

PLANNING COMMISSION AGENDA
Monday, July 31, 2023 at 6:00 p.m.
Caledonia Village Hall – 5043 Chester Lane

- 1. Meeting called to order**
- 2. Roll Call/Introductions**
- 3. Approval of Minutes**
- 4. Citizens' Comments**
- 5. Public Hearing and Possible Action on Items set for Public Hearing**
 - A. **PLANNED UNIT DEVELOPMENT AMENDMENT** – Review a request to amend a planned unit development agreement for the properties at 5915, 5919, & 5945 Erie Street (now Waters Edge Drive) allowing for modifications to building units (93 units), parking requirements, concept development plan, and other development details as it pertains to the Water's Edge Condominium Development submitted by Jessica Timmer, Applicant, CCM-Caledonia, LLC, Owner. (Parcel ID Nos. 104-04-23-21-003-000, 104-04-23-21-005-000, 104-04-23-21-006-000)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/MAV14ASEBI>
- 6. New Business**
 - A. **BUILDING, SITE, AND OPERATION PLAN REVIEW** – Review a building, site, and operation plan for the construction of 93 villas and townhomes with clubhouse for the Water's Edge Condominium Development located on Water's Edge Drive, formerly Erie Street, submitted by Rinka, Applicant, CCM-Caledonia, LLC Owner. (Parcel ID Nos. 104-04-23-21-003-000, 104-04-23-21-005-000, 104-04-23-21-006-000)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/9XGYQSC2RP>
 - B. **COOPERATIVE BOUNDARY AGREEMENT REVIEW** – Review a proposed master sign plan for Merz Aesthetics allowing for an oversized wall sign on the building located at 4133 Courtney Street, submitted by Dennis Sparkowski, Applicant, Lee Woelbing, Owner
(Parcel ID No. 168-04-21-36-001-120)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/8HVIGJGP0F>
 - C. **BUILDING, SITE, AND OPERATION PLAN REVIEW** – Review a building, site, and operation plan for the construction of a 234-parking lot expansion for Gifford School located at 8332 Northwestern Avenue submitted by Colin Meisel, Applicant, Racine Unified School District, Owner. (Parcel ID No. 104-04-22-34-064-000)
More Information at Caledonia ZoningHub: <https://s.zoninghub.com/AWDUVU509J>

D. BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction and utilization of a ±1,680 square-foot garage for indoor storage of equipment and product for the existing business located at 4543 Douglas Avenue submitted by Matt Pichelman, Applicant and Owner. (Parcel ID No. 104-04-23-29-450-000)

More Information at Caledonia ZoningHub: <https://s.zoninghub.com/5JJQ7SFV4G>

E. BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction and utilization of a ±864 square-foot garage for indoor storage of ground maintenance equipment located at 6633 Douglas Avenue submitted by Kevin Jones, Applicant, Ladwig & Ladwig LLC, Owner. (Parcel ID No. 104-04-23-18-008-010)

More Information at Caledonia ZoningHub: <https://s.zoninghub.com/RGP1EAJ5EP>

7. Adjournment

Dated July 28, 2023

Joslyn Hoeffert
Village Clerk

Only Commission members are expected to attend. However, attendance by all Board members (including non-members of the Plan Commission) is permitted. If additional (non-commission) Board members attend, three or more Board members may be in attendance. Section 19.82(2), Wisconsin Statutes, states as follows: If one-half or more of the members of a governmental body are present, the meeting is rebuttably presumed to be for the purposes of exercising the responsibilities, authority, power or duties delegated to or vested in the body. To the extent that three or more members of the Caledonia Village Board actually attend, this meeting may be rebuttably presumed to be a “meeting” within the meaning of Wisconsin’s open meeting law. Nevertheless, only the commission’s agenda will be discussed. Only commission members will vote. Board members who attend the commission meeting do so for the purpose of gathering information and possible discussion regarding the agenda. No votes or other action will be taken by the Village Board at this meeting.

1. Meeting called to order

President Weatherston called the meeting to order at 6:00 p.m. at Village Hall, 5043 Chester Lane.

2. Roll Call/Introductions

Members present: Thomas Knitter, Ron Bocciardi, Trustee Pierce, President Weatherston, Joseph Kiriaki.

Absent: Amy Mai (excused), Michael J. Moore.

Also Present: Development Director Peter Wagner and Ryan Schmidt, P.E., Engineer.

3. Approval of Minutes

Approval of May 22, 2023, meeting minutes.

Motion by Knitter to approve the minutes as presented.

Seconded by Kiriaki.

Motion carried unanimously.

4. Citizens' Comments

None.

5. Public Hearings and Possible Action on Items set for Public Hearing

A. TEXT AMENDMENT – Review a proposed text amendment that will repeal and recreate Sections 16-11-6(a)(1) and 16-11-6(a)(2) related to temporary sign permitting regulating the number of temporary signs, the number of days temporary signs can be displayed, and the number of temporary sign permits that can be issued in a calendar year.

President Weatherston opened the Public Hearing at 6:02.

Wagner explained the reason for the request and the proposed changes, citing his report submitted with the Plan Commission packet.

Weatherston asked three times if there was anyone who wished to speak in favor of the proposal.

None.

Weatherston asked three times if there was anyone who wished to speak against the proposal.

Michelle Struck of Struck Design, 5757 Douglas Ave., asked questions about the details of the proposed code.

Wagner further explained the proposed code and its intent.

Weatherston closed the Public Hearing at 6:10.

5A. Commission Deliberation

President Weatherston asked about the process for the text amendment.

Wagner explained the process.

Motion by Kiriaki that the Plan Commission recommends to the Village Board that Section 16-1-6(a)(1) and Section 16-1-6(a)(2) of the Municipal Code be amended related to temporary sign permitted as presented.

Seconded by Bocciardi.

Motion carried unanimously.

6. New Business

A. BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction and utilization of a 12’1”x 18’10” open-air shelter for customer use for the existing commercial business located at 2825 4 ½ Mile Road submitted by Sheri Manka, Applicant, JMS Investments LLC, Owner. (Parcel ID No. 104-04-23-20-077-000)

Wagner explained the details of the request and Village requirements that would be imposed upon the project.

6A. Commission Deliberation

Motion by Trustee Pierce that the Plan Commission recommends to the Village Board that the building, site, and operational plan for the construction of a ±240 square-foot open-air shelter in the central part of the property located at 2825 4 ½ Mile Road be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed use is consistent with the existing use of the property.

Seconded by Kiriaki.

Motion carried unanimously.

B. BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction and utilization of a ±344,131 square-foot institutional facility for the operation of a youth development and care facility for the property located directly east of 2525 3 Mile Road submitted by Michael Landsdorf, Applicant, Racine County, Owner. (Parcel ID No. 104-04-23-32-001-020)

Wagner spoke about highlights of his report submitted with the Plan Commission packet and presented onscreen a digital rendering of the facility site.

6B. Commission Deliberation

Motion by Kiriaki that the Plan Commission recommends to the Village Board that the building, site, and operation plan for the construction and utilization of a ±70,131 square-foot institutional facility for the operation of a youth development and care facility for the property located at 2300 3 Mile Road be approved for the following reasons:

1. The proposed development is allowed by underlying zoning through the site, building, and operations plan review process.
2. The proposed development complies with the approved conditional use permit for the property.

Seconded by Knitter.

Motion carried unanimously.

C. FINAL PLAT REVIEW – Review a final subdivision plat for the proposed Glen at Waters Edge Subdivision creating 30 single-family residential lots submitted by John Whalen, Applicant, Cornerstone Inc., Owner. (Parcel ID Nos. 104-04-23-16-021-000, 104-04-23-21-015-010, 104-04-23-21-016-000, & 104-04-23-21-021-000)

Schmidt discussed the history of the creation of the plat.

6C. Commission Deliberation

Motion by Kiriaki that the Plan Commission recommends to the Village Board that the Final Plat for the proposed Glen at Waters Edge Subdivision be approved with the 13 conditions listed in Schmidt’s Memo of June 22, 2023

Seconded by Pierce.

Motion carried unanimously.

7. - Adjournment

Meeting adjourned at 6:30 p.m.

Respectfully submitted,
Helena Dowd
Planning & Zoning Technician



PLAN COMMISSION REPORT

Proposal: Planned Unit Development Amendment

Description: Review a request to amend a planned unit development for the properties at 5915, 5919, & 5945 Erie Street, allowing for modifications to building setbacks, parking requirements, and other development details as it pertains to the Water's Edge Condominium Development.

Applicant(s): Jessica Timmer

Address(es): 5915, 5919, & 5945 Erie Street

Suggested Motions: That the Plan Commission recommends to the Village Board that the amended Planned Unit Development Agreement modifying the number of building units, setback requirements, parking requirements, concept plan, and other development details as it pertains to the Water's Edge Condominium Development located at 5915, 5919, and 5945 Erie Street be approved as outlined in Exhibit A for the following reasons:

1. The amended PUD for the proposed multi-family development is allowed by underlying zoning and through the planned unit development review process.
2. The amended PUD will allow for the construction of 93 condominium units as proposed by the concept plan illustrated in Exhibit B.

Owner(s): CCM-Caledonia, LLC

Tax Key(s): 104-04-23-21-003-000, 104-04-23-21-005-000, 104-04-23-21-006-000

Lot Size(s): 1.9 acres, 2.2 acres, & 15.9 acres

Current Zoning District(s): R-8, PUD, Planned Residential District, Planned Unit Development

Overlay District(s): Shoreland/Wetland Overlay District

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: High Density Residential

Background: In 2020, the applicant requested a rezone with a PUD Overlay to accommodate a 280-condominium development. As part of the PUD, conditions and restrictions were incorporated as to how the site would be developed, how many parking stalls would be required, when amenities would be constructed, and other development details. In 2022, the applicant hired a new architect to redesign the development with fewer units and different amenities. The Village approved of the revised development and adopted changes to the Planned Unit Development (PUD) and approved a new site plan. These changes reduced the development to a total of 175 condominium units in three towers, along with several villas and townhouses. After this approval, the applicant marketed the development. Potential customers liked the proposed development, however, due to financial requirements that required the developer to reserve half of the units of a tower prior to construction, the developer found it difficult to get potential customers to reserve a unit and wait 3-5 years before occupancy.


Therefore, the developer is proposing to modify the development design in a way that allows for the construction of condominium units starting in spring of 2024. The revised plan further reduced the number of units to 93. Although the number of units have decreased, the overall value of the development is anticipated to be the same as agreed upon in the development agreement.

To accommodate the redesign, the applicant is requesting multiple amendments to the existing Planned Unit Development (PUD) Agreement for the construction of a condominium development located at 5915, 5919, and 5945 Erie Street. The proposed amendments will accommodate the modifications made to the development since the earlier approval in 2022. Changes to the PUD are highlighted in Exhibit A of this report.

The proposed amendments will allow for the reduction in the number of condominium units, number of parking stalls, modifications to parking stall dimensions, and when amenities will be constructed. Staff recommends approval of the proposed changes, as these changes will improve the marketability of the development, reduce the development density, and still provide similar assessed value as was agreed upon in the adopted development agreement.

If the Plan Commission is comfortable with the proposed PUD amendments, staff drafted a suggested motion to recommend approval of the amended PUD as outlined in Exhibit A.

Respectfully submitted:



Peter Wagner, AICP
Development Director



Location Map: 5915, 5919, & 5945 Erie St

0 125 250 500 Feet



June 26, 2023

PROJECT DESCRIPTION

Waters Edge

CCM-Caledonia, LLC (the "Developer") is writing this narrative as part of an amendment to the PUD Agreement. The purpose of the application is to provide up to 93 total condominium units across a diverse range of condominium housing types: Villas and Townhomes. Located along the western edge of the property, facing Waters Edge Drive (previously known as Erie St) the Villas are a transitional product stitching into the existing homes along Waters Edge Drive and connecting to the Village of Caledonia. The Villa floorplan offers a single floor plan living product. Within each building there are 2 units on the ground floor and 2 units on the upper floor. Each unit has an attached garage & driveway. Moving eastward into the site, the Townhomes transition into the amenity zone of the development and sit within a parklike neighborhood setting. The townhome units offer vertical living floorplans where units span multiple stories. The clubhouse building is centrally located along the main drive and greenspace and will have a clubroom, fitness center and outdoor pool. Along the eastern most portion of the site facing the Lake Michigan bluff, the townhome units are situated to provide lake views and open greenspaces along the lakefront.

Requested revisions to the PUD noted in [BLUE](#) below:

3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

A. [There shall be up to 28 Villas and up to 65 Townhomes \(maximum height 45'\)](#). The development will have a total of up to 93 units. Each unit will have a minimum of 3,127 square feet of Lot Area per unit. Accessory buildings, garages, a clubhouse, and a pool are permitted so long as they are compliant with all applicable provisions of the Municipal Code, these conditions and restrictions and applicable permits are applied for an obtained before construction.

B. The proposed development will incorporate a minimum of 20% of the development area as privately owned common open space.

C. Solid waste collection and recycling shall be the responsibility of the applicant.

D. Removal of snow from off-street parking areas, walks, public sidewalks, private roads and access drives shall be the responsibility of the applicant. Snow shall not be stored in the public right-of-way.

E. The [clubhouse](#) and pool shall be constructed as part of the initial phase of the planned unit development and must be completed prior to or concurrent with the issuance of occupancy permits for any residential buildings.

4. PARKING AND ACCESS

A. A Traffic Impact Analysis (TIA) shall be performed and submitted to the Public Works Director for review prior to the submission of applications for Plan Commission review of site, building, landscaping, lighting, and similar plans. Required roadway improvements and modifications identified in the TIA shall be the responsibility of the applicant and all such improvements shall be installed prior to issuance of any occupancy permits and in accordance with a schedule established by the Public Works Director.

B. The site plan shall include a [minimum of 2.0 parking stalls/unit](#) for the entire development. Parking stall dimensions shall be in accordance with Title 16, Chapter 12 of the Municipal Code.

Parking shall include garage and surface parking. Garage parking may include compact car stalls having reduced stall dimensions.

C. A cross-access easement relocating an access easement that runs to the benefit of the property to the south shall be provided to the Village prior to the issuance of any permits for any phase of this planned unit development and such easement shall be mapped and described on the certified survey map required for the properties. The easement shall be recorded with the Racine County Register of Deeds at the time of recording of the certified survey map.

D. An easement providing access to the Village's lift station along the southern boundary line for the properties shall be granted to the Village prior to the issuance of any permits for any phase of this planned unit development and such easement shall be mapped and described on the certified survey map required for the properties. The form of the easement shall be in a form approved by the Village's Utility Director and shall be recorded with the Racine County Register of Deeds at the time of the recording of the certified survey map.

5. LIGHTING

Plans for new outdoor lighting shall be submitted for review and approval by the Electrical Inspector and Development Director in accordance with Title 16, Chapter 10, Section 4 of the Municipal Code. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway.

6. SETBACKS

The external setbacks for the planned unit development setbacks shall be at least as follows:

	Street Setback	Rear Setback	Side Setback
Townhomes & Villas	4 ft	10 ft	10 ft
Accessory Structure	30 ft	10 ft	10 ft
Parking	10 ft	5 ft	5 ft

7. TIME OF COMPLIANCE

The operator of the Planned Unit Development shall commence work in accordance with these Conditions and Restrictions within eighteen (18) months from the date of adoption of the ordinance authorizing this Planned Unit Development. This Planned Unit Development approval shall expire within eighteen (18) months after the date of adoption of the ordinance if a building permit has not been issued for this use and substantial work has not commenced. The applicant shall re-apply for Planned Unit Development approval prior to recommencing work or construction.

8. OTHER REGULATIONS

Compliance with all other applicable Village, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

9. INTERNAL PRIVATE DRIVEWAY NETWORK
The driveways in this planned unit development shall be private. The applicant is responsible for construction and maintenance of these driveways. Any portion of the proposed private driveways to be constructed to service a particular phase of the development must be constructed to standards acceptable to the Village of Caledonia before occupancy of any building associated with the subject phase is approved.
10. STORMWATER
The applicant must contact the Village of Caledonia Stormwater Utility District regarding Stormwater regulations for this site. Compliance with all regulations and requirements, as determined by the Village of Caledonia Stormwater Utility District is required. Stormwater management plans shall be submitted for approval and be in compliance with all Village requirements, as determined by the Village Engineer before permits are issued.
11. FIRE DEPARTMENT APPROVAL
Applicant shall obtain approval from the Village of Caledonia Fire Department and meet applicable codes.
12. CALEDONIA SEWER AND WATER UTILITY DISTRICTS
Applicant must contact the Caledonia Sewer and Water Utility Districts regarding Utility District regulations for this site. Compliance with all regulations and requirements, as determined by the Caledonia Sewer and Water Utility Districts is required. All buildings shall connect to public sanitary sewer and water prior to occupancy.
13. DEMOLITION; BLUFF STABILIZATION
The Applicant shall apply for all necessary raze permits and raze all existing structures in compliance with Village and State requirements prior to any building permits being issued for the planned unit development. The Applicant shall comply with all Village's, Racine County, State of Wisconsin and Federal (Army Corps of Engineers) bluff stabilization requirements and shall prepare such plans and obtain all necessary permits for such work. All required stabilization and revetment treatments shall be completed and accepted by the regulating agency prior to building permits being issued on the properties.
14. SIGNAGE
The Village's signage requirements are set forth in Title 16 of the Village's Code of Ordinances. Any proposed advertising sign at the site will require a separate zoning permit prior to installation. Please contact Village Zoning staff for advertising sign regulations and permit procedures. Banners, balloons, flashing or animated signs are prohibited.
15. NO ACCUMULATION OF REFUSE AND DEBRIS
Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.
16. PROPERTY MAINTENANCE REQUIRED
A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade. All drives shall be paved with asphalt. Parking areas shall be paved or have placed upon them compacted recycled asphalt. All drives and parking areas shall be maintained in a dust free condition.
17. PERFORMANCE STANDARDS
The applicant must comply with the provisions of Chapter 16, Chapter 10, Section 4 Village Code of Ordinances, and any conditions established by subsequent Conditional Use Approvals.

18. ACCESS

The applicant must allow any Village or Racine County employee full and unlimited access to the project site at a reasonable time to investigate the project's construction, operation, or maintenance.

19. COMPLIANCE WITH LAW

The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 9, 14, 16 and 18 of the Village of Caledonia Code of Ordinances.

20. REIMBURSE VILLAGE COSTS

Applicant shall reimburse the Village all costs incurred by the Village for review of this rezoning and PUD Planned Unit Development Overlay District approval including but not limited to engineering, legal and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.

21. AMENDMENTS TO PLANNED UNIT DEVELOPMENT

No additions, deletions, or changes may be made to the project, site plan, or these conditions without the Village of Caledonia's prior approval. All addition, deletion, and/or change requests must be submitted to the Village of Caledonia in writing. A minor change to the conditions of this permit, as deemed by the Zoning Administrator, may be made at a staff level, if authorized by the Zoning Administrator.

22. BINDING EFFECT

These conditions bind and are applicable to the Applicant, property owner, successor and assigns, owner's association(s) and any other users of the Property with respect to the uses on the Property.

23. VIOLATIONS & PENALTIES

Any violations of the terms of this conditions and restrictions of this Planned Unit Development shall be subject to enforcement and the issuance of citations in accordance with Village Code of Ordinances. If the owner, applicant or operator of the Planned Unit Development is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the Village shall have the right to initiate revocation procedures for this Planned Unit Development, subject to the provisions of paragraph 9 herein. Nothing herein shall preclude the Village from commencing an action in Racine County Circuit Court to enforce the terms of this Planned Unit Development or to seek an injunction regarding any violation of this Planned Unit Development or any other Village ordinances.

24. REVOCAION

Should an applicant, its heirs, successors or assigns and any other users of the properties including any owner's association(s), fail to comply with the conditions and restrictions of the approval issued by the Village Board, the Planned Unit Development approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Planned Unit Development as set forth in the Municipal Code.

25. AGREEMENT

Your acceptance as applicant of the rezoning/PUD Planned Unit Development Overlay District/Zoning Permit and beginning the project means that you have read, understand, and agree to follow all conditions of this approval. Therefore, CCM-Caledonia, LLC; its heirs, successors, and assigns, including all users, future owners, occupants and owner's association(s), are responsible for full compliance with the above conditions.

26. SUBSEQUENT OWNERS

It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.

Exhibit A: Water's Edge Place Planned Unit Development (PUD) Conditions and Restrictions

Applicant: CCM-Caledonia LLC

Approved by Plan Commission: _____

Property Address(es): 4915, 4919, & 4945 Erie Street Approved by Village Board: _____

Parcel ID Nos.: 104-04-23-21-003-000, 104-04-23-21-005-000, 104-04-23-21-006-000

1. LEGAL DESCRIPTION

5945 Erie Street (Parcel ID No. 104-04-23-21-003-000)

That part of the Northeast 1/4 of Section 21, Township 4 North, Range 23 East, bounded as follows: Begin at the North 1/4 corner of said Section; run thence South 89°58'39" East 316.00 feet on the North line of said Section; thence South 00°05'51" West 299.37 feet; thence South 78°30'36" West 322.57 feet to the North-South 1/4 line of said Section 21; thence North 00°05'51" East, 363.75 feet on the said North-South 1/4 line to the point of beginning. Reserving therefrom the rights of the public in and to the Westerly 49.5 feet of the above described parcel for roadway purposes. Said land being in the Village of Caledonia, Racine County, Wisconsin.

5919 Erie Street (Parcel ID No. 104-04-23-21-005-000)

That part of the Northeast fractional 1/4 of Section 21, Township 4 North, Range 23 East, bounded as follows: Begin at the North 1/4 corner of said Section 21; thence South along the North and South 1/4 line of said Section, 724.41 feet; thence East parallel with the North line of said Section 1861.6 feet to water's edge of Lake Michigan; thence Northwesterly along said water's edge to the North line of said Section ; thence West along said North line of Section 21, 1088.5 feet to the place of beginning. EXCEPTING THEREFROM land conveyed by deeds as recorded on April 12, 1978 as Document No. 1024958 and as recorded on September 7, 1979 as Document No. 1059987, and ALSO EXCEPTING THEREFROM the following: That part of the Northeast 1/4 of Section 21, Township 4 North, Range 23 East, bounded as follows: Begin at the North 1/4 corner of said Section 21; run thence South 89°58'39" East 316.00 feet on the North line of said Section; thence South 00°05'51" West 299.37 feet; thence South 78°30'36" West 322.57 feet to the North and South 1/4 line of said Section 21; thence North 00°05'51" East 363.75 feet on the said North and South 1/4 line to the point of beginning. ALSO FURTHER EXCEPTING THEREFROM the following: That part of the Northeast 1/4 of Section 21, Township 4 North, Range 23 East, described as follows: Commence at a standard Racine County monument marking the North 1/4 corner of said Section 21; run thence South 00°27'09" East 391.48 feet to the point of beginning of this description; thence North 78°03'39" East 280.93 feet; thence South 06°52'21" East 356.68 feet; thence South 89°28'51" West 315.19 feet; thence North 00°27'09" West 298.87 feet to the point of beginning. Said land being in the Village of Caledonia, Racine County, Wisconsin.

5915 Erie Street (Parcel ID No. 104-04-23-21-006-000)

That part of the Northeast 1/4 of Section 21, Township 4 North, Range 23 East, described as follows: Commence at a standard Racine County monument marking the North 1/4 corner of said Section 21; run thence south 00°27'09" East 391.48 feet to the point of beginning of this description; thence North 78°03'39" East 280.93 feet; thence South 06°52'21" East 356.68 feet; thence South 89°28'51" West 315.19 feet; thence North 00°27'09" West 298.87 feet to the point of beginning. Said land being in the Village of Caledonia, Racine County, Wisconsin.

Exhibit A: Water's Edge Place Planned Unit Development (PUD) Conditions and Restrictions

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

- A. All requirements of the Village of Caledonia Municipal Code are in effect and apply to this planned unit development unless modified as set forth herein.
- B. The planned unit development concept plan as set forth in the application, narrative, and concept site plan **dated July 10, 2023** is incorporated hereby by reference and shall be modified to comply with these conditions and restriction. A precise detailed site plan for the area affected by the Planned Unit Development and phasing plan, including condominium plat, shall be submitted to, and approved by, the Plan Commission and Village Board prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) General Development Plan

- a) Detailed building/structure location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
- i) Location(s) and future expansion
- ii) Number & type(s) of dwellings
- iii) Number of garage & surface parking spaces
- iv) Dimensions
- v) Setbacks
- h) Location(s) of loading berth(s)
- i) Location of sanitary sewer (existing & proposed)
- j) Location of water (existing & proposed)
- k) Location of storm sewer (existing & proposed)
- l) Location(s) of wetlands (field verified)
- m) Location(s) and details of sign(s)
- n) Location(s) and details of proposed fences/gates

2) Landscape Plan

- a) Screening plan, including parking lot screening/berming
- b) Number, initial size, and type of plantings
- c) Percentage open/green space

3) Building Plan

- a) Architectural elevations (w/dimensions)
- b) Building floor plans
- c) Materials of construction (including colors)

4) Lighting Plan

- a) Types & color of fixtures
- b) Mounting heights
- c) Types & color of poles
- d) Photometrics of proposed fixtures

5) Grading, Drainage and Stormwater Management Plan

- a) Contours (existing & proposed)
- b) Location(s) of storm sewer (existing and proposed)
- c) Location(s) of stormwater management structures and basins (if required)

6) Fire Protection

- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction

- C. All plans for new buildings, additions, exterior remodeling, site modifications, and landscaping shall be submitted to the Plan Commission and Village Board for their review and approval prior to the issuance of a building permit.
- D. For any new buildings, additions, structures, and site modifications, site grading and drainage, stormwater management, and erosion control plans shall be submitted to the Village's Utility Director and Public Works Director for approval, if required. The Village's Utility Director's and Public Works Director's approval must be received prior to the issuance of any building permits.
- E. The Applicant shall comply with the amended Development Agreement between the Applicant, Cardinal Capital Management, Inc., and the Village dated as of July 11, 2022 (the "Development Agreement"). Pursuant to the Development Agreement, applicant shall enter into a subsequent agreement with the Village that addresses the anticipated on-site and off-site infrastructure including but not limited to private driveways, site grading and erosion controls, stormwater improvements, public sanitary sewer and water services by the Village Sewer Utility District and Water Utility District to implement the planned unit development in accordance with the Village's Code of Ordinances. The Applicant agrees to contract with or otherwise arrange with said Utility Districts for the furnishing of public sewer and water services to the Project. All such work shall be pursuant to plans and specifications approved by the Village and Utility Districts and the Village. Applicant acknowledges and agrees that it is responsible for all costs of on-site construction and installation of improvements required by the Village and Utility Districts in accordance with the Village's Code of Ordinances. These agreements are required so as to ensure the construction or installation of public or other improvements required in Item 1 above, and/or as specified by these conditions and restrictions.
- F. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of these properties.
- G. For each phase of development, detailed landscaping plans showing location, types and initial plant sizes of all evergreens, deciduous trees and shrubs, and other landscape features such as statuary, art forms, water fountains, retaining walls, etc., shall be submitted to the Plan Commission for approval prior to the issuance of a building permit. Landscaping, in accordance with the approved plan, shall be installed for each phase prior to the issuance of occupancy permits for that phase. The Village may require a letter of credit or bond to be posted to ensure implementation and maintenance. Landscaping shall comply with Title 16 of the Village's Municipal Code. The Landscape Plan shall follow the Village of Caledonia planting requirements.

3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

- A. There shall be up to twenty-eight (28) Villas and up to sixty-five (65) Townhomes (maximum height 45'). The development will have a total of up to ninety-three (93) units. ~~three (3) 5-story multifamily buildings with a total of 136 units (maximum height 75") and 20 Villas and 19 Townhouses (maximum height 45').~~ The development will have a total of 175 units. Each unit will have a minimum of 3,127 square feet of Lot Area per unit. Accessory buildings, garages, a clubhouse, and a pool are permitted so long as they are compliant with all applicable provisions of the Municipal Code, these conditions and restrictions and applicable permits are applied for an obtained before construction.
- B. The proposed development will incorporate a minimum of 20% of the development area as privately owned common open space.
- C. Solid waste collection and recycling shall be the responsibility of the applicant.

- D. Removal of snow from off-street parking areas, walks, public sidewalks, private roads and access drives shall be the responsibility of the applicant. Snow shall not be stored in the public right-of-way.
- E. The clubhouse clubroom and pool shall be constructed as part of the initial phase of the planned unit development and must be completed prior to or concurrent with the issuance of occupancy permits for any residential buildings.

4. PARKING AND ACCESS

- A. A Traffic Impact Analysis (TIA) shall be performed and submitted to the Public Works Director for review prior to the submission of applications for Plan Commission review of site, building, landscaping, lighting, and similar plans. Required roadway improvements and modifications identified in the TIA shall be the responsibility of the applicant and all such improvements shall be installed prior to issuance of any occupancy permits and in accordance with a schedule established by the Public Works Director.
- B. The site plan shall include a minimum of 315 parking stalls with an average of no less than of 2.0 parking stalls/unit for the entire development. Parking stall dimensions shall be in accordance with Title 16, Chapter 12 of the Municipal Code. Parking shall include underground, garage and surface parking. ~~Underground parking may include compact car stalls having reduced stall dimensions.~~
- C. A cross-access easement relocating an access easement that runs to the benefit of the property to the south shall be provided to the Village prior to the issuance of any permits for any phase of this planned unit development and such easement shall be mapped and described on the certified survey map required for the properties. The easement shall be recorded with the Racine County Register of Deeds at the time of recording of the certified survey map.
- D. An easement providing access to the Village's lift station along the southern boundary line for the properties shall be granted to the Village prior to the issuance of any permits for any phase of this planned unit development and such easement shall be mapped and described on the certified survey map required for the properties. The form of the easement shall be in a form approved by the Village's Utility Director and shall be recorded with the Racine County Register of Deeds at the time of the recording of the certified survey map..

5. LIGHTING

Plans for new outdoor lighting shall be submitted for review and approval by the Electrical Inspector and Development Director in accordance with Title 16, Chapter 10, Section 4 of the Municipal Code. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway.

6. SETBACKS

The external setbacks for the planned unit development setbacks shall be at least as follows:

	Street Setback	Rear Setback	Side Setback
Townhomes E & F, Condominium Towers	30 ft	75 ft	10 ft
Townhomes & Villas	4 ft	10 ft	10 ft
Accessory Structure	30 ft	10 ft	10 ft
Parking	10 ft	5 ft	5 ft

7. TIME OF COMPLIANCE

The operator of the Planned Unit Development shall commence work in accordance with these Conditions and Restrictions within eighteen (18) months from the date of adoption of the ordinance authorizing this Planned Unit Development. This Planned Unit Development approval shall expire within eighteen (18) months after the date of adoption of the ordinance if a building permit has not been issued for this use and substantial work has not commenced. The applicant shall re-apply for Planned Unit Development approval prior to recommencing work or construction.

8. OTHER REGULATIONS

Compliance with all other applicable Village, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

9. INTERNAL PRIVATE DRIVEWAY NETWORK

The driveways in this planned unit development shall be private. The applicant is responsible for construction and maintenance of these driveways. Any portion of the proposed private driveways to be constructed to service a particular phase of the development must be constructed to standards acceptable to the Village of Caledonia before occupancy of any building associated with the subject phase is approved.

10. STORMWATER

The applicant must contact the Village of Caledonia Stormwater Utility District regarding Stormwater regulations for this site. Compliance with all regulations and requirements, as determined by the Village of Caledonia Stormwater Utility District is required. Stormwater management plans shall be submitted for approval and be in compliance with all Village requirements, as determined by the Village Engineer before permits are issued.

11. FIRE DEPARTMENT APPROVAL

Applicant shall obtain approval from the Village of Caledonia Fire Department and meet applicable codes.

12. CALEDONIA SEWER AND WATER UTILITY DISTRICTS

Applicant must contact the Caledonia Sewer and Water Utility Districts regarding Utility District regulations for this site. Compliance with all regulations and requirements, as determined by the

Caledonia Sewer and Water Utility Districts is required. All buildings shall connect to public sanitary sewer and water prior to occupancy.

13. DEMOLITION; BLUFF STABILIZATION

The Applicant shall apply for all necessary raze permits and raze all existing structures in compliance with Village and State requirements prior to any building permits being issued for the planned unit development. The Applicant shall comply with all Village's, Racine County, State of Wisconsin and Federal (Army Corps of Engineers) bluff stabilization requirements and shall prepare such plans and obtain all necessary permits for such work. All required stabilization and revetment treatments shall be completed and accepted by the regulating agency prior to building permits being issued on the properties.

14. SIGNAGE

The Village's signage requirements are set forth in Title 16 of the Village's Code of Ordinances. Any proposed advertising sign at the site will require a separate zoning permit prior to installation. Please contact Village Zoning staff for advertising sign regulations and permit procedures. Banners, balloons, flashing or animated signs are prohibited.

15. NO ACCUMULATION OF REFUSE AND DEBRIS

Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.

16. PROPERTY MAINTENANCE REQUIRED

A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade. All drives shall be paved with asphalt. Parking areas shall be paved or have placed upon them compacted recycled asphalt. All drives and parking areas shall be maintained in a dust free condition.

17. PERFORMANCE STANDARDS

The applicant must comply with the provisions of Chapter 16, Chapter 10, Section 4 of Village Code of Ordinances, and any conditions established by subsequent Conditional Use Approvals.

18. ACCESS

The applicant must allow any Village or Racine County employee full and unlimited access to the project site at a reasonable time to investigate the project's construction, operation, or maintenance.

19. COMPLIANCE WITH LAW

The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 9, 14, 16 and 18 of the Village of Caledonia Code of Ordinances.

20. REIMBURSE VILLAGE COSTS

Applicant shall reimburse the Village all costs incurred by the Village for review of this rezoning and PUD Planned Unit Development Overlay District approval including but not limited to engineering,

legal and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.

21. AMENDMENTS TO PLANNED UNIT DEVELOPMENT

No additions, deletions, or changes may be made to the project, site plan, or these conditions without the Village of Caledonia's prior approval. All addition, deletion, and/or change requests must be submitted to the Village of Caledonia in writing. A minor change to the conditions of this permit, as deemed by the Zoning Administrator, may be made at a staff level, if authorized by the Zoning Administrator.

22. BINDING EFFECT

These conditions bind and are applicable to the Applicant, property owner, successor and assigns, owner's association(s) and any other users of the Property with respect to the uses on the Property.

23. VIOLATIONS & PENALTIES

Any violations of the terms of this conditions and restrictions of this Planned Unit Development shall be subject to enforcement and the issuance of citations in accordance with Village Code of Ordinances. If the owner, applicant or operator of the Planned Unit Development is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the Village shall have the right to initiate revocation procedures for this Planned Unit Development, subject to the provisions of paragraph 9 herein. Nothing herein shall preclude the Village from commencing an action in Racine County Circuit Court to enforce the terms of this Planned Unit Development or to seek an injunction regarding any violation of this Planned Unit Development or any other Village ordinances.

24. REVOCAION

Should an applicant, its heirs, successors or assigns and any other users of the properties including any owner's association(s), fail to comply with the conditions and restrictions of the approval issued by the Village Board, the Planned Unit Development approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Planned Unit Development as set forth in the Municipal Code.

25. AGREEMENT

Your acceptance as applicant of the rezoning/PUD Planned Unit Development Overlay District/Zoning Permit and beginning the project means that you have read, understand, and agree to follow all conditions of this approval. Therefore, CCM-Caledonia, LLC; its heirs, successors, and assigns, including all users, future owners, occupants and owner's association(s), are responsible for full compliance with the above conditions.

26. SUBSEQUENT OWNERS

It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.

EXHIBIT B: Concept Development Plan



DEVELOPMENT SUMMARY

SITE: 20.10 ACRES

AMENITY BUILDING

UNIT COUNT

- VILLAS: 28 UNITS
- 2 STORY TOWNHOMES: 21 UNITS
- 2 STORY LAKESIDE TOWNHOMES: 32 UNITS
- 3 STORY TOWNHOMES: 12 UNITS
- TOTAL UNITS: 93 UNITS**

PARKING

- VILLAS:**
- ENCLOSED: 56 STALLS
 - SURFACE: 56 STALLS
- 2 STORY TOWNHOMES:**
- ENCLOSED: 42 STALLS
 - SURFACE: 42 STALLS
- 2 STORY LAKESIDE TOWNHOMES:**
- ENCLOSED: 64 STALLS
 - SURFACE: 64 STALLS
- 3 STORY TOWNHOMES:**
- ENCLOSED: 24 STALLS
 - SURFACE: 22 STALLS
- VISITOR AMENITY BUILDING:**
- SURFACE: 17 STALLS

KEY PLAN

- VILLAS
- 2-STORY TOWNHOMES
- 3-STORY TOWNHOMES
- 2-STORY LAKESIDE TOWNHOMES
- AMENITY BUILDING

ARCHITECTURAL SITE PLAN
1" = 40'-0"

PLAN COMMISSION REPORT

Proposal: Building, Site, & Operations Plan Review

Description: Review a request to approve the building, site, and operations plan for the construction of 93 condominium units of villa and townhome design located at Water's Edge Drive.

