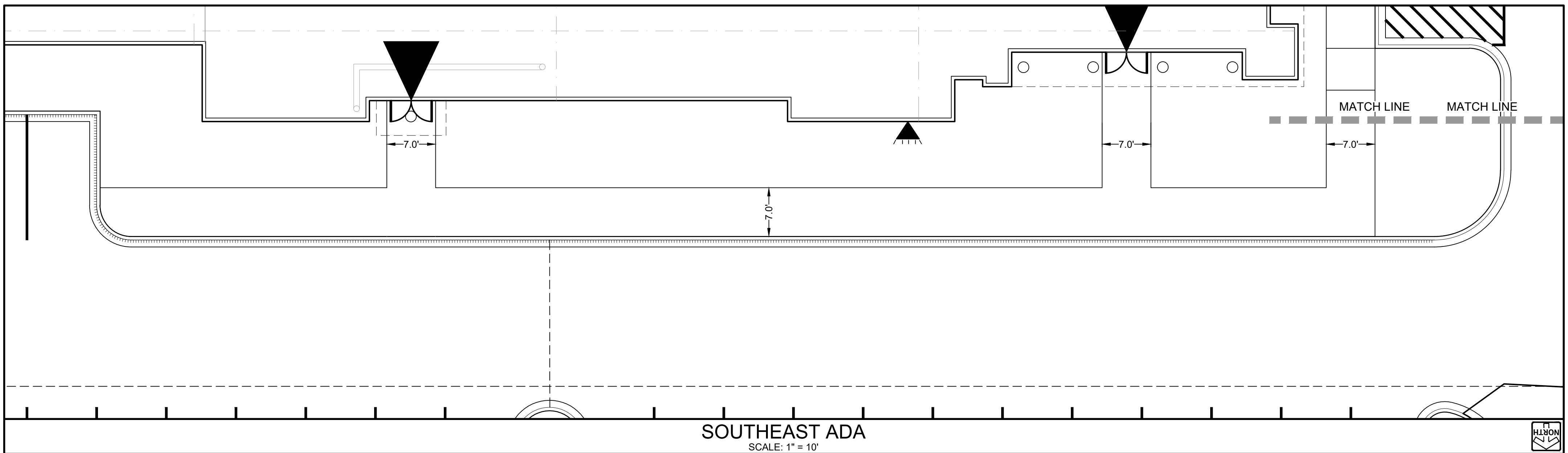
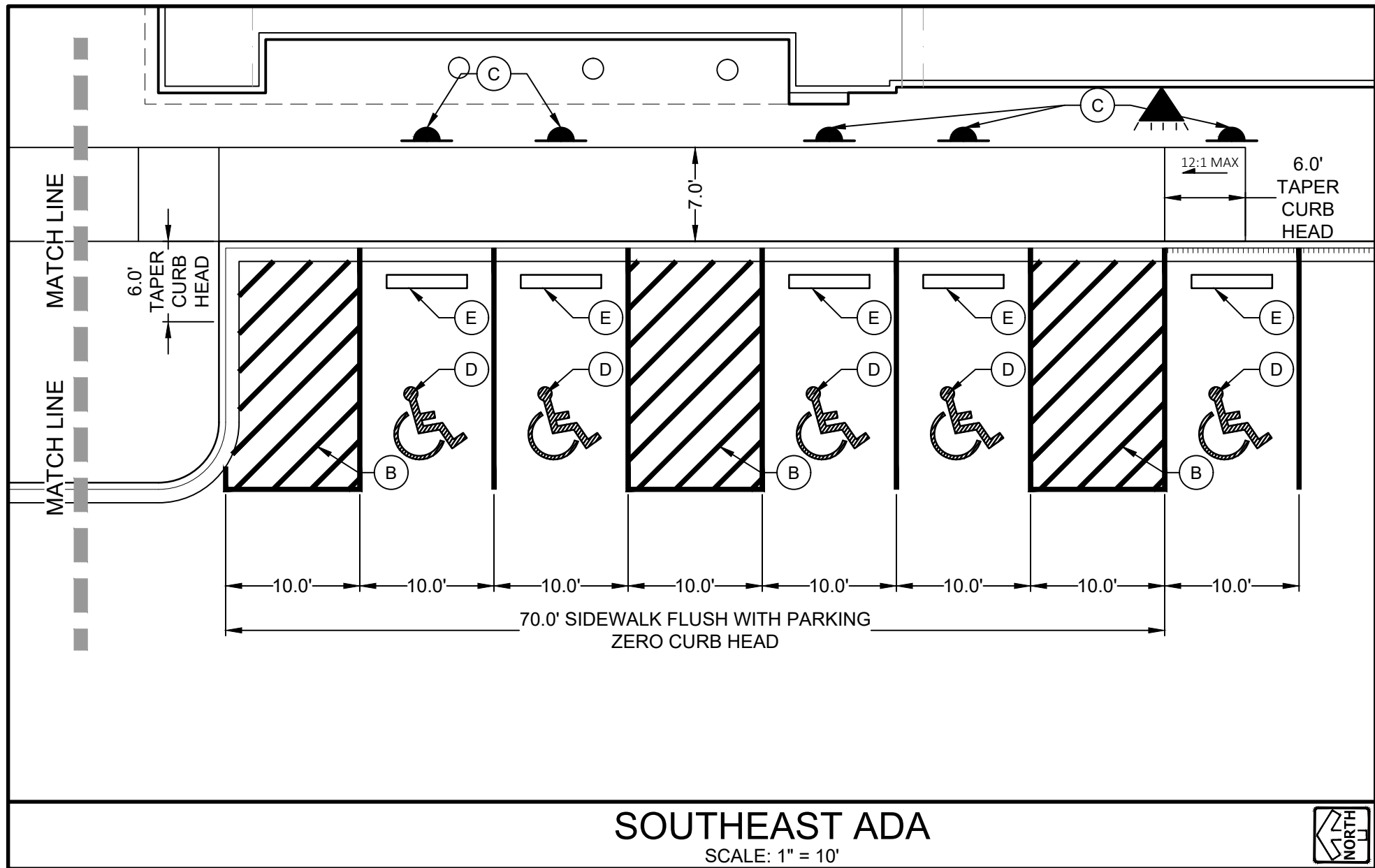
THRUST BLOCK

#002 10-10-13



DIVERSION BERM / CHANNEL

#113A 10-02-12



SOUTHEAST ADA  
SCALE: 1" = 10'

#001 10-10-13



# MEMORANDUM

**DATE:** Thursday, March 28, 2024

**TO:** Caledonia Utility District

**FROM:** Anthony A. Bunkelman P.E.  
Public Services Director



**RE:** Conditional Approval – Onsite Civil Engineering Infrastructure Plan – CSW  
Expansion Phase 3.5 – Central Storage & Warehouse, LLC

## BACKGROUND INFORMATION

Marc Seidl P.E. of Pinnacle Engineering Group has prepared an Onsite Civil Engineering Infrastructure Plan for an Expansion of the Central Storage & Warehouse facility located at 12725 4 Mile Road in the DeBack Farms Business Park. The addition is 106,109 sq ft.

The Infrastructure Plan is for the necessary improvements Sanitary Sewer Lateral, Private Watermain, Public Watermain, Water Lateral, Public Storm Sewer, and Private Storm Sewer Improvements that are necessary for the development.

There is existing Sanitary Sewer along the West property line of the site. The proposed addition indicates that a new lateral will be on the North side of the building and connected to the Sanitary Sewer.

The recently installed Watermain, installed with Phase 2.5, will need to be partially relocated. There is a plan to relocate the watermain. In addition, there are 2 water laterals for this development. 1 is an 8" connection to the Fire Protection System and the other is a 6" connection, presumably for consumptive use. There shows that there will be a master meter vault for the Fire Protection System. There presumably will also be another meter for consumptive use on the connection to the South. If there is a master meter installed an Easement will need to be granted for the master meter vault.

The Storm Water Management for the site has been taken care of by the existing storm water ponds constructed with the development of the Park.

The recently relocated Public Storm Sewer through the site will also need to be partially relocated again to accommodate the development. The plans as shown will need to be modified so that the storm sewer can be maintained. In addition to the Public Storm Sewer, there also is Private Storm Sewer that will need to be installed. This private storm sewer will convey the majority of the runoff from the building and impervious surfaces to the storm water pond.

The grading of the site has been questioned with the design engineer. It is not clear why they would fill the lot to the South of the addition significantly above the FYG of the building with the intent to construct a future phase. The Village is recommending that the grading for the site

have the site prepped for the future building addition, allows the Public Utilities to be accessible, which requires a retaining wall to be installed.

The Onsite Civil Engineering Infrastructure Plan has been submitted and reviewed by the Village Engineer and the Public Services Director. The Plans are in need of some work, but in order to conform with the owner's schedule, it is recommended that Conditional Approval is granted.

Included in this packet are the Review Letter and Civil Engineering Infrastructure Plans (redline).

## **RECOMMENDATION**

**Move to approve the Onsite Civil Engineering Infrastructure Plan for the CSW Expansion Phase 3.5 subject to the following conditions.**

- 1) The Design Engineer determines that the Civil Engineering Infrastructure Plan approved by the Caledonia Utility District is technically adequate and is stamped by the Design Engineer.**
- 2) All conditions outlined in the March 28, 2024 letter from the Village Engineer are met.**
- 3) Legal Descriptions and Exhibits for the Property, Water Master Meter Vault Easement, Watermain Easement, and Storm Sewer Easement are provided, and CSW executes the various Easements.**
- 4) The applicant obtains all necessary permits from the Village, County and State as necessary prior to performing the project.**

March 28, 2024

Pinnacle Engineering Group  
c/o Mark Seidl, P.E.  
20725 Watertown Road Suite 100  
Brookfield, WI 53186

RE: CSW Expansion Phase 3.5 – Onsite Civil Engineering Infrastructure Plans

Dear Mr. Seidl

**The Engineering & Utility Department has performed a review of the Civil Engineering Infrastructure Plans for the CSW Phase 3.5 dated 3.11.24 for submittal and have the following comments:**

**Sheet C-3**

- Show existing public watermain and storm sewer easement recorded in 2023.
- Recommend updating the Title Work to remove the 30' watermain easement underneath the latest addition.
- Page Numbering is off; There are 13 Civil Sheets.

**Sheet C-4**

- Legend shows standard and reverse curb and gutter as the same line work.

**Sheet C-5**

- Conflict: Top of Pipe and Retaining Wall at NW corner of site. Top of 60" RCP appears to be within 6" of the Bottom of Wall Number. Do not have wall details but there must be a footing or lower level to that wall below the BW #.
  - Confirm clearance on the existing Public Storm Sewer that was ran as well as with proposed storm sewer.
- Large fill location at future expansion? 5-9' greater than the existing site. Not sure why material is staying on site rather than prepping the next phase (i.e. not trucking 1000s of yards of material over brand new asphalt and improvements)
- Large Plateau at SE corner – leads to a 21' deep manhole for the Village in our easement. Recommend the same retaining walls be used along the large cut areas at SE Corner to accommodate future paved expansion limits and reduce the height of Village Owned structures.
- Recommend wall continue or be used at ST MH 19.00. This manhole is very difficult to access and maintain, especially for cleaning or jetting.



- Recommend adding inlets at parking lot access or nearby to reduce/prevent runoff from crossing driveway.
- Provide copy of Federal Exemption for wetland work when completed.
- Recommend showing sanitary along west lot line to ensure offsets are maintained from retaining wall.
- Install Guard Rail per building code standards along the north retaining wall where current expansion has emergency exits. Provide a call out.

## Sheet C-7

- Callout storm sewer/watermain clearances at crossings for plan view. I see them on profile later.
- What does the 4" tile drain in the north truck parking area?
- Why keep the structure at reconnection of public storm sewer line at south end? May want to remove existing structure since overall run is 221' between the next manhole.
- As shown on C-5 comments, recommend to reducing grade in SE corner to reduce MH 17 and 19 heights. Inlet 9 is also unnecessarily deep especially when future pavement will come in a much lower elevation.
- Replace EX MH 108.00 due to existing 42" hole heading due west and significant tuckpointing will be required.
  - Recommend providing existing invert of incoming pipe at this structure as well.
- Show ES 1.00 invert. Ensure RIP RAP installation is called out on page other than erosion control sheet.

## Sheet C-9

- Will need to provide a legal description and exhibit for the revised Watermain and Storm Sewer Easement.
- Need to use Village Detail minus the cleanout. The sanitary lateral from the sampling manhole to the sanitary sewer main will be the responsibility of the owner.
- Need to confirm access to the sampling manhole with Village.
- Need a high-level explanation of the fire protection storage tank system and how it works. Due to large amount of private watermain it may be required that a master meter be installed in addition to the proposed water meter pit.
  - Private hydrants to have 5" Storz connection on Waterous Pacer Hydrant.
- Need to pay for a sewer connection fee and water impact fee.
- Also need to provide the water meter size for consumptive use. May need 1 or 2 master meters overall.

## Sheet C-10

- Install a valve to isolate the new watermain from the "old". Approximately station 6+58.

- Provide call out for new hydrant installation at main entrance. Make sure there is 3' between back of curb and hydrant.

## Details

- Update and use Village PVC Sanitary Riser Lateral Detail.

## General Comments

- The Engineering Department & Utility District retains the right to additional review comments until the plans are approved.
- Once approved, 3 sets of stamped hard copies, 1 electronic (pdf) copy are to be submitted for the building plans and infrastructure plans.
- The building will require the application for all necessary state/county/local permits. Local permits include the Building Permit, Land Disturbance permit ROW access, Site Grading, etc. along with the updated easement documents.

If there are any questions about the grading, paving, and storm sewer plans, please contact me at [rschmidt@caledonia-wi.gov](mailto:rschmidt@caledonia-wi.gov) or 262-835-6475. If there are any questions about the utilities, please contact Tony Bunkelman at [abunkelman@caledonia-wi.gov](mailto:abunkelman@caledonia-wi.gov) or 262-835-6416.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ryan Schmidt". The signature is stylized with a large, looping "R" and a cursive "Schmidt".

Ryan Schmidt, PE  
Village Engineer  
Village of Caledonia



THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC.

REVIEWED: TOM

DESIGNED: AHN

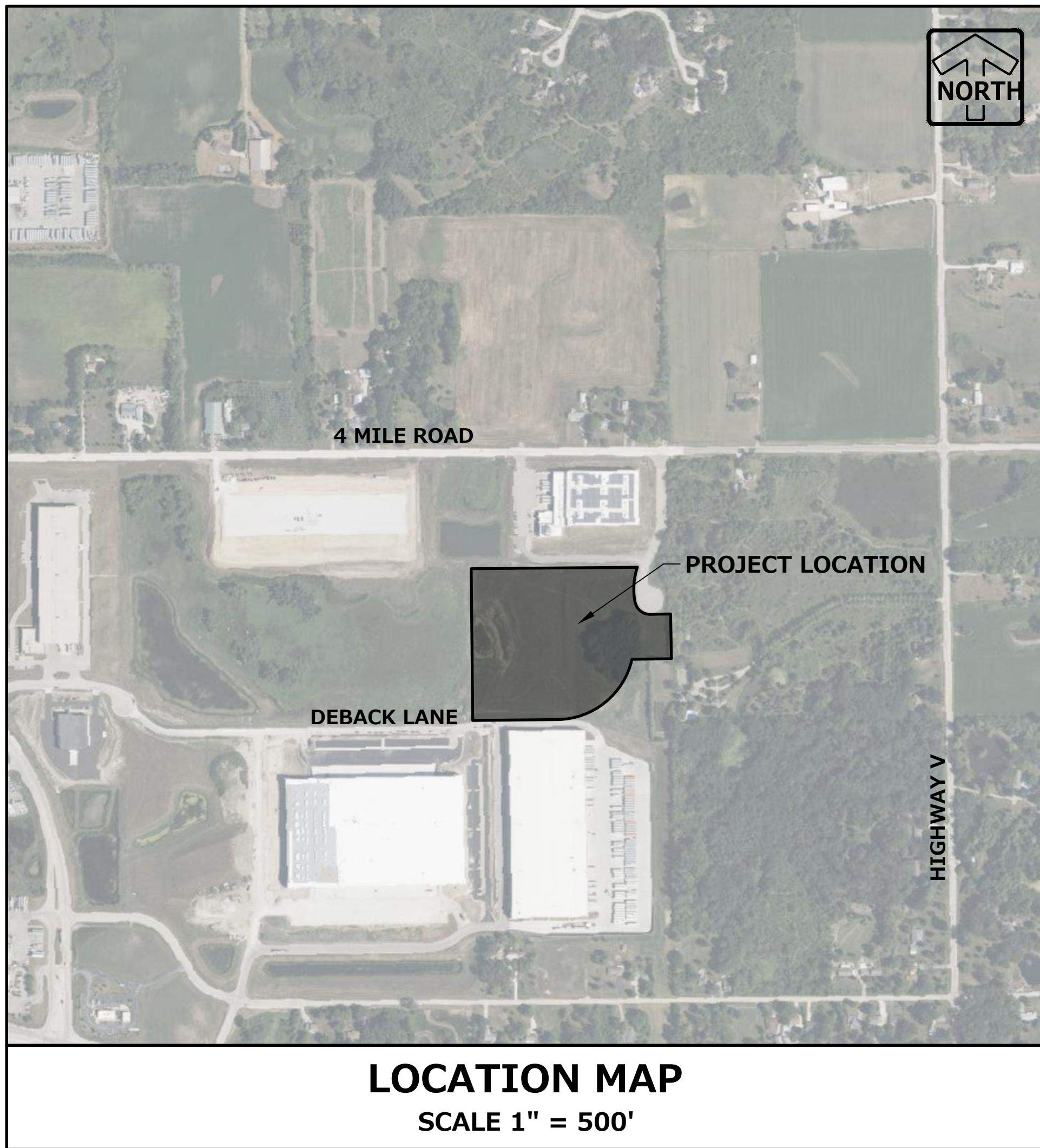
DRAWN: AHN

ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS  
FOR

CSW EXPANSION PHASE 3.5

CALEDONIA, WI 53126

PLANS PREPARED FOR  
CENTRAL STORAGE & WAREHOUSE, LLC  
4309 COTTAGE GROVE RD  
MADISON, WI 53716



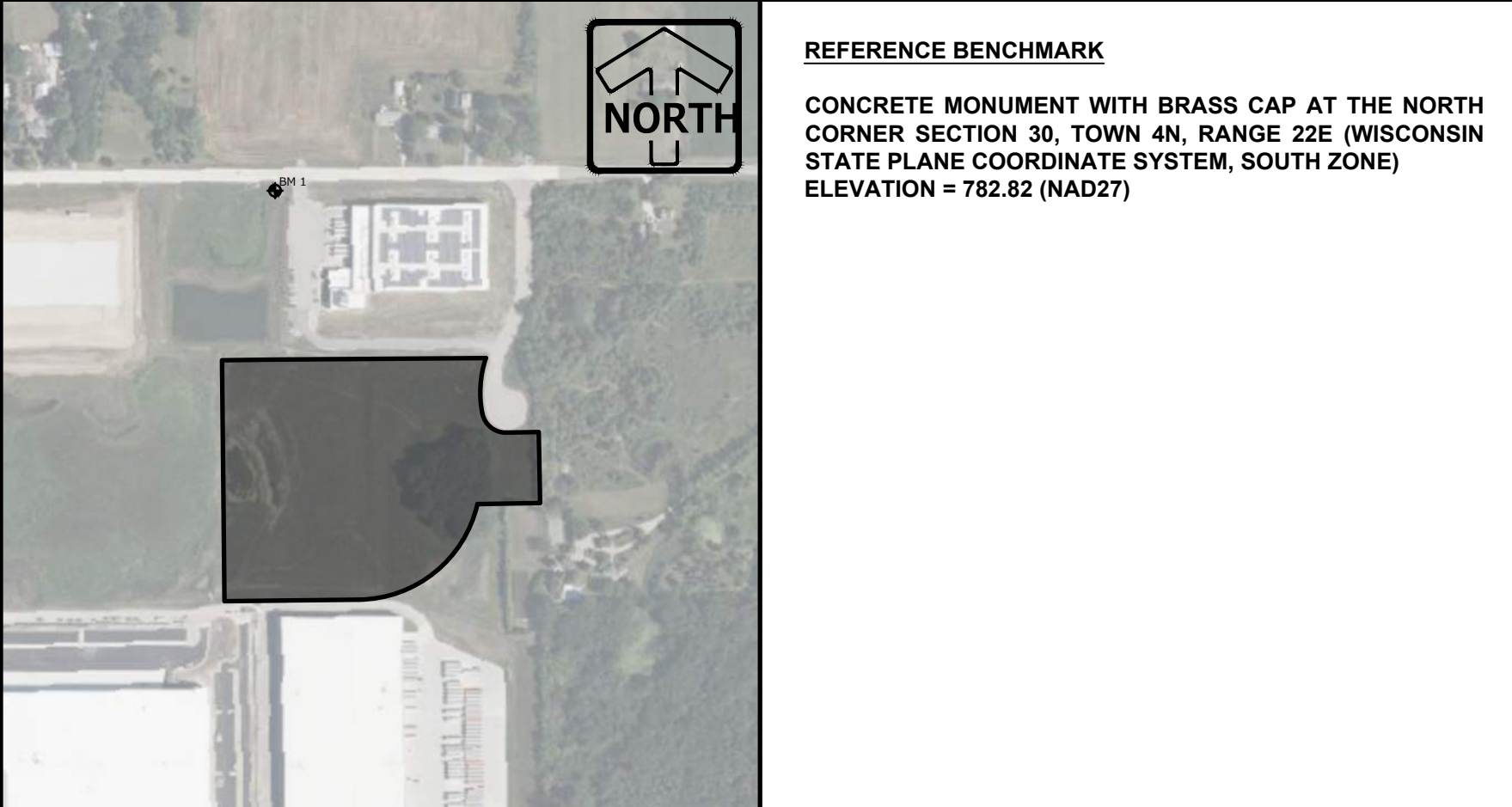
LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
CATCH BASIN	○	●
INLET	□	■
PRECAST FLARED END SECTION	△	▲
CONCRETE HEADWALL	∧	∨
VALVE VAULT	⊗	⊗
VALVE BOX	⊞	⊞
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊞	⊞
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
WATER MAIN	—	—
UTILITY CROSSING	—	—
GRANULAR TRENCH BACKFILL	—	—
LIGHTING	—	—
ELECTRICAL CABLE	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	—	—
POWER POLE	—	—
POWER POLE WITH LIGHT	—	—
GUY WIRE	—	—
STREET SIGN	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	749	749
SPOT ELEVATION	× (750.00)	× (750.00)
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
DIVERSION SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
TREE WITH TRUNK SIZE	—	—
SOIL BORING	—	—
TOPSOIL PROBE	—	—
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—
PROPERTY LINE	—	—

ABBREVIATIONS

BL	BASE LINE	NSI	NATIVE SOIL INTERFACE
C	LONG CHORD OF CURVE	NWL	NORMAL WATER LEVEL
C & G	CURB AND GUTTER	PC	POINT OF CURVATURE
CB	CATCH BASIN	PT	POINT OF TANGENCY
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
D	DEGREE OF CURVE	R	RADIUS
EP	EDGE OF PAVEMENT	ROW	RIGHT-OF-WAY
FF	FINISHED FLOOR	SAN	SANITARY SEWER
FG	FINISHED GRADE	ST	STORM SEWER
FL	FLOW LINE	T	TANGENCY OF CURVE
FP	FLOODPLAIN	TB	TOP OF BANK
FR	FRAME	TC	TOP OF CURB
FW	FLOODWAY	TF	TOP OF FOUNDATION
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE

BENCHMARKS



GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- A GEOTECHNICAL REPORT FOR THIS SITE HAS NOT BEEN PREPARED. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE VILLAGE, VILLAGE ENGINEER, VILLAGE BUILDING INSPECTOR, OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING MUST BE HELD AT THE VILLAGE OFFICES. THE PRECONSTRUCTION MEETING SHALL BE SCHEDULED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.

INDEX OF SHEETS

C-1	COVER SHEET
C-2	GENERAL NOTES
C-3	EXISTING CONDITIONS & DEMO PLAN
C-4	SITE DIMENSIONAL & PAVING PLAN
C-5	GRADING PLAN
C-6	EROSION CONTROL PLAN
C-7	STORM SEWER PLAN
C-8	PUBLIC STORM SEWER PLAN & PROFILE
C-9	SANITARY & WATERMAIN PLAN
C-10	PUBLIC WATERMAIN PLAN & PROFILE
C-11	CONSTRUCTION DETAILS
C-12	CONSTRUCTION DETAILS
C-13	CONSTRUCTION DETAILS
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE GENERAL NOTES & DETAILS

REQUIRED SUBMITTALS FOR APPROVAL

- ASPHALT PAVEMENTS
- CONCRETE PAVEMENTS (EXTERIOR)
- STONE BASE COURSE
- TRENCH BACKFILL
- PIPE BEDDING
- TIE BARS
- DOWEL BARS
- DOWEL BAR BASKETS

REQUIRED SUBMITTALS FOR RECORDS

- WATER MAIN PIPE FITTINGS
- SANITARY SEWER
- STORM SEWER
- SUBGRADE STABILIZATION (IF APPLICABLE)

PROJECT TEAM CONTACTS

<b>CIVIL ENGINEER:</b> MARK SEIDL, P.E., PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888 mseidl@pinnacle-engr.com	<b>ARCHITECT:</b> CURTIS SCHROEDER, AIA, NCARB CONSOLIDATED CONSTRUCTION CO. INC 4300 N. RICHMOND STREET APPLETON, WI 54913 (920) 882-2518 cschroeder@1call2build.com
<b>TODD MUELLER, P.E.,</b> PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888 Todd.Mueller@pinnacle-engr.com	<b>APPLICANT:</b> CURTIS SCHROEDER, AIA, NCARB CONSOLIDATED CONSTRUCTION CO. INC 4300 N. RICHMOND STREET APPLETON, WI 54913 (920) 882-2518 cschroeder@1call2build.com
<b>SURVEYOR:</b> JOHN KONOPACKI, P.L.S. PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888 John.Konopacki@pinnacle-engr.com	



Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

EXPIRATION DATE: JULY 31, 2024

PINNACLE ENGINEERING GROUP, LLC  
ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

CSW EXPANSION PHASE 3.5

12725 4 MILE ROAD  
CALEDONIA, WI 53126

COVER SHEET

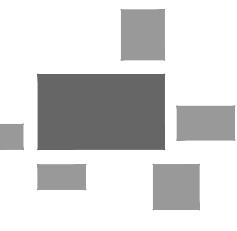
REVISIONS

1	PRICING SET	01/11/24	—	—	—
2	BSO SUBMITTAL #1	03/11/24	—	—	—
—	—	—	—	—	—
—	—	—	—	—	—

REVISIONS

PRG JOB No.	5294.00
PRG PM	TOM
START DATE	01/11/24
SCALE	NTS

SHEET  
C-1  
OF  
C-11



PINNACLE ENGINEERING GROUP

ENGINEERING | NATURAL RESOURCES | SURVEYING

PLAN | DESIGN | DELIVER  
www.pinnacle-engr.com

WISCONSIN OFFICE:  
20725 WATERTOWN ROAD, SUITE 100  
BROOKFIELD, WI 53186  
(262) 754-8888  
CHICAGO | MILWAUKEE | NATIONWIDE







LEGEND			
SANITARY MANHOLE		STORM SEWER	
STORM MANHOLE		WATER MAIN	
CATCH BASIN		LIGHTING	
INLET		ELECTRICAL CABLE	
PRECAST FLARED END SECTION		ELECTRICAL TRANSFORMER OR PEDESTAL	
CONCRETE HEADWALL		POWER POLE	
VALVE VAULT		POWER POLE WITH LIGHT	
VALVE BOX		GUY WIRE	
FIRE HYDRANT		STREET SIGN	
BUFFALO BOX		GAS MAIN	
CLEANOUT		TELEPHONE LINE	
SANITARY SEWER		CONTOUR	
FORCE MAIN		TREE	
CONCRETE SIDEWALK		EASEMENT LINE	

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL  
CONSTRUCTION NOTES LOCATED ON SHEET C-2**

**ALL WORK WITHIN PUBLIC R.O.W. SHALL CONFORM TO VILLAGE OF CALEDONIA STANDARDS. NO WORK SHALL BE PERFORMED IN VILLAGE R.O.W.'S WITHOUT PROPER VILLAGE PERMITS & APPROVALS.**





