
PLANNING COMMISSION AGENDA
Monday, August 28, 2023 at 6:00 p.m.
Caledonia Village Hall – 5043 Chester Lane

- 1. Meeting called to order**
- 2. Roll Call/Introductions**
- 3. Approval of Minutes**
- 4. Citizens' Comments:** Provides a two-minute opportunity for citizens to voice their opinions to the Plan Commission. The Plan Commission is unable to respond as any discussion may conflict with open meeting requirements.
- 5. Public Hearing and Possible Action on Items set for Public Hearing**
 - A. **CONDITIONAL USE AND BUILDING, SITE, AND OPERATION PLAN REVIEW** – Review a request for a conditional use to operate a car wash business with outdoor vacuum cleaning stations and review a building, site, and operation plan for a car wash business located at 5133 Douglas Avenue submitted by Bon Fitzgerald. (Parcel ID No. 104-04-23-20-103-120)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/N1S2EFY033>
- 6. New Business**
 - A. **CERTIFIED SURVEY MAP REVIEW** – Review a certified survey map creating two lots for the parcel located at 6929 5 Mile Road submitted by Jason Lawrence.
(Parcel ID No. 104-04-22-23-010-000)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/8DQAAJ5PVZ>
- 7. Adjournment**

Dated August 24, 2023

Joslyn Hoeffert
Village Clerk

Only Commission members are expected to attend. However, attendance by all Board members (including non-members of the Plan Commission) is permitted. If additional (non-commission) Board members attend, three or more Board members may be in attendance. Section 19.82(2), Wisconsin Statutes, states as follows: If one-half or more of the members of a governmental body are present, the meeting is rebuttably presumed to be for the purposes of exercising the responsibilities, authority, power or duties delegated to or vested in the body. To the extent that three or more members of the Caledonia Village Board actually attend, this meeting may be rebuttably presumed to be a "meeting" within the meaning of Wisconsin's open meeting law. Nevertheless, only the commission's agenda will be discussed. Only commission members will vote. Board members who attend the commission meeting do so for the purpose of gathering information and possible discussion regarding the agenda. No votes or other action will be taken by the Village Board at this meeting.

1. Meeting called to order

President Weatherston called the meeting to order at 6:00 p.m. at Village Hall, 5043 Chester Lane.

2. Roll Call/Introductions

Members present: Thomas Knitter, Ron Bocciardi, Trustee Pierce, President Weatherston, Joseph Kiriaki arrived at 6:22pm, Amy Mai and Michael J. Moore

Also present: Village Administrator Kathy Kasper, Development Director Peter Wagner, Public Services Administrative Coordinator Megan O'Brien.

3. Approval of Minutes

Approval of June 26, 2023, meeting minutes.

Motion by Pierce to approve the minutes as presented.

Seconded by Bocciardi.

Motion carried unanimously.

4. Citizens' Comments

None

5. Public Hearing and Possible Action on Items set for Public Hearing

A. PLANNED UNIT DEVELOPMENT AMENDMENT – Review a request to amend a planned unit development agreement for the properties at 5915, 5919, & 5945 Erie Street (now Waters Edge Drive) allowing for modifications to building units (93 units), parking requirements, concept development plan, and other development details as it pertains to the Water's Edge Condominium Development submitted by Jessica Timmer, Applicant, CCM-Caledonia, LLC, Owner. (Parcel ID Nos. 104-04-23-21-003-000, 104-04-23-21-005-000, 104-04-23-21-006-000)

Weatherston opened the Public Hearing at 6:03 p.m.

Wagner explained the reason for the request and proposed changes, citing his report submitted with Plan Commission packet.

Weatherston asked three times if anyone wanted to speak in favor of the request.

None.

Weatherston asked three times if anyone wanted to speak against the request.

None.

Weatherston closed the Public Hearing at 6:06 p.m.

5A. Commission Deliberation:

Motion by Pierce That the Plan Commission recommends to the Village Board that the amended Planned Unit Development Agreement modifying the number of building units, setback requirements, parking requirements, concept plan, and other development details as it pertains to the Water's Edge Condominium Development located at 5915, 5919, and 5945 Erie Street be approved as outlined in Exhibit A for the

Following reasons:

1. The amended PUD for the proposed multi-family development is allowed by underlying zoning and through the planned unit development review process.
2. The amended PUD will allow for the construction of 93 condominium units as proposed by the concept plan illustrated in Exhibit B.

Seconded by Knitter

Motion carried unanimously.

6. New Business

A. BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction of 93 villas and townhomes with clubhouse for the Water's Edge Condominium Development located on Water's Edge Drive, formerly Erie Street.

Wagner introduced the revised condominium development site plan as stated in his report submitted with the Plan Commission packet.

The Applicants presented the modifications to the site plan building design and proposed amenities.

6A. Commission Deliberation:

Plan Commissioners discussed the changes to the site and questioned the applicant on such topics as; the reduced number of units, if there was adequate parking, and if public access to the lake was still part of the plan. The applicant responded that the redesign of the buildings and reduced number of units provides adequate density to be marketable; parking exceeds the 2 stalls per unit ratio agreed to in the approved planned unit development agreement; there remains a public trail along the lakefront for citizen access to the site.

Motion by Pierce that the Plan Commission recommends to the Village Board that the building, site, and operational plan for the construction of 93 condominium townhouses/villas with recreational amenities be approved for the following reasons:

1. The proposed use is allowed by underlying zoning and Planned Unit Development through the building, site, and operation plan review process.
2. The use is consistent with the 2035 Comprehensive Land Use Plan designation of high density residential.
3. The proposed development complies with conditions and restrictions as stated in the Planned Unit Development.

Seconded by Knitter

Motion carried unanimously.

B. COOPERATIVE BOUNDARY AGREEMENT REVIEW – Review a proposed master sign plan for Merz Aesthetics allowing for an oversized wall sign on the building located at 4133 Courtney Street.

Wagner explained the reason for the request and described the proposed sign plan citing his report submitted with the Plan Commission packet.

Applicant is requesting a variance to install a 90' square foot wall sign on current site. Town of Raymond has approved the sign and is seeking the Village of Caledonia approval as required by the adopted Cooperative Boundary Agreement.

6B. Commission Deliberation:

Motion by Pierce that the Plan Commission recommends that the Village Board approve the sign plan submitted by Dennis Sparkowski as presented for the property located at 4133 Courtney Street for the following reasons:

1. The proposed number, height and size of signs are permissible through the sign plan review process.
2. The proposed wall sign will not create sign clutter or confusion along the freeway corridor.

Seconded by Bocciardi

Motion carried unanimously.

C. BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction of a 234-parking lot expansion for Gifford School located at 8332 Northwestern Avenue.

Wagner explained the reason for the request and described the proposed parking lot expansion, citing his report submitted with the Plan Commission packet. R.U.S.D./Gifford Elementary/Middle School is requesting a parking lot expansion consisting of 234 parking stalls to the existing parking lot to accommodate the parking demand for school because of the Middle school addition increasing the number of staff, parents and school events. Also the expansion will seek to improve the traffic flow for drop off and pick up and to improve pedestrian safety with a proposed walkway.

6C. Commission Deliberation:

Motion by Bocciardi that the Plan Commission recommends to the Village Board that the site plan for the construction of a 234-stall parking lot expansion located at 8332 Northwestern Avenue be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the site plan review process.
2. The proposed parking lot expansion is a permitted accessory use for a school.

Seconded by Kiriaki

Motion carried unanimously.

D. BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction and utilization of a ±1,680 square-foot garage for indoor storage of equipment and product for the existing business located at 4543 Douglas Avenue.

Wagner explained the reason for this request and proposed plan, citing in his report, submitted with the Plan Commission packet.

6D. Commission Deliberation:

Motion by Pierce That the Plan Commission recommends to the Village Board that the building, site, and operational plan for a ±1,680 square-foot storage building located at 4543 Douglas Avenue be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed building is consistent with the existing use on the property.

Seconded by May

Motion carried unanimously.

E. BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction and utilization of a ±864 square-foot garage for indoor storage of ground maintenance equipment located at 6633 Douglas Avenue.

Wagner explained the reason for the request and described the proposed plan, citing his report with the Plan Commission packet. Applicant is seeking approval for an 864 square-foot garage to store their business equipment.

6E. Commission Deliberation:

Motion by Kariaki that the Plan Commission recommends to the Village Board that the building, site, and operational plan for a ±864 square-foot storage building located at 6633 Douglas Avenue be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed building is a permitted accessory use for a Park zoning district.

Seconded by Moore

Motion carried unanimously.

7. Adjournment: President Weatherston adjourned the meeting at 6:35 p.m.

Respectfully submitted,
Zarrie Stratman-Dirkintis
Deputy Clerk



Meeting Date: August 28, 2023

Item No. **5a**

PLAN COMMISSION REPORT

Proposal: Conditional Use and Building, Site, and Operation Plan

Description: Request for a conditional use to operate a cash wash business with outdoor vacuum cleaning stations and approval of a building, site, and operation plan for a car wash located at 5133 Douglas Avenue.

Applicant(s): Bon Fitzgerald

Address(es): 5133 Douglas Avenue

Suggested Motions: That the Plan Commission recommends to the Village Board that a conditional use allowing the operation of a car wash with outdoor vacuum stations with conditions outlined in Exhibit A, located at 5133 Douglas Avenue be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the conditional use review process.
2. The proposed use is consistent with the 2035 Land Use Plan designating commercial use for the parcel.

That the Plan Commission recommends to the Village Board that the building, site, and operation plan for the redevelopment of the existing commercial building as a car wash with outdoor vacuum stations located at 5133 Douglas Avenue be approved for the following reason:

1. The proposed use is allowed by underlying zoning through the building, site, and operation plan review process.
2. The proposed use complies with the approved conditional use conditions and restrictions for a car wash.

Owner(s): ARZA LLC

Tax Key(s): 104-04-23-20-103-120

Lot Size(s): 1.768 acres

Current Zoning District(s): B-3, Highway Business District

Overlay District(s): N/A

Wetlands: ☐ Yes ☒ No

Floodplain: ☐ Yes ☒ No

Comprehensive Commercial
Plan:

Background: The applicant is requesting a conditional use for the operation of a car wash with outdoor vacuum cleaning stations at 5133 Douglas Avenue. A car wash business is a conditional use in the B-3, Highway Business District.

The current site has been vacant for several years and the proposed car wash is the first proposed reuse of this building. Included in this report is a narrative outlining the operation of the building, including hours of operation, number of employees, and how the business will operate on the site. The largest concern about this type of use is the queuing of cars on the site and the impact car lines may have as it pertains to traffic. Access to the parcel is within Greentree Shopping Center and does not have direct access to Douglas Avenue. Traffic flow on the site is designed in such a way that 25 cars can line up to enter the car wash and 15 cars can be parked at the vacuum cleaning stations at one time. The applicant does not anticipate more than 40 vehicles to be on site at one time. If there were to be more than 25 cars in line for service, the extended line would then spill into the former Kmart's parking lot, not causing any traffic concerns along Douglas or 4 Mile Road. The applicant intends to keep both access points to the site, utilizing the northern driveway as an emergency access drive only.

Included with this report is Exhibit A outlining the conditions and restrictions that will be applied to the operation of a car wash on the site requiring a building, site, and operation plan and specifying other conditions of approval as it pertains to zoning regulations.

If the Plan Commission is comfortable with the proposed conditional use, staff has drafted a suggested motion shown on the first page of this report. As two different reviews are being conducted, a motion is required for the conditional use review and a separate motion for the building, site, and operation plan review.

BUILDING, SITE, AND OPERATION PLAN REVIEW

There currently exists a commercial brick building that was once a bank on the property. The applicant intends to retrofit the building to accommodate the operation of a car wash. The applicant will be making modifications to the building but will maintain the majority of the existing exterior as it currently exists. The largest modification to the building will be the overhead doors to access and exit the car wash on the north and south building elevations. The building meets Village building design standards as it consists primarily of brick with glass and metal accents. The design of the building is four sided which is a preferred design element.

The existing drive-thru facility will be utilized as three-lane car queuing lanes and can accommodate up to 25 vehicles. Up to 40 vehicles can be accommodated on site at one time. Modifications to the paving is proposed to create suitable access to the car wash. The applicant is not proposing to add more than a half-acre of impervious surface to the site, however, modifications to the stormwater management plan may be required. If so, the applicant will go before the Water Utility Board for review and approval prior to submitting building permits.

The parking lot located on the west side of the building will be for employees and vacuum stations. The vacuum booms to be installed will have a LED light component. The booms will be turned off when the business is closed. There will be two areas where ground mechanical equipment for the vacuum stations will be installed. They will be screened from view with a split-face CMU block enclosure that will match the split-face CMU block on the building base.

The applicant is proposing to utilize the existing landscaping on the site. In addition, the applicant will install multiple trees along Douglas Avenue, a hedgerow along the edge of the parking stalls facing Douglas Avenue and add shrubs and perennials around the building to soften the look of the development.

The proposed lighting plan complies with the regulations outlined in Section 16-10-4 for outdoor lighting.

The proposed use is consistent with the Village Land Use Plan as the area is identified as Commercial use. The use will not negatively impact traffic flow along Douglas Avenue. The proposed site plan complies with the conditions and restrictions as outlined in the conditional use permit. As this is a separate review from the conditional use review, a motion is required to either approve or deny the proposed building, site, and operation plan for the operation of a car wash at 5133 Douglas Avenue.

Respectfully submitted:

A handwritten signature in dark ink, appearing to read "Peter Wagner", is written over a horizontal line.

Peter Wagner, AICP
Development Director

Exhibit A:
Conditional Use Permit
Conditions and Restrictions
5133 Douglas Avenue

Applicant: Bon Fitzgerald
Property Address(es): 5133 Douglas Avenue
Parcel ID No.: 104-04-23-20-103-120

Approved by Plan Commission: _____
Approved by Village Board: _____

1. LEGAL DESCRIPTION

PARCEL 2 OF CERTIFIED SURVEY MAP NO. 1475 RECORDED ON JUNE 29, 1990 IN VOLUME 4 OF CERTIFIED SURVEY MAPS, AT PAGE 549, AS DOCUMENT NO. 1314159, BEING A REDIVISION OF ALL OF LOT 1, AND PART OF LOT 2, CERTIFIED SURVEY MAP NO. 1446 RECORDED ON NOVEMBER 9, 1989, IN VOLUME 4 OF CERTIFIED SURVEY MAPS, AT PAGE 469, AS DOCUMENT NO. 1296776, LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 4 NORTH, RANGE 23 EAST, IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

- A. All requirements of the Village of Caledonia Municipal Code are in effect and apply to this conditional unless modified as set forth herein.
- B. The conditional use as set forth in the application, narrative, and site plans received July 25, 2023 are incorporated hereby by reference and shall be modified to comply with these conditions and restrictions.
- C. A precise detailed site plan for the area affected by the conditional use, shall be submitted to, and approved by, the Plan Commission and Village Board prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) General Development Plan

- a) Detailed building/structure location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
- i) Location(s) and future expansion
- ii) Number & type(s) of dwellings
- iii) Number of garage & surface parking spaces
- iv) Dimensions
- v) Setbacks
- h) Location(s) of loading berth(s)
- i) Location of sanitary sewer (existing & proposed)
- j) Location of water (existing & proposed)
- k) Location of storm sewer (existing & proposed)
- l) Location(s) of wetlands (field verified)
- m) Location(s) and details of sign(s)
- n) Location(s) and details of proposed fences/gates

2) Landscape Plan

- a) Screening plan, including parking lot screening/berming
- b) Number, initial size, and type of plantings
- c) Percentage open/green space

3) Building Plan

- a) Architectural elevations (w/dimensions)
- b) Building floor plans
- c) Materials of construction (including colors)

4) Lighting Plan

- a) Types & color of fixtures
- b) Mounting heights
- c) Types & color of poles
- d) Photometrics of proposed fixtures

5) Grading, Drainage and Stormwater Management Plan

- a) Contours (existing & proposed)
- b) Location(s) of storm sewer (existing and proposed)
- c) Location(s) of stormwater management structures and basins (if required)

6) Fire Protection

- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction

- C. All plans for new buildings, additions, exterior remodeling, site modifications, and landscaping shall be submitted to the Plan Commission and Village Board for their review and approval prior to the issuance of a building permit.
- D. For any new buildings, additions, structures, and site modifications, site grading and drainage, stormwater management, and erosion control plans shall be submitted to the Village's Public Services Director for approval, if required. The Caledonia Utility District approval must be received prior to the issuance of any building permits.
- E. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of these properties.

3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

- A. Uses allowed on this property shall be limited to those allowed in the B-3, Highway Business zoning district, these Conditions and Restrictions, and all applicable sections of the Municipal Code.
- B. Operation of a car wash business with eleven vacuum cleaning stations is permitted.
- C. Solid waste collection and recycling shall be the responsibility of the applicant.
- D. Removal of snow from off-street parking areas, walks, public sidewalks, private roads and access drives shall be the responsibility of the applicant. Snow shall not be stored in the public right-of-way.