Applicant(s): CCM-Caledonia, LLC

Address(es): 5915, 5919, & 5945 Erie Street (currently Water's Edge Drive)

Suggested Motions: That the Plan Commission recommends to the Village Board that the building, site, and operational plan for the construction of 93 condominium townhouses/villas with recreational amenities be approved for the following reasons:

1. The proposed use is allowed by underlying zoning and Planned Unit Development through the building, site, and operation plan review process.
2. The use is consistent with the 2035 Comprehensive Land Use Plan designation of high density residential.
3. The proposed development complies with conditions and restrictions as stated in the Planned Unit Development.

Owner(s): CCM-Caledonia, LLC

Tax Key(s): 104-04-23-21-003-000, 104-04-23-21-005-000, 104-04-23-21-006-000

Lot Size(s): 1.9 acres, 2.2 acres, & 15.9 acres

Current Zoning District(s): R-8, PUD, Planned Residential District, Planned Unit Development

Overlay District(s): Shoreland, Wetland Overlay District

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: High Density Residential (less than 6,200 SF per dwelling)

Background: In 2021, the applicant received approval for a building, site, and operation plan for the construction of three, 6-story condominium towers with underground parking for a total of 280 dwelling units. At that time, the plan was to develop in two phases. Phase 1 would be the towers (219 units) and Phase 2 would be the townhouses (64 units). In 2022, the applicant chose to redesign the site and requested an approval of the entire site, including the townhouses/villas. The redesign reduced the density of the development to 175 condominium units. That plan complied with site and use restrictions, maintenance, and operational requirements as outlined in the adopted Planned Unit Development (PUD) agreement and building design standards.

As explained earlier, as part of the Planned Unit Development amendment review, the applicant is proposing a redesign of the condominium development layout eliminating the towers and reducing the total number of condominium units to 93. The proposed site plan illustrates a layout of villas and townhomes situated along the lakefront with a centrally located clubhouse with pool and sport courts. The redesign of the site still incorporates a public access walking trail along the perimeter of the development and the roadway connection to the Siena Center property. Overall, the proposed development meets the 20% green space as required by the PUD.

The building design of the villas and townhomes are nearly the same as proposed in earlier site plan reviews. Included with your packet are illustrations of colors, materials, and design. This development does include a new design of townhome and that is the design of a 3-story townhome which will be located in the southern portion of the development and is identified as Townhome J and Townhome I on the site plan. One story will be for vehicle parking and the other two stories for living space. This design will preserve views of Lake Michigan. These units comply with zoning regulations and PUD conditions for this type of use.

The development will have a total of 387 parking stalls. Nearly all units will have two enclosed spaces and two surface spaces. The 3-story townhouse units will have slightly less. There will be 17 visitor parking stalls available near the clubhouse and along the main entryway of the development. Parking stalls meet zoning regulations for number and dimensions for this type of development. Per the PUD, the development is required to have a minimum of 2.0 parking stalls per unit. The proposed amount of parking exceeds this requirement with a ratio of 4.16. The previous site plan had a ratio of 2.77.

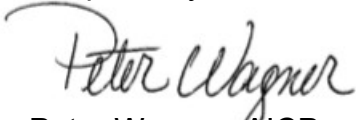
Due to the change from towers to exclusively villas and townhomes, solid waste and recycling collection will be conducted through a private service with each unit having its own waste containers. No centralized collection system is being proposed for this development.

The proposed lighting plan complies with the Village lighting ordinance Title 16, Chapter 3, Section 3. Proposed lights will be full cut-off lights. The proposed buildings meet the minimum street, rear, and side setback requirements as stated in the PUD. Surface parking lot setbacks are also in compliance as stated in the PUD. The proposed landscaping plan meets landscaping standards.

The Fire Department has reviewed their site plan with fire truck movements and sees no concerns at this time. The Fire Department will continue to work with the applicant to ensure proper fire vehicle access and compliance with fire codes.

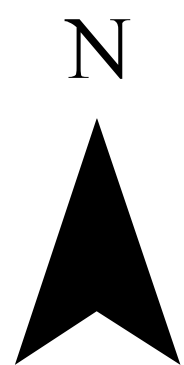
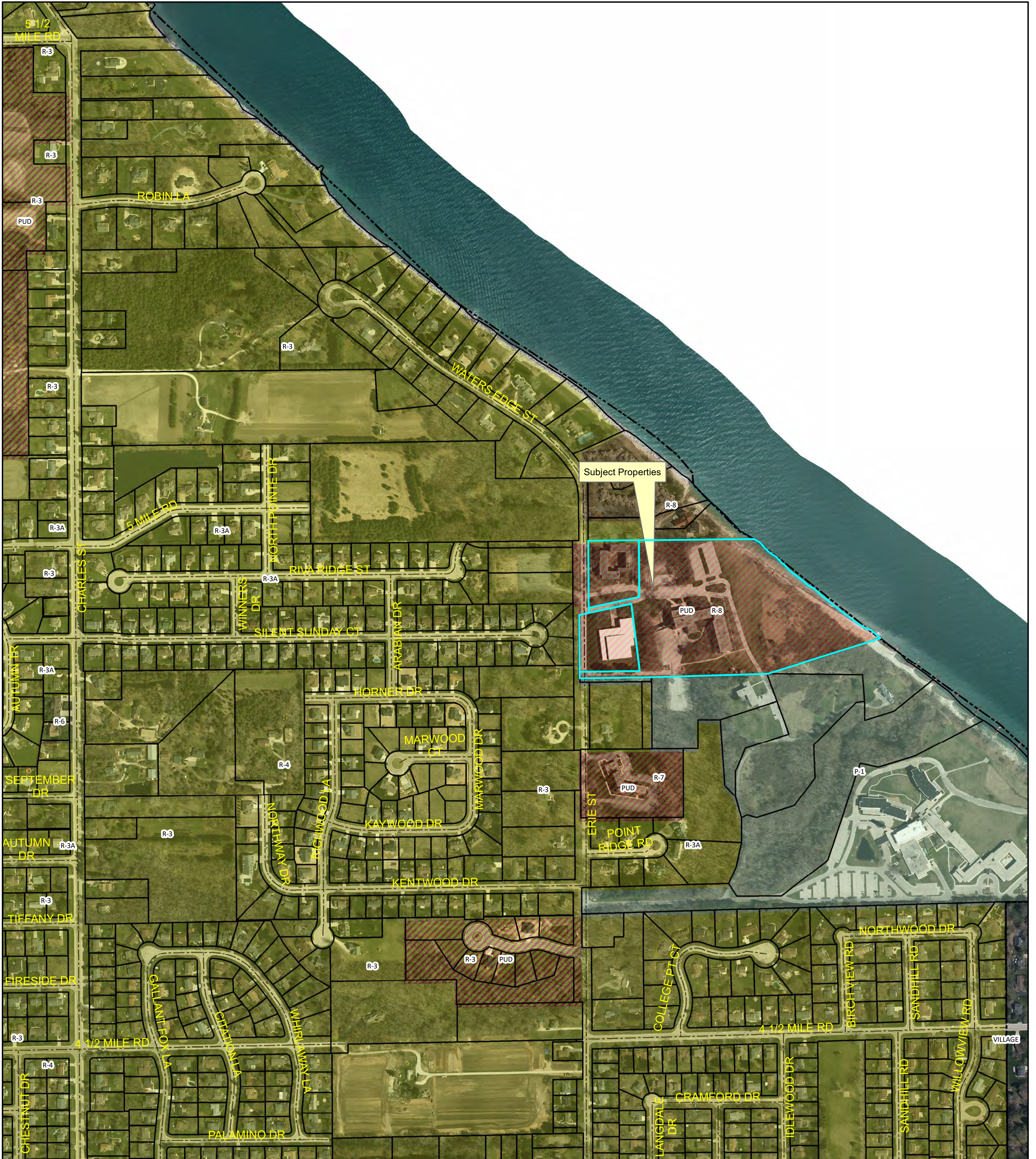
Staff has determined that the revised site plan for the Water's Edge Condominiums has a better building design with lower density; retains similar amenities; provides architectural examples of townhouse/villas; and fits with the character of the neighborhood. If the Plan Commission is comfortable with the proposed site plan revisions, staff drafted a suggested motion to recommend approval of the building, site, and operation plan with conditions outlined in Exhibit A.

Respectfully submitted:

A handwritten signature in black ink that reads "Peter Wagner". The signature is written in a cursive style with a large initial "P".

Peter Wagner, AICP
Development Director

LOCATION MAP: Water's Edge Drive





WATER'S EDGE CONDOS PLAN COMMISSION PROPOSAL

CARDINAL CAPITAL MANAGEMENT, INC
RINKA+
JULY 10TH, 2023



DEVELOPMENT SUMMARY

SITE: 20.10 ACRES

AMENITY BUILDING

UNIT COUNT
 VILLAS: 28 UNITS
 2 STORY TOWNHOMES: 21 UNITS
 2 STORY LAKESIDE TOWNHOMES: 32 UNITS
 3 STORY TOWNHOMES: 12 UNITS
TOTAL UNITS: 93 UNITS

PARKING

VILLAS:
 - ENCLOSED: 56 STALLS
 - SURFACE: 56 STALLS

2 STORY TOWNHOMES:
 - ENCLOSED: 42 STALLS
 - SURFACE: 42 STALLS

2 STORY LAKESIDE TOWNHOMES:
 - ENCLOSED: 64 STALLS
 - SURFACE: 64 STALLS

3 STORY TOWNHOMES:
 - ENCLOSED: 24 STALLS
 - SURFACE: 22 STALLS

VISITOR AMENITY BUILDING:
 - SURFACE: 17 STALLS

KEY PLAN

 - VILLAS	 - 3-STORY TOWNHOMES
 - 2-STORY TOWNHOMES	 - 2-STORY LAKESIDE TOWNHOMES
 - AMENITY BUILDING	

ARCHITECTURAL SITE PLAN
 1" = 40'-0"

PROPOSED BUILDING MATERIALS

- A. FIBER CEMENT LAP SIDING
- B. FIBER CEMENT PANEL
- C. BRICK MASONRY
- D. WOOD LOOK PANEL
- E. METAL TRIM & PANEL



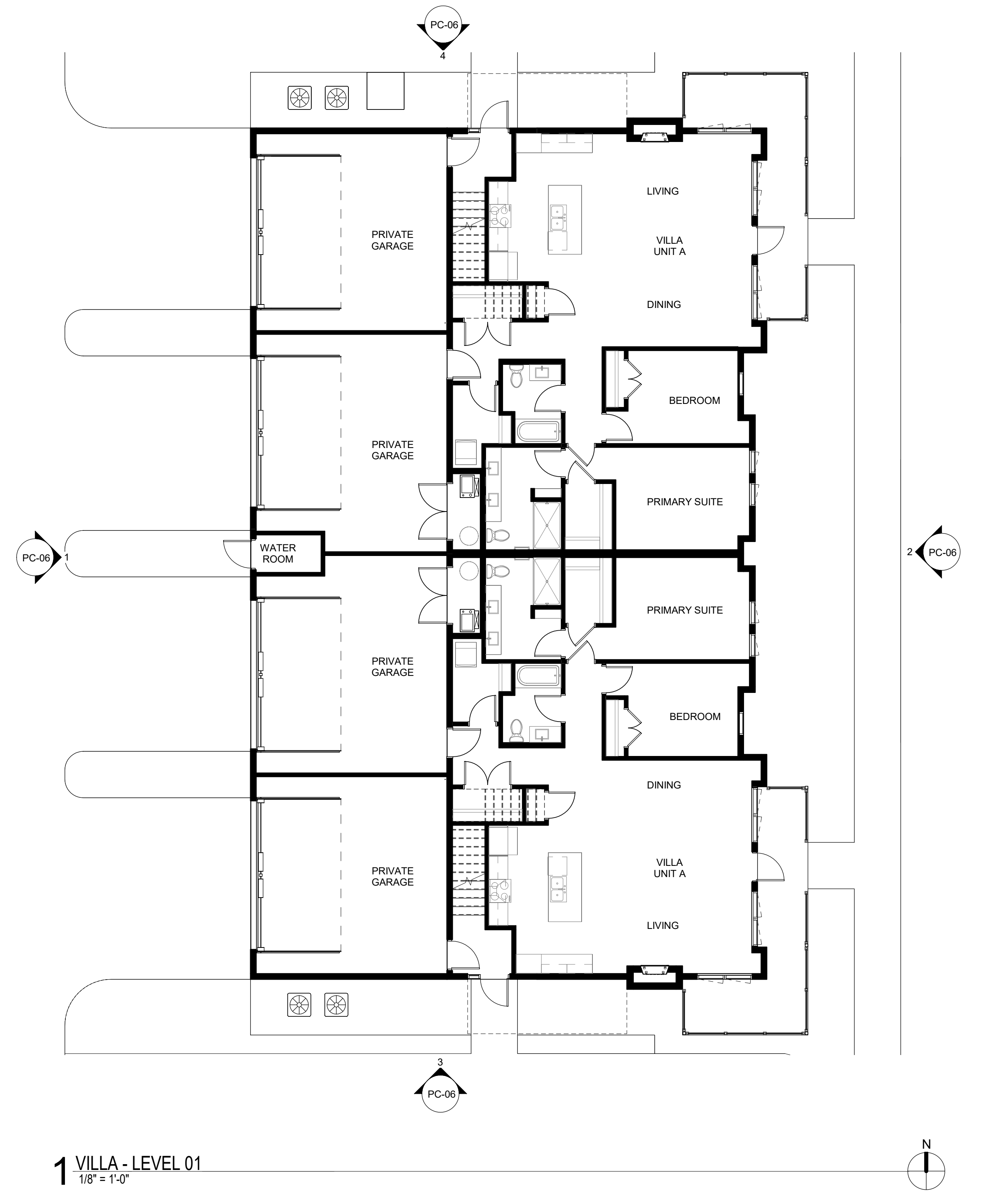
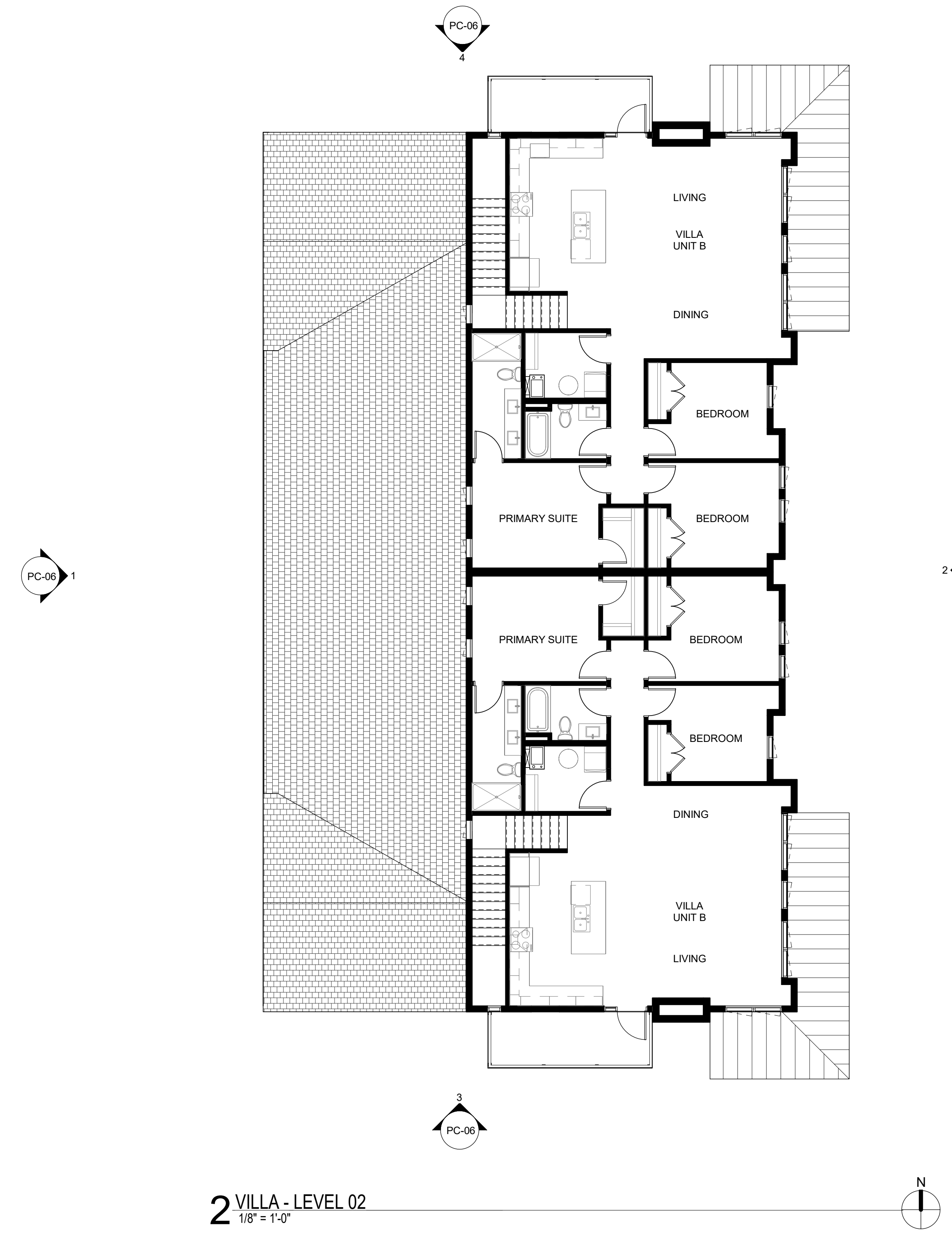
PALETTE 1

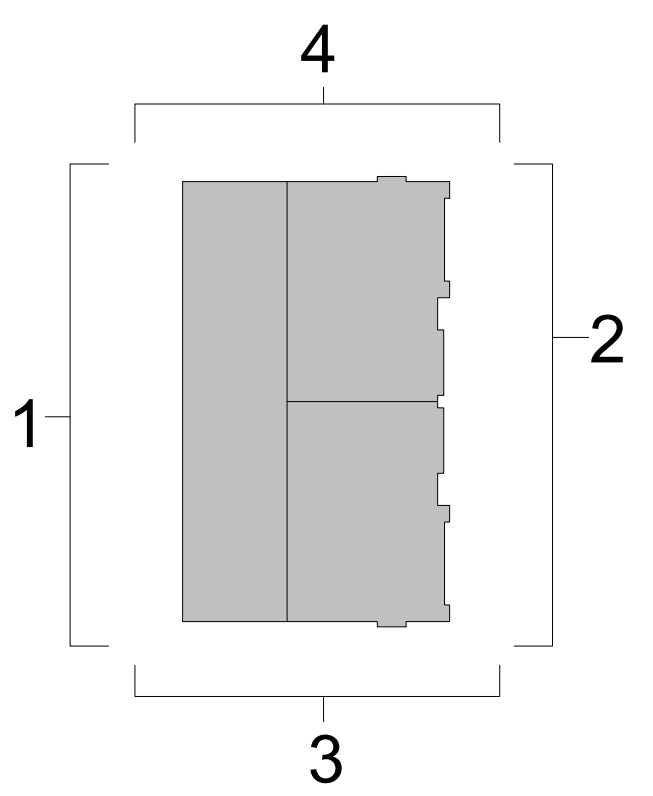


PALETTE 2









MATERIAL PERCENTAGES
 WHITE LAP SIDING: 67%
 BLACK PANEL SIDING: 5%
 WOOD LOOK PANEL: 8%
 MASONRY VENEER: 20%



4 VILLA - NORTH ELEVATION
 3/16" = 1'-0"

MATERIAL PERCENTAGES
 WHITE LAP SIDING: 72%
 BLACK PANEL SIDING: 14%
 WOOD LOOK PANEL: 10%
 MASONRY VENEER: 4%



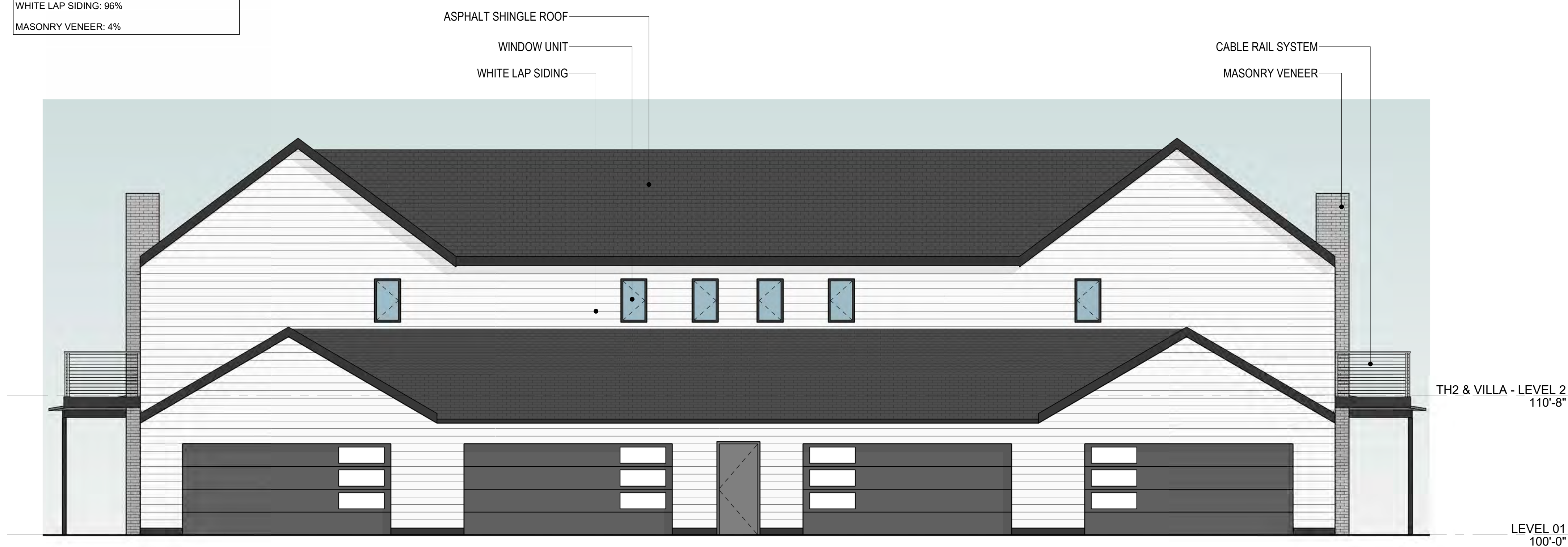
2 VILLA - EAST ELEVATION
 3/16" = 1'-0"

MATERIAL PERCENTAGES
 WHITE LAP SIDING: 67%
 BLACK PANEL SIDING: 5%
 WOOD LOOK PANEL: 8%
 MASONRY VENEER: 20%



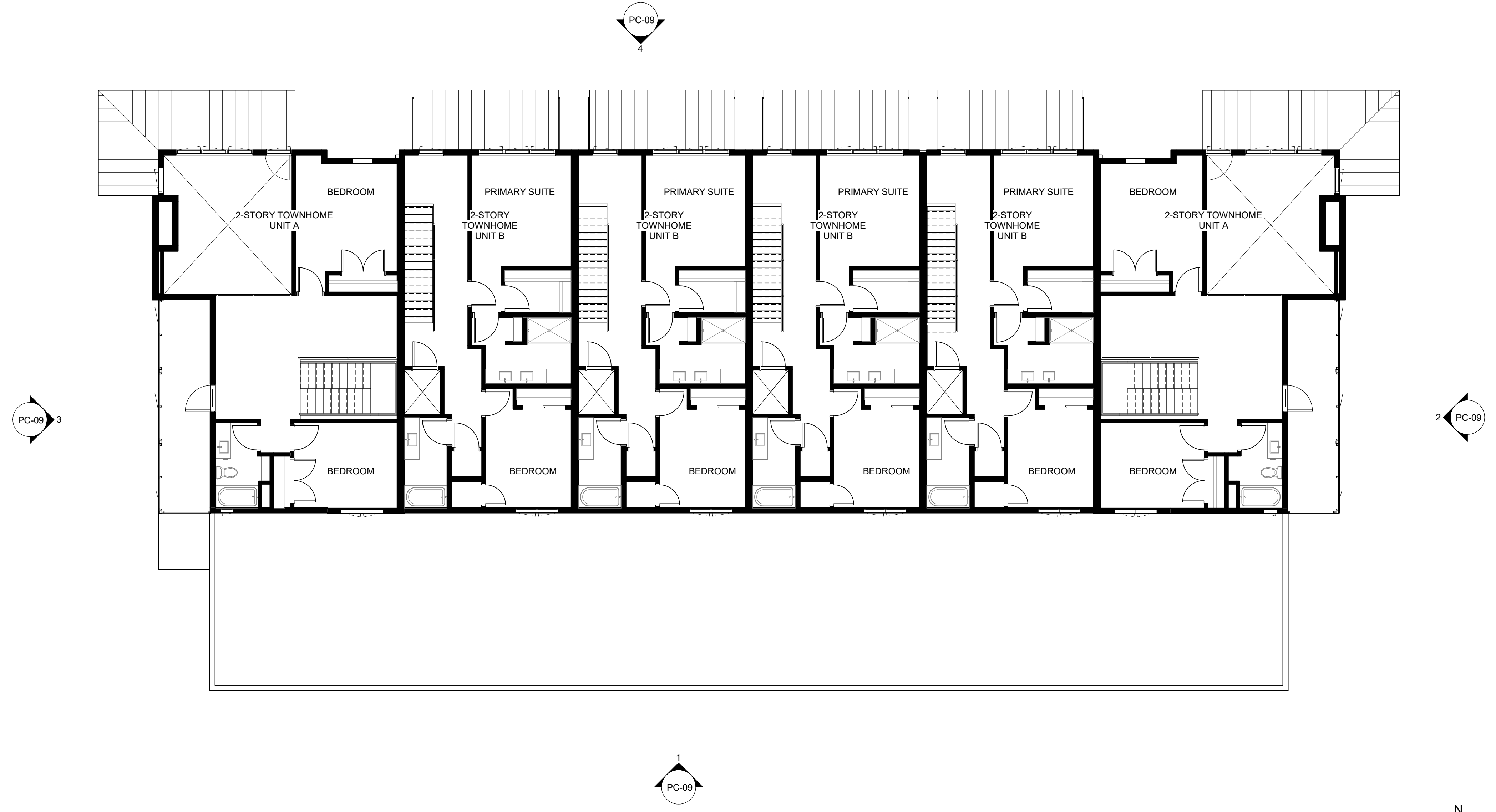
3 VILLA - SOUTH ELEVATION
 3/16" = 1'-0"

MATERIAL PERCENTAGES
 WHITE LAP SIDING: 96%
 MASONRY VENEER: 4%



1 VILLA - WEST ELEVATION
 3/16" = 1'-0"

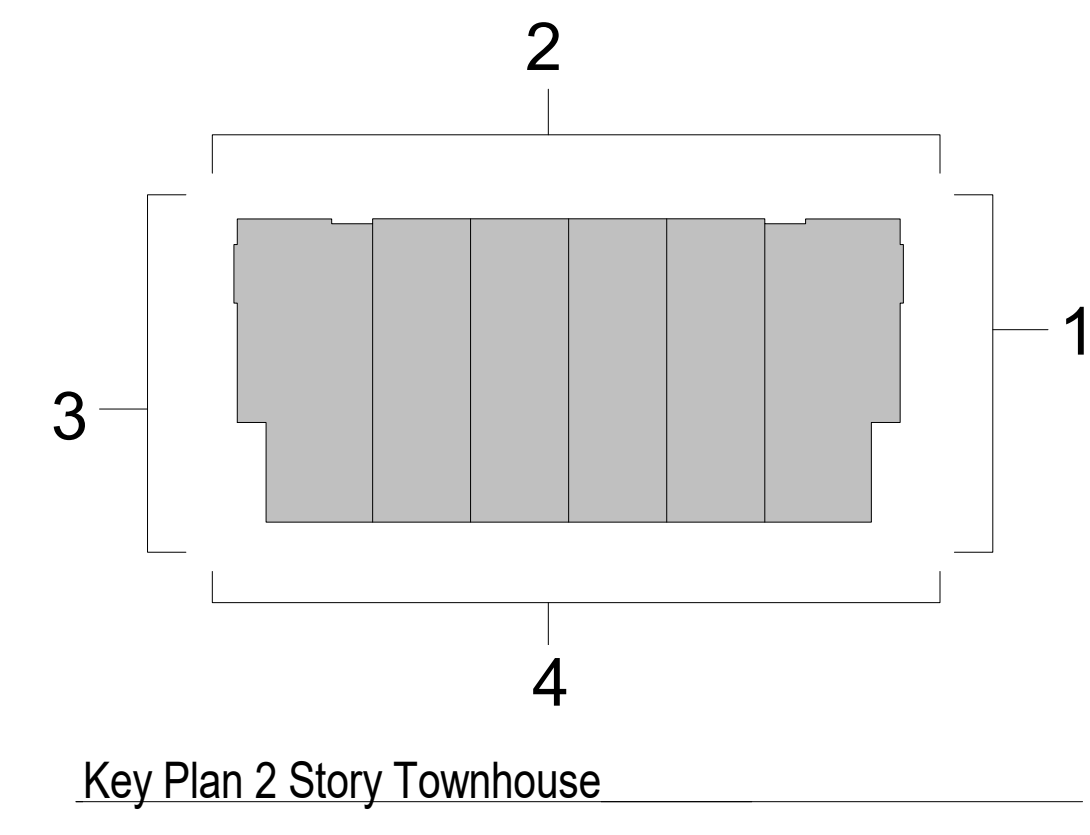




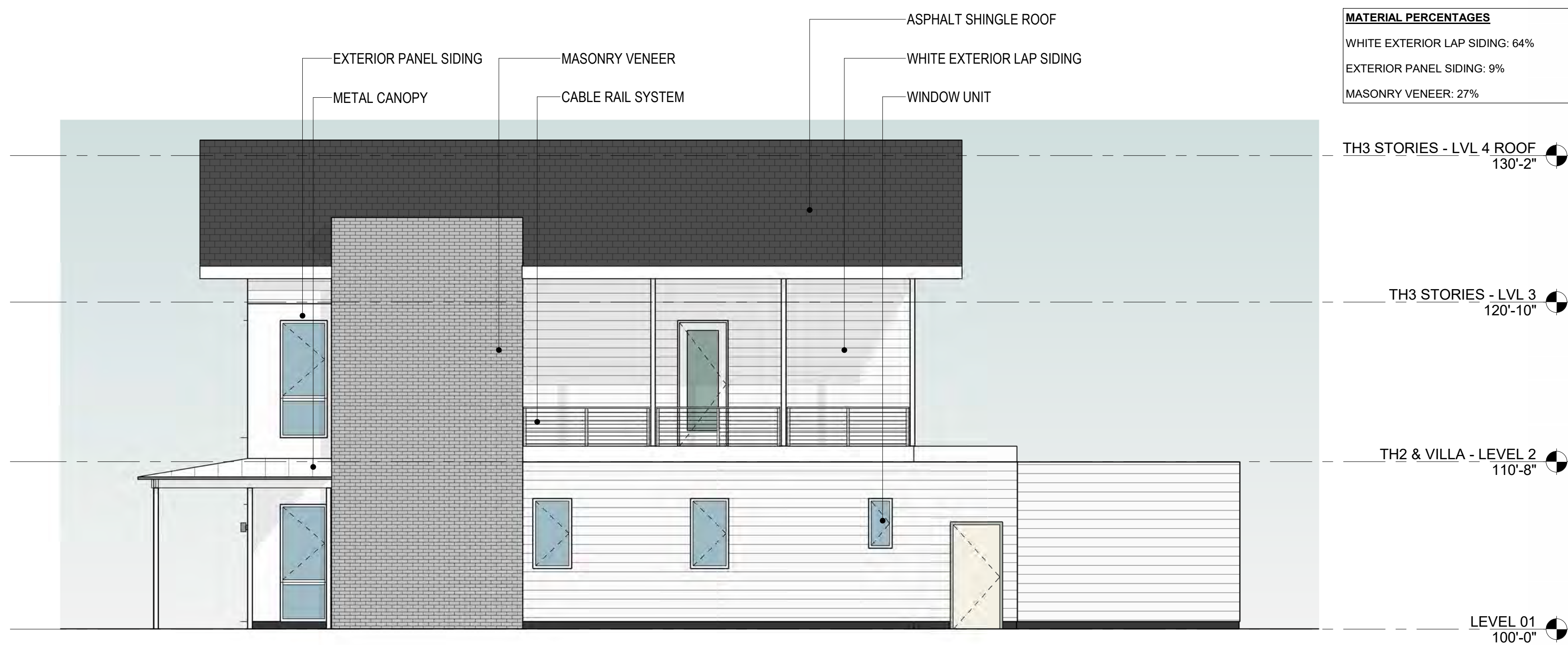
2 TOWNHOME 'A' - LEVEL 02
1/8" = 1'-0"



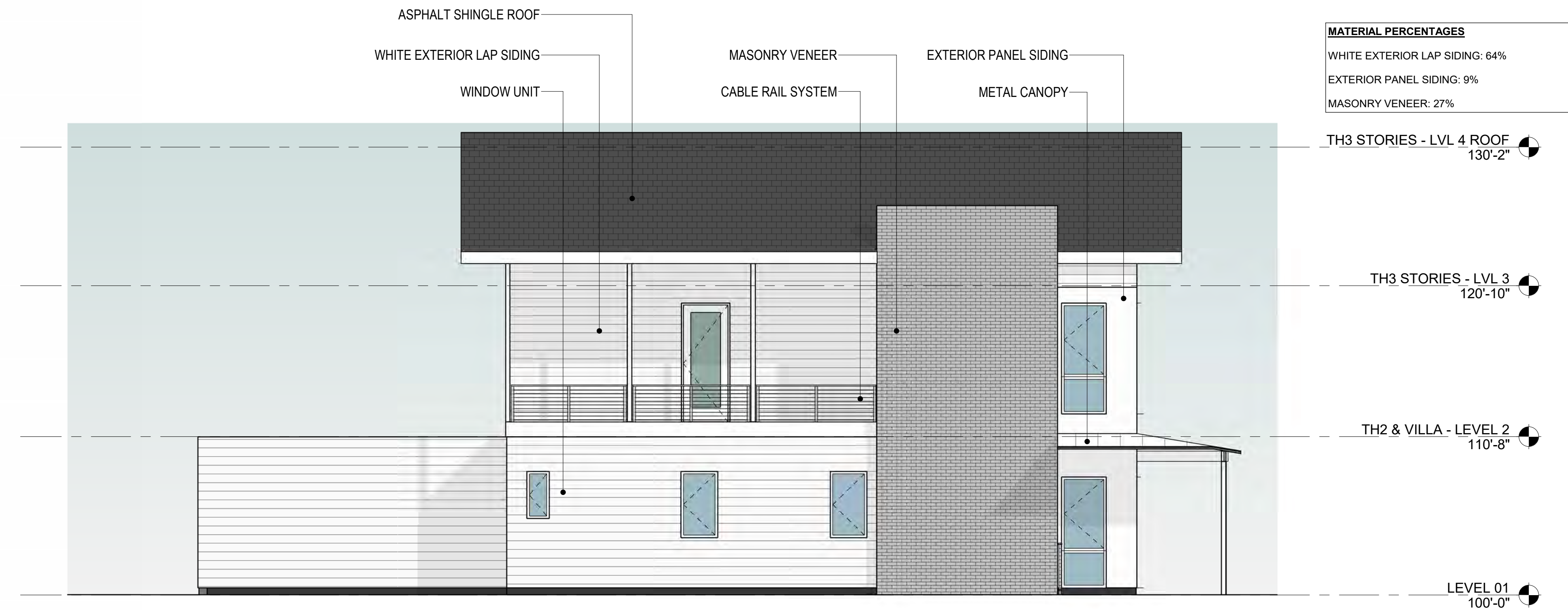
1 2-STORY TOWNHOME LEVEL 01 PLAN
1/8" = 1'-0"



