



VILLAGE OF CALEDONIA UTILITY DISTRICT MEETING AGENDA

Wednesday, July 5, 2023 – 6:00 p.m.

Caledonia Village Hall – 5043 Chester Lane

THIS WILL BE AN IN-PERSON MEETING

1. **Meeting Called to Order**
2. **Roll Call**
3. **Approval of Minutes**
 - a. Utility District Regular Meeting – June 7, 2023 & June 19, 2023
4. **Citizen Comments**
5. **Communications and Announcements**
 - a. Racine Water Utility Agenda & Minutes
 - b. Racine Wastewater Utility Agenda & Minutes
 - c. 2022 Consumer Confidence Report
 - d. Utility Operator Staffing Update
6. **Approval of O&M Bills**
 - a. O&M Bills related to the Sewer, Water & Storm Water Utility District
7. **Project Updates**
 - a. Construction Contract Status
 - b. Riverbend Lift Station Safety Site, Lift Station & Forcemain Upgrade
 - c. Annual Televising Program – Sanitary Sewer
 - d. Water Impact Fee / Sewer Connection Fee Update
 - e. Hoods Creek Attenuation Basin Expansion
 - f. Central Lift Station Safety Site & Attenuation Basin
 - g. Dominican Lift Station Rehab Project
 - h. Washington Meadows Watermain Project
 - i. TID #4 Elevated Storage Tank & Adams Road Watermain
 - j. Hoods Creek – Aldebaran Brushing Project
 - k. Douglas Avenue OMG Ditch Project
 - l. Turtle Creek Restoration
 - m. Westview Village Storm Improvements
8. **Action Items**
 - a. Change Order #11 – Hoods Creek Attenuation Basin Expansion
 - b. Change Order #12 – Hoods Creek Attenuation Basin Expansion
 - c. Change Order #1 – Washington Meadows Water Main Improvements
 - d. Change Order #5 – North Kremer Water Main Improvements
 - e. Final Acceptance – North Kremer Water Main Improvements
 - f. Engineering Improvement Plan Approval – Prairie Pathways Phase V
 - g. Authorization of Signatures – Deposit Agreement – 7431 5 Mile Road
 - h. Lot 16 Karen Jean North Subdivision – Grading into wetland setback area
 - i. Request for Variance – 5920 Sunshine Lane
 - j. Request for Variance – 5040 Candlelight Drive
9. **Adjournment**

**Village of Caledonia Utility District Meeting
June 7, 2023**

1. Meeting Called to Order – The Regular Meeting of the Village of Caledonia Utility District was held on Wednesday, June 7, 2023. The meeting was called to order by President Howard Stacey at 6:01 pm.

2. Roll Call – Those present were President Howard Stacey, Commissioners Robert Kaplan, Dave Ruffalo and Trustee Lee Wishau. Commissioner John Strack was excused. Also, present was Public Services Director Anthony Bunkelman.

3. Approval of Minutes

a. Upon a motion by Trustee Wishau and seconded by Commissioner Kaplan, the Commission approved the minutes from the Utility District's previous regular meeting held May 3, 2023. A copy of the minutes has been furnished to each Commissioner.
Motion carried.

4. Citizens Comments

5. Communications and Announcements

a. Racine Water Utility Agenda

The Commission looked over the agenda and minutes from the May 16th meeting of the Racine Water Utility. Director Bunkelman gave a brief summary of the meeting.

b. Racine Wastewater Utility Agenda & Minutes

The Commission looked over the agenda and minutes from the May 16th meeting of the Racine Wastewater Utility. Director Bunkelman gave a brief summary of the meeting.

c. Sewer Service Recipient (SSR) Notice of Purchased Capacity Exceedance (February 27, 2023)

Director Bunkelman informed the Commission that a letter of capacity exceedance was received for the February 27, 2023 event. Caledonia's response to the event was also provided to the Commission. This was a direct result of a heavy rain with snow melt off. Racine Wastewater noted at their meeting that Caledonia was the only SSR to respond at that time.

d. Annual Notice of Maximum Historical Parameters for SSR Parties (2022)

Director Bunkelman informed the Commission that the annual letter was received. It indicates the exceedances that occurred in 2022. Caledonia's response to the letter was also provided to the Commission.

e. Utility Operations Supervisor – Retirement

Director Bunkelman noted that Utility Operations Supervisor Robert (Bob) Lui has submitted his 2 week notice for retiring. Bob has 41 years of service with the Utility District. Director Bunkelman and Supervisor Lui have been meeting regularly to go over items that need to be performed.

f. Utility Operator Staffing Update

Director Bunkelman informed the Commission that there were 2 interviews held for the open positions. A job offer is being made to 1 of the candidates. The Commission has indicated that the Village should look into soliciting to Moraine Park Students.

6. Approval of O&M Bills

a. Trustee Wishau moved to approve the Sewer Utility Invoices in the amount of \$78,824.33 from the June 1st invoice list. Seconded by Commissioner Kaplan.
Motion carried.

b. Trustee Wishau moved to approve the Water Utility Invoices in the amount of \$471,550.99 from the June 1st invoice list. Seconded by Commissioner Ruffalo.
Motion carried.

c. Trustee Wishau moved to approve the Storm Water Utility Invoices in the amount of \$3,420.66 from the June 1st invoice list. Seconded by Commissioner Kaplan.
Motion carried.

7. Project Updates

a. Construction Contract Status

The current contract statuses were shared with the Commissioners.

b. Riverbend Lift Station Safety Site, Lift Station & Forcemain Upgrade

Looking to wrap up the Facility Plan so that it can be reviewed by staff. Once reviewed will submit to the DNR and look to schedule a Public Hearing.

c. Annual Televising Program – Sanitary Sewer

Will continue to perform repairs that staff can perform.

d. Water Impact Fee / Sewer Connection Fee Update

Reviewing information received.

e. Hoods Creek Attenuation Basin Expansion

The Basin has been backfilled and the area has been seeded. Working through issues on the flush gates, programming, and garage door openers. Walkthrough scheduled for June 6th.

f. Central Lift Station Safety Site & Attenuation Basin

Design Meeting held on May 25th. Reviewed 3D model of proposed building. Working toward finalizing the building size and layout based on discussion. Looking to have the 3 large pumps rebuilt, 1 at a time. This will put the pumps back within tolerances and may see improvement in flow. There also has been discussion on pre-excavating the basin due to the need for material at The Glen Subdivision.

g. North Kremer Watermain Project

Awaiting Final Pay Request.

h. Dominican Lift Station Rehab Project

Driveway has been paved, areas have been seeded. Cathodic Protection training is scheduled for the week of June 5th.

i. Concord Apartments Meter Vault

Restoration completed. Awaiting Final Pay Request.

j. Washington Meadows Watermain

Walkthrough performed on June 1. Punchlist created and forwarded to contractor. Substantial completion to be granted within a week.

k. TID #4 Elevated Storage Tank & Adams Road Watermain

Study to be completed in about 2 weeks. Elevated Tank Plans are near complete. Soil borings are scheduled for the week of June 5th.

l. Hoods Creek – Aldebaran Brushing Project

Contractor looking to perform project this year when weather conditions are acceptable. Will be sending letters to owners to inform them of work.

m. Douglas Avenue – OMG Ditch Project

Walkthrough performed on May 17th. Punchlist forwarded to contractor. Awaiting final restoration and Final Pay Request (with lien waivers).

n. Turtle Creek Restoration

Southern Wisconsin Appraisal meeting with owners to discuss easement acquisition.

o. Westview Village Storm Improvements

Walkthrough performed May 3. Punchlist forwarded to contractor. Awaiting final restoration. Will need to process a Change Order for time when received.

8. Action Items

a. Discussion of Management of Utility District (responsibilities & implementation)

Director Bunkelman explained that he has been meeting with Supervisor Lui to go over various items and timelines to ensure that items are not forgotten. Some items include Lift Station visits, Sewer Cleaning, Cliffside Park discharge, Water Sampling, Meter Reading, and Sewer & Water Reporting.

Meetings have also been held with the Operators to obtain ideas on efficiencies moving forward.

The Commission was concerned that the position would not be filled. At this time the position will be left vacant with the intent to fill it when more evaluation of the operation is performed. In the meantime Director Bunkelman will be working closely with the Senior Field Operator to ensure items are completed.

b. Change Order #5 – Dominican Lift Station Rehabilitation Project

Commissioner Ruffalo moved to approve Change Order #5 for bypass pumping for the Dominican Lift Station Rehabilitation Project for an increase in cost of \$46,200.00. Seconded by Trustee Wishau. **Motion carried.**

c. Authorization of Signatures – Storm Water Drainage Easement – Bluffside Estates LLC – Bluffside

Trustee Wishau moved to authorize the President and Secretary of the Caledonia Utility District to execute the Storm Water Drainage Easement for Bluffside with Bluffside Estates LLC. Seconded by Commissioner Ruffalo. **Motion carried.**

d. Authorization of Signatures – Watermain Easement – Bluffside Estates LLC – Bluffside

Trustee Wishau moved to authorize the President and Secretary of the Caledonia Utility District to execute the Watermain Easement for Bluffside with Bluffside Estates LLC. Seconded by Commissioner Ruffalo. **Motion carried.**

e. Resolution 2023-XX – Resolution of the Village Board of the Village of Caledonia Authorizing the Payment To Matt Montemurro For A Claim Submitted to the Village on May 15, 2023

Commissioner Kaplan moved to approve Resolution 2023-XX and forward to the Village Board for consideration. Seconded by Trustee Wishau. **Motion carried.**

9. Adjournment

Upon a motion by Trustee Wishau and seconded by Commissioner Ruffalo, the Commission moved to adjourn the regular meeting at 7:05pm. **Motion carried.**

Respectively submitted,
Anthony A. Bunkelman P.E. Public Services Director

Village of Caledonia Utility District Meeting
June 19, 2023

1. Meeting Called to Order – A Special Meeting of the Village of Caledonia Utility District was held on Wednesday, June 19, 2023. The meeting was called to order by President Howard Stacey at 5:30 pm.

2. Roll Call – Those present were President Howard Stacey, Commissioners Robert Kaplan, John Strack, and Trustee Lee Wishau. Commissioner Dave Ruffalo was absent. Also, present was Public Services Director Anthony Bunkelman.

3. Action Items

a. Resolution 2023-01 – Resolution Approving the 2022 Compliance Maintenance Annual Report for the Caledonia Utility District

Director Bunkelman gave an overview of the 2022 CMAR for the Caledonia Utility District by going over the report.

Trustee Wishau moved to approve Resolution 2023-01. Seconded by Commissioner Strack. **Motion carried.**

4. Adjournment

Upon a motion by Trustee Wishau and seconded by Commissioner Strack, the Commission moved to adjourn the regular meeting at 5:39pm. **Motion carried.**

Respectively submitted,
Anthony A. Bunkelman P.E. Public Services Director



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Agenda Waterworks Commission

Tuesday, May 16, 2023

4:00 PM

City Hall, Room 207 A/B

ROLL CALL

[0484-23](#)

Subject: Approval of Minutes for the April 24, 2023, Meeting

Fiscal Note: N/A

Attachments:

[water minutes 04.24.23](#)

[0485-23](#)

Subject: Review of the 2022 Water Utility Audit from Clifton Larsen Allen (Shannon Small Invited to Meeting)

Fiscal Note: N/A

Attachments:

[draft 2022_rwu & rwwu financial statements](#)

[draft 2022_rwu & rwwu internal control letter](#)

[draft 2022_rwu & rwwu_auditor ltr to governance](#)

[0486-23](#)

Subject: Final Payment Request on Contract W-22-5, Villa Street Lead Service Replacements, Five Star Energy Services (Contractor)

Fiscal Note: Utility to pay contractor the full amount of retainage of \$30,210.00.

Attachments:

[w-22-5 req for final pmt ltr to comsrs rwp](#)

[0487-23](#)

Subject: Developer's Agreement for the Tivoli Green Apartments Phase 2 Development Project (Wangard Development, LLC, developer)

Fiscal Note: The developer pays all costs associated with the installation of the water main estimated at \$200,000.

Attachments:

[developer's agreement tivoli green, ph 2](#)

[0488-23](#)

Subject: Proposal from raSmith for Construction-Related Services for the Tivoli Green Phase 2 Development Project

Fiscal Note: The total cost of the proposal is \$14,700, to be paid by the developer.

Attachments: [crs_tivoli green phase 2](#)

Adjournment

If you are disabled and have accessibility needs or need information interpreted for you, please contact the Water Utility Administration Office at 262.636.9181, at least 48 hours prior to this meeting.



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Minutes - Draft

Waterworks Commission

Tuesday, May 16, 2023

4:00 PM

City Hall, Room 207 A/B

ROLL CALL

PRESENT: 7 - Natalia Taft, John Tate II, Jason Meekma, Mollie Jones, Terry McCarthy, Cory Mason and Paul Vornholt

EXCUSED: 1 - Stacy Sheppard

[0484-23](#)

Subject: Approval of Minutes for the April 24, 2023, Meeting

Recommendation: To Approve

Fiscal Note: N/A

A motion was made by Vice President Taft, seconded by Meekma, that this file be Approved

[0485-23](#)

Subject: Review of the 2022 Water Utility Audit from Clifton Larsen Allen (Shannon Small Invited to Meeting)

Recommendation: To Receive & File

Fiscal Note: N/A

Shannon Small, CPA, of Clifton Larsen Allen, presented audit results for the year 2022. It is the auditor's unmodified (clean) opinion that the financial statements present fairly the financial position of the Utility in accordance with generally accepted accounting principles. Two significant deficiencies identified were the preparation of financial statements, and a lack of segregation of duties because of limited staff.

A motion was made by Mayor Mason, seconded by Vice President Taft, that this file be Received and Filed

[0486-23](#)

Subject: Final Payment Request on Contract W-22-5, Villa Street Lead Service Replacements, Five Star Energy Services (Contractor)

Recommendation: To Approve

Fiscal Note: Contract W-22-5 is complete in the amount of \$674,999.96. The Utility to pay contractor the full amount of retainage of \$30,210.00.

The Water Utility Director submitted final payment request on Contract W-22-5, and

recommended for approval that work performed by Five Star Energy Services be accepted and final payment be authorized.

A motion was made by Vice President Taft, seconded by Alder McCarthy, that this file be Approved

[0487-23](#)

Subject: Developer's Agreement for the Tivoli Green Apartments Phase 2 Development Project (Wangard Development, LLC, developer)

Recommendation: To Approve with a Referral to the Finance & Personnel Committee

Fiscal Note: The developer pays all costs associated with the installation of the water main estimated at \$200,000.

The Water Utility Director presented Developer's Agreement for the Tivoli Green Apartments Phase 2 Development Project, which consists of about 1,000 ft of 12" water main extension. The 2004 Retail Water Agreement Sect. 5b provides that the water main be built to Utility specifications, and upon successful structural testing and receipt of as-built drawings, the water main would be dedicated as an asset for the Utility to maintain.

A motion was made by Vice President Taft, seconded by Alder McCarthy, that this file be Referred Finance and Personnel Committee

[0488-23](#)

Subject: Proposal from raSmith for Construction-Related Services for the Tivoli Green Phase 2 Development Project

Recommendation: To Approve

Fiscal Note: The total cost of the proposal is \$14,700, to be paid by the developer.

The Water Utility Director presented proposal by raSmith for the inspection services for the water main installation.

A motion was made by Vice President Taft, seconded by Meekma, that this file be Approved

Adjournment

There being no further business, the meeting was adjourned at 4:27 p.m.



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Agenda Wastewater Commission

Tuesday, May 16, 2023

4:30 PM

City Hall, Room 207 A/B

ROLL CALL

[0489-23](#)

Subject: Approval of Minutes for the April 24, 2023, Meeting

Fiscal Note: N/A

Attachments:

[ww minutes 04.24.23](#)

[0490-23](#)

Subject: Review of 2022 Wastewater Utility Audit from Clifton Larsen Allen (Shannon Small Invited to Meeting)

Fiscal Note: N/A

Attachments:

[draft 2022_rwu & rwwu financial statements](#)

[draft 2022_rwu & rwwu internal control letter](#)

[draft 2022_rwu & rwwu_auditor ltr to governance](#)

[0507-23](#)

Subject: Request Authority for Wastewater Director to sign Amended License to Use/Hold Harmless Agreement with the City of Racine

Fiscal Note: N/A

Attachments:

[amended license to use hold harmless agreemt cor](#)

[0491-23](#)

Subject: Request by the Village of Mount Pleasant for the Approval of a Sanitary Sewer Extension for Pike River Crossing Subdivision

Fiscal Note: N/A

Attachments:

[sse request pike river crossing](#)

[0492-23](#)

Subject: Request by the Village of Mount Pleasant for the Approval of a Sanitary Sewer Extension for Tivoli Green, Phase 2

Fiscal Note: N/A

Attachments:

[sse request tivoli phase 2](#)

[0493-23](#)

Subject: Communication Regarding Capacity Exceedance Notification
Letters for February 2023 Rain Event

Fiscal Note: N/A

Adjournment

**If you are disabled and have accessibility needs or need information interpreted for you,
please contact the Wastewater Utility Administration Office at 262.636.9181, at least 48
hours prior to this meeting.**



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Minutes - Final Wastewater Commission

Tuesday, May 16, 2023

4:30 PM

City Hall, Room 207 A/B

ROLL CALL

PRESENT: 10 - Natalia Taft, John Hewitt, Robert Lui, Claude Lois, John Tate II, Paul Vornholt, Cory Mason, Jason Meekma, Mollie Jones and Terry McCarthy

EXCUSED: 3 - Stacy Sheppard, Dean Rosenberg and Anthony Beyer

[0489-23](#)

Subject: Approval of Minutes for the April 24, 2023, Meeting

Recommendation: To Approve

Fiscal Note: N/A

A motion was made by Vice President Tate II, seconded by Meekma, that this file be Approved

[0490-23](#)

Subject: Review of 2022 Wastewater Utility Audit from Clifton Larsen Allen (Shannon Small Invited to Meeting)

Recommendation: To Receive & File

Fiscal Note: N/A

Shannon Small, CPA, of Clifton Larsen Allen, presented audit results for the year 2022. It is the auditor's unmodified (clean) opinion that the financial statements present fairly the financial position of the Utility in accordance with generally accepted accounting principles. Two significant deficiencies identified were the preparation of financial statements, and a lack of segregation of duties because of limited staff.

A motion was made by Alder McCarthy, seconded by Lois, that this file be Received and Filed

[0507-23](#)

Subject: Request Authority for Wastewater Director to sign Amended License to Use Real Estate/Hold Harmless Agreement with the City of Racine.

Recommendation of the Wastewater Commission on 05-16-23: To Approve with Referral to the Community Development Authority.

Staff Recommendation to the Community Development Authority

on 06-20-23: To adopt CDA Resolution 23-06 approving the License to Use Real Estate/Hold Harmless Agreement and authorizing the Interim Executive Director to sign the agreement with the Wastewater Utility.

Fiscal Note: N/A

The Wastewater Utility Director presented a newly amended "License to Use Real Estate/Hold Harmless Agreement" drafted by the City Attorney's Office for the Community Development Authority. The Agreement lays out land-use terms and parameters of legal protection during the time frame that the Utility will temporarily use an alternate location at 1831 Phillips Avenue for the Household Hazardous Waste (HHW) events, until construction of the City's new Transfer Station is complete.

A motion was made by Mayor Mason, seconded by Meekma, that this file be Referred Community Development Authority

[0491-23](#)

Subject: Request by the Village of Mount Pleasant for the Approval of a Sanitary Sewer Extension for Pike River Crossing Subdivision

Recommendation: To Approve

Fiscal Note: N/A

The Wastewater Utility Director presented the sewer extension request for the Pike River Crossing Subdivision within the Village of Mount Pleasant. Per Sewer agreement Section 3.3a, the Commission is required to approve all SSR party sanitary sewer extensions. The Mount Pleasant Sewer Utility District has reviewed and approved these project plans. The extension entails approximately 3,524 L.F. of 8" diameter sanitary sewer that will serve Phase 1 of a new subdivision.

A motion was made by Lui, seconded by Hewitt, that this file be Approved

[0492-23](#)

Subject: Request by the Village of Mount Pleasant for the Approval of a Sanitary Sewer Extension for Tivoli Green, Phase 2

Recommendation: To Approve

Fiscal Note: N/A

The Wastewater Utility Director presented the sewer extension request for the Tivoli Green-Phase 2 development within the Village of Mount Pleasant. Per Sewer agreement Section 3.3a, the Commission is required to approve all SSR party sanitary sewer extensions. The Mount Pleasant Sewer Utility District has reviewed and approved these project plans. The extension entails approximately 105 L.F. of 8" diameter sanitary sewer that will serve two multi-family buildings in the proposed development.

A motion was made by Lui, seconded by Alder McCarthy, that this file be Approved

[0493-23](#)

Subject: Communication Regarding Capacity Exceedance Notification Letters for February 2023 Rain Event

Recommendation: To Receive & File

Fiscal Note: N/A

The Wastewater Utility Director communicated that Capacity Exceedance Notification Letters were sent out to the City of Racine, as well as the Villages of Mt. Pleasant and Caledonia, as per Intergovernmental Sewer Agreement requirements.

A motion was made by Mayor Mason, seconded by Alder McCarthy, that this file be Received and Filed

Adjournment

There being no further business, the meeting was adjourned at 4:54 p.m.

2022 Consumer Confidence Report Data CALEDONIA WATER UTILITY - VILLAGE OF, PWS ID: 25201847

Este informe contiene información importante acerca de su agua potable. Haga que alguien lo traduzca para usted, o hable con alguien que lo entienda.

Dlaim ntawv tshaabzu nuav muaj lug tseemceeb heev nyob rua huv kws has txug cov dlej mej haus. Kuas ib tug paab txhais rua koj, los nrug ib tug kws paub lug thaam.

Water System Information

If you would like to know more about the information contained in this report, please contact Tony Bunkelman at (262) 835-6416.

Opportunity for input on decisions affecting your water quality

Utility Commission meetings are held at 6:00 PM on the first Wednesday of the month at the Utility District Office, 333 4 1/2 Mile Road, Racine, WI, 53402.

Health Information

Drinking water, including bottled water, may reasonably be expected to contain at least small amounts of some contaminants. The presence of contaminants does not necessarily indicate that water poses a health risk. More information about contaminants and potential health effects can be obtained by calling the Environmental Protection Agency's safe drinking water hotline (800-426-4791).

Some people may be more vulnerable to contaminants in drinking water than the general population. Immuno-compromised persons such as persons with cancer undergoing chemotherapy, persons who have undergone organ transplants, people with HIV/AIDS or other immune systems disorders, some elderly, and infants can be particularly at risk from infections. These people should seek advice about drinking water from their health care providers. EPA/CDC guidelines on appropriate means to lessen the risk of infection by cryptosporidium and other microbial contaminants are available from the Environmental Protection Agency's safe drinking water hotline (800-426-4791).

Source(s) of Water

Source ID	Source	Depth (in feet)	Status
1	Purchased Surface Water		Active
2	Purchased Surface Water		Active

Purchased Water

PWS ID	PWS Name
24101726	OAK CREEK WATERWORKS
25200626	RACINE WATERWORKS

To obtain a summary of the source water assessment please contact Tony Bunkelman at (262) 835-6416.

Educational Information

The sources of drinking water, both tap water and bottled water, include rivers, lakes, streams, ponds, reservoirs, springs and wells. As water travels over the surface of the land or through the ground, it dissolves naturally occurring minerals and, in some cases, radioactive material, and can pick up substances resulting from the presence of animals or from human activity.

Contaminants that may be present in source water include:

- Microbial contaminants, such as viruses and bacteria, which may come from sewage treatment plants, septic systems, agricultural livestock operations and wildlife.
- Inorganic contaminants, such as salts and metals, which can be naturally- occurring or result from urban stormwater runoff, industrial or domestic wastewater discharges, oil and gas production, mining or farming.
- Pesticides and herbicides, which may come from a variety of sources such as agriculture, urban stormwater runoff and residential uses.
- Organic chemical contaminants, including synthetic and volatile organic chemicals, which are by-products of industrial processes and petroleum production, and can also come from gas stations, urban stormwater runoff and septic systems.
- Radioactive contaminants, which can be naturally occurring or be the result of oil and gas production and mining activities.

In order to ensure that tap water is safe to drink, EPA prescribes regulations that limit the amount of certain contaminants in water provided by public water systems. FDA regulations establish limits for contaminants in bottled water, which shall provide the same protection for public health.

Definitions

Term	Definition
AL	Action Level: The concentration of a contaminant which, if exceeded, triggers treatment or other requirements which a water system must follow.
HAL	Health Advisory Level: The concentration of a contaminant which, if exceeded, poses a health risk and may require a system to post a public notice.
Level 1 Assessment	A Level 1 assessment is a study of the water system to identify potential problems and determine, if possible, why total coliform bacteria have been found in our water system.
Level 2 Assessment	A Level 2 assessment is a very detailed study of the water system to identify potential problems and determine, if possible, why an E. coli MCL violation has occurred or why total coliform bacteria have been found in our water system, or both, on multiple occasions.
MCL	Maximum Contaminant Level: The highest level of a contaminant that is allowed in drinking water. MCLs are set as close to the MCLGs as feasible using the best available treatment technology.
MCLG	Maximum Contaminant Level Goal: The level of a contaminant in drinking water below which there is no known or expected risk to health. MCLGs allow for a margin of safety.
MFL	million fibers per liter
MRDL	Maximum residual disinfectant level: The highest level of a disinfectant allowed in drinking water. There is convincing evidence that addition of a disinfectant is necessary for control of microbial contaminants.
MRDLG	Maximum residual disinfectant level goal: The level of a drinking water disinfectant below which there is no known or expected risk to health. MRDLGs do not reflect the benefits of the use of disinfectants to control microbial contaminants.
mrem/year	millirems per year (a measure of radiation absorbed by the body)
NTU	Nephelometric Turbidity Units
pCi/l	picocuries per liter (a measure of radioactivity)
ppm	parts per million, or milligrams per liter (mg/l)
ppb	parts per billion, or micrograms per liter (ug/l)
ppt	parts per trillion, or nanograms per liter
ppq	parts per quadrillion, or picograms per liter
SMCL	Secondary drinking water standards or Secondary Maximum Contaminant Levels for contaminants that affect taste, odor, or appearance of the drinking water. The SMCLs do not represent health standards.
TCR	Total Coliform Rule
TT	Treatment Technique: A required process intended to reduce the level of a contaminant in drinking water.