4. PARKING AND ACCESS

Parking stall dimensions shall be in accordance with Title 16, Chapter 12 of the Municipal Code.

5. LIGHTING

Plans for new outdoor lighting shall be submitted for review and approval by the Electrical Inspector and/or Development Director in accordance with Title 16, Chapter 10, Section 4 of the Municipal Code. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway. Lighting on the vacuum booms will be turned off when the business is not open for business.

6. SETBACKS

The external setbacks for the planned unit development setbacks shall be at least as follows:

	Street Setback	Rear Setback	Side Setback
Principal Structure	40 ft	40 ft	10 ft
Accessory Structure	40 ft	10 ft	10 ft
Parking	25 ft	10 ft	10 ft

7. TIME OF COMPLIANCE

The operator of the conditional use shall commence work in accordance with these Conditions and Restrictions within eighteen (18) months from the date of adoption of the resolution authorizing this Conditional Use. This Conditional Use approval shall expire within eighteen (18) months after the date of adoption of the resolution if a building permit has not been issued for this use and substantial work has not commenced. The applicant shall reapply for a Conditional Use approval prior to recommencing work or construction.

8. OTHER REGULATIONS

Compliance with all other applicable Village, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

9. STORMWATER

The applicant must contact the Village of Caledonia Stormwater Utility District regarding Stormwater regulations for this site. Compliance with all regulations and requirements, as determined by the Village of Caledonia Stormwater Utility District is required. Stormwater management plans shall be submitted for approval and be in compliance with all Village requirements, as determined by the Public Services Director before permits are issued.

10. FIRE DEPARTMENT APPROVAL

Applicant shall obtain approval from the Village of Caledonia Fire Department and meet applicable codes.

11. CALEDONIA SEWER AND WATER UTILITY DISTRICTS

Applicant must contact the Caledonia Sewer and Water Utility Districts regarding Utility District regulations for this site. Compliance with all regulations and requirements, as determined by the Caledonia Sewer and Water Utility Districts is required. The site is not located within the Caledonia Sewer and Water Service Area. Due to sanitary sewer and watermain not being available, a declaration of restrictive covenants document will need to be executed by the owner prior to any building permits being issued. All buildings shall connect to public sanitary sewer and water when available.

12. SIGNAGE

The Village's signage requirements are set forth in Title 16 of the Village's Code of Ordinances. Any proposed advertising sign at the site will require a separate sign permit prior to installation. Please contact Village Zoning staff for advertising sign regulations and permit procedures. Banners, balloons, flashing or animated signs are prohibited.

13. NO ACCUMULATION OF REFUSE AND DEBRIS

Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.

14. PROPERTY MAINTENANCE REQUIRED

A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and

cleaning, painting, and repairing windows and building façade. All drives shall be paved with asphalt. Parking areas shall be paved or have placed upon them compacted recycled asphalt. All drives and parking areas shall be maintained in a dust free condition.

15. PERFORMANCE STANDARDS

The applicant must comply with the provisions of Title 16, Chapter 10, Section 4 of the Municipal Code, as adopted by the Village of Caledonia and any conditions established by subsequent Conditional Use Approvals.

16. ACCESS

The applicant must allow any Village employee full and unlimited access to the project site at a reasonable time to investigate the project's construction, operation, or maintenance.

17. COMPLIANCE WITH LAW

The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 9, 14, 16 and 18 of the Village of Caledonia Code of Ordinances.

18. REIMBURSE VILLAGE COSTS

Applicant shall reimburse the Village all costs incurred by the Village for review of this rezoning approval including but not limited to engineering, legal and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.

19. AMENDMENTS TO CONDITIONAL USE

No additions, deletions, or changes may be made to the project, site plan, or these conditions without the Village of Caledonia's prior approval. All addition, deletion, and/or change requests must be submitted to the Village of Caledonia in writing. A minor change to the conditions of this permit, as deemed by the Zoning Administrator, may be made at a staff level, if authorized by the Zoning Administrator.

20. BINDING EFFECT

These conditions bind and are applicable to the Applicant, property owner, successor and assigns, owner's association(s) and any other users of the Property with respect to the uses on the Property.

21. VIOLATIONS & PENALTIES

Any violations of the terms of these conditions and restrictions of this Conditional Use shall be subject to enforcement and the issuance of citations in accordance with Village Code of Ordinances. If the owner, applicant or operator of the Conditional Use is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the Village shall have the right to initiate revocation procedures for this Conditional Use, subject to the provisions of paragraph 9 herein. Nothing herein shall preclude the Village from commencing an action in Racine County Circuit Court to enforce the terms of this Conditional Use or to seek an injunction regarding any violation of this Conditional Use or any other Village ordinances.

22. REVOCATION

Should an applicant, its heirs, successors or assigns and any other users of the property fail to comply with the conditions and restrictions of the approval issued by the Village Board, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth in the Municipal Code.

23. AGREEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the Village or terminated by mutual agreement of the Village and the owner, and their subsidiaries, related entities, successors and assigns. Therefore, Champion Express Car Wash, Bon Fitzgerald, ARZA LLC; its heirs, successors, and assigns, including all users, future owners, occupants and owner's association(s), are responsible for full compliance with the above conditions.

24. SUBSEQUENT OWNERS

It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.

DRAFT



5133 DOUGLAS AVE

0 120 240 480 Feet





PRIORITY
ENGINEERING, LLC

23208 EMERSON WAY
LAND O' LAKES, FL 34639

PH: 813.406.4234

PROPOSAL NARRATIVE

Village of Caledonia
7B Design and Development – Car Wash
5133 Douglas Avenue
Caledonia, WI 53402

Proposal Narrative:

On behalf of the developer, 7B Design and Development, Priority Engineering, LLC is asking that the Planning Commission approve a Conditional Use Permit for a proposed Champion Xpress car wash located at 5133 Douglas Avenue, Caledonia, Wisconsin.

The legal description for the subject property is as follows:

PER TITLE COMMITMENT NO.: 01040-24313

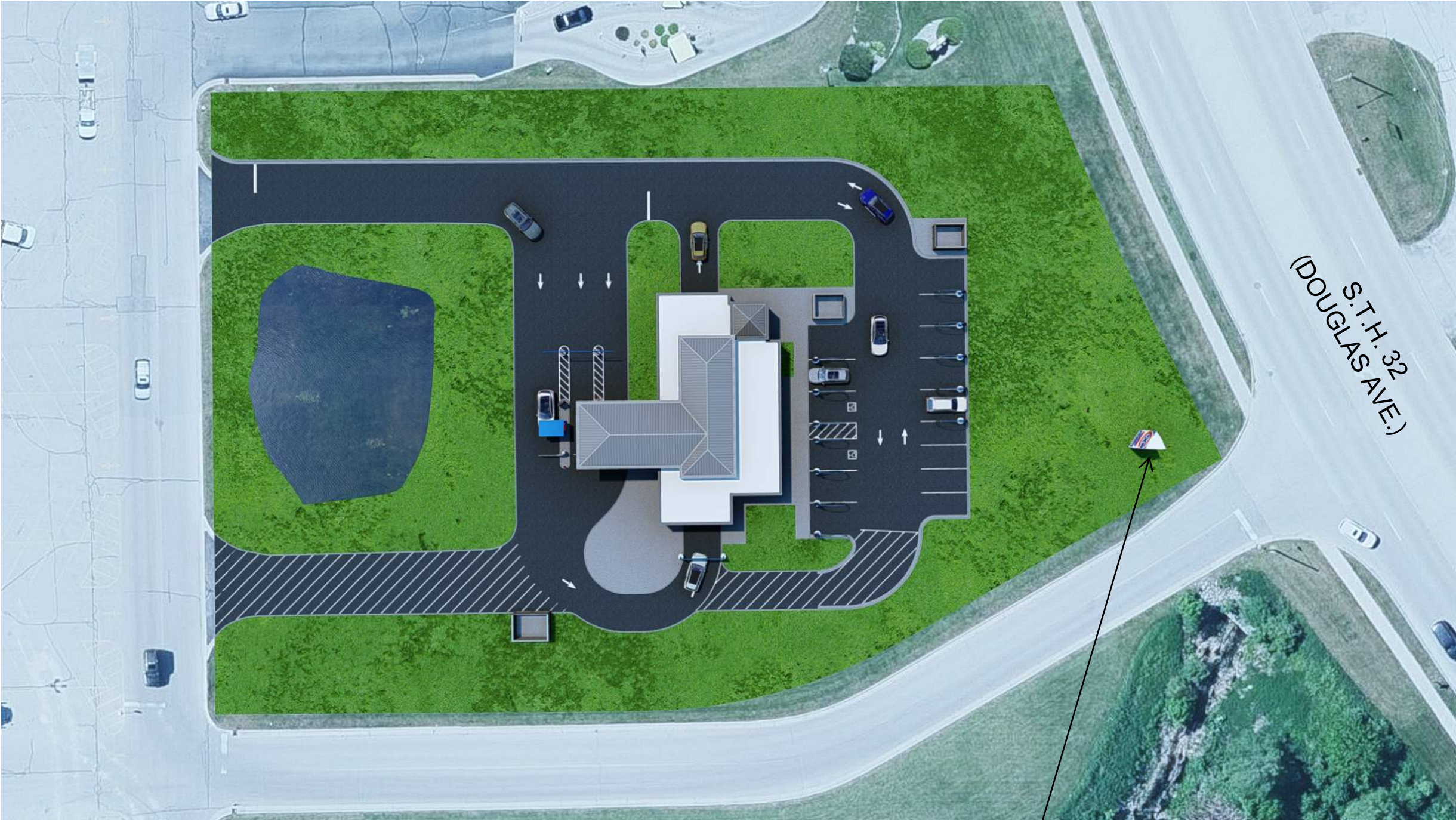
PARCEL 2 OF CERTIFIED SURVEY MAP NO. 1475 RECORDED ON JUNE 29, 1990 IN VOLUME 4 OF CERTIFIED SURVEY MAPS, AT PAGE 549, AS DOCUMENT NO. 1314159, BEING A REDIVISION OF ALL OF LOT 1, AND PART OF LOT 2, CERTIFIED SURVEY MAP NO. 1446 RECORDED ON NOVEMBER 9, 1989, IN VOLUME 4 OF CERTIFIED SURVEY MAPS, AT PAGE 469, AS DOCUMENT NO. 1296776, LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 4 NORTH, RANGE 23 EAST, IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

The proposed development consists of retrofitting an existing building, formerly used as a bank into an approximately 3,672 square foot car wash with a tunnel length of approximately 84 feet. Using the previous infrastructure, the drive-through lanes will be utilized as three queuing lanes and these lanes will be secured by three pay stations. Site ingress and egress will be unsecured. Parking for the proposed site will consist of eleven vacuum stalls, two being ADA accessible, and four employee parking stalls. The facility will be operated by three to four employees each shift with two shifts per day. The hours of operation will be 7 days a week from the hours of 8:00 a.m. to 7:00 p.m. Deliveries to the site are anticipated to be once a week with supplies delivered via box truck. Dumpster and vacuum enclosures will consist of 6 foot high split face C.M.U walls. Enclosures will be secured by metal panel vertical siding swing gates.

The anticipated maximum number of facility users at one time is 25 in pay station queuing and 15 for parking/vacuum stalls for a total of 40 visitors.

Fire truck access will be available around the entire facility. The fire truck would enter at the north entrance and have unrestricted access around the facility.

A reclaim system will be used to recycle up to 80%-85% of used water for the car wash. The system will collect, clean and redistribute clean water to be used for additional car washes.



AERIAL VIEW

3-SIDED SIGN



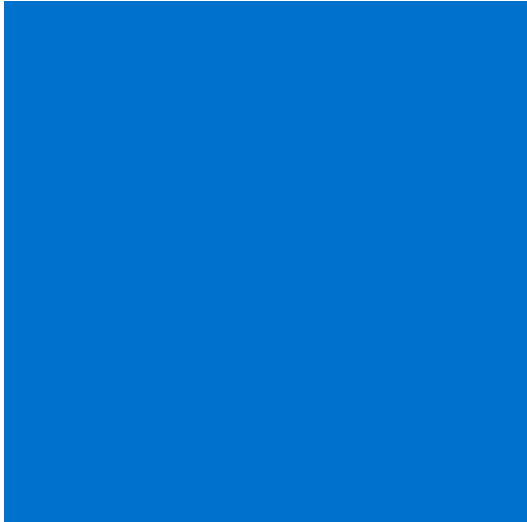
SIDE VIEW FROM VACUUM PARKING



ENTRANCE VIEW FROM VACUUM PARKING



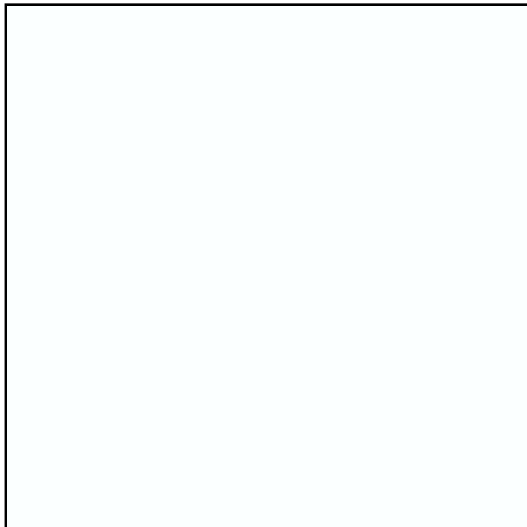
SPLIT FACE CMU
MANUF: ECHELON MASONRY
COLOR: G.C. TO COORDINATE WITH LOCAL
SUPPLIER TO MATCH EXISTING MATERIALS



VACCU BOOMS
MANUF: SONNY
COLOR: TO MATCH PANTONE 285C



PAINT FINISH DOORS, AND LOUVER IN HOLLOW
METAL DOOR FRAME
COLOR: G.C. TO COORDINATE WITH LOCAL
SUPPLIER TO MATCH EXISTING MATERIALS



PAINT FINISH OVER HEAD DOORS
MANUF: IPS COATING
COLOR: RAL 90333 CRYSTAL WHITE
PRODUCT#: PLSF 80037PAINT FINISH

ELECTRONIC MATERIAL SAMPLE BOARD



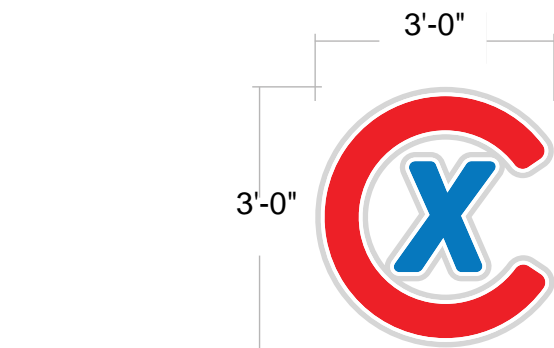
STREET VIEW FROM DOUGLAS AVE.



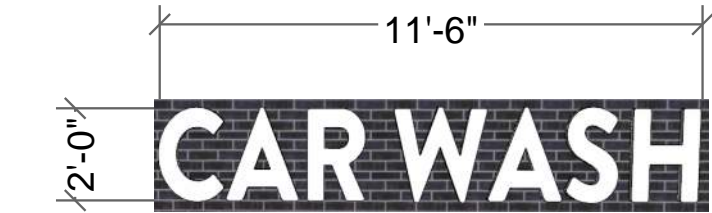
STREET VIEW FROM DOUGLAS AVE.



EXIT VIEW



CX
Sign type to be internally illuminated
channel letters



SIGNAGE AT BUILDING
Acrylic face white channel letters with aluminum retainers

PAINT
● Grey Retainer Color: PMS 427-C / MP 542



3 SIDED SIGN (SAME EACH SIDE)



HELT
DESIGN
ARCHITECTURE INTERIORS

6405 W. WILKINSON
BLVD, STE. 100
BELMONT, NC 28012

704.342.1686
HELTDESIGN.COM
INFO@HELTDESIGN.COM
PROJECT NAME:

CHAMPION XPRESS
CAR WASH
FOR 7B BUILDING
AND
DEVELOPMENT

PROJECT NO: 23079

PROJECT ADDRESS:
5141 DOUGLAS AVE.
CALEDONIA, WI 53402



CORPORATE ENTITY:
C.L. HELT, ARCHITECT, INC. A NORTH
CAROLINA PROFESSIONAL CORPORATION
DBA HELT DESIGN.