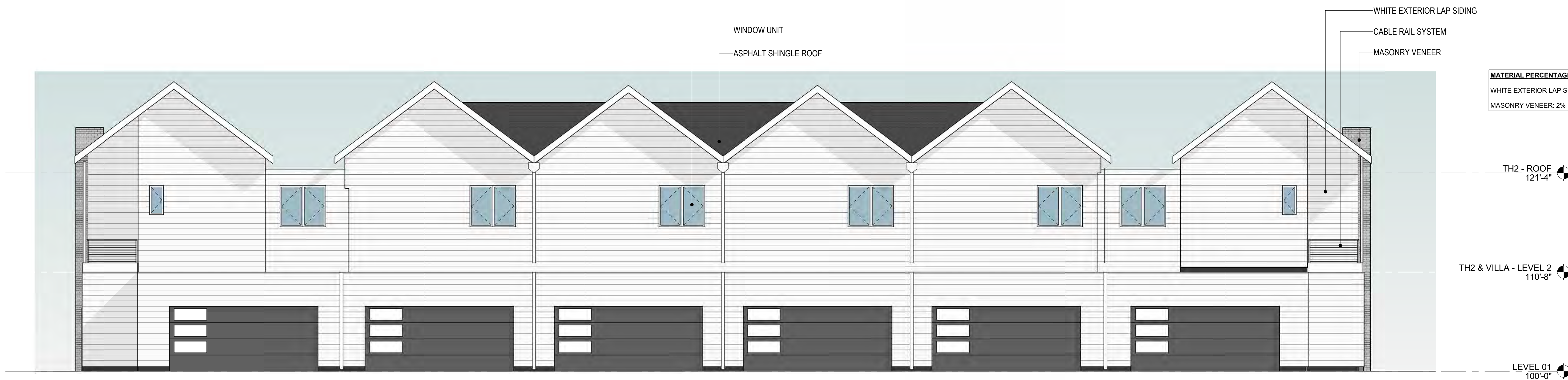
4 2-STORY TOWNHOME NORTH ELEVATION
3/16" = 1'-0"



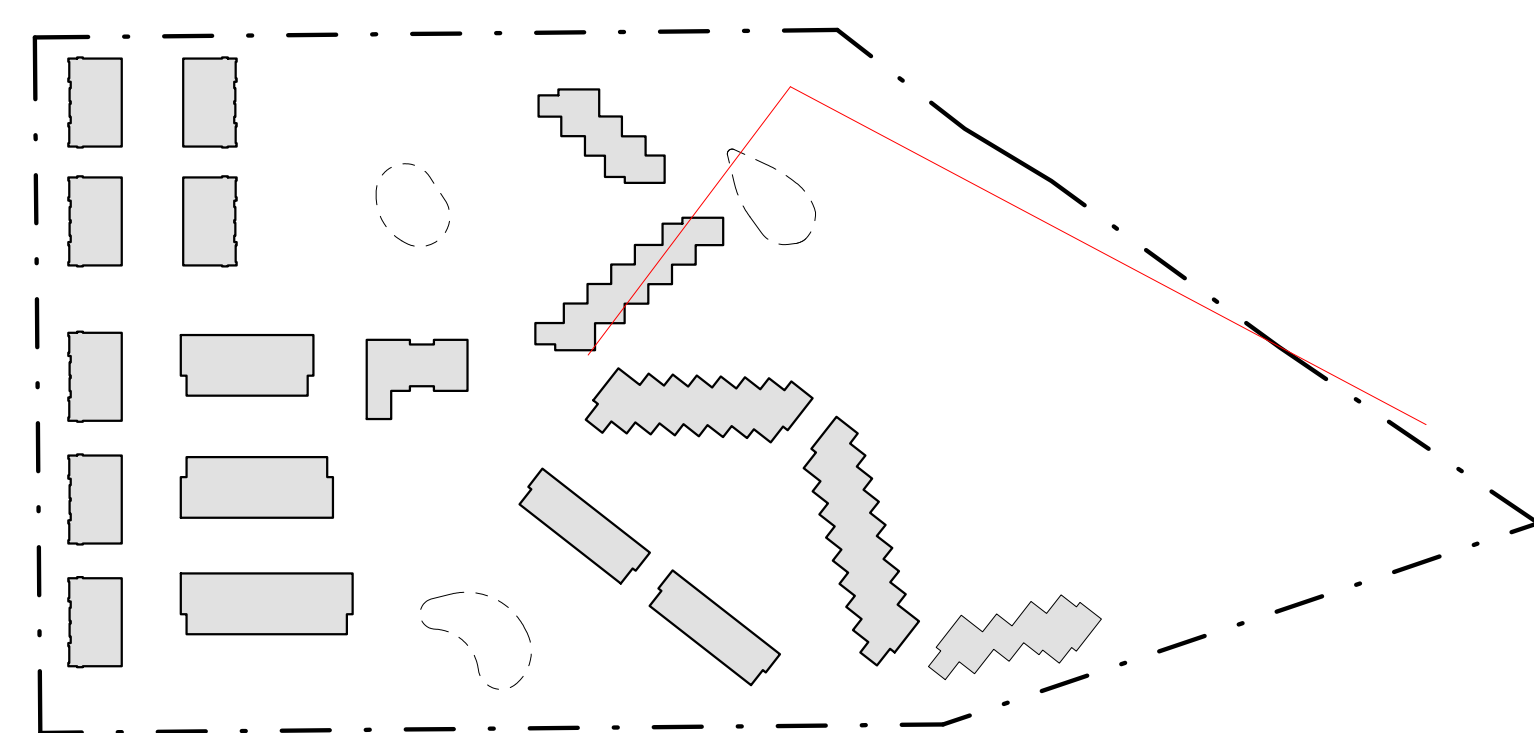
3 2-STORY TOWNHOME WEST ELEVATION
3/16" = 1'-0"

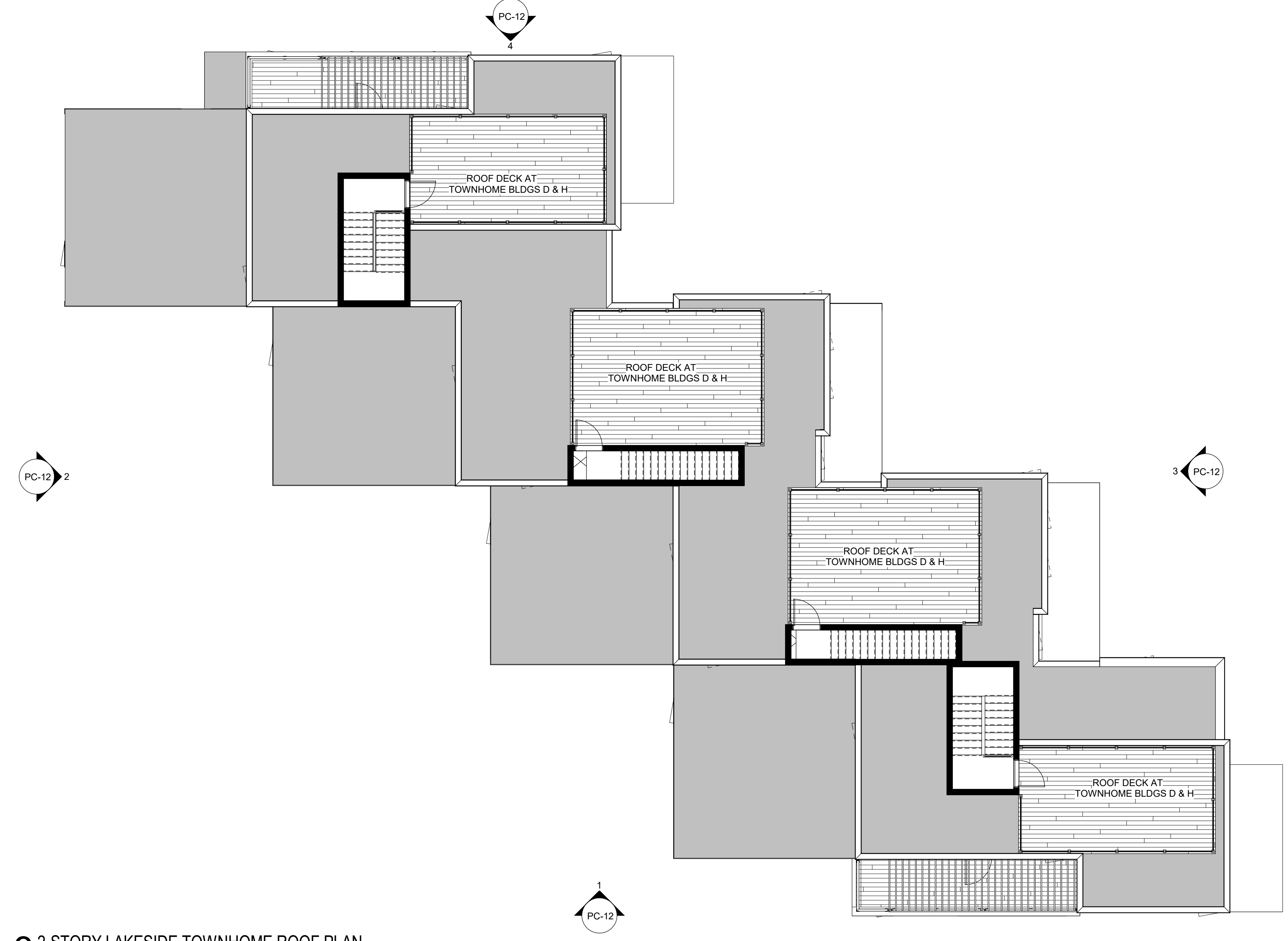


2 2-STORY TOWNHOME EAST ELEVATION
3/16" = 1'-0"

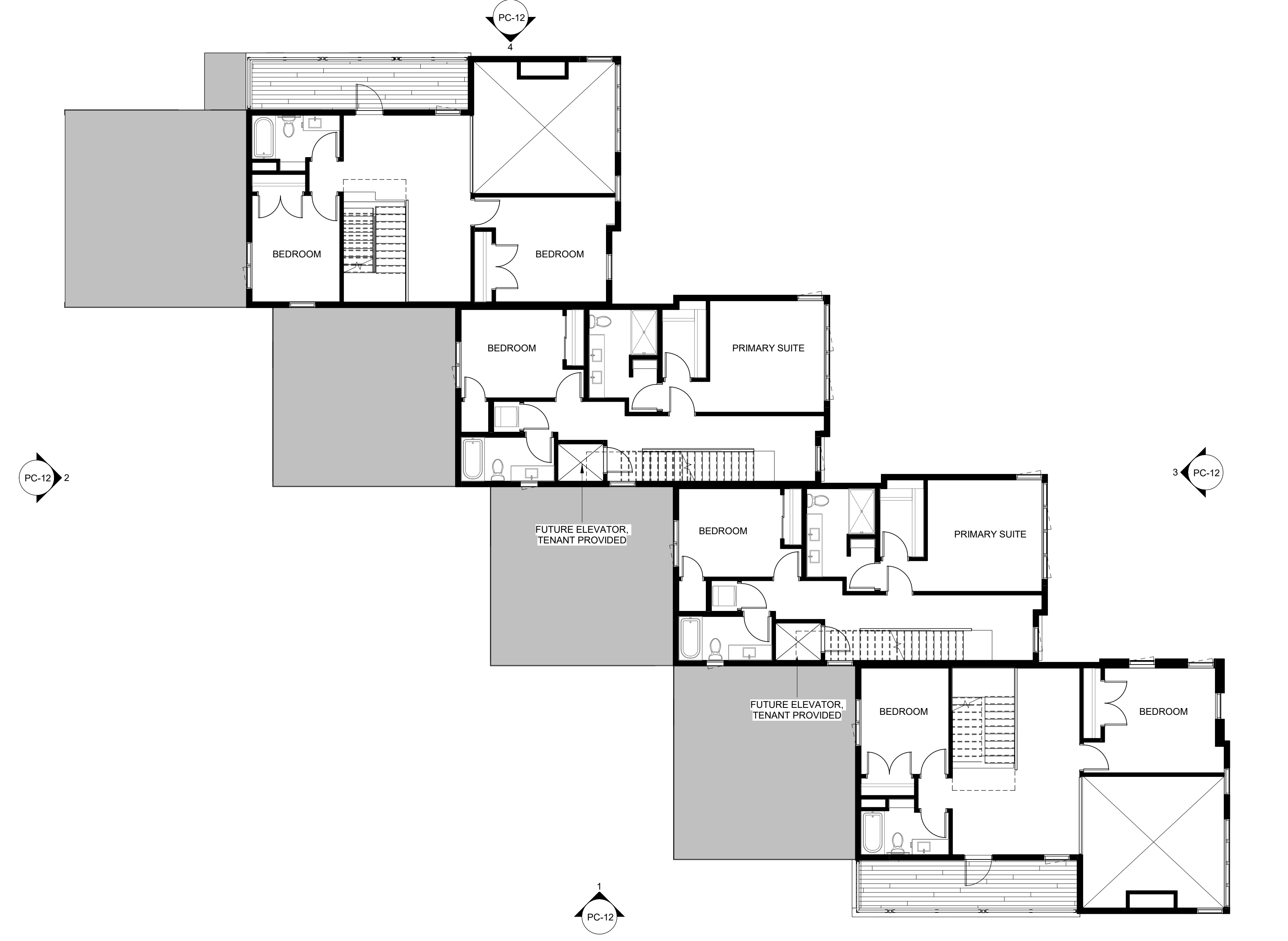


1 2-STORY TOWNHOME SOUTH ELEVATION
3/16" = 1'-0"

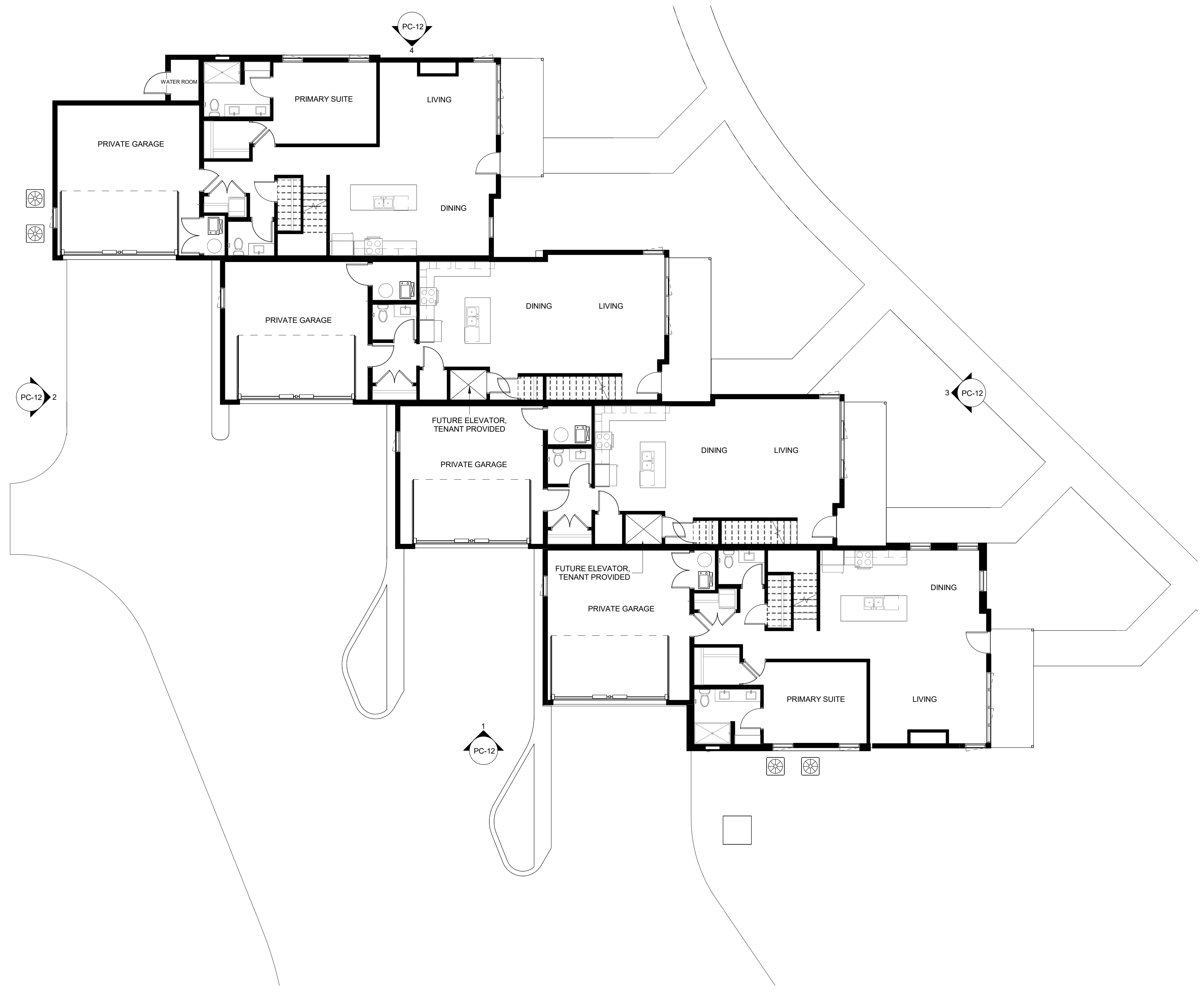




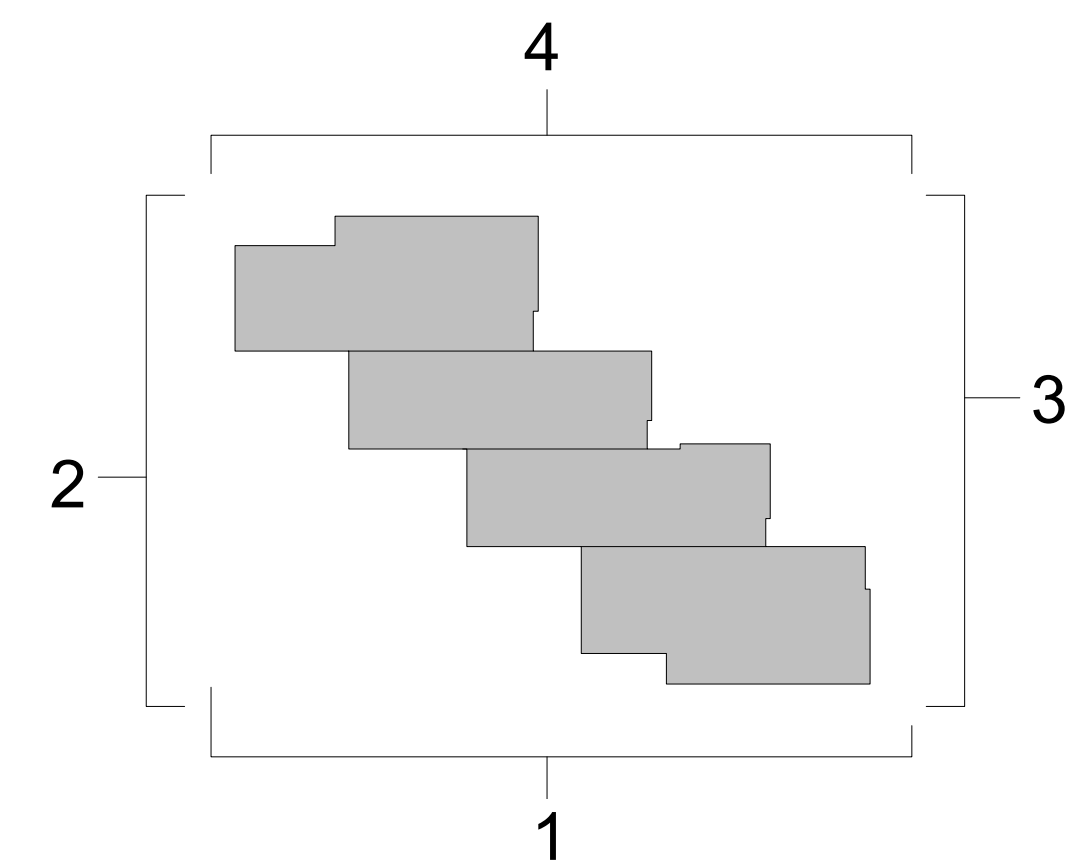
3 2-STORY LAKESIDE TOWNHOME ROOF PLAN
1/8" = 1'-0"



2 2-STORY LAKESIDE TOWNHOME LEVEL 02 PLAN
1/8" = 1'-0"



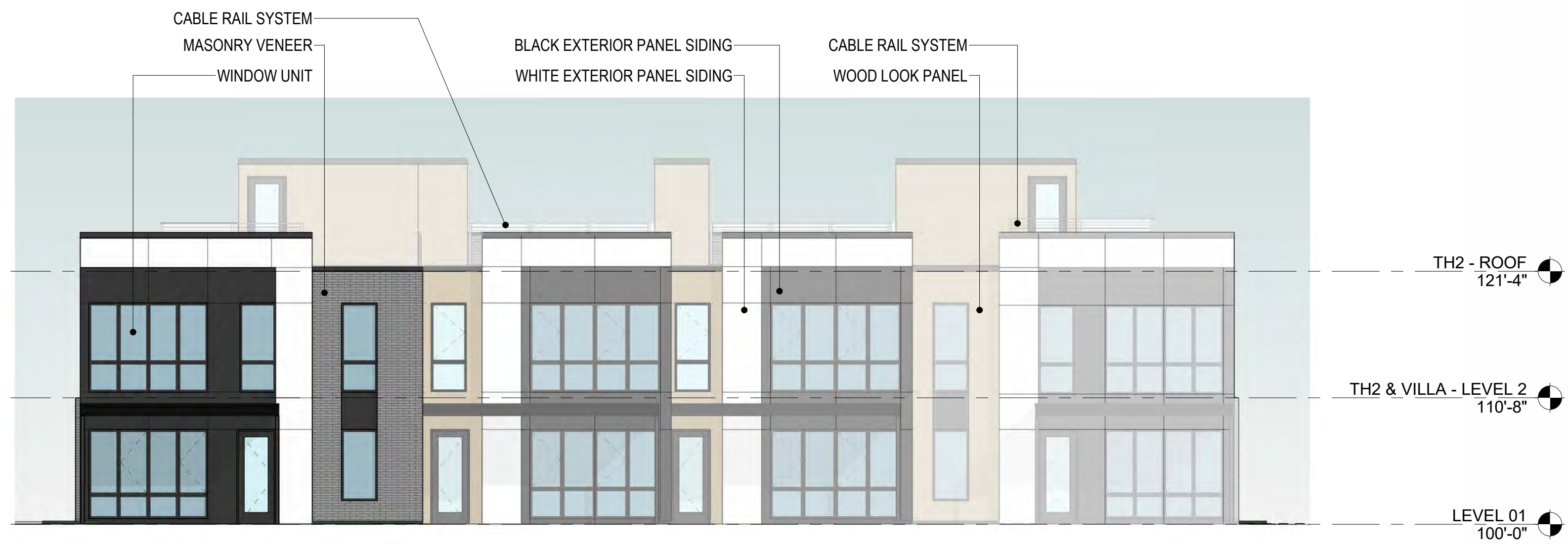
1 2-STORY LAKESIDE TOWNHOME LEVEL 01 PLAN
1/8" = 1'-0"



MATERIAL PERCENTAGES

- WHITE EXTERIOR PANEL SIDING: 40%
- BLACK EXTERIOR PANEL SIDING: 8%
- WOOD LOOK PANEL: 32%
- MASONRY VENEER: 20%

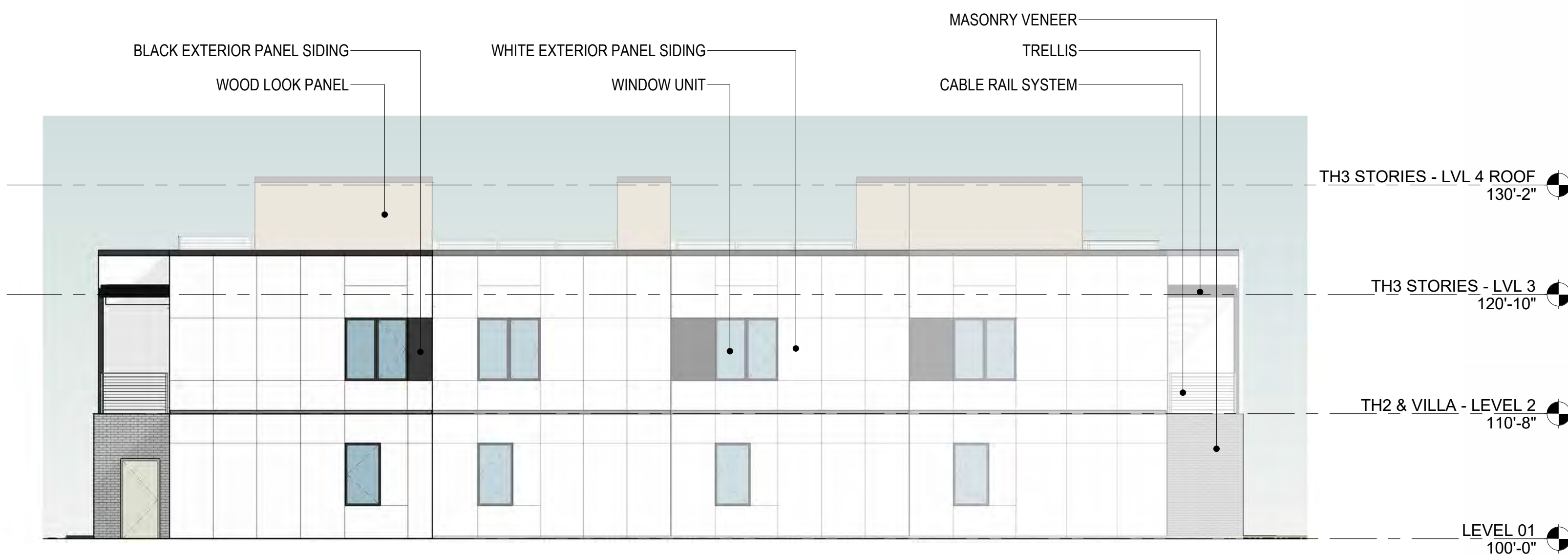
4
2-STORY LAKESIDE TOWNHOME NORTH
ELEVATION
1/8" = 1'-0"



MATERIAL PERCENTAGES

- WHITE EXTERIOR PANEL SIDING: 25%
- BLACK EXTERIOR PANEL SIDING: 25%
- WOOD LOOK PANEL: 34%
- MASONRY VENEER: 16%

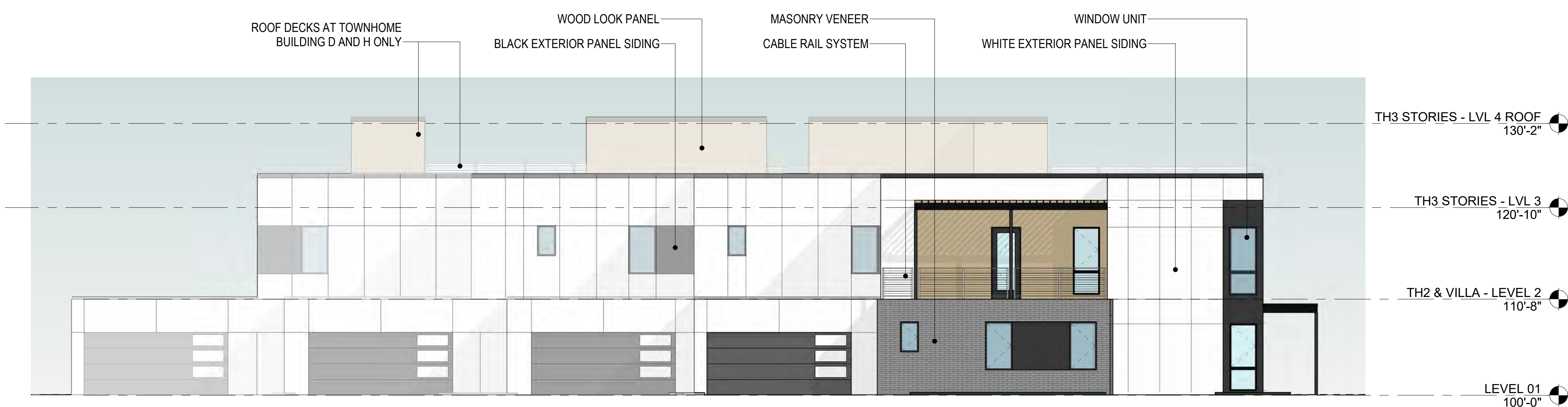
3
2-STORY LAKESIDE TOWNHOME EAST
ELEVATION
1/8" = 1'-0"



MATERIAL PERCENTAGES

- WHITE EXTERIOR PANEL SIDING: 75%
- BLACK EXTERIOR PANEL SIDING: 5%
- WOOD LOOK PANEL: 15%
- MASONRY VENEER: 5%

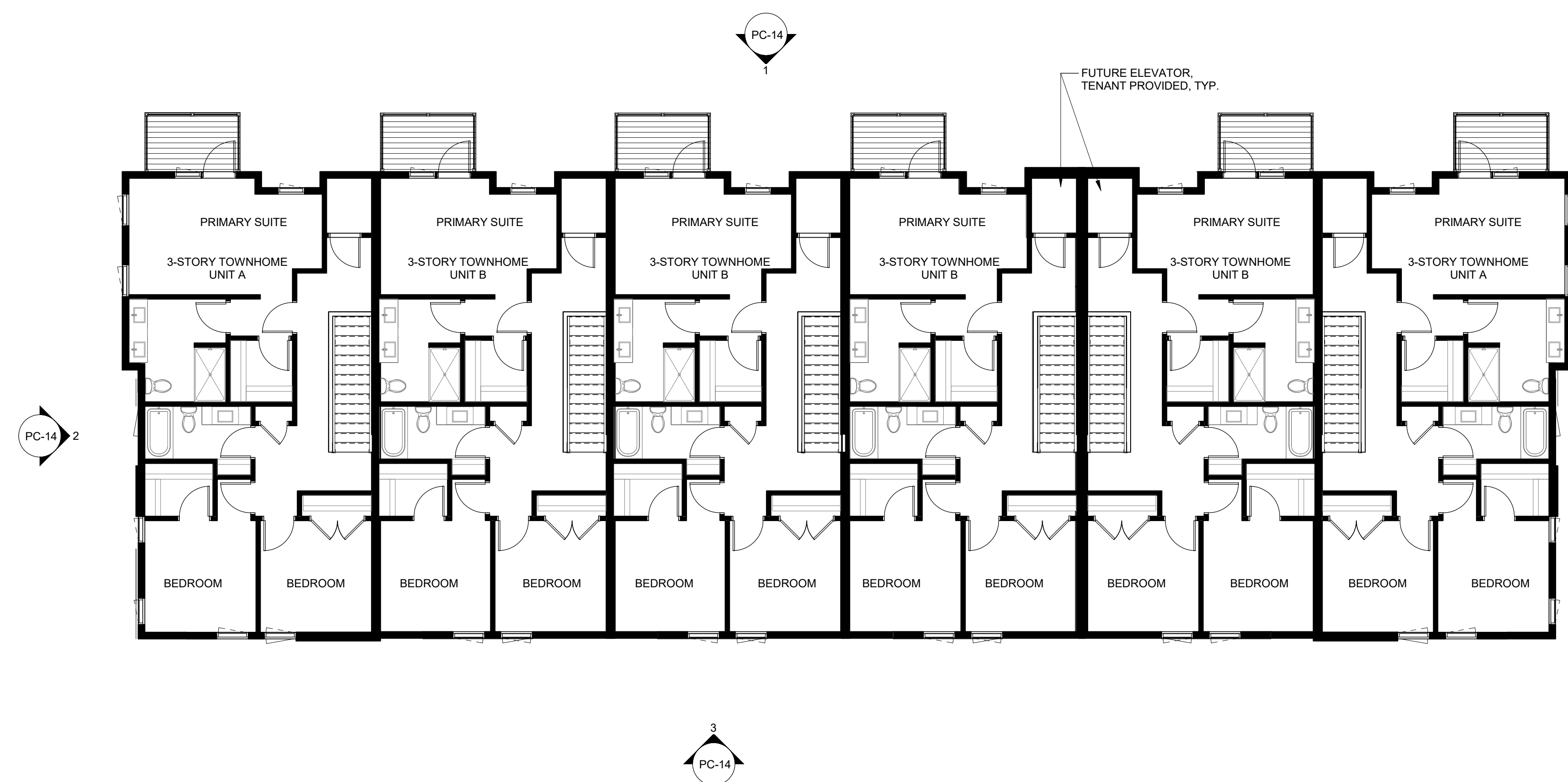
2
2-STORY LAKESIDE TOWNHOME WEST
ELEVATION
1/8" = 1'-0"



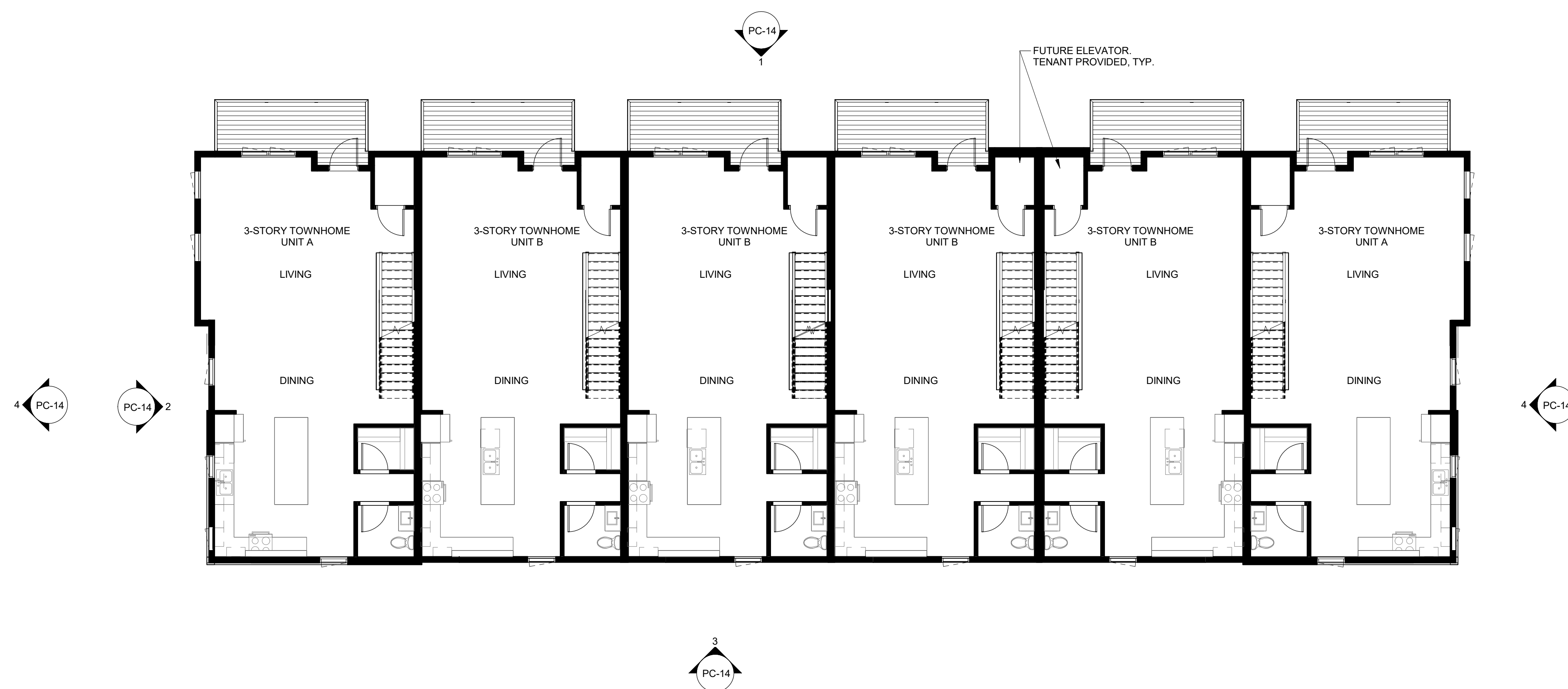
MATERIAL PERCENTAGES

- WHITE EXTERIOR PANEL SIDING: 68%
- BLACK EXTERIOR PANEL SIDING: 6%
- WOOD LOOK PANEL: 17%
- MASONRY VENEER: 9%

1
2-STORY LAKESIDE TOWNHOME SOUTH
ELEVATION
1/8" = 1'-0"