Detected Contaminants

Your water was tested for many contaminants last year. We are allowed to monitor for some contaminants less frequently than once a year. The following tables list only those contaminants which were detected in your water. If a contaminant was detected last year, it will appear in the following tables without a sample date. If the contaminant was not monitored last year, but was detected within the last 5 years, it will appear in the tables below along with the sample date.

Disinfection Byproducts

Contaminant (units)	Site	MCL	MCLG	Level Found	Range	Sample Date (if prior to 2022)	Violation	Typical Source of Contaminant
HAA5 (ppb)	SM-1	60	60	18.5	12.7 – 30.3		No	By-product of drinking water chlorination
TTHM (ppb)	SM-1	80	0	50.2	33.4 – 69.2		No	By-product of drinking water chlorination
HAA5 (ppb)	SM-2	60	60	19.6	12.3 – 25.5		No	By-product of drinking water chlorination
TTHM (ppb)	SM-2	80	0	53.3	36.6 – 87.7		No	By-product of drinking water chlorination
HAA5 (ppb)	SM-3	60	60	16.0	11.2 – 20.8		No	By-product of drinking water chlorination
TTHM (ppb)	SM-3	80	0	29.5	18.0 – 37.7		No	By-product of drinking water chlorination
HAA5 (ppb)	SM-4	60	60	11.0	9.94 – 12.5		No	By-product of drinking water chlorination
TTHM (ppb)	SM-4	80	0	30.8	21.7 – 45.5		No	By-product of drinking water chlorination

Inorganic Contaminants

Contaminant (units)	Action Level	MCLG	90th Percentile Level Found	# of Results	Sample Date (if prior to 2022)	Violation	Typical Source of Contaminant
COPPER (ppm)	AL=1.3	1.3	0.4300	0 of 31 results were above the action level.	10/23/2020	No	Corrosion of household plumbing systems; Erosion of natural deposits; Leaching from wood preservatives
LEAD (ppb)	AL=15	0	2.40	1 of 31 results were above the action level.	10/23/2020	No	Corrosion of household plumbing systems; Erosion of natural deposits

Unregulated Contaminants

Unregulated contaminants are those for which EPA has not established drinking water standards. The purpose of unregulated contaminant monitoring is to assist EPA in determining the occurrence of unregulated contaminants in drinking water and whether future regulation is warranted. EPA required us to participate in this monitoring.

Contaminant (units)	Minimum Reporting Limit	Caledonia Level	Sample Date (if prior to 2022)
CYLINDROSPERMOPSIN (ppb)	0.090	Below MRL	2018
ANATOXIN-A (ppb)	0.030	Below MRL	2018
GERMANIUM			2019
MANGANESE			2019
ALPHA- HEXACHLOROCYCLOHEXANE			2019
CHLOPHYIFOS			2019
DIMETHIPIN			2019
ETHOPROP			2019
OXYFLUORFEN			2019

Contaminant (units)	Minimum Reporting Limit	Caledonia Level	Sample Date (if prior to 2022)
PROFENOFOS			2019
TEBECONAZOLE			2019
TOTAL PERMETHRIN			2019
TRIBUFOS			2019
1-BUTANOL			2019
2-METHOXYETHANOL			2019
2-PROPEN-1-OL			2019
BUTYLATED HYDROXYANISOLE			2019
O-TOLUIDINE			2019
QUINOLINE			2019
HAA5			2019
HAA6Br			2019
HAA9			2019

Additional Health Information

If present, elevated levels of lead can cause serious health problems, especially for pregnant women and young children. Infants and children who drink water containing lead in excess of the action level could experience delays in their physical or mental development. Children could show slight deficits in attention span and learning abilities. Adults who drink this water over many years could develop kidney problems or high blood pressure.

Lead in drinking water is primarily from materials and components associated with service lines and home plumbing. The Village of Caledonia Water Utility is responsible for providing high quality drinking water, but cannot control the variety of materials used in plumbing components. When your water has been sitting for several hours, you can minimize the potential for lead exposure by flushing your tap for 30 seconds to 2 minutes before using water for drinking or cooking. If you are concerned about lead in your water, you may wish to have your water tested. Information on lead in drinking water, testing methods, and steps you can take to minimize exposure is available from the Safe Drinking Water Hotline or at www.epa.gov/safewater/lead.

Purchased Water – Oak Creek

Our water system purchases water from OAK CREEK WATERWORKS. In addition to the detected contaminants listed above, these are the results from OAK CREEK WATERWORKS.

Source(s) of Water

Source ID	Source	Depth (in feet)	Waterbody Name	Status
2	Surface Water	45	Lake Michigan	Active

To obtain a summary of the source water assessment please contact, Mike Robe at (414) 764-1867.

Detected Contaminants

Your water was tested for many contaminants last year. We are allowed to monitor for some contaminants less frequently than once a year. The following tables list only those contaminants which were detected in your water. If a contaminant was detected last year, it will appear in the following tables without a sample date. If the contaminant was not monitored last year, but was detected within the last 5 years, it will appear in the tables below along with the sample date.

Microbiological Contaminants

Contaminant	MCL	MCLG	Count of Positives	Violation	Typical Source of Contaminant
Coliform (TCR)	Presence of coliform bacteria in <=5% of monthly samples.	0	0	No	Naturally present in the environment.

Disinfection Byproducts

Contaminant (units)	Site	MCL	MCLG	Level Found	Range	Sample Date (if prior to 2022)	Violation	Typical Source of Contaminant
HAA5 (ppb)	D15	60	60	10 LRAA	8-13		No	By-product of drinking water disinfection
TTHM (ppb)	D15	80	0	23.1 LRAA	16.4-34.1		No	By-product of drinking water disinfection

Contaminant (units)	Site	MCL	MCLG	Level Found	Range	Sample Date (if prior to 2022)	Violation	Typical Source of Contaminant
HAA5 (ppb)	D9	60	60	10 LRAA	7-14		No	By-product of drinking water disinfection
TTHM (ppb)	D9	80	0	24.9 LRAA	16.7- 39.2		No	By-product of drinking water disinfection

Inorganic Contaminants

Contaminant (units)	Site	MCL	MCLG	Level Found	Range	Sample Date (if prior to 2022)	Violation	Typical Source of Contaminant
ATRAZINE (ppb)		3	3	0.0		7/22/2020	No	Herbicide runoff
BARIUM (ppm)		2	2	0.020			No	Natural deposits
FLUORIDE (ppm)		4	4	0.6			No	Natural deposits. Water additive that promotes strong teeth.
NITRATE (N03-N) (ppm)		10	10	0.33			No	Natural deposits, fertilizer, animal, waste, sewage.

Contaminant (units)	Action Level	MCLG	90th Percentile Level Found	# of Results	Sample Date (if prior to 2022)	Violation	Typical Source of Contaminant
COPPER (ppm)	AL=1.3	1.3	0.19	0 of 31 results exceeded AL	8/6/2020	No	Natural deposits. Corrosion of household plumbing systems.
LEAD (ppb)	AL=15	0	2.50	1 of 31 results exceeded AL	8/6/2020	No	Natural deposits. Corrosion of household plumbing systems.

Radioactive Contaminants

Contaminant (units)	MCL	MCLG	Level Found	Range	Sample Date (if prior to 2022)	Violation	Typical Source of Contaminant
Radium, (combined) (pCi/l)	30	0	0.3	0.3	4/6/2020	No	Natural Deposits

Unregulated Contaminants

Unregulated contaminants are those for which EPA has not established drinking water standards. The purpose of unregulated contaminant monitoring is to assist EPA in determining the occurrence of unregulated contaminants in drinking water and whether future regulation is warranted. EPA required us to participate in this monitoring.

Contaminant (units)	Level Found	Range	Sample Date (if prior to 2022)
Metalochlor (dual) (ppb)	0.02	0.01-0.02	7/22/2020

Purchased Water – Racine

Our water system purchases water from RACINE WATERWORKS. In addition to the detected contaminants listed above, these are the results from RACINE WATERWORKS.

Source(s) of Water

Source ID	Source	Depth (in feet)	Waterbody Name	Status
2	Surface Water		Lake Michigan	Active

To obtain a summary of the source water assessment please contact Joel Brunner at (262) 636-9534.

Detected Contaminants

Your water was tested for many contaminants last year. We are allowed to monitor for some contaminants less frequently than once a year. The following tables list only those contaminants which were detected in your water. If a contaminant was detected last year, it will appear in the following tables without a sample date. If the contaminant was not monitored last year, but was detected within the last 5 years, it will appear in the tables below along with the sample date.

Microbiological Contaminants

Contaminant (units)	MCL	MCLG	Count of Positives	Violation	Typical Source of Contaminant
COLIFORM (TCR)	presence of coliform bacteria in >5% of monthly samples	0	0	No	Human and animal fecal waste
VIRUSES AND LEGIONELLA	TT	0			Found naturally in water, human and animal fecal waste and multiplies in heating systems

Disinfection Byproducts

Contaminant (units)	Site	MCL	MCLG	Level Found	Range	Sample Date (if prior to 2022)	Violation	Typical Source of Contaminant
HAA (ppb)		60	0	15.5	9.4-26		No	By-product of drinking water chlorination
TTHM (ppb)		80	0	33.8	15-57		No	By-product of drinking water chlorination

Inorganic Contaminants

Contaminant (units)	Site	MCL	MCLG	Level Found	Range	Sample Date (if prior to 2022)	Violation	Typical Source of Contaminant
ASBESTOS (million fibers per liter)		7		<0.20			No	Decay of asbestos cement in water mains; erosion of natural deposits
ANTIMONY TOTAL (ppb)		6	6	<0.32			No	Discharge from petroleum refineries; fire retardants; ceramics; electronics; solder
ARSENIC (ppb)		10	10	<0.85			No	Erosion of natural deposits
BARIUM (ppm)		2000	2000	22			No	Erosion of natural deposits
BERYLLIUM (ppb)		4		<0.06			No	By-product of industrial processes.
CADMIUM (ppb)		5		<0.12			No	By-product of industrial processes, erosion of natural deposits
CHLORINE RESIDUAL (ppm)		4	4	1.27	1.01-1.60		No	Water additive for disinfection

Contaminant (units)	Site	MCL	MCLG	Level Found	Range	Sample Date (if prior to 2022)	Violation	Typical Source of Contaminant
CHROMIUM (ppb)		100		<1.1			No	Erosion of natural deposits
CYANIDE (ppb)		200		<7			No	By-product of industrial, mining, and metal finishing processes
FLOURIDE (ppm)		4		0.67	0.64- 0.78		No	Water additive which promotes strong teeth; erosion of natural deposits; discharge from fertilizer and aluminum factories
MERCURY (ppb)		2		<0.047			No	Erosion of natural deposits
NICKEL (ppb)		100		<1.0			No	Erosion of natural deposits
NITRATE (ppm)		10	10	0.55			No	Runoff from fertilizer use; leaching from septic tanks; sewage; erosion of natural deposits
NITRITE (ppm)		1	1	<0.040			No	Runoff from fertilizer use; Leaching from septic tanks, sewage
pH		6.5- 8.5		7.70	7.46- 7.98		No	Erosion of natural deposits
SELENIUM (ppb)		50		<1.0			No	Erosion of natural deposits
THALLIUM (ppb)		2		<0.54			No	Erosion of natural deposits

Contaminant (units)	Action Level	MCLG	90th Percentile Level Found	# of Results	Sample Date (if prior to 2022)	Violation	Typical Source of Contaminant
COPPER (ppm)	AL=1.3	1.3	0.20	0 of 53 results were above the action level.		No	Corrosion of household plumbing systems; Erosion of natural deposits
LEAD (ppb)	AL=15	0	5.7	0 of 53 results were above the action level.		No	Corrosion of household plumbing systems; Erosion of natural deposits

Organic Contaminants (sampled in 2020)

Contaminant (units)	Results	Violation	Typical Source of Contaminant
VOLATILE ORGANIC COMPOUNDS (ppb)	37 compounds were tested with no detection of any of these chemicals	No	By-product of industrial processes; petroleum production; gas stations; urban storm runoff; residential uses
SYNTHETIC ORGANIC COMPOUNDS (ppb)	42 other compounds were tested with no detection of any of these chemicals.	No	By-product of industrial processes; petroleum production; gas stations; urban storm runoff; residential uses

Synthetic Organic Contaminants including Pesticides and Herbicides

Contaminant (units)	Site	MCL	MCLG	Level Found	Range	Sample Date (if prior to 2022)	Violation	Typical Source of Contaminant
ATRAZINE (ppb)		3	3	0.0	0.045, 0.035	2020	No	Storm run-off from agriculture pesticide application
DUAL (ppb)		NA	NA	0.0	0.012,0.011	2020	No	Storm run-off from agriculture pesticide application

Particulate Results

Contaminant (units)	MCL	Level Found	Violation	Typical Source of Contaminant
TURBIDITY (NTU)	TT Never >1, 95% of the time <0.3 NTU	Membrane Filtration Max = 0.041 NTU	No	Soil runoff; suspended matter in source water
TURBIDITY (NTU)	TT Never >1, 95% of the time <0.3 NTU	Sand Filtration Max = 0.50 NTU	No	Soil runoff; suspended matter in source water

Radioactive Contaminants

Contaminant (units)	Site	MCL	MCLG	Level Found	Range	Sample Date (if prior to 2022)	Violation	Typical Source of Contaminant
URANIUM (ppb)		30	0	0.347	0.347	2020	No	Erosion of natural deposits
ALPHA EMITTERS (pCi/l)		15	0	0.729	0.729	2020	No	Erosion of natural deposits
COMBINED RADIUM (pCi/l)		5	0	0.837	0.837	2020	No	Erosion of natural deposits

Unregulated Contaminants

Unregulated contaminants are those for which EPA has not established drinking water standards. The purpose of unregulated contaminant monitoring is to assist EPA in determining the occurrence of unregulated contaminants in drinking water and whether future regulation is warranted. EPA required us to participate in this monitoring. Sampling was conducted in 2018-2019 as part of the EPA UCMR4 sampling program.

Contaminant (units)	Level Found	Range	Sample Date (if prior to 2022)	Typical Source of Contaminant
MANGANESE (ppb)	2.38	<0.04 - 2.38	2018-2019	Erosion of natural deposits, addition of chemical in water treatment, industrial by-product
DISINFECTION BY-PRODUCTS (9 HALO-ACETIC ACIDS)(ppb)	25.2	18.5-33.5	2018-2019	By-product of disinfection process
BROMIDE (ppb)	40	34-54	2018-2019	Erosion of natural deposits
TOTAL ORGANIC CARBON (ppb)	1908	1800-2080	2018-2019	Erosion of natural deposits

Other Compliance

Monitoring and Reporting Violations

NONE

Violation of the Terms of a Variance, Exemption, or Administrative or Judicial Order

NONE

Noncompliance with Recordkeeping and Compliance Data

NONE

FUND	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
ACH - FOTH INFRASTRUCTURE & ENVIRO, LLC							
Storm Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	83439	HWY 32 STREAM RESTORATIO	04/20/2023	184.00	502-00-65154 HWY 32 Stream Restoration
Storm Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	83440	GPS LOCATES	04/20/2023	15,461.93	502-00-65152 GIS Update
Storm Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84073	STH 32 STREAM RESTORATION	06/01/2023	2,555.58	502-00-65154 HWY 32 Stream Restoration
Storm Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84074	WESTVIEW VILLAGE STORMWA	06/01/2023	1,166.32	502-00-65156 Westview Village Storm
Storm Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84079	APR-23; STORM SEWER GPS L	06/08/2023	3,818.83	502-00-65152 GIS Update
Sewer Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84082	RIVER BEND LIFT STATION SAF	06/01/2023	3,278.40	501-18725-000 CIP-Riverbend Safety Site
Sewer Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84085	HOODS CREEK ATTENUATION	06/01/2023	10,796.25	501-18736-000 CIP-Hoods Creek Attenuation
Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84086	NORTH KREMER WATER MAIN	06/01/2023	1,614.24	500-18735-107 CIP - North Kremer Watermain
Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84089	WASHINGTON MEADOWS WAT	06/01/2023	29,617.11	500-18737-107 CIP - WASHINGTON MEADOWS
Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84093	CUD GENERAL ENGINEERING	06/01/2023	1,156.40	500-00-61340 Engineering Design Charges
Sewer Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84093	CUD GENERAL ENGINEERING	06/01/2023	515.20	501-00-61340 Engineering Design Charges
Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84094	EATON CORP WATER EXTENSI	06/01/2023	276.00	500-00-61340 Engineering Design Charges
Sewer Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84095	CMOM 2023 THROUGH 5/5/23	06/01/2023	1,343.20	501-00-61340 Engineering Design Charges
Storm Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84411	PROJECT 0019C035.01 - STH 3	06/16/2023	2,293.15	502-00-65154 HWY 32 Stream Restoration
Storm Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84412	PROJECT 0020C030.11 WESTVI	06/16/2023	73.60	502-00-65156 Westview Village Storm
Storm Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84413	PROJECT 0023C050.00 STORM	06/16/2023	860.80	502-00-65152 GIS Update
Sewer Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84418	PROJ. 0015C030.02 - RIVER B	06/16/2023	5,120.00	501-18725-000 CIP-Riverbend Safety Site
Sewer Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84421	PROJECT 0020C030.09 HOODS	06/16/2023	10,346.01	501-18736-000 CIP-Hoods Creek Attenuation
Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84422	PROJECT 0020C030.10 NORTH	06/16/2023	137.32	500-18735-107 CIP - North Kremer Watermain
Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84424	PROJECT 0021C030.12 WASH	06/16/2023	35,273.46	500-18737-107 CIP - WASHINGTON MEADOWS
Water Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84427	PROJECT 0023C030.00 CUD G	06/16/2023	589.74	500-00-61340 Engineering Design Charges
Sewer Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84427	PROJECT 0023C030.00 CUD G	06/16/2023	1,528.14	501-00-61340 Engineering Design Charges
Sewer Utility Fund	666	ACH - FOTH INFRASTRUCTURE	84428	PROJECT 0023C030.03 CMOM	06/16/2023	6,264.20	501-00-61340 Engineering Design Charges
Total ACH - FOTH INFRASTRUCTURE & ENVIRO, LLC:						134,269.88	
APEX KEY & LOCK							
Sewer Utility Fund	118	APEX KEY & LOCK	INV-12425	LOCKS; HOODS CREEK BASIN	06/01/2023	1,288.40	501-18736-000 CIP-Hoods Creek Attenuation
Total APEX KEY & LOCK:						1,288.40	
BADGER METER INC.							
Water Utility Fund	163	BADGER METER INC.	1586808	METER ENDPOINTS	06/19/2023	159,741.00	500-18701-107 CIP - Meters
Total BADGER METER INC.:						159,741.00	
BOUCHER CHEVROLET							
Water Utility Fund	229	BOUCHER CHEVROLET	681065	VEH #1; REPAIRS	06/02/2023	327.54	500-00-63300 Vehicle Repairs & Maintenance
Sewer Utility Fund	229	BOUCHER CHEVROLET	681065	VEH #1; REPAIRS	06/02/2023	327.55	501-00-63300 Vehicle Repairs & Maintenance

FUND	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
Total BOUCHER CHEVROLET:						655.09	
BUY RIGHT, INC.							
Water Utility Fund	273	BUY RIGHT, INC.	14873-402127	VEHICLE OIL CHANGE -- 2015 V	06/13/2023	89.23	500-00-63300 Vehicle Repairs & Maintenance
Sewer Utility Fund	273	BUY RIGHT, INC.	14873-402127	VEHICLE OIL CHANGE -- 2015 V	06/13/2023	89.23	501-00-63300 Vehicle Repairs & Maintenance
Sewer Utility Fund	273	BUY RIGHT, INC.	14873-403118	DEF	06/29/2023	11.92	501-00-63200 Fuel, Oil, Fluids
Water Utility Fund	273	BUY RIGHT, INC.	14873-403118	DEF	06/29/2023	3.97	500-00-63200 Fuel, Oil, Fluids
Total BUY RIGHT, INC.:						194.35	
DORNER COMPANY							
Water Utility Fund	551	DORNER COMPANY	506257	6 MILE/MICHNA STATION & 5 MI	06/08/2023	17,461.00	500-00-64240 Building Repairs & Maintenance
Total DORNER COMPANY:						17,461.00	
G & F EXCAVATING							
Water Utility Fund	687	G & F EXCAVATING	35813	LOAD & FILL DIRT FROM WATE	06/08/2023	2,805.00	500-00-64240 Building Repairs & Maintenance
Storm Water Utility Fund	687	G & F EXCAVATING	35834	7632 LAKESHORE DR; CONCRE	06/26/2023	2,250.00	502-00-64240 Building Repairs & Maintenance
Total G & F EXCAVATING:						5,055.00	
GREEN BAY PIPE & TV LLC							
Storm Water Utility Fund	750	GREEN BAY PIPE & TV LLC	3390	CANDLELIGHT SOTRM SEWER;	05/31/2023	1,192.50	502-00-64240 Building Repairs & Maintenance
Total GREEN BAY PIPE & TV LLC:						1,192.50	
JOHNSON CONTROLS SECURITY SOLUTIONS							
Water Utility Fund	969	JOHNSON CONTROLS SECURI	38504586	SCADA ALARM	03/10/2023	266.72	500-00-64150 Communication Services
Sewer Utility Fund	969	JOHNSON CONTROLS SECURI	38504586	SCADA ALARM	03/10/2023	266.73	501-00-64150 Communication Services
Sewer Utility Fund	969	JOHNSON CONTROLS SECURI	38948442	7/1/2023 TO 9/30/2023 ; DISTRIC	06/10/2023	335.31	501-00-64150 Communication Services
Water Utility Fund	969	JOHNSON CONTROLS SECURI	38948442	7/1/2023 TO 9/30/2023 ; DISTRIC	06/10/2023	335.31	500-00-64150 Communication Services
Water Utility Fund	969	JOHNSON CONTROLS SECURI	38974393	SCADA ALARM	06/19/2023	617.88	500-00-64150 Communication Services
Sewer Utility Fund	969	JOHNSON CONTROLS SECURI	38974393	SCADA ALARM	06/19/2023	617.89	501-00-64150 Communication Services
Total JOHNSON CONTROLS SECURITY SOLUTIONS:						2,439.84	
KORTENDICK HARDWARE							
Water Utility Fund	1096	KORTENDICK HARDWARE	158349	6 MILE RD; PRESSURE VALVE	06/05/2023	56.62	500-00-64240 Building Repairs & Maintenance
Sewer Utility Fund	1096	KORTENDICK HARDWARE	158562	MILWAUKEE THUNDERBOLT	06/14/2023	68.96	501-00-64240 Building Repairs & Maintenance

FUND	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
Total KORTENDICK HARDWARE:						125.58	
MIRON CONSTRUCTION CO., INC.							
Sewer Utility Fund	9227	MIRON CONSTRUCTION CO., IN	HCAB PAY AP	HOODS CREEK BASIN PAY APP	06/08/2023	95,765.79	501-18736-000 CIP-Hoods Creek Attenuation
Sewer Utility Fund	9227	MIRON CONSTRUCTION CO., IN	HCAB PAY AP	HOODS CREEK BASIN PAY APP	06/08/2023	225,885.15	501-18736-000 CIP-Hoods Creek Attenuation
Total MIRON CONSTRUCTION CO., INC.:						321,650.94	
NETWORK SPECIALIST OF RACINE, INC.							
Water Utility Fund	1390	NETWORK SPECIALIST OF RAC	44334	JUL-23; OFFICE ANYWHERE DA	06/06/2023	250.00	500-00-64320 IT Infrastructure
Sewer Utility Fund	1390	NETWORK SPECIALIST OF RAC	44334	JUL-23; OFFICE ANYWHERE DA	06/06/2023	250.00	501-00-64320 IT Infrastructure
Water Utility Fund	1390	NETWORK SPECIALIST OF RAC	44369	JUL-23; REMOTE BACK-UP MO	06/06/2023	125.00	500-00-64320 IT Infrastructure
Sewer Utility Fund	1390	NETWORK SPECIALIST OF RAC	44369	JUL-23; REMOTE BACK-UP MO	06/06/2023	125.00	501-00-64320 IT Infrastructure
Total NETWORK SPECIALIST OF RACINE, INC.:						750.00	
OAK CREEK WATER UTILITY							
Water Utility Fund	1423	OAK CREEK WATER UTILITY	5200	JUN-23 SAMPLES WATER TEST	06/07/2023	365.00	500-00-62560 Water Sampling and Testing
Water Utility Fund	1423	OAK CREEK WATER UTILITY	5202	JUN-23; WATER SAMPLES	06/21/2023	365.00	500-00-62560 Water Sampling and Testing
Total OAK CREEK WATER UTILITY:						730.00	
PTS CONTRACTORS, INC.							
Water Utility Fund	9106	PTS CONTRACTORS, INC.	FINAL PAY AP	NORTH KREMER WATER MAIN I	06/24/2023	6,260.00	500-18735-107 CIP - North Kremer Watermain
Total PTS CONTRACTORS, INC.:						6,260.00	
REESMANS EXCAVATING & GRADING							
Water Utility Fund	1610	REESMANS EXCAVATING & GR	PAYAPP#5	WASHINGTON MEAD. WATERM	06/28/2023	286,418.80	500-18737-107 CIP - WASHINGTON MEADOWS
Total REESMANS EXCAVATING & GRADING:						286,418.80	
REVERE ELECTRIC							
Sewer Utility Fund	1629	REVERE ELECTRIC	S4906990.001	HOODS CREEK LIFT STATION U	06/12/2023	3,495.60	501-00-64240 Building Repairs & Maintenance
Sewer Utility Fund	1629	REVERE ELECTRIC	S4906990.002	HOODS CREEK LIFT STATION U	06/19/2023	414.20	501-00-64240 Building Repairs & Maintenance
Sewer Utility Fund	1629	REVERE ELECTRIC	S4906990.003	PLC UPGRADES	06/22/2023	822.51	501-00-64240 Building Repairs & Maintenance
Total REVERE ELECTRIC:						4,732.31	