**EXISTING CONDITIONS SURVEY:**

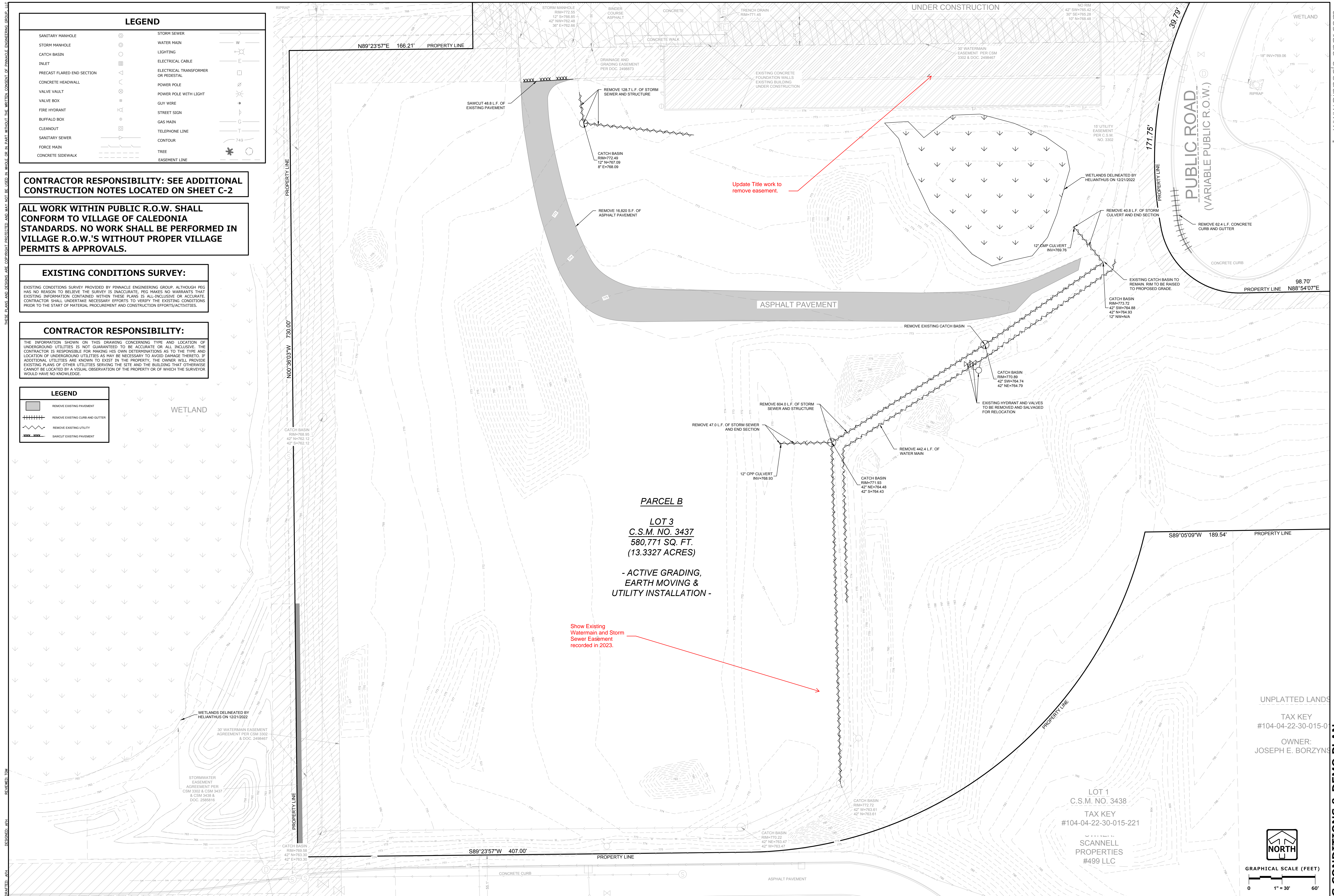
EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

**CONTRACTOR RESPONSIBILITY:**

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

**LEGEND**

-  REMOVE EXISTING PAVEMENT
-  REMOVE EXISTING CURB AND GUTTER
-  REMOVE EXISTING UTILITY
-  SAWCUT EXISTING PAVEMENT



PARCEL B

LOT 3  
C.S.M. NO. 3437  
580,771 SQ. FT.  
(13.3327 ACRES)

**- ACTIVE GRADING,  
EARTH MOVING &  
UTILITY INSTALLATION -**

Show Existing  
Watermain and Storm  
Sewer Easement  
recorded in 2023.

UNPLATTED LANDS

TAX KEY  
104-04-22-30-015-01

OWNER:  
JOSEPH E. BORZYS

LOT 1  
C.S.M. NO. 3438  
TAX KEY  
#104-04-22-30-015-221

SCANNELL  
PROPERTIES  
#499 LLC



**GRAPHICAL SCALE (FEET)**

1" = 30'

**CSW EXPANSION PHASE 3.5**  
12725 4 MILE ROAD  
CALEDONIA, WI 53126

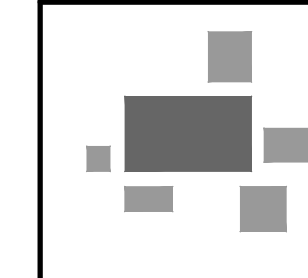
## EXISTING CONDITIONS & DEMO PLAN

[illegible]



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REVIEWED: TOM  
DESIGNED: AMH  
DRAFTED: AMH

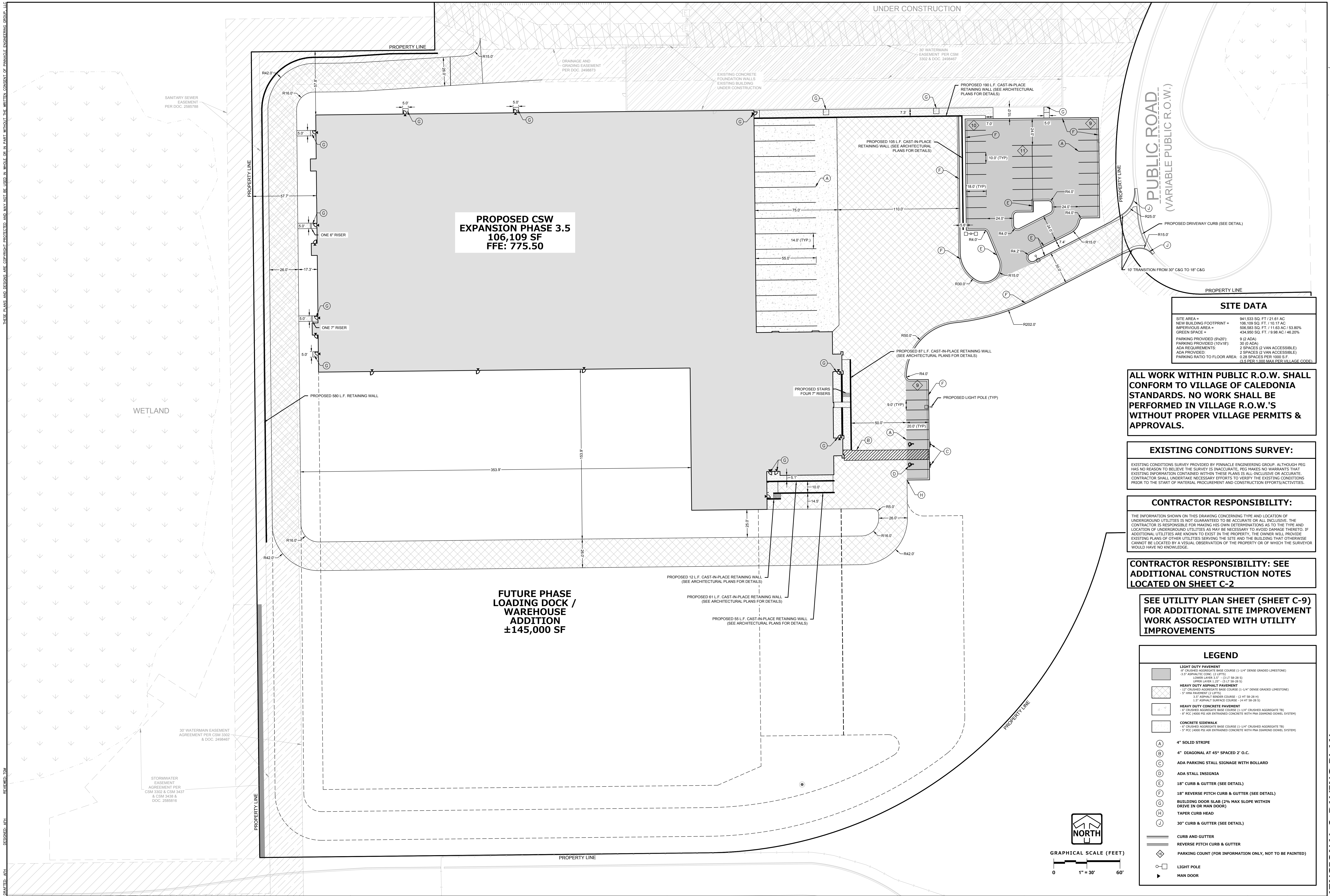


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Z:\PROJECTS\2023\5294.00-W\CAD\SHEETS\5294.00 SITE DIMENSIONAL & PAVING PLAN.DWG



SITE DATA		
SITE AREA =	941,533 SQ. FT. / 21.61 AC	
NEW BUILDING FOOTPRINT =	106,109 SQ. FT. / 10.17 AC	
IMPERVIOUS AREA =	506,583 SQ. FT. / 11.63 AC / 53.80%	
GREEN SPACE =	434,950 SQ. FT. / 9.98 AC / 46.20%	
PARKING PROVIDED (9'x20'):	9 (2 ADA)	
PARKING PROVIDED (10'x18'):	30 (0 ADA)	
ADA REQUIREMENTS:	2 SPACES (2 VAN ACCESSIBLE)	
ADA PROVIDED:	2 SPACES (2 VAN ACCESSIBLE)	
PARKING RATIO TO FLOOR AREA:	0.28 SPACES PER 1000 S.F.	
	(0.8 PER 1,000 MAX PER VILLAGE CODE)	

ALL WORK WITHIN PUBLIC R.O.W. SHALL CONFORM TO VILLAGE OF CALEDONIA STANDARDS. NO WORK SHALL BE PERFORMED IN VILLAGE R.O.W.'S WITHOUT PROPER VILLAGE PERMITS & APPROVALS.

**EXISTING CONDITIONS SURVEY:**




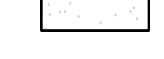
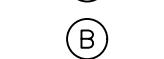
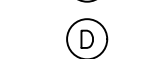







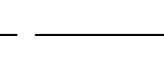


EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

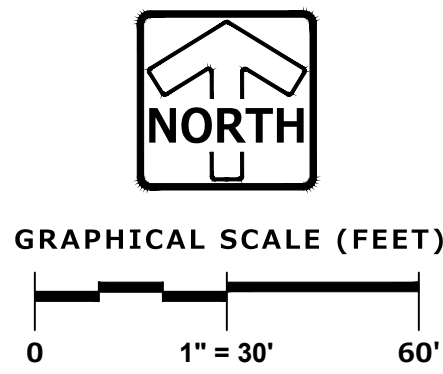
**CONTRACTOR RESPONSIBILITY:**

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

**SEE UTILITY PLAN SHEET (SHEET C-9) FOR ADDITIONAL SITE IMPROVEMENT WORK ASSOCIATED WITH UTILITY IMPROVEMENTS**

LEGEND	
	<b>LIGHT DUTY PAVEMENT</b> 1" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE) 3/4" ASPHALTIC CONC. (2 LIFTS) LOWER LAYER 1/2" (5 LT 58-28 S) UPPER LAYER 1/2" (5 LT 58-28 S)
	<b>HEAVY DUTY ASPHALT PAVEMENT</b> 1 1/2" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE) 5" HMA PAVEMENT (2 LIFTS) 3/4" ASPHALT BINDER COURSE (2 HT 58-28 H) 1 1/2" ASPHALT SURFACE COURSE (1-1/4" HT 58-28 S)
	<b>HEAVY DUTY CONCRETE PAVEMENT</b> 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" CRUSHED AGGREGATE TB) 8" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH PMA DIAMOND DOWEL SYSTEM)
	<b>CONCRETE SIDEWALK</b> 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" CRUSHED AGGREGATE TB) 5" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH PMA DIAMOND DOWEL SYSTEM)
	<b>4" SOLID STRIPE</b>
	<b>4" DIAGONAL AT 45° SPACED 2' O.C.</b>
	<b>ADA PARKING STALL SIGNAGE WITH BOLLARD</b>
	<b>ADA STALL INSIGNIA</b>
	<b>18" CURB &amp; GUTTER (SEE DETAIL)</b>
	<b>18" REVERSE PITCH CURB &amp; GUTTER (SEE DETAIL)</b>
	<b>BUILDING DOOR SLAB (2% MAX SLOPE WITHIN DRIVE IN OR MAN DOOR)</b>
	<b>TAPER CURB HEAD</b>
	<b>30" CURB &amp; GUTTER (SEE DETAIL)</b>
	<b>CURB AND GUTTER</b>
	<b>REVERSE PITCH CURB &amp; GUTTER</b>
	<b>PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)</b>
	<b>LIGHT POLE</b>
	<b>MAN DOOR</b>



## SITE DIMENSIONAL & PAVING PLAN

**CSW EXPANSION PHASE 3.5**  
12725 4 MILE ROAD  
CALEDONIA, WI 53126

REVISIONS	
1	PRICING SET 01/11/24
2	BSO SUBMITTAL #1 03/11/24

FIG. 5294.00	TOM
FIG. 5294.00	TOM
START DATE	01/11/24
SCALE	1" = 30'
SHEET	C-4
OF	11
SHEET	C-11

SITE DIMENSIONAL & PAVING PLAN

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DESIGNED: ATH

DRAWN: TDM

REVIEWED: TDM

Show Sanitary Sewer

Conflict

Possible Conflict

UNDER CONSTRUCTION

Guard rail to be installed

Recommend adding an inlet here to prevent runoff from crossing the driveway.

Location and Depth Concerning. Need to be able to access this manhole for maintenance and potential cleaning. Recommend retaining wall to soften slopes.

These contours need to be pulled together. Recommend retaining near lot line for future pavement.

Why is this area being filled from 5' to 9' above what the proposed FYG of an expansion would be

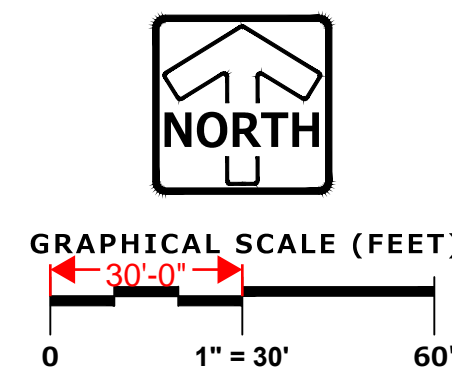
Not sure plan with proposed expansion lot grades compared to existing topo. Recommend wall now in advance.

Unnecessarily deep storm structure. 20' is too deep.

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#### LEGEND

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM STORM CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- ▤ PRECAST FLARED END SECTION
- ▤ CLEANOUT
- ▤ VALVE BOX
- FIRE HYDRANT
- PROPOSED CONTOUR
- + 750.0 PROPOSED SPOT ELEVATION
- DIRECTION OF SURFACE FLOW



CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

## CSW EXPANSION PHASE 3.5

12725 4 MILE ROAD  
CALEDONIA, WI 53126

## GRADING PLAN

#### REVISIONS

1	PRICING SET	01/11/24
2	BSO SUBMITTAL #1	03/11/24

REG. NO. 5294.00  
TDM  
START DATE 01/11/24  
SCALE 1"=30'

SHEET  
C-5  
C-11

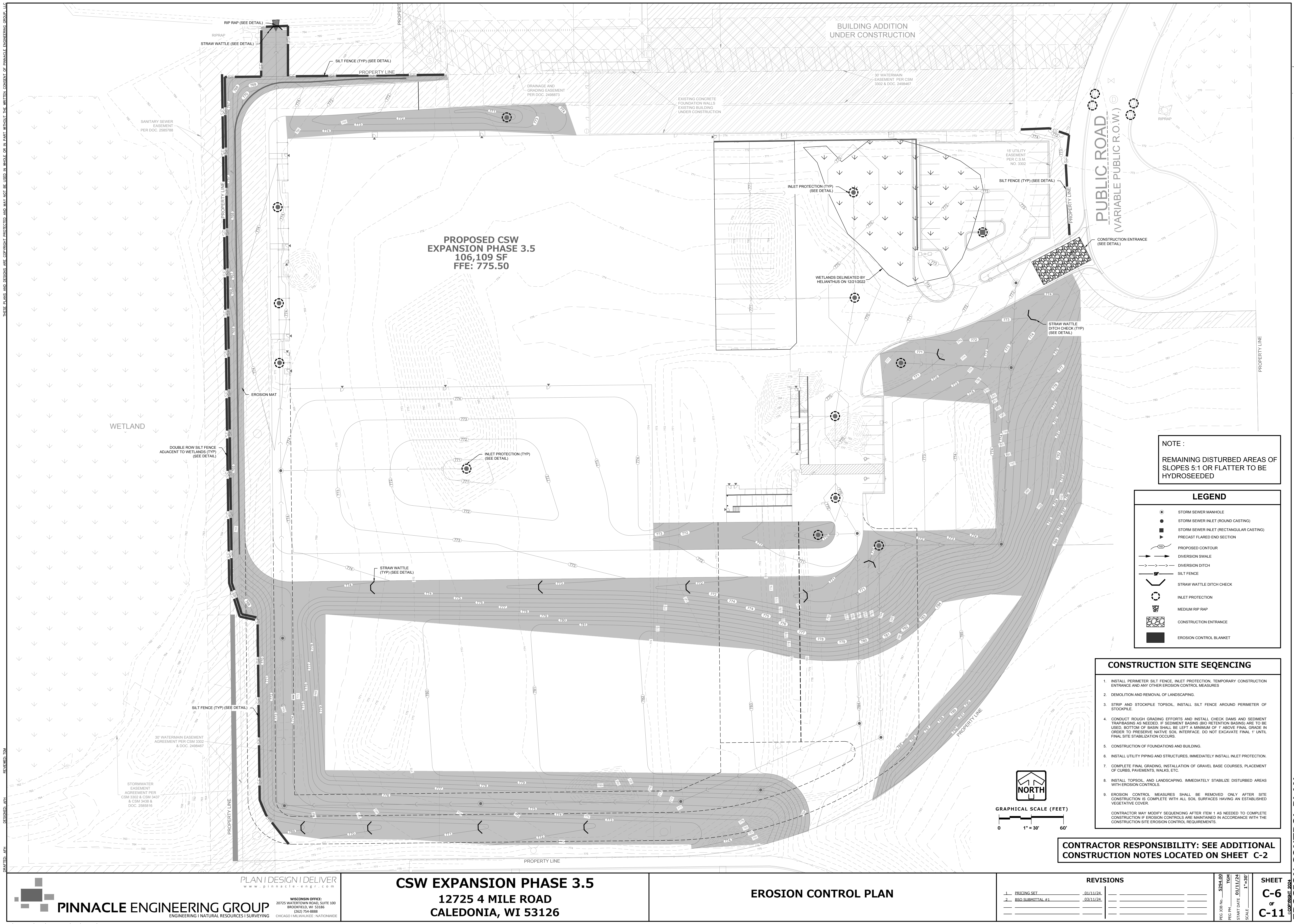
GRADING PLAN

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REVIEWED: TDM  
DESIGNED: ATH  
DRAFTED: ATH



PROPOSED CSW  
EXPANSION PHASE 3.5  
106,109 SF  
FFE: 775.50

BUILDING ADDITION  
UNDER CONSTRUCTION

PUBLIC ROAD  
(VARIABLE PUBLIC R.O.W.)

WETLAND

NOTE :  
REMAINING DISTURBED AREAS OF  
SLOPES 5:1 OR FLATTER TO BE  
HYDROSEED

**LEGEND**

- STORM SEWER MANHOLE
- STORM SEWER INLET (ROUND CASTING)
- STORM SEWER INLET (RECTANGULAR CASTING)
- ▤ PRECAST FLARED END SECTION
- PROPOSED CONTOUR
- DIVERSION SWALE
- DIVERSION DITCH
- SILT FENCE
- ▤ STRAW WATTLE DITCH CHECK
- INLET PROTECTION
- MEDIUM RIP RAP
- ▤ CONSTRUCTION ENTRANCE
- EROSION CONTROL BLANKET

**CONSTRUCTION SITE SEQUENCING**

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION, TEMPORARY CONSTRUCTION ENTRANCE AND ANY OTHER EROSION CONTROL MEASURES
2. DEMOLITION AND REMOVAL OF LANDSCAPING.
3. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
4. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAP/BASINS AS NEEDED. IF SEDIMENT BASINS (BIO RETENTION BASINS) ARE TO BE USED, BOTTOM OF BASIN SHALL BE LEFT A MINIMUM OF 1" ABOVE FINAL GRADE IN ORDER TO PRESERVE NATIVE SOIL INTERFACE. DO NOT EXCAVATE FINAL 1" UNTIL FINAL SITE STABILIZATION OCCURS.
5. CONSTRUCTION OF FOUNDATIONS AND BUILDING.
6. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
7. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
8. INSTALL TOPSOIL, AND LANDSCAPING. IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
9. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL  
CONSTRUCTION NOTES LOCATED ON SHEET C-2

**GRAPHICAL SCALE (FEET)**

0 1" = 30' 60'

**NORTH**

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**CSW EXPANSION PHASE 3.5**  
12725 4 MILE ROAD  
CALEDONIA, WI 53126

**EROSION CONTROL PLAN**

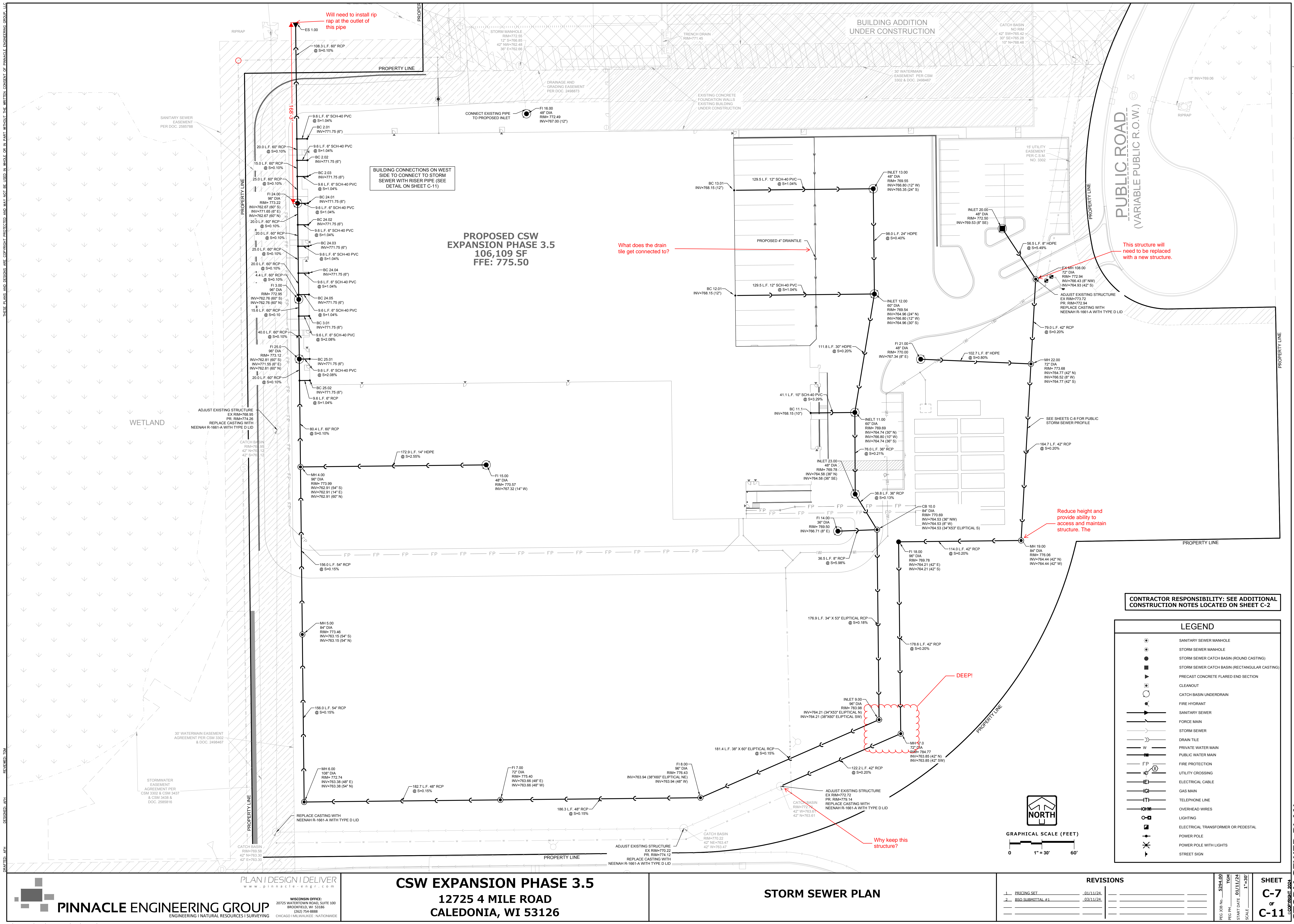
REVISIONS	
1. PRICING SET	01/11/24
2. BSO SUBMITTAL #1	03/11/24


REG. NO. 5294.00  
TDM  
SCALE 1"=50'

SHEET  
**C-6**  
of  
**C-11**



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REVIEWED: TDM  
DESIGNED: ATH  
DRAFTED: ATH





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**CSW EXPANSION PHASE 3.5**  
**12725 4 MILE ROAD**  
**CALEDONIA, WI 53126**

**STORM SEWER PLAN**

REVISIONS		SHEET	
1	PRICING SET	01/11/24	C-7
2	BSO SUBMITTAL #1	03/11/24	C-11
REVISIONS		SHEET	
1			C-7
2			C-11

FIG. 5294.00  
TOM  
START DATE: 01/11/24  
SCALE: 1"=30'