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DRAWING RELEASE:

NO.	DATE	DESCRIPTION

DRAWN BY: JL
CHECKED BY: DM

DATE: 07.18.2023

SHEET TITLE:
RENDERING
ELEVATIONS

SHEET NUMBER:
A-REN

Champion Xpress Car Wash

Conditional Use & Site Plan Package

5133 Douglas Avenue

Caledonia, Racine County, WI 53402

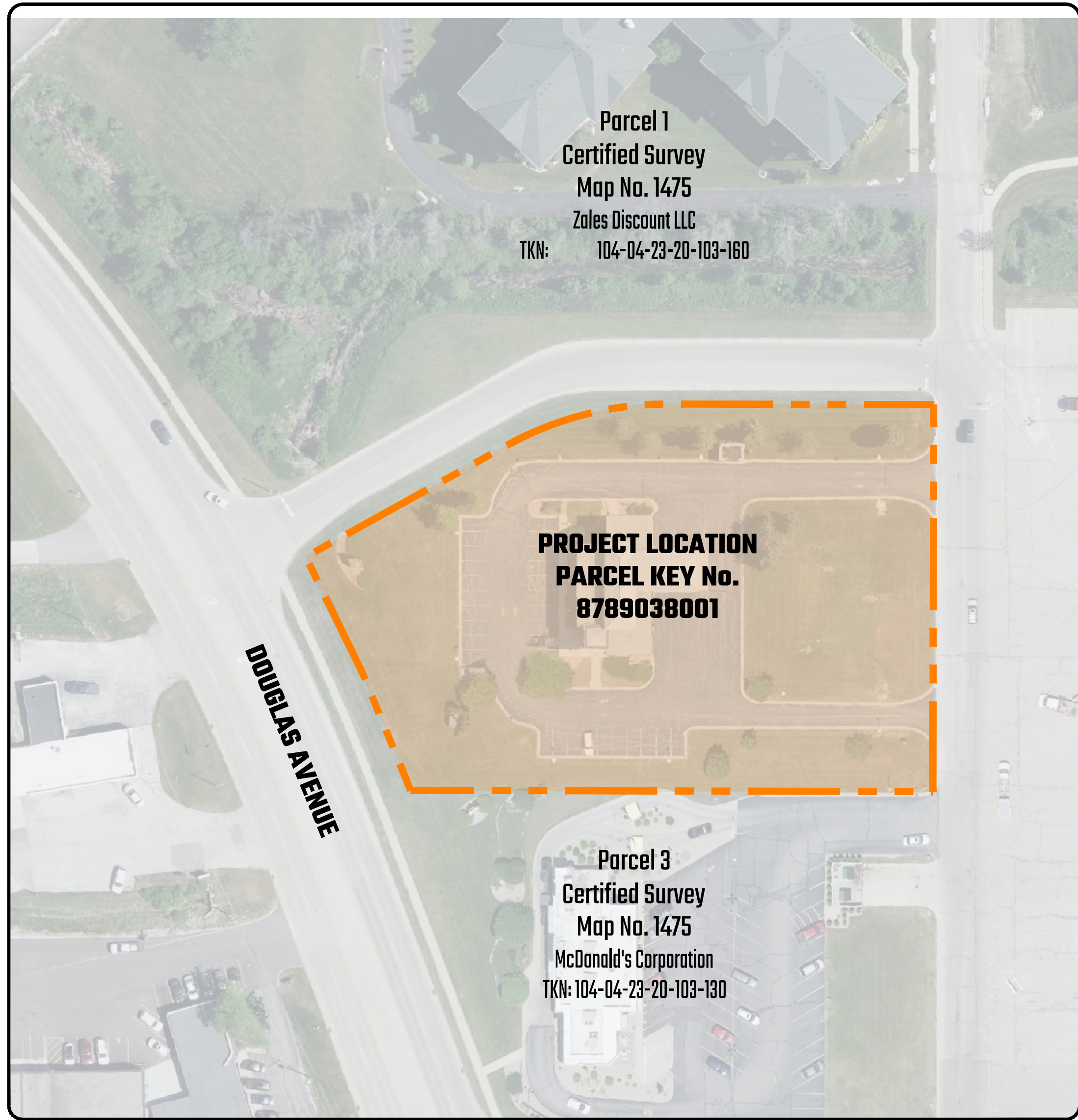
LEGAL DESCRIPTION:

PER TITLE COMMITMENT NO.: 01040-24313

PARCEL 2 OF CERTIFIED SURVEY MAP NO. 1475 RECORDED ON JUNE 29,1990 IN VOLUME 4 OF CERTIFIED SURVEY MAPS, AT PAGE 549, AS DOCUMENT NO. 1314159, BEING A REDIVISION OF ALL OF LOT 1, AND PART OF LOT 2, CERTIFIED SURVEY MAPNO. 1446 RECORDED ON NOVEMBER 9, 1989, IN VOLUME 4 OF CERTIFIED SURVEY MAPS, AT PAGE 469, AS DOCUMENT NO. 1296776, LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 4 NORTH, RANGE 23 EAST, IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

FLOODPLAIN NOTE:

Per the National Flood Insurance Program, Flood Insurance Rate Map No. 55101C0116D, Effective May 2, 2012; this property lies within "Zone X" which is defined as areas determined to be outside the 0.2% annual chance floodplain.



OVERALL SITE PLAN

NOT TO SCALE



COUNTY MAP

NOT TO SCALE



SITE LOCATION MAP

NOT TO SCALE



DEVELOPER



7B BUILDING AND DEVELOPMENT
13105 DOVER AVE
LUGBOCK, TEXAS 79424

CONTACT: ALAN KIRCHOFF
PH: 806.368.7843
EMAIL: alon@7bdev.com
EMAIL: www.7bdev.com

ARCHITECT/STRUCTURAL



HELT DESIGN
6405 W. WILKINSON BLVD, SUIT 100
BELMONT, NORTH CAROLINA 28012

CONTACT: DIANA MYERS
PH: 704.342.1686
EMAIL: dianom@clhelt.com
www.helttdesign.com

ENGINEER



PRIORITY ENGINEERING, LLC
2320B EMERSON WAY
LAND O LAKES, FLORIDA 34639

CONTACT: BON S. FITZGERALD, PE (EOR)
PH: 313.515.8313
www.priority-eng.com

PROJECT NO. 22-0027.004

SURVEYOR



LYNCH & ASSOCIATES
440 MILWAUKEE AVE
BURLINGTON, WISCONSIN 53105

CONTACT: RICK HILLMANN
PH: 262.330.0500
EMAIL: RHillmann@lynch-engineering.com
www.lynch-engineering.com

LANDSCAPE ARCHITECT



KIMLEY-HORN
570 LAKE COOK RD
SUITE 200
DEERFIELD, IL 60015

CONTACT: AMANDA McABEE, PLA
PH: 331-481-7338
EMAIL: Amanda.Folta@kimley-horn.com
www.kimley-horn.com

ON-SITE SOILS:

(PER THE NATIONAL COOPERATIVE SOIL SURVEY)

A1A = ASHKUM SILTY CLAY LOAM, 0 TO 2 PERCENT SLOPES

HbB = HEBRON SANDY LOAM, 2 TO 6 PERCENT SLOPES

GEOTECHNICAL NOTE:

IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN AND REVIEW A COPY OF THE GEOTECHNICAL ENGINEERING REPORT. CONTRACTOR SHALL REFER TO THE REPORT FOR SITE PREPARATION, COMPACTION, UTILITY TRENCH BACKFILLING, PAVEMENT, FOUNDATIONS AND SLABS, CONSTRUCTION AND DESIGN CRITERIA.

UTILITY/MUNICIPAL CONTACTS

COMMUNICATIONS
MCI
PH: 800.289.3427

GAS & ELECTRIC
WE ENERGIES
700 SUNSET ROAD
PORT WASHINGTON, WI 53074
PH: 262.446.9821

TELEPHONE
AT&T
PH: 262.446.9821

CABLE
TIME WARNER CABLE
PH: 262.446.9821

VILLAGE OF CALEDONIA
PLANNING AND ZONING
5043 CHESTER LANE
RACINE, WI 53402
CONTACT: PETER WAGNER
PH: 262.835.6446

VILLAGE OF CALEDONIA ENGINEERING
5043 CHESTER LANE
RACINE, WI 53402
CONTACT: ANTHONY A. BUNKELMAN, P.E.
PJ: 262.835.6416

VILLAGE OF CALEDONIA
UTILITIES
5043 CHESTER LANE
RACINE, WI 53402
CONTACT: ANTHONY A. BUNKELMAN, P.E.
PJ: 262.835.6416

VILLAGE OF CALEDONIA
FIRE DEPARTMENT
7000 S. 6TH STREET
OAK CREEK, WI 53154
CONTACT: MICHAEL HAVEY
PH: 414.570.5629



Dial 811 or (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 524-2289
www.DiggersHotline.com



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Call before you dig.

UTILITY WARNING!!

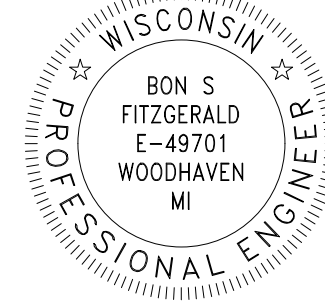
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



PRIORITY ENGINEERING, LLC



Engineer's Seal



Certification

(1) This item has been electronically signed and sealed by Bon S. Fitzgerald, PE, using a Digital Signature.
(2) Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Bon S. Fitzgerald, State of Wisconsin, Professional Engineer, License No. E-49701.

North

SCALE

Project

CHAMPION XPRESS CAR WASH



Project Location

5133 DOUGLAS AVENUE
CALEDONIA, WI 53402

Sheet Name

COVER SHEET

ISSUED FOR SITE
PLAN APPROVAL

Revisions

REV	ISSUED FOR	ISSUE DATE	BY
01	CONDITIONAL USE APPROVAL	07/25/2023	BF
02	REVISED LANDSCAPING	08/23/2023	BF

Date: 07/25/2023

Reviewed By: KMA

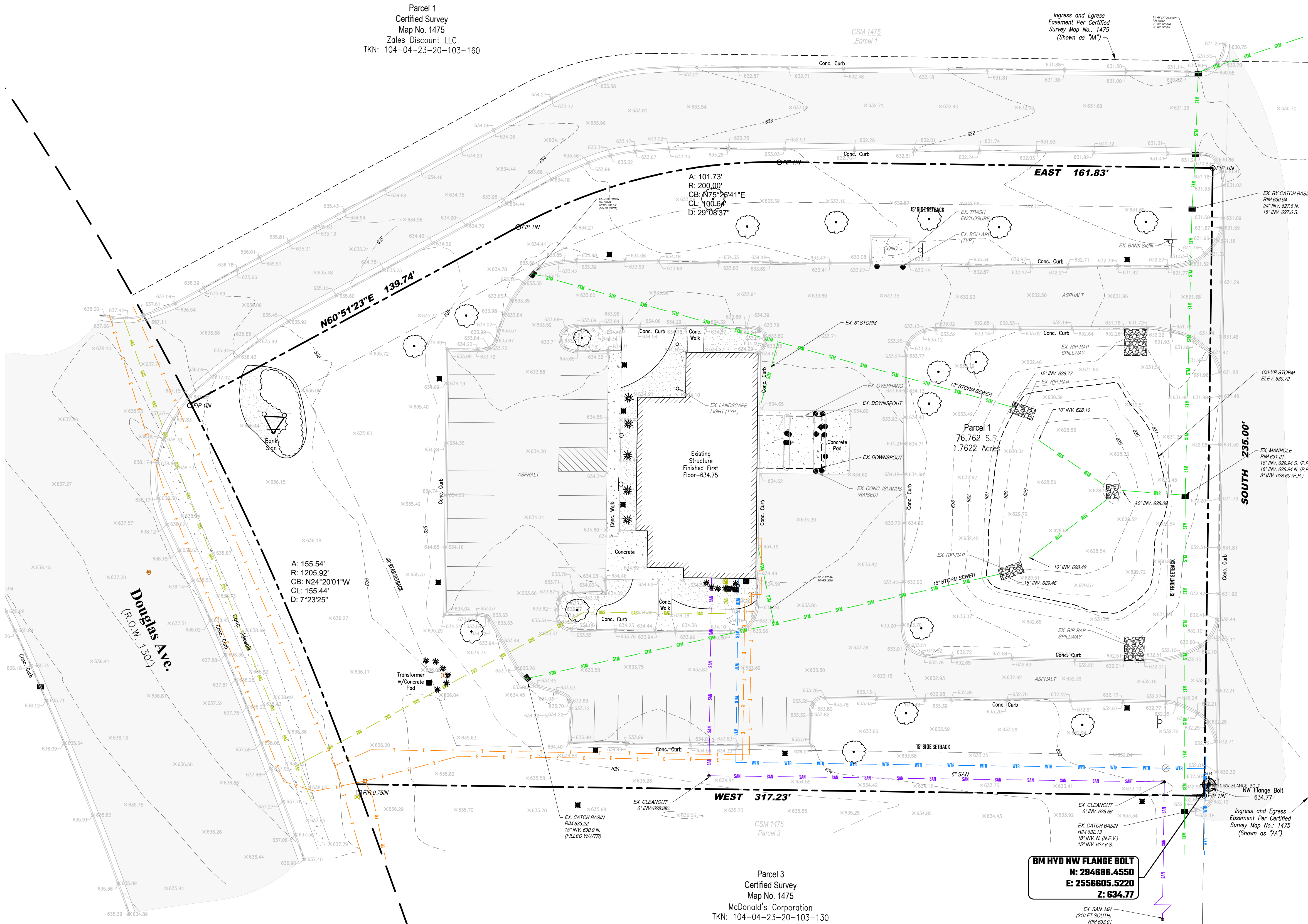
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PE Project No. 22-0027.004

Sheet No. C-0.0

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BENCHMARK DATA-

BM TOP NE FLANGE BOLT
NORTHING: 284686.455
EASTING: 2556605.5220
ELEVATION: 634.77
(NAVD83 DATUM)

EXISTING LEGEND

- CONTOUR
INDEX CONTOUR
Found 1" Iron Pipe
Found PK Nail
Found Chiseled Cross
Set 3/4" Iron Rod
Utility Pole
Guy Anchor
Light Pole
Water Main Manhole
Fire Hydrant
Water Main Valve
Well
Storm Inlet - Curb
Coniferous Tree
Deciduous Tree
Utility Manhole
Sign
Structure Number
RETAINING WALL
- EXISTING OVERHEAD UTILITY
EXISTING OVERHEAD TELEPHONE
EXISTING GAS MAIN
EXISTING UNDERGROUND ELECTRIC
EXISTING TELEPHONE LINE
EXISTING FIBER OPTIC LINE
EXISTING CABLE TELEVISION
EXISTING STORM SEWER
EXISTING WATER MAIN, 8-INCH
EXISTING WATER MAIN, 6-INCH
EXISTING SANITARY SEWER

NOTES

- ALTA/NSPS LAND TITLE SURVEY & TOPOGRAPHIC SURVEY PERFORMED BY LYNCH ENGINEERING DATED JUNE 28, 2023.
- DRAWING BASED ON NAD83 WISCONSIN STATE PLANE COORDINATES SYSTEM, SOUTH ZONE, US FOOT.
- ALL ELEVATIONS ARE EXISTING ELEVATIONS.
- THE LOCATION OF THE EXISTING UTILITIES AS SHOWN WERE OBTAINED FROM MUNICIPAL AND UTILITY COMPANIES RECORDS. NO GUARANTEE CAN BE MADE REGARDING THE COMPLETENESS OR EXACTNESS OF THE UTILITIES LOCATION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY IN THE FIELD THE LOCATION OF ALL UTILITIES.

UTILITY/MUNICIPAL CONTACTS

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700 SUNSET ROAD
PORT WASHINGTON, WI 53074
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RACINE, WI 53402
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PH: 262.835.6446

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RACINE, WI 53402
CONTACT: ANTHONY A. BUNKELMAN, P.E.
PI: 262.835.6416

VILLAGE OF CALEDONIA UTILITIES
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RACINE, WI 53402
CONTACT: ANTHONY A. BUNKELMAN, P.E.
PJ: 262.835.6416

VILLAGE OF CALEDONIA FIRE DEPARTMENT
7000 S. 6TH STREET
OAK CREEK, WI 53154
CONTACT: MICHAEL HAVEY
PH: 414.570.5629

FLOODPLAIN NOTE:

PER THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP NO. 5510C0160, EFFECTIVE MAY 2, 2012, THIS PROPERTY LIES WITHIN "ZONE X" WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

ON-SITE SOILS-

(PER THE NATIONAL COOPERATIVE SOIL SURVEY)

A1A = ASHKUM SILTY CLAY LOAM, 0 TO 2 PERCENT SLOPES

H6b = HEBRON SANDY LOAM, 2 TO 6 PERCENT SLOPES

UTILITY WARNING!!