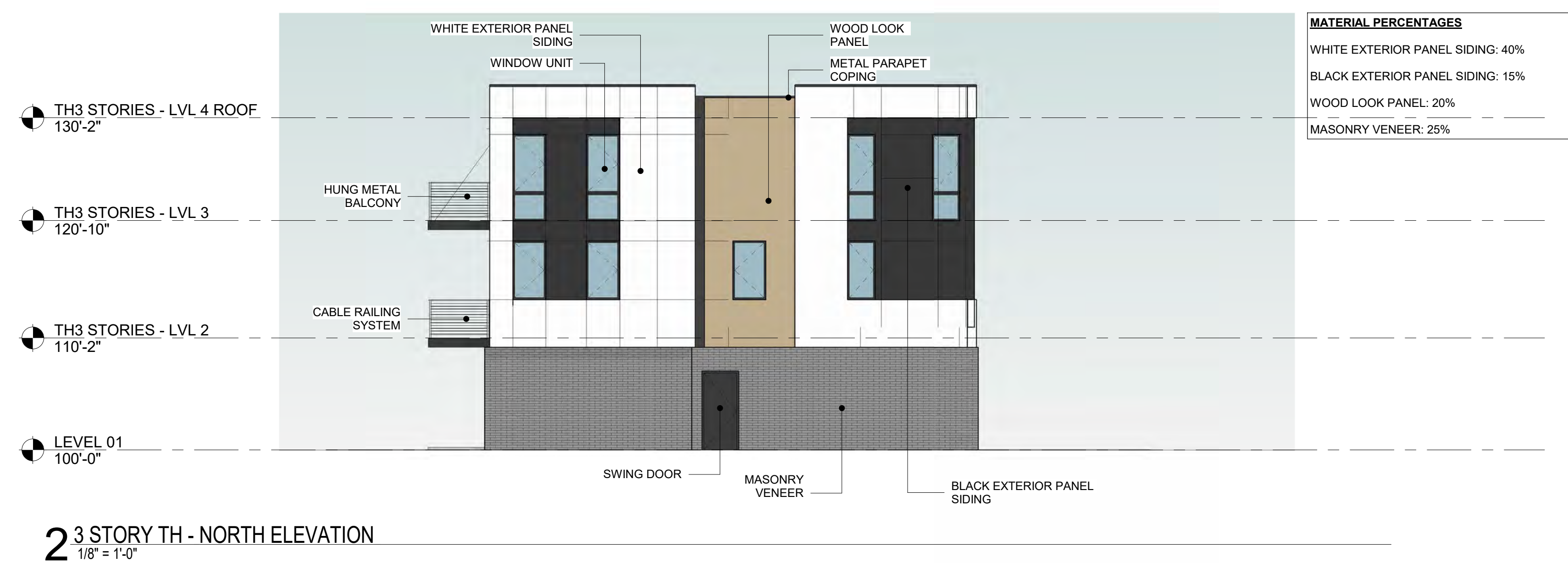
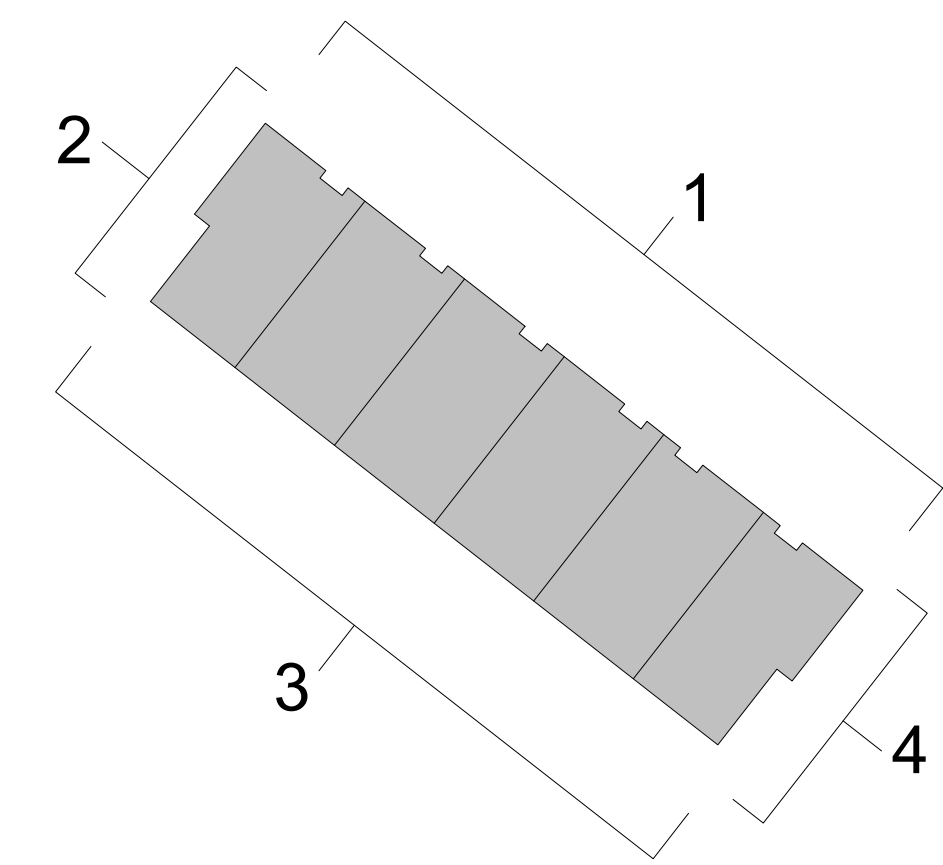
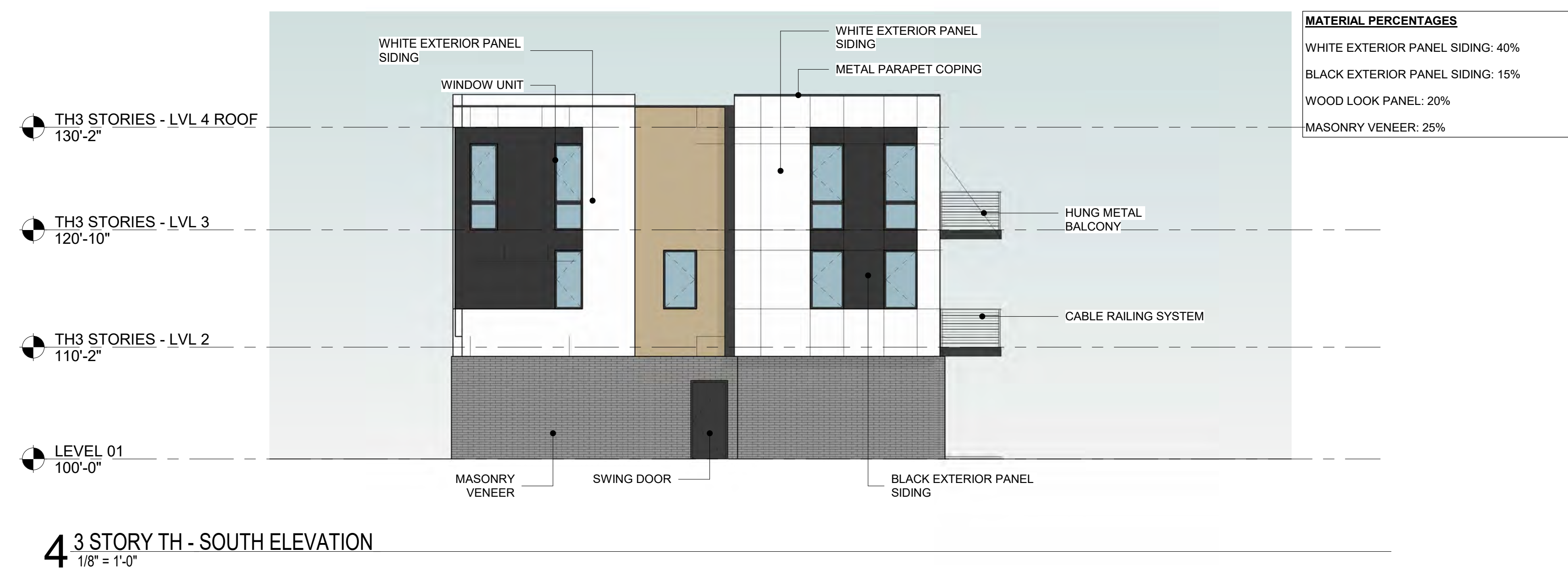
3 TOWNHOME 'J' - LEVEL 03
1/8" = 1'-0"

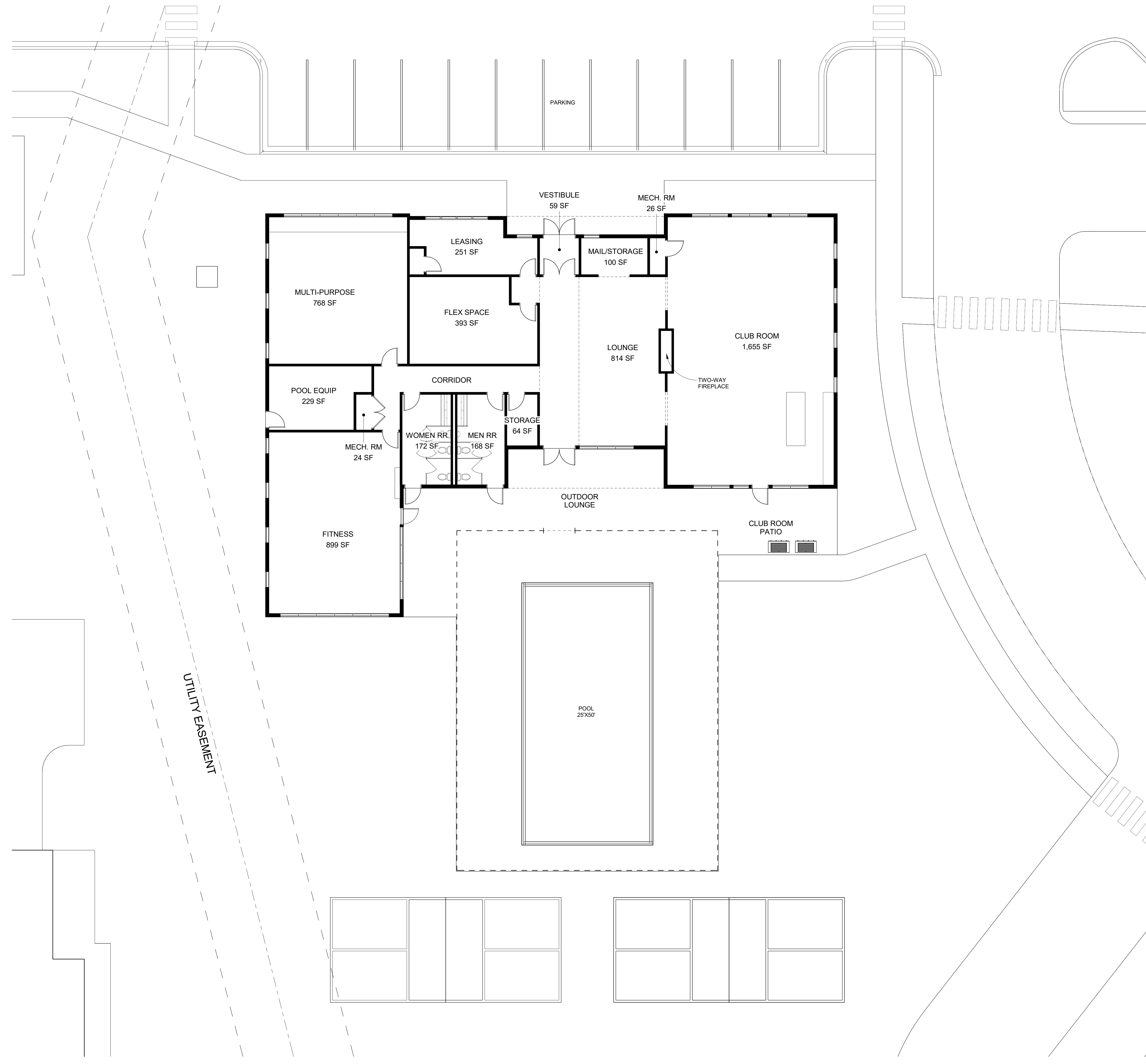


2 TOWNHOME 'J' - LEVEL 02
1/8" = 1'-0"

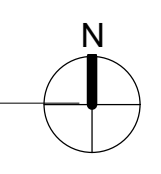


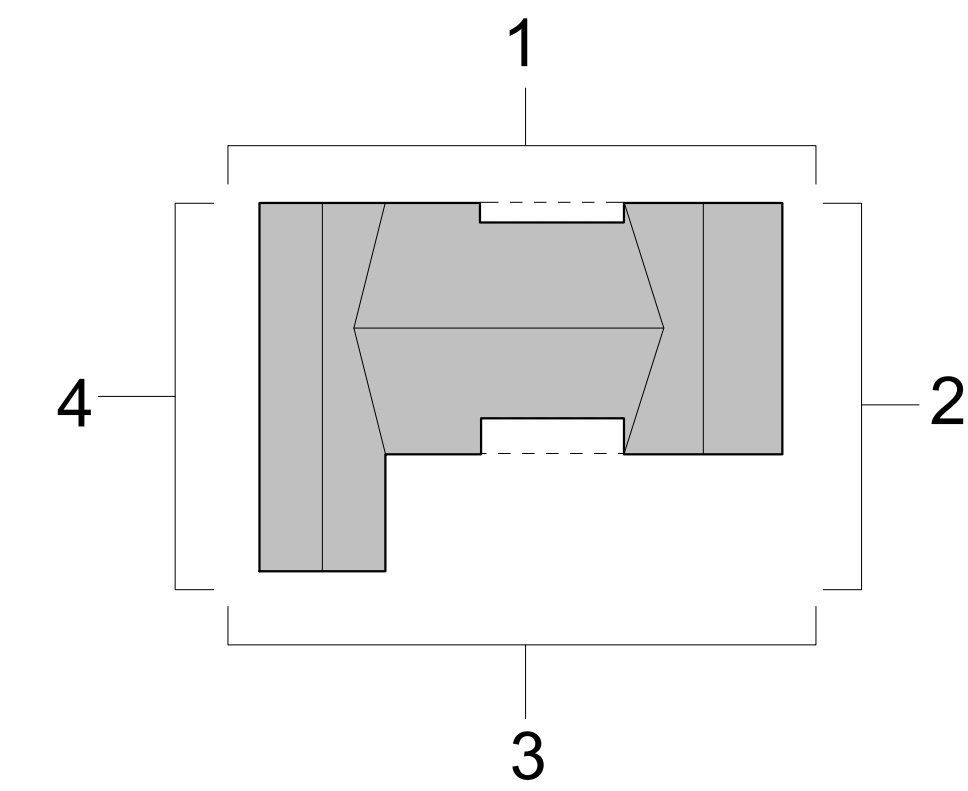
1 CLUBHOUSE CONCEPT
1/8" = 1'-0"





1 CLUBHOUSE CONCEPT
1/8" = 1'-0"





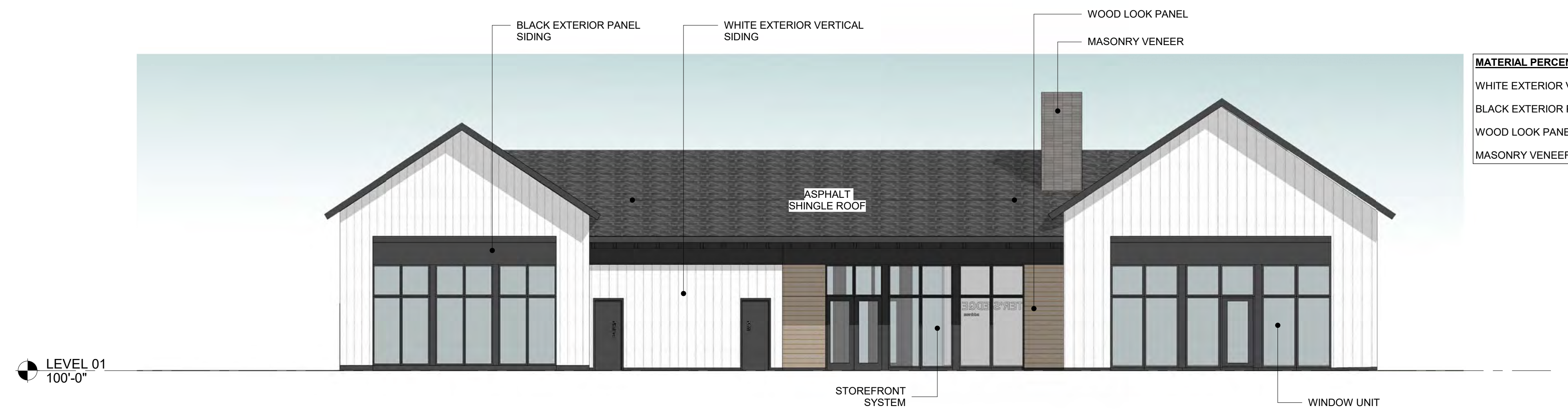
Key Plan Club House



MATERIAL PERCENTAGES

WHITE EXTERIOR VERTICAL SIDING:	46%
BLACK EXTERIOR LAP SIDING:	37%
BLACK EXTERIOR PANEL SIDING:	14%
MASONRY VENEER:	3%

4 CLUBHOUSE WEST ELEVATION
1/8" = 1'-0"



MATERIAL PERCENTAGES

WHITE EXTERIOR VERTICAL SIDING:	46%
BLACK EXTERIOR PANEL SIDING:	20%
WOOD LOOK PANEL:	6%
MASONRY VENEER:	2%

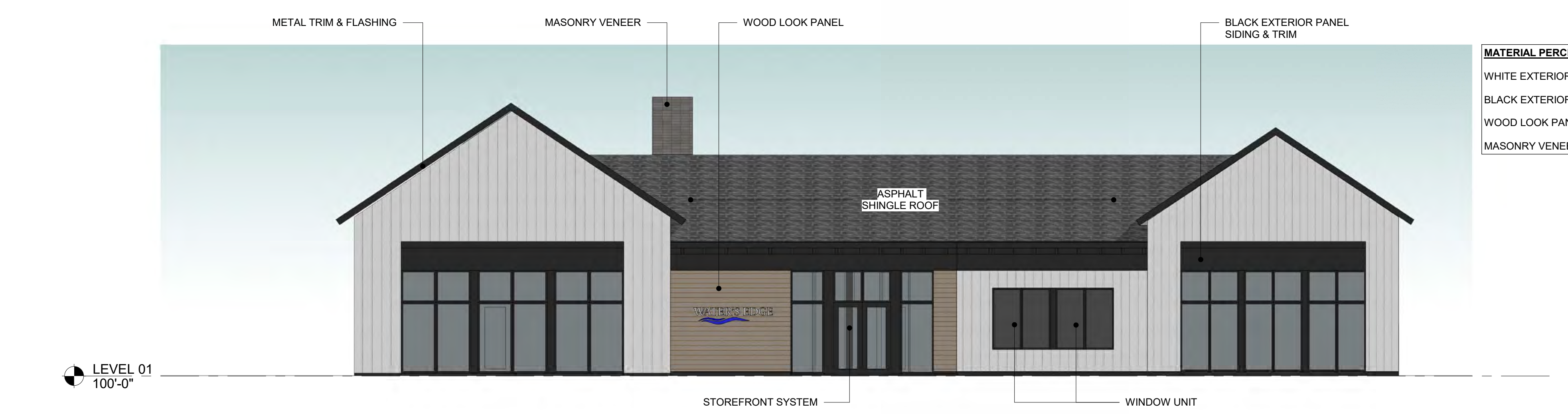
3 CLUBHOUSE SOUTH ELEVATION
1/8" = 1'-0"



MATERIAL PERCENTAGES

WHITE EXTERIOR VERTICAL SIDING:	54%
BLACK EXTERIOR LAP SIDING:	21%
BLACK EXTERIOR PANEL SIDING:	25%

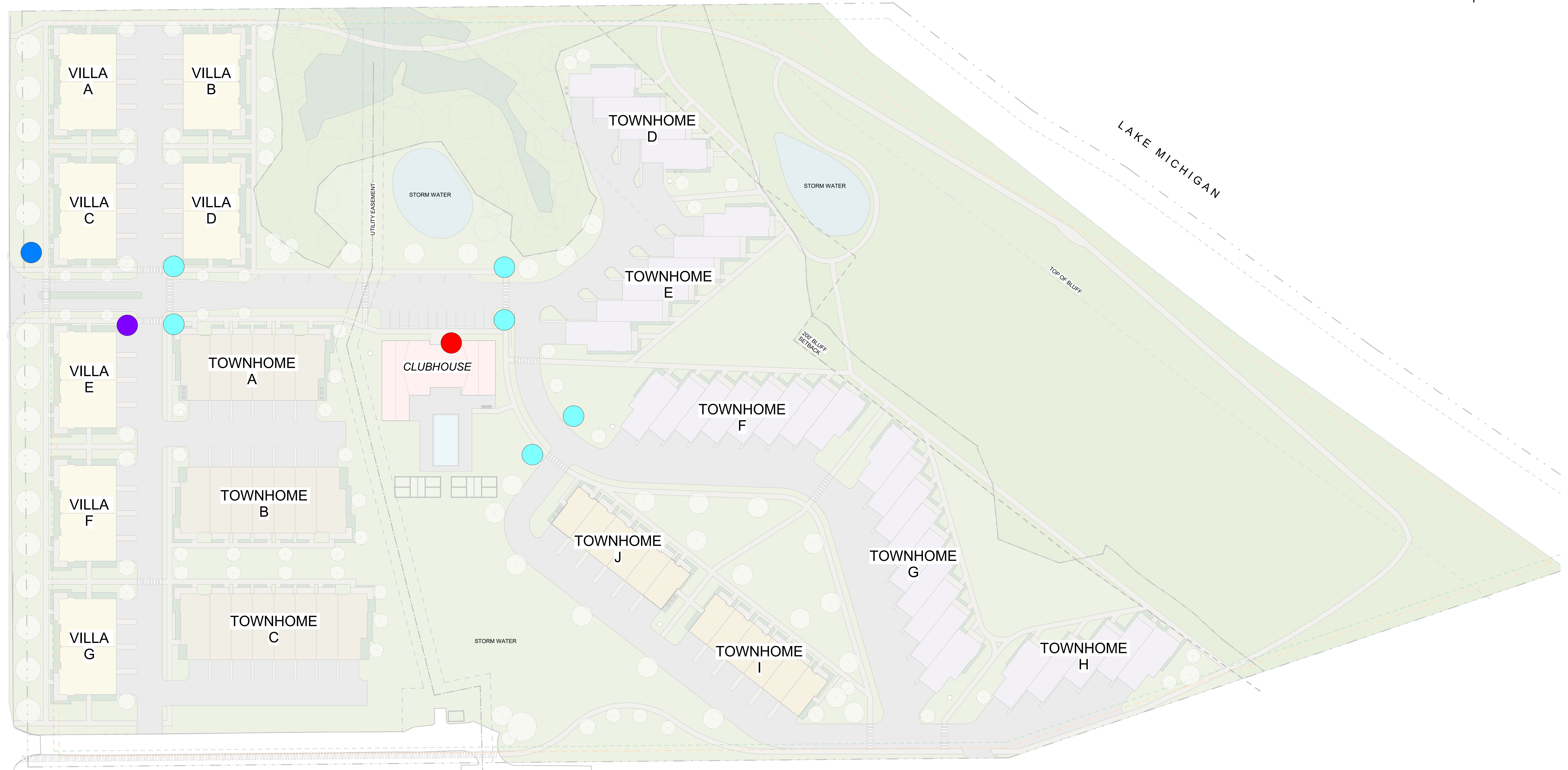
2 CLUBHOUSE EAST ELEVATION
1/8" = 1'-0"



MATERIAL PERCENTAGES

WHITE EXTERIOR VERTICAL SIDING:	46%
BLACK EXTERIOR PANEL SIDING:	43%
WOOD LOOK PANEL:	9%
MASONRY VENEER:	2%

1 CLUBHOUSE NORTH ELEVATION
1/8" = 1'-0"



MONUMENT SIGNAGE ●



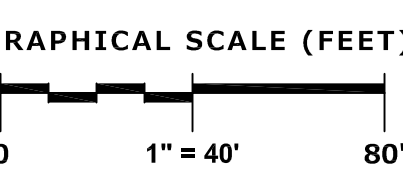
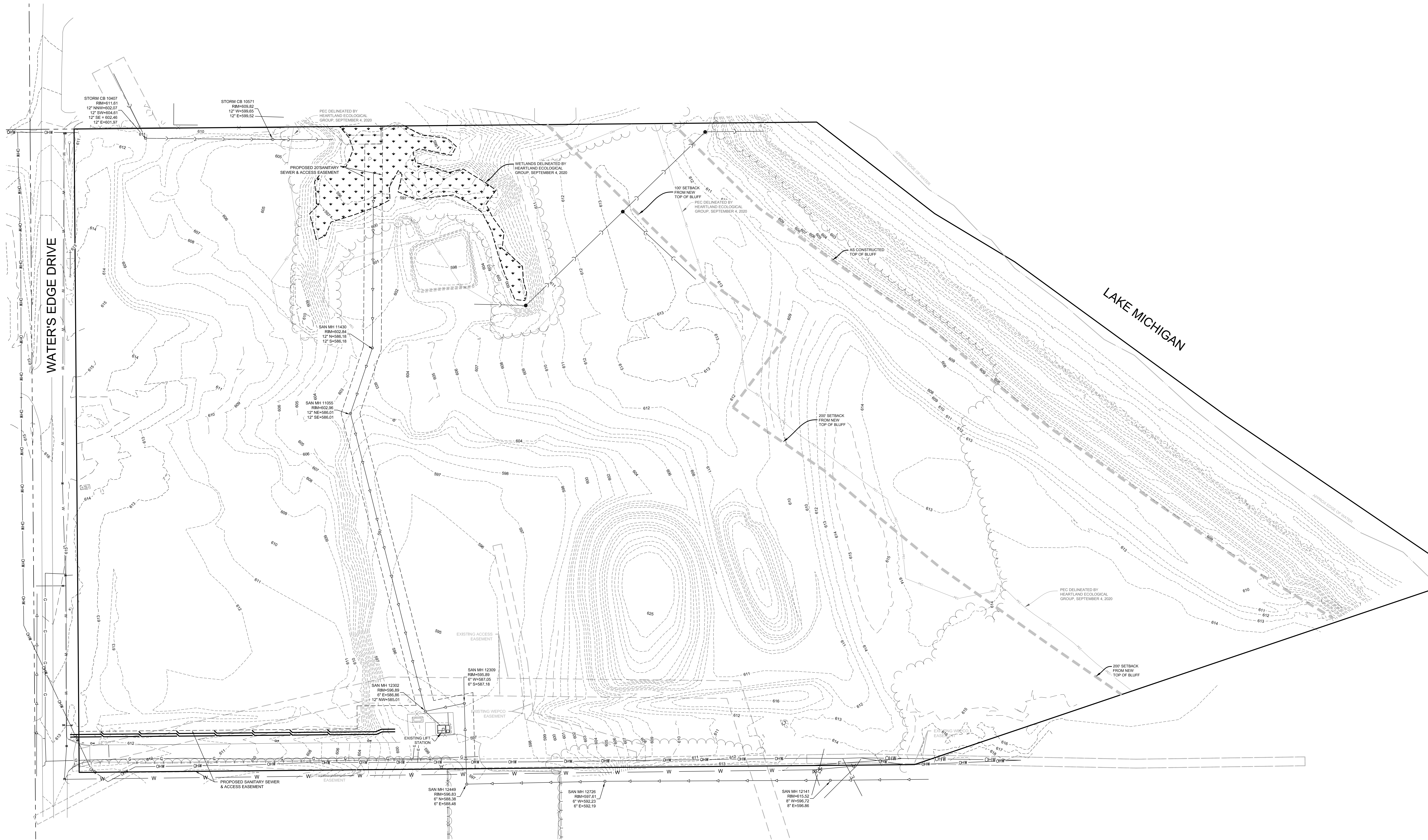
DIRECTIONAL MAP SIGNAGE ●



DIRECTIONAL SIGNAGE ●



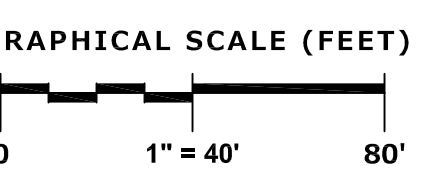
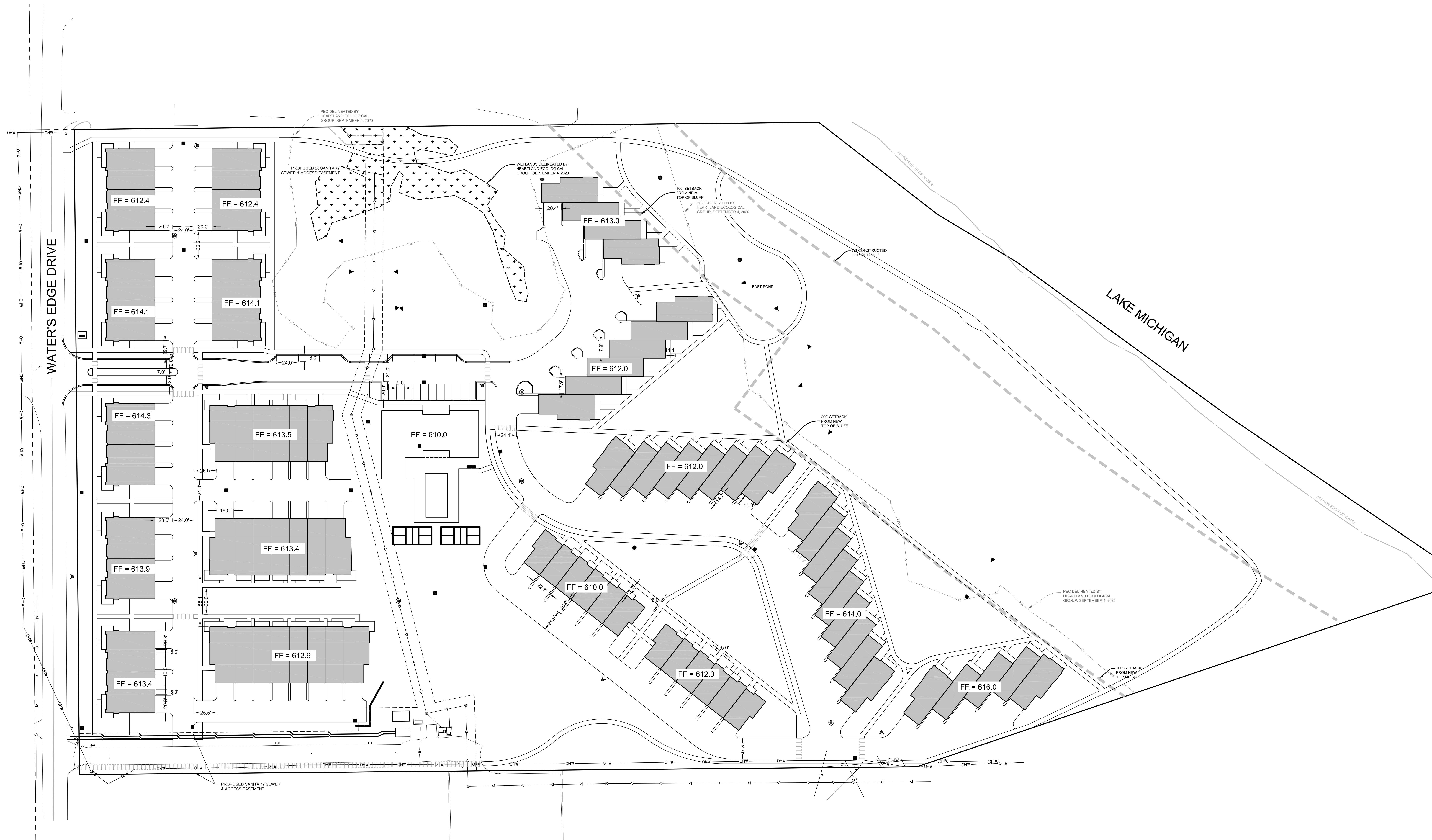
BUILDING SIGNAGE ●



C100

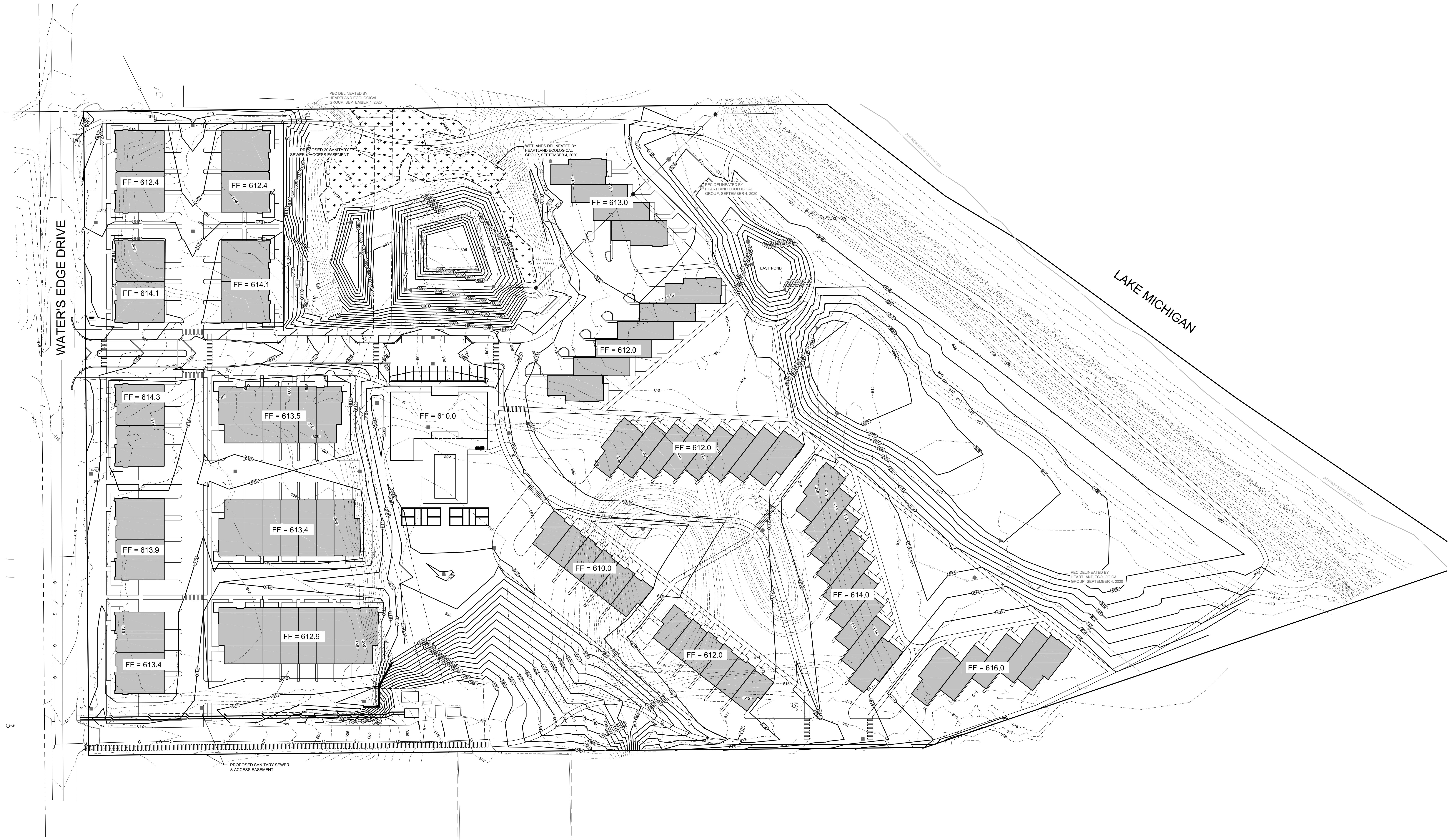
EXISTING CONDITIONS

CALEDONIA MULTIFAMILY
PROJECT # 220541 07/10/23
PEG # 2145.00-W1



C101
SITE PLAN

CALEDONIA MULTIFAMILY
PROJECT #: 220541 07/10/23
PEG #: 2145.00-W1

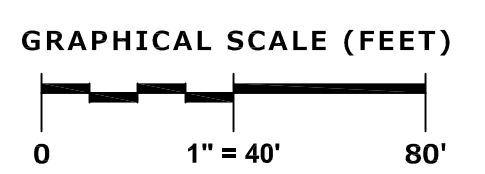
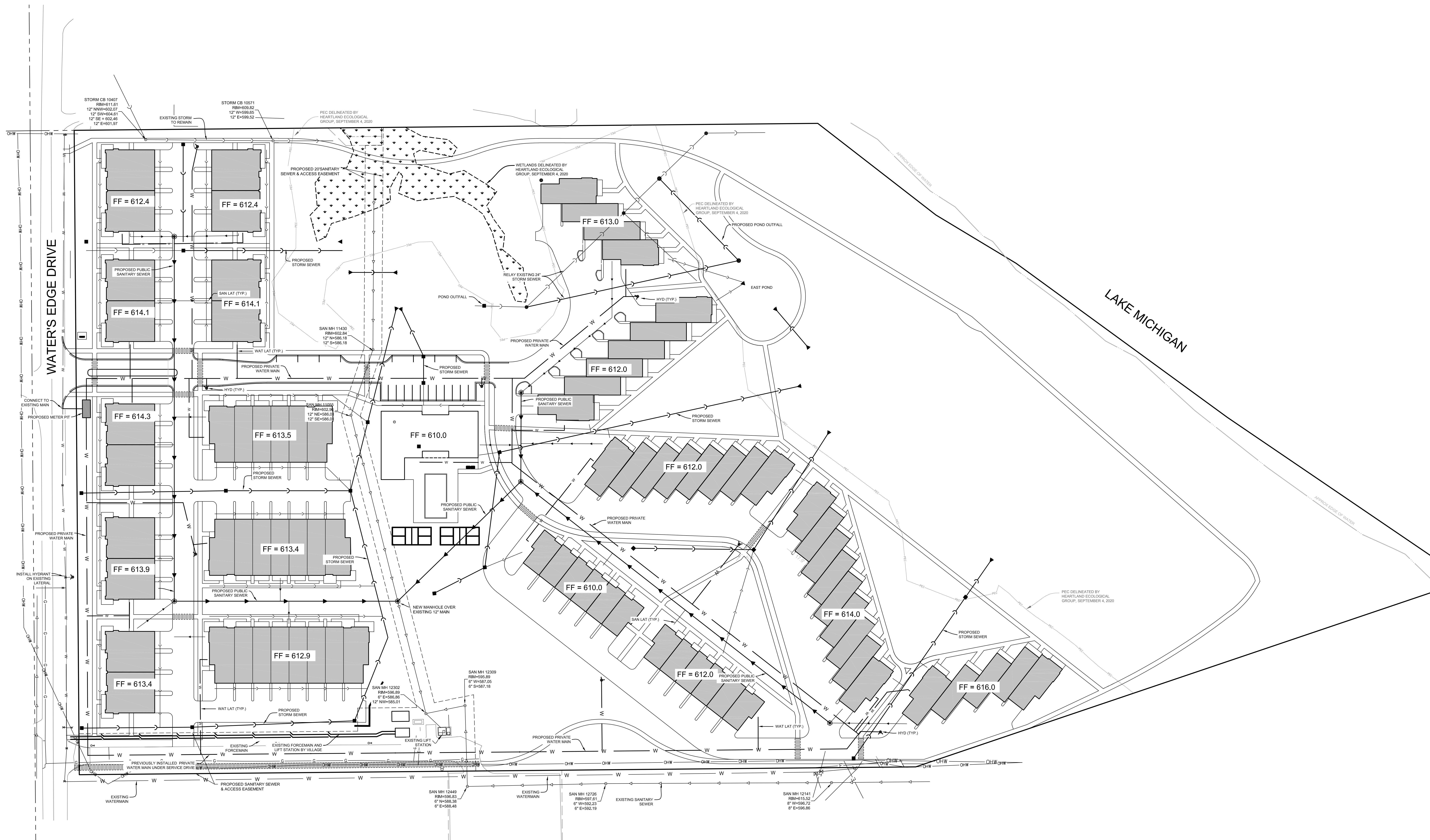