PROJECT NO.: 5294.00-W/CAD/SHEETS/5294.00 UTILITY PLAN.DWG



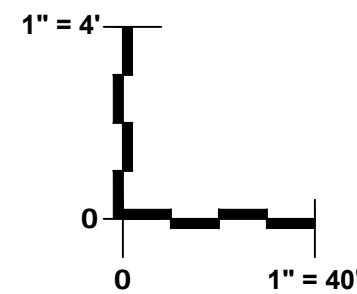
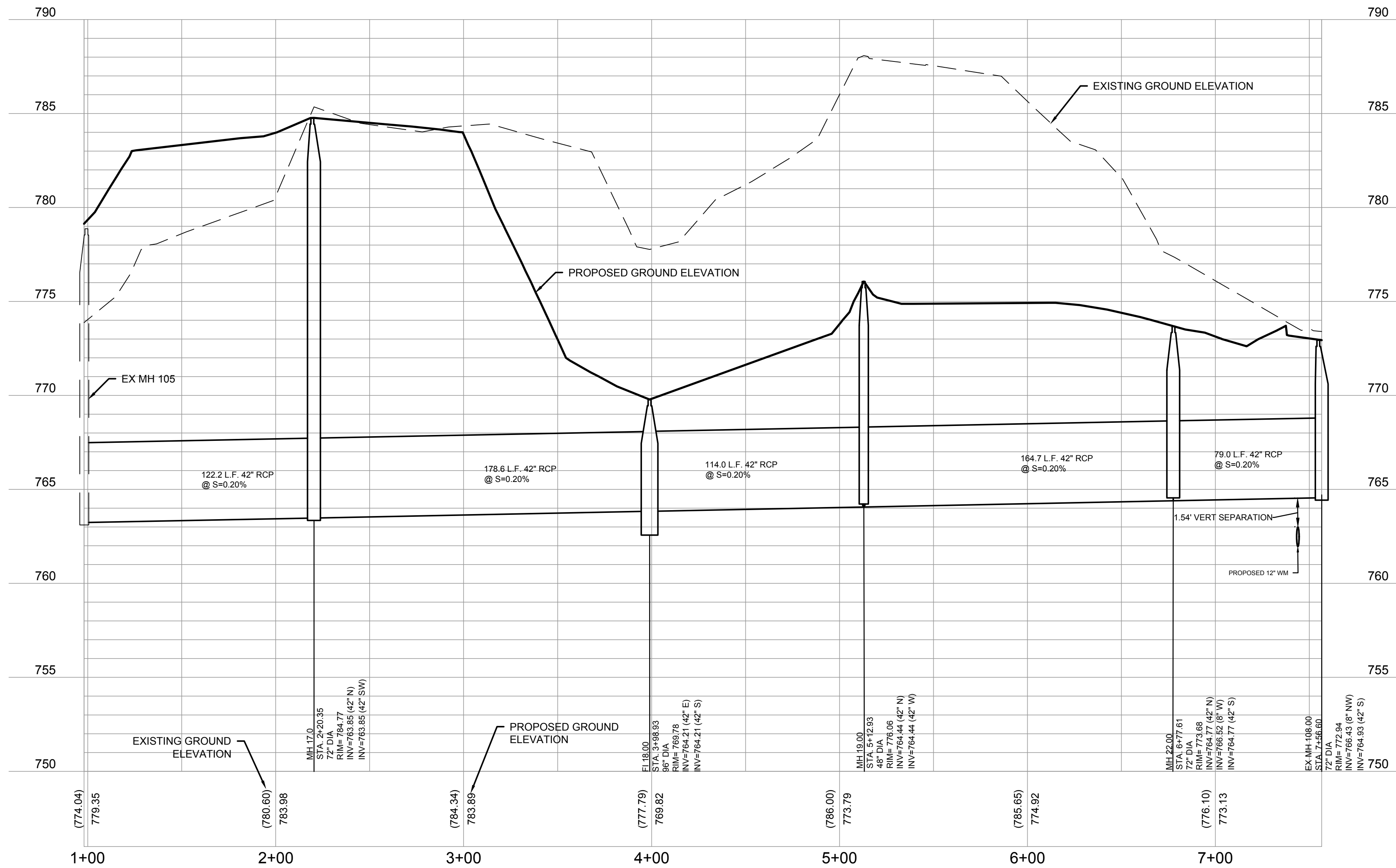
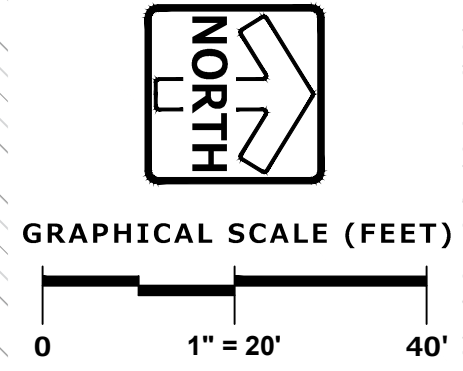
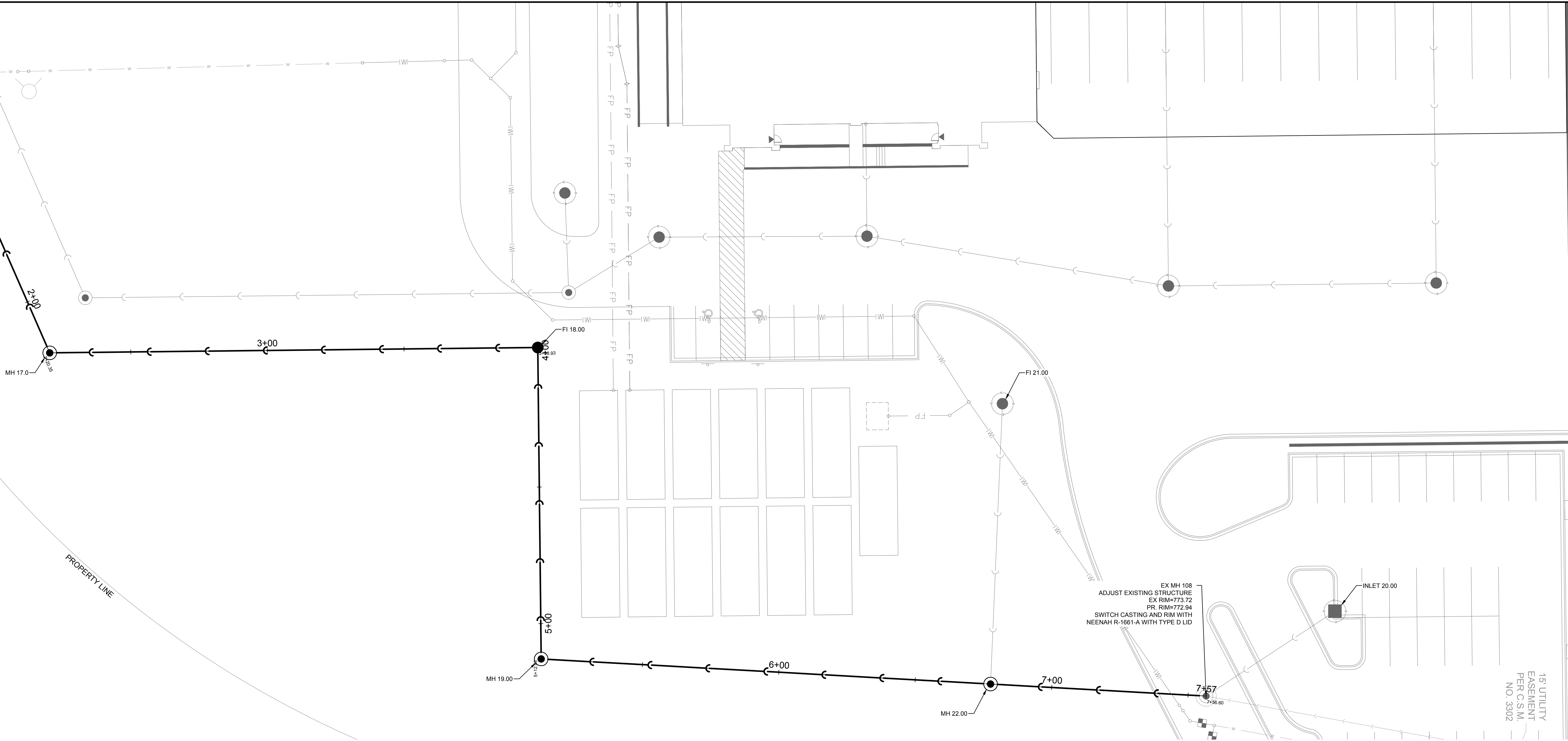
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DESIGNED: ADH

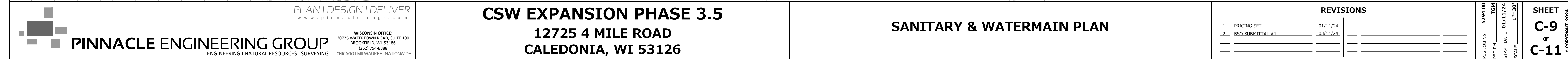
REVIEWED: TDM

DRAWN: ADH

ADJUST EXISTING STRUCTURE  
EX RIM=772.72  
PR. RIM=773.14  
SWITCH CASTING AND RIM WITH  
NEENAH R-1661-A WITH TYPE D LID

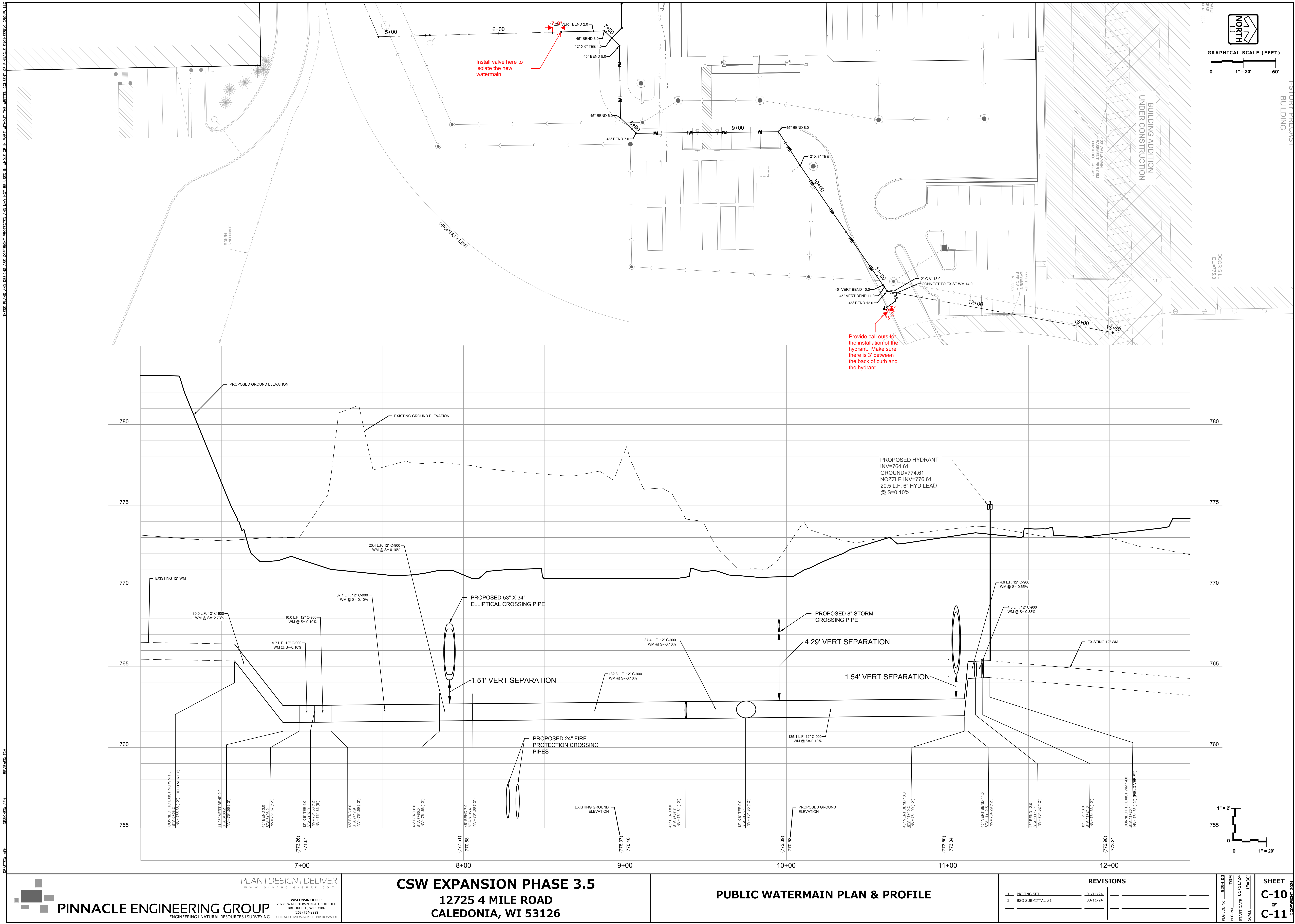


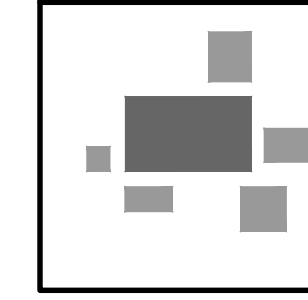






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DATE: 01/11/24  
DESIGNED: ATN  
CHECKED: TDM  
DRAWN: ATN  
REVIEWED: TDM





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**CSW EXPANSION PHASE 3.5**  
**12725 4 MILE ROAD**  
**CALEDONIA, WI 53126**