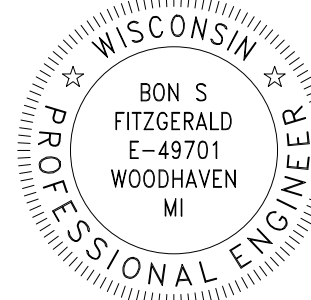
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PRIORITY ENGINEERING, LLC



Engineer's Seal



Certification

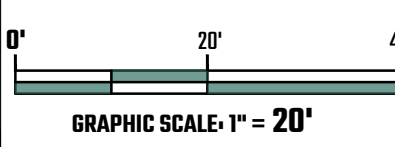
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North



SCALE



Project

CHAMPION XPRESS CAR WASH



Project Location

**5133 DOUGLAS AVENUE
CALEDONIA, WI 53402**

Sheet Name

**EXISTING SITE
CONDITIONS**

**ISSUED FOR SITE
PLAN APPROVAL**

Revisions

REV	ISSUED FOR	ISSUE DATE	BY
01	CONDITIONAL USE APPROVAL	07/25/2023	BF
02	REVISED LANDSCAPING	08/23/2023	BF

Date: 07/25/2023

Reviewed By: KMA

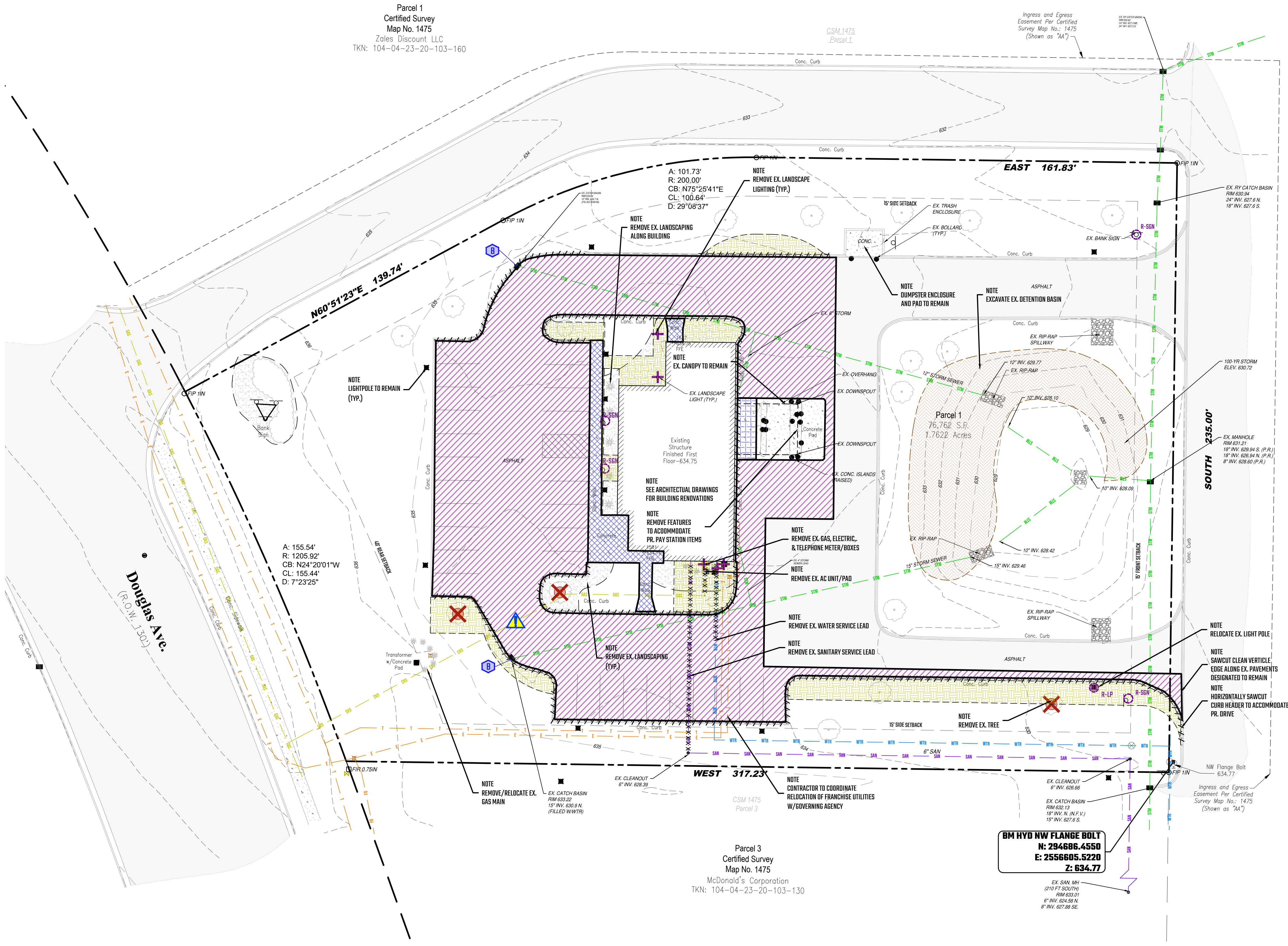
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PE Project No. 22-0027.004

Sheet No. C-1.0

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REMOVAL LEGEND

- NOTE: REMOVAL SHALL INCLUDE SURFACE ITEMS NOTED BELOW IN ADDITION TO UNDERLYING BASE, SUBBASE, SUBGRADE AND DELETERIOUS MATERIAL TO ACCOMMODATE PROPOSED IMPROVEMENTS.
- SAWCUT & REMOVE EXISTING ASPHALT
 - SAWCUT & REMOVE EXISTING CONCRETE SIDEWALK
 - SAWCUT & REMOVE EXISTING CONCRETE PAVEMENT
 - CLEAR, EXCAVATE EX. GREENBELT/LANDSCAPING TO ACCOMMODATE PROPOSED IMPROVEMENTS
 - AREA OF GRADING/EARTHWORK
 - DEMOLISH & REMOVE EXISTING BUILDING
 - REMOVE CURB & GUTTER
 - REMOVE EXISTING FENCE
 - REMOVE EXISTING WALL
 - REMOVE EXISTING UTILITY AS NOTED
 - CAUTION!!!! EXISTING UTILITY IN AREA (SEE EXISTING/RECORD UTILITIES NOTE, THIS SHEET)
 - REMOVE/RELOCATE EXISTING MISC. ITEM AS NOTED ON PLANS
 - REMOVE EXISTING TREE
 - ADJUST RIM AS NOTED ON GRADING PLAN
 - ADJUST EXISTING STRUCTURE RIM/VALVE AS NOTED ON THE GRADING PLAN
 - CONTRACTOR TO RECONSTRUCT/REPLACE ENTIRE STRUCTURE
 - REMOVE AND DISPOSE OF EXISTING CATCH BASIN
 - REMOVE AND DISPOSE OF EXISTING MANHOLE
 - REMOVE AND DISPOSE OF EXISTING SIGN, POST AND FOUNDATION.
 - REMOVE AND DISPOSE OF EXISTING BOLLARD.
 - REMOVE AND DISPOSE OF EXISTING LIGHT FIXTURE, POLE AND BASE.
 - SOIL BORING LOCATION (SEE GEOTECHNICAL REPORT BY OTHERS)

NOTES:

- ALL CONSTRUCTION AT PROJECT SITE WILL USE BEST MANAGEMENT PRACTICES INCLUDING SOIL EROSION CONTROL MEASURES, AS ALSO REQUIRED BY LOCAL JURISDICTION, AND NOTED ON THE CONSTRUCTION DRAWINGS.
- CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION TO ORIGINAL OR BETTER CONDITION.
- ALL NEW WORK TO BE PERFORMED PER STANDARDS AND SPECIFICATIONS OF THE CITY OF CALEDONIA
- THE CONTRACTOR TO CALL 811 TO MARK EXISTING UTILITIES WITHIN THE WORK AREA. DO NOT EXCAVATE UNTIL EXISTING UTILITIES HAVE BEEN PAINTED IN THE FIELD AND ANY CONCERNS NEED TO BE BROUGHT TO THE ENGINEER'S ATTENTION.

BENCHMARK DATA:

BM A
CHISELED "X" ON CURB HEADER
NORTHING: 484242.7340
EASTING: 2511828.0560
ELEVATION: 756.86
(NAVD88 DATUM)

BM B
SET PK NAIL
NORTHING: 484533.7040
EASTING: 2511828.5940
ELEVATION: 771.08
(NAVD88 DATUM)

BM C
SET PK NAIL
NORTHING: 484501.7910
EASTING: 2511862.2880
ELEVATION: 763.41
(NAVD88 DATUM)

EXISTING/RECORD UTILITIES NOTE

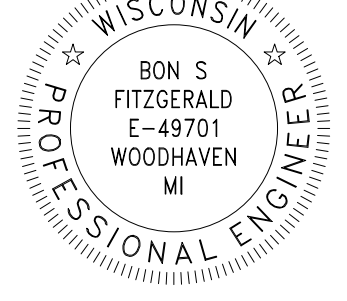
THE LOCATION OF THE EXISTING UTILITIES AS SHOWN WERE OBTAINED FROM MUNICIPAL AND UTILITY COMPANY RECORDS, FIELD OBSERVATIONS AND OWNER PROVIDED DRAWINGS. NO GUARANTEE CAN BE MADE REGARDING THE COMPLETENESS OR EXACTNESS OF THE UTILITIES LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY IN THE FIELD THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES SHOWN, REFERENCED OR MARKED IN THE FIELD. CONTRACTOR TO REPORT ANY CONFLICTS IN THE FIELD TO THE ENGINEER. CONTRACTOR METHODS FOR UTILITY LOCATING SHALL AT A MINIMUM INCLUDE UTILIZING A UTILITY LOCATING COMPANY, HYDRO EXCAVATION, SOFT DIG AND POT HOLLING.



PRIORITY ENGINEERING, LLC



Engineer's Seal



Certification

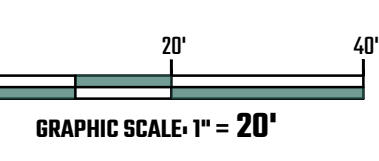
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North



SCALE



Project

CHAMPION XPRESS CAR WASH



Project Location

5133 DOUGLAS AVENUE
CALEDONIA, WI 53402

Sheet Name

REMOVAL/DEMOLITION
PLAN

ISSUED FOR SITE
PLAN APPROVAL

Revisions

REV	ISSUED FOR	ISSUE DATE	BY
01	CONDITIONAL USE APPROVAL	07/25/2023	BF
02	REVISED LANDSCAPING	08/23/2023	BF

Date:

07/25/2023

Reviewed By:

KMA

ENG/CADD:

BH

Checked By:

BSF

PE Project No.

22-0027.004

Sheet No.

C-2.0

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LAND USE TABLE			
LAND USE	AREA (Sf)	AREA (ACRES)	DENSITY
BUILDING	4,360	0.10	3%
GREENBELT AREA	97,532	2.24	72%
DETENTION AREA	4,355	0.10	3%
PAVEMENT AREA	25,873	0.59	19%
EASEMENT AREA FOR R.O.W.	3,570	0.08	3%
TOTAL	135,630	3.11	100%

PROJECT DESCRIPTION & SITE DATA

PROJECT SCOPE TO INCLUDE CONSTRUCTION A NEW CHAMPION XPRESS CAR WASH AND ASSOCIATED INFRASTRUCTURE SUCH AS CONCRETE PAVEMENT, CONCRETE CURB AND GUTTER, PARKING FACILITIES, UTILITIES, STORMWATER MANAGEMENT SYSTEM, LANDSCAPING, SITE SIGNAGE AND OTHER IMPROVEMENTS.

APPLICANT 78 BUILDING & DEVELOPMENT
SITE ADDRESS 5133 DOUGLAS AVENUE
CALEDONIA, WI 53402
MUNICIPALITY VILLAGE OF CALEDONIA
PARCEL AREA 1.27 AC.
CURRENT ZONING B-3
PROPOSED ZONING B-3
NORTH ADJACENT ZONING B-3
EAST ADJACENT ZONING B-3
SOUTH ADJACENT ZONING B-3
WEST ADJACENT ZONING B-3

MAXIMUM BUILDING HEIGHT 45 FEET

MINIMUM LOT SETBACK
FRONT 40 FEET
SIDE 10 FEET
REAR 40 FEET
ROW 40 FEET

PARKING REQUIREMENTS 1 SPACE PER 150 GFA (23 STALLS REQUIRED)

STALLS 1 ADA SPACE PER 25 STANDARDS

STANDARD STALLS 2 ADA SPACES PER 26 - 50

PARKING PROVIDED 13 VACUUM STALLS (1 BEING ADA)
1 ADA STALL
4 EMPLOYEE PARKING STALLS
18 TOTAL STALLS

LANDSCAPING APPROPRIATE BUFFER PER ORDINANCE

SITE LAYOUT LEGEND

I.D.	SYMBOL	DESCRIPTION
1		PAY STATION CANOPY • SEE ARCHITECTURAL PLAN FOR DETAILS
2		PROPOSED SIGN • SEE PAVEMENT MARKING & SIGNAGE PLAN FOR DETAILS
3		VACUUM EQUIPMENT ENCLOSURE • SEE ARCHITECTURAL PLAN FOR DETAILS
4		RE-USE EXISTING DUMPSTER ENCLOSURE AND CONC. PAD
5		CONCRETE PAVEMENT SECTION
6		CONCRETE SIDEWALK
7		EX. CATCH BASIN (TO REMAIN)
8		INTEGRAL CONCRETE CURB AND GUTTER
9		EX. DOWNSPOUT
		PROPERTY BOUNDARY LINE
		PROPOSED EASEMENT (AS NOTED)
		PROPOSED R.O.W. LINE
		PROPOSED SETBACK LINE

SITE LAYOUT NOTES

- ALL WORK SHALL COMPLY WITH VILLAGE/CITY/COUNTY /STATE/FEDERAL REGULATIONS, CODES & STANDARDS.
- ALL DIMENSIONS & RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THE APPROVED ARCHITECTURAL PLANS FOR PROPOSED BUILDING DIMENSIONS & UTILITY ENTRANCE LOCATIONS.
- ALL PROPOSED ADA RAMPS, PARKING AREAS & ACCESSIBLE ROUTES SHALL STRICTLY COMPLY WITH CURRENT LOCAL, STATE, AND FEDERAL REGULATIONS, INCLUDING BUT NOT NECESSARILY LIMITED TO THE ADA (AMERICANS WITH DISABILITIES ACT) ACCESSIBILITY GUIDELINES (ADAAG).
- ALL ADA ACCESSIBLE ROUTES SHALL HAVE DETECTABLE WARNINGS INSTALLED AS REQUIRED BY THE ADAAG.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITY'S REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SEE ELECTRICAL PLANS FOR SITE LIGHTING & DETAILS.
- SEE LANDSCAPING PLANS FOR PLANTINGS & DETAILS.
- SEE ARCHITECTURAL DRAWINGS FOR MONUMENT SIGN DETAILS & MATERIAL.
- SEE ARCHITECTURAL DRAWINGS FOR DUMPSTER/VACUUM PAD/ENCLOSURE.

STORMWATER MANAGEMENT NARRATIVE

BASED ON CHAPTER 2 - VILLAGE OF CALEDONIA STORM WATER UTILITY DISTRICT REGULATIONS SECTION 9-2-10 SUBSECTION (a)(9)(i), THIS SITE IS EXEMPT FROM THE REQUIREMENTS OF THE ORDINANCE DUE TO A REDEVELOPMENT POST-CONSTRUCTION SITE WITH NO INCREASE IN EXPOSED PARKING LOTS OR ROADS. BASED ON A LAND COVERAGE ANALYSIS, THE IMPERVIOUS SURFACE FOR THE PROPERTY IS BEING REDUCED BY APPROXIMATELY 50 SQUARE FEET WITH THE PROPOSED REDEVELOPMENT LAYOUT.

AS REQUESTED BY THE VILLAGE, PARTIAL POND RE-GRADING WILL BE PERFORMED TO MEET THE PREVIOUSLY APPROVED DESIGN CAPACITY. AT A MINIMUM, THE GRADING WILL PROVIDE 3,825 CUBIC FEET OF STORAGE AT THE 620.72 ELEVATION WITHIN THE POND. PLEASE REFER TO THE PREVIOUSLY APPROVED STORM WATER MANAGEMENT PLAN FOR THE BANK MUTUAL DATED SEPTEMBER 8, 2004 BY NATIONAL SURVEY & RAMP ENGINEERING.

NO CHANGES TO THE STORMWATER PIPING SYSTEM IS PROPOSED AND RIM ELEVATIONS SHALL BE SET AT THE EXISTING ELEVATION DURING THE REDEVELOPMENT PROCESS.

NOTE:

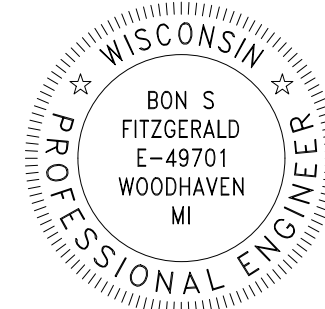
SEE SHEET C-3.0 FOR PAVEMENT MARKINGS & SIGNAGE PLAN FOR PAINT/PARKING DETAILS.