GRAPHICAL SCALE (FEET)
 0 1" = 40' 80'

C102

GRADING PLAN

CALEDONIA MULTIFAMILY
 PROJECT #: 220504 | 07/10/23
 PEG #: 2145.00-01



C103
UTILITY PLAN

CALEDONIA MULTIFAMILY
PROJECT # 220541 07/10/23
PEG # 2145.00-W1

Z:\PROJECTS\2020\2145-00-WATER\DWG\2145-00-WATER\TRAINING MOVEMENTS.DWG 7/7/2023 4:12 PM

WATER'S EDGE DRIVE

LAKE MICHIGAN

EAST POND

WETLANDS DELINEATED BY HEATLAND ECOLOGICAL GROUP, SEPTEMBER 4, 2020

APPROX. EDGE OF WATER

APPROX. EDGE OF WATER

FF = 612.4

FF = 612.4

FF = 614.1

FF = 614.1

FF = 613.0

FF = 612.0

FF = 614.3

FF = 613.5

FF = 610.0

FF = 612.0

FF = 613.9

FF = 613.4

FF = 610.0

FF = 614.0

FF = 613.4

FF = 612.9

FF = 612.0

FF = 616.0

GATED FOR EMERGENCY ACCESS ONLY



GRAPHICAL SCALE (FEET)
0 1" = 40' 80'

SITE OVERVIEW AND HYDRANT LOCATIONS

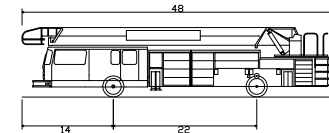
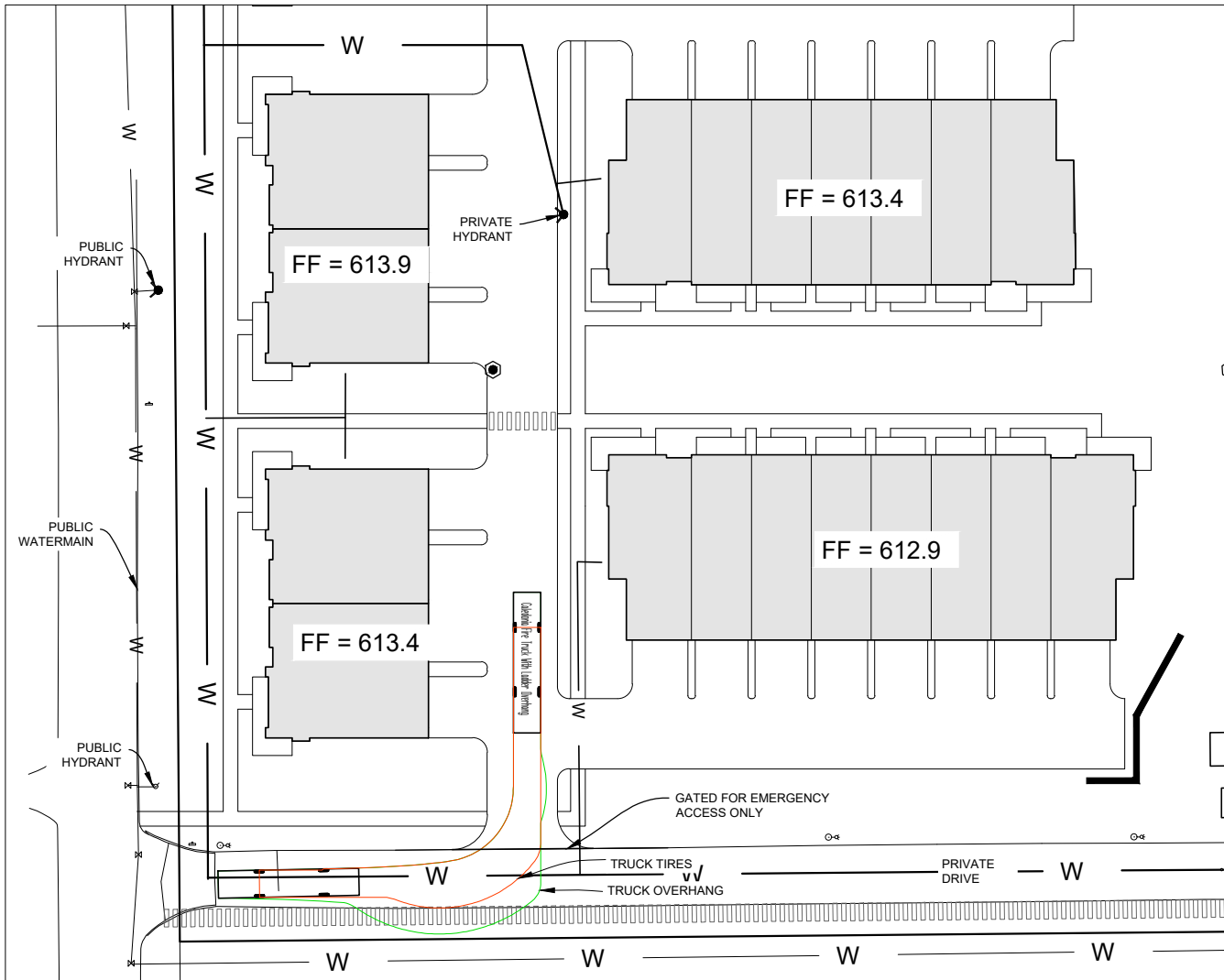
PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186 | WWW.PINNACLE-ENGR.COM

PLAN | DESIGN | DELIVER

PEG JOB# 2145.00

07-07-23

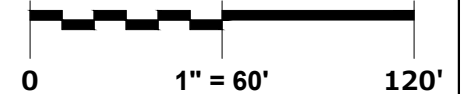


Caledonia Fire Truck With Ladder

Overall Length	48.000ft
Overall Width	9.270ft
Overall Body Height	10.654ft
Min Body Ground Clearance	1.084ft
Max Truck Width	9.268ft
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	40.917ft



GRAPHICAL SCALE (FEET)



2: P:\PROJECTS\2023\23-000\DRAWINGS\TRUCK TURNING\TRUCK TURNING.DWG 07/03/23 11:12 PM

WETLANDS DELINEATED BY
HEARTLAND ECOLOGICAL
GROUP, SEPTEMBER 4, 2020

FF = 613.0

PRIVATE
HYDRANT

TRUCK
OVERHANG
TRUCK
TIRES

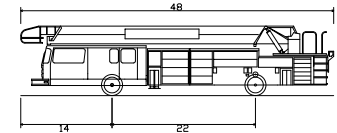
FF = 612.0

Caledonia Fire Truck With Ladder Overhang

PRIVATE
HYDRANT

FF = 610.0

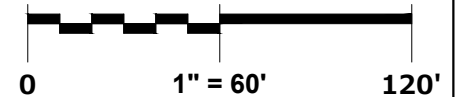
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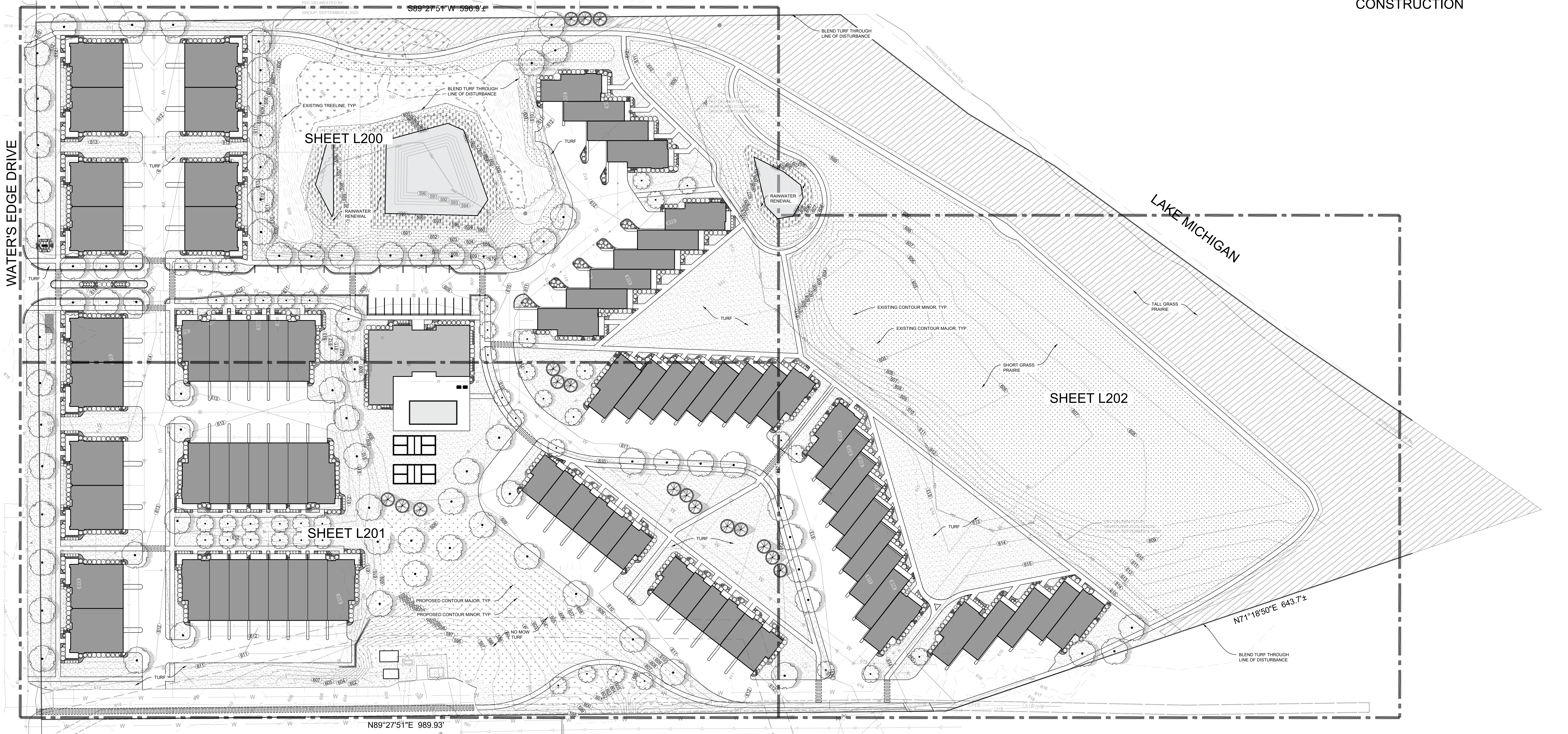
Caledonia Fire Truck With Ladder Overhang
 Overall Length 48.00ft
 Overall Width 14.27ft
 Overall Body Height 10.65ft
 Min Body Ground Clearance 1.08ft
 Max Track Width 9.26ft
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 40.97ft



GRAPHICAL SCALE (FEET)



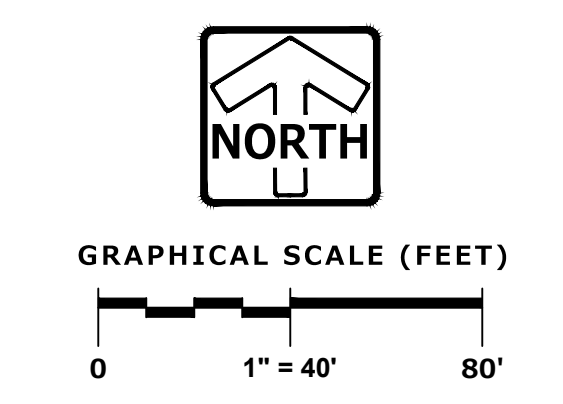
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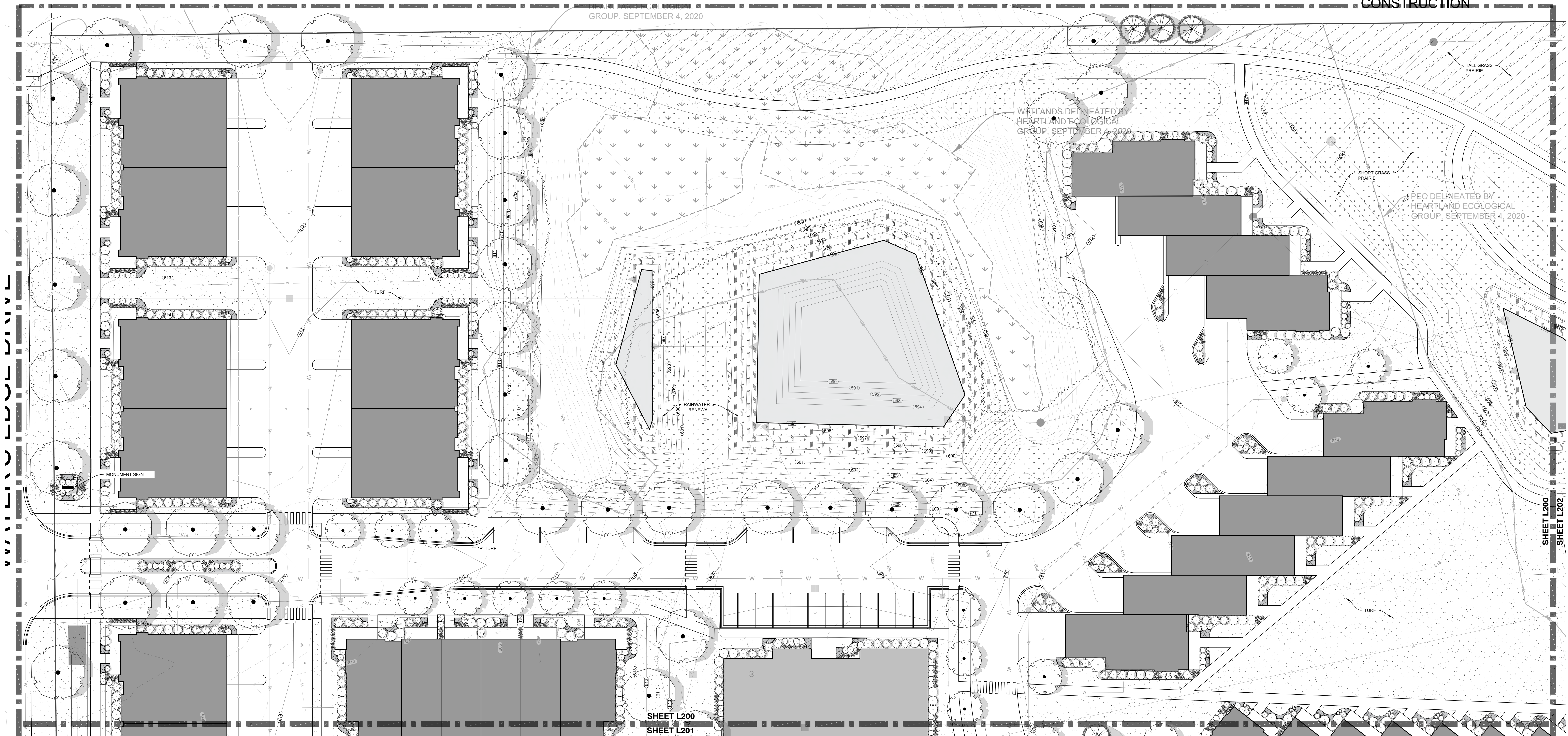
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME															
	86	DECIDUOUS TREE Acer freemanii 'Autumn Fantasy' Acer saccharum 'Flax Mill Majesty' Aesculus hippocastanum Betula nigra Gleditsia triacanthos inermis 'Shademaster' Gymnocladus dioica Quercus x schuetti Tilia tomentosa 'Sterling'	Autumn Fantasy Maple Flax Mill Majesty Maple European Horsechestnut River Birch Multi-Stem Shademaster Locust Swamp Bur Oak Sterling Silver Linden	2' Cal. 2' Cal. 2' Cal. 10' Ht. 2' Cal. 2' Cal. 2' Cal.	50' T x 40' W 55' T x 45' W 65' T x 55' W 55' T x 50' W 60' T x 50' W 70' T x 45' W 70' T x 65' W 45' T x 25' W		9	LARGE DECIDUOUS SHRUB Aronia arbutifolia 'Brilliantissima' Cephalanthus occidentalis 'Ping Pong' Physocarpus opulifolius 'Center Glow'	Brilliant Red Chokeberry Ping Pong Buttonbush Center Glow Ninebark	3 gal. 3 gal. 3 gal.	7' T x 8' W 8' T x 8' W 8' T x 8' W		366	MEDIUM EVERGREEN SHRUB Juniperus chinensis 'Sea Green' Juniperus chinensis 'Sea of Gold' Juniperus sabina 'Buffalo' Juniperus virginiana 'Grey Owl' Taxus x media 'Densiformis' Taxus x media 'Tauntonii' Thuja occidentalis 'Holmstrup'	Sea Green Juniper Sea of Gold Juniper Buffalo Juniper Eastern Redcedar Juniper Dense Yew Tauton Yew Holmstrup Cedar	3 gal. 3 gal. 3 gal. 2 gal. 3 gal. 3 gal. 4' Ht.	5' T x 5' W 3' T x 4' W 1' T x 7' W 3' T x 5' W 5' T x 6' W 4' T x 5' W 14' T x 4' W		326	MEDIUM DECIDUOUS SHRUB Hydrangea p 'Vanilla Strawberry' Ilex verticillata 'Jim Dandy' Ilex verticillata 'Red Sprite' Rosa rugosa 'Purple Pavement' Sambucus nigra 'Black Lace' Syringa meyeri 'Palibin'	Vanilla Strawberry Hydrangea Jim Dandy Winterberry Red Sprite Winterberry Purple Pavement Rugosa Rose Black Lace Elderberry Dwarf Korean Lilac	3 gal. 3 gal. 3 gal. 3 gal. 3 gal. 3 gal.	7' T x 5' W 5' T x 5' W 5' T x 5' W 5' T x 5' W 5' T x 5' W 5' T x 6' W		100	SMALL EVERGREEN SHRUB Picea abies 'Pumila' Pinus mugo 'Stowmound' Taxus x media 'Everlow'	Pumila Spruce Stowmound Mugo Pine Everlow Yew	3 gal. 3 gal. 3 gal.	3' T x 4' W 3' T x 3' W 3' T x 5' W		352	SMALL DECIDUOUS SHRUB Cornus stolonifera 'Arctic Fire' Diervilla x Kodiak Orange Hydrangea paniculata 'Bobo' Itea virginica 'Little Henry' Spiraea japonica 'Magic Carpet' Weigela florida 'Dark Horse'	Arctic Fire Dogwood Kodiak Orange Diervilla Bobo Hydrangea Little Henry Sweetspire Magic Carpet Spirea Dark Horse Weigela	2 gal. 2 gal. 2 gal. 2 gal. 2 gal. 2 gal.	3' T x 3' W 3' T x 4' W 3' T x 4' W 3' T x 3' W 2' T x 3' W 3' T x 3' W
		43	ORNAMENTAL TREE Amelanchier x grandiflora 'Autumn Brilliance' Cercis canadensis Cornus alternifolia Malus x 'Prairie Maid' Malus x 'Profusion' Malus x 'Royal Raindrops' Malus x 'Sugar Tyme' Syringa reticulata 'Ivory Silk'	Autumn Brilliance Serviceberry Eastern Redbud Multi-stem Pagoda Dogwood Prairie Maid Crabapple Profusion Crabapple Royal Raindrops Crabapple Sugar Tyme Crabapple Ivory Silk Tree Lilac	1.5' Cal. 8' Ht. 1.5' Cal. 1.5' Cal. 1.5' Cal. 1.5' Cal. 1.5' Cal. 1.5' Cal.		20' T x 20' W 25' T x 25' W 18' T x 18' W 20' T x 25' W 30' T x 25' W 20' T x 15' W 25' T x 25' W 25' T x 15' W		505	TALL ORNAMENTAL GRASS Andropogon gerardii 'Dancing Wind' Calamagrostis x a 'Karl Foerster' Calamagrostis x a 'Overdam' Miscanthus sinensis 'Oktoberfest' Panicum virgatum 'Northwind'	Dancing Wind Big Blue Stem Karl Foerster Reed Grass Overdam Reed Grass Oktoberfest Miscanthus Northwind Switch Grass		1 gal. 1 gal. 1 gal. 1 gal. 1 gal.	36" T x 30" W 36" T x 24" W 24" T x 24" W 48" T x 36" W 42" T x 28" W		110	SHORT ORNAMENTAL GRASS Deschampsia cespitosa Eragrostis spectabilis Hystrix patula Schizachyrium scoparium 'Blue Heaven' Sporobolus heterolepis 'Tara'		Tufted Hair Grass Purple Love Grass Bottlebrush Grass Blue Heaven Little Bluestem Grass Prairie Droppseed	1 gal. 1 gal. 1 gal. 1 gal. 1 gal.	24" T x 30" W 24" T x 18" W 20" T x 12" W 30" T x 28" W 15" T x 20" W														
			1	GROUND COVERS																															
			2,774	sf	PERENNIALS		VARIETY OF SPECIES																												
			9,596	sf	PERENNIALS		Agrecol Rainwater Renewal Seed Mix																												
			192,949	sf	PERENNIALS		Agrecol Shortgrass Prairie Seed Mix																												
			103,109	sf	PERENNIALS		Agrecol Tallgrass Prairie Seed Mix																												
			220,010	sf	PERENNIALS		Reinders - Cadet 70/30 Fescue/Blue Seed Mix																												
			4,516	sf	PERENNIALS		Reinders No Mow/Low Grow Seed Mix																												

LANDSCAPE PLAN



HEARTLAND ECOLOGICAL GROUP, SEPTEMBER 4, 2020



PLANT KEY

TREES

- BOTANICAL / COMMON NAME**
LIST OF POSSIBLE SPECIES:
- DECIDUOUS TREE**
Acer freemanii 'Autumn Fantasy' / Autumn Fantasy Maple
Acer saccharum 'Flax Mill Majesty' / Flax Mill Majesty Maple
Aesculus hippocastanum / European Horsechestnut
Betula nigra / River Birch Multi-Stem
Gleditsia triacanthos inermis 'Shademaster' / Shademaster Locust
Gymnocladus dioica / Kentucky Coffee Tree
Quercus x schuetti / Swamp Bur Oak
Tilia tomentosa 'Sterling' / Sterling Silver Linden
- ORNAMENTAL TREE**
Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry
Cercis canadensis / Eastern Redbud Multi-stem
Cornus alternifolia / Pagoda Dogwood
Malus x 'Prairie Maid' / Prairie Maid Crabapple
Malus x 'Profusion' / Profusion Crabapple
Malus x 'Royal Raindrops' / Royal Raindrops Crabapple
Malus x 'Sugar Tyme' / Sugar Tyme Crabapple
Syringa reticulata 'Ivory Silk' / Ivory Silk Tree Lilac
- EVERGREEN TREE**
Abies concolor / White Fir
Picea abies / Norway Spruce
Picea glauca 'Densata' / Black Hills Spruce
Picea omorika / Serbian Spruce
Pinus strobus / White Pine

SHRUBS

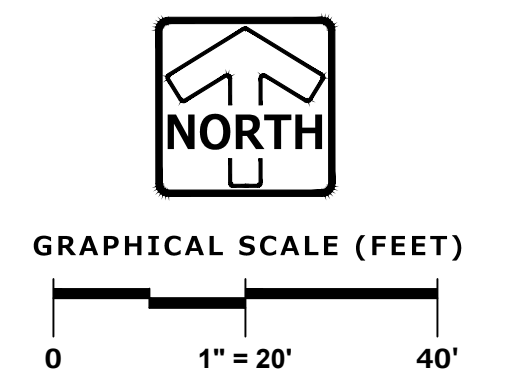
- BOTANICAL / COMMON NAME**
- LARGE DECIDUOUS SHRUB**
Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry
Cephalanthus occidentalis 'Ping Pong' / Ping Pong Buttonbush
Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark
- MEDIUM EVERGREEN SHRUB**
Juniperus chinensis 'Pfitzeriana Kallays' / Kallay Compact Juniper
Juniperus chinensis 'Sea Green' / Sea Green Juniper
Juniperus chinensis 'Sea of Gold' / Sea of Gold Juniper
Juniperus horizontalis 'Youngstown' / Andorra Juniper

- MEDIUM DECIDUOUS SHRUB**
Hydrangea p 'Vanilla Strawberry' / Vanilla Strawberry Hydrangea
Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry
Ilex verticillata 'Red Sprite' / Red Sprite Winterberry
Rosa rugosa 'Purple Pavement' / Purple Pavement Rugosa Rose
Salix purpurea 'Canyon Blue' / Canyon Blue Arctic Willow
Sambucus nigra 'Black Lace' / Black Lace Elderberry
Syringa meyeri 'Palibin' / Dwarf Korean Lilac
- SMALL EVERGREEN SHRUB**
Picea abies 'Pumila' / Pumila Spruce
Pinus mugo 'Stowmound' / Stowmound Mugo Pine
Taxus x media 'Everlow' / Everlow Yew
- SMALL DECIDUOUS SHRUB**
Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood
Diervilla x Kodiak Orange / Kodiak Orange Diervilla
Hydrangea paniculata 'Bobo' / Bobo Hydrangea
Itea virginica 'Little Henry' / Little Henry Sweetgale
Spiraea japonica 'Magic Carpet' / Magic Carpet Spiraea
Weigela florida 'Dark Horse' / Dark Horse Weigela
- TALL ORNAMENTAL GRASS**
Andropogon gerardii 'Dancing Wind' / Dancing Wind Big Blue Stem
Calamagrostis x a 'Karl Foerster' / Karl Foerster Reed Grass
Calamagrostis x a 'Overdam' / Overdam Reed Grass
Miscanthus sinensis 'Oktoberfest' / Oktoberfest Miscanthus
Panicum virgatum 'Northwind' / Northwind Switch Grass
- SHORT ORNAMENTAL GRASS**
Deschampsia cespitosa / Tufted Hair Grass
Eragrostis spectabilis / Purple Love Grass
Hystrix patula / Bottlebrush Grass
Schizachyrium scoparium 'Blue Heaven' / Blue Heaven Little Bluestem Grass
Sporobolus heterolepis 'Tara' / Prairie Dropseed

SHRUB AREAS

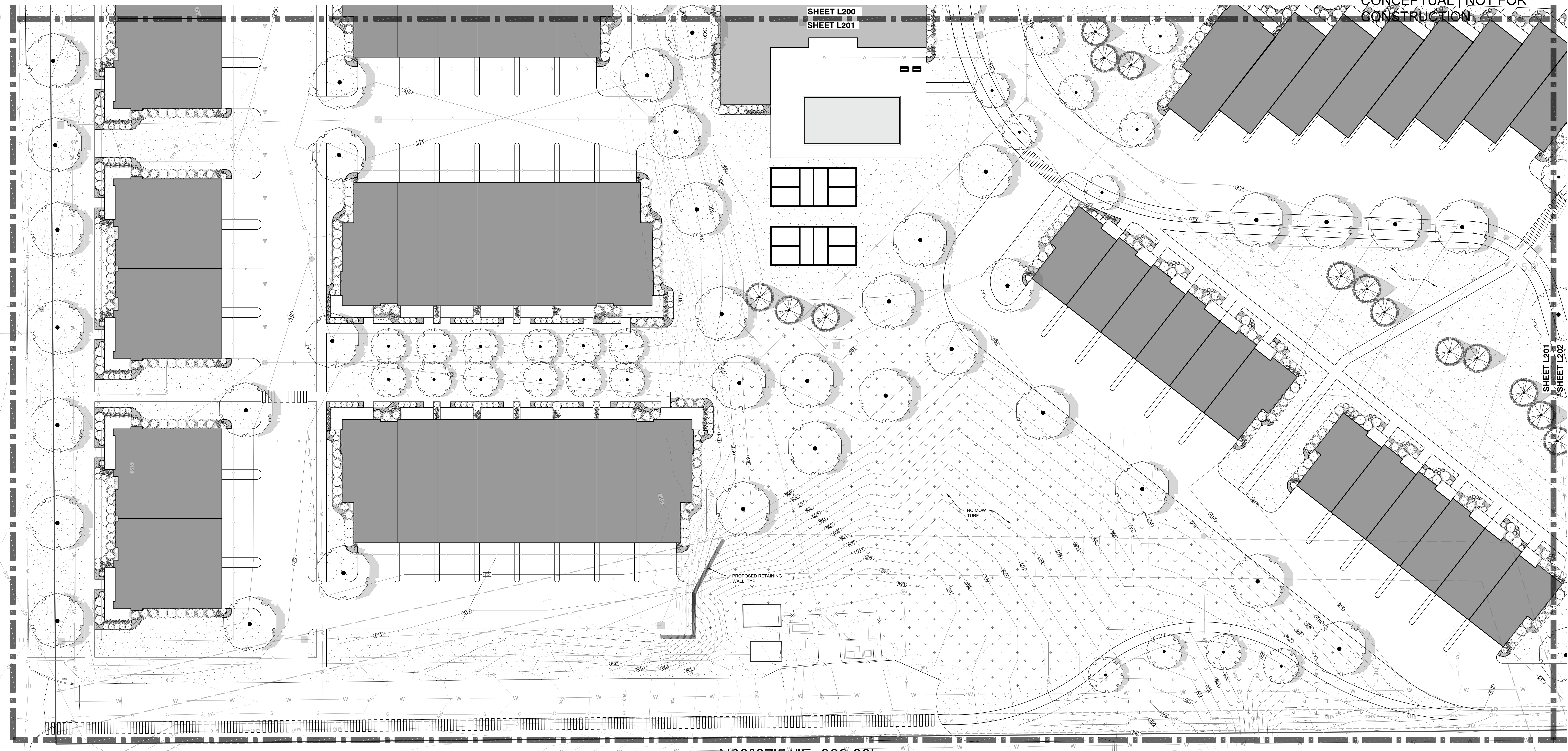
- BOTANICAL / COMMON NAME**
- PERENNIALS / VARIETY OF SPECIES**
- GROUND COVERS**
- Rainwater Renewal / Agrecol Rainwater Renewal Seed Mix
- Shortgrass Prairie / Agrecol Shortgrass Prairie Seed Mix
- Tallgrass Prairie / Agrecol Tallgrass Prairie Seed Mix
- Turf Hydroseed / Reinders - Cadet 70/30 Fescue/Blue Mix
- Turf Hydroseed Low Grow / Reinders No Mow/Low Grow Mix

LANDSCAPE ENLARGEMENT



L200

LANDSCAPE ENLARGEMENT



PLANT KEY

TREES

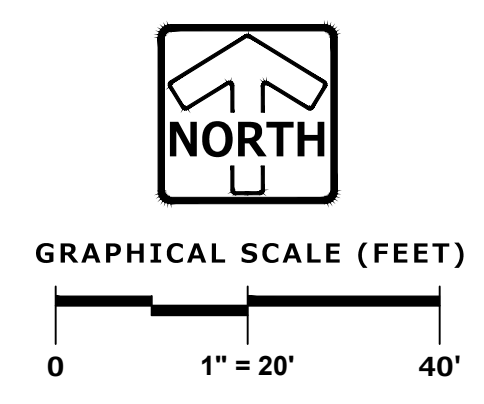
- BOTANICAL / COMMON NAME**
LIST OF POSSIBLE SPECIES:
- DECIDUOUS TREE**
 Acer freemanii 'Autumn Fantasy' / Autumn Fantasy Maple
 Acer saccharum 'Flax Mill Majesty' / Flax Mill Majesty Maple
 Aesculus hippocastanum / European Horsechestnut
 Betula nigra / River Birch Multi-Stem
 Gleditsia triacanthos inermis 'Shademaster' / Shademaster Locust
 Gymnocladus dioica / Kentucky Coffee Tree
 Quercus x schuetti / Swamp Bur Oak
 Tilia tomentosa 'Sterling' / Sterling Silver Linden
- ORNAMENTAL TREE**
 Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry
 Cercis canadensis / Eastern Redbud Multi-stem
 Cornus alternifolia / Pagoda Dogwood
 Malus x 'Prairie Maid' / Prairie Maid Crabapple
 Malus x 'Profusion' / Profusion Crabapple
 Malus x 'Royal Raindrops' / Royal Raindrops Crabapple
 Malus x 'Sugar Tyme' / Sugar Tyme Crabapple
 Syringa reticulata 'Ivory Silk' / Ivory Silk Tree Lilac
- EVERGREEN TREE**
 Abies concolor / White Fir
 Picea abies / Norway Spruce
 Picea glauca 'Denata' / Black Hills Spruce
 Picea omorika / Serbian Spruce
 Pinus strobus / White Pine
- SHRUBS**
- BOTANICAL / COMMON NAME**
- LARGE DECIDUOUS SHRUB**
 Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry
 Cephalanthus occidentalis 'Ping Pong' / Ping Pong Butterflybush
 Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark
- MEDIUM EVERGREEN SHRUB**
 Juniperus chinensis 'Pfitzeriana Kallays' / Kallay Compact Juniper
 Juniperus chinensis 'Sea Green' / Sea Green Juniper
 Juniperus chinensis 'Sea of Gold' / Sea of Gold Juniper
 Juniperus horizontalis 'Youngstown' / Andorra Juniper

- JUNIPERUS**
- Juniperus sabiniana 'Buffalo' / Buffalo Juniper
 Juniperus virginiana 'Grey Owl' / Eastern Redcedar Juniper
 Taxus x media 'Danish Form' / Dense Yew
 Taxus x media 'Tautoni' / Tauton Yew
 Thuja occidentalis 'Holmstrup' / Holmstrup Cedar
- MEDIUM DECIDUOUS SHRUB**
 Hydrangea p 'Vanilla Strawberry' / Vanilla Strawberry Hydrangea
 Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry
 Ilex verticillata 'Red Sprite' / Red Sprite Winterberry
 Rosa rugosa 'Purple Pavement' / Purple Pavement Rugosa Rose
 Salix purpurea 'Canyon Blue' / Canyon Blue Arctic Willow
 Sambucus nigra 'Black Lace' / Black Lace Elderberry
 Syringa meyeri 'Palibin' / Dwarf Korean Lilac
- SMALL EVERGREEN SHRUB**
 Picea abies 'Pumila' / Pumila Spruce
 Pinus mugo 'Slowmound' / Slowmound Mugo Pine
 Taxus x media 'Everlow' / Everlow Yew
- SMALL DECIDUOUS SHRUB**
 Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood
 Diervilla x kodiak 'Orange' / Kodiak Orange Diervilla
 Hydrangea paniculata 'Bobo' / Bobo Hydrangea
 Itea virginica 'Little Henry' / Little Henry Sweetspire
 Spiraea japonica 'Magic Carpet' / Magic Carpet Spiraea
 Weigela florida 'Dark Horse' / Dark Horse Weigela
- TALL ORNAMENTAL GRASS**
 Andropogon gerardii 'Dancing Wind' / Dancing Wind Big Blue Stem
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 Calamagrostis x a 'Overdam' / Overdam Reed Grass
 Miscanthus sinensis 'Oktoberfest' / Oktoberfest Miscanthus
 Panicum virgatum 'Northwind' / Northwind Switch Grass
- SHORT ORNAMENTAL GRASS**
 Deschampsia cespitosa / Tufted Hair Grass
 Eragrostis spectabilis / Purple Love Grass
 Hystrix patula / Bottlebrush Grass
 Schizachyrium scoparium 'Blue Heaven' / Blue Heaven Little Bluestem Grass
 Sporobolus heterolepis 'Tara' / Prairie Dropseed