FUND	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
SME SEASONAL SERVICES LLC							
Storm Water Utility Fund	1813	SME SEASONAL SERVICES LL	6731	MOWING -5 1/2 MILE AND CHA	05/28/2023	170.00	502-00-64260 Grounds Repairs & Maintenance
Total SME SEASONAL SERVICES LLC:						170.00	
TOTAL ENERGY SYSTEMS LLC							
Sewer Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV94632	KOHLER 175REOZT4 DIESEL G	02/20/2023	143,696.72	501-00-65030 Equipment
Water Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV94632	KOHLER 175REOZT4 DIESEL G	02/20/2023	17,962.09	500-00-65030 Equipment
Storm Water Utility Fund	1999	TOTAL ENERGY SYSTEMS LLC	INV94632	KOHLER 175REOZT4 DIESEL G	02/20/2023	17,962.09	502-00-65157 Generator Upgrades
TOTAL ENERGY SYSTEMS LLC:						179,620.90	
VORPAHL FIRE & SAFETY							
Water Utility Fund	2092	VORPAHL FIRE & SAFETY	215363003	RE-CERTIFY CONFINED SPACE	06/06/2023	296.33	500-00-64240 Building Repairs & Maintenance
Sewer Utility Fund	2092	VORPAHL FIRE & SAFETY	215363003	RE-CERTIFY CONFINED SPACE	06/06/2023	888.97	501-00-64240 Building Repairs & Maintenance
Total VORPAHL FIRE & SAFETY:						1,185.30	
WESTERN CULVERT & SUPPLY INC.							
Storm Water Utility Fund	2131	WESTERN CULVERT & SUPPLY	068187	CULVERT PIECES, SECTIONS A	05/24/2023	17,165.20	502-00-65151 Culvert Replacements
Total WESTERN CULVERT & SUPPLY INC.:						17,165.20	
Grand Totals:						1,141,106.09	

TOTALS PAYMENTS BY FUND

SEWER UTILITY FUND	\$513,541.33
STORM WATER UTILITY FUND	\$65,154.00
WATER UTILITY FUND	\$562,410.76
TOTAL	\$1,141,106.09

North Kremer Watermain

Water

Contractor

PTS Contractors Inc

Original Contract	\$	2,681,000.00	
Change Order #1	\$	(54,921.85)	-2.05%
Change Order #2	\$	28,297.32	1.06%
Change Order #3	\$	15,026.82	0.56%
Change Order #4	\$	38,771.67	1.45%
Change Order #5	\$	1,260.00	0.05%
Total Change Orders	\$	28,433.96	1.06%

Current Contract	\$	2,709,433.96	
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Pay Request #1	\$	573,596.56	
Retainage	\$	30,189.29	
Pay Request #2	\$	781,206.79	
Retainage	\$	36,835.71	
Pay Request #3	\$	340,809.90	
Pay Request #4	\$	542,749.45	
Pay Request #5	\$	303,018.87	
Pay Request #6	\$	161,792.39	
Pay Request #7	\$	-	
Pay Request #8 Final	\$	6,260.00	
	\$	2,709,433.96	

Remaining on Contract (Including Retainage)	\$	(0.00)	0%
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Design Engineering	\$	212,229.38	7.92%
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Construction Services	\$	322,381.45	12.02%
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Miscellaneous	\$	25,221.01	
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Total Project Cost	\$	3,269,265.80	
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Dominican Lift Station Improvements

Sewer

Contractor	August Winter & Sons, Inc		
Original Contract	\$	718,500.00	
Change Order #1	\$	-	0.00%
Change Order #2	\$	4,560.00	0.63%
Change Order #3	\$	-	
Change Order #4	\$	1,382.00	0.19%
Change Order #5	\$	46,200.00	6.43%
Current Contract	\$	770,642.00	7.26%
Pay Request #1	\$	66,667.77	
Retainage	\$	3,508.83	
Pay Request #2	\$	121,096.88	
Retainage	\$	6,373.52	
Pay Request #3	\$	228,397.30	
Retainage	\$	8,228.70	
Pay Request #4	\$	155,779.00	
Pay Request #5	\$	17,190.00	
Remaining on Contract (Including Retainage)	\$	181,511.05	24%
Design Engineering (3/29/2020 - 10/18/2021)	\$	234,943.90	32.70%
Construction Services			0.00%
Starnet (Building & Controls)	\$	186,992.00	
We Energies	\$	8,926.04	
Total Project Cost	\$	1,201,503.94	

Hoods Creek Attenuation Basin Expansion

Sewer

Contractor	Miron Construction		
Original Contract	\$	10,209,403.20	
Change Order #1	\$	-	0.00%
Change Order #2	\$	-	0.00%
Change Order #3	\$	60,787.06	0.60%
Change Order #4	\$	8,210.32	0.08%
Change Order #5	\$	1,321.33	0.01%
Change Order #6	\$	18,359.25	0.18%
Change Order #7	\$	29,072.40	0.28%
Change Order #8	\$	11,025.00	0.11%
Change Order #9	\$	8,530.20	0.08%
Change Order #10	\$	1,292.55	0.01%
Change Order #11	\$	2,667.00	0.03%
Change Order #12	\$	2,952.60	0.03%
Total	\$	144,217.71	1.41%
Current Contract	\$	10,353,620.91	
Pay Request #1	\$	503,595.85	
Retainage	\$	26,505.04	
Pay Request #2	\$	668,836.92	
Retainage	\$	35,201.95	
Pay Request #3	\$	2,856,043.90	
Retainage	\$	153,318.10	
Pay Request #4	\$	2,875,931.51	
Retainage	\$	41,729.67	
Pay Request #5	\$	1,505,021.00	
Pay Request #6	\$	471,546.00	
Pay Request #7	\$	351,367.90	
Pay Request #8	\$	342,041.82	
Pay Request #9	\$	225,885.15	
Pay Request #10	\$	95,765.79	
Remaining on Contract (Including Retainage)	\$	457,585.07	4%
Design Engineering (9/28/2020-5/26/2022)	\$	432,547.23	4.24%
Construction Services (5/26/2022-6/1/2023)	\$	358,676.29	3.51%
SJE (Pumps Impellers 1)	\$	76,338.90	
SJE (Pumps Impellers 2)	\$	8,483.10	
Gabriel Novac #1	\$	82,590.00	
Gabriel Novac #2	\$	165,180.00	
Gabriel Novac #3			
Bonafide Security	\$	20.40	
Heater Parts & Locks	\$	179.22	
Total	\$	332,791.62	
Total Project Cost	\$	11,477,636.05	

Washington Meadows Watermain

Water

Contractor	Reesman's		
Original Contract	\$	1,681,981.35	
Change Order #1	\$	30,073.55	1.79%
Current Contract	\$	1,712,054.90	1.79%
Pay Request #1	\$	361,930.00	
Retainage	\$	19,048.95	
Pay Request #2	\$	462,412.42	
Retainage	\$	23,000.58	
Pay Request #3	\$	374,496.70	
Pay Request #4	\$	90,487.15	
Pay Request #5	\$	286,418.80	
Remaining on Contract (Including Retainage)	\$	136,309.83	8.0%
Design Engineering 1/23/2022 to 6/23/2022	\$	97,246.35	5.78%
Construction Services 7/29/2022 to 6/1/2023	\$	160,656.57	9.55%
Scrap - Recycle	\$	(1,451.60)	
Total Project Cost	\$	1,968,506.22	

Westview Village Stormwater Improvements

Storm Water

Contractor	The Wanasek Corp		
Original Contract	\$	154,465.00	
Current Contract	\$	154,465.00	0.00%
Pay Request #1	\$	123,394.69	
Retainage	\$	6,494.46	
Pay Request #2	\$	22,689.14	
Retainage	\$	1,194.16	
Pay Request #3	\$	2,688.12	
Remaining on Contract (Including Retainage)	\$	5,693.05	3.7%
Design Engineering 2/26/2021 to 7/29/2022	\$	61,423.56	39.77%
Construction Services 8/29/2022 to 6/1/2023	\$	18,871.52	12.22%
Total Project Cost	\$	234,760.08	

STH 32 Stream Restoration Project

Storm Water

Contractor	A.W. Oakes		
Original Contract	\$	279,831.00	
Change Order #1	\$	2,609.29	0.93%
Current Contract	\$	282,440.29	0.93%
Pay Request #1	\$	33,634.75	
Retainage	\$	1,770.25	
Pay Request #2	\$	49,128.30	
Retainage	\$	2,585.70	
Pay Request #3	\$	124,555.45	
Retainage	\$	6,555.55	
Pay Request #4	\$	51,829.43	
Retainage	\$	2,727.86	
Remaining on Contract (Including Retainage)	\$	23,292.36	8.2%
Design Engineering	\$	237,128.50	84.74%
Construction Services through 6/1/2023	\$	28,143.39	10.06%
Total Project Cost	\$	547,712.18	

CALEDONIA UTILITY DISTRICT PROJECT SUMMARY WORKSHEET

Riverbend Drive Lift Station Safety Site & Forcemain Upgrade

- Looking to wrap up Facility Plan to have it reviewed by staff. Once reviewed will submit to DNR and look to schedule a Public Hearing.

Annual Televising Program – Sanitary Sewer

- Will continue to perform repairs that staff can perform.

Water Impact Fee / Sewer Connection Fee Update

- Reviewing information received.

Hoods Creek Attenuation Basin Expansion

- Working toward substantial completion.

Central Lift Station Safety Site & Attenuation Basin

- Design continues.

Dominican Lift Station Rehab Project

- Working toward substantial completion. Working through issue with fence gate.

Washington Meadows Watermain

- Second walkthrough held on June 20th. Most items have been corrected. Substantial Completion given. Restoration with grass has proven difficult on some lots. Working on watering and reseeding as necessary.

TID #4 Elevated Storage Tank & Adams Road Watermain

- Study to be completed soon. Elevated Tank Plans are near complete.

**CALEDONIA UTILITY DISTRICT
STORM WATER PROJECTS
PROJECT SUMMARY WORKSHEET**

Hoods Creek – Aldebaran Brushing Project

- Contractor looking to perform project this year when weather conditions are acceptable. Will be sending letters to owners to inform them of work.

Douglas Avenue – OMG Ditch Project

- Awaiting final restoration and Final Pay Request (with lien waivers).

Turtle Creek Restoration

- Southern Wisconsin Appraisal meeting with owners to discuss easement acquisition. Plans for the project have been completed. Root Pike WIN is scheduling 2 Public Meetings for information. July 27th and August 2 at Village Hall. 6pm to 7pm both nights.

Westview Village Storm Improvements

- Awaiting final restoration. Will need to process a Charge Order for time when received.

MEMORANDUM

DATE: Tuesday, June 27, 2023

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director



RE: Change Order #11 – Hoods Creek Attenuation Basin Expansion

BACKGROUND INFORMATION

This Change Order is for additional costs for adjusting conduits in the valve room.

This Change Order has a cost of \$2,667.00 and adjusts the contract by 0.03%. Overall Change Orders have adjusted the contract by \$141,265.11 or 1.38%.

This Change Order has been reviewed and accepted.

It is recommended that Change Order #11 be approved.

RECOMMENDATION

Move to approve Change Order #11 for the Hoods Creek Attenuation Basin Expansion Project with a contract increase of \$2,667.00.

**SECTION 00 63 62
CHANGE ORDER**

No. 11

Date of Issuance: May 30, 2023	Effective Date: May 30, 2023
Owner: Caledonia Utility District	Owner's Contract No.:
Contractor: Miron Construction Co., Inc	Contractor's Project No.:
Engineer: Foth Infrastructure & Environment, LLC	Engineer's Project No.: 20C030.09
Project: Hoods Creek Attenuation Basin Expansion	Contract Name: HCAB Expansion

The Contract is modified as follows upon execution of this Change Order:

Description: This change order documents the additional costs associated with adjusting conduits in the valve room. This is prepared on a T&M basis as discussed on site.

Attachments: *Cost revisions as provided by Miron with maximum 5% markup for subcontractor management fee and bond.*

All increases to contract price shall include costs for bonding and insurance.

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES <i>[note changes in Milestones if applicable]</i>
Original Contract Price: \$ <u>10,209,403.20</u>	Original Contract Times: Substantial Completion: <u>September 15, 2023</u> Ready for Final Payment: <u>October 13, 2023</u> days or dates
[Increase] [Decrease] from previously approved Change Orders No. <u>1</u> to No. <u>10</u> : \$ <u>138,598.11</u>	[Increase] [Decrease] from previously approved Change Orders No. <u>1</u> to No. <u>10</u> : Substantial Completion: <u>NA</u> Ready for Final Payment: <u>NA</u> days
Contract Price prior to this Change Order: \$ <u>10,348,001.31</u>	Contract Times prior to this Change Order: Substantial Completion: <u>September 15, 2023</u> Ready for Final Payment: <u>October 13, 2023</u> days or dates
[Increase] [Decrease] of this Change Order: \$ <u>2,667.00</u> ✓	[Increase] [Decrease] of this Change Order: Substantial Completion: <u>NA</u> Ready for Final Payment: <u>NA</u> days or dates
Contract Price incorporating this Change Order: \$ <u>10,350,668.31</u>	Contract Times with all approved Change Orders: Substantial Completion: <u>September 15, 2023</u> Ready for Final Payment: <u>October 13, 2023</u> days or dates

RECOMMENDED:

ACCEPTED:

ACCEPTED:

By: <u>Eve Schnell</u>	By: _____	By: <u>David G. Voss</u>
Engineer (if required)	Owner (Authorized Signature)	Contractor (Authorized Signature)
Title: <u>Project Manager</u>	Title: _____	Title: <u>David G. Voss, President & CEO</u>
Date: <u>May 30, 2023</u>	Date: _____	Date: <u>6/2/2023</u>

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____



Change Order Request

Date: 04/24/2023
To: Tony Bunkleman
Caledonia Utility District
333 4 1/2 Mile Road
Racine, WI 53402

Re: Hoods Creek Attenuation Basin Expansion
Franksville, WI 53126
Project: 220430
State/Federal Job: N/A

Reference Document: PCI0013

Change Description: Relocate Valve Room Conduits :

Cost associated with moving conduits in the Valve Room on a T&M basis per the direction given at the walk through on 4/10/23.

Contractor	Description	Amount
Premier Power Professionals Inc	ELECTRICAL	\$2,540.00
* SUB-TOTAL *		\$2,540.00
Management Fee - Subcontractor		\$106.68
* SUB-TOTAL *		\$2,646.68
Bond		\$20.32
** TOTAL **		\$2,667.00

Impacted Calendar Days: 0

All terms of our agreement apply and preclude Miron Construction Co., Inc. from performing any extra work without approval. Please provide your approval by signing this request.

Samuel Orcholski
Miron Construction Co., Inc.

04/24/2023

Date:

Owner Representative
Caledonia Utility District

Date:

This quote expires on: 05/08/2023



Premier Power Professionals Inc.

1914 Albert Street
Racine, WI 53404
262-632-2800
Fax: 262-632-2808

www.premierpowerpro.com

***** Change Request *****

DATE: 4/10/2023

COMPANY: Miron Construction

Attn: Sam

SUBJECT: Valve Room-REVISED to T&M 4/21/23

Premier Power Professionals would like to request a change order for the following change of scope:

Change Request - ~~\$2,845.00~~ \$2,540.00

Remove completed conduits and reroute the conduits for the six new flush valves per our site meeting on 4/10/23.

If you have any questions or concerns regarding this proposal, please contact Premier Power as soon as possible.

Sincerely,

Chuck Meisner

Premier Power Professionals

262-822-0790

PRICING SHEET



JOB Hoods Creek
 WORK Modify Valve Room Conduits

ESTIMATE NO.

Sheet No. Of Sheets

ESTIMATE NO.	PRICED BY	EXTENDED BY	CHECKED BY	DATE

	✓	MATERIAL	QUANTITY	MATERIAL PRICE	PER	MATERIAL EXTENSION	LABOR UNIT	PER	LABOR EXTENSION
1		1 1/4 Emt Conduit	20	248	- C	4960			
2		1 1/4 Emt Connectors	2	268	E	536			
3		1 1/4 Emt Couplings	2	247	E	494			
4		3/4" Emt Couplings	3	84	E	252			
5		12/14 THHN wire	1000	120	- m	120			
6		12x12x4 JBox	1	3538	E	3534			
7		15/8 STRUT	10	549	79 C	5468			
8		STRUT FEET	6	4520	68 C	27124			
9		3/4 KO closures	4	137	47 C	550			
10		3/4" Emt	10	79	63 C	796			
11		4" SQ Box	3	167	45 C	502			
12		4" SQ Cover	4	75	08 C	300			
13		Strutclamps	4	139	E	556			
14		Strut nuts	10	267	E	2670			
15		fender washers	10	10	E	1			
16		Labor	1						19-
17						59862			19-
18						1710-			90-
19						230862			
20					10%	23086			
21						253948			
22									
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34									

2540-

Totals This Sheet Transferred to Recap By—INITIAL

MATERIAL

LABOR

MEMORANDUM

DATE: Tuesday, June 27, 2023

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director



RE: Change Order #12 – Hoods Creek Attenuation Basin Expansion

BACKGROUND INFORMATION

This Change Order is for additional costs for installing separate circuits for each flushing gate valve.

This Change Order has a cost of \$2,952.60 and adjusts the contract by 0.03%. Overall Change Orders have adjusted the contract by \$144,217.71 or 1.41%.

This Change Order has been reviewed and accepted.

It is recommended that Change Order #12 be approved.

RECOMMENDATION

Move to approve Change Order #12 for the Hoods Creek Attenuation Basin Expansion Project with a contract increase of \$2,952.60.

SECTION 00 63 62
CHANGE ORDER

No. 12

Date of Issuance: May 30, 2023	Effective Date: May 30, 2023
Owner: Caledonia Utility District	Owner's Contract No.:
Contractor: Miron Construction Co., Inc	Contractor's Project No.:
Engineer: Foth Infrastructure & Environment, LLC	Engineer's Project No.: 20C030.09
Project: Hoods Creek Attenuation Basin Expansion	Contract Name: HCAB Expansion

The Contract is modified as follows upon execution of this Change Order:

Description: This change order documents the additional costs associated with installing separate circuits for each flushing gate valve.

Attachments: *Cost revisions as provided by Miron with maximum 5% markup for subcontractor management fee and bond.*

All increases to contract price shall include costs for bonding and insurance.

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES [note changes in Milestones if applicable]
Original Contract Price: \$ <u>10,209,403.20</u>	Original Contract Times: Substantial Completion: <u>September 15, 2023</u> Ready for Final Payment: <u>October 13, 2023</u> days or dates
[Increase] [Decrease] from previously approved Change Orders No. <u>1</u> to No. <u>11</u> : \$ <u>141,265.11</u>	[Increase] [Decrease] from previously approved Change Orders No. <u>1</u> to No. <u>11</u> : Substantial Completion: <u>NA</u> Ready for Final Payment: <u>NA</u> days
Contract Price prior to this Change Order: \$ <u>10,350,668.31</u>	Contract Times prior to this Change Order: Substantial Completion: <u>September 15, 2023</u> Ready for Final Payment: <u>October 13, 2023</u> days or dates
[Increase] [Decrease] of this Change Order: \$ <u>2,952.60</u> ✓	[Increase] [Decrease] of this Change Order: Substantial Completion: <u>NA</u> Ready for Final Payment: <u>NA</u> days or dates
Contract Price incorporating this Change Order: \$ <u>10,353,620.91</u> ✓	Contract Times with all approved Change Orders: Substantial Completion: <u>September 15, 2023</u> Ready for Final Payment: <u>October 13, 2023</u> days or dates

RECOMMENDED:

ACCEPTED:

ACCEPTED:

By: <u>Eve Schnell</u>	By: _____	By: <u>David G. Voss</u>
Engineer (if required)	Owner (Authorized Signature)	Contractor (Authorized Signature)
Title: <u>Project Manager</u>	Title: _____	Title: <u>David G. Voss, President & CEO</u>
Date: <u>May 30, 2023</u>	Date: _____	Date: <u>6/2/2023</u>

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____



Change Order Request

Date: 05/02/2023

To: Tony Bunkleman
Caledonia Utility District
333 4 1/2 Mile Road
Racine, WI 53402

Re: Hoods Creek Attenuation Basin Expansion
Franksville, WI 53126
Project: 220430
State/Federal Job: N/A

Reference Document: PCI0015

Change Description: Flushing Valves Circuits : Cost associated with putting each Flushing Valve on its own circuit in lieu of having all on one per request from the Village for maintenance shutdowns.

Contractor	Description	Amount
Premier Power Professionals Inc	ELECTRICAL	\$2,812.00
* SUB-TOTAL *		\$2,812.00
Management Fee - Subcontractor		\$118.10
* SUB-TOTAL *		\$2,930.10
Bond		\$22.50
** TOTAL **		\$2,952.60

Impacted Calendar Days: 0

All terms of our agreement apply and preclude Miron Construction Co., Inc. from performing any extra work without approval. Please provide your approval by signing this request.

Samuel Orcholski
Miron Construction Co., Inc.

05/02/2023

Date:

Owner Representative
Caledonia Utility District

Date:

This quote expires on: 05/16/2023



Premier Power Professionals Inc.

1914 Albert Street
Racine, WI 53404
262-632-2800
Fax: 262-632-2808

www.premierpowerpro.com

***** Change Request *****

DATE: 5/2/2023

COMPANY: Miron Construction

Attn: Sam

SUBJECT: Separate circuits for Flushing Valves

Premier Power Professionals would like to request a change order for the following change of scope:

Change Request - \$2,812.00

The six new flushing valves FV5-3-4 thru FV5-3-9 each draw approximately 1.8 amps, we provided one 20 amp circuit for the six valves which is adequate. The plans do not indicate to provide a separate circuit for each valve. At today's valve start up the engineer requested separate circuits for each valve. Please provide a change order to begin this work.

Alternate – If circuiting is not an issue we could provide six toggle switches in the junction boxes that are located below the main pipe run near each valve – Add \$700.00

If you have any questions or concerns regarding this proposal, please contact Premier Power as soon as possible.


Sincerely,

Chuck Meisner
Premier Power Professionals
262-822-0790

MEMORANDUM

DATE: Wednesday, June 28, 2023

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director 

RE: Change Order #1 Washington Meadows Water Main Improvements

BACKGROUND INFORMATION

Change Order #1 on the Washington Meadow Water Main Improvements Project is for resetting culverts to provide positive drainage, water main repairs that where near the area, and the realignment of the tee at the end of Cindy Drive. The contract increase for this additional work is \$30,073.55.

Change Order #1 adjusts the contract by 1.79%.

It is recommended that Change Order #1 be approved.

RECOMMENDATION

Move to approve Change Order #1 in the amount of \$30,073.55 for the Washington Meadows Water Main Improvements Project.

**SECTION 00 63 62
CHANGE ORDER**

No. 1

Date of Issuance: <u>6/6/2023</u>	Effective Date: <u>6/28/2023</u>
Owner: <u>Caledonia Utility District</u>	Owner's Contract No.:
Contractor: <u>Reesmans Excavating & Grading, Inc.</u>	Contractor's Project No.:
Engineer: <u>Foth Infrastructure & Environment, LLC</u>	Engineer's Project No.: <u>21C030.12</u>
Project: <u>Washington Meadows Water Main Improvements</u>	Contract Name:


The Contract is modified as follows upon execution of this Change Order:

Description: Various additions to the project including resetting culverts to provide positive drainage, Utility district ordered water main repairs near the project area, and realignment of the Cindy Drive tee turnaround.

Attachments: *Original Change Order Documents from Reesman's*

All increases to contract price shall include costs for bonding and insurance.