**PUBLIC WATERMAIN PLAN & PROFILE**

REVISIONS		SHEET	
1	PRICING SET	01/11/24	C-10
2	BSO SUBMITTAL #1	03/11/24	C-11
REVISIONS		SHEET	
1			C-10
2			C-11

REC'D BY: TDM  
REC'D BY: TDM  
SCALE: 1"=30'  
DATE: 01/11/24

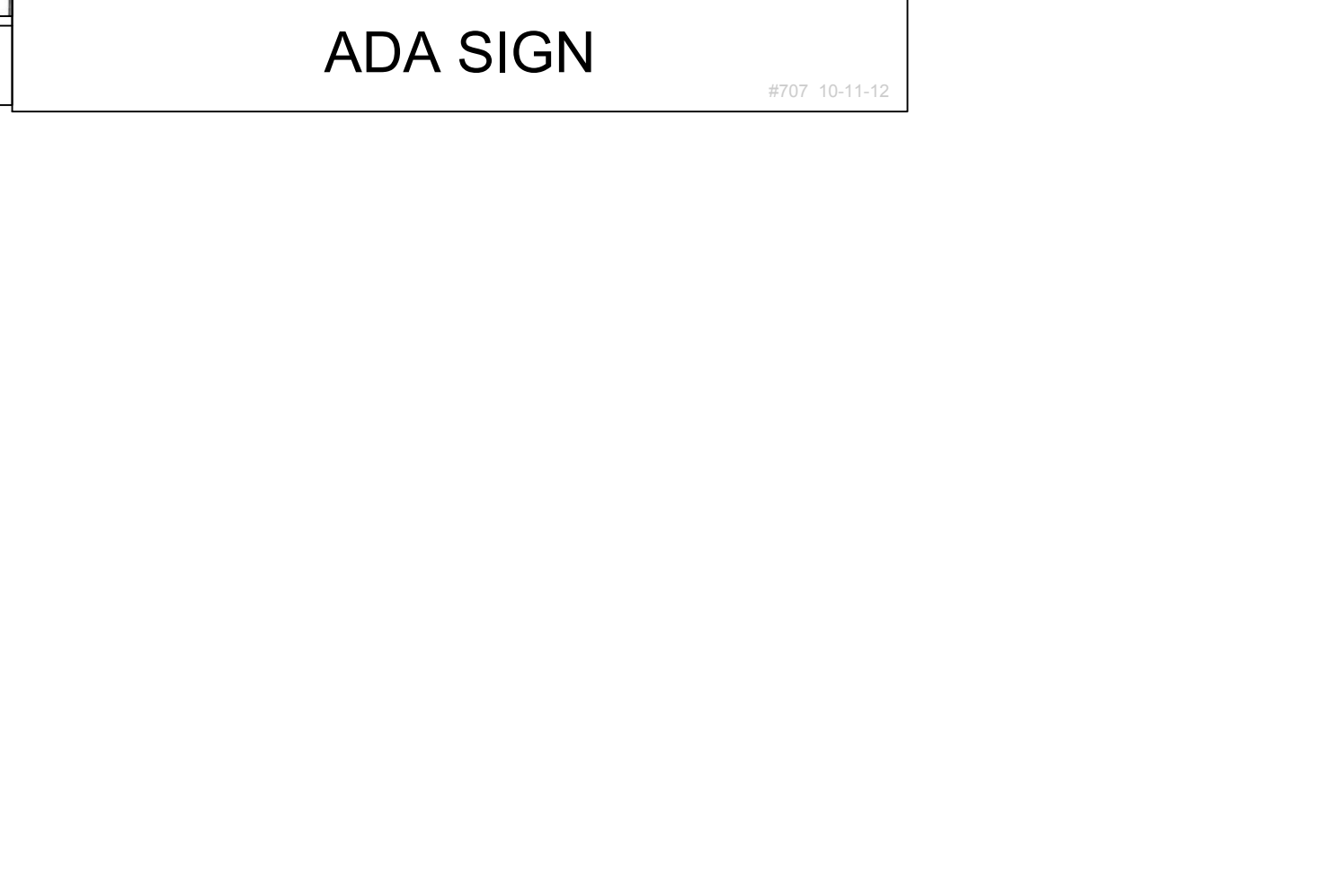
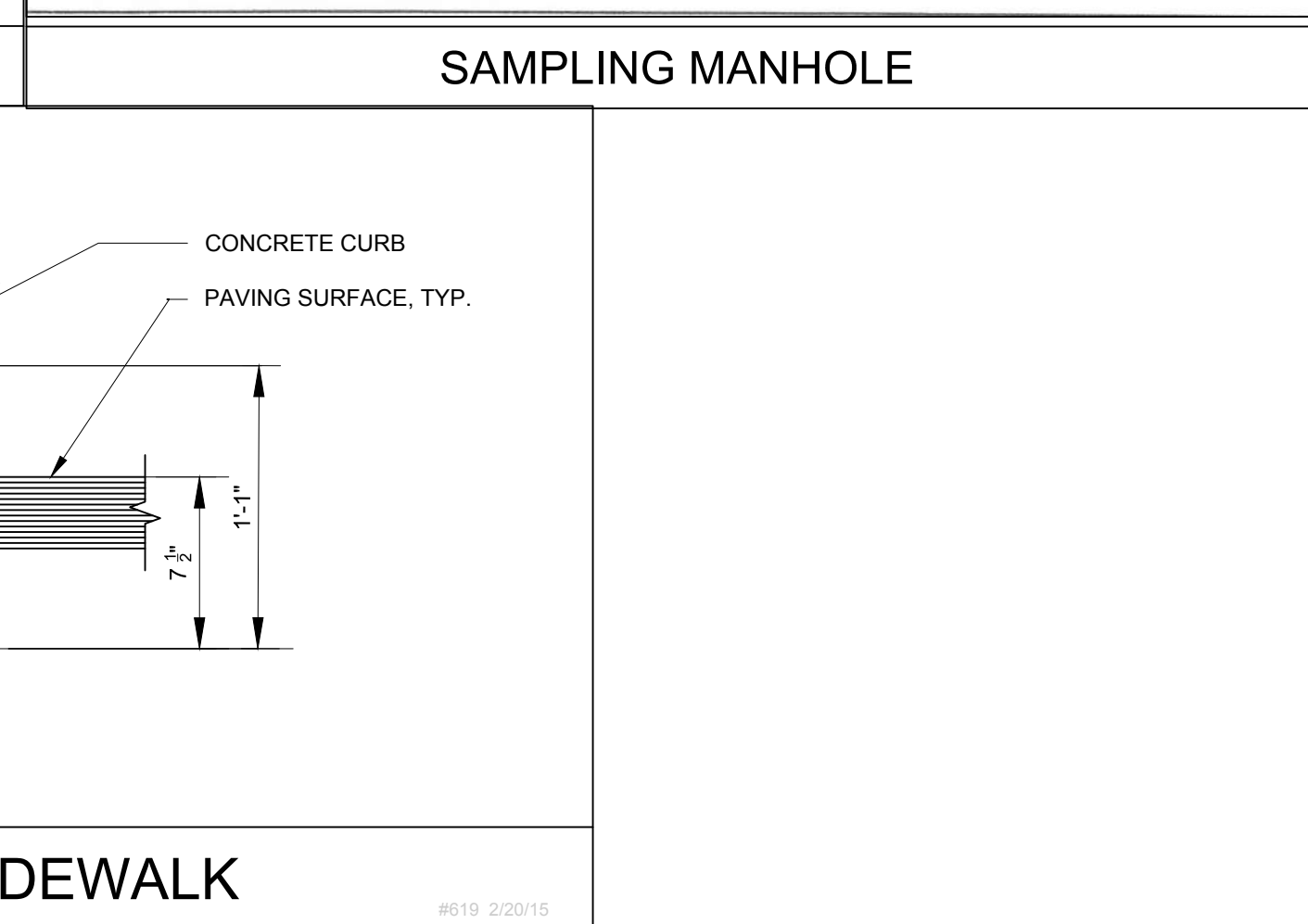
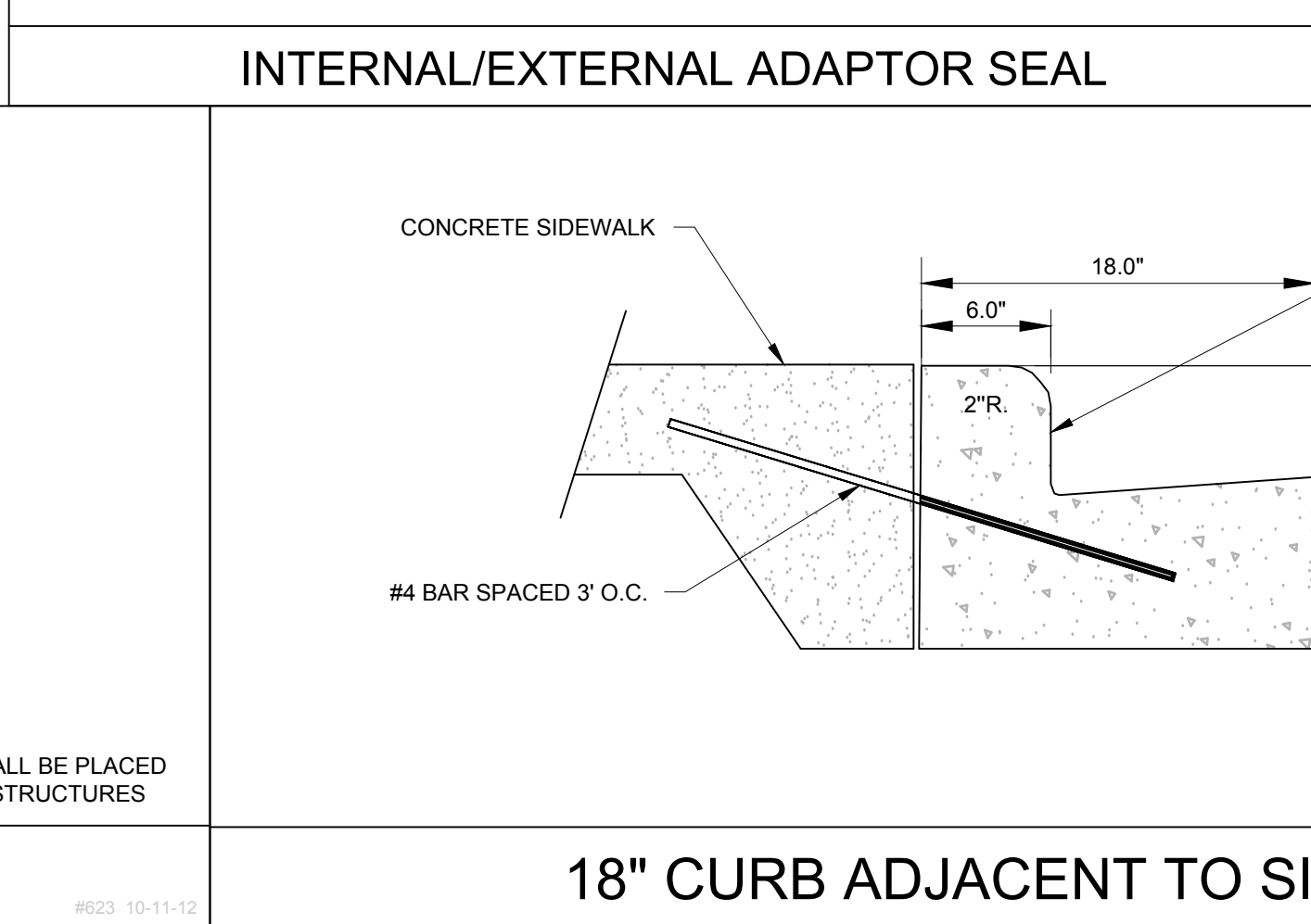
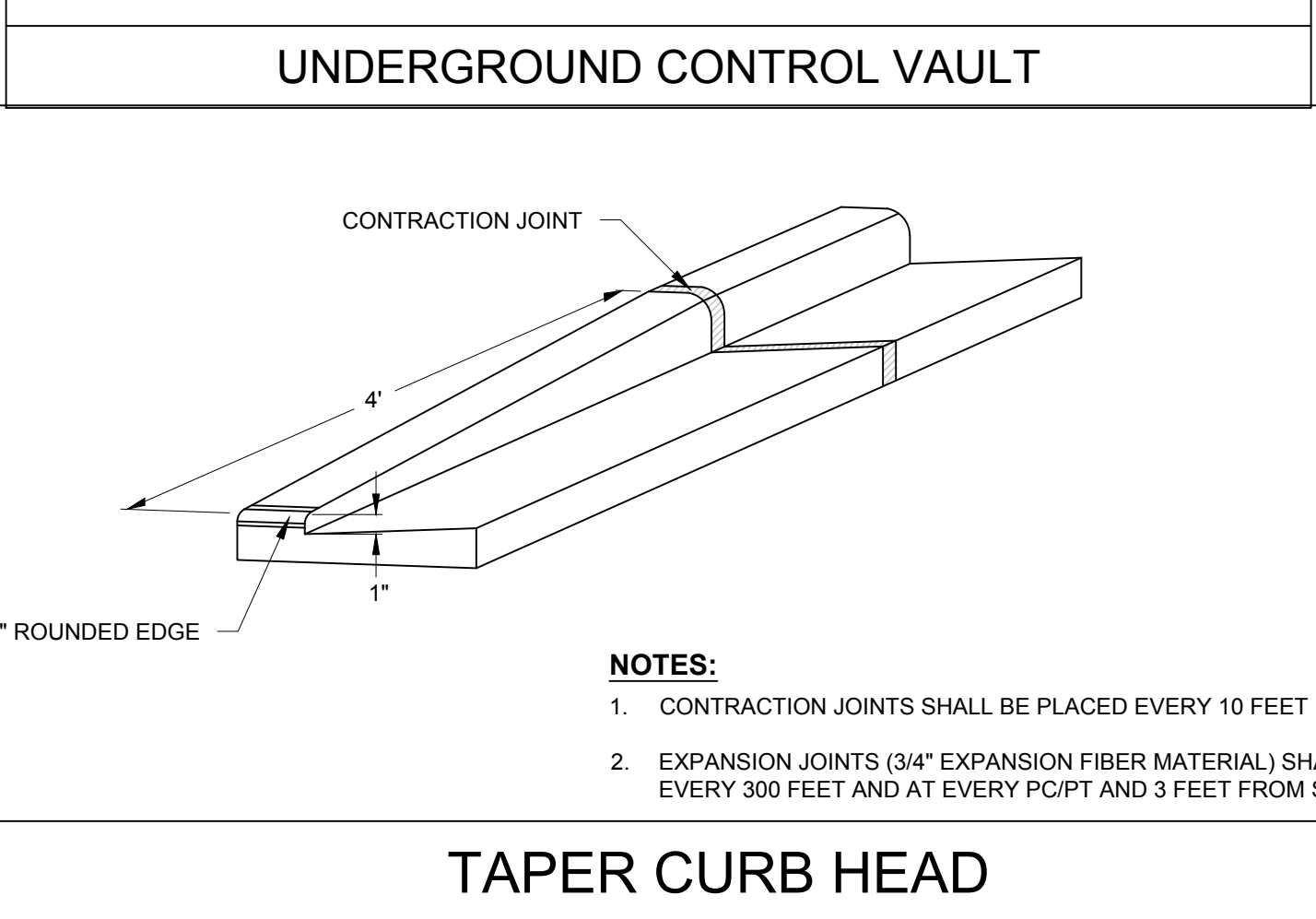
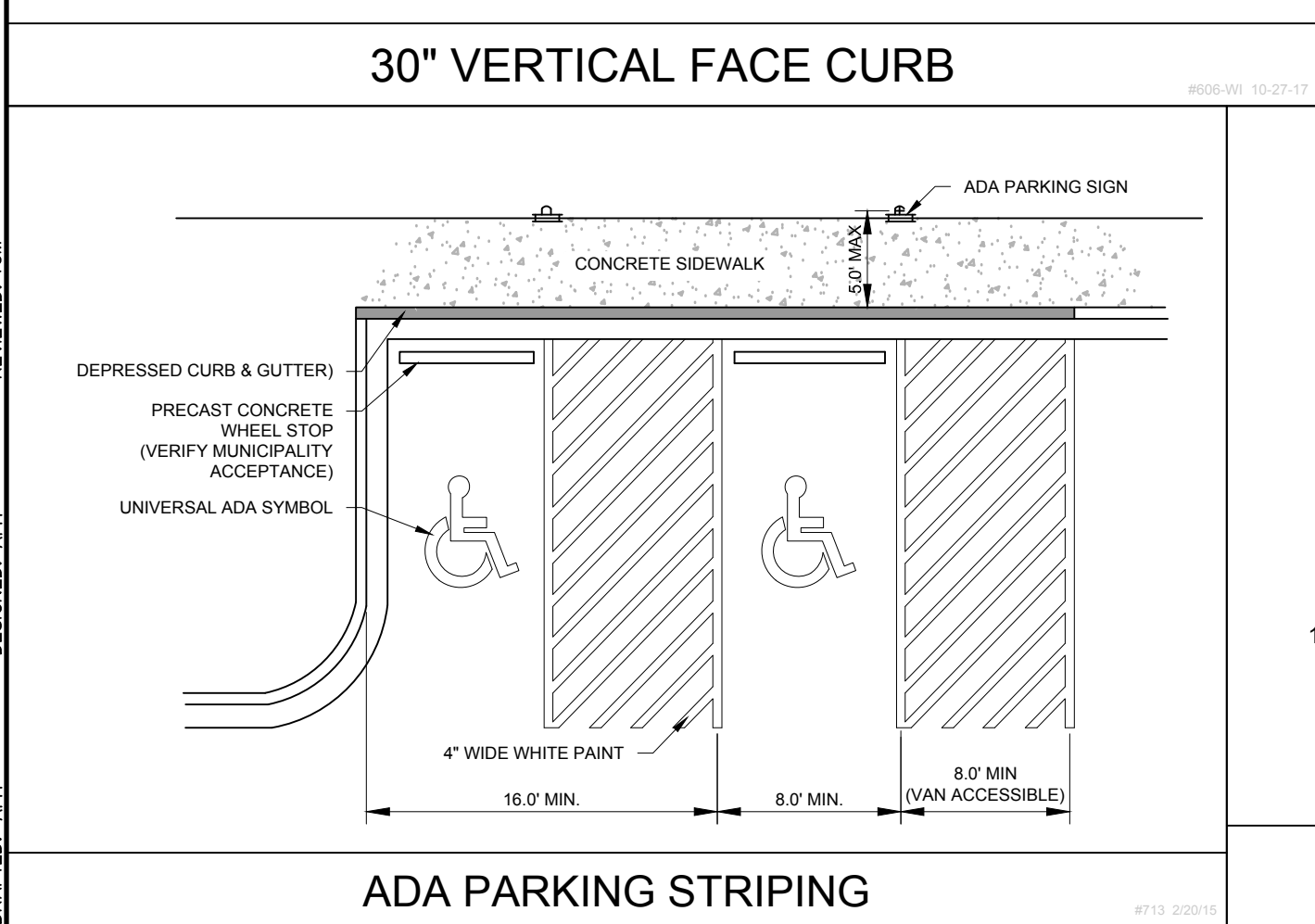
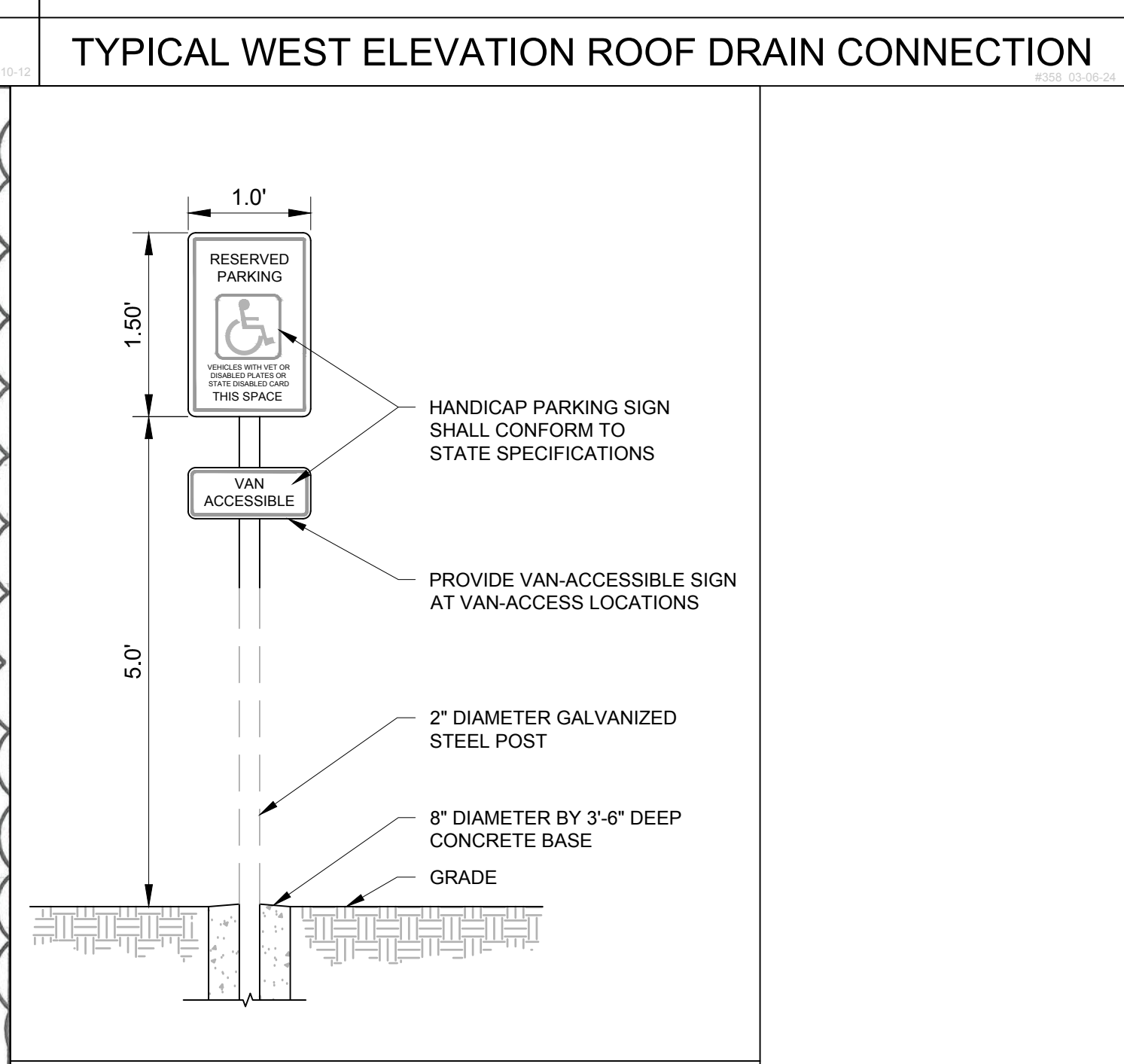
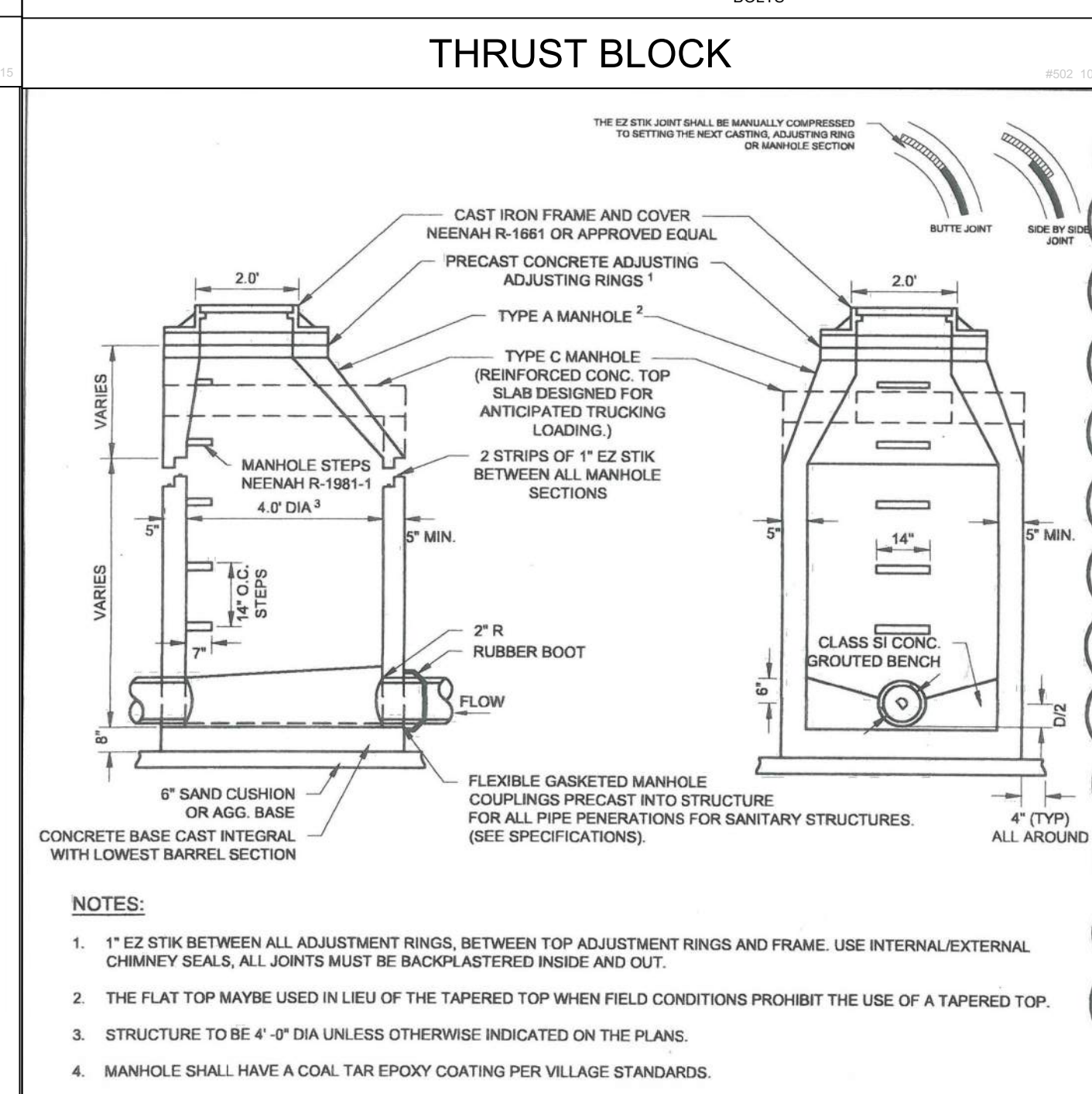