PRIORITY ENGINEERING, LLC



Engineer's Seal



Certification

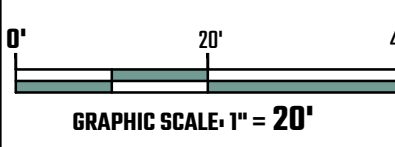
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North



SCALE



Project

CHAMPION XPRESS CAR WASH



Project Location

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Sheet Name

SITE PLAN

ISSUED FOR SITE
PLAN APPROVAL

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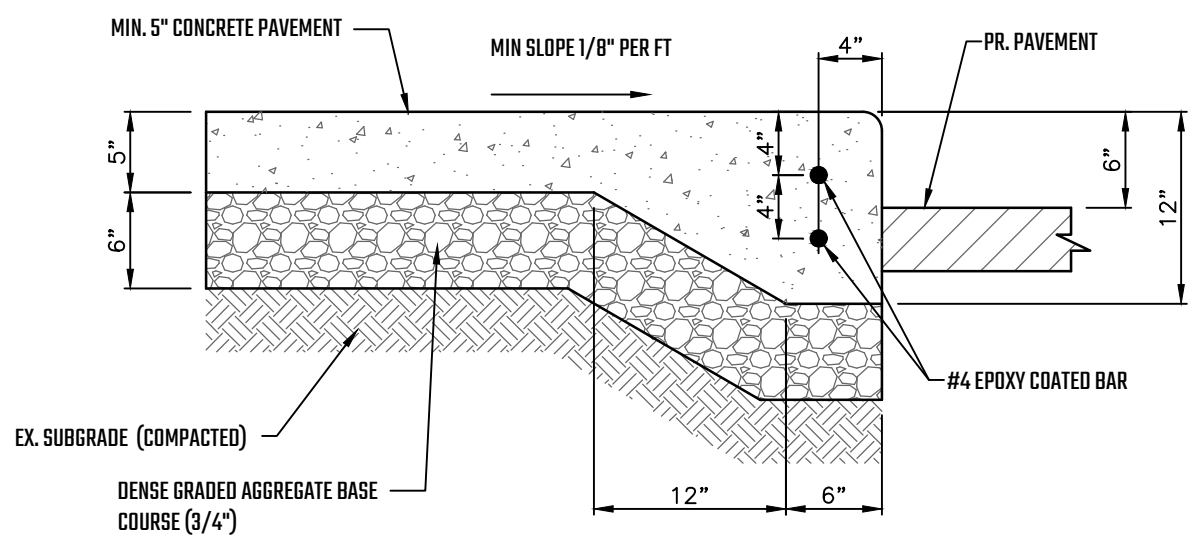
Checked By: BSF

PE Project No. 22-0027.004

Sheet No.

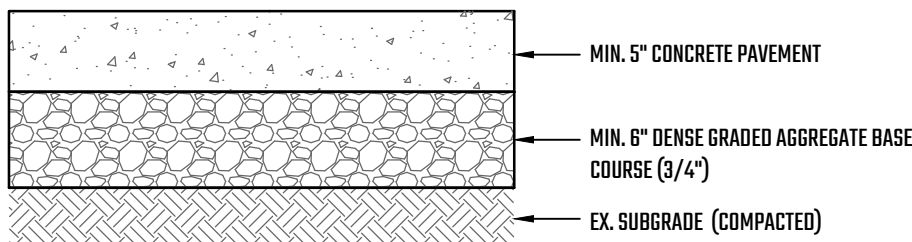
C-3.0

DRAWING NOTE: SCALE SHOWN IS MEANT FOR 34" X 34" AND WILL SCALE INADEQUATELY IF PRINTED OR ANY OTHER SIZE THAN INDICED 1" = 1' IF NO REPRODUCTION SHALL BE MADE WITHOUT PRIOR CONSENT OF PRIORITY ENGINEERING, LLC.
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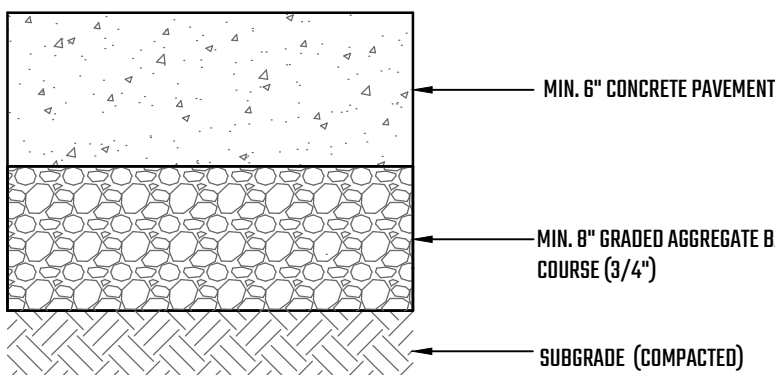
THICKENED EDGE SIDEWALK - DETAIL

NOT TO SCALE



SIDEWALK - DETAIL

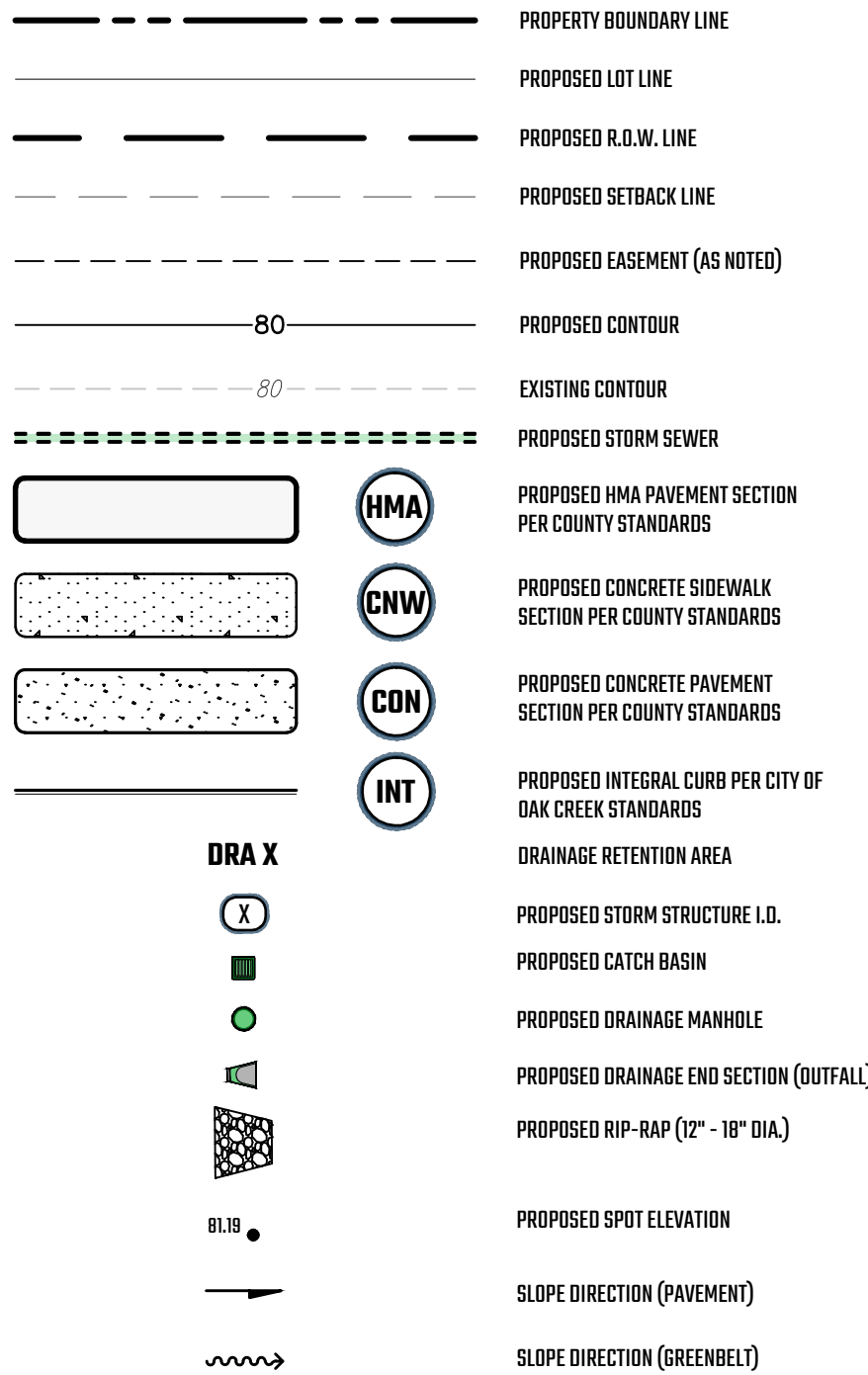
NOT TO SCALE



PCC OVER AGGREGATE BASE - DETAIL

NOT TO SCALE

PAVING, GRADING & DRAINAGE LEGEND



PAVING & GRADING NOTES

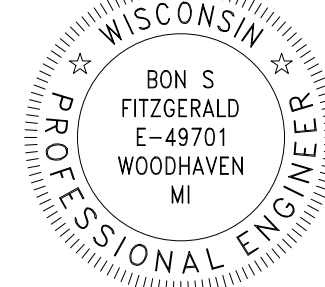
- CONTRACTOR TO CALL DISHERS HOTLINE @ 1-800-242-8081 AT LEAST THREE WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
- PROPOSED ELEVATIONS ARE SHOWN WHERE SIGNIFICANT GRADE CHANGES ARE ANTICIPATED. IF PROPOSED GRADES ARE NOT SHOWN THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE WITH MIN. SLOPE OF 1.5% LONGITUDINAL SLOPE ALONG BUTTER LINES SHALL BE 0.5% MIN.
- PRIOR TO INSTALLING ANY PAVEMENT LAYERS, THE CONTRACTOR SHALL REVIEW THE PROPOSED SITE GRADES WITH THE ENGINEER TO IDENTIFY AND RECTIFY ANY COMPLICATIONS.
- PROPOSED SIDEWALKS SHALL HAVE MIN. 1.0% AND MAX. 2.0% CROSS SLOPE AND A MAX. 5.0% RUNNING SLOPE UNLESS PARALLEL TO AN EXISTING DRIVE/ROAD.
- ADA ACCESSIBLE AREAS SHALL NOT EXCEED THE FOLLOWING SLOPES:
 - RAMPS - 1:12 (8.3%) MAX.
 - ROUTES - 1:20 (5.0%) MAX.
 - PARKING - 1:50 (2.0%) MAX.
 - CROSS SLOPES - 1:50 (2.0%) MAX.
- CONTRACTOR SHALL ADJUST ALL UTILITY RIMS LOCATED WITHIN THE WORK LIMITS AS NECESSARY TO BE FLUSH WITH THE PROPOSED FINISHED SURFACE. THIS INCLUDES ALL STORM MANHOLES, CATCH BASINS, CLEANOUTS, SANITARY MANHOLES AND CLEANOUTS, WATER MAIN MANHOLES, GATE VALVES, AND BOXES OR ANY OTHER UTILITY RIMS OR BOXES.
- WHERE PROPOSED PAVEMENT ABUTS EXISTING PAVEMENT DESIGNATED TO REMAIN, MATCH ELEVATIONS UNLESS INDICATED OTHERWISE ON THE PLANS.
- ADJUST GUTTER PAN FROM SPILL IN TO SPILL OUT AS REQUIRED TO ACHIEVE POSITIVE DRAINAGE AND AS INDICATED ON PLANS.
- ADJUST ELEVATION OF CURB REPAIRS AS REQUIRED TO ACHIEVE POSITIVE DRAINAGE.
- TAPER CURB HEIGHT TO 0\"/>



PRIORITY ENGINEERING, LLC



Engineer's Seal



Certification

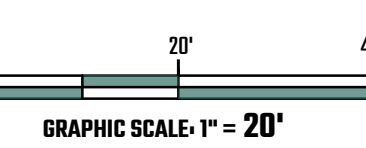
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North



SCALE



Project

CHAMPION XPRESS CAR WASH



Project Location

5133 DOUGLAS AVENUE
CALEDONIA, WI 53402

Sheet Name

PAVING &
GRADING PLAN

ISSUED FOR SITE
PLAN APPROVAL

Revisions

REV	ISSUED FOR	ISSUE DATE	BY
01	CONDITIONAL USE APPROVAL	07/25/2023	BF
02	REVISED LANDSCAPING	08/23/2023	BF

Date: 07/25/2023

Reviewed By: KMA

ENG/CADD: BH

Checked By: BSF

PE Project No. 22-0027.004

Sheet No. C-4.0

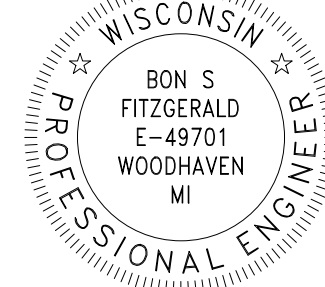
DRAWING NOTE: SCALE SHOWN IS HEAVY FOR 24\"/>



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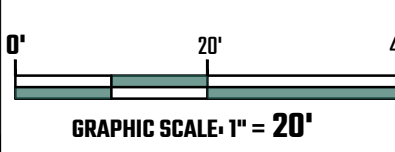
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North



SCALE



Project

CHAMPION XPRESS CAR WASH



Project Location

5133 DOUGLAS AVENUE
CALEDONIA, WI 53402

Sheet Name

UTILITY PLAN

ISSUED FOR SITE
PLAN APPROVAL

Revisions

REV	ISSUED FOR	ISSUE DATE	BY
01	CONDITIONAL USE APPROVAL	07/25/2023	BF
02	REVISED LANDSCAPING	08/23/2023	BF

Date:

07/25/2023

Reviewed By:

KMA

ENG/CADD:

BH

Checked By:

BSF

PE Project No.

22-0027.004

Sheet No.

C-5.0

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UTILITY LEGEND

- PROPERTY BOUNDARY LINE
- PROPOSED LOT LINE
- PROPOSED R.O.W. LINE
- PROPOSED EASEMENT (AS NOTED)
- EXISTING OVERHEAD UTILITY
- EXISTING GAS MAIN
- PROPOSED GAS SERVICE LEAD
- EXISTING CONDENSATION LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING TELEPHONE LINE
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING FIRE LINE
- PROPOSED WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING SANITARY FORCEMAIN
- PROPOSED SANITARY SEWER
- PROPOSED 6" SANITARY RECLAIM PIPING
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED GATE VALVE & WELL
- PROPOSED WATER SERVICE LEAD, SINGLE
- PROPOSED SANITARY SERVICE LEAD, SINGLE
- PROPOSED SANITARY MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED DOWNSPOUT