SHRUB AREAS

- BOTANICAL / COMMON NAME**
- PERENNIALS / VARIETY OF SPECIES
- GROUND COVERS**
- BOTANICAL / COMMON NAME**
- Rainwater Renewal / Agrecol Rainwater Renewal Seed Mix
- Shortgrass Prairie / Agrecol Shortgrass Prairie Seed Mix
- Tallgrass Prairie / Agrecol Tallgrass Prairie Seed Mix
- Turf Hydroseed / Reinders - Cadet 70/30 Fescue/Blue Mix
- Turf Hydroseed Low Grow / Reinders No Mow/Low Grow Mix

LANDSCAPE ENLARGEMENT



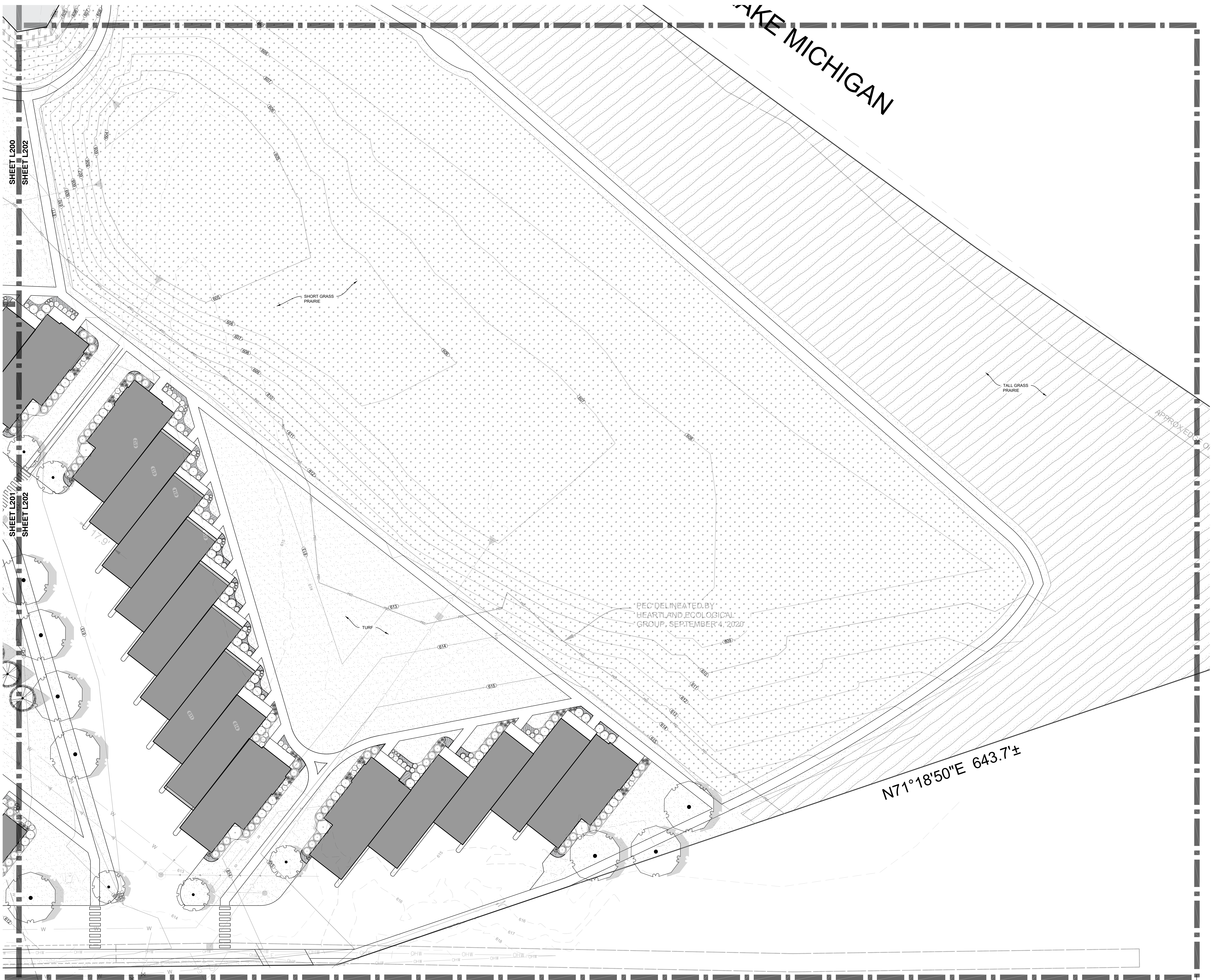
L201

LANDSCAPE ENLARGEMENT

LAKE MICHIGAN

PLANT KEY

- TREES**
- DECIDUOUS TREE**
- Acer freemanii 'Autumn Fantasy' / Autumn Fantasy Maple
 - Acer saccharum 'Flax Mill Majesty' / Flax Mill Majesty Maple
 - Aesculus hippocastanum / European Horsechestnut
 - Betula nigra / River Birch Multi-Stem
 - Gleditsia 1 'Shademaster' / Shademaster Locust
 - Gymnocladus dioica / Kentucky Coffee Tree
 - Quercus x schuetti / Swamp Bur Oak
 - Tilia tomentosa 'Sterling' / Sterling Silver Linden
- ORNAMENTAL TREE**
- Amelanchier x grandiflora 'A B' / Autumn Brilliance Serviceberry
 - Cercis canadensis / Eastern Redbud Multi-stem
 - Cornus alternifolia / Pagoda Dogwood
 - Malus x 'Prairie Maid' / Prairie Maid Crabapple
 - Malus x 'Profusion' / Profusion Crabapple
 - Malus x 'Royal Raindrops' / Royal Raindrops Crabapple
 - Malus x 'Sugar Tyme' / Sugar Tyme Crabapple
 - Syringa reticulata 'Ivory Silk' / Ivory Silk Tree Lilac
- EVERGREEN TREE**
- Abies concolor / White Fir
 - Picea abies / Norway Spruce
 - Picea glauca 'Densata' / Black Hills Spruce
 - Picea omorika / Serbian Spruce
 - Pinus strobus / White Pine
- SHRUBS**
- LARGE DECIDUOUS SHRUB**
- Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry
 - Cephalanthus occidentalis 'Ping Pong' / Ping Pong Buttonbush
 - Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark
- MEDIUM EVERGREEN SHRUB**
- Juniperus chinensis 'Pfitzeriana Kallays' / Kallay Compact Juniper
 - Juniperus chinensis 'Sea Green' / Sea Green Juniper
 - Juniperus chinensis 'Sea of Gold' / Sea of Gold Juniper
 - Juniperus horizontalis 'Youngstown' / Andorra Juniper
 - Juniperus sabina 'Buffalo' / Buffalo Juniper
 - Juniperus virginiana 'Gray Owl' / Eastern Redcedar Juniper
 - Taxus x media 'Densaformis' / Dense Yew
 - Taxus x media 'Tautonii' / Tauton Yew
- MEDIUM DECIDUOUS SHRUB**
- Hydrangea p 'Vanilla Strawberry' / Vanilla Strawberry Hydrangea
 - Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry
 - Ilex verticillata 'Red Sprite' / Red Sprite Winterberry
 - Rosa rugosa 'Purple Pavement' / Purple Pavement Rugosa Rose
 - Salix purpurea 'Canyon Blue' / Canyon Blue Arctic Willow
 - Sambucus nigra 'Black Lace' / Black Lace Elderberry
 - Syringa meyeri 'Paibin' / Dwarf Korean Lilac
- SMALL EVERGREEN SHRUB**
- Picea abies 'Pumila' / Pumila Spruce
 - Pinus mugo 'Slowmound' / Slowmound Mugo Pine
 - Taxus x media 'Everlow' / Everlow Yew
 - Thuja occidentalis 'Holmstrup' / Holmstrup Cedar
- SMALL DECIDUOUS SHRUB**
- Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood
 - Dieris x 'Kodiak Orange' / Kodiak Orange Dieris
 - Hydrangea paniculata 'Bobo' / Bobo Hydrangea
 - Itea virginica 'Little Henry' / Little Henry Sweetshrub
 - Spiraea japonica 'Magic Carpet' / Magic Carpet Spirea
 - Weigela florida 'Dark Horse' / Dark Horse Weigela
- TALL ORNAMENTAL GRASS**
- Andropogon gerardii 'Dancing Wind' / Dancing Wind Big Blue Stem
 - Calamagrostis x a 'Karl Foerster' / Karl Foerster Reed Grass
 - Calamagrostis x a 'Overdam' / Overdam Reed Grass
 - Miscanthus sinensis 'Oktoberfest' / Oktoberfest Miscanthus
 - Panicum virgatum 'Northwind' / Northwind Switch Grass
- SHORT ORNAMENTAL GRASS**
- Dechampsia cespitosa / Tufted Hair Grass
 - Eragrostis spectabilis / Purple Love Grass
 - Hystrix patula / Bottlebrush Grass
 - Schizachyrium scoparium 'Blue Heaven' / Blue Heaven Little Bluestem Grass
 - Sporobolus heterolepis 'Tara' / Prairie Dropseed
- SHRUB AREAS**
- PERENNIALS/VARIETY OF SPECIES**
- GROUND COVERS**
- Rainwater Renewal / Agrecol Rainwater Renewal Seed Mix
 - Shortgrass Prairie / Agrecol Shortgrass Prairie Seed Mix
 - Tallgrass Prairie / Agrecol Tallgrass Prairie Seed Mix
 - Turf Hydroseed / Reinders - Cadet 70/30 Fescue/Blue Mix
 - Turf Hydroseed Low Grow / Reinders No Mow/Low Grow Mix



SHEET L200
SHEET L202

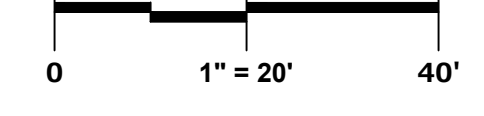
SHEET L201
SHEET L202

LANDSCAPE ENLARGEMENT

N71°18'50"E 643.7'±



GRAPHICAL SCALE (FEET)



L202

LANDSCAPE ENLARGEMENT



PLAN COMMISSION REPORT

Proposal: Cooperative Boundary Agreement Review - Sign Plan

Description: Review a sign plan for installation of an oversized wall sign for an existing commercial building located at 4133 Courtney Street in the Village of Raymond.

Applicant(s): Dennis Sparkowski

Address(es): 4133 Courtney Street

Suggested Motion: That the Plan Commission recommends that the Village Board approve the sign plan submitted by Dennis Sparkowski as presented for the property located at 4133 Courtney Street for the following reasons:

1. The proposed number, height and size of signs are permissible through the sign plan review process.
2. The proposed wall sign will not create sign clutter or confusion along the freeway corridor.

Owner(s): Lee Woelbing

Tax Key(s): 168-04-21-36-001-120 through 168-04-21-36-001-220

Lot Size(s): 3.707 acres

Current Zoning District(s): M-2, General Manufacturing District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Industrial/Business Park

Background: The applicant is requesting approval of a master sign plan for the commercial site located at 4133 Courtney Street to allow for the installation of a ±90.6 square-foot wall sign which exceeds the maximum size of 32 square feet in area in the Village of Caledonia. Village Code allows for the modification to sign regulations as it pertains to number, size, and height on a case-by-case basis if an overall master sign plan is reviewed and approved by the Village.

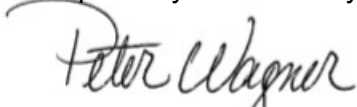
The existing commercial building currently has one wall sign. The Village of Raymond sign code allows an unlimited number of wall signs if the sum area total of all signs does not exceed 500 square feet. The

proposed wall sign will have a total square-foot area of 90 square feet and comply with all other sign regulations for the Village of Raymond. The applicant is asking the Village to provide relief from the Caledonia Sign Code as part of the oversight granted the Village as part of the Cooperative Boundary Agreement.

The proposed wall sign in relation to the size of the building appears to be appropriately scaled. Due to the building's proximity to the freeway and installed on the building, the proposed sign will not create clutter or confusion along the freeway corridor, should not be a distraction to drivers, and provide better readability from the freeway. Staff recommends approval of the proposed sign plan. If the applicant wishes to add or install additional signs, the applicant will need to amend their sign plan to reflect those changes.

If the Plan Commission is comfortable with the proposed sign plan, a suggested motion has been prepared at the beginning of this report.

Respectfully submitted by:

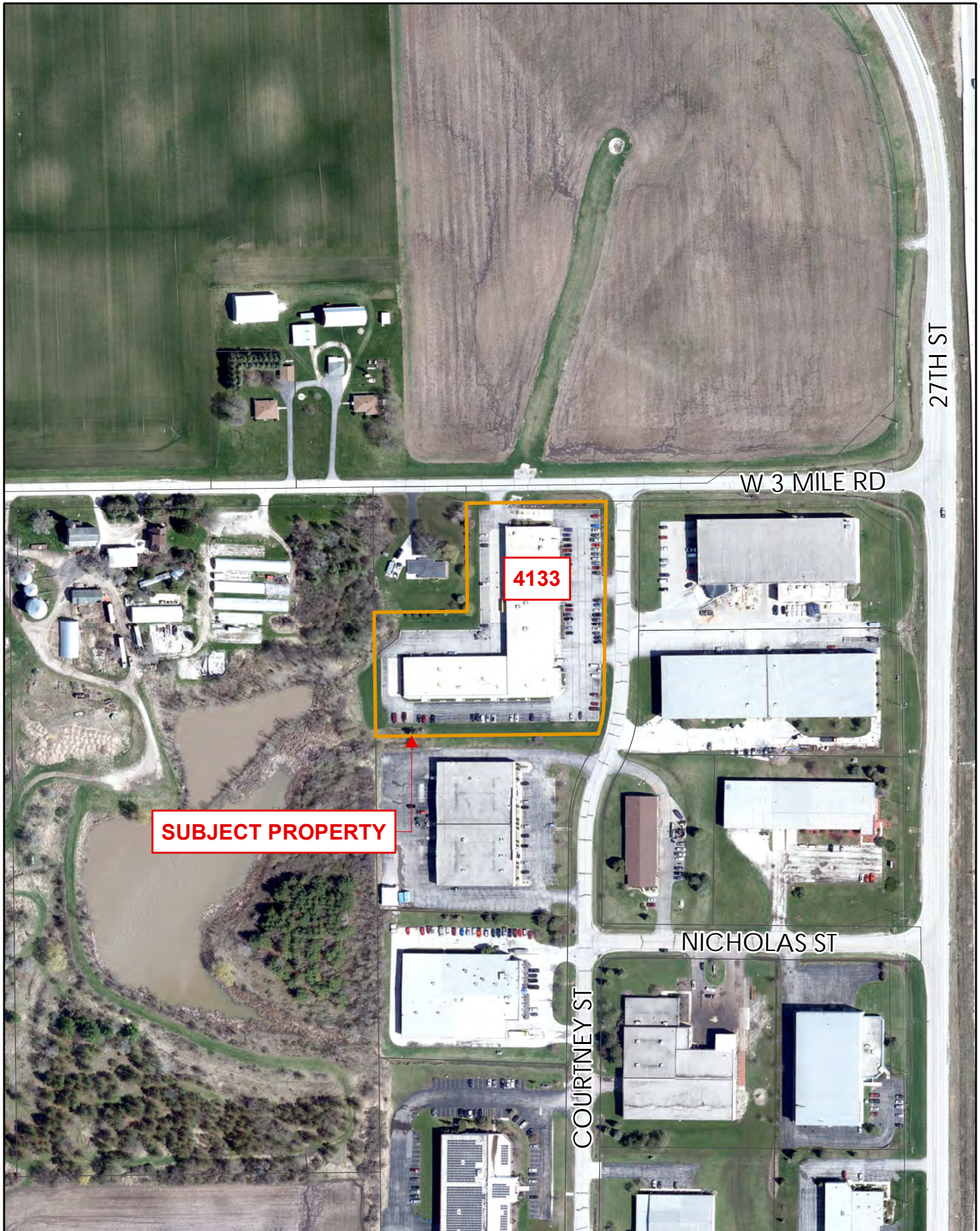
A handwritten signature in black ink that reads "Peter Wagner". The signature is written in a cursive style with a large initial "P".

Peter Wagner, AICP
Development Director



4133 COURTNEY ST

0 120 240 480 Feet



SUBJECT PROPERTY

4133

W 3 MILE RD

27TH ST

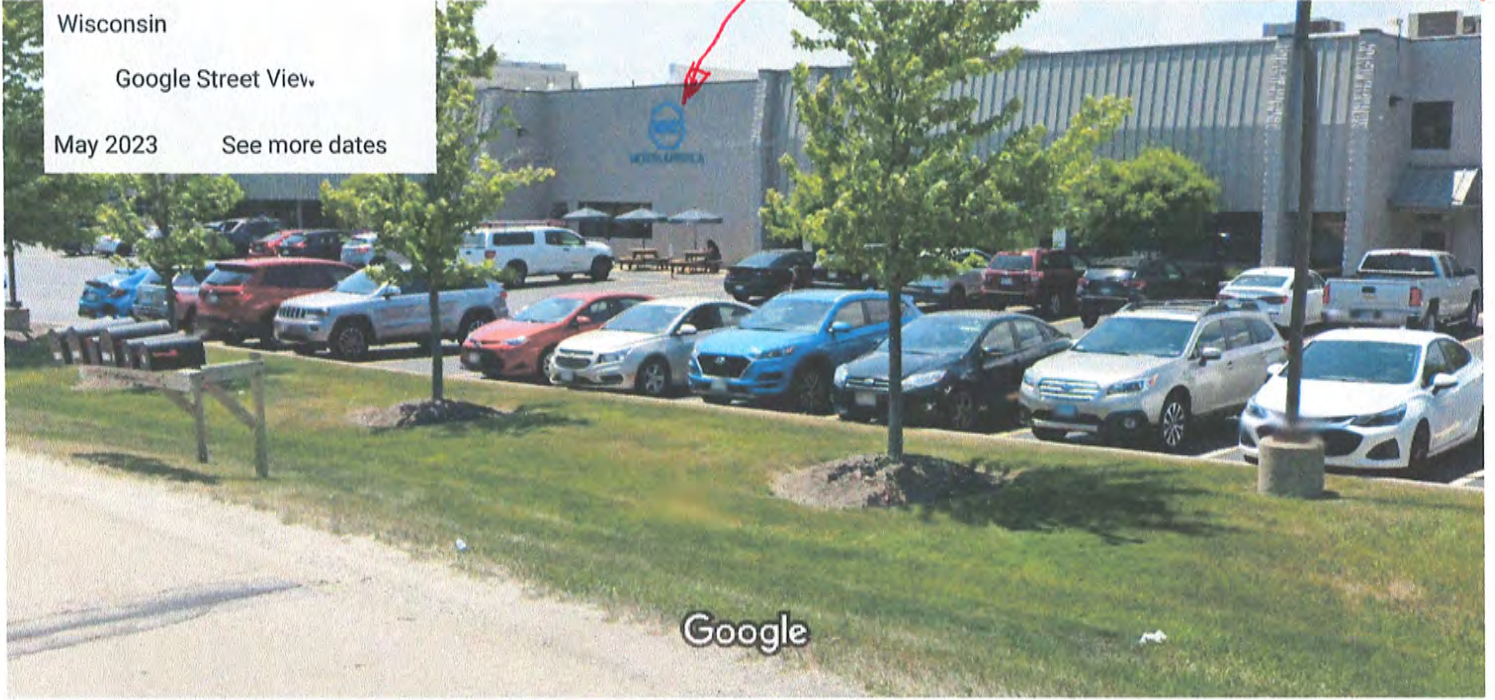
NICHOLAS ST

COURTNEY ST

Google Maps 4101 Courtney St

Remove old Logo

Replace with New Channel LETTERS



Wisconsin
 Google Street View
 May 2023 See more dates

Google

Image capture: May 2023 © 2023 Google

Building 320' Long








Google Maps 4133 Courtney St




Imagery ©2023 CNES / Airbus, Maxar Technologies, U.S. Geological Survey, Map data ©2023 50 ft



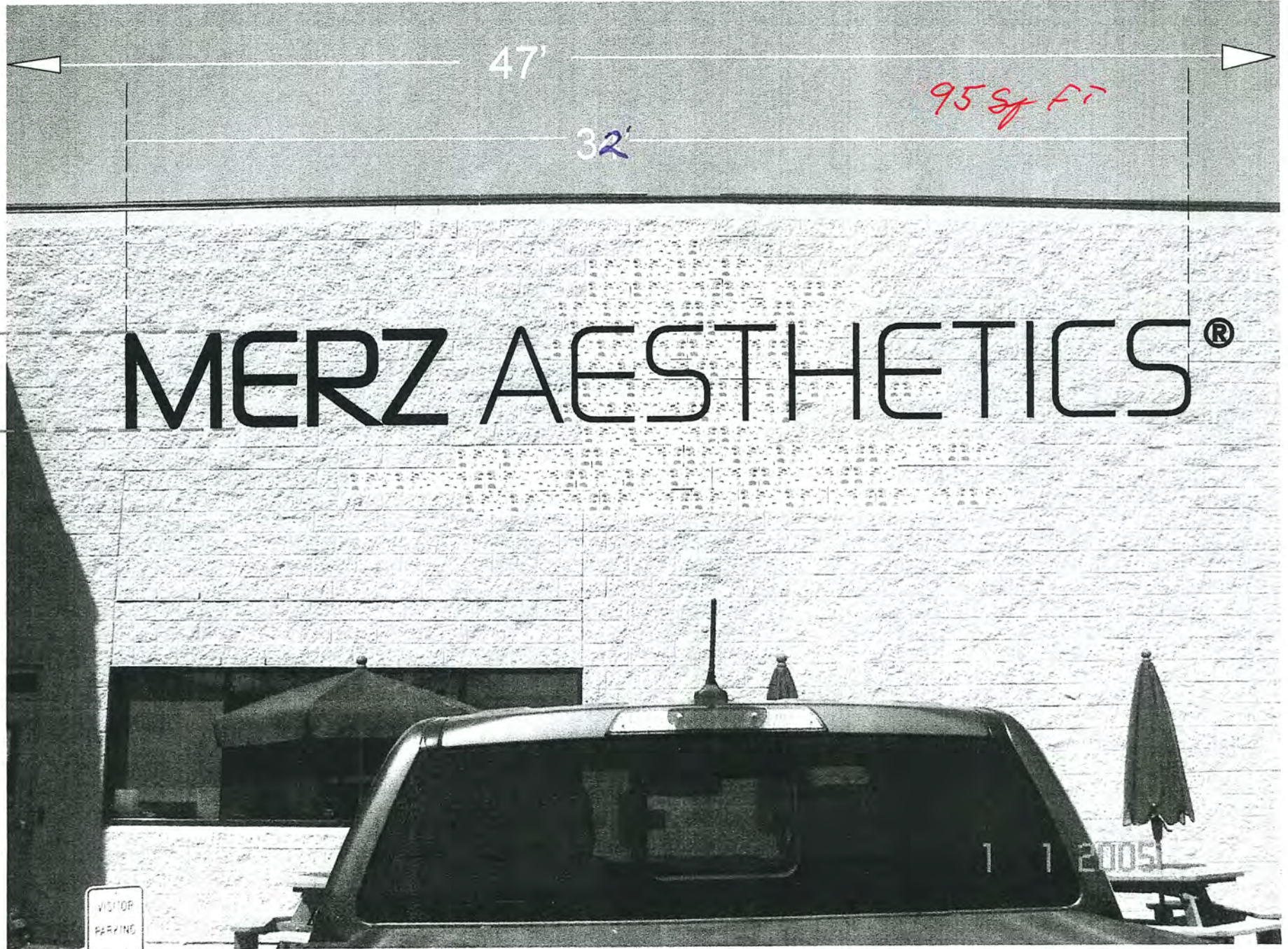
4133 Courtney St Building

- 
Directions
- 
Save
- 
Nearby
- 
Send to phone
- 
Share

 4133 Courtney St, Franksville, WI 53126

Photos

Raymond 4133 Courtey St Franklin



47'

32'

95 sq Ft

MERZ AESTHETICS®

36'' 34'

VISITOR
PARKING

1 1 2005



Meeting Date: July 31, 2023

Item No. 6c

PLAN COMMISSION REPORT

Proposal: Building/Site/Operational (BSO) Plan Review

Description: Review a request to approve a site plan for a proposed parking lot expansion for 234 parking stalls located at 8332 Northwestern Avenue.

Applicant(s): James Hooper

Address(es): 8332 Northwestern Avenue

Suggested Motion: That the Plan Commission recommends to the Village Board that the site plan for the construction of a 234-stall parking lot expansion located at 8332 Northwestern Avenue be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the site plan review process.
2. The proposed parking lot expansion is a permitted accessory use for a school.

Owner(s): Racine Unified School District

Tax Key(s): 104-04-22-34-064-000

Lot Size(s): 28.49 acres

Current Zoning District(s): R-3, Suburban Residential District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Governmental & Institutional

Background: The applicant is proposing to expand the parking lot for Gifford School by 234 stalls along with landscaping and pedestrian walkways on the northern portion of the property located at 8332 Northwestern Avenue. This parking lot will be in addition to the 204 parking stalls that currently exist on the site. Off street parking is an approved accessory use in this zoning district. The purpose of the expansion is to relieve the current parking and drop-off congestion that currently exists on the site. There are no proposals for expanding the school size or programming to draw more cars to the site at this time, however, the applicant states that the school district does have future expansion plans for this site.

The applicant is proposing to incorporate two pedestrian walkways as part of the expansion. A 10-foot-wide pedestrian path will be installed along the western edge of the parking lot connecting to the existing path that extends south to the school. A 9-foot path in the center of the parking lot will be installed, which will be striped, and connect to the existing striped walkway to the north side entrance to the building.

For parking lots greater than 50 stalls, landscaped islands shall be incorporated in the design of the parking lot. There will be a total of twelve internal landscape islands installed as part of the project. The islands are oriented in a way that defines the edges of the parking stalls and will help identify driving circulation through the parking lot, specifically during pickup and drop-off times. There are four internal islands that will provide a safety barrier for pedestrians walking through the lot towards the entrance. These islands will include a tree and decorative grasses.

There will be six parking lot lights installed to illuminate the parking lot. Two will be in the northern islands, two in the central area of the lot, and two in the southern islands. Lights will conform to Village ordinance and be installed in a manner that does cause more than 0.5 foot-candles of light at the lot line. Existing vegetation to the east and the distance away from the west, should minimize light pollution onto neighboring parcels.

For every 20 stalls, there should be 300 square feet of landscaped area. Applying that requirement, the development should have a minimum of 3,510 square feet of landscaped area. There will be approximately 4,000 square feet of landscape area between internal islands and outer edge of the expanded parking lot, which meets the minimum requirement. A large portion of this area is from existing vegetation on the site that will be preserved as part of this development.

The Engineering Department has conducted a preliminary review of the proposed parking lot expansion and has no concerns. However, the applicant will continue to work with Village Staff to ensure compliance with stormwater and grading regulations prior to submitting building permits. The applicant will also need approval from the Water Utility Board as it pertains to modifications the existing stormwater management plan.

If the Village feels that the proposed parking lot at 8332 Northwestern Avenue is appropriate, staff has drafted a suggested motion to approve the proposed development.

Respectfully submitted:



Peter Wagner, AICP
Development Director



8332 NORTHWESTERN AVE

0 200 400 800 Feet



BSO Narrative

1. Property Owner:
Racine Unified School District
James Hooper
3109 Mount Pleasant Street
Racine, WI 53404
262-619-7014
james.hooper@rusd.org

Site:
Gifford Elementary School
8332 Northwestern Ave.
Racine, WI 53406
2. Engineer:
Ruekert & Mielke, Inc.
Colin Meisel, P.E.
6905 Green Bay Road, #204
Kenosha, WI 53142
262-953-2650
colin.meisel@ruekert-mielke.com
3. Current zoning is residential (R-3)
4. Land has Gifford Elementary School on it.
5. Proposed Parking lot expansion for Gifford Elementary
6. Comprehensive Plan land use for the parking lot is Low Density Residential while the land the school occupies is planned for Government/Institutional.
7. The environmental features on the property consist of turf grasses and various species of deciduous and coniferous trees. There are no waterways or wetlands. The site was reviewed for wetlands, and none were found. This was confirmed by the WDNR.
8. This site is not projected to have any residents, employees, or customers. It is intended to supplement the existing parking at the school. No additions are planned at the school currently.
9. The existing residential lot is approximately 28.49 acres. The proposed additional pavement area to this property is 1.89 acres

- | | |
|-------------------------|-------------------------------|
| 10. Site Density: | N/A |
| Floor Area Ratio: | N/A |
| Open Space Ratio: | 54.9% |
| Landscape Surface Area: | 15.64 Acres 681,278.4 SF |
11. No water or sewer loadings are planned. Teachers typically are at the building from 7:30 am – 4:30 pm. Special events, such as basketball games or concerts, are in the late afternoon or evenings and are typically concluded by 8:00 pm.
12. No changes are being made to the school, and daily increases to traffic generation are not anticipated.
13. No significant potential nuisances are anticipated outside of proposed lighting. The lighting has been designed with the Village of Caledonia ordinance. In addition, the existing trees and vegetation that are to be removed as part of the grading on this project will be replaced, which will shield neighboring properties from light pollution.
14. No building is planned.
15. There is a future expansion planned, but no concept has been designed yet. The stormwater pond has been sized adequately to handle and reduce TSS per the Village of Caledonia standards.
16. The Racine Unified School District owns this lot.

The existing parking lot is over capacity during special events and activities. The additional parking will help to eliminate parking in non-designated areas and will ensure a safer environment for staff, students, and visitors.

All stormwater from the new impervious surface is directed North to the proposed wet pond expansion. This pond exceeds both quantity and quality requirements from both the WDNR and the Caledonia Utility, it will also be able to meet the requirements once the future building is designed and built.



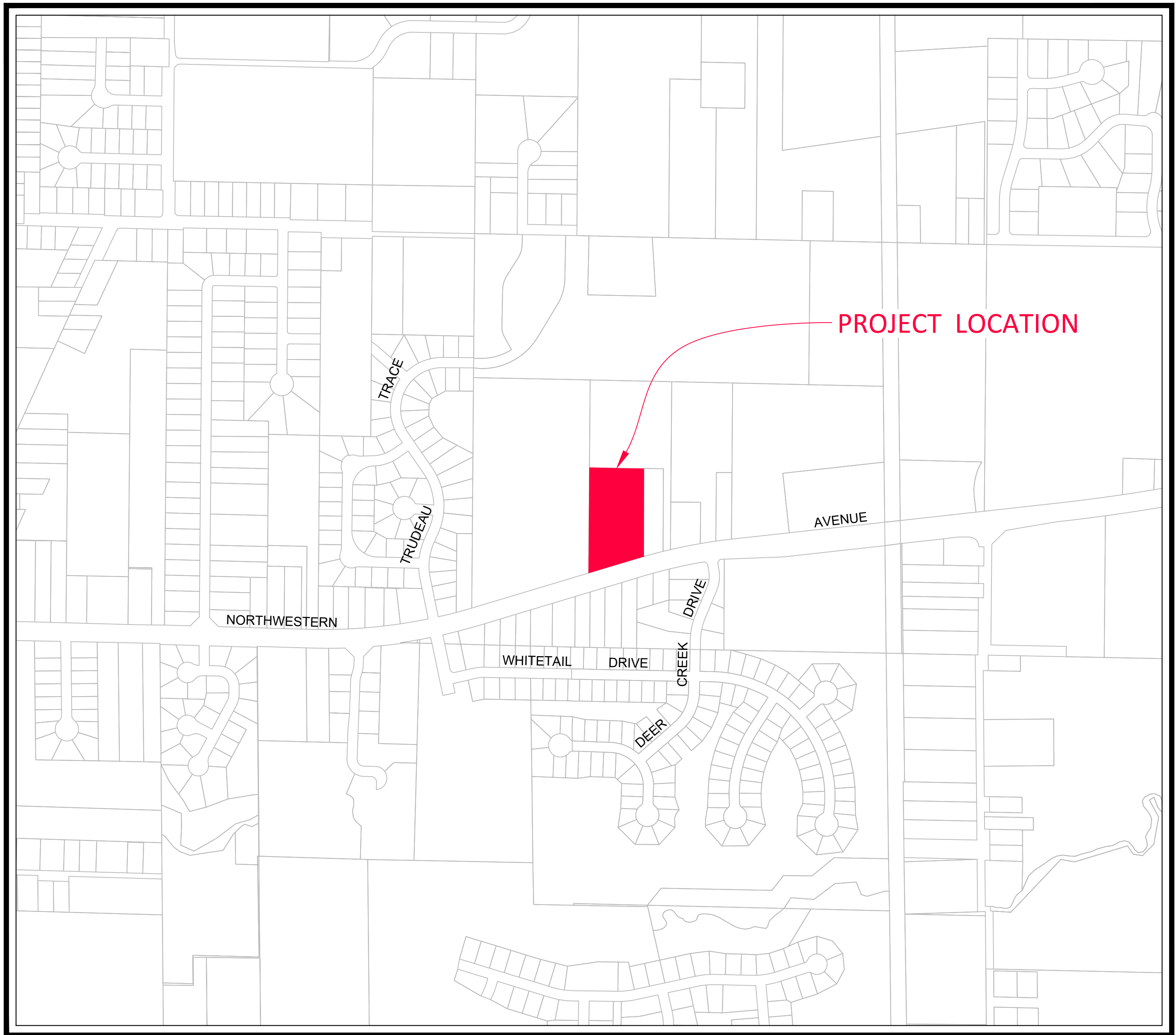
GIFFORD SCHOOL - 2023

RACINE UNIFIED SD

RACINE COUNTY, WISCONSIN

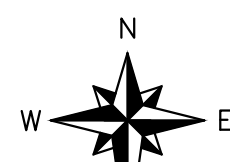
SHEET INDEX

SHEET NO.	LOCATION	DESCRIPTION
GN-01		GENERAL NOTES
GN-02		EXISTING CONDITIONS
GN-03		EXISTING CONDITIONS
PV-01		PROPOSED SITE PLAN
PV-02		PROPOSED PAVEMENT MARKING PLAN
EC-01		EROSION CONTROL PLAN
GR-01		OVERALL GRADING PLAN
DT-01 - DT-03		CONSTRUCTION DETAILS