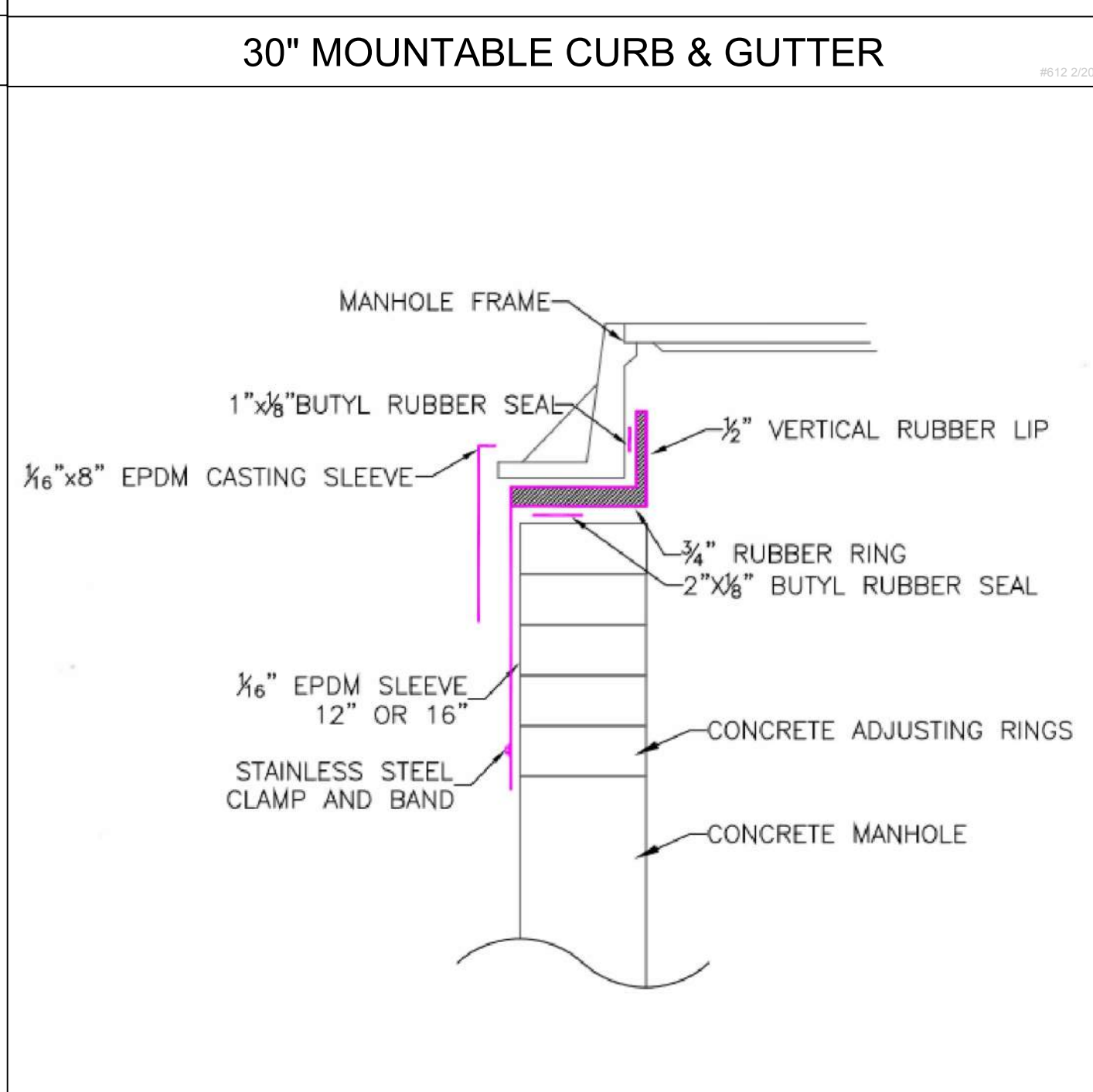
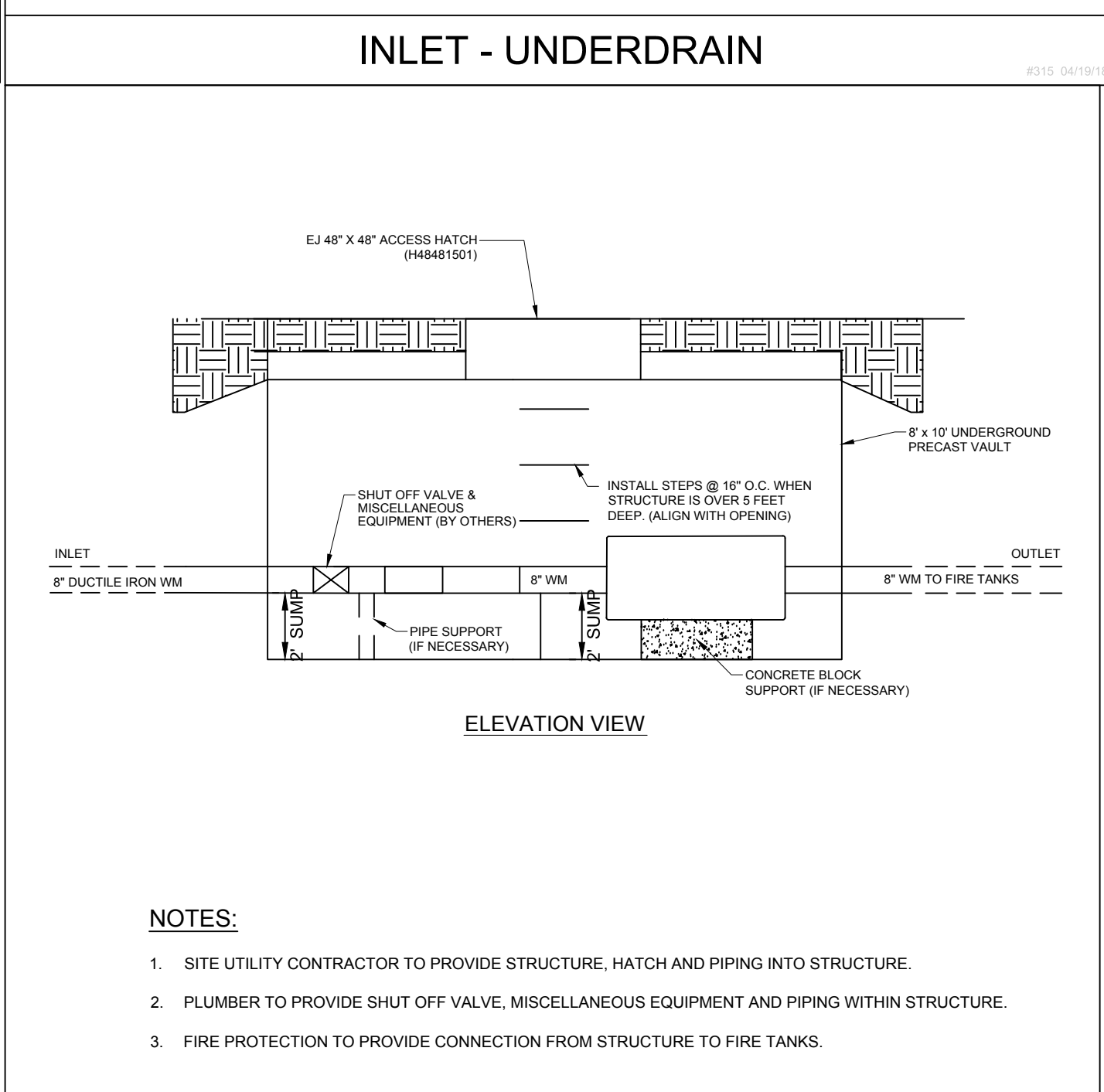
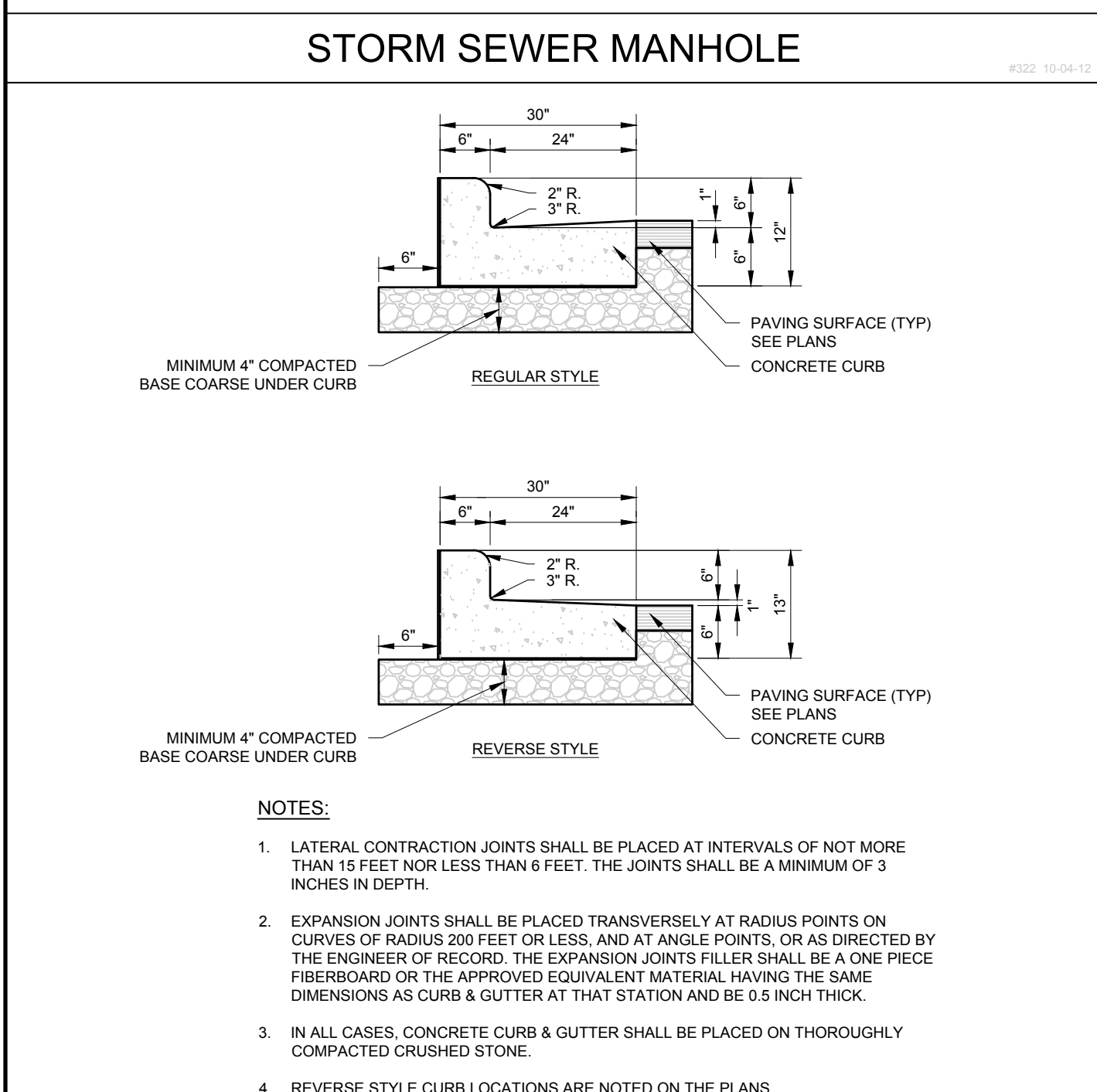
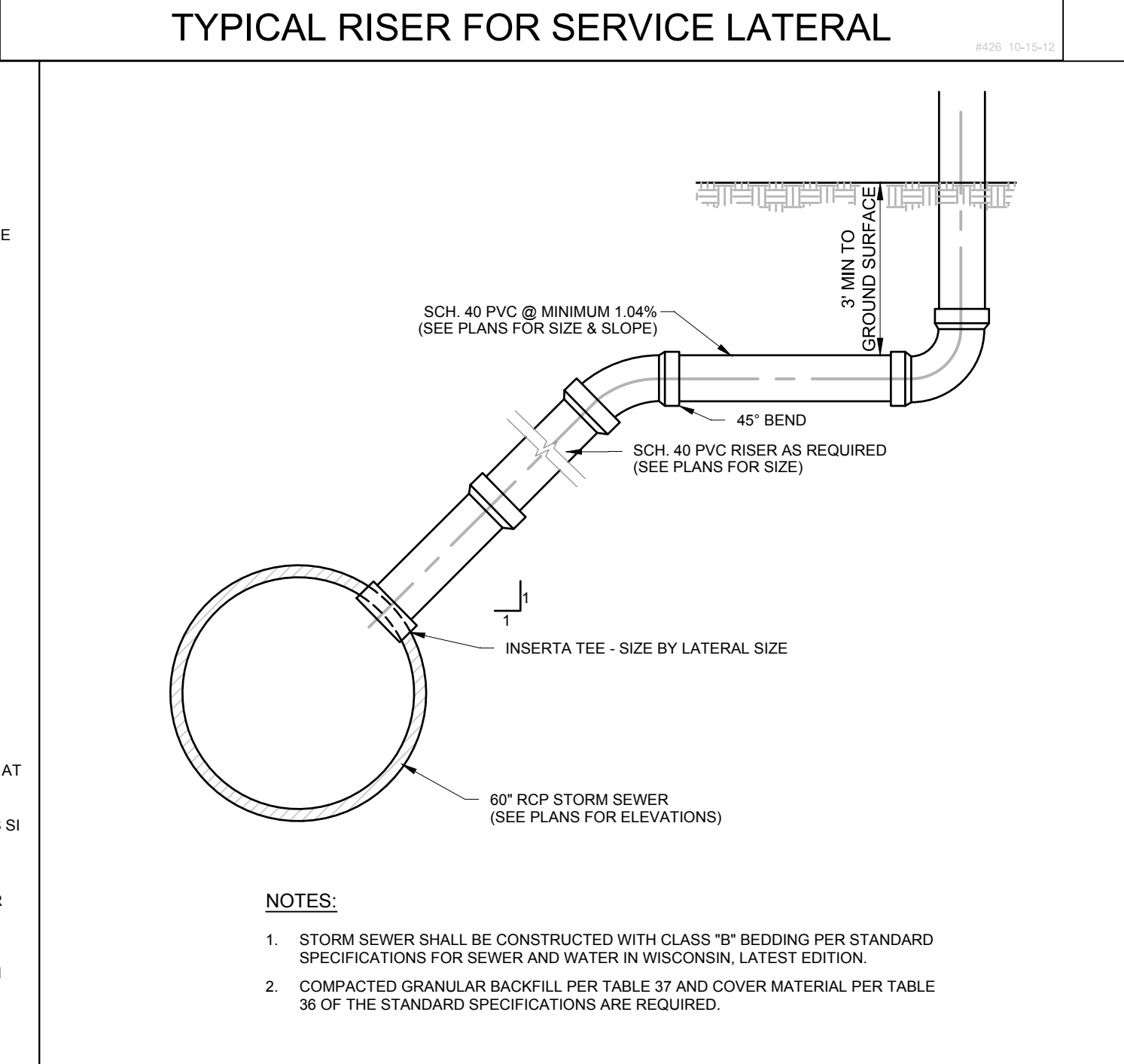
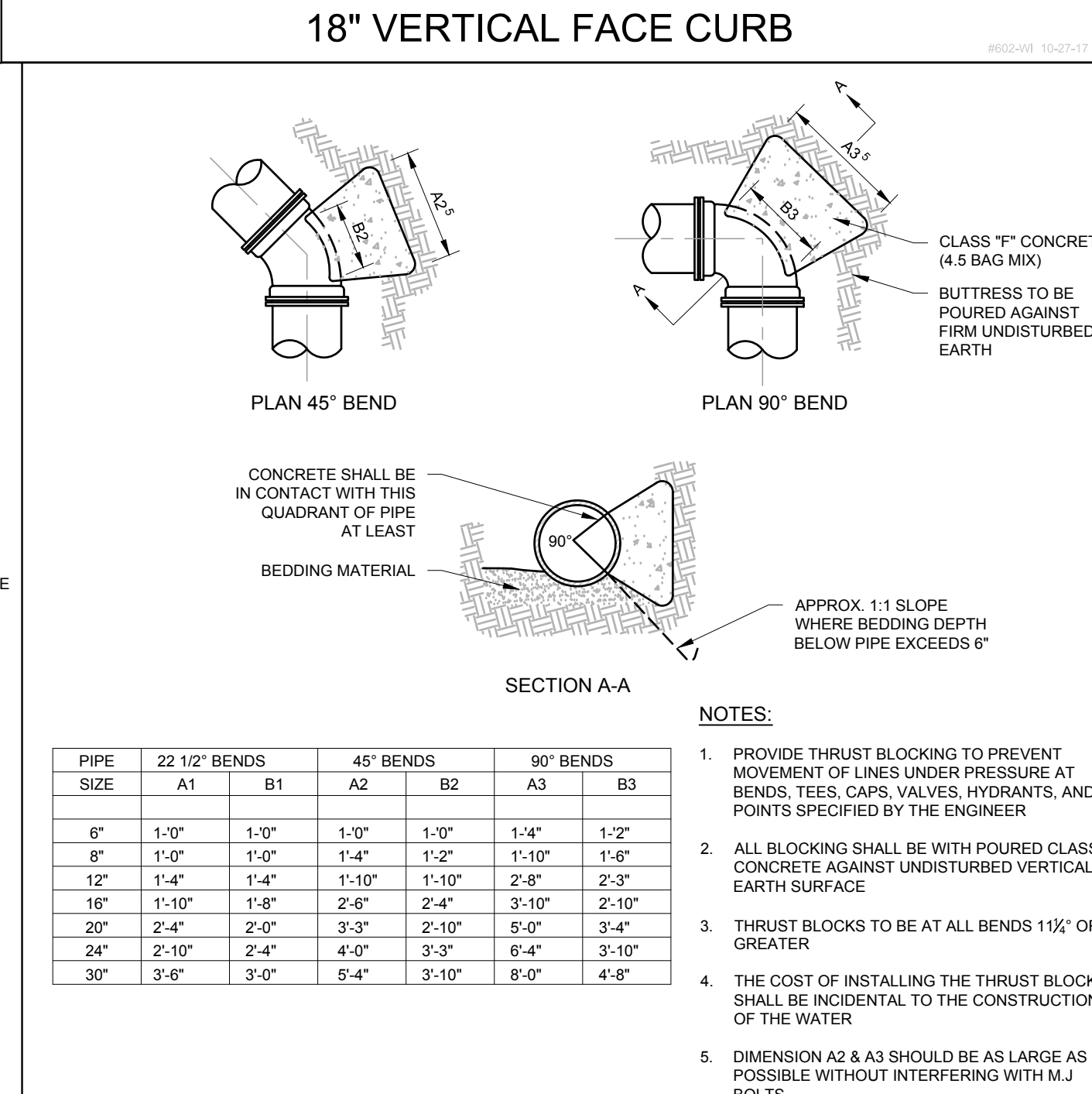
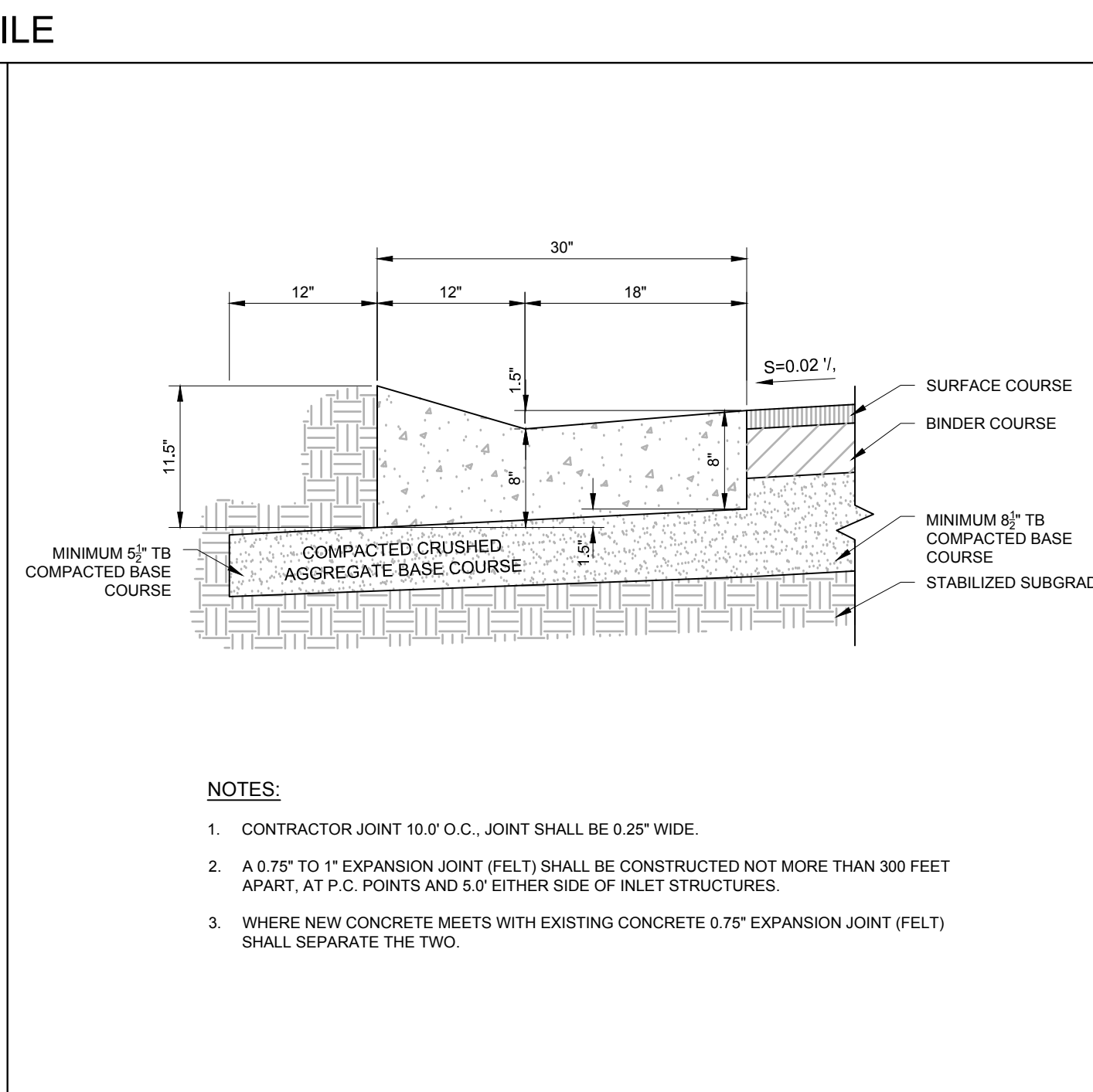
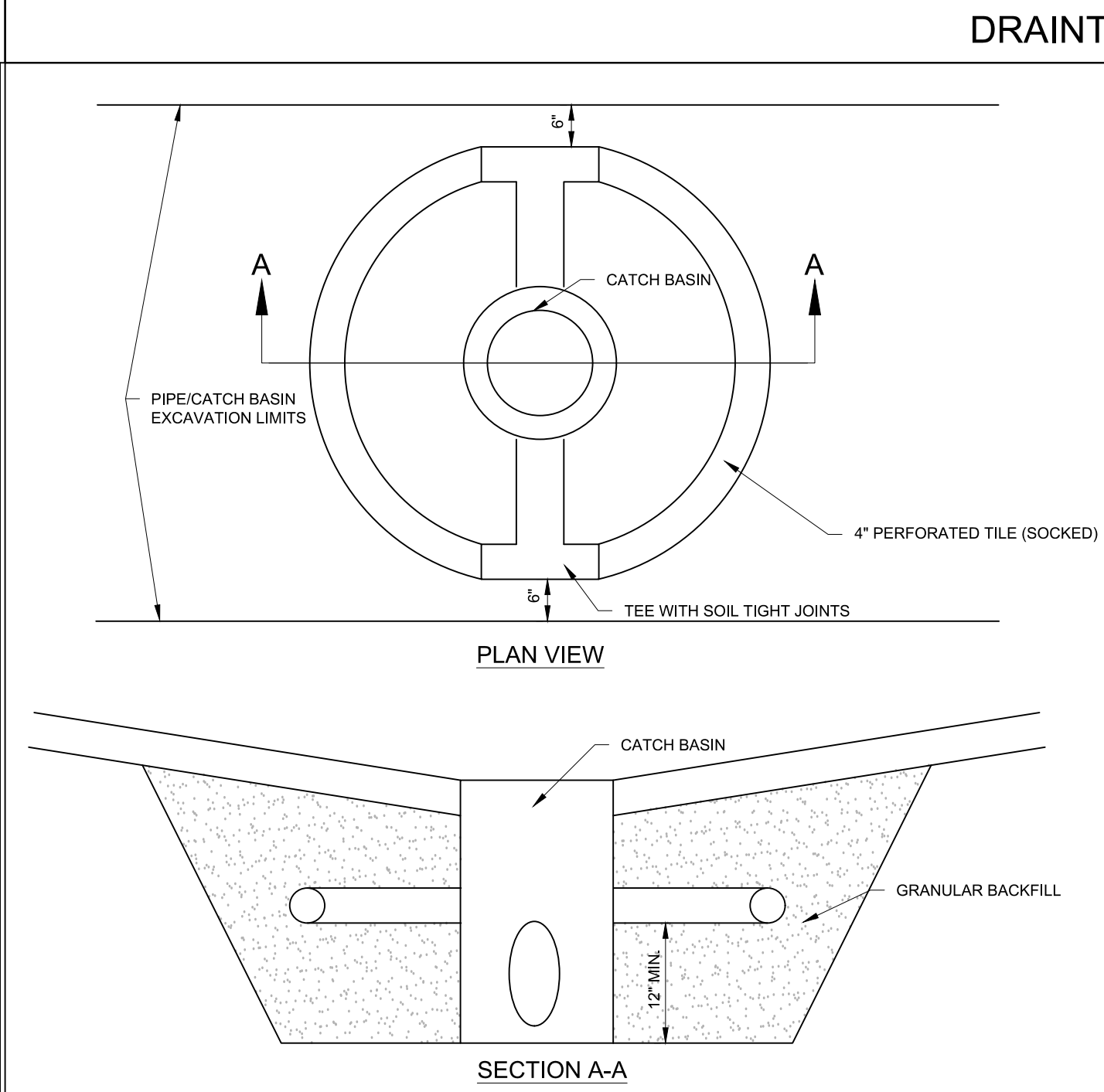
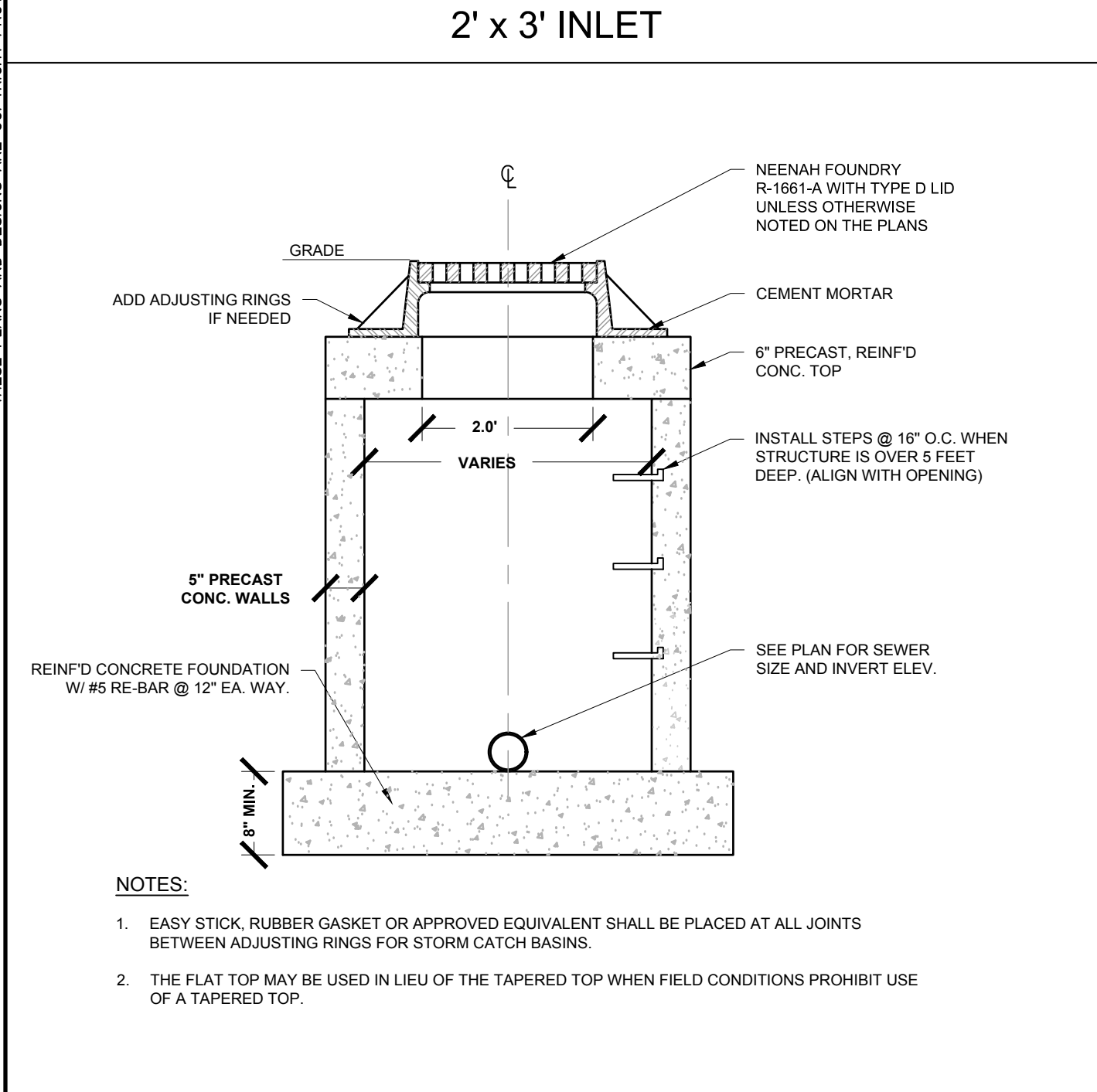
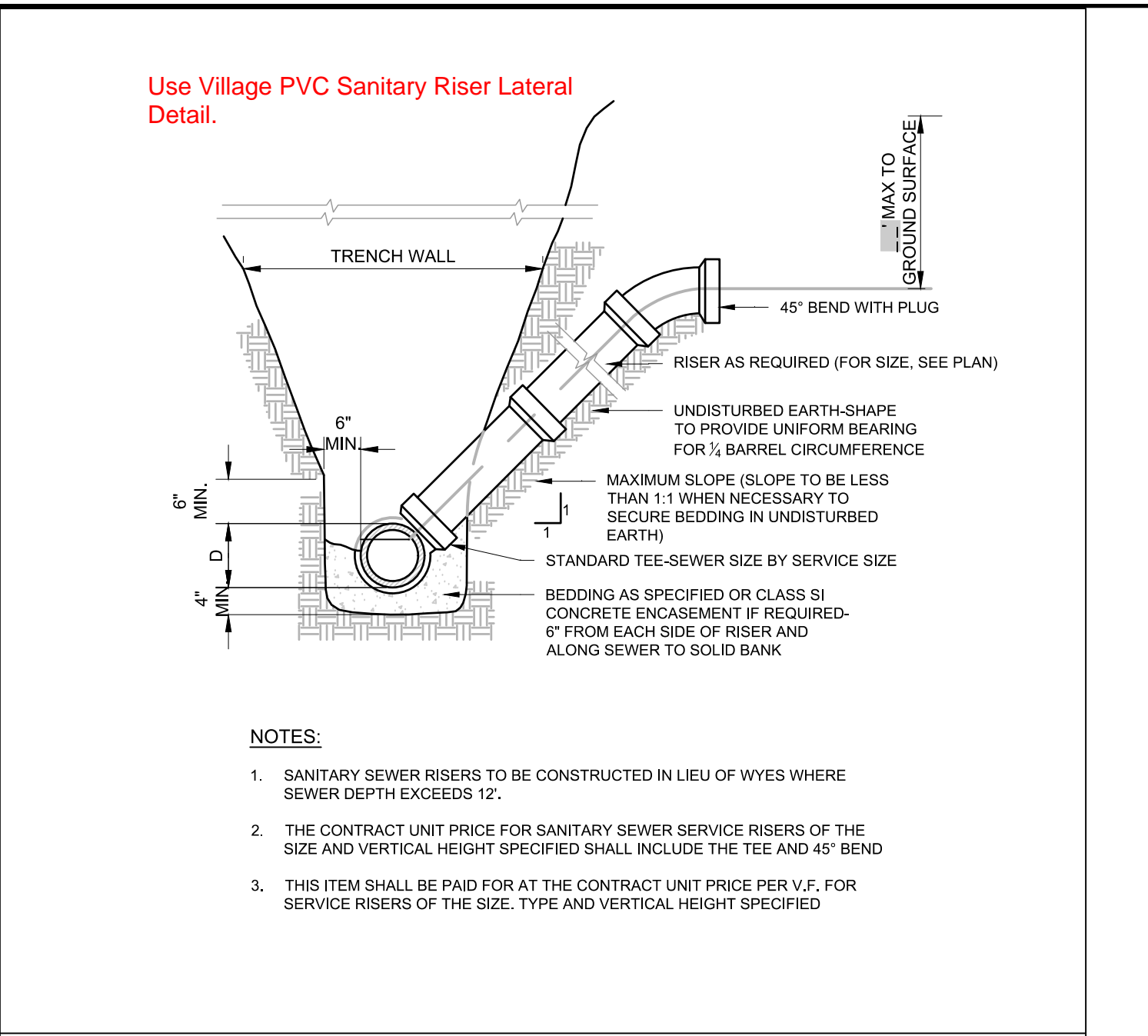
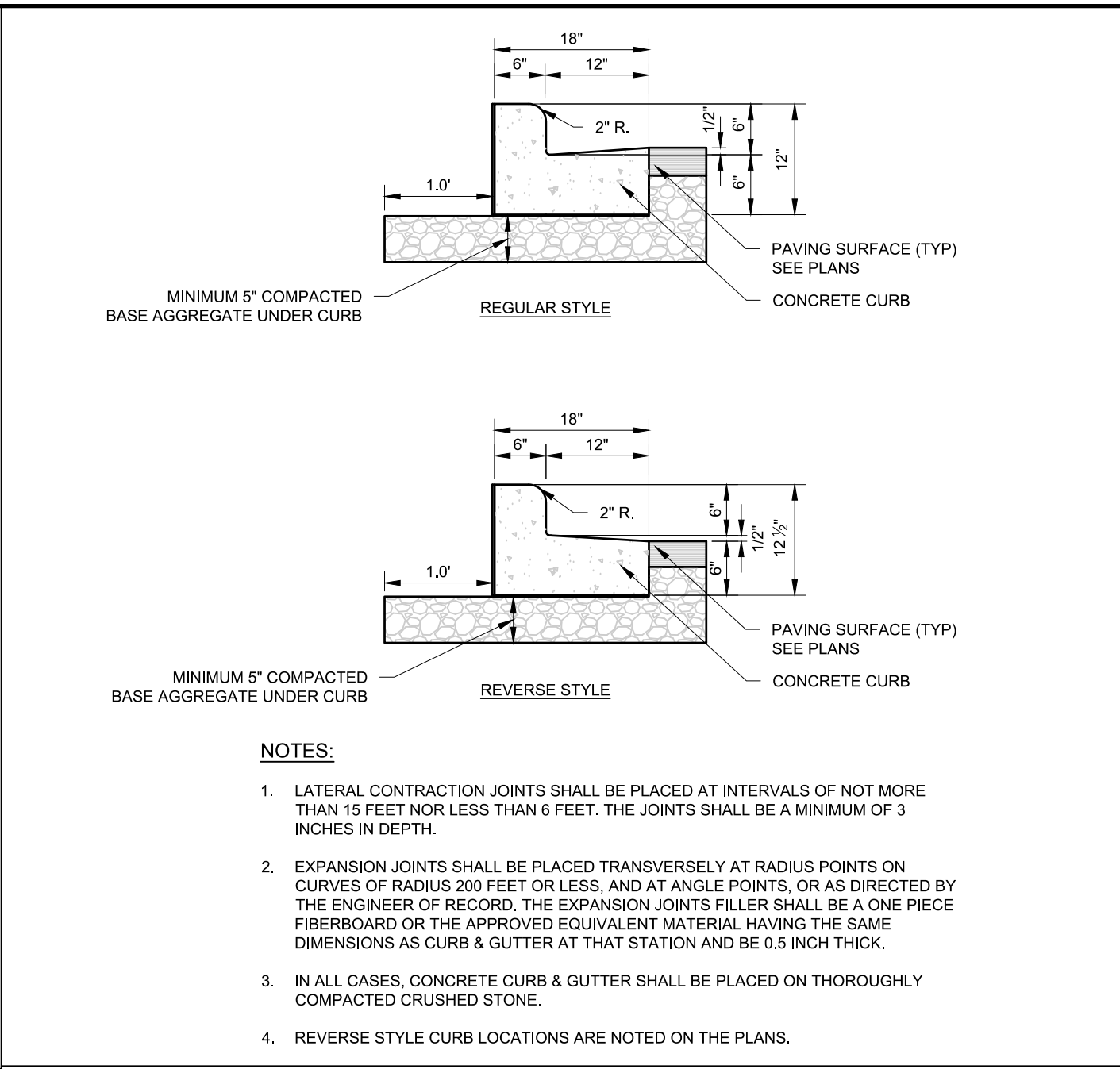
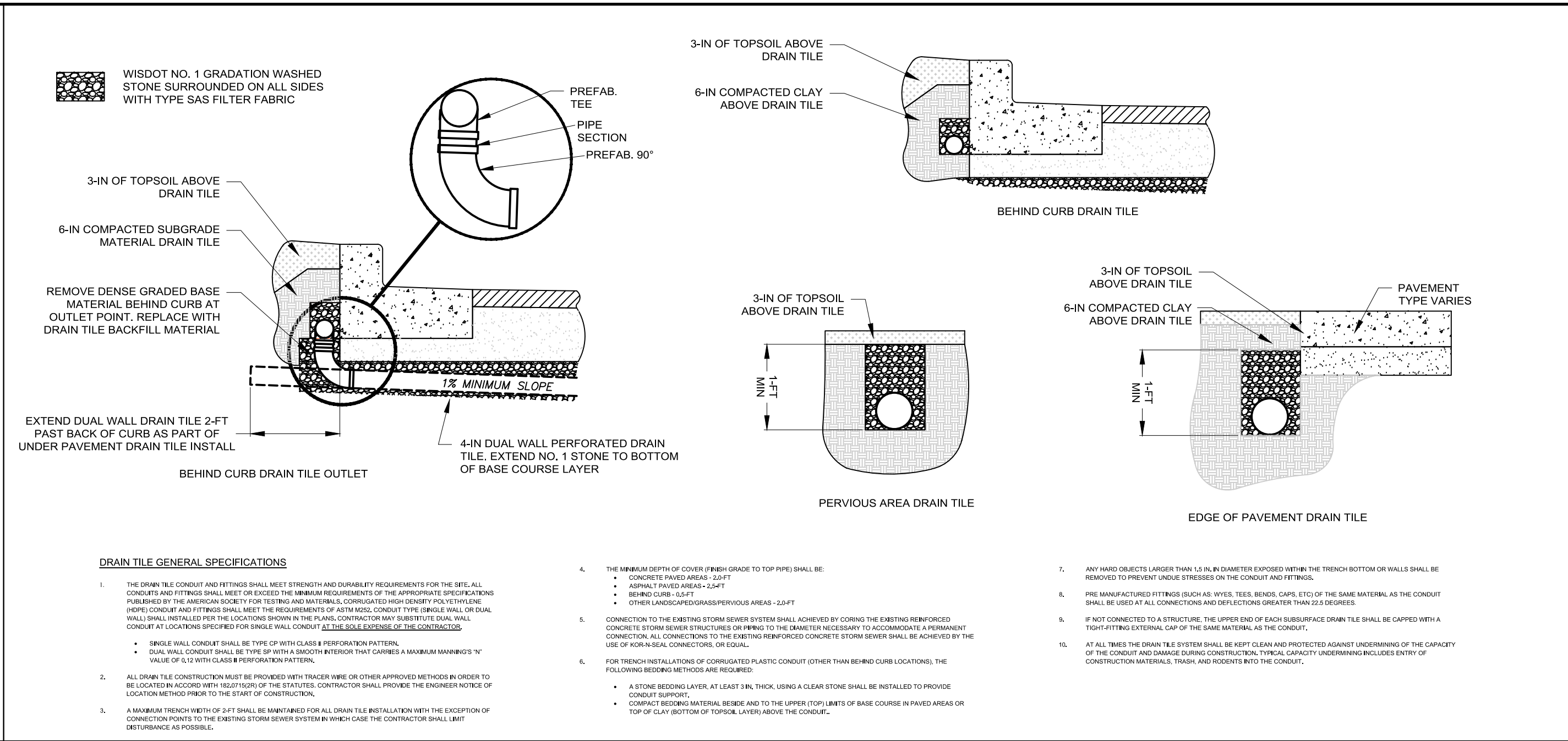
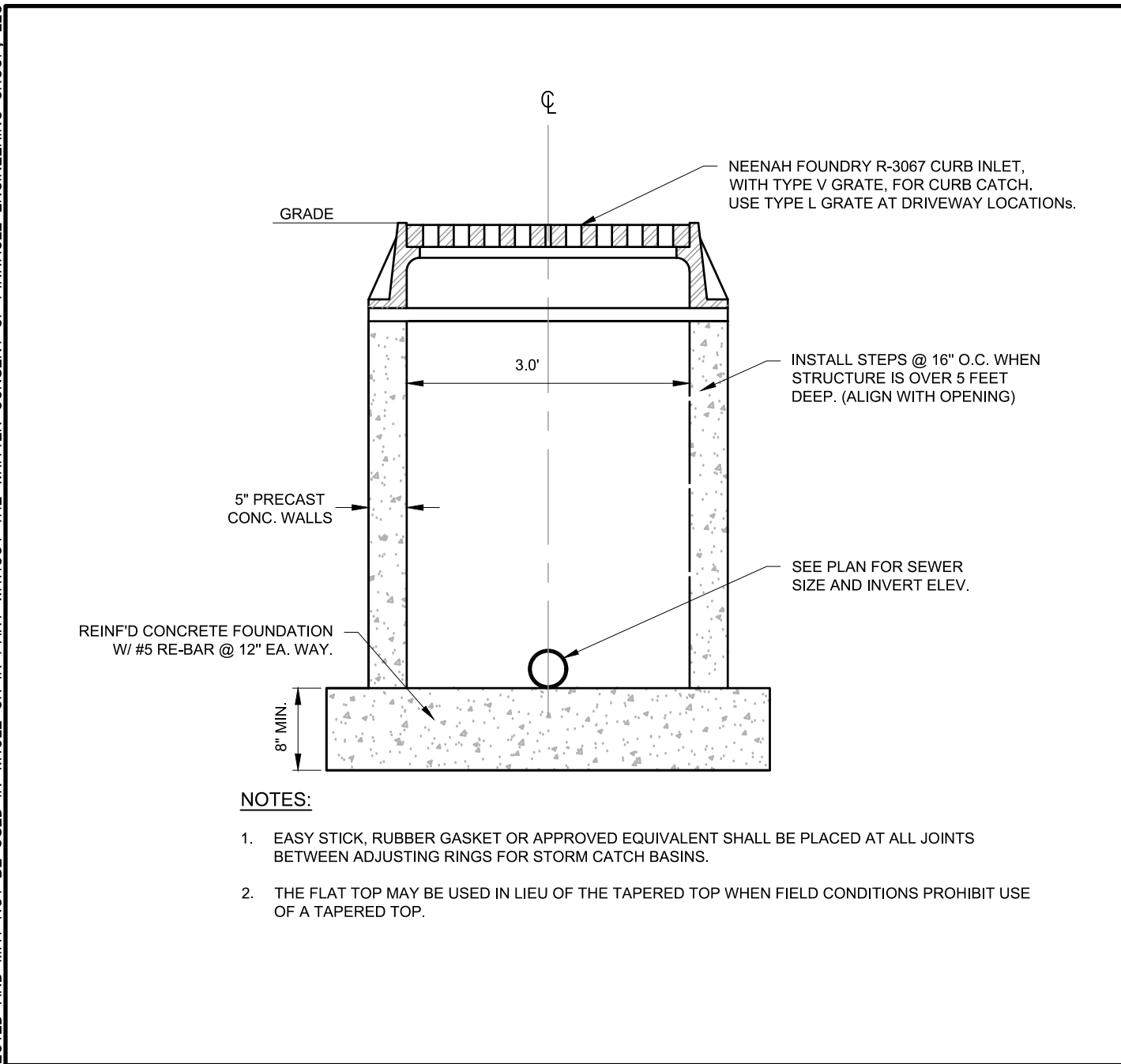
PROJECT NO.: 5294.00  
TOM  
SHEET C-10 OF C-11