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES <i>[note changes in Milestones if applicable]</i>
Original Contract Price: \$ <u>1,681,981.35</u>	Original Contract Times: Substantial Completion: <u>June 2, 2023</u> Ready for Final Payment: <u>June 30, 2023</u> days or dates
[Increase] [Decrease] from previously approved Change Orders No. <u> </u> to No. <u> </u> : \$ <u>N/A</u>	[Increase] [Decrease] from previously approved Change Orders No. <u> </u> to No. <u> </u> : Substantial Completion: <u>N/A</u> Ready for Final Payment: <u>N/A</u> days
Contract Price prior to this Change Order: \$ <u>1,681,981.35</u>	Contract Times prior to this Change Order: Substantial Completion: <u>June 2, 2023</u> Ready for Final Payment: <u>June 30, 2023</u> days or dates
[Increase] [Decrease] of this Change Order: \$ <u>30,073.55</u>	[Increase] [Decrease] of this Change Order: Substantial Completion: <u>N/A</u> Ready for Final Payment: <u>N/A</u> days or dates
Contract Price incorporating this Change Order: \$ <u>1,712,054.90</u>	Contract Times with all approved Change Orders: Substantial Completion: <u>June 2, 2023</u> Ready for Final Payment: <u>June 30, 2023</u> days or dates

RECOMMENDED:	ACCEPTED:	ACCEPTED:
By: <u></u>	By: _____	By: _____
Engineer (if required)	Owner (Authorized Signature)	Contractor (Authorized Signature)
Title: <u>Project Manager</u>	Title: _____	Title: _____
Date: <u>6/28/2023</u>	Date: _____	Date: _____

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____



CHANGE ORDER

Project:

Washington Meadows

Original PO Number:	
Change Order #	
Change Order Date	6/6/2023
Payment Terms	
Retainage	
Req Number	

Seller:

Reesman's Excavating & Grading
28815 Bushnell Rd.
Burlington, WI
53105

Buyer:

Caledonia Utility District

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	ITEM TOTAL
	Reinstall Culverts on Yorktown 5/4/23				
	Foreman	2	HR	\$139.00	\$278.00
	Operator	2	HR	\$110.00	\$220.00
	Laborer	2	HR	\$106.00	\$212.00
	Cat 308	2	HR	\$65.00	\$130.00
	Utility Truck	2	HR	\$48.00	\$96.00
Total					\$936.00

<i>Original Purchase Order/ Contract Sum</i>		
<i>Net Change by Previous Change Orders</i>		
<i>Purchase Order/Contract Sum prior to this Change Order</i>		\$0.00
<i>Purchase Order/Contract Sum will be increased by this Change Order</i>		\$936.00
<i>Purchase Order/Contract Sum including this Change Order</i>		\$936.00

Accepted by SELLER:

Reesman's Excavating & Grading
28815 Bushnell Rd.
Burlington, WI
53105

Accepted by BUYER:

Signature: _____ Date: _____

Signature: _____ Date: _____

Name: _____ Title: _____

Name: _____ Title: _____



CHANGE ORDER

Project:

Washington Meadows

Original PO Number:	
Change Order #	
Change Order Date	6/6/2023
Payment Terms	
Retainage	
Req Number	

Seller:

Reesman's Excavating & Grading
28815 Bushnell Rd.
Burlington, WI
53105

Buyer:

Caledonia Utility District

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	ITEM TOTAL
	3 Mile and Green Bay Road Valve Replacement and Watermain Repair 4/28/23				
	Superintendent	1.25	HR	\$155.00	\$193.75
	Foreman	13.75	HR	\$139.00	\$1,911.25
	Operator	12	HR	\$110.00	\$1,320.00
	Laborer	24	HR	\$106.00	\$2,544.00
	Cat 312	12	HR	\$65.00	\$780.00
	Utility Truck	13.75	HR	\$48.00	\$660.00
	Quad Axle	4	HR	\$163.00	\$652.00
	Granular Backfill	66	Ton	\$19.45	\$1,283.78
	Spoil Disposal	3	EA	\$45.00	\$135.00
Total					\$9,479.78

<i>Original Purchase Order/ Contract Sum</i>	
<i>Net Change by Previous Change Orders</i>	
<i>Purchase Order/Contract Sum prior to this Change Order</i>	\$0.00
<i>Purchase Order/Contract Sum will be increased by this Change Order</i>	\$9,479.78
<i>Purchase Order/Contract Sum including this Change Order</i>	\$9,479.78

Accepted by SELLER:

Reesman's Excavating & Grading
28815 Bushnell Rd.
Burlington, WI
53105

Accepted by BUYER:

Signature: _____ Date: _____

Signature: _____ Date: _____

Name: _____ Title: _____

Name: _____ Title: _____



CHANGE ORDER

Project:

Washington Meadows

Original PO Number:	
Change Order #	
Change Order Date	6.5.23
Payment Terms	
Retainage	
Req Number	

Seller:

Reesman's Excavating & Grading
28815 Bushnell Rd.
Burlington, WI
53105

Buyer:

Caledonia Utility District

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	ITEM TOTAL
	12 Inch Valve Replacement at 3 Mile T and M 3/2/23				
	Foreman	6	HR	\$139.00	\$834.00
	Top Man	9.75	HR	\$101.00	\$984.75
	Pipe Layer	6	HR	\$106.00	\$636.00
	Cat 314	6	HR	\$180.00	\$1,080.00
	Utility Truck	6	HR	\$48.00	\$288.00
	Loader	6	HR	\$190.00	\$1,140.00
	Quad	6	HR	\$163.00	\$978.00
	Bedding Stone	10	Ton	\$26.75	\$267.50
	Granular Backfill	84	Ton	\$19.45	\$1,633.91
	Spoil Disposal	3	EA	\$45.00	\$135.00
Total					\$7,977.16

<i>Original Purchase Order/ Contract Sum</i>	
<i>Net Change by Previous Change Orders</i>	
<i>Purchase Order/Contract Sum prior to this Change Order</i>	\$0.00
<i>Purchase Order/Contract Sum will be increased by this Change Order</i>	\$7,977.16
<i>Purchase Order/Contract Sum including this Change Order</i>	\$7,977.16

Accepted by SELLER:

Reesman's Excavating & Grading
28815 Bushnell Rd.
Burlington, WI
53105

Accepted by BUYER:

Signature: _____ Date: _____

Signature: _____ Date: _____

Name: _____ Title: _____

Name: _____ Title: _____



CHANGE ORDER

Project:

Washington Meadows

Original PO Number:	
Change Order #	
Change Order Date	6/6/2023
Payment Terms	
Retainage	
Req Number	

Seller:

Reesman's Excavating & Grading
28815 Bushnell Rd.
Burlington, WI
53105

Buyer:

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	ITEM TOTAL
	Deer Creek Hydrant Assembly 5/4/23				
	Superintendent	6	HR	\$155.00	\$930.00
	Foreman	7.25	HR	\$139.00	\$1,007.75
	Operator	8	HR	\$110.00	\$880.00
	Laborer	9.75	HR	\$106.00	\$1,033.50
	Cat 308	8	HR	\$65.00	\$520.00
	Utility Truck	7.25	HR	\$48.00	\$348.00
	Quad Axle	7.5	HR	\$163.00	\$1,222.50
	Bedding Stone	10	Ton	\$26.75	\$267.50
	Granular Backfill	44	Ton	\$19.45	\$855.86
	Curb Cuts	2	EA	\$37.00	\$74.00
	Spoil Disposal	2	EA	\$45.00	\$90.00
Total					\$7,229.11

<i>Original Purchase Order/ Contract Sum</i>	
<i>Net Change by Previous Change Orders</i>	
<i>Purchase Order/Contract Sum prior to this Change Order</i>	\$0.00
<i>Purchase Order/Contract Sum will be increased by this Change Order</i>	\$7,229.11
<i>Purchase Order/Contract Sum including this Change Order</i>	\$7,229.11

Accepted by SELLER:

Reesman's Excavating & Grading
28815 Bushnell Rd.
Burlington, WI
53105

Accepted by BUYER:

Signature: _____ Date: _____

Signature: _____ Date: _____

Name: _____ Title: _____

Name: _____ Title: _____



CHANGE ORDER

Project:

Washington Meadows

Original PO Number:	
Change Order #	
Change Order Date	6/5/2023
Payment Terms	
Retainage	
Req Number	

Seller:

Reesman's Excavating & Grading
28815 Bushnell Rd.
Burlington, WI
53105

Buyer:

Caledonia Utility District

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	ITEM TOTAL
	Cindy Drive Road Extension T and M 5/19/23				
	Foreman	7.5	HR	\$139.00	\$1,042.50
	Operator	4.75	HR	\$110.00	\$522.50
	Labor	9.75	HR	\$106.00	\$1,033.50
	Quad	1	HR	\$163.00	\$163.00
	Cat 314	5	HR	\$70.00	\$350.00
	Utility Truck	7.5	HR	\$48.00	\$360.00
	Loader	2	HR	\$80.00	\$160.00
	Track Skid Steer	4	HR	\$55.00	\$220.00
	Compactor	1	HR	\$81.00	\$81.00
	Quad and Trailer (Equipment Mobilization)	3	HR	\$173.00	\$519.00
	Ag Base to be paid per the unit price in the contract				
Total					\$4,451.50

<i>Original Purchase Order/ Contract Sum</i>	
<i>Net Change by Previous Change Orders</i>	
<i>Purchase Order/Contract Sum prior to this Change Order</i>	\$0.00
<i>Purchase Order/Contract Sum will be increased by this Change Order</i>	\$4,451.50
<i>Purchase Order/Contract Sum including this Change Order</i>	\$4,451.50

Accepted by SELLER:

Reesman's Excavating & Grading
28815 Bushnell Rd.
Burlington, WI
53105

Accepted by BUYER:

Signature: _____ Date: _____

Signature: _____ Date: _____

Name: _____ Title: _____

Name: _____ Title: _____

MEMORANDUM

DATE: Wednesday, June 28, 2023

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director



RE: Change Order #5 North Kremer Water Main Improvements

BACKGROUND INFORMATION

Change Order #5 on the North Kremer Water Main Improvements Project is for adjusting final restoration quantities to match what was installed on the project. The adjustment of this Final Change Order is \$1,260.00.

Change Order #5 adjusts the contract by 0.05% and Change Orders to date have adjusted the contract by 1.06%.

It is recommended that Change Order #5 be approved.

RECOMMENDATION

Move to approve Change Order #5 in the amount of \$1,260.00 for the North Kremer Water Main Improvements Project.

**SECTION 00 63 62
CHANGE ORDER**

No. 5

Date of Issuance: June 28, 2023
Owner: Village of Caledonia Utility District
Contractor: PTS Contractors, Inc.
Engineer: Foth Infrastructure & Environment, LLC
Project: North Kremer Water Main Improvements

Effective Date: June 28, 2023
Owner's Contract No.: 20C030.10
Contractor's Project No.:
Engineer's Project No.: 20C030.10
Contract Name:

The Contract is modified as follows upon execution of this Change Order:

Description:

-Rebalance restoration quantity to actual quantity for project closeout.

Bid Item	Description	Current Contract Quantity	Unit	Unit Price	Total	Installed Quantity	Installed Total	C05 Quantity Adjustment	C05 Total Adjustment
48	Topsoil, Seed, Fertilizer, and Erosion Matting	180	SY	\$7.00	\$1,260.00	360	\$2,520.00	180	\$1,260.00

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES
Original Contract Price: \$ 2,681,000.00	Original Contract Times: Substantial Completion: <u>June 3, 2022</u> Ready for Final Payment: <u>July 1, 2022</u> days or dates
[Increase] [Decrease] from previously approved Change Orders No. <u>1</u> to No. <u>4</u> : \$ 27,173.96	[Increase] [Decrease] from previously approved Change Orders No. <u> </u> to No. <u> </u> : Substantial Completion: <u>N/A</u> Ready for Final Payment: <u>N/A</u> days
Contract Price prior to this Change Order: \$ 2,708,173.96	Contract Times prior to this Change Order: Substantial Completion: <u>June 3, 2022</u> Ready for Final Payment: <u>July 1, 2022</u> days or dates
[Increase] [Decrease] of this Change Order: \$ 1,260.00	[Increase] [Decrease] of this Change Order: Substantial Completion: <u>No Change</u> Ready for Final Payment: <u>No Change</u> days or dates
Contract Price incorporating this Change Order: \$ 2,709,433.96	Contract Times with all approved Change Orders: Substantial Completion: <u>June 3, 2022</u> Ready for Final Payment: <u>July 1, 2022</u> days or dates

RECOMMENDED:

ACCEPTED:

ACCEPTED:

By: 

Engineer (if required)

Title: Project Manager

Date: 6/28/2023

By: _____
Owner (Authorized Signature)

Title _____

Date _____

By: _____
Contractor (Authorized Signature)

Title _____

Date _____

Approved by Funding Agency (if applicable)

By: _____

Date: _____

Title: _____

MEMORANDUM

DATE: Wednesday, June 28, 2023

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director



RE: Final Acceptance – North Kremer Water Main Improvements

BACKGROUND INFORMATION

PTS Contractors, Inc. has submitted the final pay request for the North Kremer Water Main Improvements Project. The work was started in 2021 and completed in 2023. This payment is for the final adjustment of quantities and retainage.

The Final Lien waivers have also been submitted with this pay request.


RECOMMENDATION

Move to recommend Final Acceptance of the North Kremer Water Main Improvements Project.

MEMORANDUM

DATE: Tuesday, June 27, 2023

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director 

RE: Engineering Improvement Plan Approval – Prairie Pathways Phase V

BACKGROUND INFORMATION

Bryan Pokos P.E. of Pinnacle Engineering Group has submitted a set of Engineering Improvement Plans for Prairie Pathways – Perennial Parkway (Phase V). Prairie Pathways Phase V is a proposed residential subdivision located North of Dunkelow Road, South of Prairie Pathways Drive, off of the recently constructed portion of Morris Street. This plan involves the construction of Perennial Parkway, Woolgrass Way & Bishop's Cap Drive. This Phase of the subdivision is located within the Sanitary Sewer & Water Service Area and is for the creation of 30 lots.

This Phase of the development was included in the Storm Water Management Plan for the previous phases. This development falls under the Base Storm Water Regulations. Base Storm Water Regulations are that the 100 yr post development peak runoff must be reduced to or below the 10 yr predevelopment peak runoff and the 10 yr post development peak runoff must be reduced to or below the 2 yr predevelopment peak runoff. The site must achieve 80% Total Suspended Solids removal. The Storm Water Management Plan dated February 7, 2019, meets the Ordinance.

The runoff from the proposed lots and the proposed road Right of Way will drain to 2 storm water ponds. Both of the storm water ponds will accept runoff from Phase V and meet the current storm water runoff regulations. The Storm Water Management Plan has been previously approved.

The Site Grading & Drainage Plan included in the submittal has been reviewed by the Engineering Department and the Public Services Director. These plans show how each of the lots are to be graded. The plans provide the proposed FYG's for the individual homes and most grades meet the Ordinance for proper drainage away from the homes. There are a few minor changes that have been requested in a recent review letter. The Site Grading & Drainage Plan is ready for conditional approval.

The Utility Plans included in the Engineering Improvement Plans have also been reviewed and recommended for approval by the Utility District's Consultant and the Public Services Director. This includes the Sanitary Sewer, Watermain and Storm Sewer. The Racine Wastewater Commission will be reviewing the sanitary sewer extension at their July Meeting. The watermain plans are also ready for approval. The storm sewer plans for the site require some minor modifications but again are ready for conditional approval pending revisions listed in the recent review letter.

Included in this packet are the most recent review letter, the Utility District consultant review letter, and a copy of the reviewed plans.

RECOMMENDATION

Move to conditionally approve the Engineering Improvements Plan for Prairie Pathways – Perennial Parkway (Phase V) subject to the following:

- 1. All comments on the Village Engineer’s letter for the Engineering Improvements Plan dated June 21, 2023 are addressed as necessary.**
- 2. The Sanitary Sewer Extension is approved by the Racine Wastewater Utility.**
- 3. The Design Engineer determines that the plans approved by the Caledonia Utility District and Engineering Department are technically adequate and are stamped by the Design Engineer.**
- 4. A Developers Agreement be executed and acceptable financial guarantees are made with the Village to ensure that the Sanitary Sewer, Watermain, Storm Sewer and roads are installed (properly), asbuilt, and certified by the Design Engineer.**

June 21, 2023

Pinnacle Engineering Group
 c/o Bryan Pokos
 20725 Watertown Road, Suite 100
 Brookfield, WI 53186

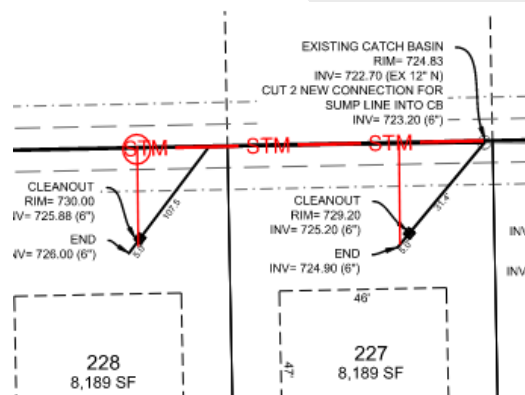
RE: Prairie Pathways – Phase V

Dear Mr. Pokos,

The Caledonia Engineering Department has performed a review of Engineering Improvement Plans dated 5-19-2023 for the Prairie Pathways Subdivision:

Sheet 3

- Please show the approved and proposed master grading plan elevations for the rear yard of 219-229. While it is understood what the as-built elevations are, the intention is still to meet the approved master plan grades. You may include the current elevations as "E ###.##" for existing and P"XXX.XX" for the proposed (or some format of similar design).
- Lot 218/219 has significant difference from Phase III plan to current proposal at shared lot line (Prop 730.60 – Actual 730.12) FYG should be 0.7' min. from the proposed master grading plan side yard swale. The FYG for Lot 218 is 731.30.
- Storm Sewer behind Lot 227/228 still incorrect. Please extend the sump collection system to the center of lot 228 and provide perpendicular connections to the newly extended system.



- All sump collection cleanouts should be located at the edge of the easement line (whole plan).

- Shift sump collection line for Lot 233 to rear of new inlet to eliminate long crossing.
- Note: Extra courses in foundations may be required on project due to greater than 4' of fill required to reach FF. Please notify builder/developer or provide a note on plans.
- Show Lot 219/220 option for driveway on side street as was done for the lot on Morris. 219 may be too steep but 220 can have the option shown with possible slope. We liked how this was done.
- Provide Street Lighting locations

Sheet 7 / Storm Sewer Crossing Conflict

- Sanitary / Storm crossing conflict is an issue.
 - Clarify bottom of storm pipe elevation because the invert is 719.60 at the downstream manhole; so the bottom of a 36" pipe would be much lower due to thickness.
 - Double check elevation of top of pipe for sanitary. We are getting closer to 719.12 for top of pipe.
 - Revisit storm sewer modeling required for this system. The existing 36" was installed when there wasn't a pond in the current outlot. There is only an 18" outlet structure and the 36" mainline may no longer be required. Consider relaying the 36" segment of pipe to a smaller size from the manhole that requires deck modification back up to 18". Would possibly resolve clearance issues.

Standard Comments

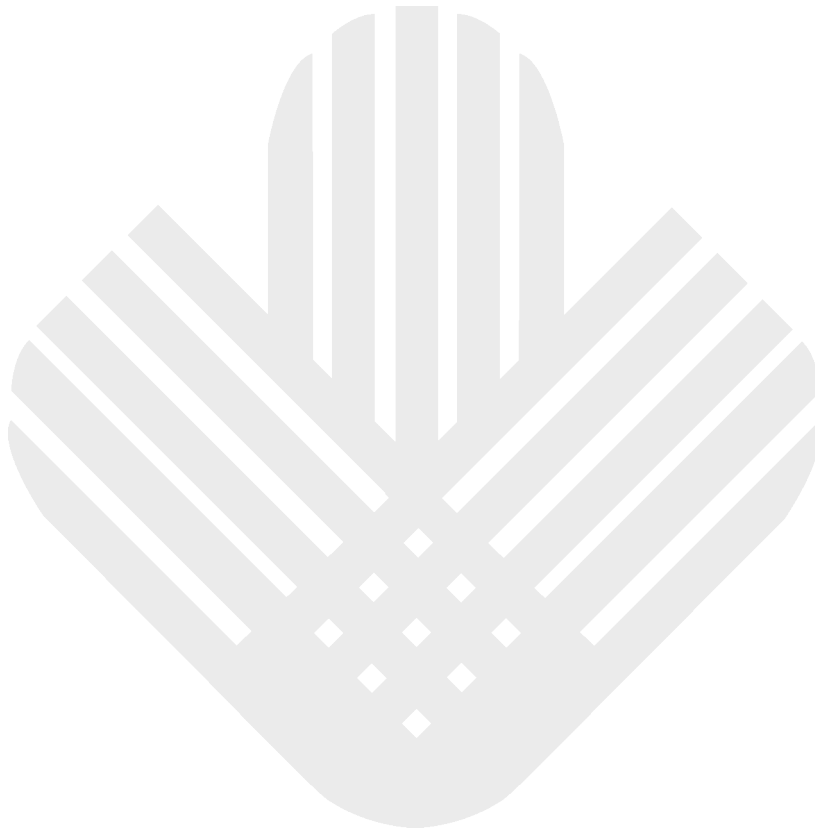
- Once approved by the Caledonia Utility District, 3 stamped hard copies and 1 stamped electronic (pdf) copy, are to be submitted for the Development.
- Apply for all applicable Federal, State, and Local permits.
- Once additional easements have been acquired from utility companies (We Energies), please provide a "master easement" sheet for this phase of the subdivision.
- Submit an NOI and any other necessary permits from the Wisconsin DNR.
- The Utility District retains the right to add comments to subsequent reviews of the Utility Plans until the plan has been approved by the Caledonia Utility District.

If there are any questions on this review for sanitary sewer, water, and storm sewer, please contact Tony Bunkelman @ abunkelman@caledonia-wi.gov or (262-835-6416) to discuss. If there are questions on the grading, paving, and site design, please contact Ryan Schmidt at 262-835-6475 or rschmidt@caledonia-wi.gov.

Sincerely.



Ryan Schmidt, P.E.
Village Engineer
Village of Caledonia





Ballpark Commons Office Building
7044 South Ballpark Drive, Suite 200
Franklin, WI 53132
(414) 336-7900
foth.com

June 19, 2023

Mr. Tony Bunkelman, PE
Village of Caledonia
5043 Chester Street
Racine, WI 53402

Re: Prairie Pathways Phase 5 – Sewer and Water Utilities Review

Dear Tony,

We have reviewed the revised plans for the above development dated May 19, 2023 as prepared by Pinnacle Engineering.

All of our previous comments have been addressed and we recommend approval of the sanitary sewer and water main plans for construction.

Sincerely,

Foth Infrastructure & Environment, LLC

A handwritten signature in blue ink, reading "Andrew M. Schultz".

Andrew M. Schultz, PE
Project Manager
Licensed in WI

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

DESIGNED: ASZ

REVIEWED: ASZ

DRAFTED: BOP

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LEGEND		
	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER CATCH BASIN (ROUND CASTING)	⊙	⊙
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	□	■
PRECAST FLARED END SECTION	△	▶
CONCRETE HEADWALL	∩	∩
VALVE BOX	⊗	⊗
FIRE HYDRANT	⊗	⊗
CLEANOUT	⊗	⊗
SANITARY SEWER	—▶—	—▶—
FORCE MAIN	—▶—	—▶—
STORM SEWER	—▶—	—▶—
DRAIN TILE	— —	— —
WATER MAIN	—W—	—W—
FIRE PROTECTION	—E—	—E—
ELECTRICAL CABLE	—E—	—E—
OVERHEAD WIRES	—OHW—	—OHW—
GAS MAIN	—G—	—G—
TELEPHONE LINE	—T—	—T—
UTILITY CROSSING		⊗
CAUTION EXISTING UTILITIES NEARBY		⊗
GRANULAR TRENCH BACKFILL		⊗
LIGHTING	⊗	⊗
ELECTRICAL TRANSFORMER OR PEDESTAL	⊗	⊗
POWER POLE	⊗	⊗
POWER POLE WITH LIGHT	⊗	⊗
GUY WIRE	⊗	⊗
STREET SIGN	⊗	⊗
CONTOUR	—749—	—749—
SPOT ELEVATION	×(750.00)	◆750.00
WETLANDS	—W—	—W—
PRIMARY ENVIRONMENTAL CORRIDOR	—P—	—P—
FLOODWAY	—F—	—F—
FLOODPLAIN	—F—	—F—
HIGH WATER LEVEL (HWL)	—H—	—H—
NORMAL WATER LEVEL (NWL)	—N—	—N—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	—▶—	—▶—
DIVERSION SWALE	—▶—	—▶—
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊗	⊗
SOIL BORING	⊗	⊗
TOPSOIL PROBE	⊗	⊗
FENCE LINE, TEMPORARY SILT	—SF—	—SF—
FENCE LINE, WIRE	—O—	—O—
FENCE LINE, CHAIN LINK OR IRON	—O—	—O—
FENCE LINE, WOOD OR PLASTIC	—O—	—O—
CONCRETE SIDEWALK	—O—	—O—
CURB AND GUTTER	—O—	—O—
DEPRESSED CURB	—O—	—O—
REVERSE PITCH CURB & GUTTER	—O—	—O—
EASEMENT LINE	—O—	—O—

ABBREVIATIONS			
BL	BASE LINE	MH	MANHOLE
BP	BOTTOM OF PIPE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FES	FLARED END SECTION	ST	STORM SEWER
FF	FINISHED FLOOR	T	TANGENCY OF CURVE
FG	FINISHED GRADE	TB	TOP OF BANK
FL	FLOW LINE	TC	TOP OF CURB
FP	FLOODPLAIN	TF	TOP OF FOUNDATION
FR	FRAME	TP	TOP OF PIPE
FW	FLOODWAY	TS	TOP OF SIDEWALK
FYG	FINISHED YARD GRADE	TW	TOP OF FOUNDATION WALL
HWL	HIGH WATER LEVEL	WM	WATER MAIN
INV	INVERT	Δ	INTERSECTION ANGLE
L	LENGTH OF CURVE		

PLAN | DESIGN | DELIVER

www.pinnacle-engr.com

WISCONSIN OFFICE:

20725 WATERTOWN ROAD

BROOKFIELD, WI 53186

(262) 754-8888

CHICAGO | MILWAUKEE | NATIONWIDE

PRAIRIE PATHWAYS

PERENNIAL PKWY

CALEDONIA, WI

COVER SHEET

REVISIONS	
1	05/19/23
	PER VILLAGE COMMENTS

REG JOB NO.	951.20
REG PM	AEK
START DATE	12/29/22
SCALE	N.T.S.