LOCATION MAP

TOWN	RANGE	SECTION (s)
4N	22E	34 SE



SCALE IN FEET
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LEGEND - CIVIL ENGINEERING DRAWINGS

<ul style="list-style-type: none"> ⊕ GENERIC MANHOLE ⊕ VENT GENERIC VENT ○ SEWER MANHOLE ○ CO CLEAN OUT ⊕ SEPTIC SEPTIC SYSTEM ⊕ SEPC SEPTIC TANK COVER ⊕ SEPV SEPTIC VENT ⊕ MWEL MONITORING WELL ⊕ WATER VALVE ⊕ HYDRANT ⊕ YARD HYDRANT ⊕ WATER VALVE MANHOLE ⊕ WATER CURB STOP ⊕ WELL ⊕ SPRINKLER HEAD ⊕ STORM CATCH BASIN ⊕ STORM INLET ⊕ GAS MANHOLE ⊕ GAS VALVE ⊕ GAS METER ⊕ GAS VENT ⊕ GVT GAS VALVE TEST ⊕ GAS CURB STOP ⊕ ELECTRIC BOX ⊕ ELECTRIC MANHOLE ⊕ E ELECTRIC METER 	<ul style="list-style-type: none"> ⊕ TELEPHONE BOX ⊕ TELEPHONE MANHOLE ⊕ CABLE BOX ⊕ UTILITY POLE ⊕ GUY GUY WIRE ⊕ LIGHT POLE ⊕ YARD LIGHT ⊕ TRAFFIC SIGNAL ⊕ PULL BOX ⊕ SAN SWR 8" SANITARY SEWER ⊕ WM 8" WATER MAIN ⊕ STO SWR 8" STORM SEWER ⊕ G UNDERGROUND GAS MAIN ⊕ E UNDERGROUND ELECTRIC ⊕ T UNDERGROUND TELEPHONE ⊕ FO UNDERGROUND FIBER OPTIC ⊕ C UNDERGROUND TV CABLE ⊕ EDGE OF PAVEMENT ⊕ EDGE OF GRAVEL SHOULDER ⊕ EDGE OF CONCRETE ⊕ DITCH ⊕ TOE OF SLOPE ⊕ TOP OF BANK ⊕ FENCE ⊕ GUARD RAIL ⊕ CULVERT (SIZE & TYPE NOTED) ⊕ RAILROAD TRACKS ⊕ EDGE OF TREES & BRUSH 	<ul style="list-style-type: none"> ⊕ FP FLAG POLE ⊕ MB MAIL BOX ⊕ POST ⊕ DP DELINEATOR POST ⊕ MP MARKER POST ⊕ SIGN ⊕ PILING ⊕ A/C AIR CONDITIONER ⊕ RAILROAD SIGNAL FLASHER ⊕ RRSB RAILROAD SIGNAL BOX ⊕ RX RAILROAD SPIKE ⊕ STUMP ⊕ DECIDUOUS TREE ⊕ DECIDUOUS MULTIPLE TRUNK TREE ⊕ CONIFEROUS MULTIPLE TRUNK TREE ⊕ CONIFEROUS TREE ⊕ CP CONTROL POINT ⊕ IP IRON PIPE ⊕ IR IRON ROD ⊕ SECTION CORNER ⊕ MONUMENT ⊕ TEST BORING ⊕ PK NAIL ⊕ DECORATIVE ROCK ⊕ REVISION LABEL ⊕ WETLANDS ⊕ WZ 000.00 WATER ELEVATION 	<ul style="list-style-type: none"> ⊕ PROPOSED SILT FENCE ⊕ PROPOSED SANITARY SEWER (PLAN VIEW) ⊕ PROPOSED STORM SEWER (PLAN VIEW) ⊕ PROPOSED WATER MAIN ⊕ PROPOSED SLOPE INTERCEPT ⊕ PROPOSED DETECTABLE WARNING FIELD ⊕ PROPOSED SANITARY MANHOLE ⊕ PROPOSED SANITARY RISER ⊕ PROPOSED WATER VALVE ⊕ PROPOSED HYDRANT ⊕ PROPOSED YARD HYDRANT ⊕ PROPOSED WATER VALVE MANHOLE ⊕ PROPOSED WATER MAIN REDUCER ⊕ PROPOSED WATER MAIN OFFSET ⊕ PROPOSED WATER MAIN PLUG ⊕ PROPOSED WATER MAIN PLUG W/AIR RELEASE ⊕ PROPOSED WATER MAIN CROSS ⊕ PROPOSED WATER MAIN TEE ⊕ PROPOSED WATER MAIN BEND (ANGLE NOTED) ⊕ PROPOSED LOCATOR BOX ⊕ PROPOSED STORM INLET/CATCH BASIN ⊕ PROPOSED STORM MANHOLE ⊕ PROPOSED DITCH CHECK ⊕ PROPOSED INLET PROTECTION TYPE A ⊕ PROPOSED INLET PROTECTION TYPE B ⊕ PROPOSED INLET PROTECTION TYPE C ⊕ PROPOSED INLET PROTECTION TYPE D
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ORIGINAL PLAN SET
IS IN COLOR

CHECKED BY: _____
Ruekert • Mielke
 Waukesha • Kenosha • Madison
 Global Water Center • Fox Valley
www.ruekertmielke.com

PROJECT NUMBER: 8392-1008

11/15/2023 10:58 AM - Racine Unified School District 10000 GiffordSchoolPlan - Paving 10/2023
 2:00 PM COVER SHEET 2023.rmg
 XREFS: S:\19\BRAND\BRAND\CIP\FILES\mg_Ultimate\WAB03_20230105.rmg

www.ruekertmielke.com

CONSTRUCTION SEQUENCE

1. INSTALL TRAFFIC CONTROL MEASURES.
2. INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES, MAINTAIN MEASURES AT THE END OF EACH DAY.
3. STAGE CONSTRUCTION BY WORK LOCATION. SUBMIT CONSTRUCTION SEQUENCING PLAN TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO START OF CONSTRUCTION. COORDINATE WITH OWNER'S REPRESENTATIVE AS CONSTRUCTION SEQUENCE, TIMING LIMITS, ETC. CHANGE OR REQUIRE MODIFICATION, UNLESS OTHERWISE SPECIFIED, MEET WITH OWNER'S REPRESENTATIVE BI-WEEKLY THROUGHOUT CONSTRUCTION.
3. CLEAR AND GRUB VEGETATION AS SHOWN ON DRAWINGS OR AS DIRECTED BY ENGINEER.
4. STRIP TOPSOIL AND STOCKPILE IN LOCATION AS SHOWN ON DRAWINGS AND AS DIRECTED BY OWNER. INSTALL PERIMETER SILT FENCE AROUND DOWN SLOPE SIDE OF STOCKPILE. STABILIZE STOCKPILE IMMEDIATELY UPON LAYUP.
5. COMPLETE ROUGH GRADING AND PREPARE PAVEMENT SUBGRADE.
6. INSTALL NEW BASE LAYERS AND ASPHALT SURFACING.
7. COMPLETE SITE GRADING AND STABILIZE DISTURBED AREAS.
8. INSTALL PAVEMENT MARKINGS.
9. AREAS PLANNED TO BE INACTIVE FOR 7 DAYS OR LONGER SHALL BE TEMPORARILY STABILIZED FOLLOWING DNR TECHNICAL STANDARD 1059 SEEDING. THESE AREAS SHALL BE STABILIZED WITHIN 7 DAYS OF BEING INACTIVE.
10. AREAS BROUGHT TO FINAL GRADE SHALL BE PERMANENTLY STABILIZED WITHIN 7 DAYS.
11. COMPLETE FINAL RESTORATIONS INCLUDING BUT NOT LIMITED TO: TOPSOIL, FERTILIZER, SEED, MULCH, AND EROSION MAT.
12. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER 80% GROWTH DENSITY HAS OCCURRED IN 100% OF RESTORATION AREAS. CONTRACTOR SHALL OBTAIN OWNER AND ENGINEER APPROVAL PRIOR TO REMOVING THE MEASURE(S). RESTORE DISTURBED AREAS AROUND REMOVED DEVICES AND CLEAN SITE.

EROSION CONTROL NOTES

1. CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES ONCE PER WEEK PRIOR TO ANY FORECAST PRECIPITATION EVENTS AND AFTER EVERY PRECIPITATION EVENT OF 1/4-INCH OR GREATER. CONTRACTOR SHALL PREPARE WRITTEN REPORTS FOLLOWING REGULATORY AGENCY REQUIREMENTS AFTER EACH INSPECTION AND SUBMIT COPIES TO OWNER AND ENGINEER WITHIN 24 HOURS OF INSPECTION.
2. CONTRACTOR SHALL REPAIR DEFICIENT EROSION AND SEDIMENT CONTROL MEASURES WITHIN 24-HOURS AFTER INSPECTION. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES NOT SHOWN ON THIS PLAN MAY BE NECESSARY AS DIRECTED BY OWNER AND/OR ENGINEER.
3. ADDITIONAL EROSION AND/OR SEDIMENT CONTROL MEASURES MAY BE NECESSARY AS A RESULT OF THE CONTRACTORS METHODS.
4. CONTRACTOR SHALL NOTIFY AND OBTAIN WRITTEN ACCEPTANCE FROM ENGINEER OF PROPOSED CHANGES TO THE EROSION PLAN AND/OR SEQUENCE PRIOR TO IMPLEMENTING THE CHANGE.
5. ENGINEER IS UNDER NO OBLIGATION TO ALTER EROSION PLAN AND/OR SEQUENCE.
6. CONTRACTOR SHALL SWEEP ROADS DAILY IF NECESSARY TO REMOVE SEDIMENT TRACKED ONTO THE ROADS.
7. MAINTAIN SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
8. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS AND EROSION CONTROL SPECIFICATIONS.
9. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE CONSTRUCTION SEQUENCE, AND FOR MAINTAINING AND REPAIRING EROSION AND SEDIMENT CONTROL DEVICES.
10. EXCESS MATERIAL THAT IS HAULED OFF SITE SHALL BE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR TO NOTIFY OWNER OF ALL FILL AND BORROW SITES. CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING AND COMPLYING WITH NECESSARY EROSION CONTROL PERMITS AND FOR MAINTAINING PROPER EROSION CONTROL MEASURES ON THOSE SITES. DISPOSAL LOCATION(S) WILL NEED DNR APPROVAL PRIOR TO COMMENCING WORK.
11. EXCESS FILL/BORROW MATERIAL OR SPOILS KEPT ON SITE SHOULD BE STOCKPILED ON UPLAND AREAS AN ADEQUATE DISTANCE AWAY FROM WETLANDS AND THE WATERWAYS. PILES OF STOCKPILED SOIL SHALL BE PROTECTED AGAINST EROSION AND SHALL NOT CREATE NUISANCE DUST EMISSIONS.

GENERAL NOTES

1. CONTRACTOR SHALL FOLLOW ADAAG MAXIMUM AND MINIMUM SLOPES AND MUST NOTIFY THE OWNER/ ENGINEER IF THERE IS A CONFLICT.
2. LOCATE STOCKPILE OF PULVERIZED ASPHALT MATERIAL FOR REUSE AS BASE MATERIAL WITHIN WORK ZONE. STAGE CONSTRUCTION ACCORDINGLY.
3. LIMIT DISTURBANCE TO AREA SHOWN ON PLANS.
4. MAINTAIN SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
5. MAINTAIN ACCESS FOR EMERGENCY AND DELIVERY VEHICLES AT ALL TIMES. COORDINATE WITH OWNER.

TRENCH DEWATERING NOTES

1. IF TRENCH DEWATERING IS NECESSARY, CONTRACTOR SHALL PROVIDE PROPER DEWATERING SEDIMENT CONTROL DEVICE. DISCHARGE OF SEDIMENT LADEN TRENCH WATER TO THE WETLANDS, DITCHES, STORM SEWER OR SURFACE WATER IS PROHIBITED.
2. IF TRENCH DEWATERING IS NECESSARY, CONTRACTOR SHALL SUBMIT A DEWATERING PLAN TO OWNER, ENGINEER AND DNR PRIOR TO CONSTRUCTION FOLLOWING REQUIREMENTS WITHIN SECTIONS 01 57 13 AND 01 57 23 OF THE PROJECT MANUAL AND DNR TECHNICAL STANDARD 1061.
3. CONTRACTOR WILL BE REQUIRED TO OBTAIN AND FOLLOW REQUIREMENTS OF DNR WATER SUPPLY SECTION FOR WELLS AND DEWATERING IN EXCESS OF 70 GPM.
4. CONTRACTOR SHALL UTILIZE SILT BAGS OR BOXES OF APPROPRIATE SIZE AND PROVIDE ADDITIONAL MEASURES AS NECESSARY TO DISCHARGE CLEAN WATER BASED UPON CONDITIONS AND CONTRACTOR'S OPERATIONS. MEASURES EMPLOYED FOR DEWATERING SHALL NOT BE PLACED IN LOCATIONS THAT BLOCK SITE DRAINAGE, OR VEHICLE/PEDESTRIAN TRAFFIC. DEWATERING DISCHARGE SHALL BE DIRECTED ONTO GRASS AREAS WHERE POSSIBLE AND NOT IMPACT ADJACENT STRUCTURES, PRIVATE PROPERTY, WETLANDS, WATERWAYS OR BE DIRECTED TO SANITARY SEWERS.
5. THE DEWATERING PLAN AND NOTES SHALL SERVE AS A GUIDELINE FOR CONTRACTOR'S DEWATERING OPERATIONS.
6. IF MODIFICATIONS TO THE DEWATERING PLAN ARE NEEDED, CONTRACTOR SHALL PREPARE A WRITTEN REQUEST THAT DETAILS THE NECESSARY MODIFICATIONS AND OBTAIN APPROVAL FROM THE OWNER AND DNR PRIOR TO IMPLEMENTING THE MODIFICATION IN THE FIELD.
7. THE USE OF SILT BAGS OR BOXES SHALL BE CONSIDERED THE MINIMUM MEASURE NECESSARY, OTHER MEASURES NEEDED TO MAINTAIN CLEAR DISCHARGE SHALL BE IMPLEMENTED AS NECESSARY AND IMPLEMENTED IMMEDIATELY UPON OBTAINING OWNER APPROVAL. DEWATERING ACTIVITIES MAY NEED TO BE REDUCED OR ELIMINATED UNTIL APPROVALS HAVE BEEN OBTAINED. DEWATERING EFFLUENT SHALL REMAIN CLEAR AT ALL TIMES.
8. IT IS ANTICIPATED THAT THE LINEAR CONSTRUCTION ACTIVITIES WILL CREATE DISTURBED SOIL WITHIN EXISTING DRAINAGE SWALES AND DITCHES. CONTRACTOR SHALL CONTINUOUSLY MONITOR DEWATERING EFFLUENT QUALITY DOWNSTREAM OF THE SEDIMENTATION BASIN TO ENSURE THAT THE FLOW OF WATER IS NOT PRODUCING EROSION. CONTRACTOR SHALL WORK TO ELIMINATE EROSION FORCES OF DEWATERING EFFLUENT TO ENSURE CLEAR DISCHARGE.
9. DEWATERING OPERATIONS, IF NEEDED, SHALL PROGRESS WITH CONSTRUCTION OPERATIONS. IT IS ANTICIPATED THAT MULTIPLE DEWATERING MEASURES WILL BE SPREAD THROUGHOUT THE PROJECT IF DEWATERING IS NEEDED.
10. CONTRACTOR SHALL MONITOR THE PERFORMANCE AND EFFECTIVENESS OF THE DEWATERING SEDIMENTATION DEVICE. PERIODIC REPLACEMENT OF SILT BAGS WILL BE NECESSARY. SEDIMENT WITHIN SILT BAGS MAY BE SPREAD-OUT WITHIN SPOIL BACKFILL TRENCHES OR SHALL OTHERWISE BE DISPOSED OF PROPERLY OFFSITE. USE OF DEWATERED SEDIMENT WITHIN SPOIL BACKFILL TRENCHES MUST NOT COMPROMISE TRENCH COMPACTION. PERIODIC REPLACEMENT OF BALES AND FILTER FABRIC MAY ALSO BE REQUIRED.
11. USE OF OTHER DEWATERING SEDIMENTATION DEVICES SUCH AS STONE FILLED TRENCH BOXES OR STONE SEDIMENT TRAPS MAY BE ACCEPTABLE, HOWEVER, OWNER APPROVAL IS REQUIRED PRIOR TO USE. USE OF OTHER DEWATERING SEDIMENTATION DEVICES SHALL COMPLY WITH THE REQUIREMENTS SET FORTH ABOVE.

Table 1 – Prescriptive Compliance Area Soil Stabilization

Prescriptive Compliance Areas	Bare Soil	Slope & Channel Management	Periods of Inactivity	Final Grade
Soil stockpiles that will exist for more than 7 days	<u>Areas that Do Not Drain to Sediment Basins or Traps</u> Limit the duration of soil exposure to no more than 30 days.	<u>General</u> Design and implement approved soil stabilization practices per DNR technical standards.	<u>Planned Inactivity</u> Stabilize immediately if area will be left inactive for more than 14 days.	<u>Permanent Features</u> Stabilize area immediately after reaching final grade.
Utility trench backfills	<u>Areas that Drain to Sediment Basins or Traps</u> Limit the duration of soil exposure to no more than 90 days. However, use the duration from the soil loss and sediment discharge calculations for the other areas of the site if less than 90 days.	Refer to WisDOT Slope & Channel Matrices for appropriate slope and slope length conditions. <u>Slopes Steeper than 20%</u> Provide stable diversion of off-site runoff around the slope. Provide slope interruption devices in accordance with Manufactured Perimeter Control & Slope Interruption Products Technical Standard 1071 or equivalent methods to reduce uninterrupted slope length.	<u>Unplanned Inactivity</u> Stabilize area immediately if period of inactivity reaches 14 days.	<u>Temporary Features</u> Stabilize area immediately after establishment of temporary feature or reaching specified temporary grade.
Temporary ditches/swales that will exist for more than 7 days				
Permanent ditches/swales				
Small areas – Less than 1 acre and less than 1% of site				
Discrete areas – Less than 1 acre				
Storm water practice side slopes				
Slopes steeper than 20%				

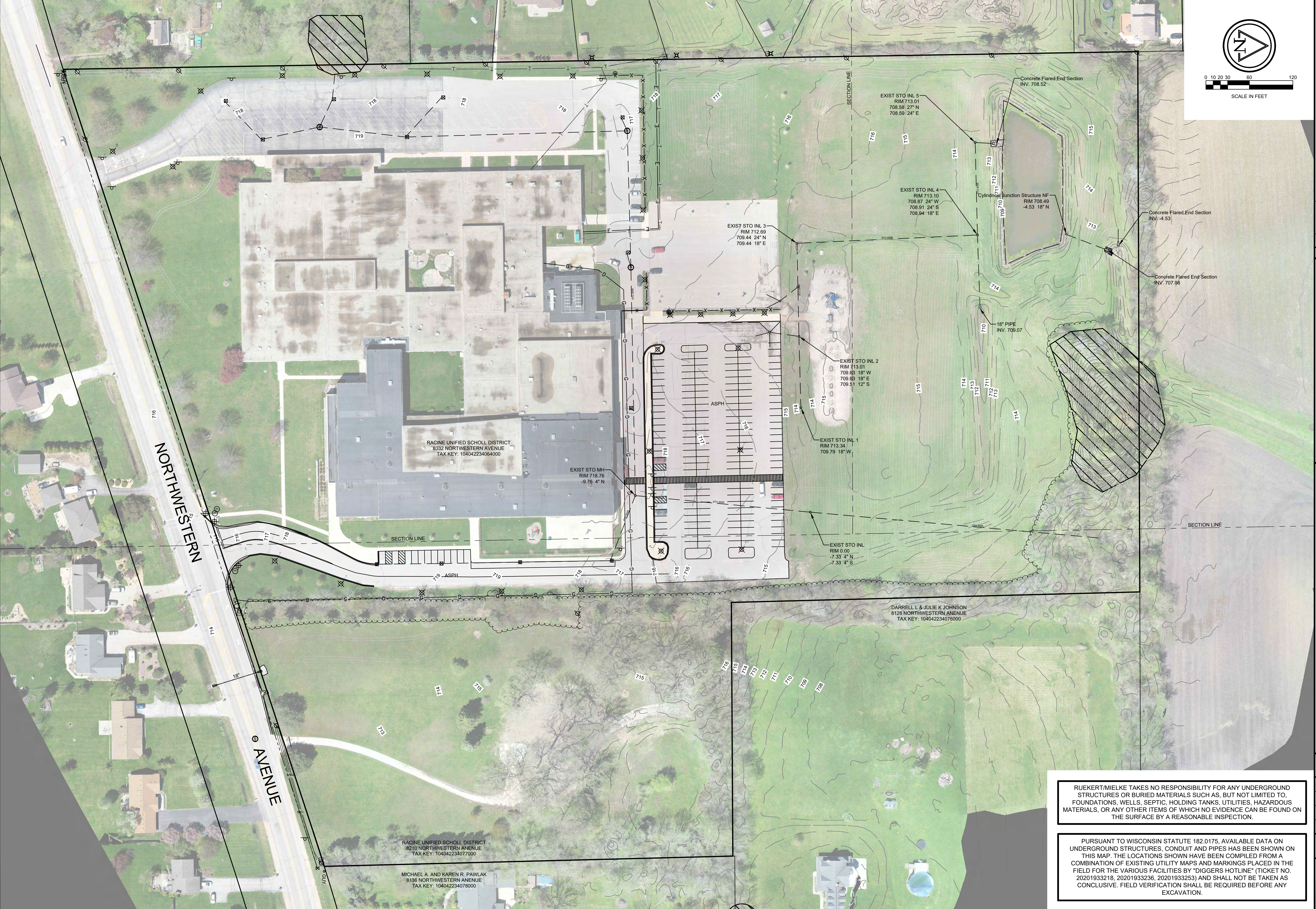
7	6	5	4	3	2	1
7	6	5	4	3	2	1
TOWN: 4N						
RANGE: 22E						
SECTION(S): 34 SE						

GIFFORD SHOOL 2023 - NORTH PARKING LOT
GENERAL NOTES
 RACINE UNIFIED SCHOOL DISTRICT, CITY OF RACINE
 RACINE COUNTY, WISCONSIN

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 DESIGNED BY: TSP
 DRAFTED BY: TSP
 CHECKED BY: CLM
 DATE: 07-13-2023
 FILE NO.
8392-10008

SHEET NO.
GN-01

Jul 27, 2023 1:45pm PLOTTED BY: TPlacek SAVED BY: TPlacek
 IMAGES: 2023-5-20 Gifford_6609- RM SQUARE_Full Color-Print
 C:\CS2_2019\8392- Racine Unified School District\10000 Gifford\dwg\North Parking lot 2023\CPL-EXISTING OVERALL PLAN 2023.dwg
 2: CPL-EXISTING OVERALL PLAN 2023



RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO. 20201933218, 20201933236, 20201933253) AND SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.

EXISTING CONDITIONS RACINE UNIFIED SCHOOL DISTRICT, CITY OF RACINE RACINE COUNTY, WISCONSIN	GIFFORD SHOOL 2023 - NORTH PARKING LOT	Ruekert • Mielke Waukesha • Kenosha • Madison Global Water Center • Fox Valley www.ruekertmielke.com	TOWN: 4N RANGE: 22E SECTION(S): 34 SE
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www.ruekertmielke.com



Meeting Date: July 31, 2023

Item No. 6d

PLAN COMMISSION REPORT

Proposal: Building, Site & Operations (BSO) Plan Review

Description: Review a request to approve a site plan for the construction and utilization of a $\pm 1,680$ square-foot storage building for property located at 4543 Douglas Avenue.

Applicant(s): Matt Pichelman

Address(es): 4543 Douglas Avenue

Suggested Motion: That the Plan Commission recommends to the Village Board that the building, site, and operational plan for a $\pm 1,680$ square-foot storage building located at 4543 Douglas Avenue be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed building is consistent with the existing use on the property.

Owner(s): Matthew & Crystal Pichelman

Tax Key(s): 104-04-23-29-450-000

Lot Size(s): 0.5483 acres

Current Zoning District(s): B-3, Highway Business District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Commercial

Background: The applicant is requesting approval for the construction and utilization of a ±1,680 square-foot storage building located at 4543 Douglas Avenue.

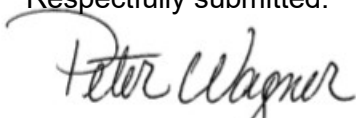
The proposed building is designed to be used as a storage facility for equipment and materials for the business that operates on the site. The building exterior will be a combination of split and smooth CMU block with siding on the north and south gabled ends and will have asphalt roofing. Split CMU will be utilized on the west elevation of the building. The west elevation will have two overhead doors and one service door. No windows are proposed for the building. Per building code, there will be one wall light above the service door. This light conforms with our lighting ordinance. Overall, the building complies with zoning code requirements for a commercial accessory building. The minimum setback for a commercial accessory structure is five feet. However, if a commercial property abuts a residential district an additional setback buffer must be included. The applicant is proposing a rear and side setback of 30 feet in respect to abutting residential parcels. This complies with the Section 16-6-12(b)

The site has an existing berm in the rear of the property. The applicant intends to add a mixture of arborvitae, junipers, and other shrubs to help screen the building from the residential parcels to the east. In addition, there are exists trees along the rear lot line.

There will be no requirements to address stormwater runoff as it does not disturb enough land or create enough additional impervious surface on the site. Engineering has reviewed the proposed structure and has no concerns. If approved, the proposed building will be reviewed by staff to ensure compliance with fire, engineering, and building codes. Staff recommends approving the proposed accessory structure as it complies with Village Zoning Code requirements.

If the Plan Commission is comfortable with the proposed storage building, staff has drafted a suggested motion recommending approval of the ±864 square-foot storage building located at 4543 Douglas Avenue.

Respectfully submitted:



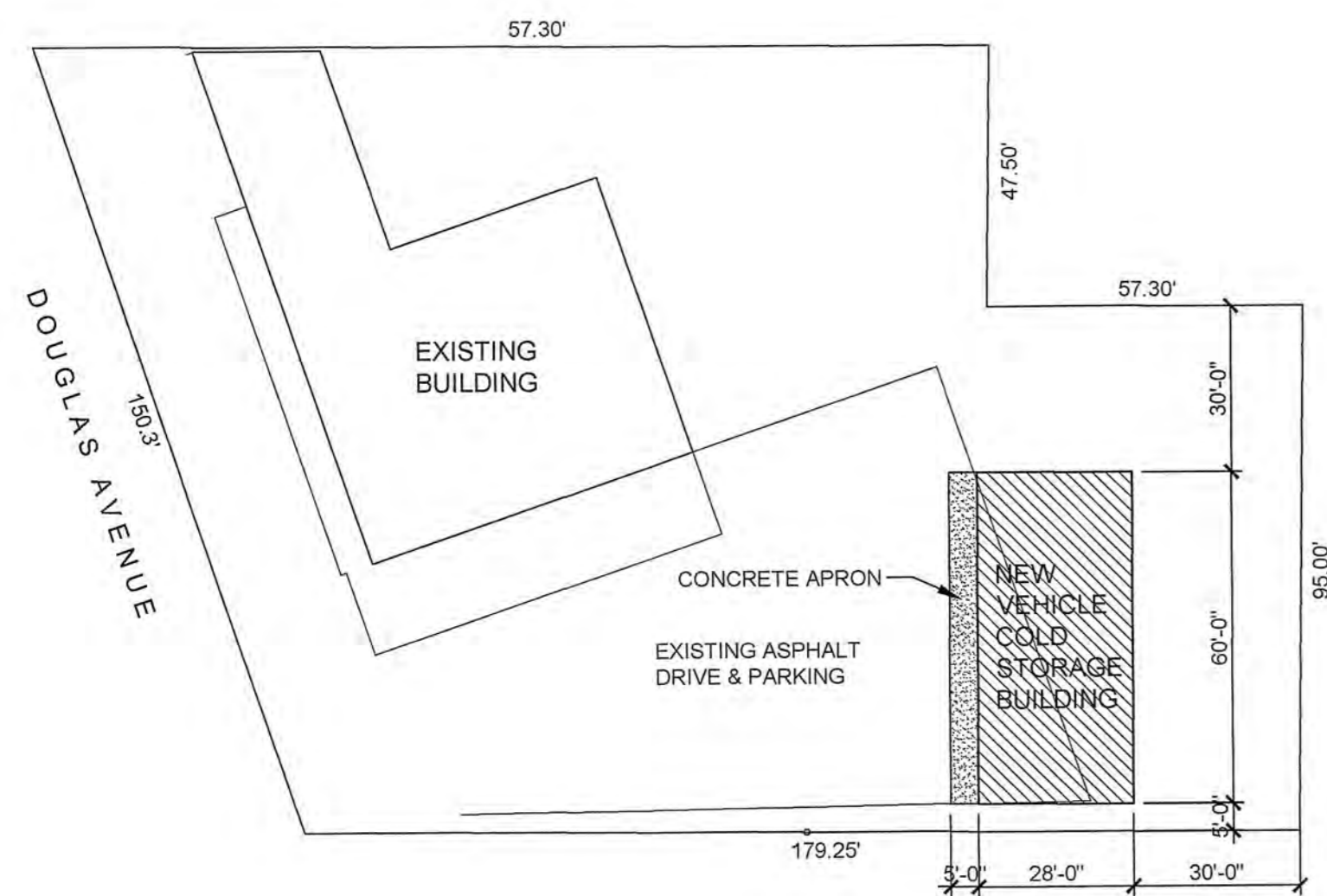
Peter Wagner, AICP
Development Director



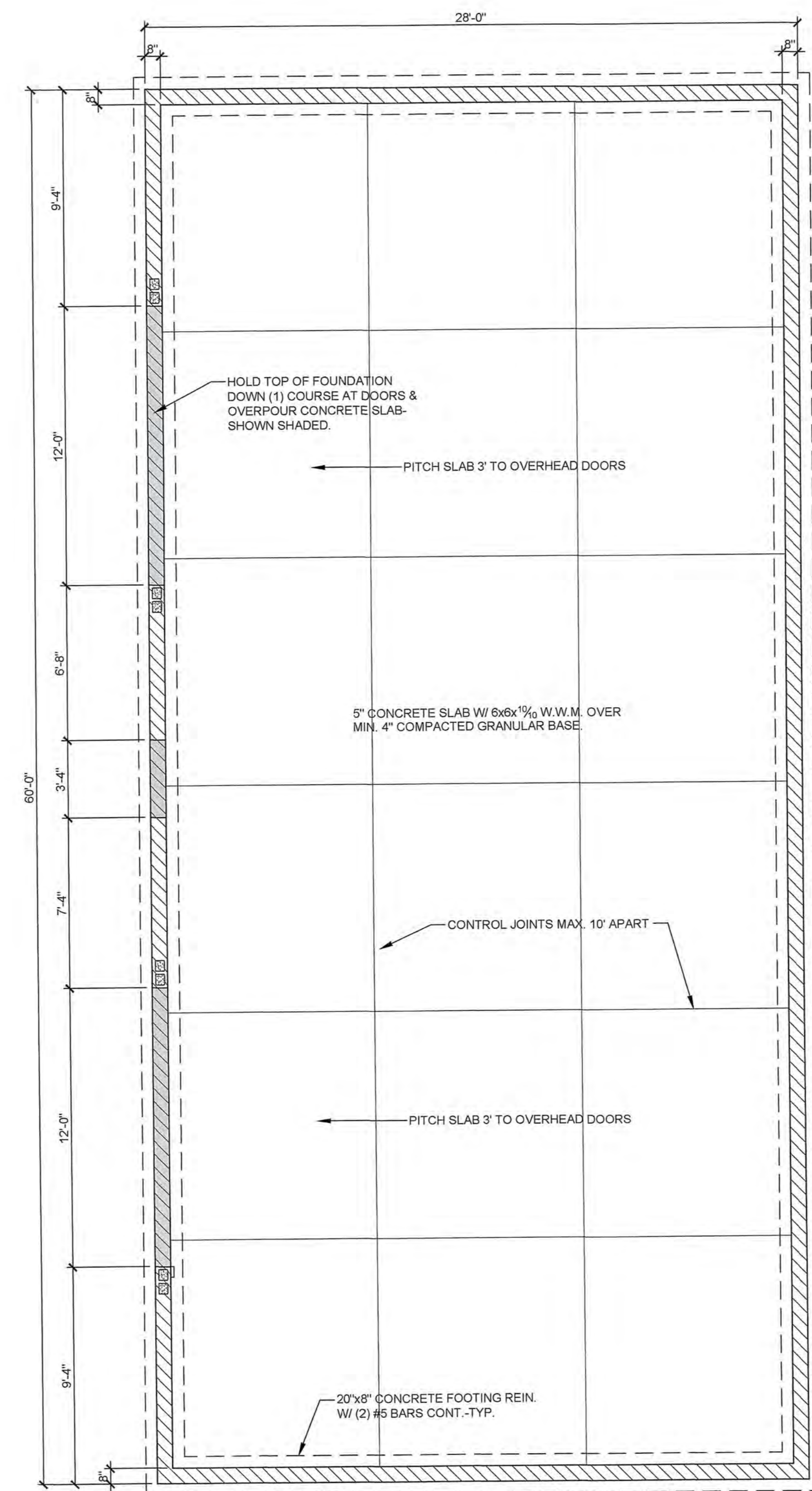
4543 DOUGLAS AVE

0 120 240 480 Feet

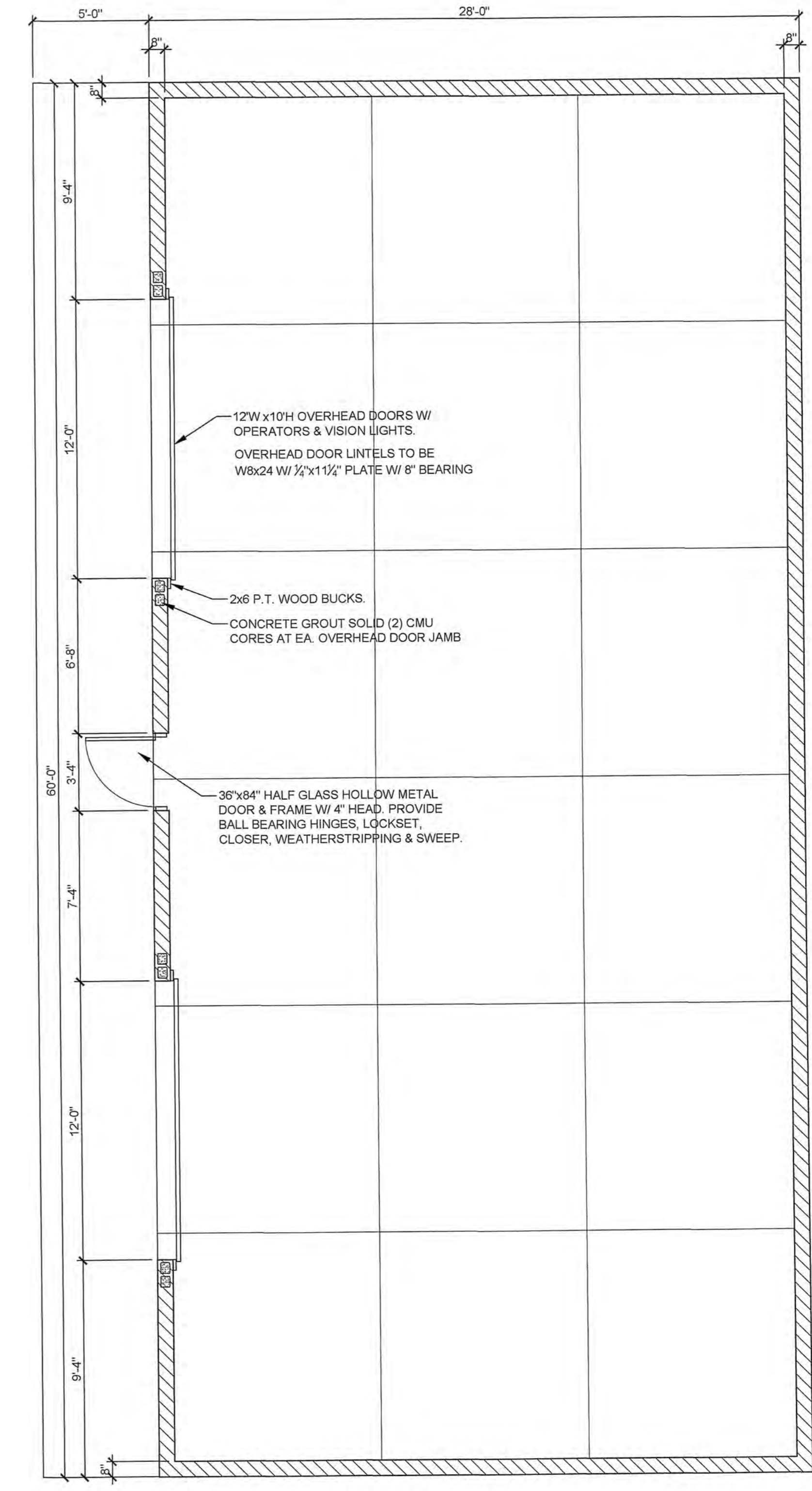




SITE PLAN
SCALE: 1" = 30'
NORTH



FOUDATION PLAN
SCALE: 1/4" = 1'-0"
NORTH



FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

GENERAL NOTES:
 - BUILDING USE TO BE VEHICLE COLD STORAGE.
 - BUILDING VOLUME IS 24,804 CU. FT.

MASONRY NOTES:
 - 8" CMU'S IN RUNNING BOND W/ LADDER REINFORCING EV. 3rd COURSE.
 - WEST ELEVATION TO BE SPLIT FACE CMU'S.
 - MASONRY TO HAVE INTEGRAL COLOR & WATER REPELLANT.