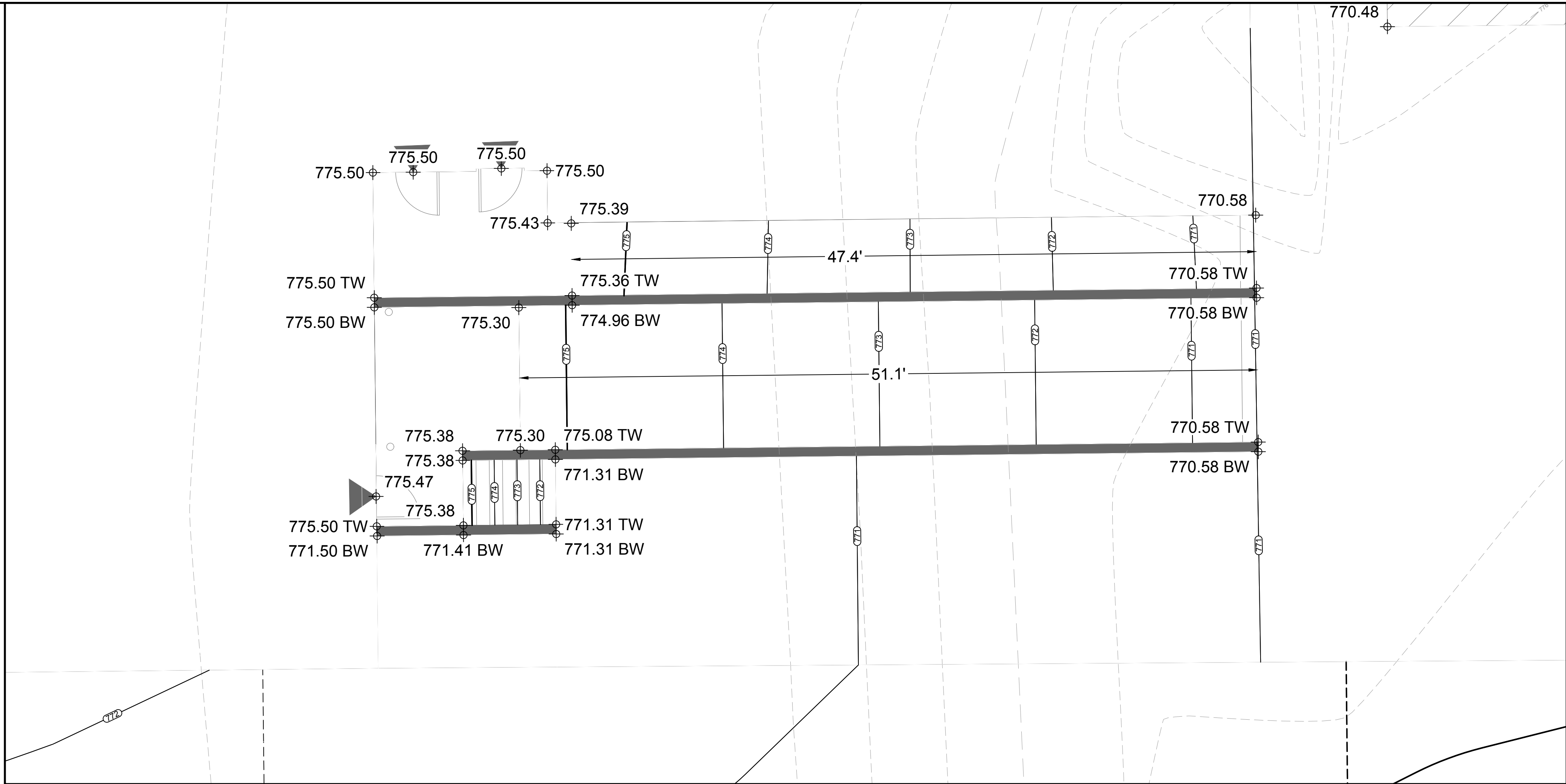


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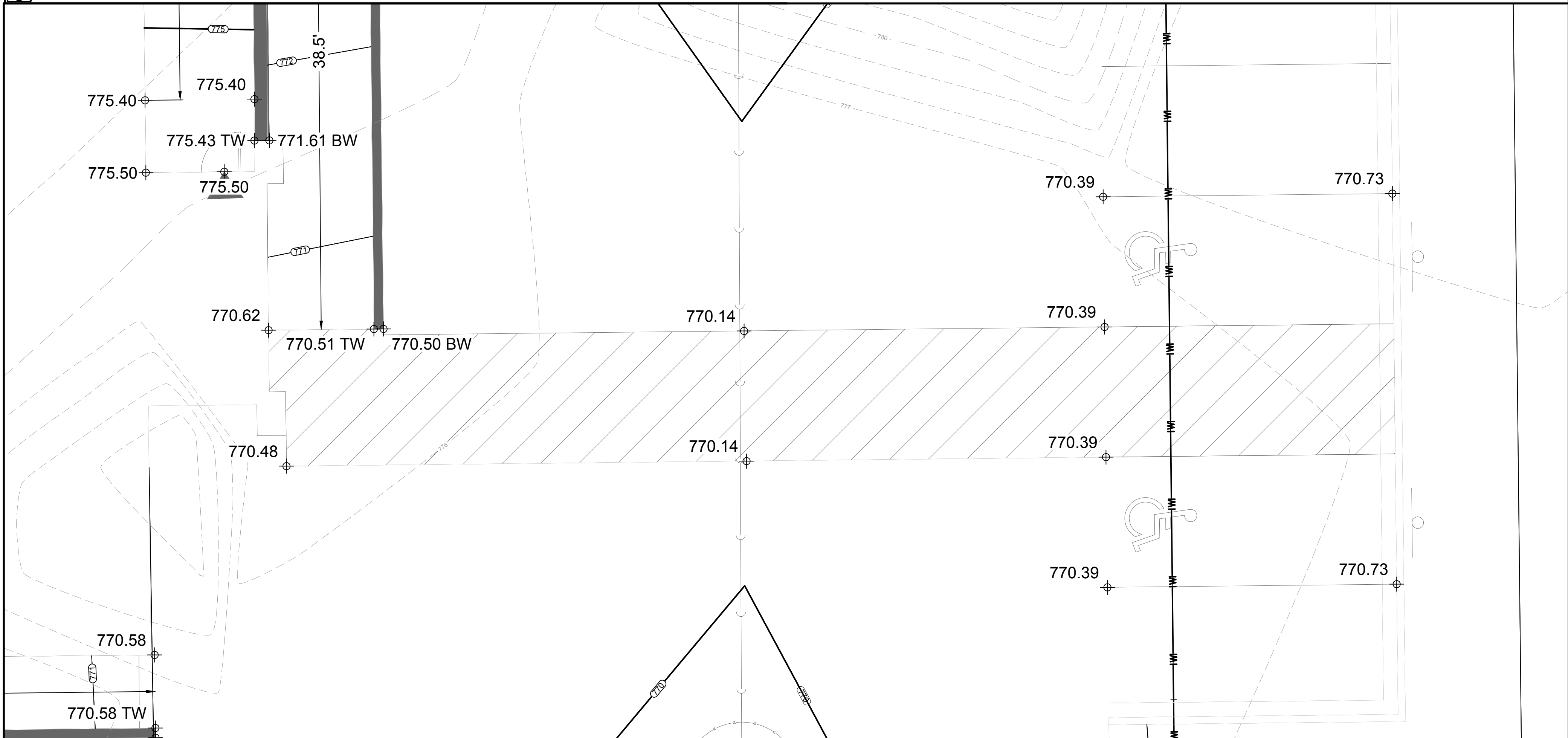


DESIGNED: ATH  
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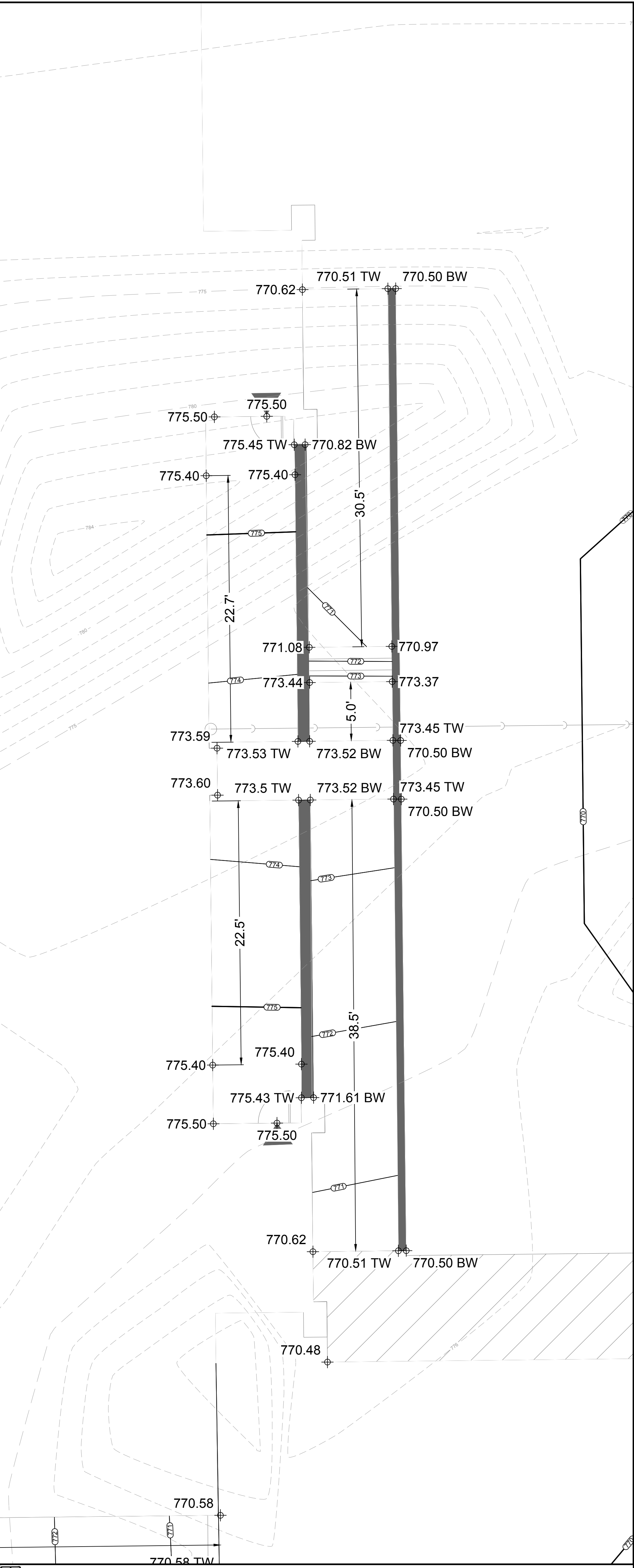
CSW EXPANSION PHASE 3.5 - ENLARGED GRADING

SCALE: 1" = 5'




CSW EXPANSION PHASE 3.5 - ENLARGED ADA GRADING

SCALE: 1" = 5'



CSW EXPANSION PHASE 3.5 - ENLARGED GRADING

SCALE: 1" = 5'



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**CSW EXPANSION PHASE 3.5**  
12725 4 MILE ROAD  
CALEDONIA, WI 53126

CONSTRUCTION DETAILS

REVISIONS			
1	PRICING SET	01/11/24	
2	BSO SUBMITTAL #1	03/11/24	

REG. JOB NO. 5294.00

REG. PM. TDM

START DATE 01/11/24

SCALE 1"=50'

SHEET

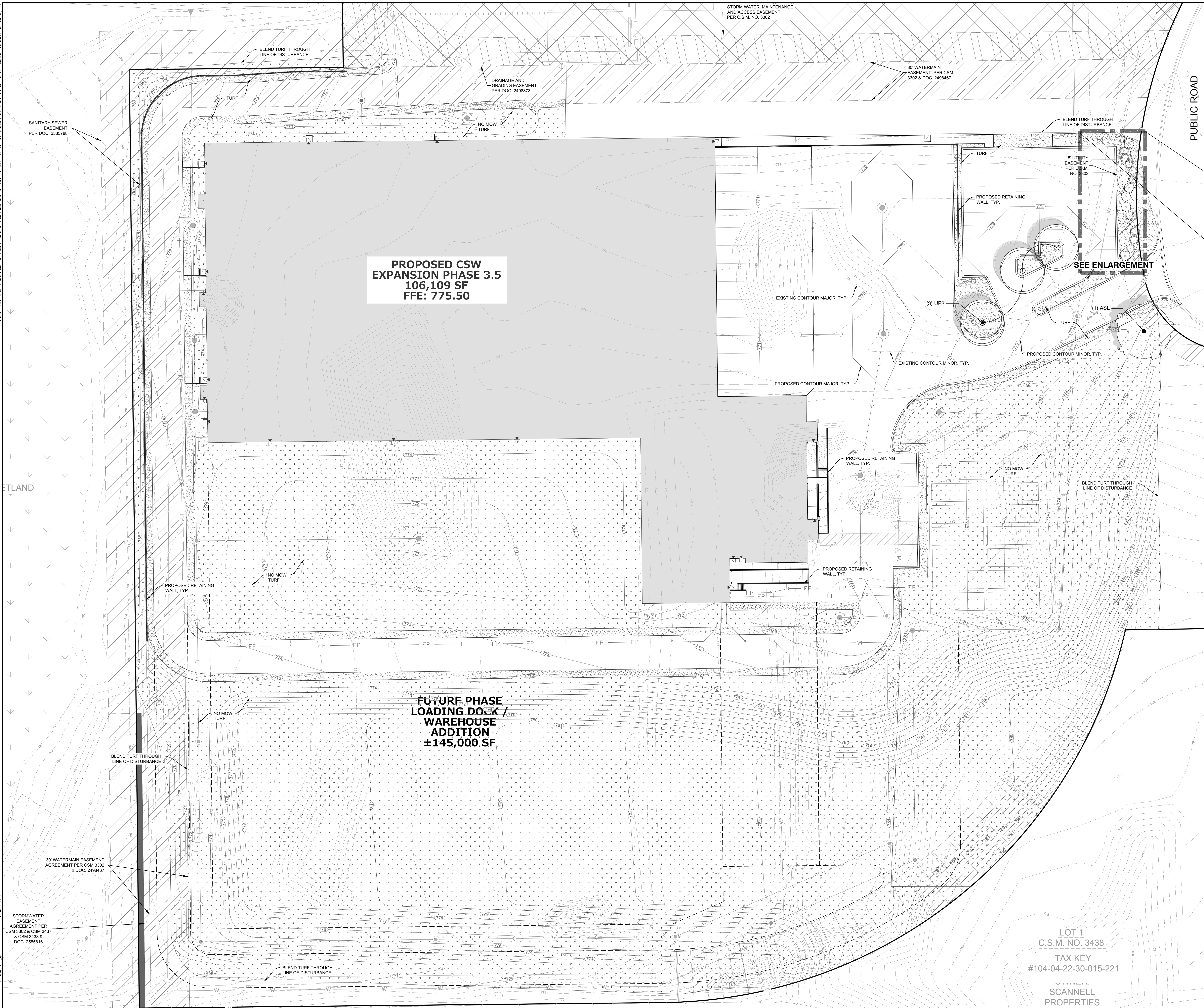
C-13

of

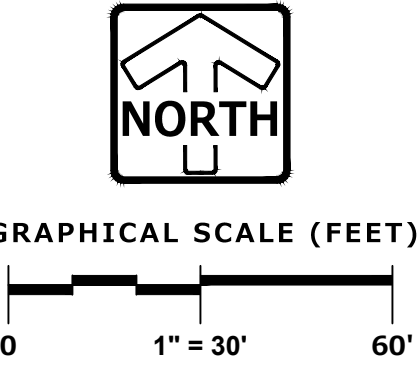
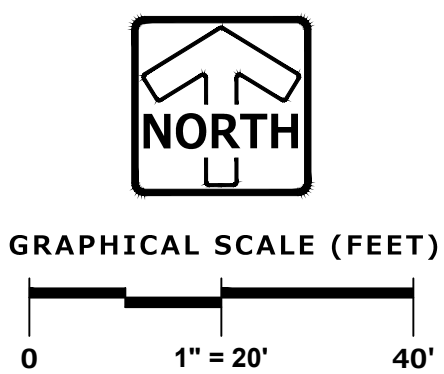
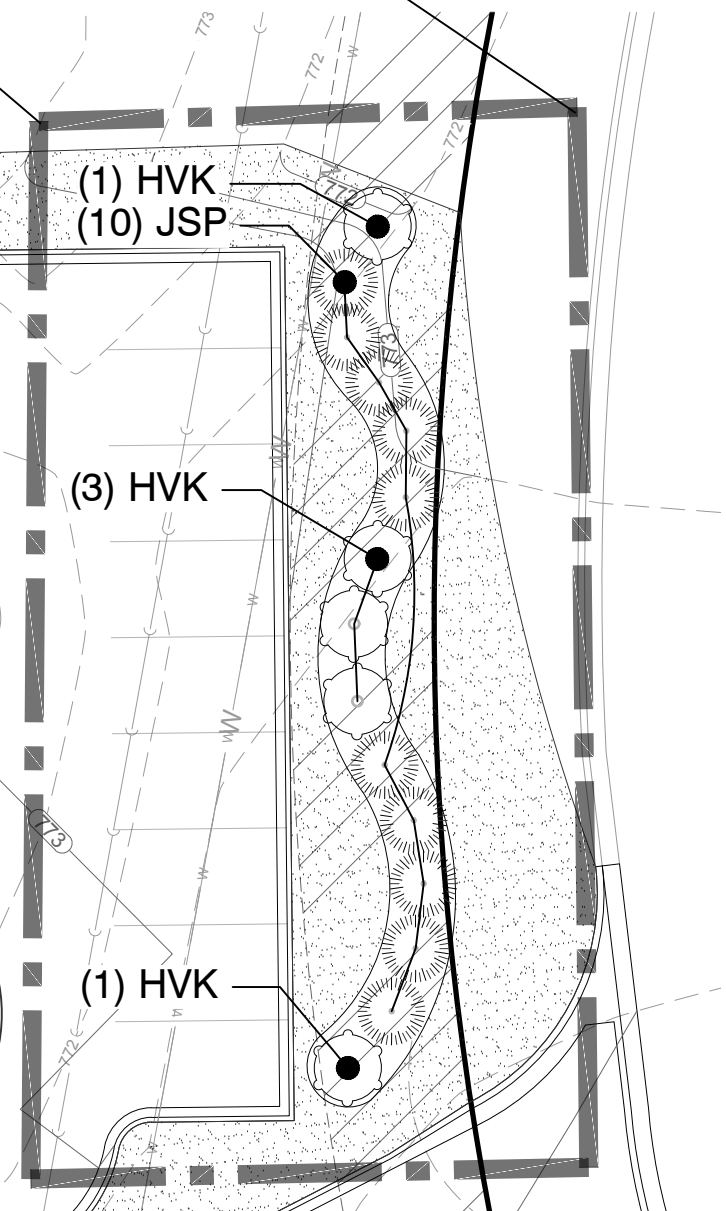
C-11



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PLANT SCHEDULE				
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				
ASL	1	Acer saccharum 'Legacy'	Legacy Sugar Maple	2" Cal.
UP2	3	Ulmus x Morton Glossy	Triumph Elm	2" Cal.
<b>SHRUBS</b>				
HVK	5	Hamamelis vernalis 'Kohankie Red'	Kohankie Red Ozark Witchazel	24" Ht.
<b>EVERGREEN SHRUBS</b>				
JSP	10	Juniperus chinensis 'J.N. Select Blue'	Star Power Juniper	4" Ht.
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
<b>GROUND COVERS</b>				
	23,430 sf	Turf Hydroseed	Drought Tolerant Fescue Blend	
	270,506 sf	Turf Hydroseed Low Grow	Low Grow Mix	



REVISIONS	
1	PRICING SET
2	BSO SUBMITTAL #1

REG. JOB NO.	5294.00
REG. PM.	TGM
START DATE	01/11/24
SCALE	VARIABLE
SHEET	L-1 of L-2



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REVISED: SUB

DESIGNED: SAT

DRAWN: SAT

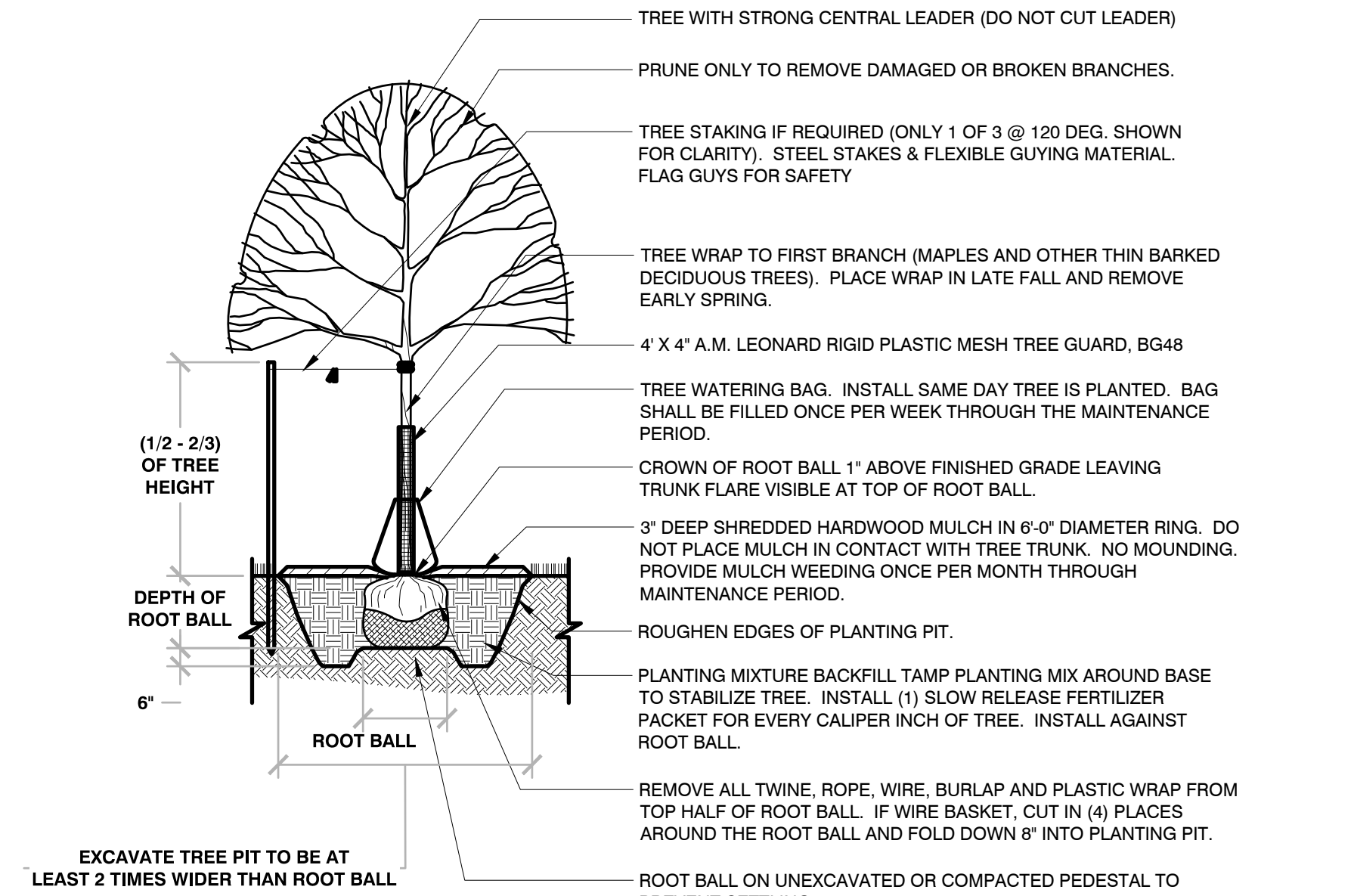
GENERAL PLANTING NOTES

1. THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY.
2. THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
3. NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
4. ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
5. ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
6. ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
7. TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
8. ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
9. BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
10. ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
11. ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
12. TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
13. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
14. ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
15. WHILE PLANTING TREES AND SHRUBS, BACKFILL ¾ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
16. THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
17. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
18. ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
19. ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
20. FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
21. THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEEDED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
22. ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
23. ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
24. ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
25. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION

26. LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
26. TREES SHALL BE INSTALLED NO CLOSER THAN:  
- 10 FEET FROM ANY FIRE HYDRANT  
- 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE
27. THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
28. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
29. THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
30. THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
31. PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
32. THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

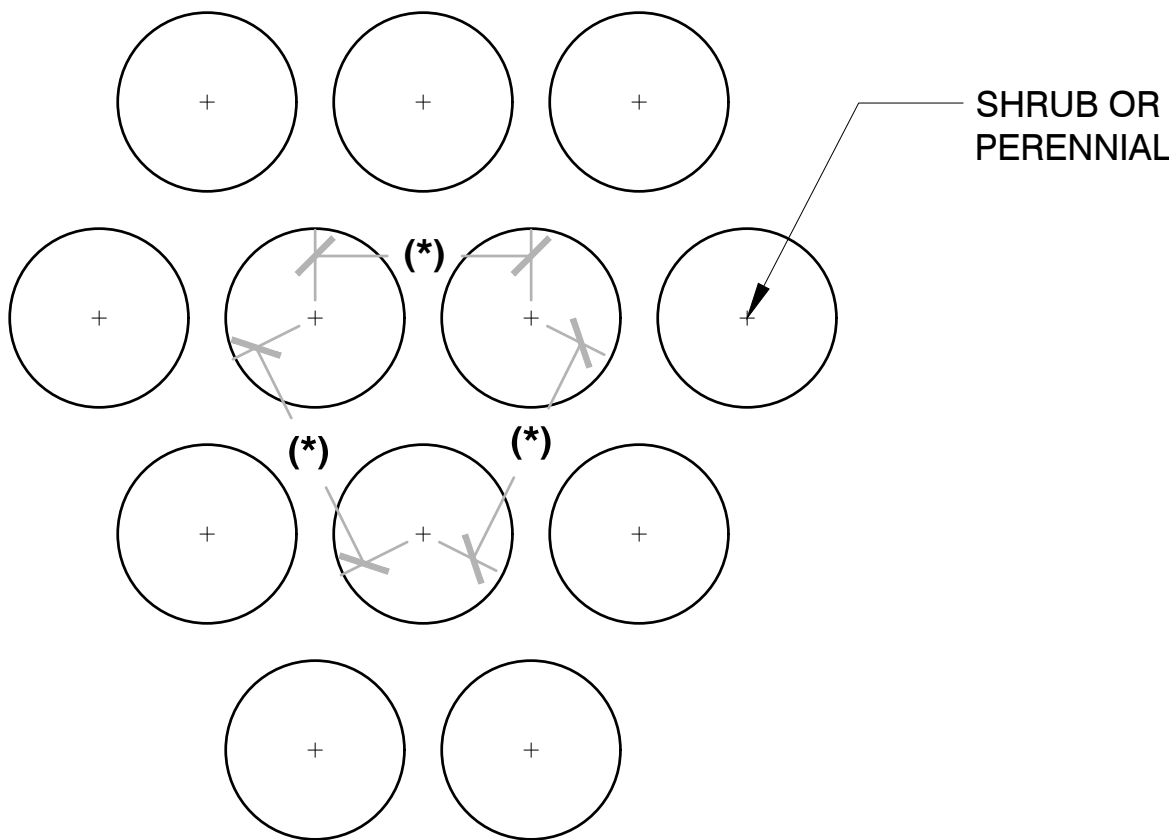
1. LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENEED TO A DEPTH OF 30".
2. THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
3. TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
4. SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
5. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENEED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
6. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
7. FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
8. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
9. RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



1 TREE PLANTING

1/4" = 1'-0"

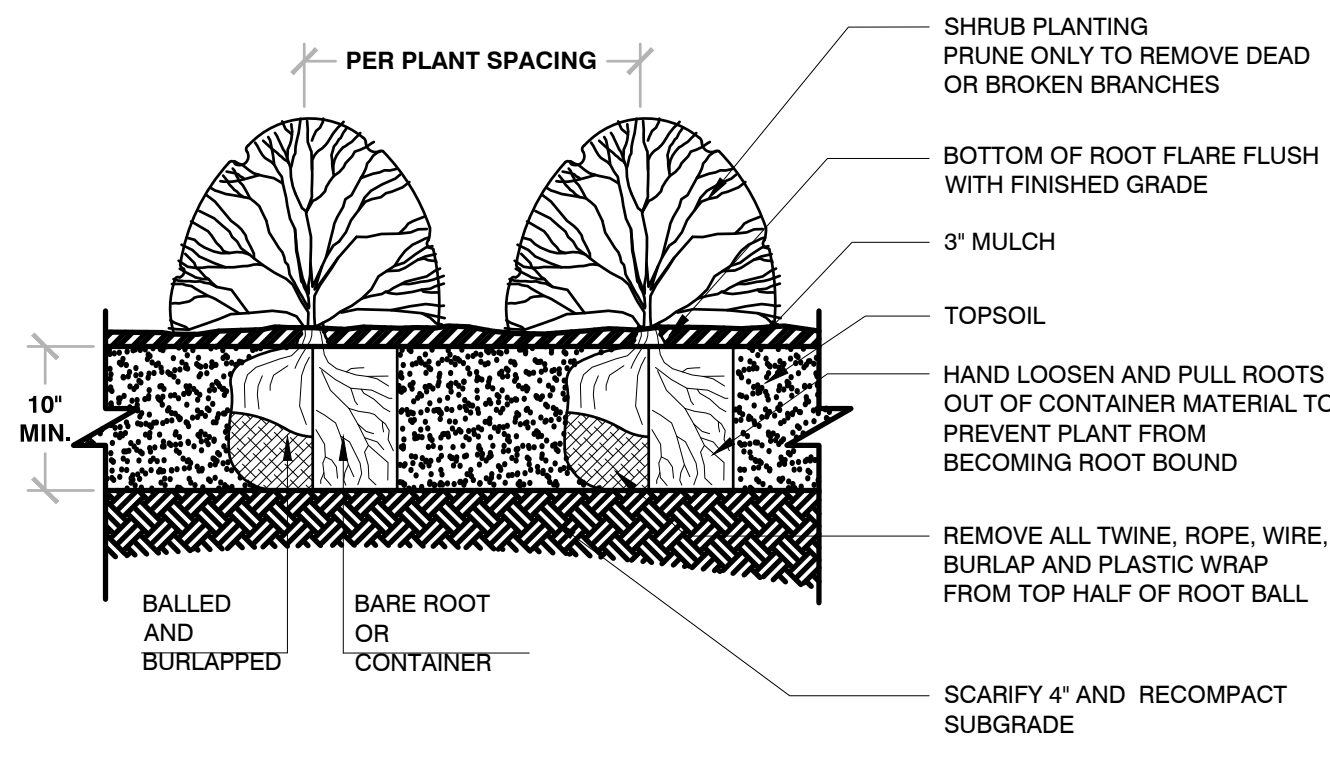
329343-01



5 PLANT SPACING

3/4" = 1'-0"