UTILITY NOTES

- CONTRACTOR TO CALL DIGGERS HOTLINE @ 1-800-242-8271 AT LEAST THREE WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
- THE LOCATION OF THE EXISTING UTILITIES AS SHOWN WERE OBTAINED FROM MUNICIPAL AND UTILITY COMPANY RECORDS, FIELD OBSERVATIONS AND OWNER PROVIDED DRAWINGS. NO GUARANTEE CAN BE MADE REGARDING THE COMPLETENESS OR EXACTNESS OF THE UTILITIES LOCATION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY IN THE FIELD THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES SHOWN, REFERENCED OR MARKED IN THE FIELD. CONTRACTOR TO REPORT ANY CONFLICTS IN THE FIELD TO THE ENGINEER. CONTRACTOR METHODS FOR UTILITY LOCATING SHALL AT A MINIMUM INCLUDE UTILIZING A UTILITY LOCATING COMPANY, HYDRO EXCAVATION, SOFT DIG AND POT HOLING.
- CONTRACTOR TO VERIFY ACTUAL VERTICAL & HORIZONTAL INVERT LOCATIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- ALL UTILITIES WITHIN 5 FEET OF PAVED AREAS SHALL REQUIRE GRANULAR BACKFILL. SLURRY BACKFILL IS REQUIRED FOR ALL WORK IN PUBLIC RIGHT OF WAY.
- STORM SEWER 12-INCH DIAMETER OR LARGER SHALL BE HDPE. BELOW 12-INCH DIAMETER SHALL BE PVC SDR-35 ASTM D2034. PRIVATE WATER MAIN SHALL BE CLASS 225 OR 18 PVC CONFORMING TO AWWA C-900. PRIVATE SANITARY SEWER SHALL BE PVC SDR-35 ASTM D2034.
- STORM SEWER INLETS IN PAVEMENT SHALL REQUIRE DRAIN TILE STUBS OF 18 FEET IN TWO DIRECTIONS FOR SUBDRAINAGE.
- THE MINIMUM DEPTH OF COVER FOR BUILDING AND CANOPY ROOF DRAIN LEADERS WITHOUT INSULATION IS 5 FEET. INSULATE ROOF DRAIN LEADERS AT LOCATIONS WHERE THE DEPTH OF COVER IS LESS THAN 5 FEET. PROVIDE A MINIMUM INSULATION THICKNESS OF 2 INCHES. THE INSULATION MUST BE AT LEAST 4 FEET WIDE AND CENTERED ON THE PIPE. INSTALL THE INSULATION BOARDS 6 INCHES ABOVE THE TOPS OF THE PIPES ON MECHANICALLY COMPACTED AND LEVELLED PIPE BEDDING MATERIAL. USE HIGH DENSITY, CLOSED CELL, RIGID BOARD MATERIAL EQUIVALENT TO DOW STYROFOAM H-40 PLASTIC FOAM INSULATION.
- INSTALL CLEANOUTS ON ALL ROOF DRAINS IN ACCORDANCE WITH 6.5.5.302.25 (3)(C)(1). THE DISTANCE BETWEEN CLEANOUTS IN HORIZONTAL PIPING SHALL NOT EXCEED 100 FEET FOR PIPES 10-INCHES AND UNDER IN SIZE. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE. INSTALL A METER BOX FRAME AND SOLID LID (KEENAH R-1814-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION AND DESIGN OF PRIVATE UTILITY SERVICES (ELECTRIC, GAS, PHONE, CABLE) WITH GOVERNING UTILITY AGENCIES.
- CONTRACTOR SHALL INSTALL JOINT RESTRAINT AND CONCRETE THRUST BLOCKS AT ALL OFFSET FITTINGS (TEES, BENDS, DEAD ENDS, VALVES, REDUCERS) USING MEGA-LOG OR APPROVED EQUAL. CONCRETE THRUST BLOCKS SHALL BE INSTALLED PER FILE NO. S-44.45.46 FROM THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. SEE DETAIL FOR MINIMUM LENGTH OF RESTRAINED JOINT REQUIRED. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-IN AND MECHANICAL CONNECTIONS.
- FOR ALL WATER MAIN CONNECTIONS, CONTRACTOR TAP WATER MAIN WITH SIZE AND LOCATION INDICATED ON PLAN IN ACCORDANCE WITH LOCAL WATER UTILITY REQUIREMENTS. COORDINATE CONNECTION WITH LOCAL WATER UTILITY. ALL JOINTS SHALL BE RESTRAINED FROM CONNECTION OF WATER MAIN TO BUILDING WALL. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-IN AND MECHANICAL CONNECTIONS. INSTALL MEGA-LOG OR APPROVED EQUAL TIGHT TO WALL FOR RESTRAINT FOR ALL BUILDING WALL PENETRATIONS AS APPROVED BY LOCAL PLUMBING INSPECTOR AND WATER UTILITY. INSTALL THRUST BLOCKING AND MEGA-LOG AT BEND BELOW FLOOR FOR ALL FLOOR PENETRATIONS.
- LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY. SEE ARCH / MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
- MAINTAIN 7.0 FEET OF COVER OVER THE TOP OF THE WATER LINES TO THE FINISHED GRADE. VERIFY ELEVATION OF PROPOSED AND EXISTING WATER LINES AT ALL UTILITY CROSSINGS. INSTALL THE WATER LINES AT GREATER DEPTHS IN ORDER TO CLEAR STORM SEWERS, SANITARY SEWERS, OR OTHER UTILITIES AS REQUIRED.
- PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET BETWEEN ALL WATER AND SEWER LINES. PROVIDE A MINIMUM SEPARATION OF 18 INCHES AT ALL WATER LINE AND SEWER LINE CROSSINGS.
- WHERE EXISTING GAS, ELECTRIC, CABLE, OR TELEPHONE UTILITIES CONFLICT WITH THE WORK, COORDINATE THE ABANDONMENT, RELOCATION, OFFSET, OR SUPPORT OF THE EXISTING UTILITIES WITH THE APPROPRIATE LOCAL UTILITY COMPANIES. COORDINATE NEW GAS METER AND GAS LINE INSTALLATION, ELECTRIC METER AND ELECTRIC SERVICE INSTALLATION, CABLE SERVICE, AND TELEPHONE SERVICE INSTALLATION WITH THE LOCAL GOVERNING UTILITY COMPANIES.
- ALL SANITARY SEWER MUST BE SOLID-CORE, SDR-35, ASTM D2034 (OR APPROVED EQUAL) POLYVINYL CHLORIDE (PVC) PLASTIC PIPE FOR ALL DESIGNATED PVC SANITARY SEWER SERVICES. JOINTS FOR ALL SANITARY SEWER SHALL HAVE PUSH-IN JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND SCHEDULE. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTM D2554. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2221.
- TRACER WIRE LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THE WISCONSIN STATUTES 182.075(2)(b) AND THE WISCONSIN DEPARTMENT OF COMMERCE COMM 82.300(1)(i).
- CLEANOUTS TO BE INSTALLED ON ALL SANITARY SEWER SERVICES. THE DISTANCE BETWEEN CLEANOUTS IN HORIZONTAL PIPING SHALL NOT EXCEED 100 FEET FOR PIPES 4-INCH AND OVER IN SIZE. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE. INCLUDE FROST SLEEVES AND CONCRETE FRAME AND PIPE SUPPORT. INSTALL A METER BOX FRAME AND SOLID LID (KEENAH R-1814-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.

CSM 1475
Parcel 1

CSM 1475
Parcel 3

BM HYD NW FLANGE BOLT
N: 294686.4550
E: 2556605.5220
Z: 634.77

EX SAN MH
(210 FT SOUTH)
RM 633.01
6" INV. 624.58 N.
8" INV. 627.88 SE.

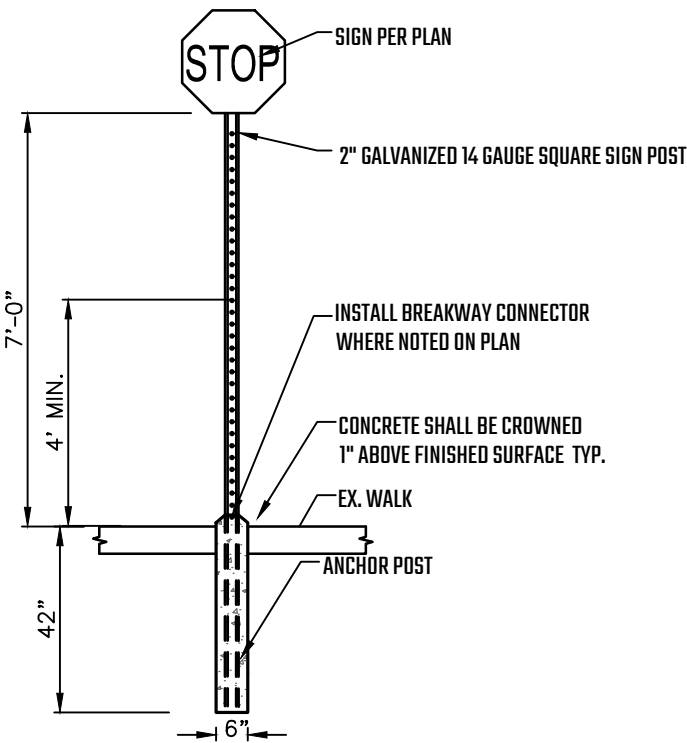
PROPOSED PARKING DATA - CAR WASH:

EMPLOYEE PARKING STALLS	= 4
ADA STALLS (STD) PROVIDED	= 2
VACUUM BAY STALLS	= 13 (1 ADA)
TOTAL STALLS	= 19

PAVEMENT MARKINGS & SIGNAGE LEGEND

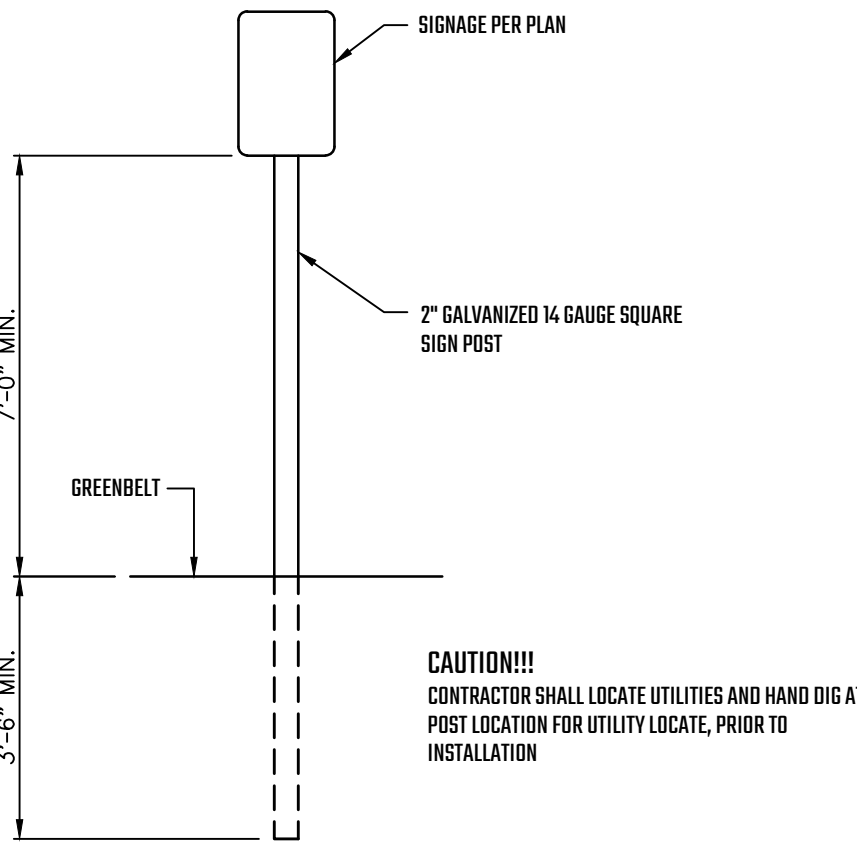
	PROPOSED 24" WHITE STOP BAR (YELLOW IN CONCRETE AREAS)
	PROPOSED 4" THICK SOLID YELLOW LINE
	PROPOSED 12" WHITE SPECIAL EMPHASIS CROSSWALK MARKINGS PER COUNTY DETAILS V-11 & V-17
	PROPOSED 12" WHITE STANDARD CROSSWALK MARKINGS PER COUNTY DETAILS V-11 & V-17
	PROPOSED HATCH MARKINGS @ 45° & 2' O.C.

	PROPOSED ADA SYMBOL
	PROPOSED PAINTED ARROWS
	PROPOSED SIGN ON POST IN GREENBELT AS INDICATED ON PLANS
	PROPOSED SIGN ON POST IN BOLLARD AS INDICATED ON PLANS
	PARKING STALL COUNT



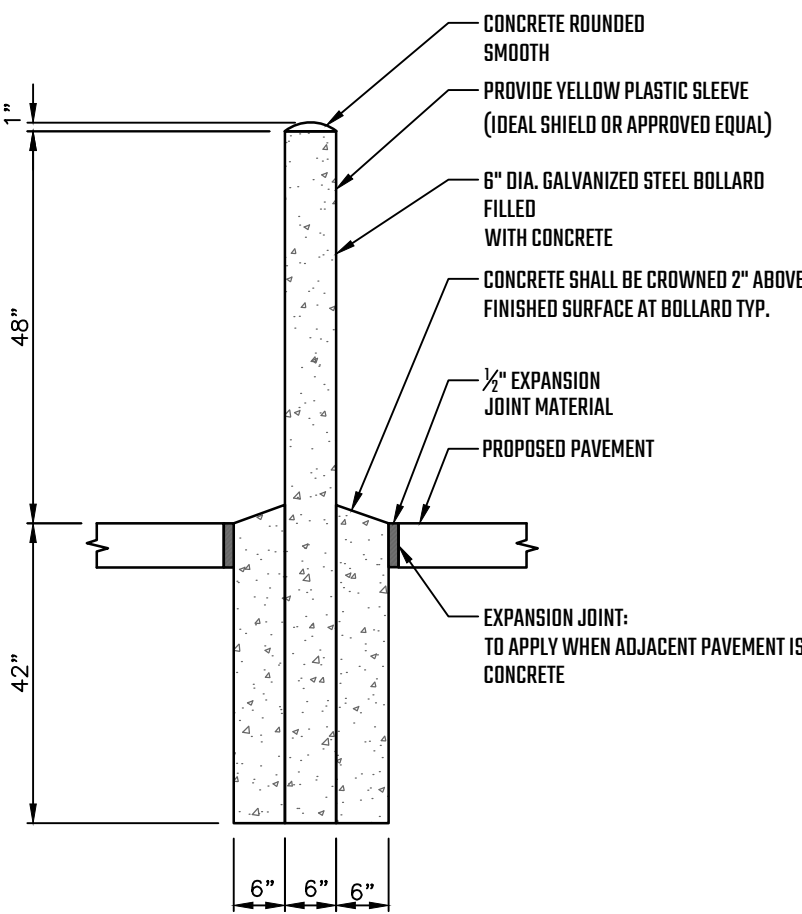
SIGN IN CONCRETE DETAIL

NOT TO SCALE



PARKING SIGN WITH POST IN GREENBELT

NOT TO SCALE



BOLLARD WITH CONCRETE - DETAIL M119.01

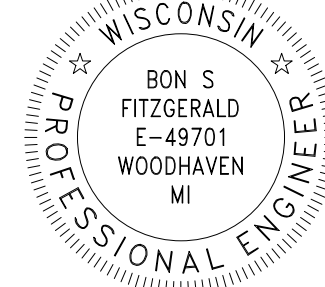
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PRIORITY ENGINEERING, LLC



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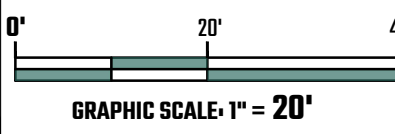
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North



SCALE



Project

CHAMPION XPRESS CAR WASH



Project Location

5133 DOUGLAS AVENUE
CALEDONIA, WI 53402

Sheet Name

PAVEMENT MARKING &
SIGNAGE PLAN

ISSUED FOR SITE
PLAN APPROVAL

Revisions

REV	ISSUED FOR	ISSUE DATE	BY
01	CONDITIONAL USE APPROVAL	07/25/2023	BF
02	REVISED LANDSCAPING	08/23/2023	BF

Date: 07/25/2023

Reviewed By:

KMA

ENG/CADD:

BH

Checked By:

BSF

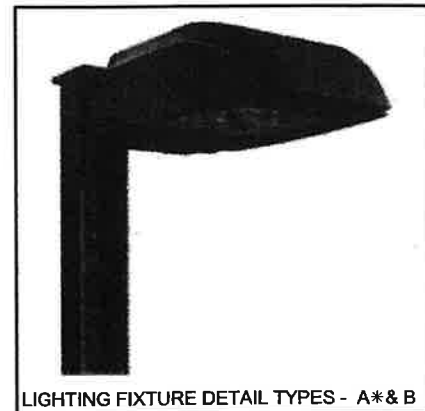
PE Project No.