SHEET	1
OF	20

ENGINEERING IMPROVEMENT PLANS

FOR

PRAIRIE PATHWAYS - PERENNIAL PKWY

CALEDONIA, WISCONSIN

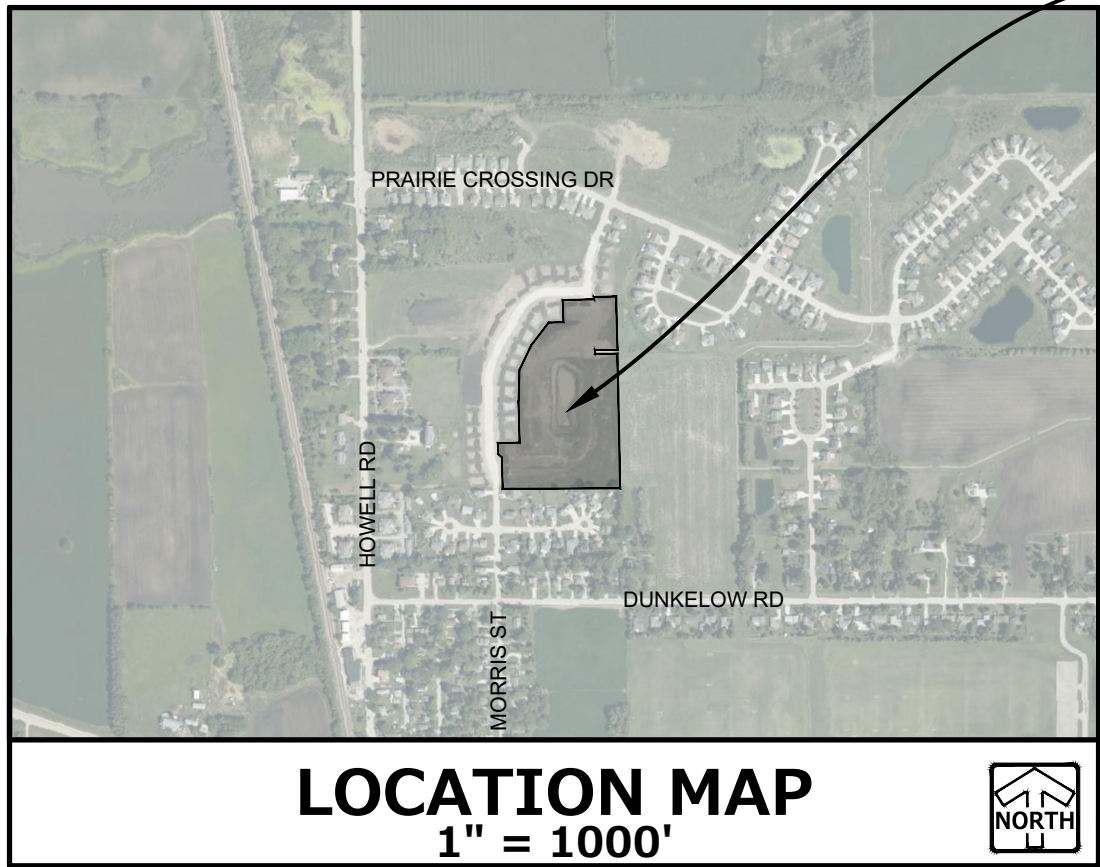
PLANS PREPARED

FOR

THE NEWPORT GROUP, LTD

8338 CORPORATE DRIVE #300

MOUNT PLEASANT, WI 53406



PROJECT LOCATION

INDEX OF SHEETS

1	COVER SHEET
2	EXISTING CONDITIONS
3	MASTER GRADING PLAN
4	EROSION CONTROL PLAN
5	SANITARY SEWER SYSTEM MAP
6 - 8	SANITARY SEWER PLAN & PROFILES
9	WATER MAIN SYSTEM MAP
10 - 13	WATER MAIN PLAN & PROFILES
14	STORM SEWER SYSTEM MAP
15 - 18	STORM SEWER & ROADWAY PLAN & PROFILES
19 - 20	CONSTRUCTION DETAILS & SPECIFICATIONS

GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- NO GEOTECHNICAL REPORT HAS FOR THE PROJECT SITE. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

PROJECT CONTACTS

DESIGNER CONTACT AARON KOCH 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888	DEVELOPER CONTACT NANCY WASHBURN 7450 COUNTY LINE ROAD MOUNT PLEASANT, WI 53403 (262) 818-1836
--	---



Toll Free (800) 242-8811
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

EXPIRATION DATE: JULY 31st, 2024

PINNACLE ENGINEERING GROUP, LLC
ENGINEER'S LIMITATION

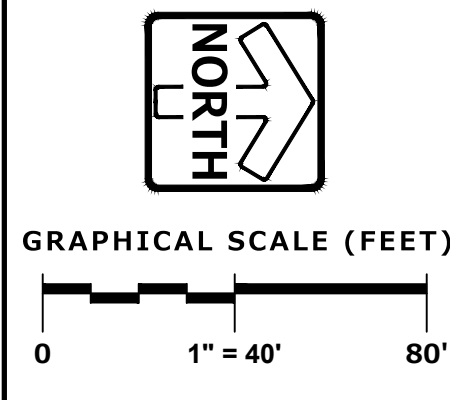
PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

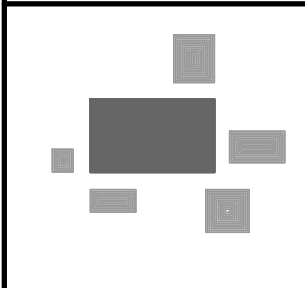
FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

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PRairie Pathways

PERENNIAL PKWY

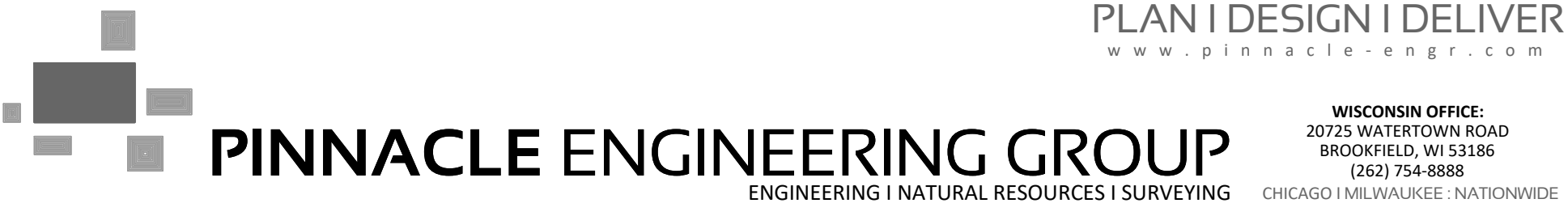
CALEDONIA, WI

EXISTING CONDITIONS

REVISIONS		SHEET	2	OF	20
1	05/19/23				
PER VILLAGE COMMENTS					
951.20	AKK	12/29/22			
REG JOB No.	SCALE	START DATE			
1" = 40'					

Z:\PROJECTS\2017\951.20-W\CAD\SHEETS\2 EXISTING CONDITIONS.DWG

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REG JOB No. 951.20 **AEK**
 REG PM 12/29/22
 START DATE 12/29/22
 SCALE 1" = 40'

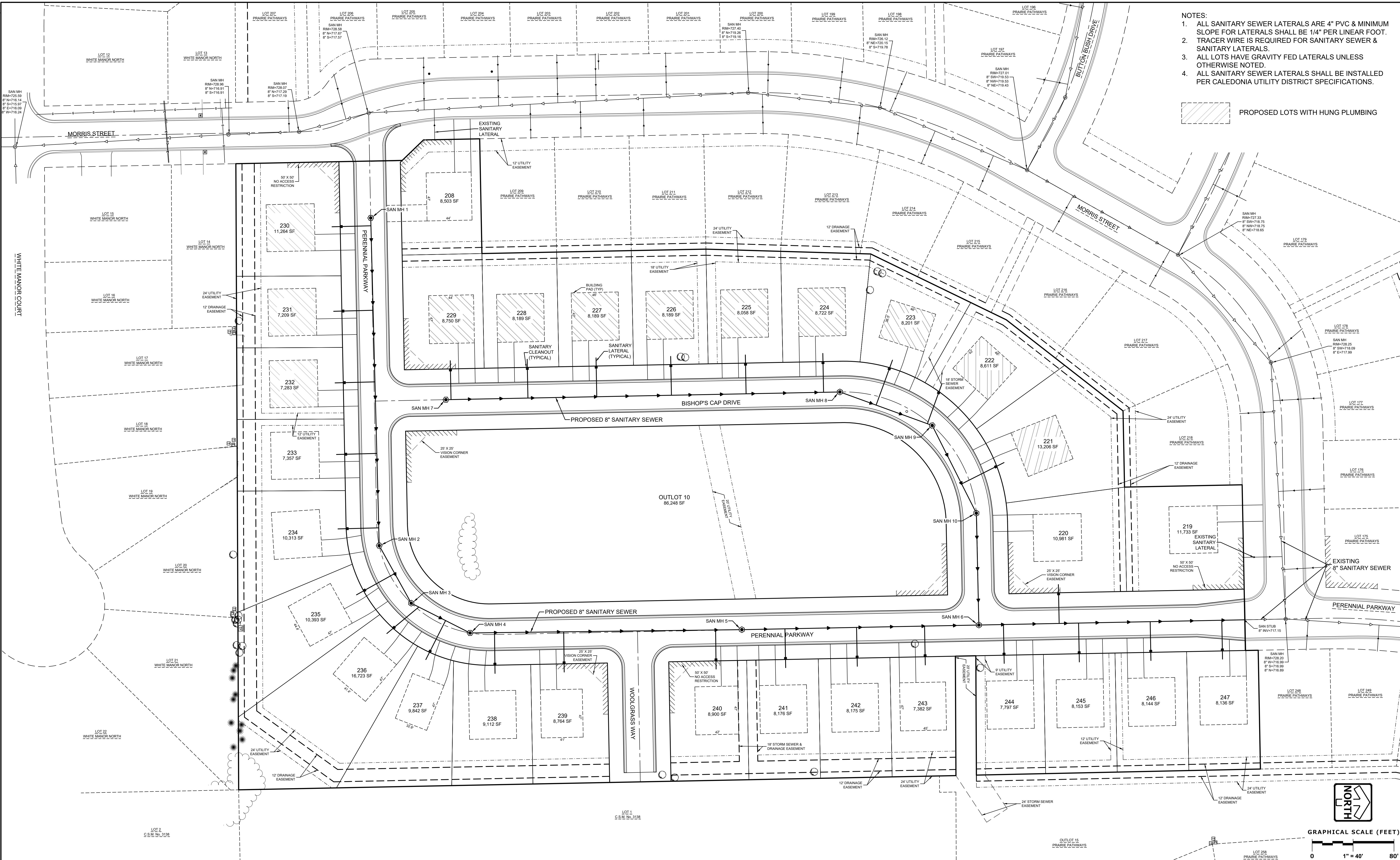
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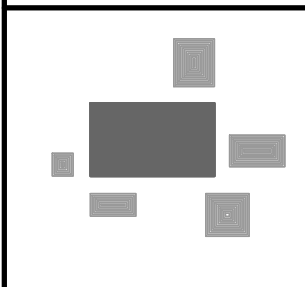
- NOTES:
1. ALL SANITARY SEWER LATERALS ARE 4" PVC & MINIMUM SLOPE FOR LATERALS SHALL BE 1/4" PER LINEAR FOOT.
 2. TRACER WIRE IS REQUIRED FOR SANITARY SEWER & SANITARY LATERALS.
 3. ALL LOTS HAVE GRAVITY FED LATERALS UNLESS OTHERWISE NOTED.
 4. ALL SANITARY SEWER LATERALS SHALL BE INSTALLED PER CALEDONIA UTILITY DISTRICT SPECIFICATIONS.

PROPOSED LOTS WITH HUNG PLUMBING



GRAPHICAL SCALE (FEET)

0 1" = 40' 80'



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PRAIRIE PATHWAYS PERENNIAL PKWY CALEDONIA, WI

SANITARY SEWER SYSTEM MAP

REVISIONS		PER VILLAGE COMMENTS	
1	05/19/23		

REG JOB No. **951.20**

REG PM **AEK**

START DATE **12/29/22**

SCALE **1" = 40'**

SHEET **5**
OF **20**

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Z:\PROJECTS\2017\951.20-WI\CAD\SHEETS\5 SANITARY SEWER SYSTEM MAP.DWG

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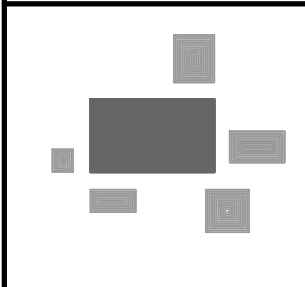
SANITARY SEWER SYSTEM MAP

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DRAFTED: BDP

DATE: 05/19/23



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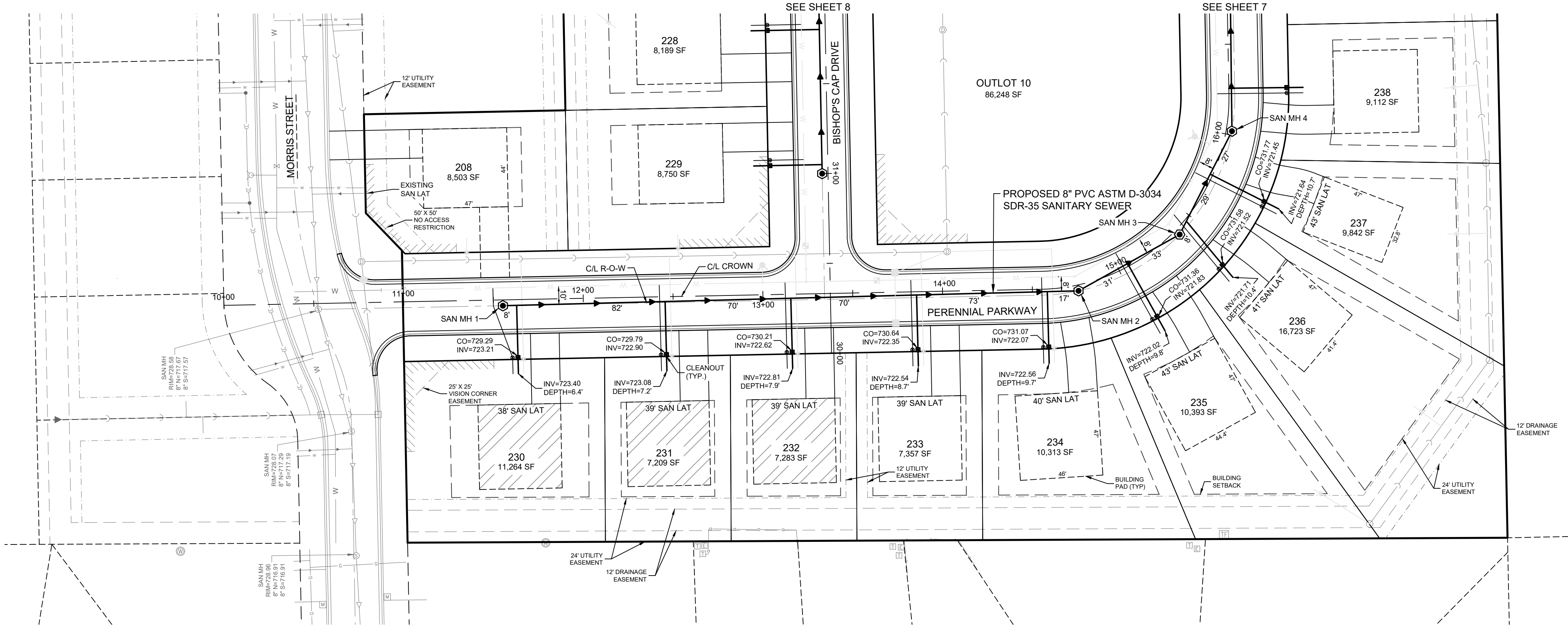
PRAIRIE PATHWAYS
PERENNIAL PKWY
CALEDONIA, WI

SANITARY SEWER PLAN & PROFILE

REVISIONS	
1	05/19/23 PER VILLAGE COMMENTS

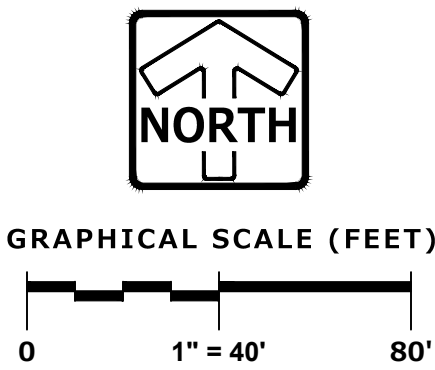
REG JOB NO. 951.20
REG PM A/E/K
START DATE 12/29/22
SCALE 1"=40'

SHEET
6
OF
20



- NOTES:
- ALL SANITARY SEWER LATERALS ARE 4" PVC & MINIMUM SLOPE FOR LATERALS SHALL BE 1/4" PER LINEAR FOOT.
 - TRACER WIRE IS REQUIRED FOR SANITARY SEWER & SANITARY LATERALS.
 - ALL LOTS HAVE GRAVITY FED LATERALS UNLESS OTHERWISE NOTED.
 - ALL SANITARY SEWER LATERALS SHALL BE INSTALLED PER CALEDONIA UTILITY DISTRICT SPECIFICATIONS.

PROPOSED LOTS WITH HUNG PLUMBING

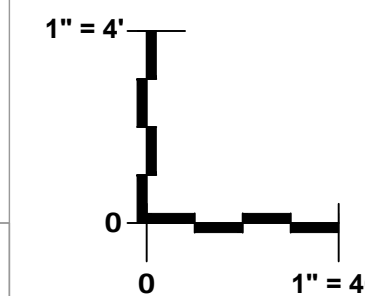
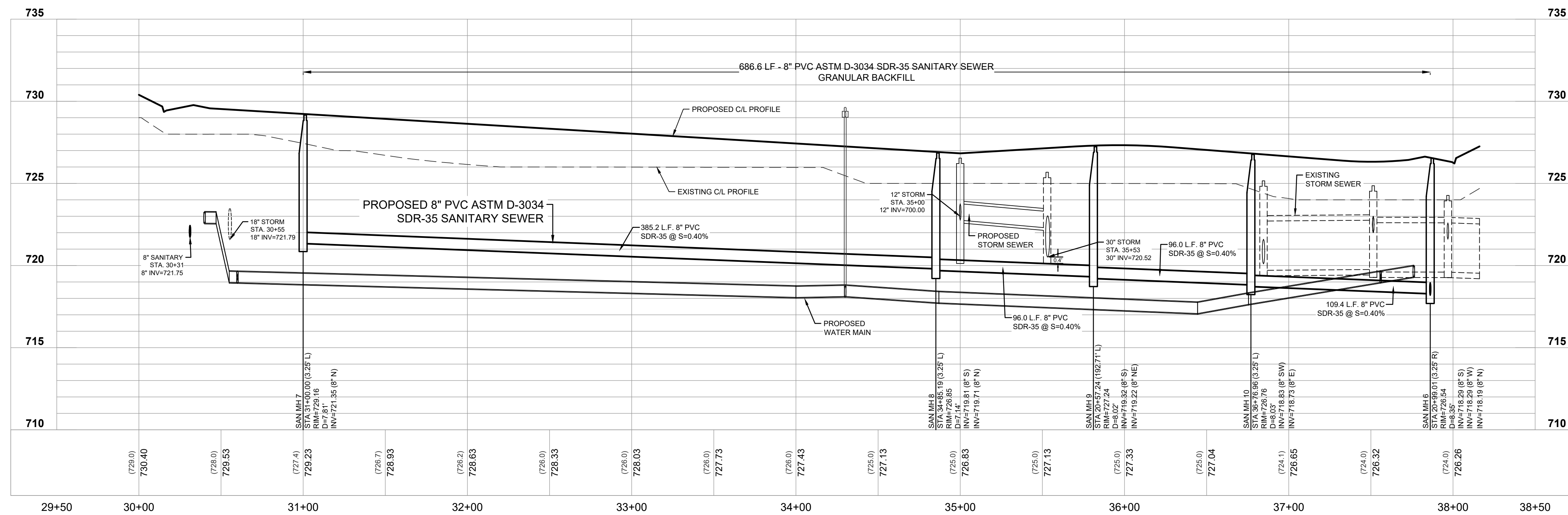


NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., Etc.



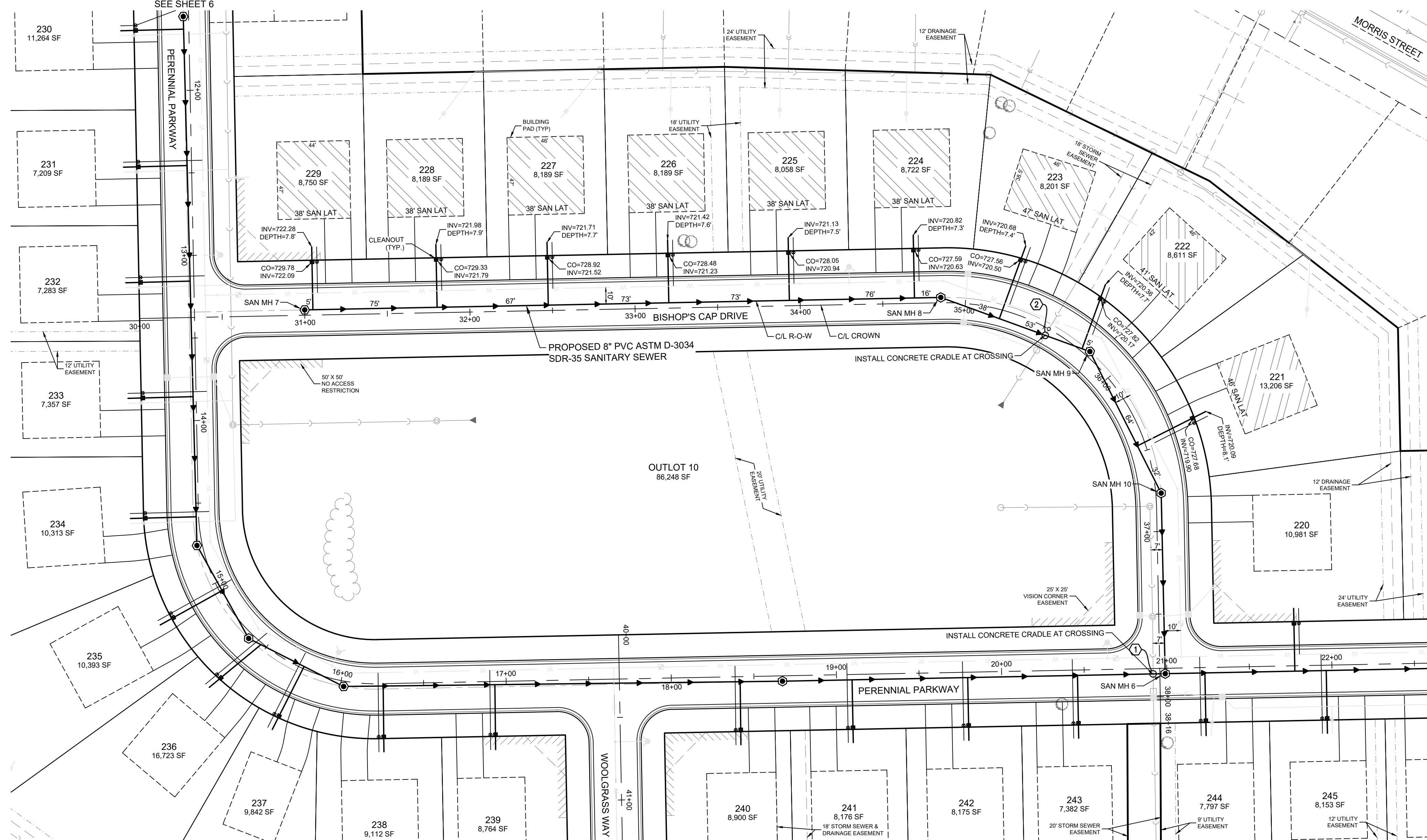
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SHEET
7
OF
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CROSSINGS

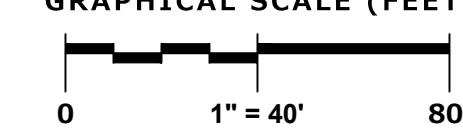
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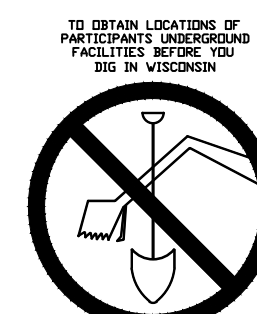
- NOTES:
1. ALL SANITARY SEWER LATERALS ARE 4" PVC & MINIMUM SLOPE FOR LATERALS SHALL BE 1/4" PER LINEAR FOOT.
 2. TRACER WIRE IS REQUIRED FOR SANITARY SEWER & SANITARY LATERALS.
 3. ALL LOTS HAVE GRAVITY FED LATERALS UNLESS OTHERWISE NOTED.
 4. ALL SANITARY SEWER LATERALS SHALL BE INSTALLED PER CALEDONIA UTILITY DISTRICT SPECIFICATIONS.

 PROPOSED LOTS WITH HUNG PLUMBING

GRAPHICAL SCALE (FEET)




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PRAIRIE PATHWAYS
PERENNIAL PKWY
CALEDONIA, WI

SANITARY SEWER PLAN & PROFILE

REVISIONS

1	05/19/23	PER VILLAGE COMMENTS

951.20	
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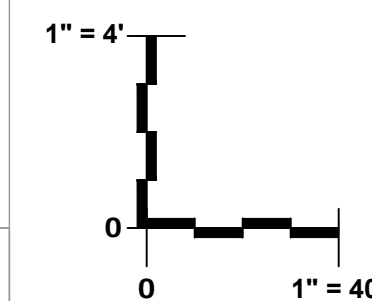
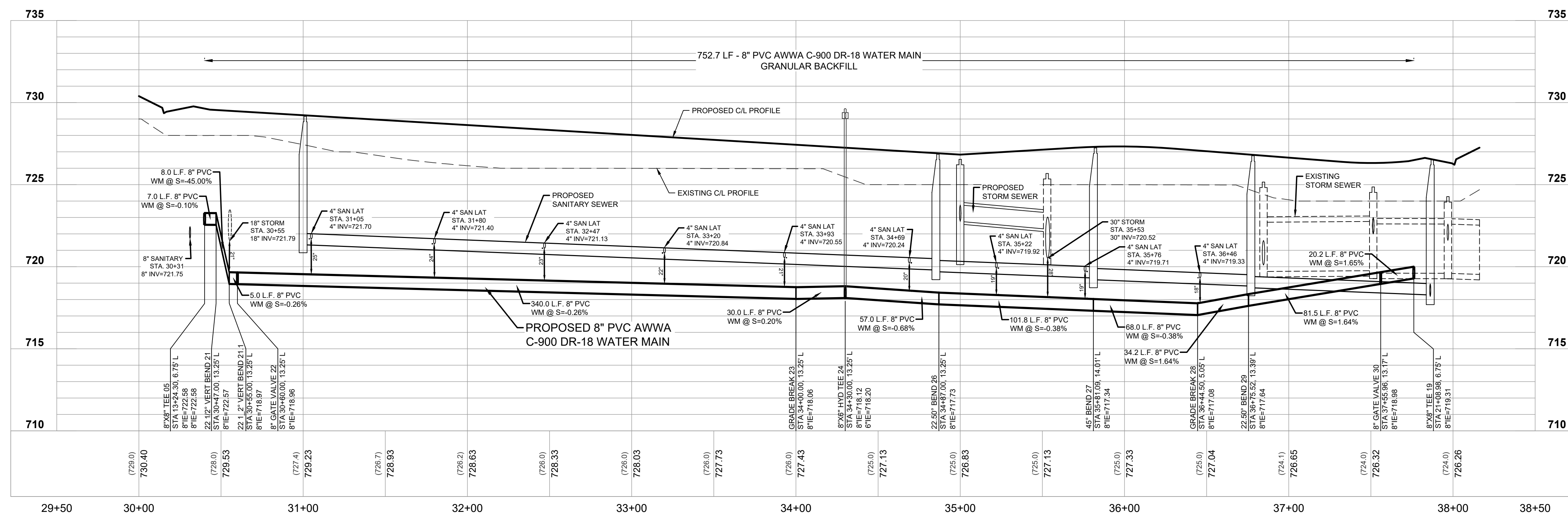
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PART DATE 12/29/22

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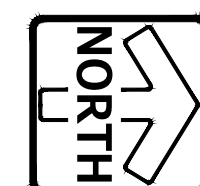
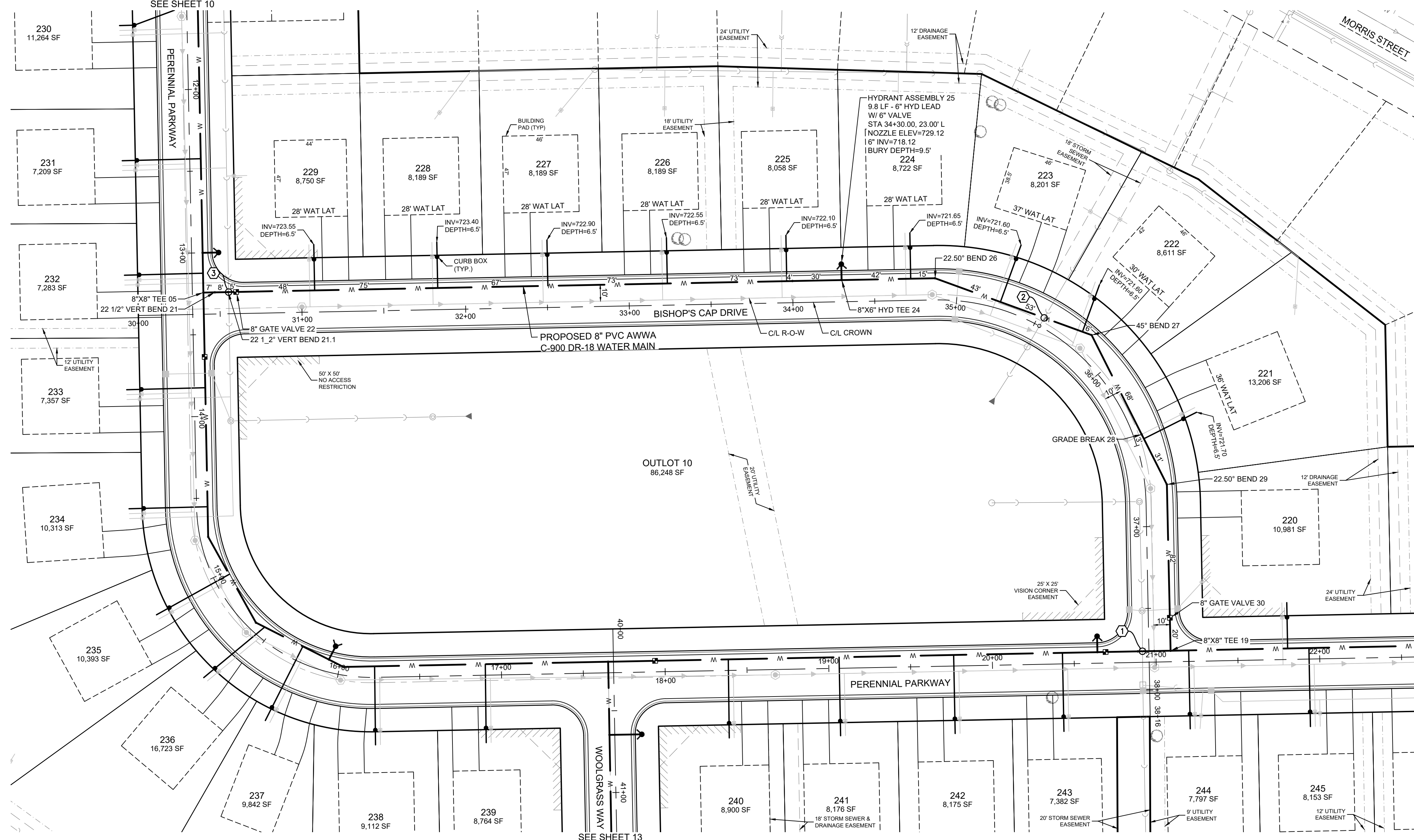
DRAFTED: BDP
DESIGNED: ASZ
REVIEWED: ASZ



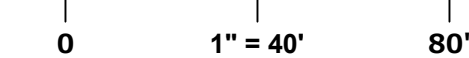
CROSSINGS	
<p>1</p> <p>36" EX. STORM OVER 8" WATER MAIN 36" ST B/PIPE = 719.60 8" WAT T/PIPE = 717.27</p>	<p>2</p> <p>30" STORM OVER 8" WATER MAIN 30" ST B/PIPE = 720.52 8" WAT T/PIPE = 718.22</p>
<p>3</p> <p>18" EX. STORM OVER 8" WATER MAIN 18" ST B/PIPE = 721.79 8" WAT T/PIPE = 719.64</p>	

NOTES:

1. ALL WATER LATERALS SHALL BE 1-1/4" HDPE CTS TUBING.
2. TRACER WIRE TO BE INSTALLED PER UTILITY DISTRICT STANDARD SPECIFICATIONS.
3. ALL WATER LATERALS SHALL BE INSTALLED PER CALEDONIA UTILITY DISTRICT SPECIFICATIONS.
4. WATER LATERALS TO BE INSULATED FROM SANITARY SEWER MAIN TO PREVENT ANY FREEZING OF WATER LATERALS.
5. CURB BOX TO BE INSTALLED 1.0' OFF R.O.-W.
6. RESTRAIN ALL JOINTS WITHIN 6.0' OF 45° BENDS AND 3.0' OF ALL 22.5° BENDS.