32933-02

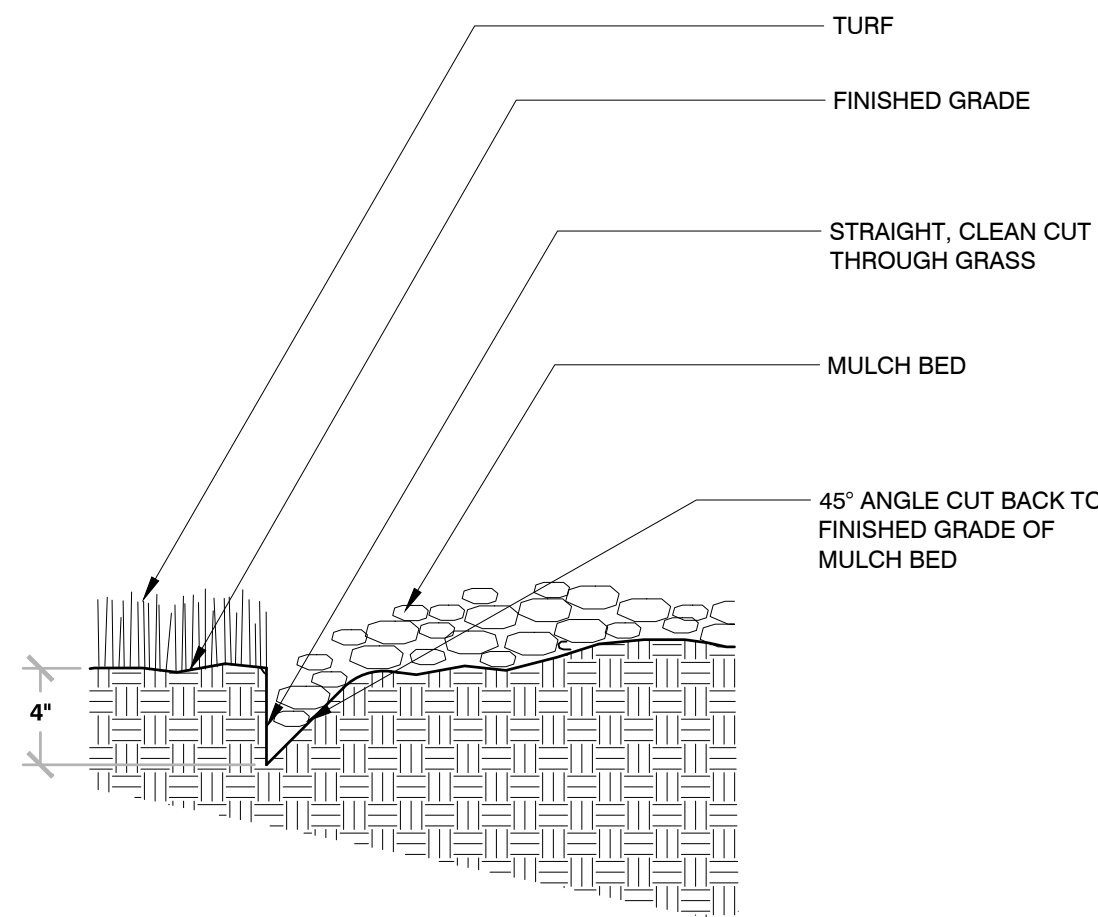


- BAREROOT PLANTING NOTES:
1. SOAK ROOTS IN WATER FOR AT LEAST ONE HOUR BUT NOT MORE THAN 24 HOURS PRIOR TO PLANTING.
  2. SCARIFY SIDES AND BOTTOMS OF HOLE.
  3. PROCEED WITH CORRECTIVE PRUNING OF THE TOP AND BOTTOM ROOTS.
  4. TRANSFER PLANT DIRECTLY FROM WATER TO HOLE. SET PLANT SO THE ROOT FLARE IS APPROXIMATELY AT THE FINISHED SOIL ELEVATION. SPREAD ROOTS OUT EVENLY. PLUMB AND IMMEDIATELY BACKFILL WITH PLANTING SOIL MIX.
  5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
  6. BACKFILL VOIDS AND WATER SECOND TIME.
  7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

3 SHRUB PLANTING

1/2" = 1'-0"

329333-02



6 TRENCHED BED EDGE

3/4" = 1'-0"

32933-03



PINNACLE ENGINEERING GROUP

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WISCONSIN OFFICE:  
20725 WATERTOWN ROAD, SUITE 100  
BROOKFIELD, WI 53186  
(262) 754-8888  
CHICAGO | MILWAUKEE | NATIONWIDE

CSW EXPANSION PHASE 3.5

12725 4 MILE ROAD  
CALEDONIA, WI 53126

LANDSCAPE GENERAL NOTES & DETAILS

REVISIONS

1. PRICING SET	01/11/24		
2. BSO SUBMITTAL #1	03/11/24		

REG JOB No. 5294-00

REG PN. TCM

START DATE 01/11/24

SCALE VARIES

SHEET  
L-2  
of  
L-2

5/20/2024 2024

LANDSCAPE GENERAL NOTES & DETAILS

www.pinnacle-engr.com

# MEMORANDUM

Date: March 19, 2024

To: Plan Commission  
Village Board

From: Ryan Schmidt, P.E.  
Village Engineer



Re: **Condominium Plat – Waters Edge Place Condominiums  
NE ¼ of Section 21, T4N, R23E; Village of Caledonia, Racine County, WI  
Parcel ID's: 51-104-04-23-21-003-020, 51-104-04-23-21-003-010, 51-104-04-23-21-003-030**

## Recommended Motion:

**Move to recommend approval of the Final Condominium Plat for Water's Edge Place Condominiums subject to the 12 conditions listed in the Village Engineers Memo dated March 19, 2024.**

---

## BACKGROUND

The Planning and Engineering Department have received a Final Condominium Plat for Water's Edge Place Condominiums from Cardinal Capital Management, Inc. The property is owned by CCM-Caledonia, LLC. The proposed condominium is located along Waters Edge Drive (where Erie Street ends) just south of the new 5 Mile Road and north of the Siena Center along the east side of the road. The property is currently in 3 parcels per CSM 3464 (5915, 5959, and 5945 Erie Street). The proposed Condominium Plat has been included as **Exhibit A**.

Water's Edge Place Condominiums propose a total of 93 units and a clubhouse on a parcel 17.79 acres (to the meander line) in size. The Final Condominium Plat as presented proposes the first 10 units and Clubhouse. Civil Engineering construction plans and a SWMP have been submitted and approved by Village Staff for the overall site and utility installations. Some portions of the site plan will be required to be submitted again for final approval prior to the issuance of permits and future Condominium Plat approval of additional phases, which have been labeled as Expansion Lands. Individual site grading plans will be required for each unit to be reviewed and approved for Building Permits.

The Developer is required to allow public access to the trail around the condo development per the Development Agreement. This has been shown on the Final Condo Plat and a separate exhibit has been provided for review. Additional sanitary sewer easements will be required and a condition of approval for future plat approvals at each

phase. A CSM combining the 3 parcels has been approved by the Village Board and Plan Commission and is in the process of being reviewed by staff for final recording.

Access for the Sister's of St Dominic has been shown and shall be provided upon completion of the project and as part of the Development Agreement. A temporary access easement and road is in place now to handle the traffic, however, upon future phases of development, the temporary access will transfer to the private road system constructed by the developer. A dedicated exhibit has been provided for Village Staff to review.

A wetland delineation was performed as part of CSM 3464 and was completed in 2020. The wetlands appear to conform with the Wisconsin DNR Surface Water Data Viewer. The Developer shall acquire any permits from the DNR or Army Corps of Engineers for work with the wetlands and the Lake Michigan Bluff.

The applicant shall submit for review and approval by the Village all organizational documents for the condominium and its association(s), including but not limited to the Declaration of Condominium, Declaration of Condominium Restrictive Covenants, Condominium Association Bylaws, and other operational documents.

Conditions of approval for the Condominium Plat shall continue the obligation of Cardinal Capital Management to reimburse the Village for continuing costs per the Development Agreement, Resolution No. 2020-19, and Resolution No. 2023-82. Per Item 20 of Resolution 2023-12 and the Planned Unit Development Conditions and Restrictions, the "applicant shall reimburse the Village all costs incurred by the Village for review of this rezoning and PUD Planned Unit Development Overlay District approval including but not limited to engineering, legal, and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements."

A Modification Waiver waiving the need for Conservation Easements on the property were approved with the Preliminary Condominium Plat Approval at the January Plan Commission Meeting and February 13, 2024, Village Board Meeting. A stewardship plan is still required to be submitted for review and approval by Village Staff as the Common Open Space was determined to be over 40%.

Village Staff have reviewed the Condominium Plat for Water Edge Place Condominiums and recommend approval subject to the conditions listed below.

## **RECOMMENDATION**

**Move to recommend approval of the Condominium Plat for Waters Edge Place Condominiums subject to the following conditions:**

- 1. CCM, Inc. shall reimburse the Village for all continuing costs and comply with all requirements of the Development Agreement, Resolution No. 2020-19, Resolution 2023-12 and Resolution No. 2023-82.**
- 2. Submit for review and approval by the Village all organizational documents for the condominium and its association(s), including but not limited to the**

**Declaration of Condominium, Restrictive Covenants, Bylaws, and other operational documents.**

- 3. Submit for review and approval by the Village a Stewardship Plan for Open Space Areas.**
- 4. Final Plat shall be submitted, approved, and recorded prior to the issuance of building permits.**
- 5. Construction Plan Details for the retaining wall and boardwalk shall be submitted for approval by the Village prior to the construction of those phases in the development.**
- 6. Stormwater Pond Easements shall be recorded as separate documents and the developer shall provide exhibits and legal descriptions.**
- 7. All sewer and water extensions shall be reviewed and approved by the necessary agencies (DNR, Caledonia Utility District, Racine Wastewater).**
- 8. Public Access is granted to for the trail system around the development and labeled on the CSM and the Final Condominium Plat. The Property Owner, its successors and assigns including the Condominium Association to be created, shall be required to maintain the trail system in perpetuity.**
- 9. Prior to the construction of any infrastructure or earthmoving activities, the Developer shall obtain (or extend) a Land Disturbance Permit from the Village of Caledonia and any other Federal, State or County permits as required (i.e DNR NOI, Army Corps, etc).**
- 10. All Village Owned infrastructure shall be inspected during installation by Village/Utility District inspectors/observers.**
- 11. Final As-builts for all infrastructure shall be prepared, submitted, reviewed, and approved prior to the release of any building permits.**
- 12. The proposed Condominium Plat must conform to all Ordinances in Title 9, 14, and 18 as necessary.**







## CONDOMINIUM PLAT OF WATERS EDGE PLACE

Being a part of the Northwest 1/4 of the Fractional  
Northeast 1/4 of Section 21, Township 4 North, Range  
23 East, Village of Caledonia, Racine County, Wisconsin

### SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)  
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify that I have  
surveyed and mapped the lands shown and described hereon and that this is a  
true and correct representation of WATERS EDGE PLACE, a condominium and  
that the identification and location of each unit and the common elements can be  
determined from this plat.

SIGNED  MARCH 6, 2024  
JOHN P. KONOPACKI, PROFESSIONAL LAND SURVEYOR S-2461



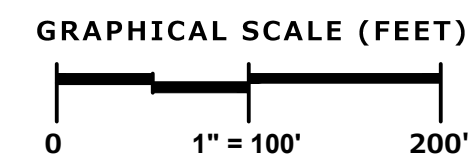
Prepared for:  
CCM-CALEDONIA LLC  
901 S 70TH STREET  
WEST ALLIS, WI 53214

Prepared by:  
**PINNACLE ENGINEERING GROUP**  
20725 WATERTOWN ROAD I SUITE 100  
BROOKFIELD, WI 53186  
OFFICE: (262) 754-8888

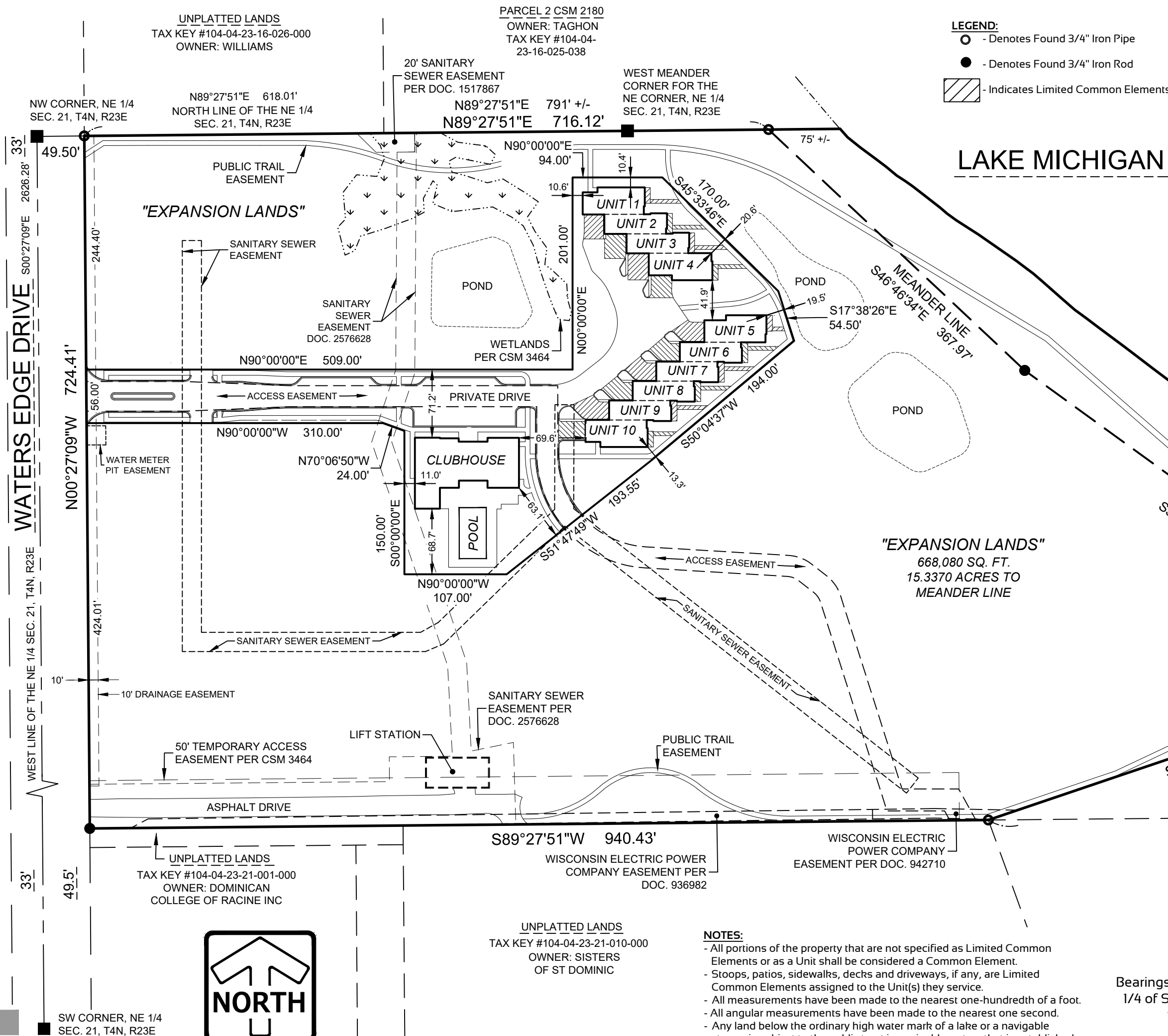
REGISTER OF DEEDS

UNPLATTED LANDS  
TAX KEY #104-04-23-21-007-003  
OWNER: SISTERS  
OF ST DOMINIC

Bearings referenced to the west line of the Northeast  
1/4 of Section 21, Township 4 North, Range 23 East  
which has a bearing of S00°27'09"E



DRAFTED BY: ST  
PEG JOB#2145.00  
SHEET 1 OF 8

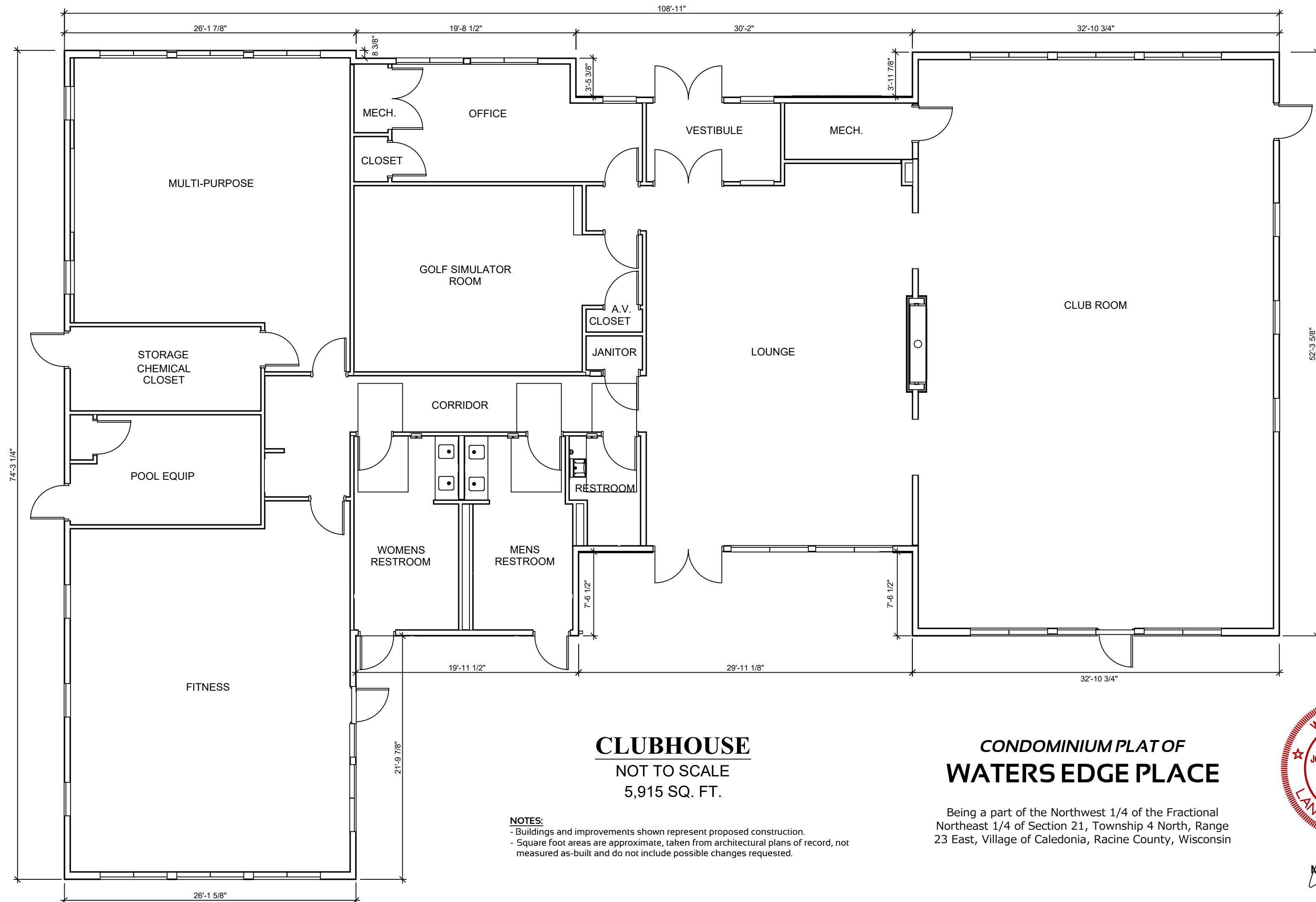


### NOTES:

- All portions of the property that are not specified as Limited Common Elements or as a Unit shall be considered a Common Element.
- Stoops, patios, sidewalks, decks and driveways, if any, are Limited Common Elements assigned to the Unit(s) they service.
- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution.
- The Condominium Plat of Waters Edge Place shall have a total of 93 Units.
- Units filled greater than 3 feet may require additional courses in the foundations to reach suitable soil. Will need to provide a soil compaction certification for the areas of greater than 3 feet of fill.

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

**PINNACLE ENGINEERING GROUP**



**CLUBHOUSE**  
NOT TO SCALE  
5,915 SQ. FT.

**NOTES:**  
- Buildings and improvements shown represent proposed construction.  
- Square foot areas are approximate, taken from architectural plans of record, not measured as-built and do not include possible changes requested.

**CONDOMINIUM PLAT OF  
WATERS EDGE PLACE**

Being a part of the Northwest 1/4 of the Fractional  
Northeast 1/4 of Section 21, Township 4 North, Range  
23 East, Village of Caledonia, Racine County, Wisconsin



MARCH 6, 2024

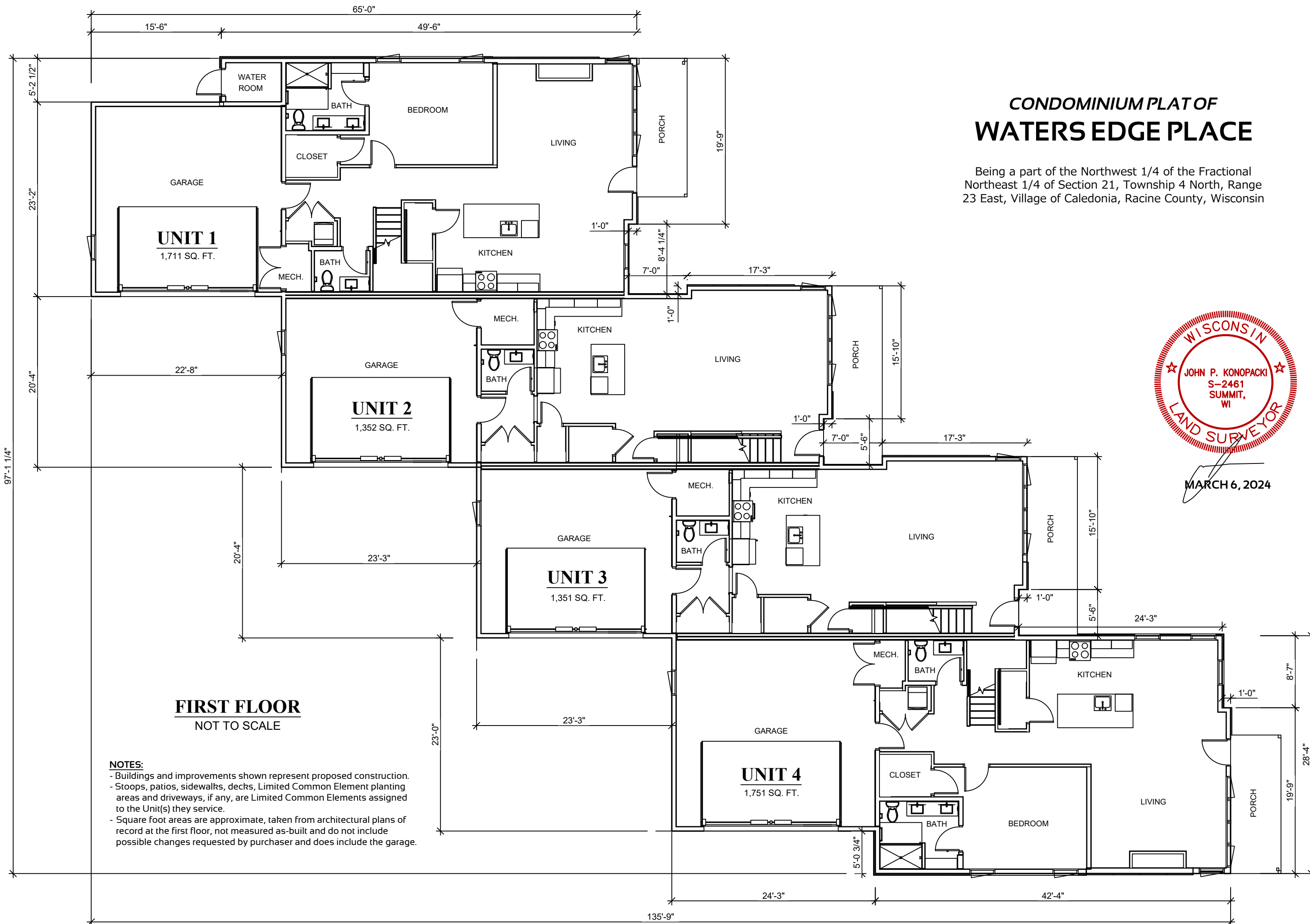


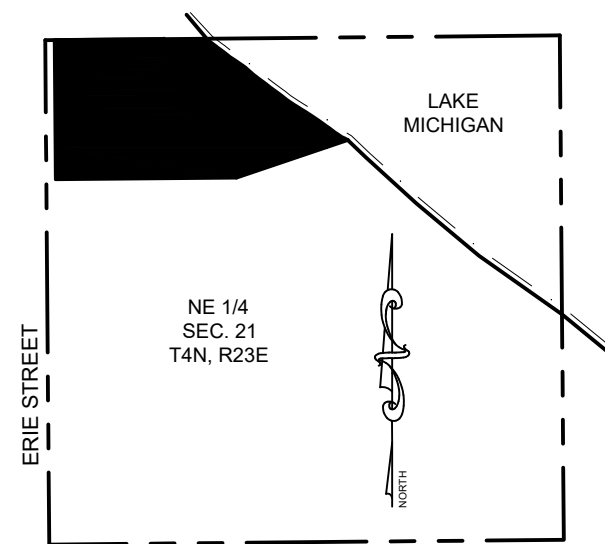
**PINNACLE ENGINEERING GROUP**

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PEG JOB#2145.00  
SHEET 2 OF 8







VICINITY SKETCH  
SCALE 1"=1000'

CLUBHOUSE:	5931	Waters Edge Drive, Racine, WI
UNIT 1:	5953 - 01	Waters Edge Drive, Racine, WI
UNIT 2:	5953 - 02	Waters Edge Drive, Racine, WI
UNIT 3:	5953 - 03	Waters Edge Drive, Racine, WI
UNIT 4:	5953 - 04	Waters Edge Drive, Racine, WI
UNIT 5:	5951 - 05	Waters Edge Drive, Racine, WI
UNIT 6:	5951 - 06	Waters Edge Drive, Racine, WI
UNIT 7:	5951 - 07	Waters Edge Drive, Racine, WI
UNIT 8:	5951 - 08	Waters Edge Drive, Racine, WI
UNIT 9:	5951 - 09	Waters Edge Drive, Racine, WI
UNIT 10:	5951 - 10	Waters Edge Drive, Racine, WI