DRAWING INDEX	
1 - ARCHITECTURAL SITE PLAN , FOUNDATION PLAN & FLOOR PLAN	
2 - BUILDING SECTION & ELEVATIONS	

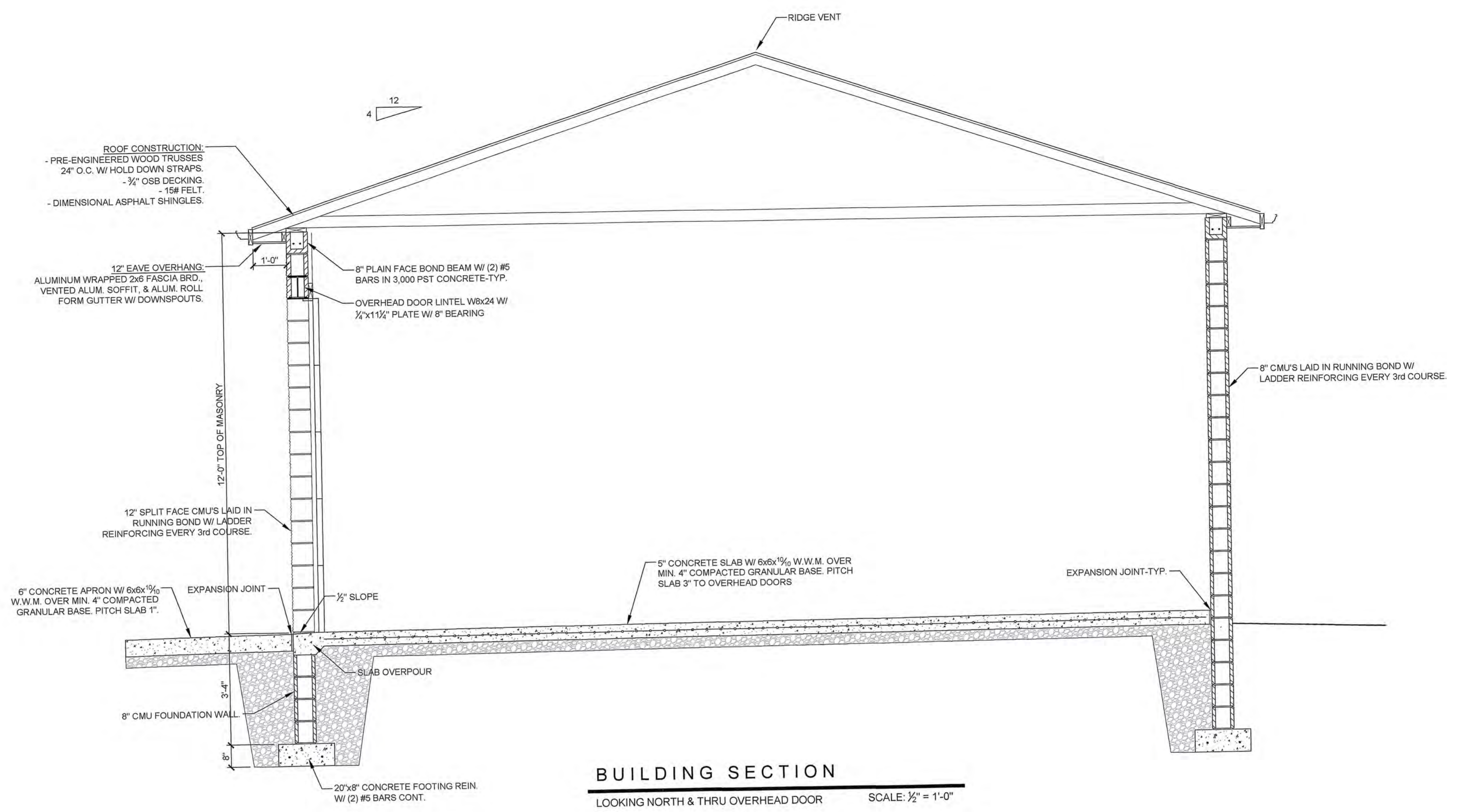
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 3316 N Wisconsin St
 Racine, WI 53402
 262-994-9285
 mb_yuhas@yahoo.com

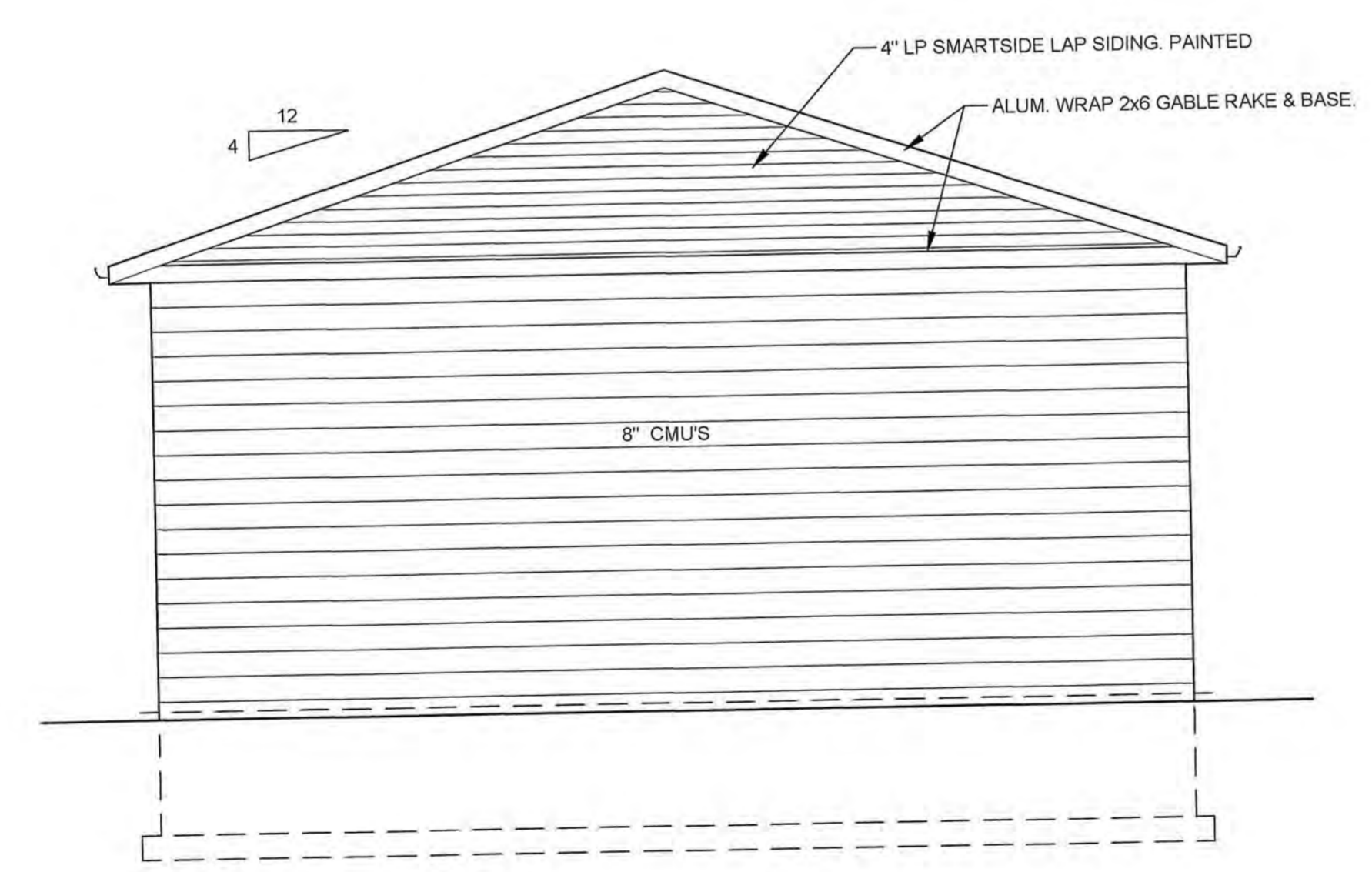
**NEW VEHICLE STORAGE BUILDING FOR:
 RACINE SPEED AND POWER**
 4543 DOUGLAS AVENUE, RACINE, WI 53402

PLAN DATES:
 PERMIT
 7-5-2023

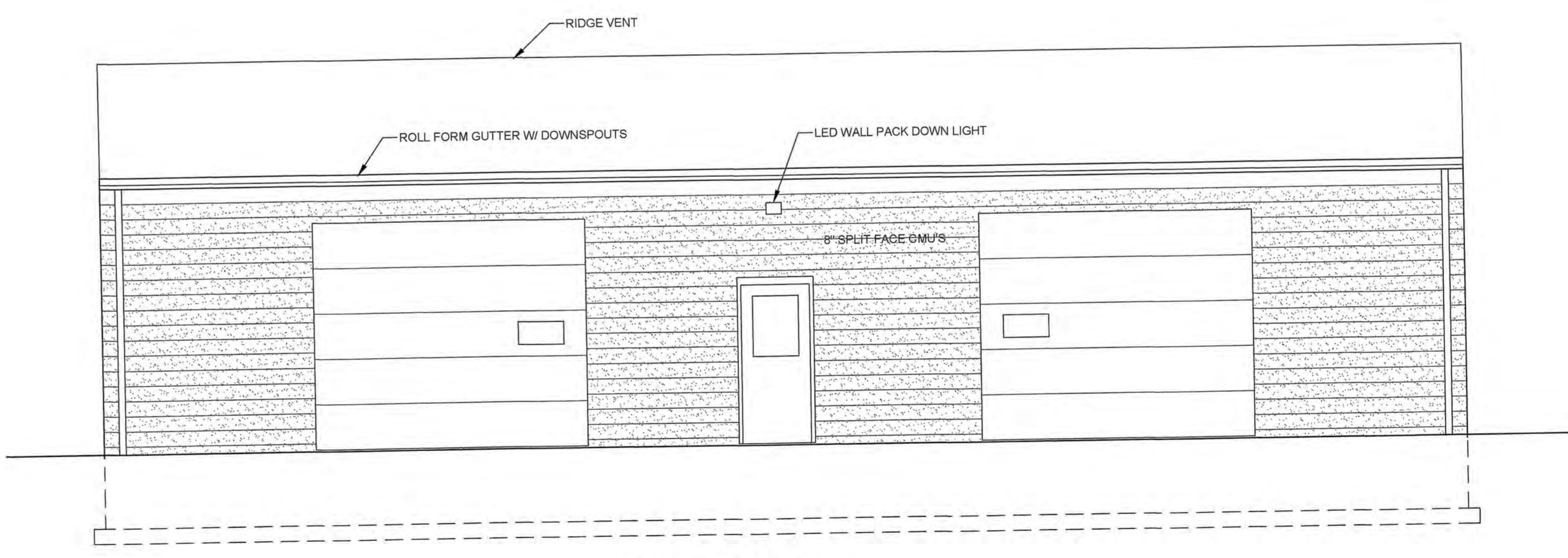
SHEET
1 of 2



BUILDING SECTION
 LOOKING NORTH & THRU OVERHEAD DOOR SCALE: 1/2" = 1'-0"



NORTH & SOUTH ELEVATIONS
 SCALE: 1/4" = 1'-0"



WEST ELEVATION
 EAST ELEVATION SIMILAR EXCEPT
 -NO DOORS & PLAIN CMU'S SCALE: 1/4" = 1'-0"

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 mb_yuhas@yahoo.com

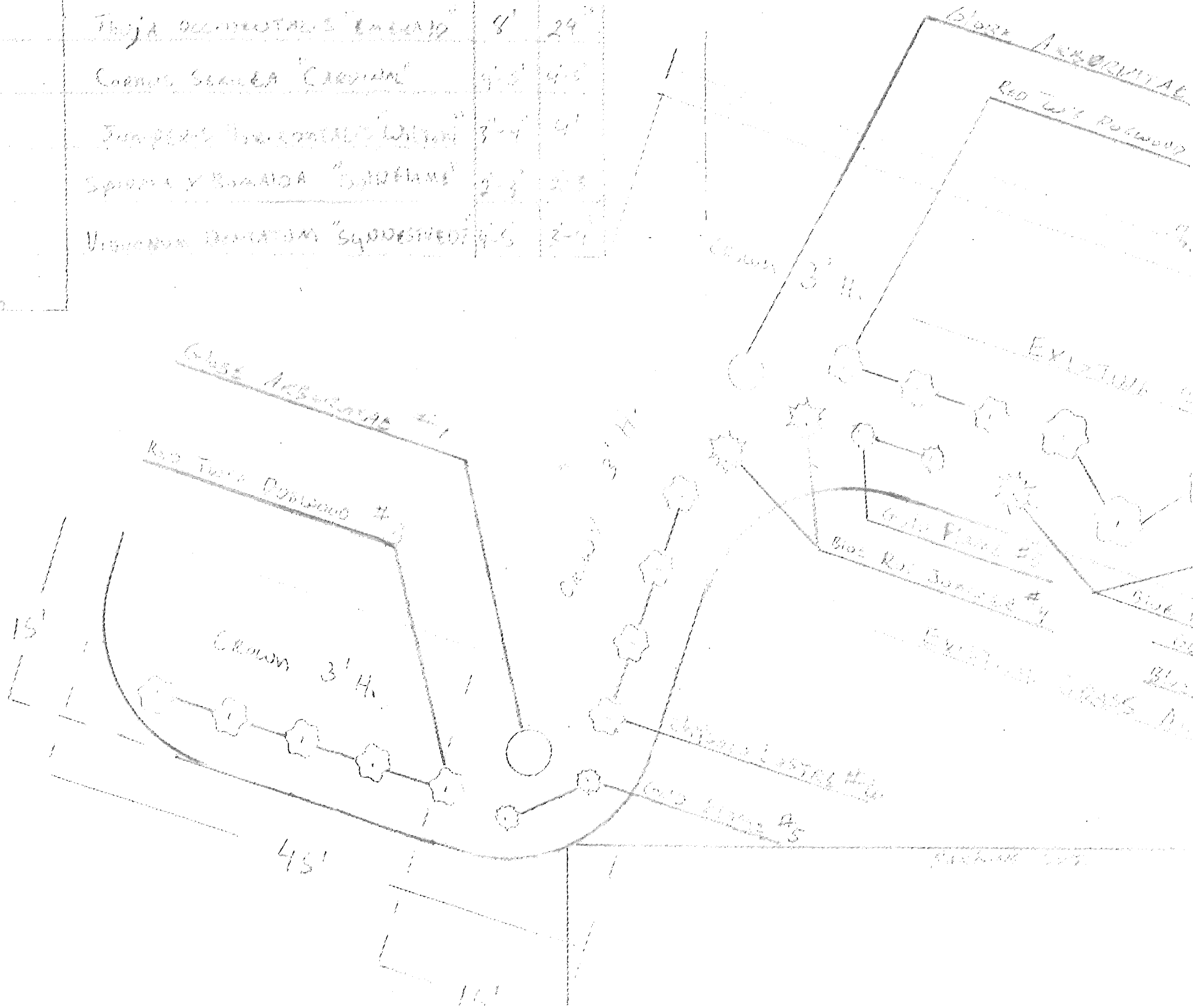
**NEW VEHICLE STORAGE BUILDING FOR:
 RACINE SPEED AND POWER
 4543 DOUGLAS AVENUE, RACINE, WI 53402**

PLAN DATES:
 PERMIT
 7-5-2023

SHEET
2 of 2

D. H. W.	Common Name	Botanical Name	M.H.	M.W.
3	2' 2' #1 Glass Acacia	<i>Trija glomerata</i> Woodwardii	3-4	3-4
3	6' 15' #2 Glass Acacia	<i>Trija glomerata</i> Woodwardii	8'	24"
11	3' 3' #3 Red Tree	<i>Cordia alliodora</i> 'Caribaea'	4-5	4-5
6	2' 2' #4 Blue-Red	<i>Juniperus procumbens</i> 'Wilsonii'	3-4	4'
7	18' 18' #5 Gold Flame	<i>Sporobolus vaginatus</i> 'Spartan'	2-3	2-3
4	3' 2' #6 Chilodactyl	<i>Vincetoxicum</i> 'Symplocos'	2-4	2-4

Begin Cover, Hand Wood



5/2/74



PLAN COMMISSION REPORT

Proposal: Building, Site & Operations (BSO) Plan Review

Description: Review a request to approve a site plan for the construction and utilization of a ±864 square-foot storage building for property located at 6633 Douglas Avenue.

Applicant(s): Kevin Jones

Address(es): 6633 Douglas Avenue

Suggested Motion: That the Plan Commission recommends to the Village Board that the building, site, and operational plan for a ±864 square-foot storage building located at 6633 Douglas Avenue be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed building is a permitted accessory use for a park zoning district.

Owner(s): Ladwig & Ladwig LLC

Tax Key(s): 104-04-23-18-008-010

Lot Size(s): 7.773 acres

Current Zoning District(s): P-2, Park District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Recreational

Background: The applicant is requesting approval for the construction and utilization of a ±864 square-foot storage building located at 6633 Douglas Avenue.

The proposed building is designed to be used as a storage facility for equipment and materials for the golf driving range business that operates on the site. The proposed building will have a residential design using exterior materials such as vinyl siding and asphalt roofing. No windows are proposed for the building as it designed to store groundskeeping equipment. The overhead door will face north and have a service door on the west elevation facing Douglas Avenue. The applicant will be installing five arborvitaes along the west elevation of the building to help screen the building from the road. The proposed building complies with zoning code requirements for an accessory building. No lighting is proposed for this building.

There will be no requirements to address stormwater runoff as it does not disturb enough land or create enough additional impervious surface on the site. Engineering has reviewed the proposed structure and has no concerns. If approved, the proposed building will be reviewed by staff to ensure compliance with fire, engineering, and building codes. Staff recommends approving the proposed accessory structure as it complies with Village Zoning Code requirements.

If the Plan Commission is comfortable with the proposed storage building, staff has drafted a suggested motion recommending approval of the ±864 square-foot storage building located at 6633 Douglas Avenue.

Respectfully submitted:



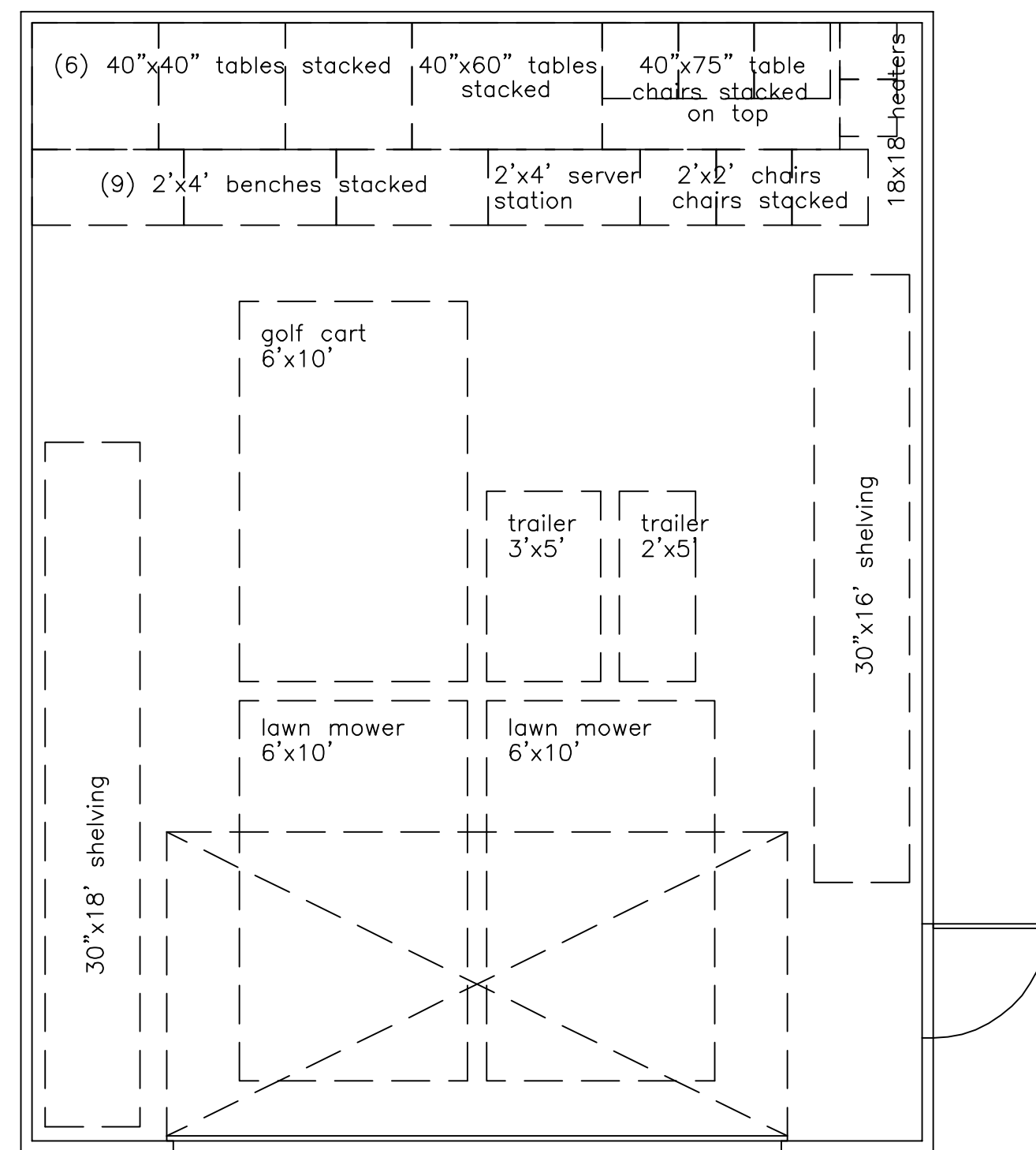
Peter Wagner, AICP
Development Director



6633 DOUGLAS AVE

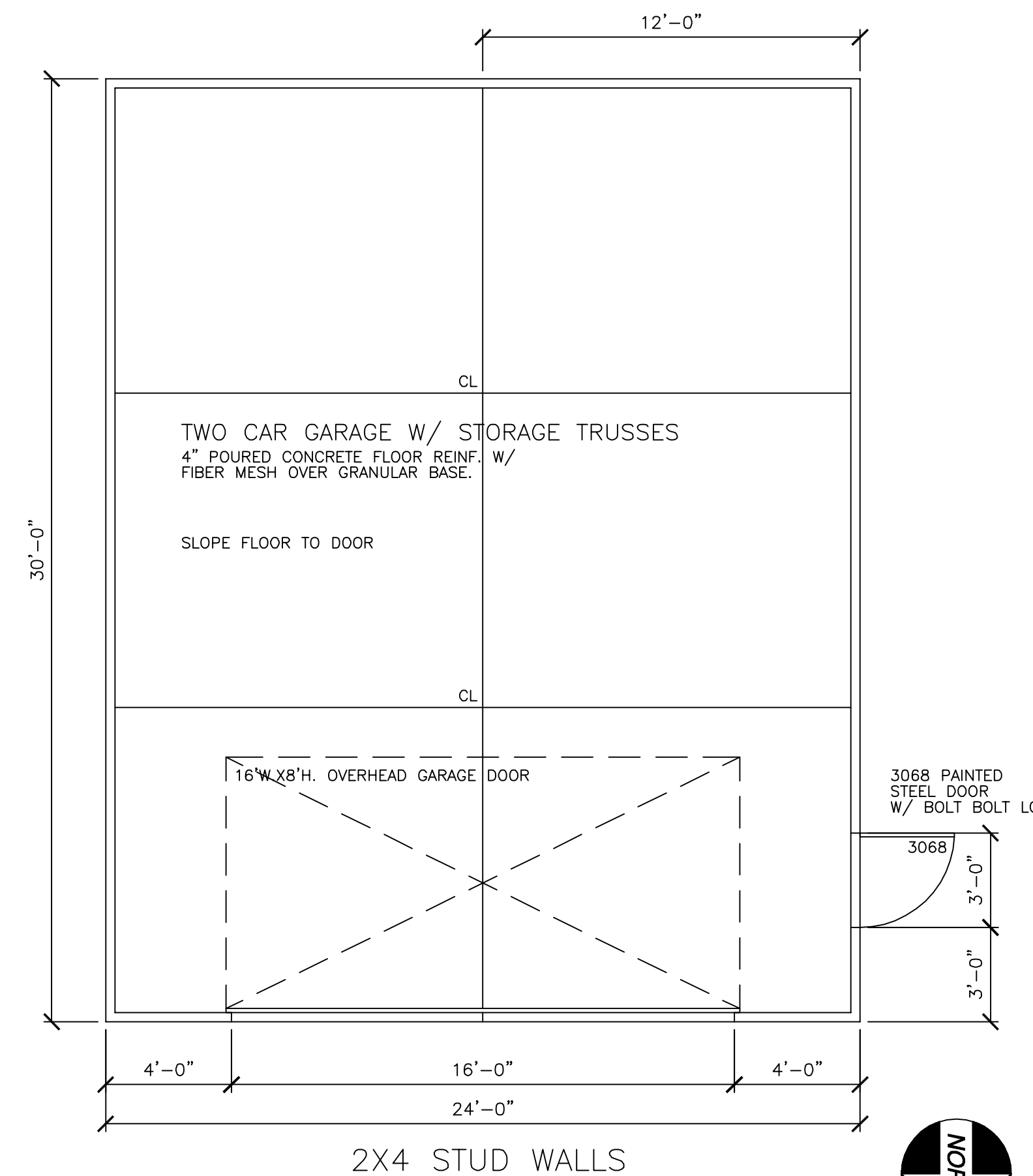
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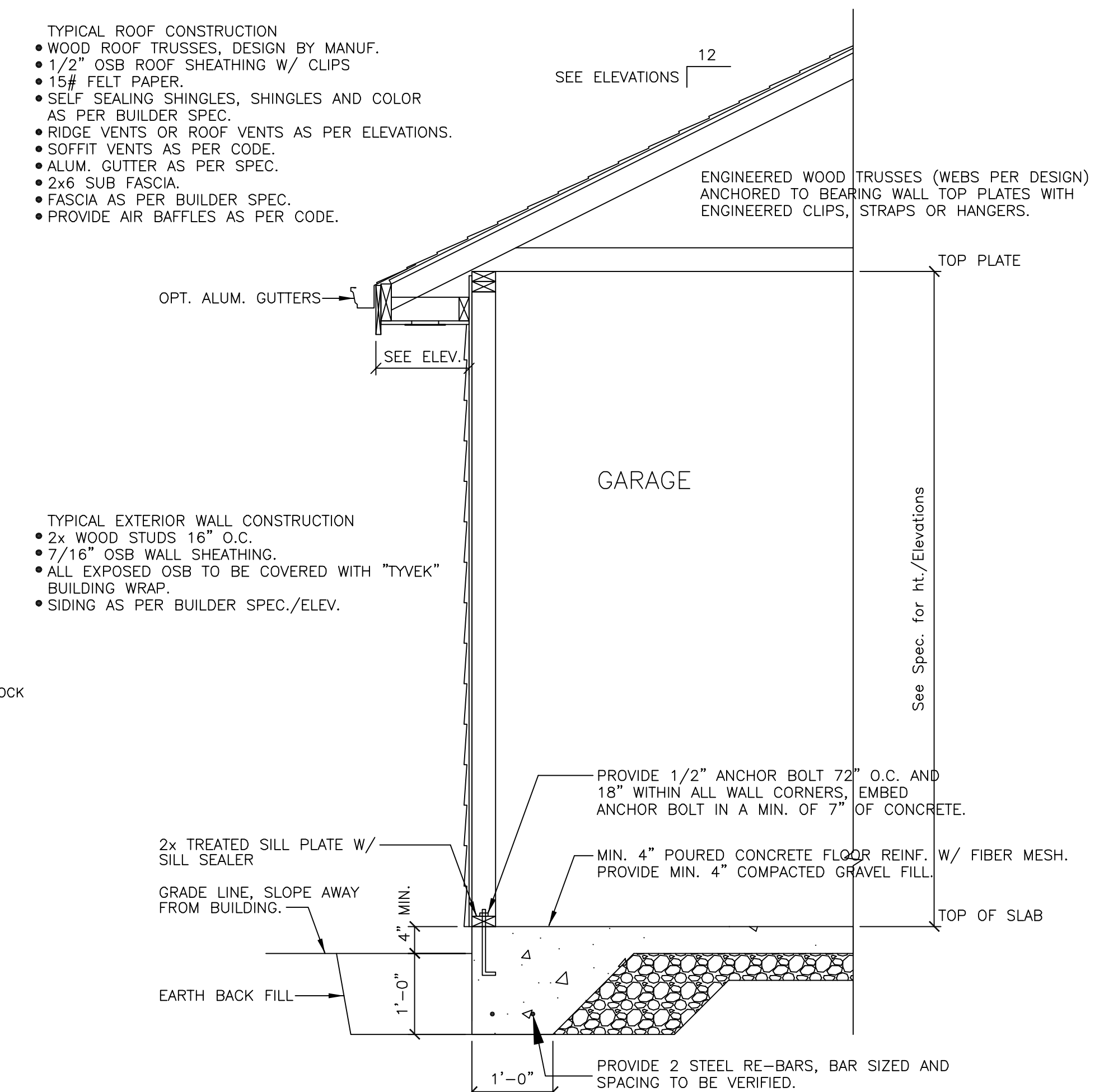
EQUIPMENT LAYOUT

SCALE 1/4"=1'-0"



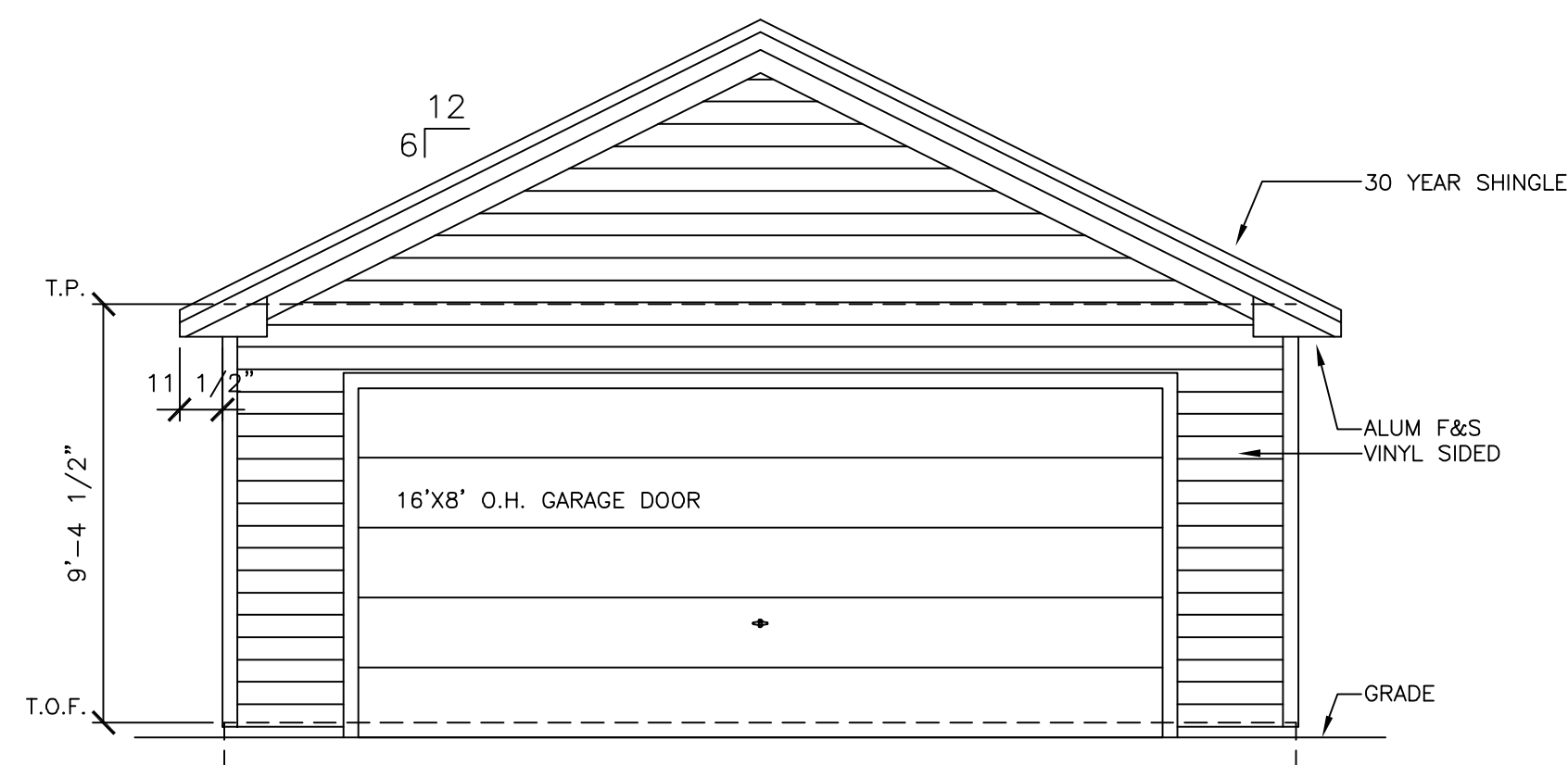
FLOOR PLAN

SCALE 1/4"=1'-0"



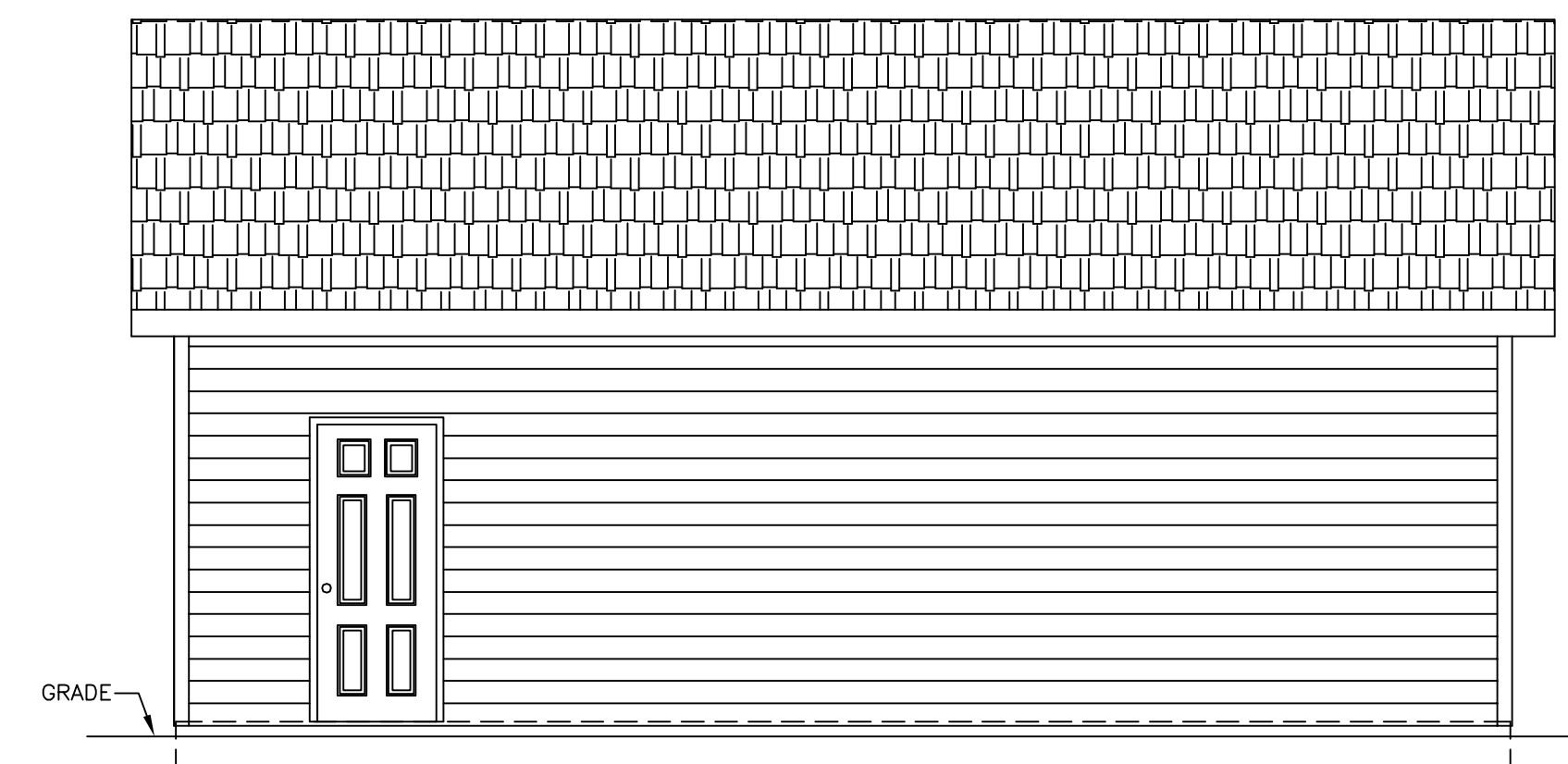
TYP. WALL SECTION

SCALE 3/4"=1'-0"



NORTH ELEV.

SCALE 1/4"=1'-0"



WEST ELEV.

SCALE 1/4"=1'-0"

- TYPICAL ROOF CONSTRUCTION**
- WOOD ROOF TRUSSES, DESIGN BY MANUF.
 - 1/2" OSB ROOF SHEATHING W/ CLIPS
 - 15# FELT PAPER.
 - SELF SEALING SHINGLES, SHINGLES AND COLOR AS PER BUILDER SPEC.
 - RIDGE VENTS OR ROOF VENTS AS PER ELEVATIONS.
 - SOFFIT VENTS AS PER CODE.
 - ALUM. GUTTER AS PER SPEC.
 - 2x6 SUB FASCIA.
 - FASCIA AS PER BUILDER SPEC.
 - PROVIDE AIR BAFFLES AS PER CODE.

- TYPICAL EXTERIOR WALL CONSTRUCTION**
- 2x WOOD STUDS 16" O.C.
 - 7/16" OSB WALL SHEATHING.
 - ALL EXPOSED OSB TO BE COVERED WITH "TYVEK" BUILDING WRAP.
 - SIDING AS PER BUILDER SPEC./ELEV.

APPROVALS	
BUILDER	
CLIENT	
CLIENT	

REVISIONS

NO.	DATE
1	00/00/00

DATE
7/12/23

PROJECT NO.
000-00

SHEET NO.