GRAPHICAL SCALE (FEET)



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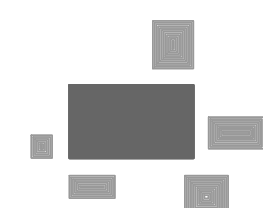
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WATER MAIN PLAN & PROFILE

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PERENNIAL PKWY
CALEDONIA, WI

WATER MAIN PLAN & PROFILE

REVISIONS

1	05/19/23	PER VILLAGE COMMENTS	

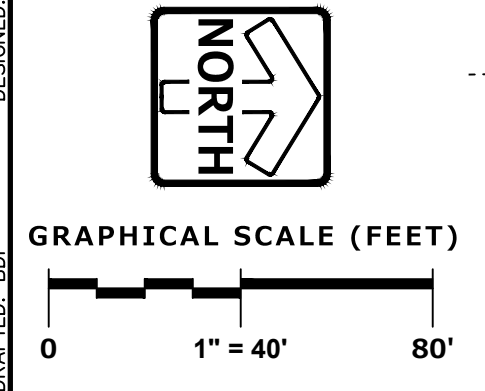
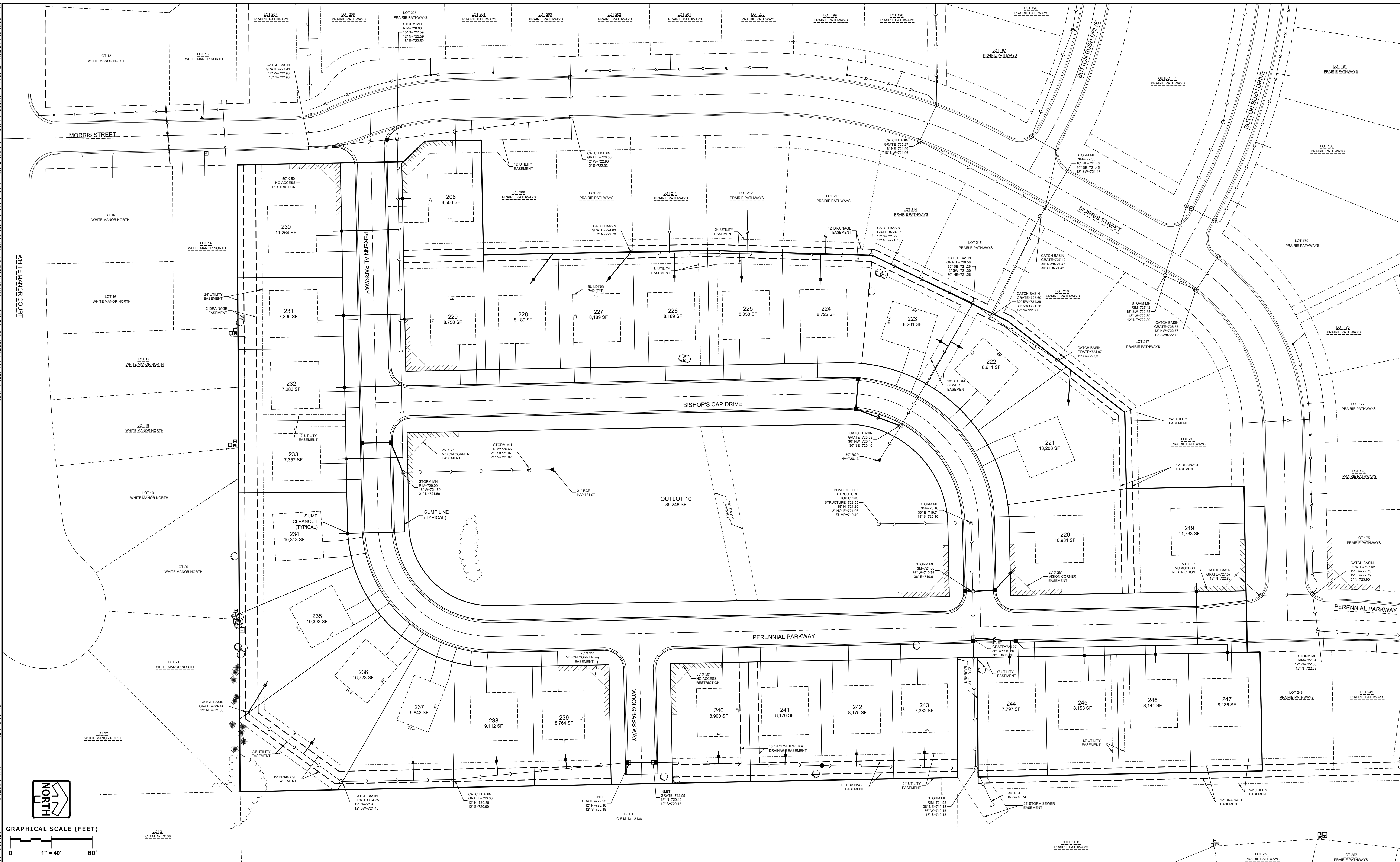
REG 108 No	951.20
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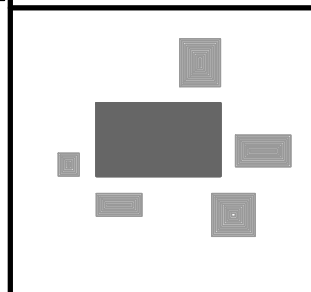
REG PM AEK

START DATE 12/29/22

SHEET
12
OF
20

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REVIEWED: ASZ
DRAFTED: BDP





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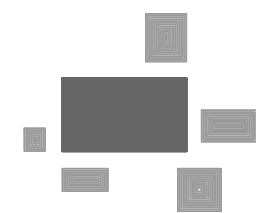
PRAIRIE PATHWAYS
PERENNIAL PKWY
CALEDONIA, WI

STORM SEWER SYSTEM
MAP

REVISIONS				REG JOB No.	951.20	REG PM	AEK	START DATE	12/29/22	SCALE	1" = 40'	SHEET
1	05/19/23	PER VILLAGE COMMENTS										14
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PRAIRIE PATHWAYS PERENNIAL PKWY CALEDONIA, WI

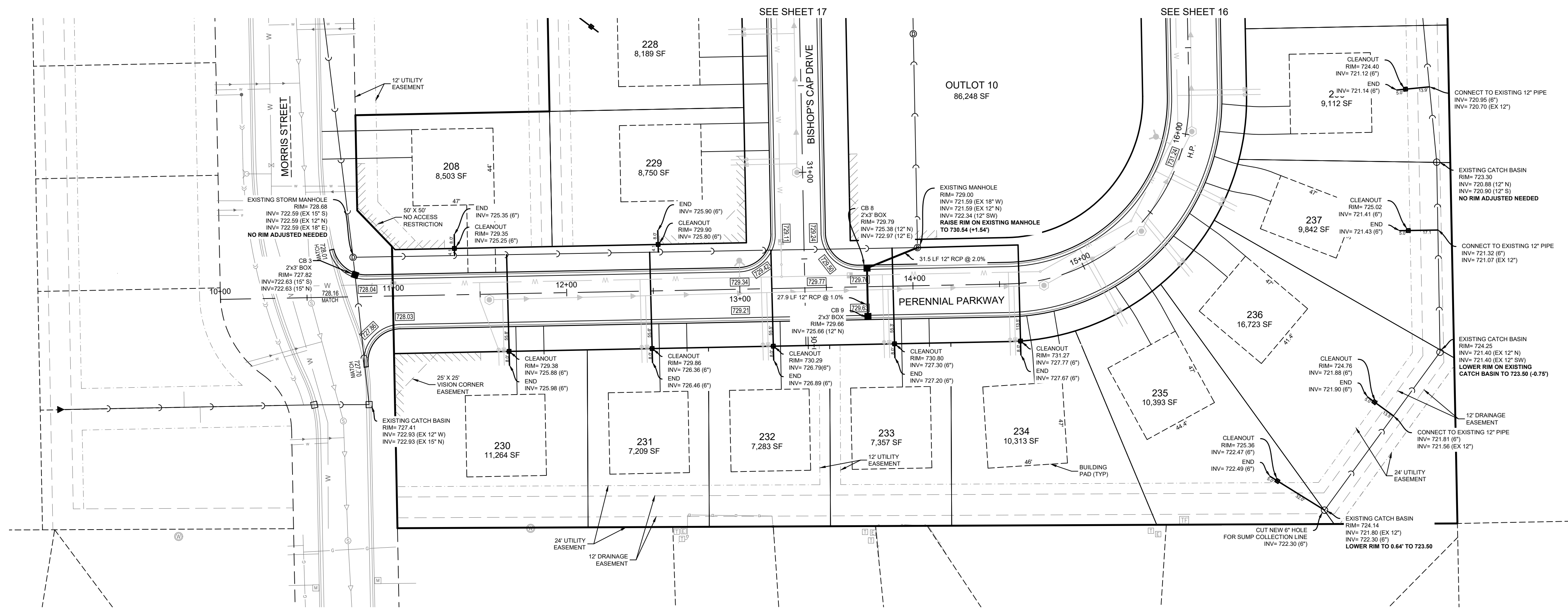
STORM SEWER & ROADWAY PLAN & PROFILE

REVISIONS	
1	05/19/23
	PER VILLAGE COMMENTS

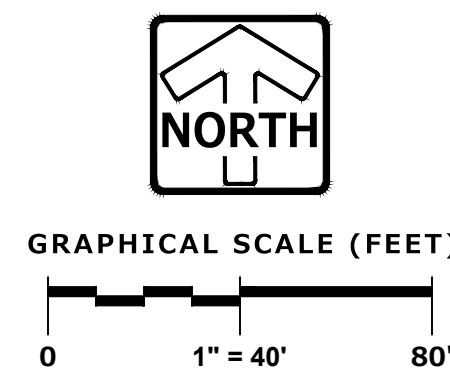
REG JOB NO.	951.20
REG PM	AEK
START DATE	12/29/22
SCALE	###

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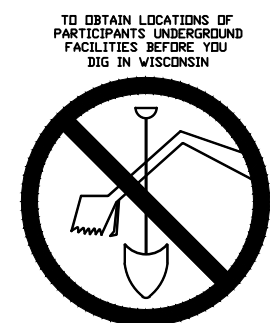
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- NOTES:
1. ALL RIM ELEVATIONS ON CURB CATCH BASINS IS GIVEN AT THE FLOWLINE
 2. STORM SEWER AND SUMP COLLECTION SYSTEM SHALL HAVE TRACER WIRE OVER THE LINE. SUMP COLLECTION LINE TRACER WIRE SHALL BE TAPED TO THE TOP OF THE PIPE EVERY 10.0'.
 3. ALL SUMP COLLECTION PIPE SHALL BE 6" SDR26 PVC.



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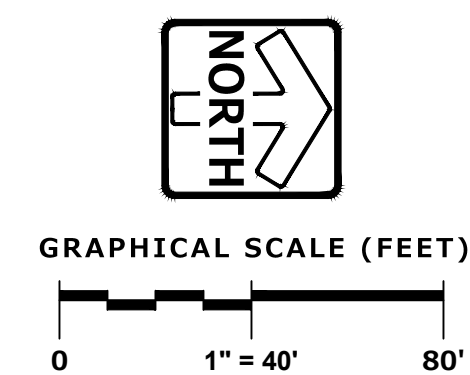
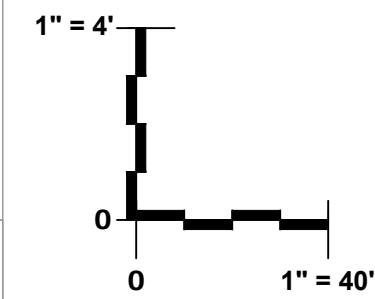
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<div style="display: flex; align-items: center;"> <div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center; margin-right: 10px;">1</div> <div> <p>36" EX. STORM OVER 8" WATER MAIN</p> <p>36" ST B/PIPE= 719.60</p> <p>8" WAT T/PIPE= 717.27</p> </div> </div>	<div style="display: flex; align-items: center;"> <div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center; margin-right: 10px;">2</div> <div> <p>36" EX. STORM OVER 8" SANITARY</p> <p>36" ST B/PIPE= 719.60</p> <p>8" SAN T/PIPE= 719.35</p> </div> </div>
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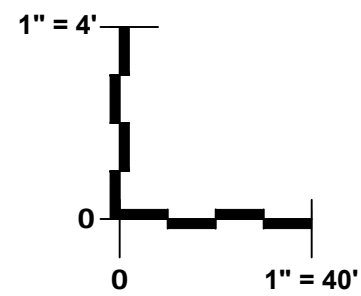
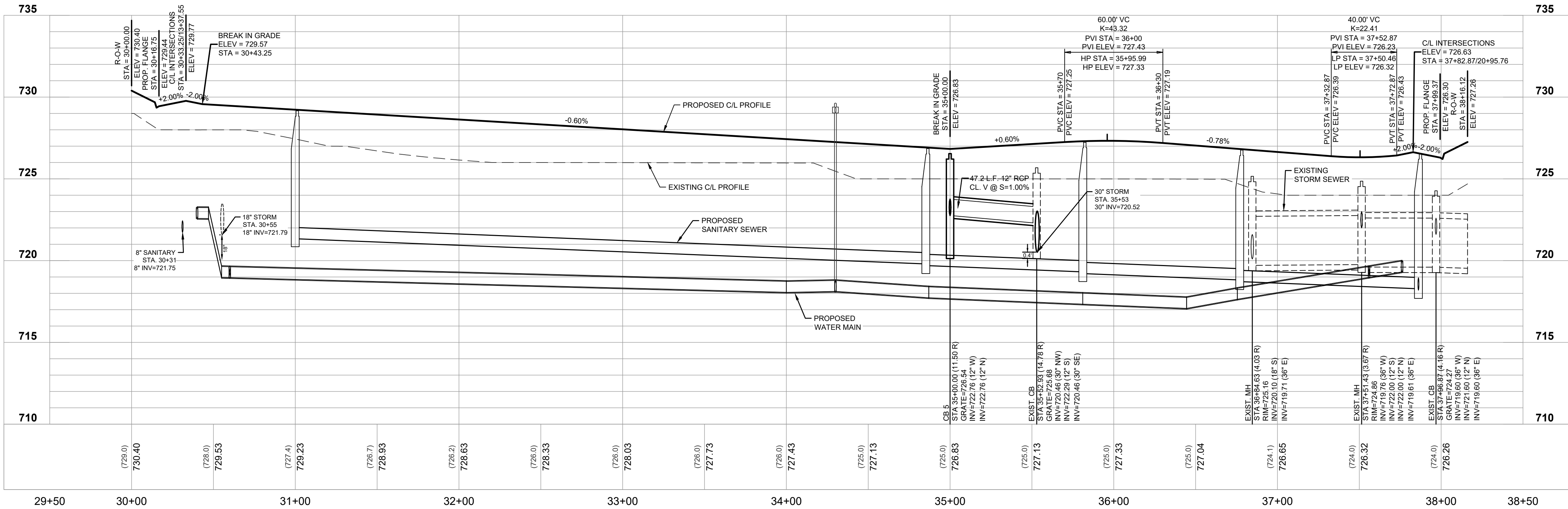
STORM SEWER & ROADWAY PLAN & PROFILE

1	05/19/23	PER VILLAGE COMMENTS

5 JOB No. 951.20

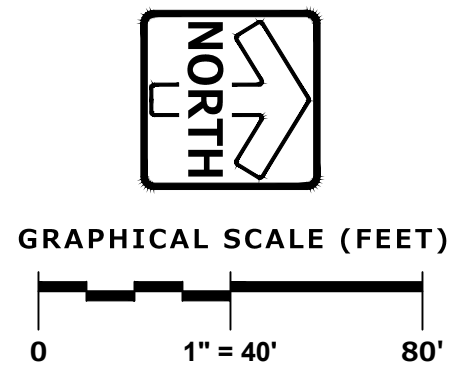
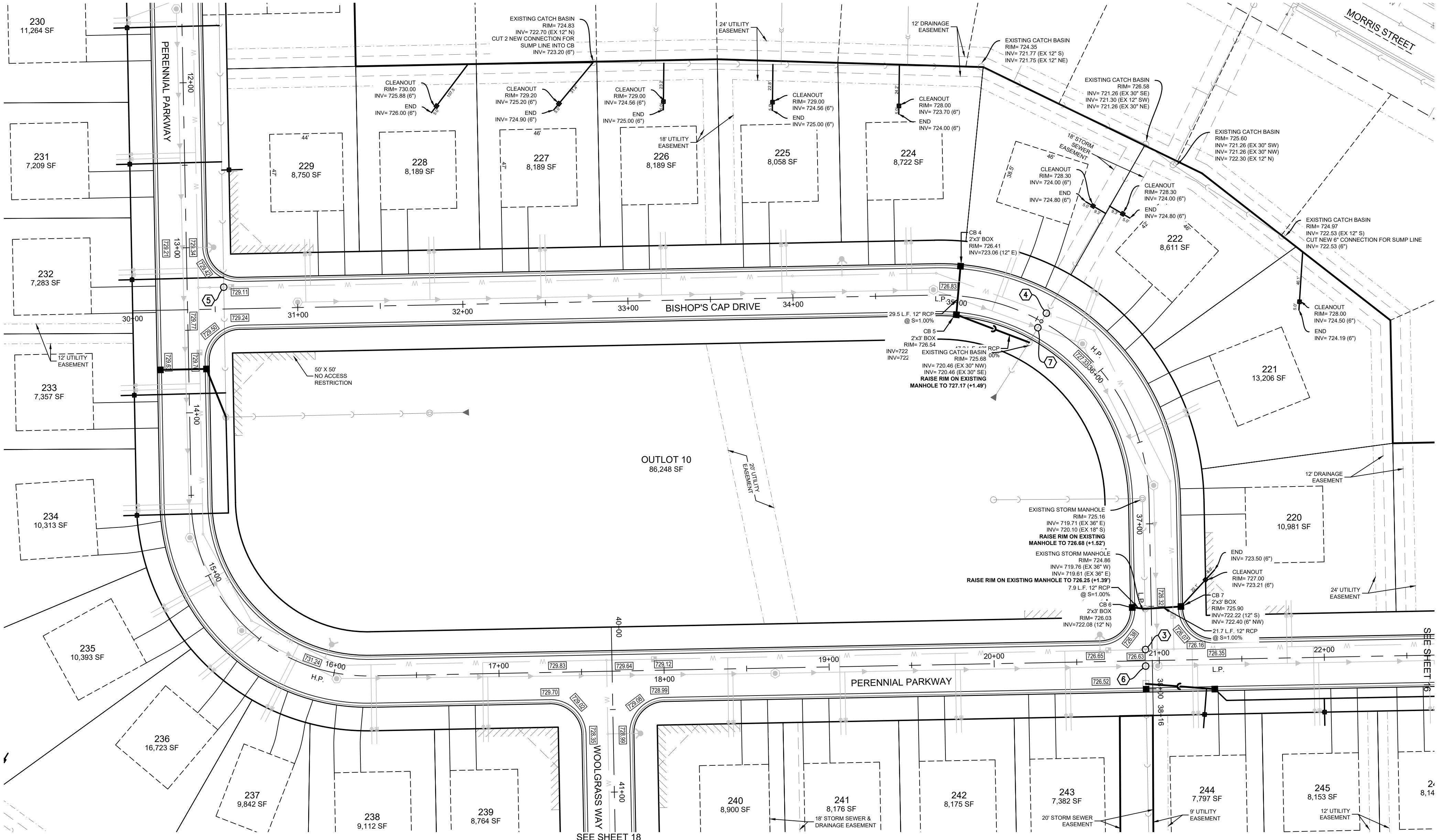
SHEET
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REVIEWED: ASZ
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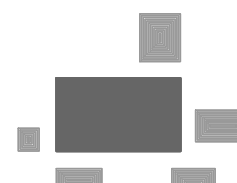
CROSSINGS			
3	36" EX. STORM OVER 8" WATER MAIN 36" ST B/PIPE= 719.60 8" WAT T/PIPE= 717.27	4	30" STORM OVER 8" WATER MAIN 30" ST B/PIPE= 720.52 8" WAT T/PIPE= 718.22
5	18" EX. STORM OVER 8" WATER MAIN 18" ST B/PIPE= 721.79 8" WAT T/PIPE= 720.29	6	36" EX. STORM OVER 8" SANITARY 36" ST B/PIPE= 719.60 8" SAN T/PIPE= 719.35
7	30" STORM OVER 8" SANITARY 30" ST B/PIPE= 720.52 8" SAN T/PIPE= 720.12		

- NOTES:
- ALL RIM ELEVATIONS ON CURB CATCH BASINS IS GIVEN AT THE FLOWLINE
 - STORM SEWER AND SUMP COLLECTION SYSTEM SHALL HAVE TRACER WIRE OVER THE LINE. SUMP COLLECTION LINE TRACER WIRE SHALL BE TAPED TO THE TOP OF THE PIPE EVERY 10.0'.
 - ALL SUMP COLLECTION PIPE SHALL BE 6" SDR26 PVC.



NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., etc.