#### LEGAL DESCRIPTION

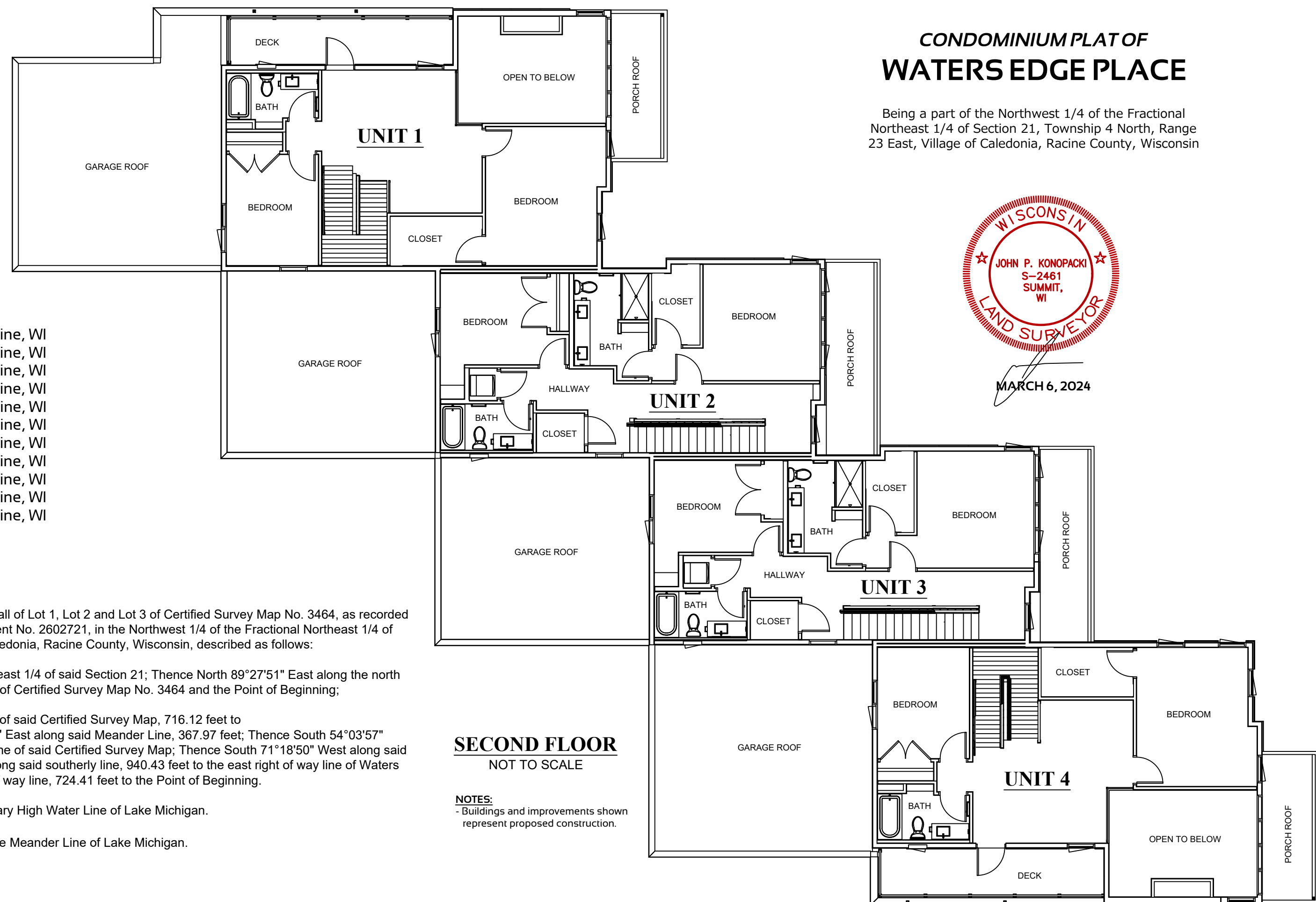
Lot 1 of Certified Survey Map No. \_\_\_\_\_, being all of Lot 1, Lot 2 and Lot 3 of Certified Survey Map No. 3464, as recorded in the Register of Deeds office for Racine County as Document No. 2602721, in the Northwest 1/4 of the Fractional Northeast 1/4 of Section 21, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

Commencing at the northwest corner of the Fractional Northeast 1/4 of said Section 21; Thence North 89°27'51" East along the north line of said Northeast 1/4, 49.50 feet to the northwest corner of Certified Survey Map No. 3464 and the Point of Beginning;

Thence continuing North 89°27'51" East along the north line of said Certified Survey Map, 716.12 feet to the Meander Line of Lake Michigan; Thence South 46°46'34" East along said Meander Line, 367.97 feet; Thence South 54°03'57" East along said Meander Line, 531.42 feet to the southerly line of said Certified Survey Map; Thence South 71°18'50" West along said southerly line, 494.46 feet; Thence South 89°27'51" West along said southerly line, 940.43 feet to the east right of way line of Waters Edge Drive; Thence North 00°27'09" West along said right of way line, 724.41 feet to the Point of Beginning.

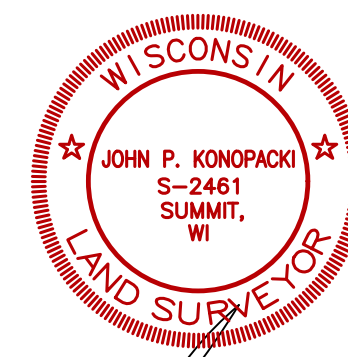
Including that land between the Meander Line and the Ordinary High Water Line of Lake Michigan.

Containing 774,982 square feet (17.7911 acres) of land to the Meander Line of Lake Michigan.



### CONDOMINIUM PLAT OF WATERS EDGE PLACE

Being a part of the Northwest 1/4 of the Fractional  
Northeast 1/4 of Section 21, Township 4 North, Range  
23 East, Village of Caledonia, Racine County, Wisconsin



MARCH 6, 2024

#### SECOND FLOOR NOT TO SCALE

NOTES:  
- Buildings and improvements shown  
represent proposed construction.



PINNACLE ENGINEERING GROUP

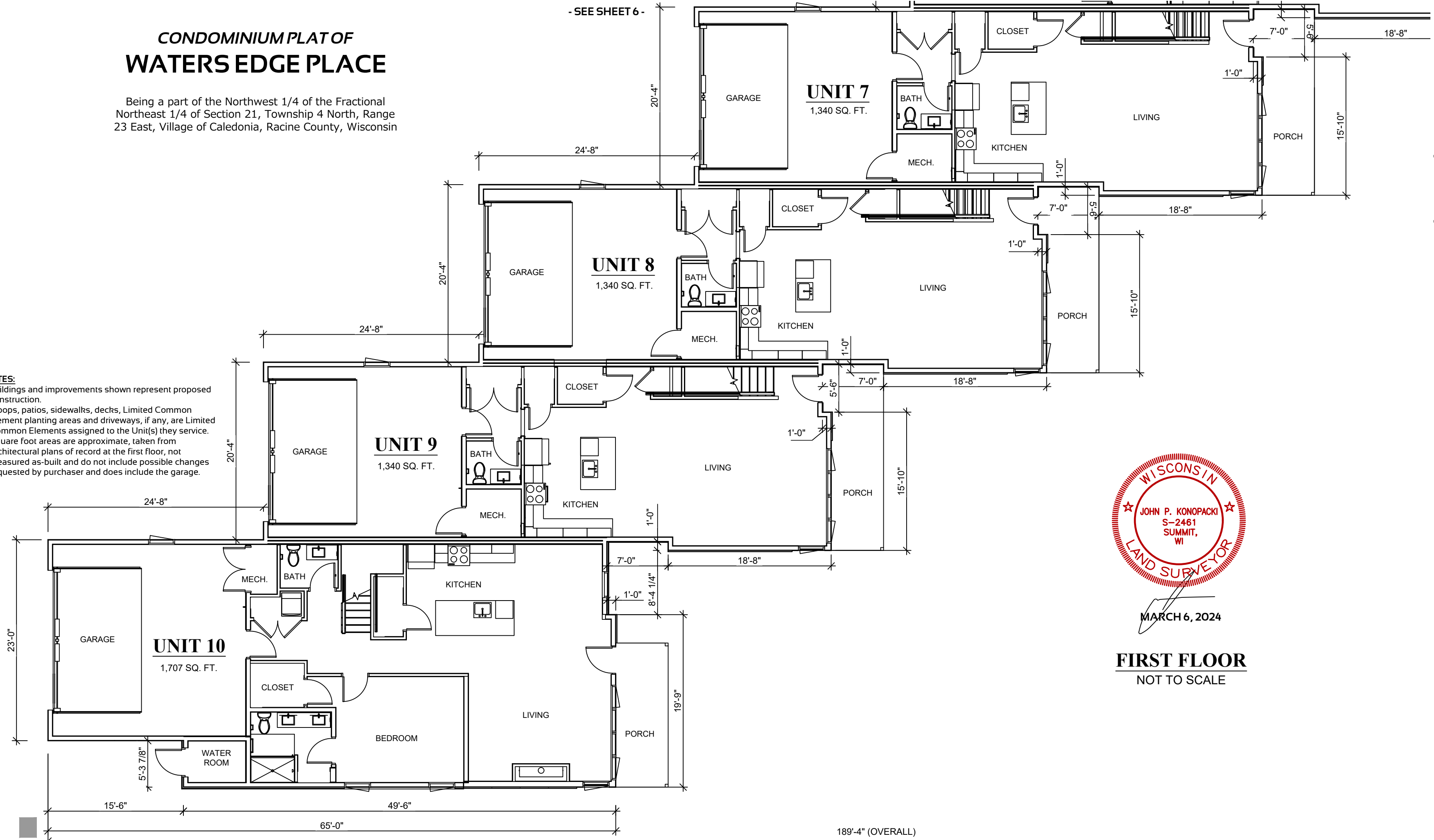
This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PEG JOB#2145.00  
SHEET 4 OF 8

**CONDOMINIUM PLAT OF  
WATERS EDGE PLACE**

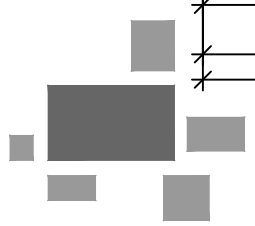
Being a part of the Northwest 1/4 of the Fractional  
Northeast 1/4 of Section 21, Township 4 North, Range  
23 East, Village of Caledonia, Racine County, Wisconsin

**NOTES:**  
- Buildings and improvements shown represent proposed construction.  
- Stoops, patios, sidewalks, decks, Limited Common Element planting areas and driveways, if any, are Limited Common Elements assigned to the Unit(s) they service.  
- Square foot areas are approximate, taken from architectural plans of record at the first floor, not measured as-built and do not include possible changes requested by purchaser and does include the garage.



MARCH 6, 2024

**FIRST FLOOR**  
NOT TO SCALE



**PINNACLE ENGINEERING GROUP**

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PEG JOB# 2145.00  
SHEET 5 OF 8

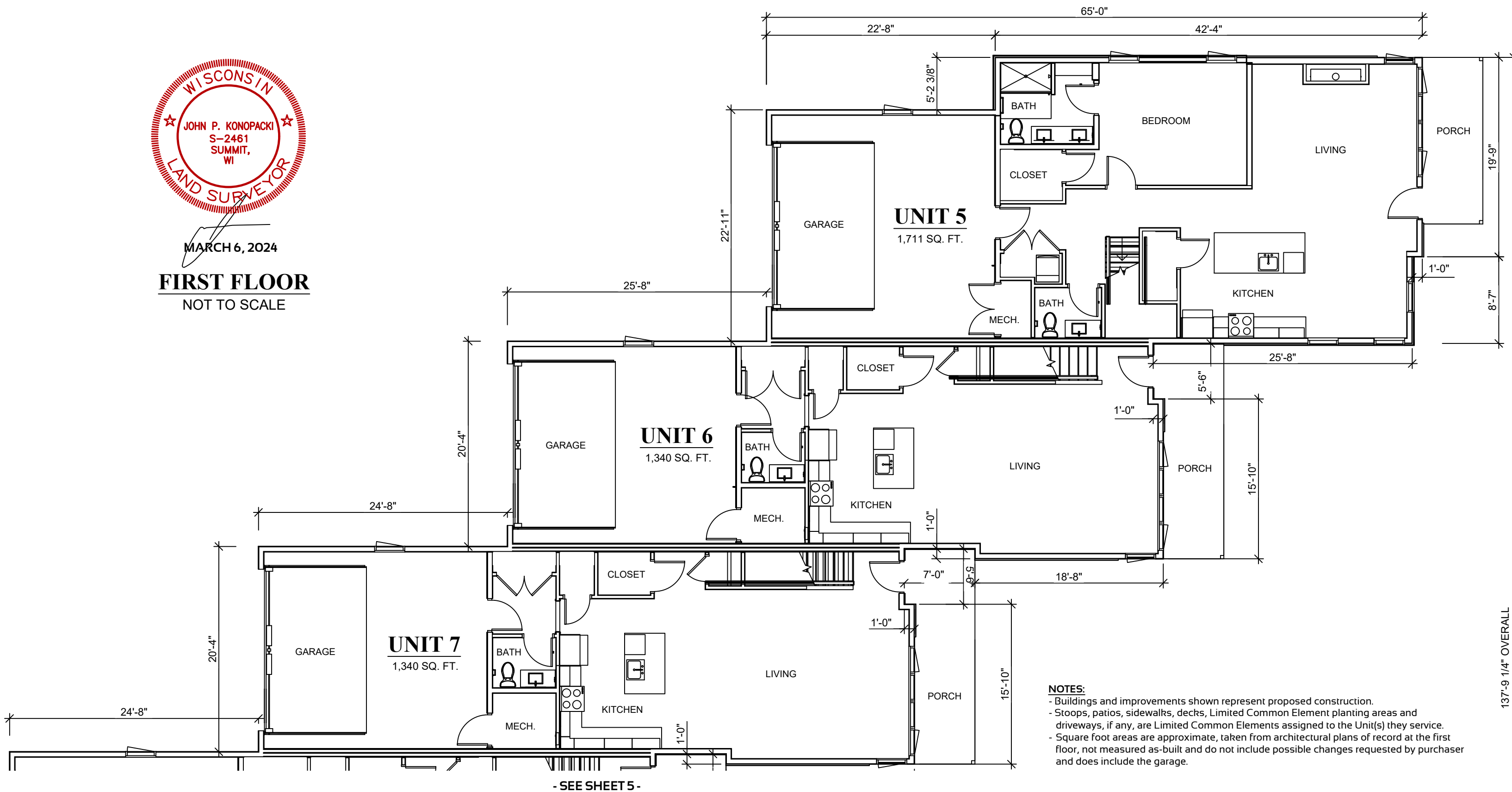
CONDOMINIUM PLAT OF  
WATERS EDGE PLACE

Being a part of the Northwest 1/4 of the Fractional  
Northeast 1/4 of Section 21, Township 4 North, Range  
23 East, Village of Caledonia, Racine County, Wisconsin



MARCH 6, 2024

**FIRST FLOOR**  
NOT TO SCALE



**NOTES:**  
- Buildings and improvements shown represent proposed construction.  
- Stoops, patios, sidewalks, decks, Limited Common Element planting areas and driveways, if any, are Limited Common Elements assigned to the Unit(s) they service.  
- Square foot areas are approximate, taken from architectural plans of record at the first floor, not measured as-built and do not include possible changes requested by purchaser and does include the garage.

- SEE SHEET 5 -



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PEG JOB# 2145.00  
SHEET 6 OF 8

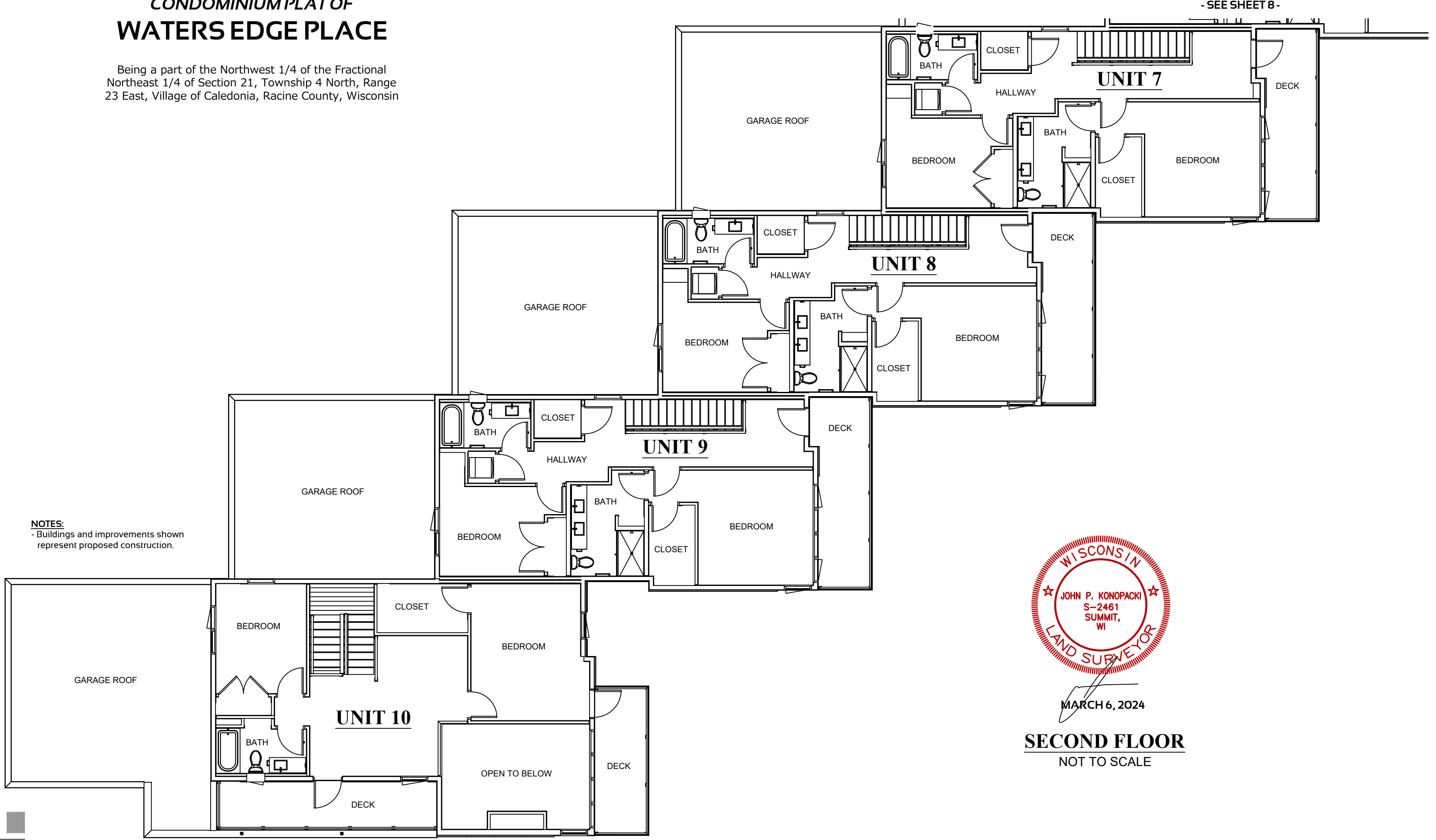
www.pinnacle-engr.com



**CONDOMINIUM PLAT OF  
WATERS EDGE PLACE**

Being a part of the Northwest 1/4 of the Fractional  
Northeast 1/4 of Section 21, Township 4 North, Range  
23 East, Village of Caledonia, Racine County, Wisconsin

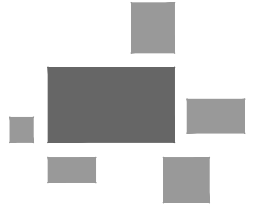
**NOTES:**  
- Buildings and improvements shown  
represent proposed construction.



MARCH 6, 2024

**SECOND FLOOR**  
NOT TO SCALE

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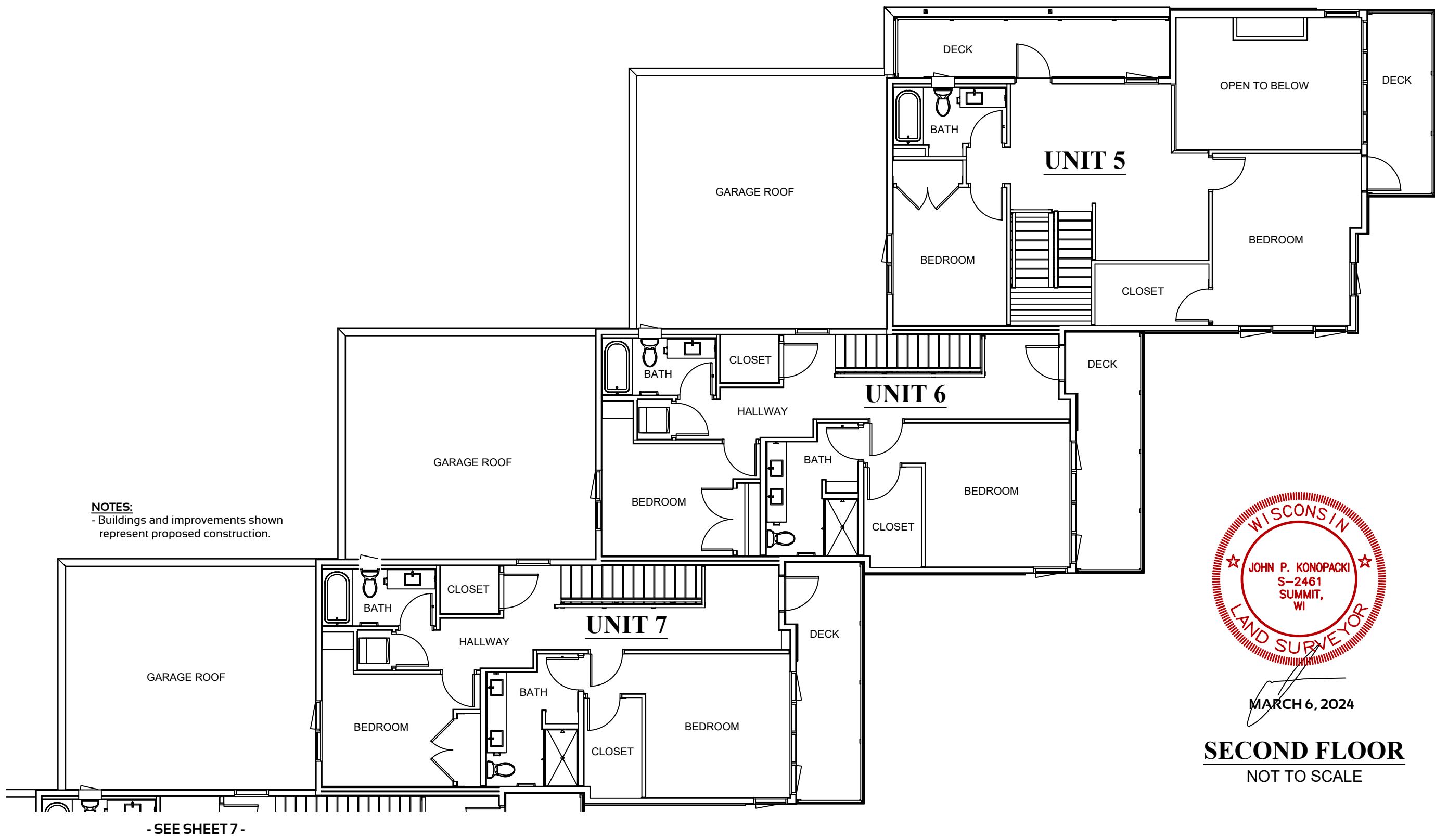
**PINNACLE ENGINEERING GROUP**

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PEG JOB#2145.00  
SHEET 7 OF 8

**CONDOMINIUM PLAT OF  
WATERS EDGE PLACE**

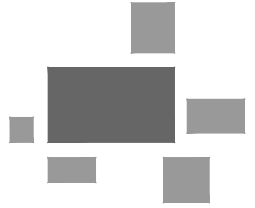
Being a part of the Northwest 1/4 of the Fractional  
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MARCH 6, 2024

**SECOND FLOOR**  
NOT TO SCALE

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**PINNACLE ENGINEERING GROUP**

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PEG JOB#2145.00  
SHEET 8 OF 8



# MEMORANDUM

**DATE:** Wednesday, March 27, 2024

**TO:** Caledonia Utility District

**FROM:** Anthony A. Bunkelman P.E.  
Public Services Director

**RE:** Raymond School District 8<sup>th</sup> Grade Class - Ditch Clean Up Project

## BACKGROUND INFORMATION

Director Bunkelman has had a couple of phone calls and exchanged emails with Julie Mausing, the parent representative of the Raymond School District 8<sup>th</sup> Grade Class in regard to performing the Ditch Cleaning Projects in 2024.

The Raymond School District's 8<sup>th</sup> grade class has performed ditch cleaning projects for numerous years (although not since 2019). The Ditch Cleaning Projects are great projects for the students and an asset to the District. The students get a sense of accomplishment in providing a Community Service and a \$1,000.00 check to help offset the cost of their graduation festivities. The District benefits from getting all of the garbage and debris in the Drainage Ways cleaned up prior to grass cutting operations.

If the District approves the ditch cleaning project for the 2024 season, the project has a date of April 13<sup>th</sup> with a rain date of April 20<sup>th</sup> if necessary.

Ms. Mausing has provided an Insurance Certificate from the School but for the additional insured (Village, Storm Water District & Commission) a contract will need to be entered into. Once the contract is executed a new Insurance Certificate will be provided.

## RECOMMENDATION

**Move to approve the Raymond School District 8<sup>th</sup> Grade Class to perform a Ditch Cleaning Project for 2024 prior to the first grass cutting of the drainage ways subject to the following:**

- 1. Updated insurance certificate that it is acceptable to the Caledonia Utility District.**

**Move to authorize the President & Secretary of the Caledonia Utility District to execute a contract to perform the ditch cleaning project for insurance purposes.**

## **CONTRACT**

THIS CONTRACT made this \_\_\_\_ day of \_\_\_\_\_, 2024, by and between Raymond School District #14 herein called the "School" and the Caledonia Utility District, a utility district created by the Village of Caledonia, Wisconsin pursuant to Wisconsin Statutes §66.0827, the Caledonia Utility District Commission and the Village of Caledonia, Wisconsin, a municipal body, located in Racine County, Wisconsin. The Caledonia Utility District, the Caledonia Utility District Commission and the Village of Caledonia, Wisconsin are hereinafter collectively called the "Owner".

For and in consideration of the mutual covenants herein contained the parties agree as follows:

1. The Owner agrees to allow the School to perform a fundraising project that will involve the School and some of its students and their parents performing the following work:

(a) cleaning and removing trash and garbage from the:

(i) entire Pioneer Trails Detention Basin, and

(ii) Crestview Concrete Bottom Ditch from 6 Mile Road south to the Klema Ditch, and

(iii) Klema Ditch from Crawford Park to Novak Road, and

(b) transporting the trash and garbage so removed to the Village Hall and placing said trash and garbage in or near the dumpster at the Village Hall (said work is hereinafter referred to as the "work").

Cleaning and removing trash and garbage from the above ditches shall include the entire area of each ditch, from the top of the bank on one side of the ditch to the top of the bank on the other side of the ditch. All costs of disposing the trash and garbage transported by the School to the Village Hall dumpster shall be paid by Owner. The work shall be performed and completed on April 13, 2024, provided however, if the work cannot be performed due to weather conditions on April 13, 2024, the work shall be performed on April 20, 2024.

2. The School agrees to defend and indemnify the Owner and the Owner's officials, employees and agents against, and hold the Owner and the Owner's officials, employees and agents harmless from, any and all damages, liabilities, claims, expenses, injuries or losses to any person or property arising in connection with, out of, or resulting from the performance of the work regardless of whether or not the damages, liabilities, claims, expenses, injuries or losses were also caused by or result from any act or omission of any party indemnified hereunder.

3. Prior to commencing the work, the School will provide Owner with a Certificate of Coverage, in form satisfactory to the Owner, evidencing that the School has general liability insurance coverage of \$500,000 per occurrence, \$1,000,000 aggregate and



excess liability insurance coverage of \$500,000 per occurrence. Said certificate shall name the Owner as additional protected persons under said coverages.

4. Within 30 days after satisfactory completion of the work, the Owner agrees to pay the School the sum of \$1,000.00 for the work performed.

IN WITNESS WHEREOF, we, the parties hereto, each hereby subscribe this Contract.

Raymond School District #14

By: \_\_\_\_\_  
\_\_\_\_\_  
Principal

Caledonia Utility District by  
the Caledonia Utility District Commission

By: \_\_\_\_\_  
Howard Stacey, President

By: \_\_\_\_\_  
Robert Kaplan, Secretary

Village of Caledonia, Wisconsin

By: \_\_\_\_\_  
Thomas Weatherston  
President

Attest: \_\_\_\_\_  
Jennifer Olsen  
Clerk