22-0027.004

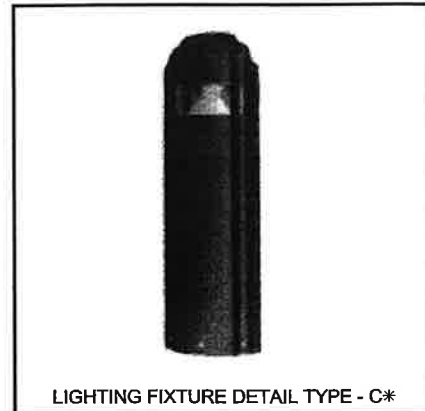
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LIGHTING FIXTURE DETAIL TYPES - A* & B



LIGHTING FIXTURE DETAIL TYPE - C*



LIGHTING FIXTURE DETAIL TYPE - D*



LIGHTING FIXTURE DETAIL TYPE - A4

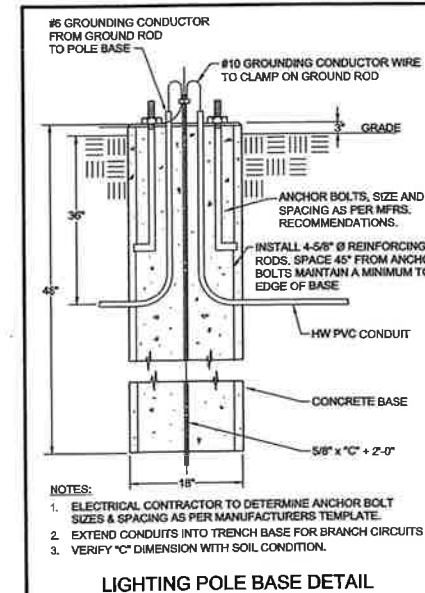
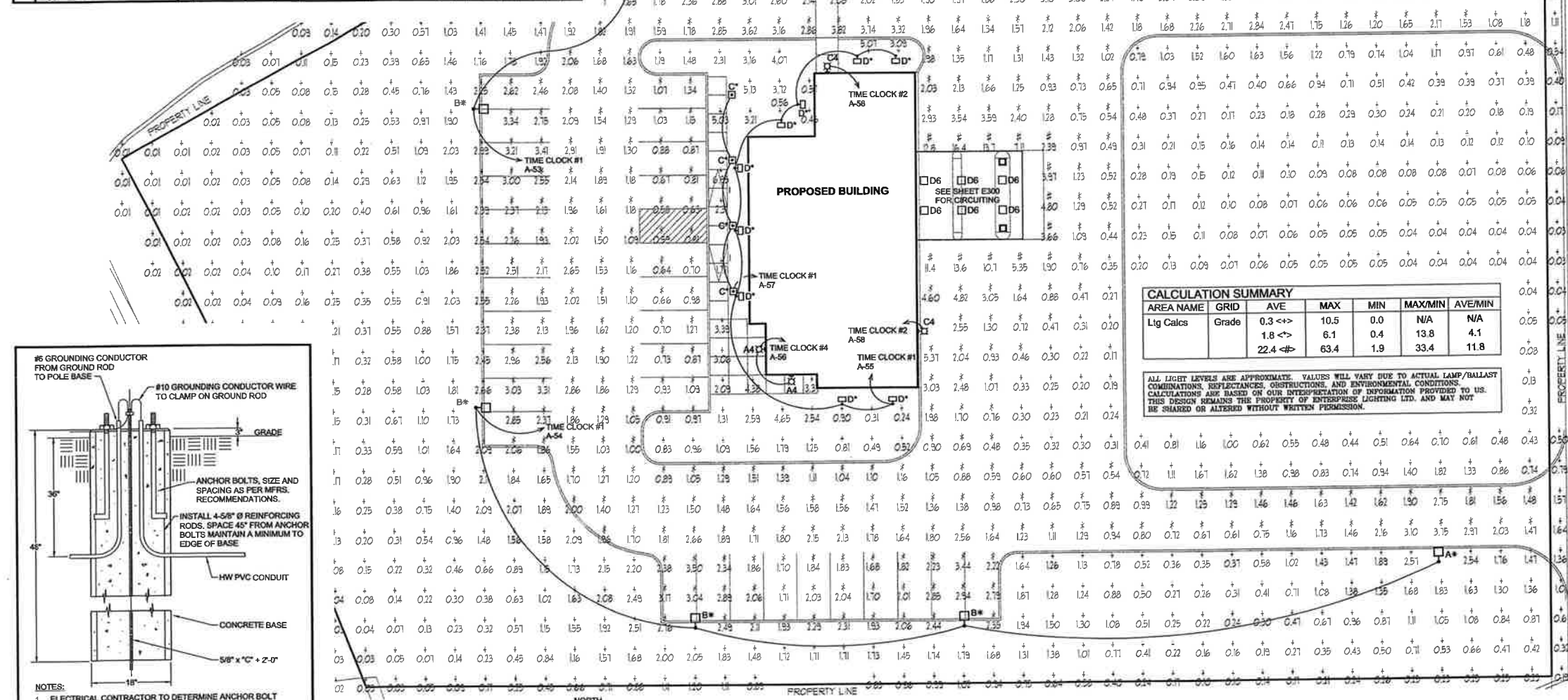


LIGHTING FIXTURE DETAIL TYPE - C4



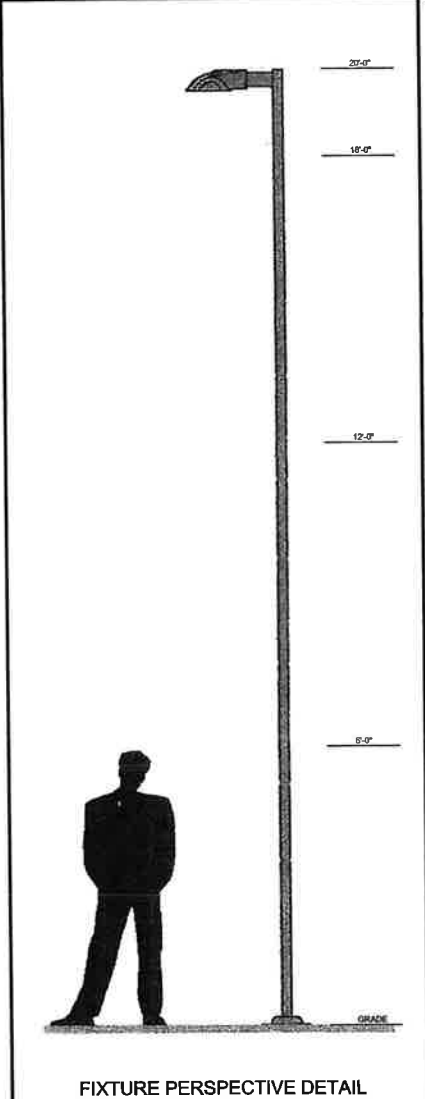
LIGHTING FIXTURE DETAIL TYPE - D6

LIGHTING FIXTURE SCHEDULE										SURFACE		RECESS		SEE NOTE
DES.	DESCRIPTION	LAMP DATA		VOLT	DEPTH	LIGHTING FIXTURE		CEILING	WALL	SPECIAL	LAY-IN	CONCEAL	WALL DRYWALL	
		NO.	TYPE			MFR.	CAT. NO.							
A*	ARCHITECTURAL CUT-OFF AREA LUMINAIRE, TYPE II DISTRIBUTION ON 25 FOOT POLE	1	250 MH	120		McGRAW-EDISON	VX0250MH1202P WIMA150W1 CFABM25W30W			●				
B*	ARCHITECTURAL CUT-OFF AREA LUMINAIRE, TYPE III DISTRIBUTION ON 25 FOOT POLE	1	250 MH	120		McGRAW-EDISON	VX0250MH1203F WIMA150W1 CFABM25W30W			●				
C*	ARCHITECTURAL CUT-OFF BOLLARD PATHWAY LUMINAIRE, TYPE V DISTR. 44 INCH HEIGHT	1	70 MH	120		McGRAW-EDISON	VX04470MH120W1L			●				
D*	DIE-CAST ALUMINUM FLOOD-STANCHION MOUNTED IN CONCRETE BASE	1	70 MH	120		KIM LIGHTING	CFL 1770MH-RDB			●				
A4	ARCHITECTURAL WALL SCONCE LUMINAIRE, MOUNTED 12'-0" AFF.	1	70 MH	120		SHAPER	694-WP-18 NBZ-70MH-R			●				
C4	ARCHITECTURAL CUT-OFF WALL LUMINAIRE, TYPE II DISTRIBUTION MOUNTED 9'-0" AFF.	1	70 MH	120		McGRAW-EDISON	VW570MH120SW1L			●				
D6	2" x 22" PRISMATIC TEMPERED LENS VERTICAL LAMP, EXTERIOR LAY-IN MOUNTED 12'-0" AFF.	1	175W MH	120	11"	LUMARK	MHOF-GS/AGL 175-120V			●				



CALCULATION SUMMARY						
AREA NAME	GRID	AVE	MAX	MIN	MAX/MIN	AVE/MIN
Lig Calcs	Grade	0.3 <-> 1.8 <-> 22.4 <->	10.5 6.1 63.4	0.0 0.4 1.9	N/A 13.8 33.4	N/A 4.1 11.8

ALL LIGHT LEVELS ARE APPROXIMATE. VALUES WILL VARY DUE TO ACTUAL LAMP/BALLAST COMBINATIONS, REFLECTANCES, OBSTRUCTIONS, AND ENVIRONMENTAL CONDITIONS. CALCULATIONS ARE BASED ON OUR INTERPRETATION OF INFORMATION PROVIDED TO US. THIS DESIGN REMAINS THE PROPERTY OF ENTERPRISE LIGHTING LTD. AND MAY NOT BE SHARED OR ALTERED WITHOUT WRITTEN PERMISSION.



INDEX	
E002	ELECTRICAL SITE PLAN AND DETAILS
E200	FIRST FLOOR POWER PLAN SCHEDULES AND DETAILS
E300	FIRST FLOOR LIGHTING PLAN SCHEDULES AND DETAILS

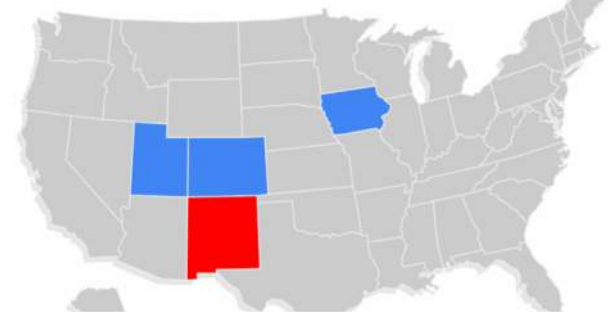
LPA # 7449
LEEDY & PETZOLD ASSOCIATES, LLC
 Consulting Electrical Engineers/Planners
 12970 W. Bluemound Road - Suite 101
 Elm Grove, Wisconsin 53122
 Ph. (262) 860-1544, Fax (262) 860-1566



Family Owned Automated
Express Wash Company



- Iowa
- Texas
- New Mexico
- Colorado
- Utah
- Wisconsin



Village of Caledonia, WI
5133 Douglas Avenue

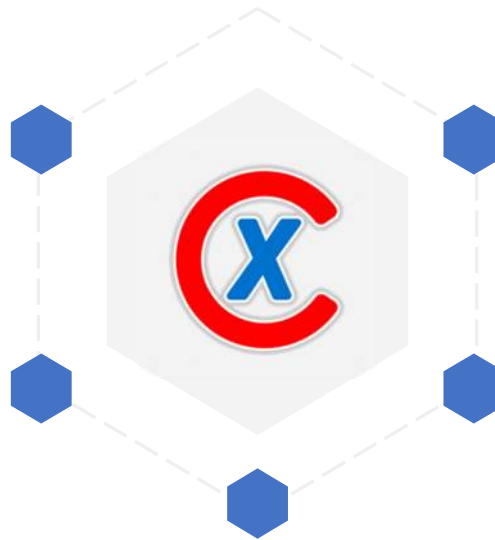
VALUES

EXCELLENCE

With every wash, we provide a clean vehicle and exceptional customer service.

HARD WORK

Our faith in God gives us a greater motivation to work diligently. We believe our work is for the Lord.



COMMUNITY

We will cultivate relationships within our organizations and throughout the community to promote the love of Christ.

DIFFERENCE

We will correct our mistakes, seeking to learn and develop our skills. We are committed to prioritizing people over profit.

STEWARDSHIP

We will use all our resources responsibly with care for our community.

Project Team Introduction – August 28, 2023

- Priority Engineering - Kirt Andersen, PE (Civil)
- Helt Design Architecture – Diana Myers (Architect)
- 7B Building & Dev – K. Alan Kirchhoff (Developer)
- Kimley Horn – Amanda McAbee, PLA (Landscape)
- Champion Express

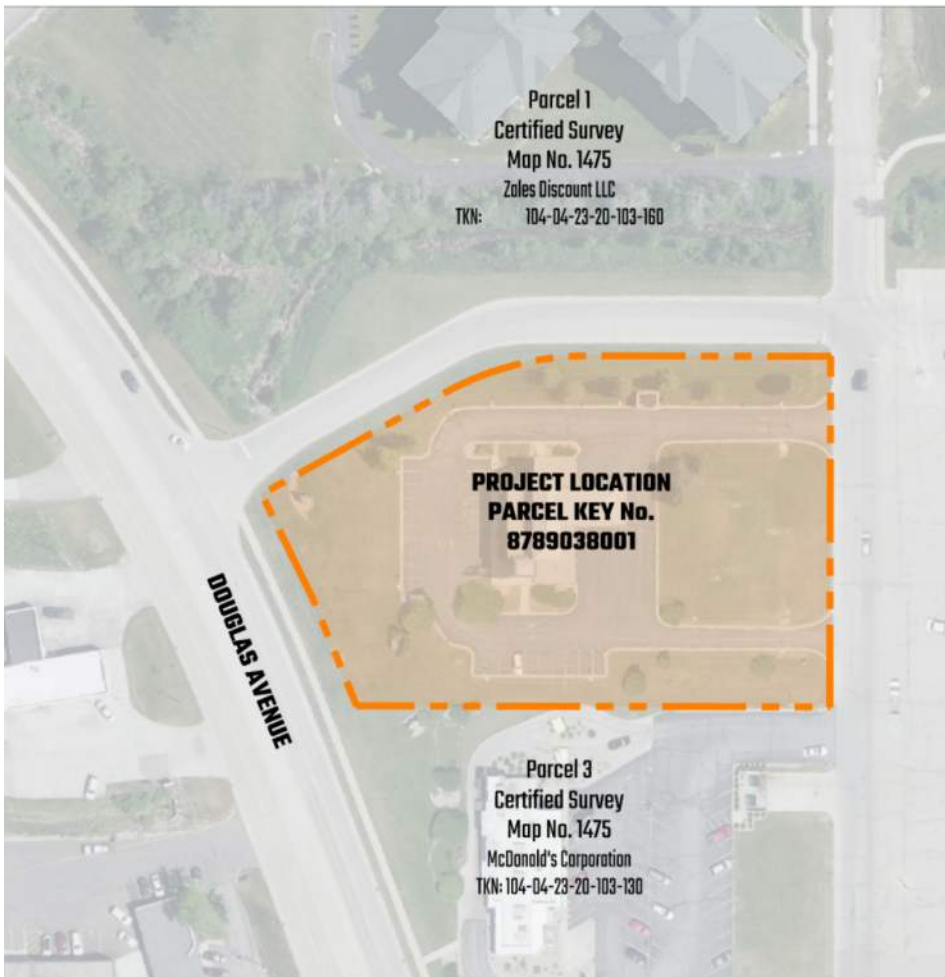


Positive Community Development



- Up to 7 new quality jobs in the community; uniformed employees.
- Community support and interaction with local schools, churches, charities and non-profits.
- Abundant landscaping.
- Local developers already in your community.
- Environmentally friendly.
- Turns limited use, vacant tract into desirable community amenity for local residents and businesses.
- Technology advanced systems facilitate reduced water usage, more than conventional or self-washing at home.
- All car wash solutions are biodegradable and used in computer-controlled manner.
- All dirt and solids will be collected in trench drains and pass through oil / water separators. Solids will be removed by certified vacuum truck service.

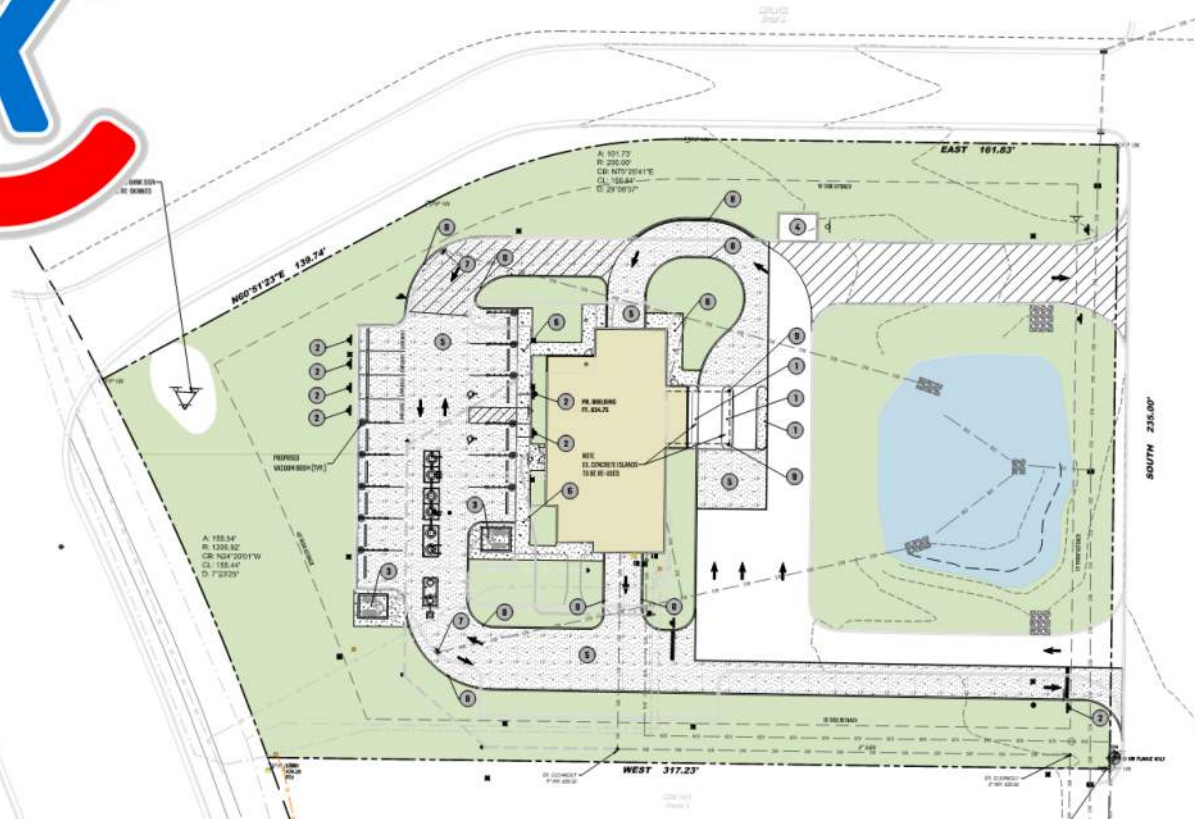
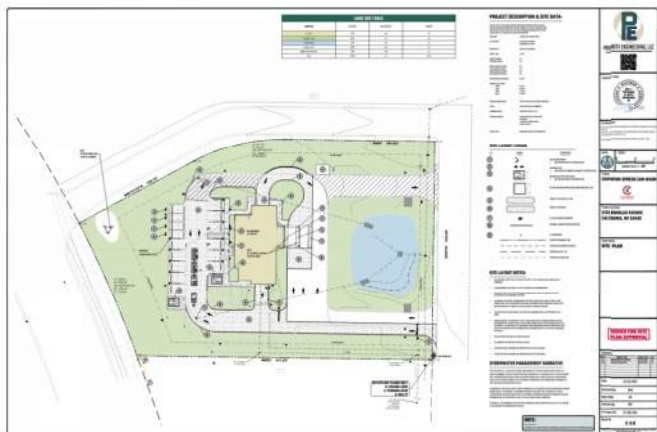
Village of Caledonia, 5133 Douglas Avenue Racine County, Wisconsin



Narrative:

The proposed development consists of retrofitting an existing building, formerly used as a bank into an approximately 3,672 square foot car wash with a tunnel length of approximately 84 feet. Using the previous infrastructure, the drive-through lanes will be utilized as three queuing lanes and these lanes will be secured by three pay stations.