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PRAIRIE PATHWAYS

PERENNIAL PKWY CALEDONIA, WI

STORM SEWER & ROADWAY PLAN & PROFILE

REVISIONS		PER VILLAGE COMMENTS	
NO.	DATE		
1	05/19/23		

REG JOB NO.	951.20	SHEET	17
REG PM	AEK		
START DATE	12/29/22	OF	20
SCALE	###		

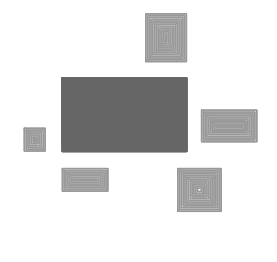
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REVIEWED: ASZ

DESIGNED: ASK

DRAFTED: BDP

Z:\PROJECTS\2017\951.20-W\1\CAD\SHEETS\18 STORM SEWER & ROADWAY PLAN & PROFILE.DWG



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PERENNIAL PKWY

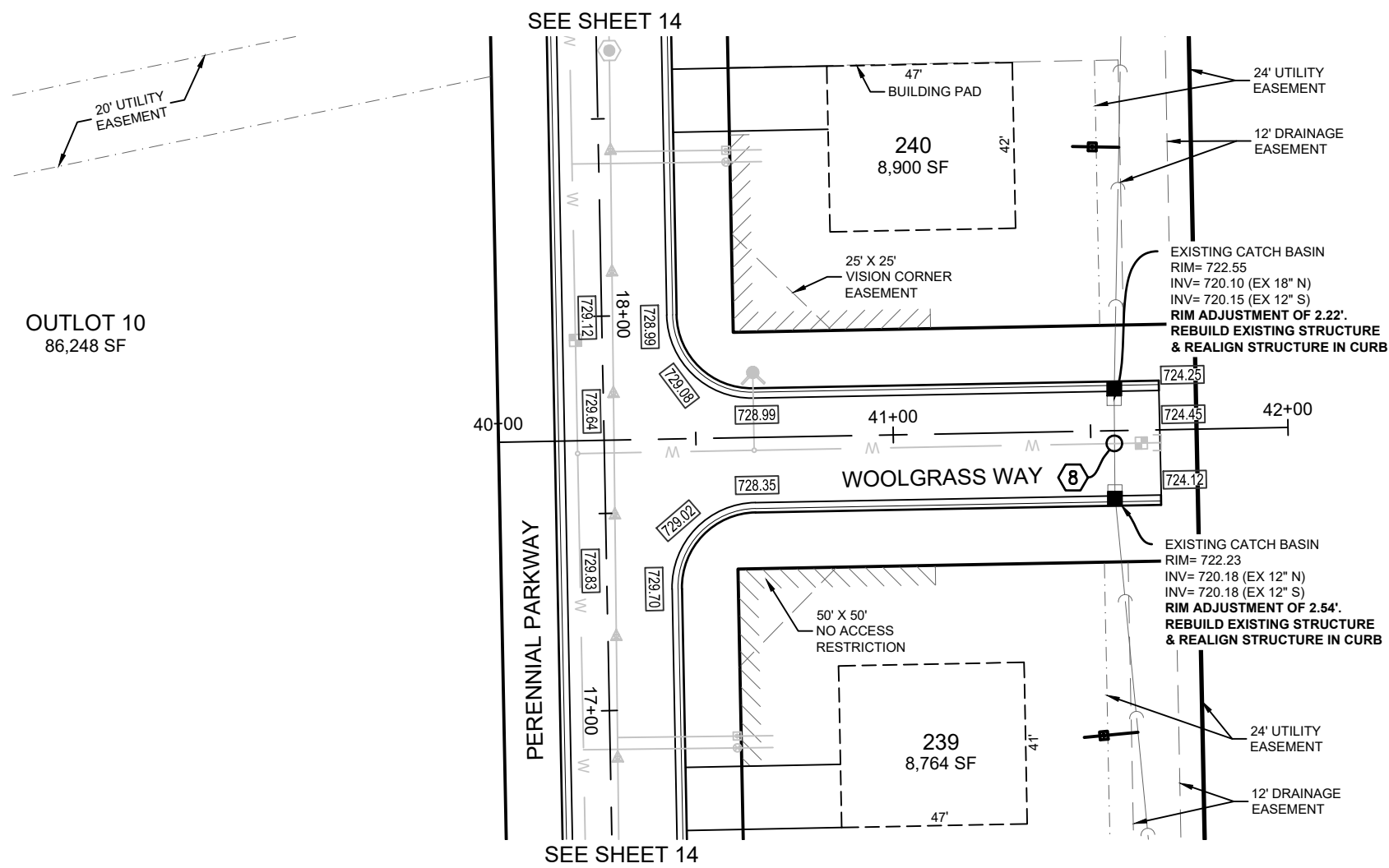
CALEDONIA, WI

STORM SEWER & ROADWAY PLAN & PROFILE

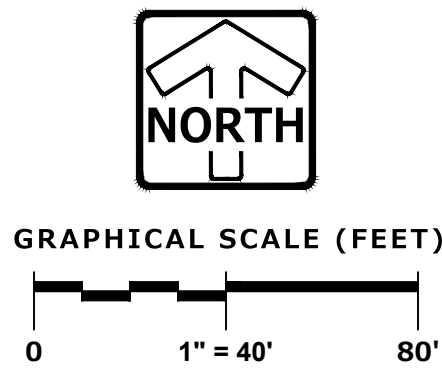
REVISIONS		
1	05/19/23	PER VILLAGE COMMENTS

REG JOB NO.	951.20
REG PM	AJK
START DATE	12/29/22
SCALE	#####

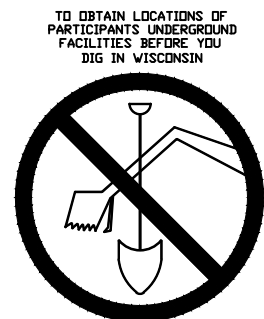
SHEET	18
OF	20



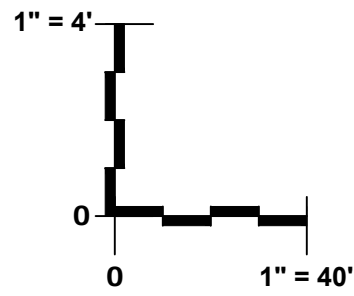
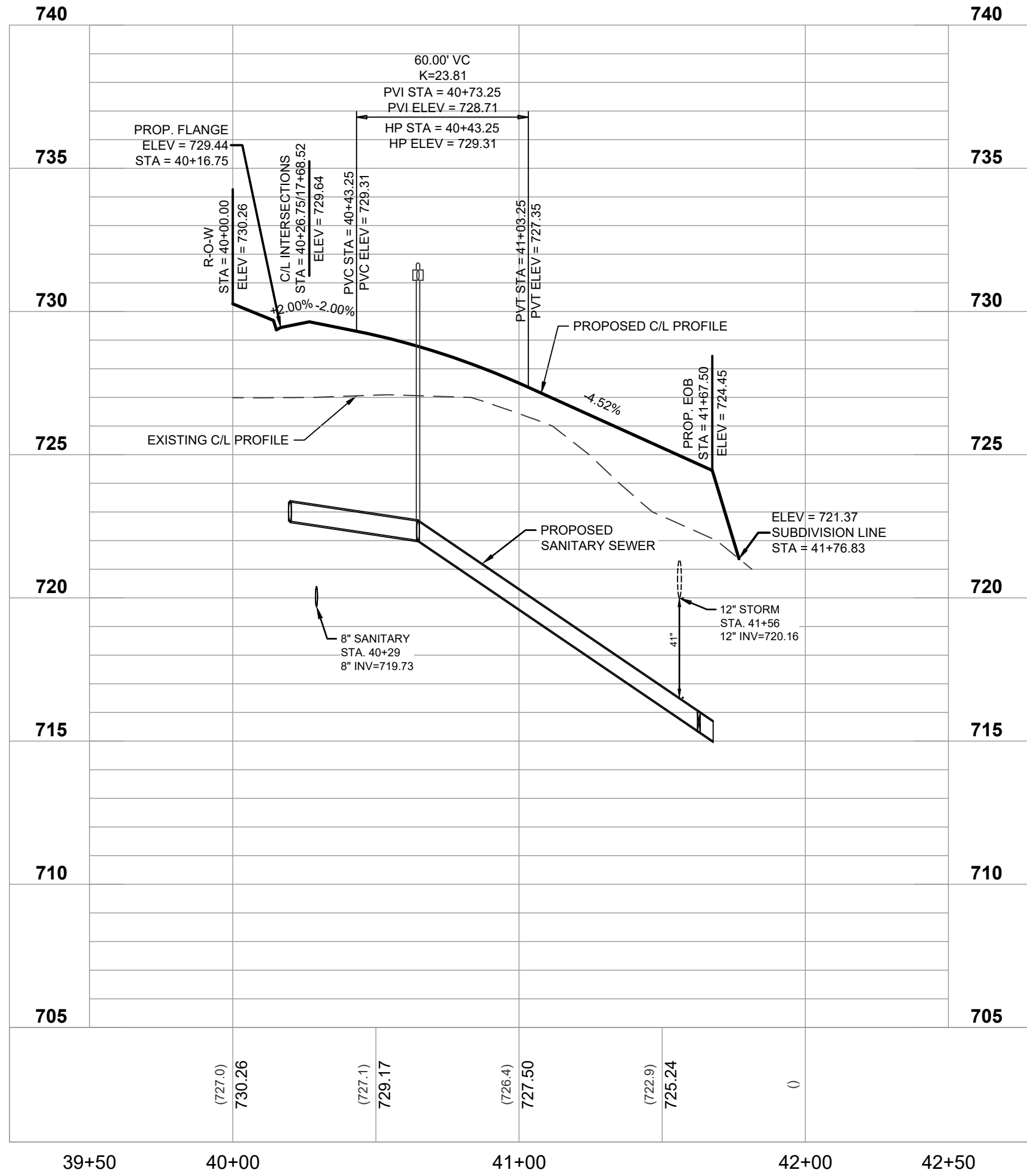
- NOTES:
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 - STORM SEWER AND SUMP COLLECTION SYSTEM SHALL HAVE TRACER WIRE OVER THE LINE. SUMP COLLECTION LINE TRACER WIRE SHALL BE TAPED TO THE TOP OF THE PIPE EVERY 10.0'.
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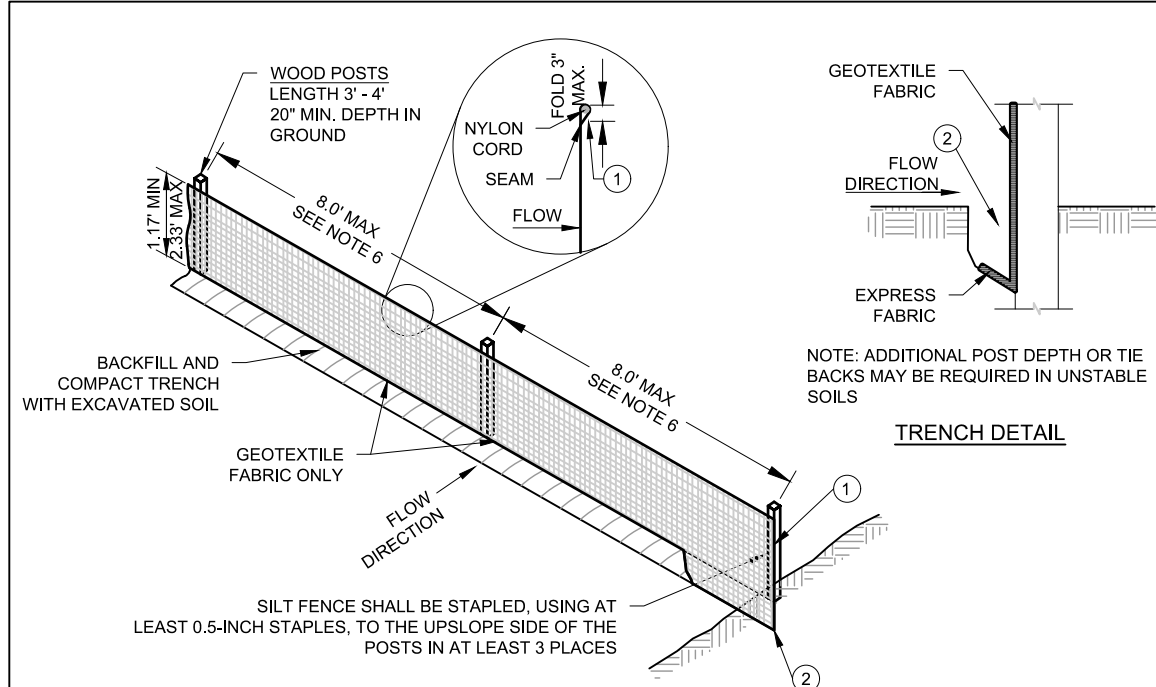
CROSSINGS	
8	12" EX. STORM OVER 8" WATER MAIN 12" ST B/PIPE= 720.16 8" WAT T/PIPE= 716.74

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DESIGNED: ASZ

REVIEWED: ASZ

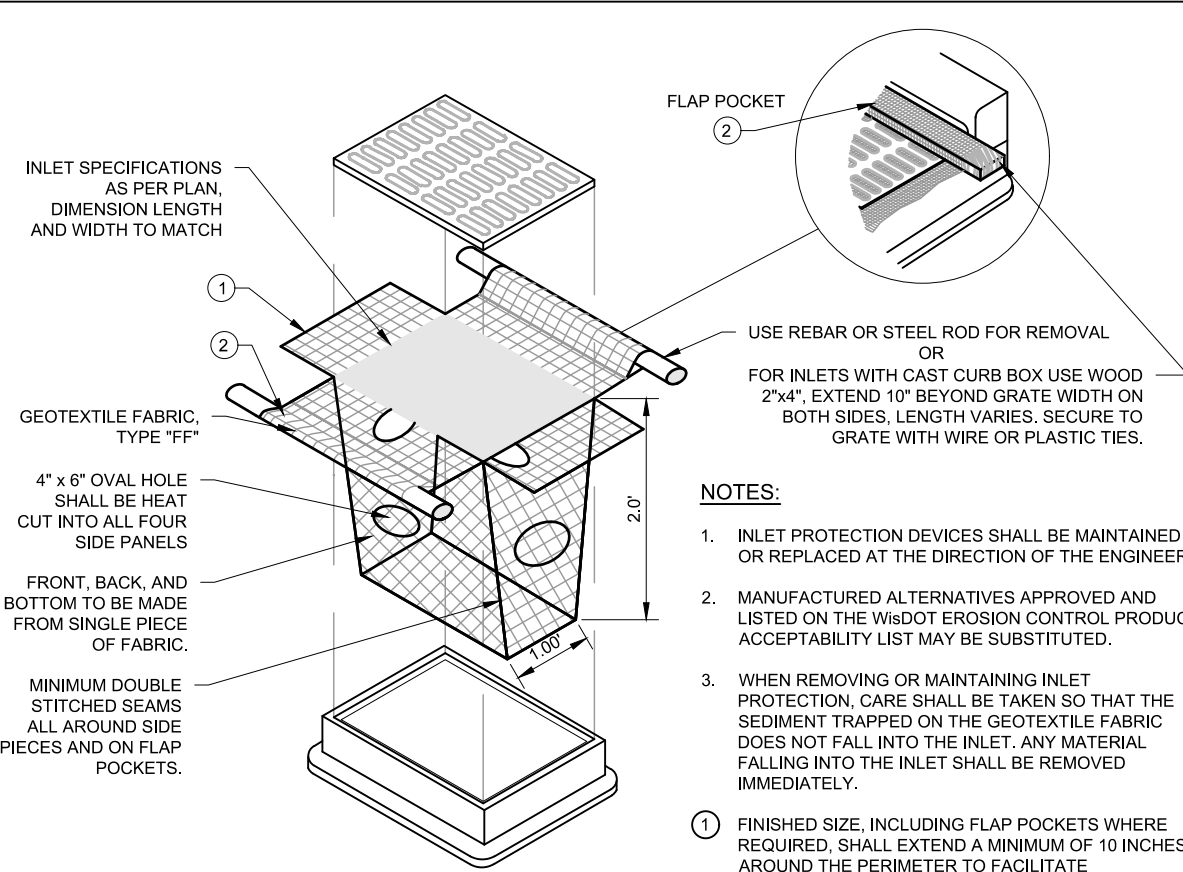
DRAFTED: BOP



- NOTES:**
1. ALL SILT FENCE MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WI DNR TECHNICAL STANDARD 1056.
 2. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS I WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
 3. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 6 INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
 4. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 5. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES X 1.125-INCHES OF DRIED OAK OR HICKORY.
 6. SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE, WHERE APPLICABLE.
 7. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8-FEET FOR WOVEN AND 3-FEET FOR NON-WOVEN).

SILT FENCE

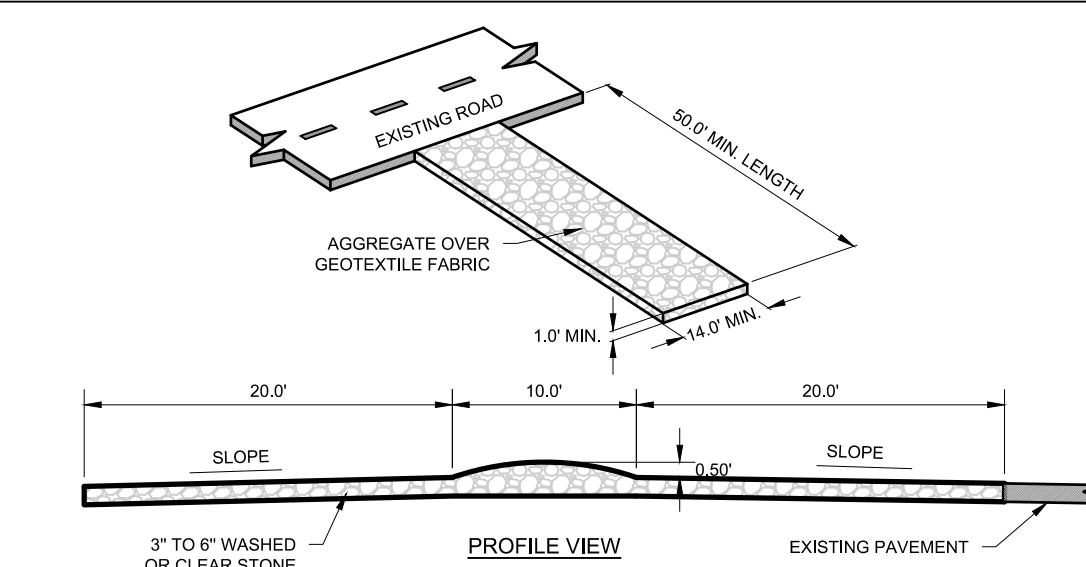
5/20/22



- INSTALLATION NOTES:**
1. DO NOT INSTALL INLET PROTECTION TYPE 'D' IN INLETS SHALLOWER THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 2. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.
 3. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL, CATCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG.

INLET PROTECTION

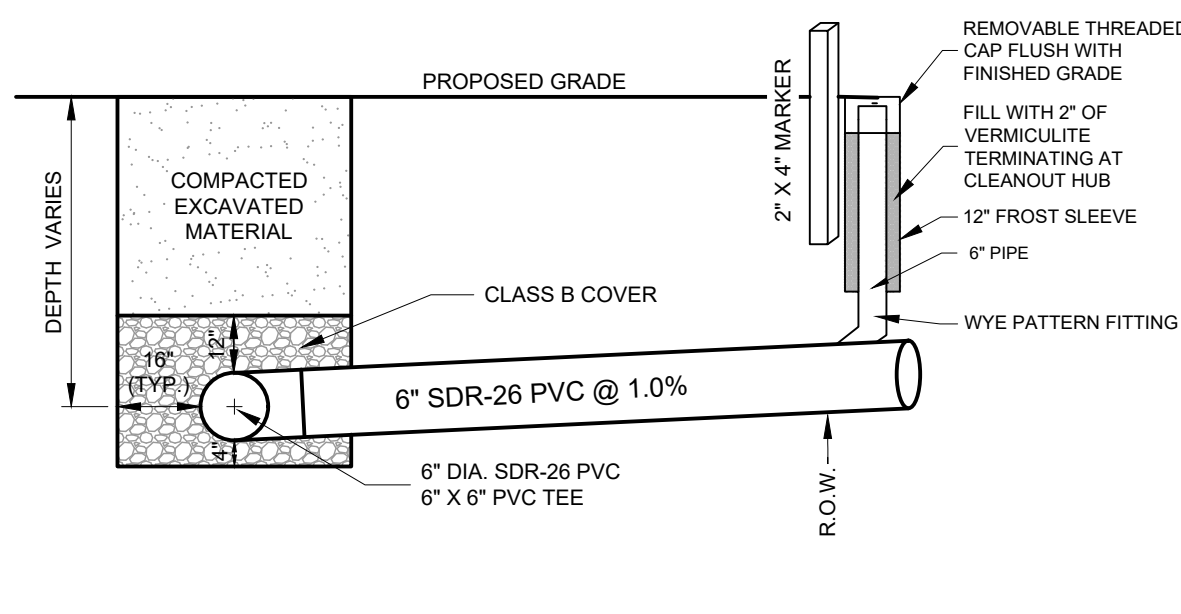
5/20/22



- NOTES:**
1. ALL TRACKING PAD MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WI DNR TECHNICAL STANDARD 1057.
 2. TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. CONTRACTOR SHALL VERIFY LOCATION WITH OWNER.
 3. THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIALS TO BE RETAINED ON A 3-INCH SIEVE.
 4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12-INCHES THICK. ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD, THE PAD SHALL BE UNDERLAIN WITH GEOTEXTILE FABRIC WHICH MEETS MATERIAL SPECIFICATION 592 GEOTEXTILE, TABLE 1 OR 2, CLASS I II OR IV, TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE STONE LAYER.
 5. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. MINIMUM WIDTH IS 14 FEET FOR ONE-WAY TRAFFIC AND 20 FEET FOR TWO-WAY TRAFFIC, WITH AN ADDITIONAL INCREASE OF 4 FEET FOR TRAILER TRAFFIC. THE TRACKING PAD SHALL BE A MINIMUM 50-FEET LONG.
 6. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY.
 7. TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24-HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 8. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

CONSTRUCTION ENTRANCE

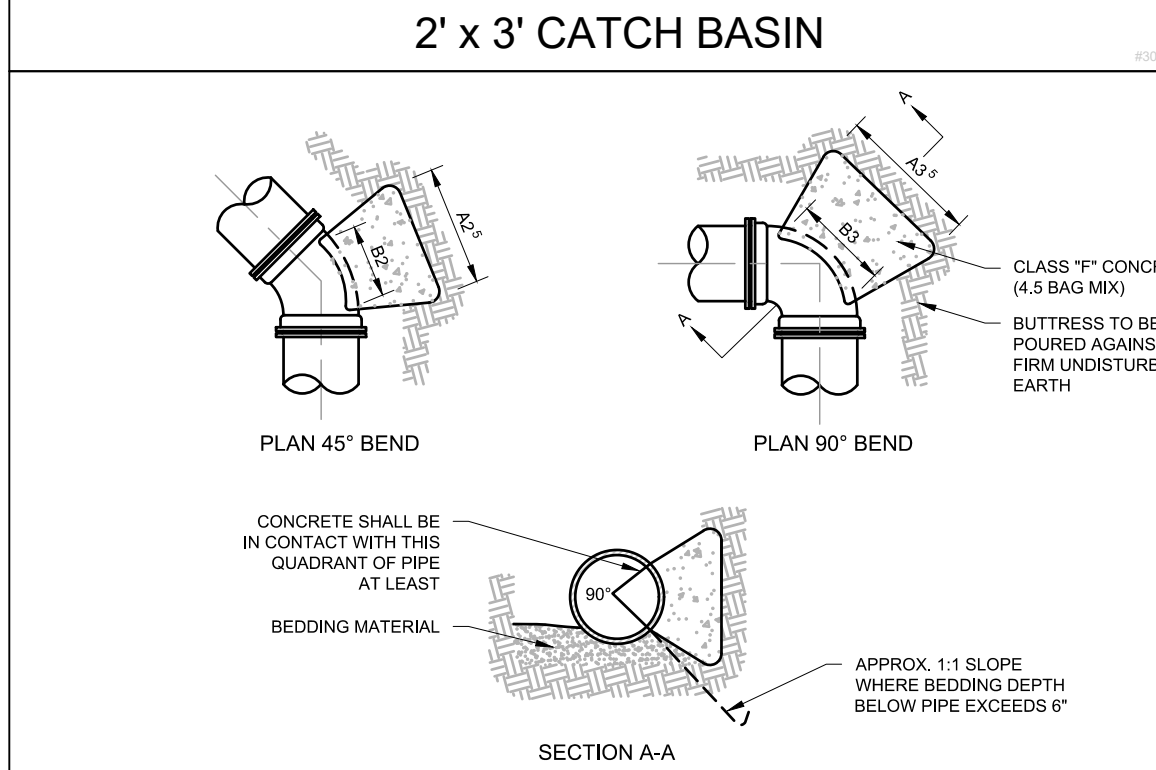
5/20/22



- NOTES:**
1. UNDERDRAIN LOCATION PER TYPICAL SECTION. LATERALS SHALL BE CONNECTED BY PRE-CAST TEE.
 2. SUMP LINES SHALL HAVE TRACER WIRE TAPED TO TOP OF PIPE EVERY 10'.