- Parking for the proposed site will consist of eleven vacuum stalls, two being ADA accessible, and four employee parking stalls.
- The facility will be operated by three to four employees each shift with two shifts per day. The hours of operation will be 7 days a week from the hours of 8:00 a.m. to 7:00 p.m.
- Deliveries to the site are anticipated to be once a week with supplies delivered via box truck.
- Dumpster and vacuum enclosures will consist of 6 foot high split face C.M.U walls. Enclosures will be secured by metal panel vertical siding swing gates.
- The anticipated maximum number of facility users at one time is 25 in pay station queuing and 15 for parking/vacuum stalls for a total of 40 visitors.
- Fire truck access will be available around the entire facility. The fire truck would enter at the north entrance and have unrestricted access around the facility.
- A reclaim system will be used to recycle up to 80%-85% of used water for the car wash. The system will collect, clean and redistribute clean water to be used for additional car washes.



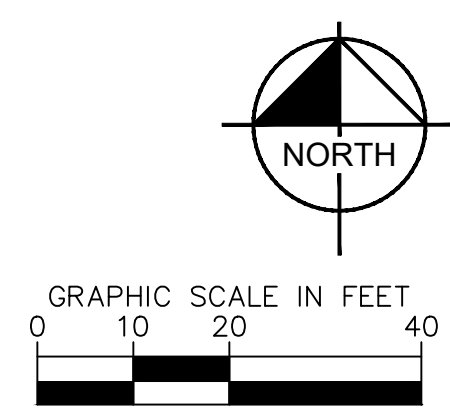
Architectural Design:

- The Elevational renderings presented today are of the existing building located 5133 Douglas Avenue (Formerly Bank mutual)
- The existing building will be utilized with minor exterior modifications made to the exterior of the building.
- Exterior modifications consist of installation of two exterior overhead coiling doors at the north and south side of the building, a small addition on the north side of the building for a mat wash area for customer utilization, installation of point of sales equipment on east side of the building, and installation of Vacuum equipment and enclosures on the west side of the building for the Proposed Champion Xpress.
- All new modifications will be of the same building materials and colors of the existing building.
- New signage to be installed to be a maximum of 32 square feet. The remaining modifications are to the interior of the building.
- The exterior modifications are required from a functional and operational standpoint for Champion Xpress to offer exceptional Car wash services to the members of the Village of Caledonia community.

Operation Specifics

- **Summer Hours: 7am to 8pm**
- **Winter Hours: 7am to 7pm**
- **Fully Uniformed Staff with onsite Manager, Assistant Manager, 2-4 Attendees; Excellent Employment Opportunity for High School and Young Adults**
- **No loitering or Noise Permitted**
- **No After-Hours Accessibility**
- **Ownership will be on-site daily**





EXISTING TREES TO REMAIN. CONTRACTOR TO
VERIFY CONDITION AT TIME OF CONSTRUCTION.
ANY TREES DAMAGED OR IN POOR/DEAD
CONDITION TO BE REPLACED IN KIND, TYP.

L1.0	SHEET NUMBER	KHA PROJECT NO. 268423006	ORIGINAL ISSUE: 7/25/2023
CHAMPION XPRESS CAR WASH 5133 DOUGLAS AVENUE CALEDONIA, WI		OVERALL LANDSCAPE PLAN	
		Kimley»»Horn © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 3225 KIMLEY-HORN DRIVE, SUITE 200 DEERFIELD, IL 60015 PH: 630.933.4600 FAX: 630.933.8074 WWW.KIMLEY-HORN.COM	
		SCALE:	AS NOTED
		DESIGNED BY:	AMF
		DRAWN BY:	DMP
		CHECKED BY:	AMF
No.	REVISIONS		DATE
			BY

MEMORANDUM

Date: August 23, 2023

To: Plan Commission
Village Board

From: Ryan Schmidt, P.E.
Village Engineer



Re: **Certified Survey Map – 6929 5 Mile Road**
Parcel ID 51-104-04-22-23-010-000
NW ¼ of the NE ¼ of Section 23, T4N, R22E,
6929 5 Mile Road, Village of Caledonia, Racine County, WI
Applicant and Owner - Robert & Nicole Jossart

The Engineering Department has received a Certified Survey Map (CSM) from Robert & Nicole Jossart (Owners). The CSM is for the property located at 6929 5 Mile Road in the Village of Caledonia. The existing property is approximately 20.21 acres in size. There is 662.41 feet of frontage along 5 Mile Road. The existing parcel contains only farmland with a drainage channel cutting through the property. The Concept CSM was approved at the Plan Commission on May 22, 2023.

The CSM is for the creation of 2 lots; one 9.72 acre lot and one 9.73 acre lot. The primary access will be off 5 Mile Road which is a primary thoroughfare (arterial) and therefore, one shared driveway access. A basic site distance study will be required to ensure safe access to the property and safety of the traveling public along 5 Mile Road. A cross access and maintenance agreement will be required by the property owners and called out on the Final CSM.

The property is located outside of the Sanitary Sewer & Water Service Area. Both lots will require a Private Onsite Wastewater Treatment System and Well for services. Soil tests have been shown and shall be provided to the Village before recording. The drainage of the CSM, according to the Master Drainage Plan, shows the primary watershed (R-98-2) with a channel cutting through the lot as shown. A 35' wide Drainage Easement is required on the lots over the primary drainage channel as laid out on the Master Drainage Plan and shown on the CSM. A separate Drainage Easement exhibit for this will be required to be submitted to the Village.

The property currently has an R-2 Zoning Classification with a C-1 Resource Conservation in the Southwest Corner of the Lot. R-2 Zoning in an unsewered district requires 150 feet of frontage and a 5-acre minimum lot size. The R-2 Zoning contains 50' street and rear yard setbacks along with 15' side yard setbacks. These have been listed and shown graphically on the CSM. The CSM meets and/or exceeds these zoning requirements.

The Village's 2035 Land Use Plan shows that the recommend use for the land as Agricultural, Rural Residential and Open Land. All Lots on the CSM will meet the Zoning and Comprehensive Land Use Plan requirements.

Storm Water Management thresholds are not expected to be met for the newly created parcels. If the thresholds are met or exceeded during the planning process for the building of a home, the owner will be required to submit an individual site grading plan and SWMP. Individual site grading plans will still need to be supplied with each new home. A wetland delineation has been shown and shall be provided to the Village.

The Road Right-of-Way contains trees and a minor swale that eventually drains through the proposed Lot 1 towards the drainage channel. The Owner/Developer shall be required to remove the trees in the right-of-way, remove the existing farm access, and provide an improved roadside ditch with the site grading plan submitted with a new home build on each lot. Additional easements may be required to get the roadside ditch to drain along the west side of Lot 1 and shall be executed upon submittal of the development of Lot 1.

With this submittal there is 1 Waiver/Modification request that needs to be considered/reviewed on behalf of the CSM. This Wavier/Modifications is for:

1. Approving a lot that exceeds the 2.5:1 length to width ratio.

Waiver/Modification Request #1 will directly affect both parcels as the existing lot is 662.41 feet long by 1,290.43 feet wide. To properly divide the land, each parcel will be 331' x 1,290' which will require the modification waiver. This waiver was approved on May 22 with the Concept CSM.

If the Plan Commission **is willing** to support the CSM the following motion is recommended.

Move to approve the CSM subject to the following:

- 1. The Owner agrees to execute any and all agreements and make the necessary deposits for the approval of the CSM.**
- 2. The Final CSM is subject to the Land Division per Lot fee.**
- 3. The approval of Waiver/Modification Request #1.**
- 4. A correction is made to the legal description to include the "Northwest ¼" of the Northeast ¼ at all locations on the Final CSM.**
- 5. A correction is made to the legal description and CSM to eliminate the word "West" Five Mile Road. This should be corrected to just "Five Mile Road".**
- 6. A correction is made to the angle in either the legal description or the graphical representation of the bearing and distance of the south lot line. They do not match.**
- 7. A correction is made to include the dedication of the additional 12' of Road Right-of-Way for public road purposes in the legal description of the Final CSM.**
- 8. A correction is made to modify to the survey datum from NAD 27 to NAD83.**
- 9. The Owner shall monument the new property corners prior to the issuance of any building permits.**
- 10. The Owner provides a separate exhibit for the 35' storm water drainage easement over the drainage channel.**
- 11. The Owner provides the soil boring report and wetland delineation report to the Village.**
- 12. The Owner shows and executes a cross access and maintenance agreement for the shared driveway. This shall be called out on the Final CSM.**

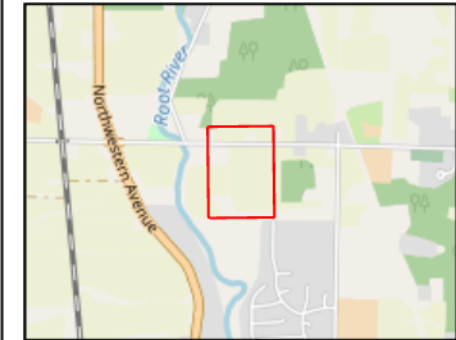
- 13. A site distance study is performed by a P.E. and submitted to the Village with the Building Permits for the site based on the location of the proposed access to each lot.**
- 14. The CSM must conform to all Ordinances in Titles 9, 14, & 18 as necessary.**
- 15. If Storm Water thresholds are met for either lot, an individual Site Grading and Drainage Plan and Storm Water Management Plan will need to be reviewed and approved by the Village. A note shall be placed on the Final CSM. Individual site grading plans are still required for each individual building permit.**
- 16. An engineered design shall be provided for any culverts placed within the drainage channel to ensure appropriate sizing.**
- 17. The Right-of-Way shall be improved by the removal of trees, removal of the existing farm access, reshaping of the roadside ditch, and acquisition of additional easements to get the roadside drainage along Lot 1 upon issuance of Building Permits.**
- 18. The Final CSM is submitted and recorded within 1 year of approval by the Village Board.**



6929 5 MILE ROAD

0 200 400 800 Feet





- Study Area (20.20 ac)
 - Racine Co 2' Contours
 - Field Delineated Wetlands (0.28 ac)
- Sample Points**
- Upland
 - Wetland

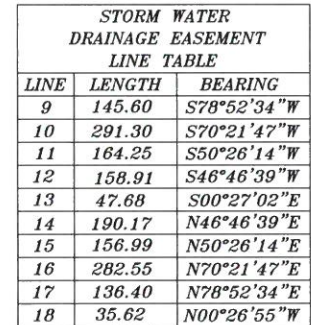


Heartland
ECOLOGICAL GROUP INC

Figure 7. Field Delineated Wetlands
5 Mile Rd. Property
Project #20231010
T4N, R22E, S23
V Caledonia, Racine Co

2022 NAIP
Racine Co, HEG
LRR: MW
Figure Created: 6/29/2023

Being a redivision of the West 1/2 of the Northeast 1/4 of the Northeast 1/4 of Section 23, Township 4 North, Range 22 East, in the Village of Caledonia, Racine County, Wisconsin.



WETLAND LINE TABLE		
LINE	LENGTH	BEARING
1	35.26	N12°41'17"E
2	29.66	N14°18'43"E
3	30.96	N00°15'50"E
4	31.42	N41°53'18"W
5	15.10	N69°20'38"W
6	34.36	S72°07'39"W
7	27.73	N82°53'22"W
8	19.46	N56°01'17"W

Prepared for:
Robert & Nicole Jossart
6929 S. Five Mile Road
Racine, WI 53402

Prepared by:
Dennis C. Sauer R.L.S-2421
Metropolitan Survey Service, Inc.
8482 S. 76th St.
Franklin, WI 53132
(414) 529-5380

1 inch = 200 ft. of

NOTES:

- Denotes iron pipe found and accepted.
- Denotes 1" x 24" iron pipe set, weighing 1.13lbs/lin. ft. min.
- ▲ Denotes soil boring test conducted by Billingsley Engineering LLC, dated June 5, 2023.

Map bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone (NAD27), with the North line of the NE 1/4 of Section 23, T4N, R22E having an assumed bearing of S 89°07'49" W.

Sheet 1 of 3

CERTIFIED SURVEY MAP NO. _____

Being a redivision of the West 1/2 of the Northeast 1/4 of the Northeast 1/4 of Section 23, Township 4 North, Range 22 East, in the Village of Caledonia, Racine County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
MILWAUKEE COUNTY) SS

I, Dennis C. Sauer, Professional Land Surveyor, do hereby certify that:

I have surveyed, divided and mapped a redivision of the West 1/2 of the Northeast 1/4 of the Northeast 1/4 of Section 23, Township 4 North, Range 22 East, in the Village of Caledonia, County of Racine, State of Wisconsin, bounded and described as follows:

Commencing at the Northeast 1/4 corner of said 1/4 Section; thence S 89°07'49" W along the North line of said 1/4 Section and the centerline of West Five Mile Road, 1987.21 feet to the point of beginning of the lands to be described; thence S 00°26'55" E, 1324.73 feet; thence S 89°14'32" W, 662.28 feet to a point on the West line of said 1/4 Section; thence N 00°27'02" W along the West line of said 1/4 Section, 1323.43 feet to a point on the North line of said 1/4 Section and the centerline of West Five Mile Road; thence N 89°07'49" E along said North line of said 1/4 Section, 662.33 to the point of beginning. Excepting the Northerly 33.00 feet for public road purposes.

Contains 876,928 square feet or 20.131 acres including road dedication.

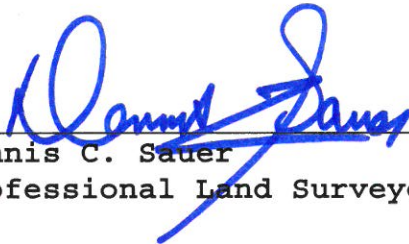
That I have made such survey, land division and map by the direction of Robert and Nicole Jossart, husband and wife, owners of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and the regulations of the Village of Caledonia in surveying, dividing and mapping the same.

July 27, 2023
Date




Dennis C. Sauer
Professional Land Surveyor P.L.S. 2421

CERTIFIED SURVEY MAP NO. _____

Being a redivision of the West 1/2 of the Northeast 1/4 of the Northeast 1/4 of Section 23, Township 4 North, Range 22 East, in the Village of Caledonia, Racine County, Wisconsin.

OWNER'S CERTIFICATE

Robert Jossart and Nicole Jossart, husband and wife, as owners, do hereby certify that we have caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of Chapter 236.34 of the Wisconsin State Statutes and the regulations of the Village of Caledonia.

WITNESS the hand and seal of said owners this _____ day of _____, 20__.

Robert Jossart, Owner

Nicole Jossart, Owner

STATE OF WISCONSIN)
_____ COUNTY) SS

PERSONALLY came before me this _____ day _____, 20__, Robert Jossart and Nicole Jossart, husband and wife, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public-State of Wisconsin
My Commission Expires _____

VILLAGE BOARD OF CALEDONIA APPROVAL

This land division is hereby approved by the Village Board of Caledonia, this _____ day of _____, 20__.

Joslyn M. Hoeffert, Clerk
Village of Caledonia



July 27, 2023

THIS INSTRUMENT WAS DRAFTED BY:
Dennis C. Sauer, P.L.S. 2421