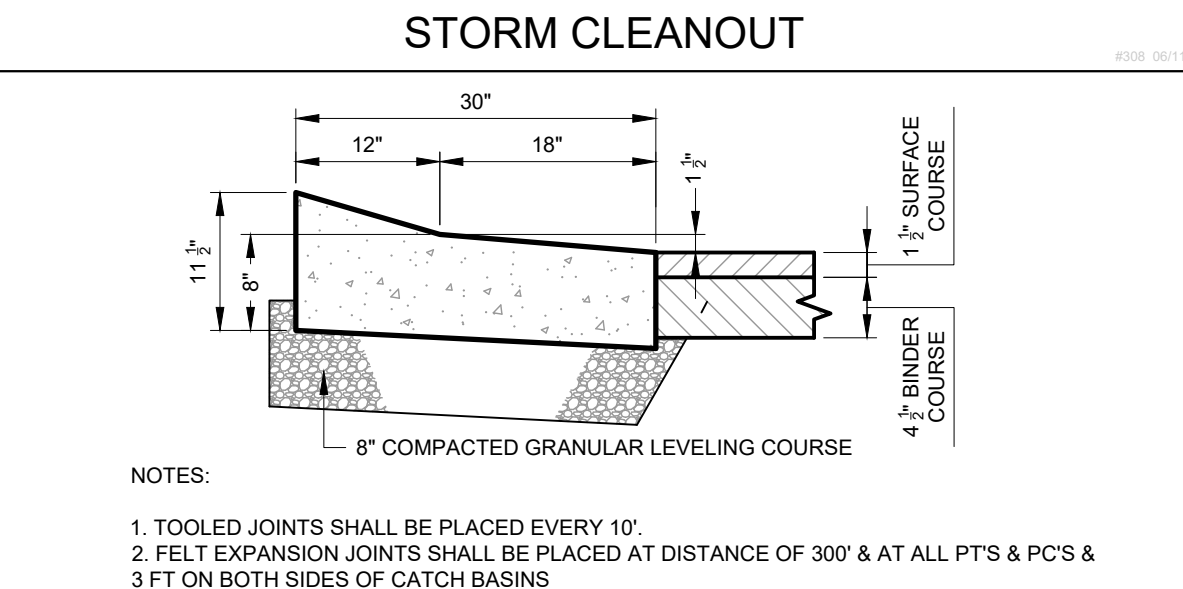
SUMP PUMP LATERAL

5/20/22



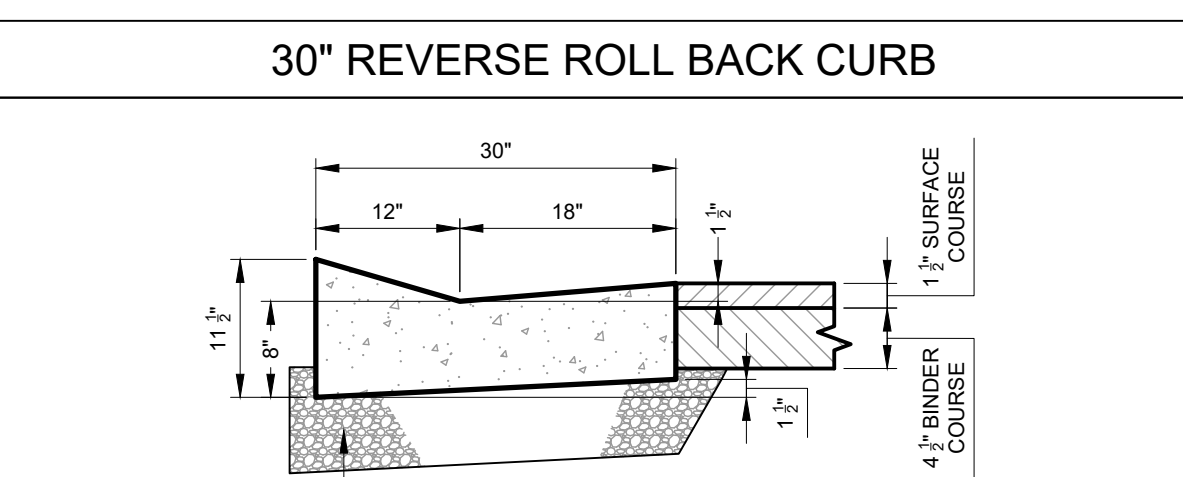
2' x 3' CATCH BASIN

5/20/22



STORM CLEANOUT

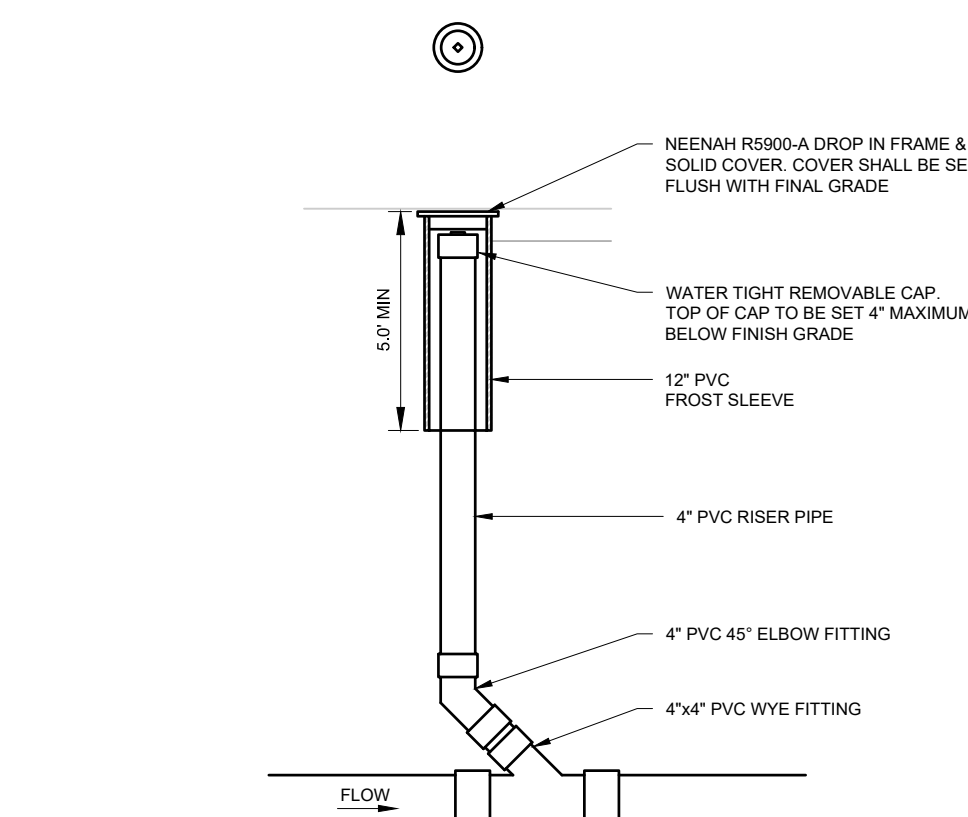
5/20/22



- NOTES:**
1. TOOLED JOINTS SHALL BE PLACED EVERY 10'.
 2. FELT EXPANSION JOINTS SHALL BE PLACED AT DISTANCE OF 300' & AT ALL PTS & PC'S & 3 FT ON BOTH SIDES OF CATCH BASINS

30" ROLL BACK CURB

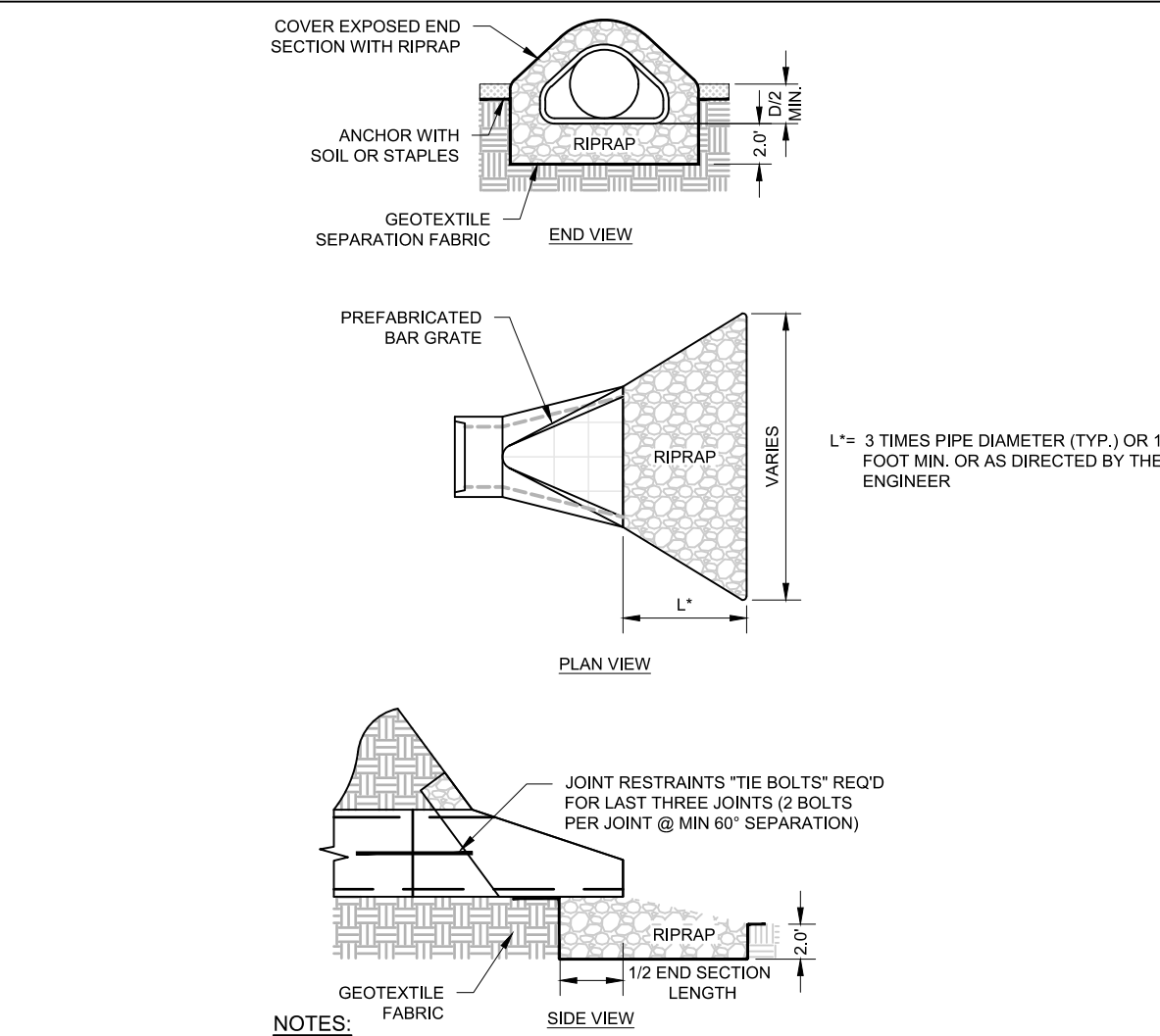
5/20/22



- NOTES:**
1. CLEANOUT PIPING AND FITTINGS SHALL MATCH SANITARY SEWER LATERAL MATERIAL.

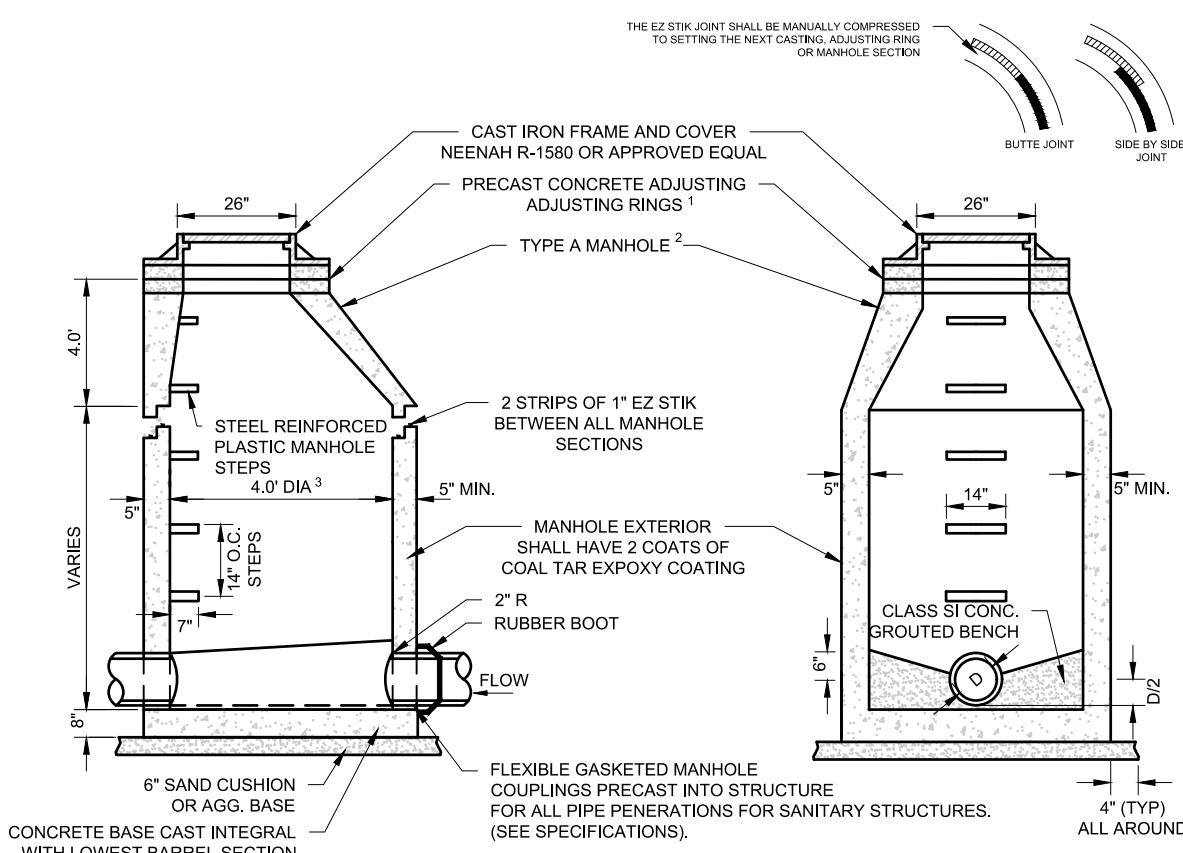
SANITARY SEWER CLEANOUT

5/20/22



RIP RAP AT END SECTIONS

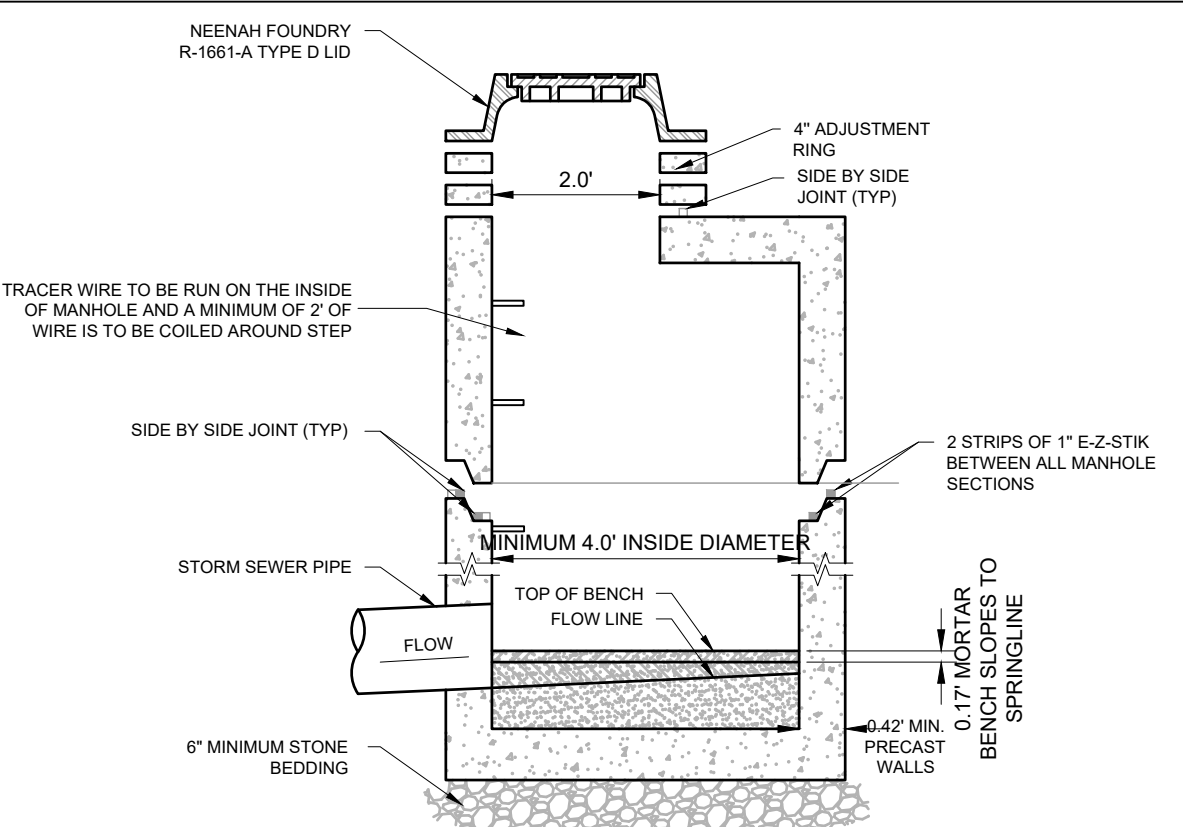
5/20/22



- NOTES:**
1. 1" EZ STIK BETWEEN ALL ADJUSTMENT RINGS, BETWEEN TOP ADJUSTMENT RINGS AND FRAME. USE INTERNAL ADAPTOR SEAL RING. ALL JOINTS MUST BE BACKPLASTERED INSIDE AND OUT.
 2. ALL BARREL JOINTS MUST HAVE EXTERIOR SEALS.
 3. CHIMNEY SEALS SHALL BE INTERNAL/EXTERNAL SEALS.
 4. STRUCTURE TO BE 4'-0" DIA UNLESS OTHERWISE INDICATED ON THE PLANS.

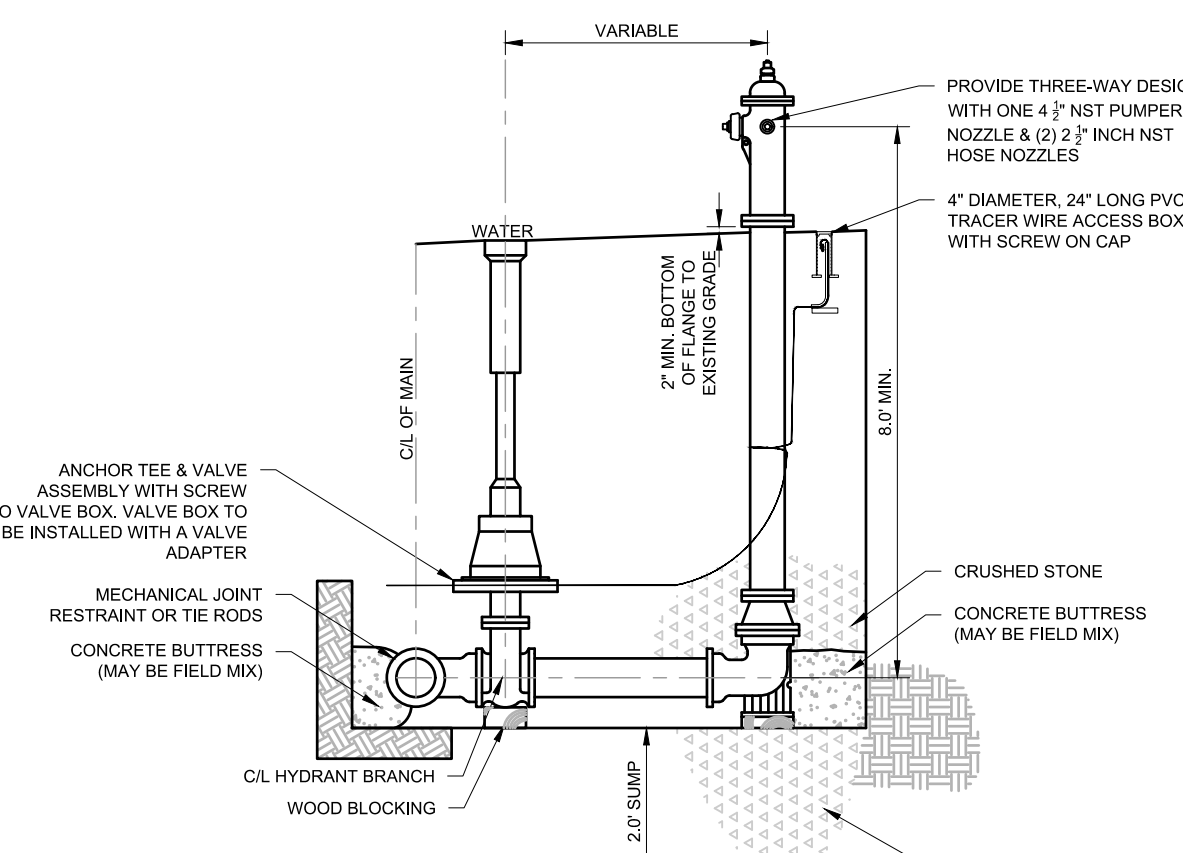
SANITARY MANHOLE

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STORM SEWER MANHOLE

5/20/22



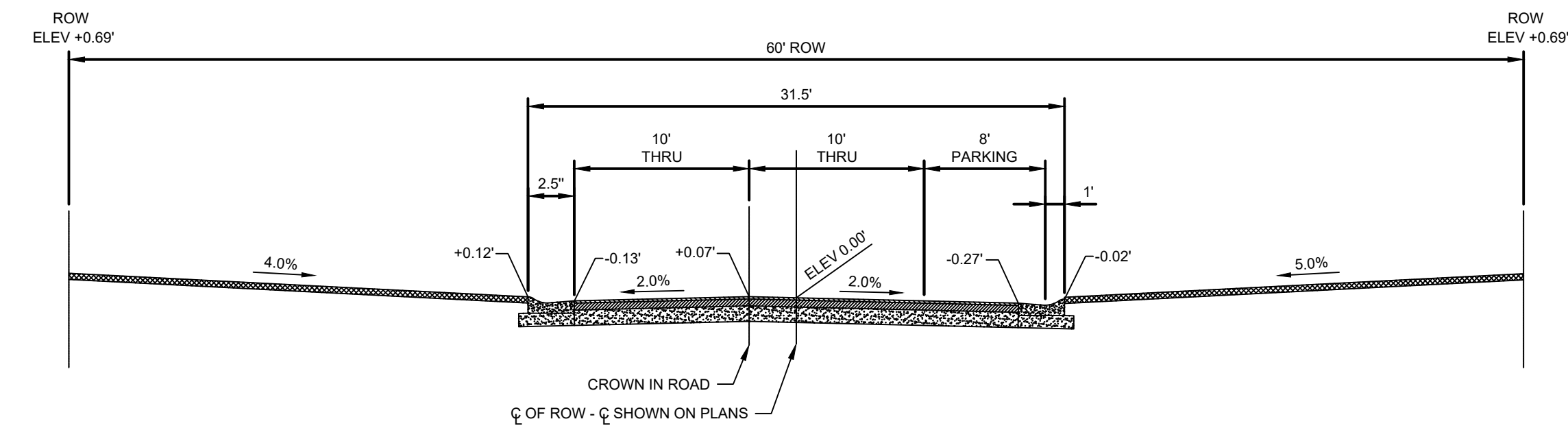
- NOTES:**
1. MEDICAL RESTRAINING GLANDS ON ALL MECHANICAL JOINTS. THE BOLTS & NUTS SHALL BE COR BLUE OR APPROVED EQUAL.
 2. THE FOLLOWING HYDRANTS SHALL BE ALLOWED:
"STANDARD" WATEROUS PACER MODEL W8-67
MAIN VALVE OPENING: 5"
MINIMUM BARREL DIAMETER: 12"
NOZZLE CAPS WITH NUT THE SAME SIZE AS THE OPERATING NUT AND CHAIN

FIRE HYDRANT

5/20/22

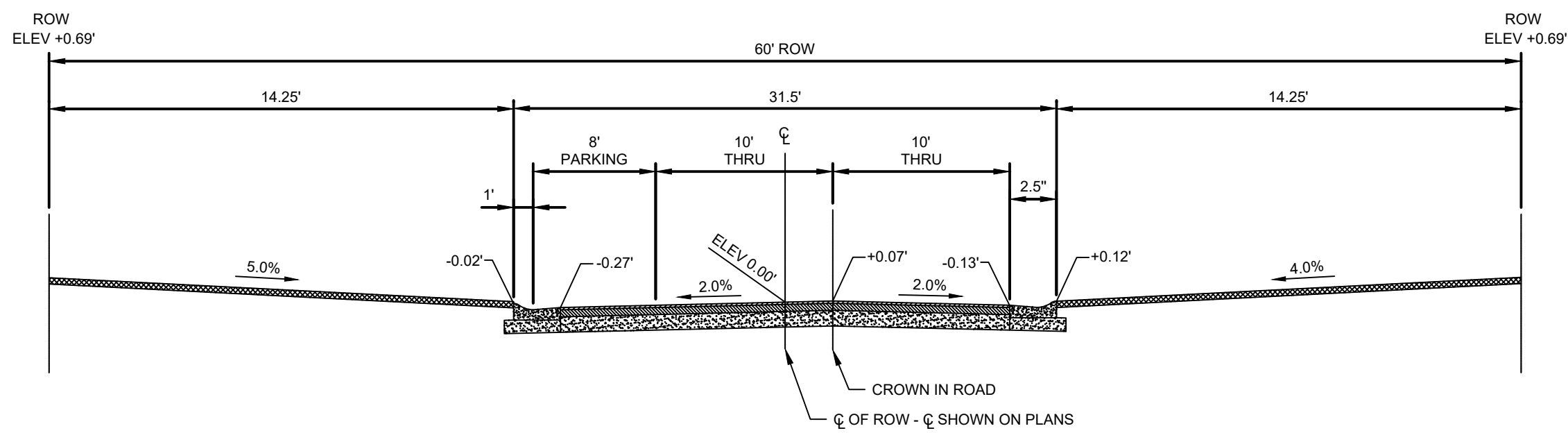
EROSION CONTROL SPECIFICATIONS & REQUIREMENTS

- | | | |
|---|---|--|
| <p>ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT (WPDES PERMIT NO. WI-9067831-4) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE, FEDERAL, TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMPs). IT IS THE RESPONSIBILITY OF THE CONTRACTOR ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF AND UNDERSTAND THE BMPs PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.</p> <p>2. QUALIFIED PERSONNEL: (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE DURING THE CONSTRUCTION PERIOD TO ENSURE EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH OR MORE PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFIED PERSONNEL. ANY EVENT REPORTING SHALL BE IN ACCORDANCE WITH THE GENERAL PERMIT CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.</p> <p>3. POST WDRN CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED AND A NOTICE OF TERMINATION IS FILED WITH WDRN.</p> <p>4. KEEP COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.</p> <p>5. MODIFICATIONS TO THE APPROVED SWAMP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMPs. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.</p> <p>6. OWNER/CONTRACTOR/DESIGN ENGINEER IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.</p> <p>7. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.</p> <p>8. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.</p> | <p>9. REFER TO THE WDRN STORMWATER CONSTRUCTION TECHNICAL STANDARDS.</p> <p>10. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCES PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDRN TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCES.</p> <p>11. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDRN TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.</p> <p>12. WHERE POSSIBLE, STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL IN ACCORDANCE WITH WDRN TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.</p> <p>13. NOTIFY OWNER & ENGINEER IF DETERIORATING IS SCHEDULED TO OCCUR IN AREAS OF SOIL AND/OR GROUNDWATER CONTAMINATION OR IF DETERIORATING WILL OCCUR FROM A HIGH CAPACITY WELL (70 GPM OR MORE). DETERIORATING ONLY AFTER THE APPROPRIATE WDRN DETERIORATING DISCHARGE PERMIT HAS BEEN OBTAINED.</p> <p>14. PUMPS MAY BE USED AS BYPASS DEVICES IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.</p> <p>15. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DETERIORATING. LIMIT PUMPING TO EITHER (A) THE SEDIMENT BASIN/TRAP DISCHARGE DESIGN RATE, OR (B) THE BASIN DESIGN RELEASE RATE WITH THE CORRECTLY-FITTED HOSE AND GEOTEXTILE FILTER BAG. PERFORM DETERIORATING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDRN TECHNICAL STANDARD DETERIORATING #1061.</p> <p>16. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET. DISPOSE OF SEDIMENT AS NEEDED. SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDRN TECHNICAL STANDARD SEDIMENT BASIN #1054 AND SEDIMENT TRAP #1053.</p> <p>17. INSTALL AND MAINTAIN SILT FENCING PER WDRN TECHNICAL STANDARD SILT FENCE #1066. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.</p> <p>18. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS) WITH DURABLE BALES. MAINTAIN STRAW BALES PER WDRN TECHNICAL STANDARD DITCH CHECKS #1062.</p> <p>19. INSTALL AND MAINTAIN FILTER SOCK IN ACCORDANCE WITH WDRN TECHNICAL STANDARD FILTER SOCK #1059. PERIMETER CONSTRUCTION AND SLOPE INTERRUPTION PRODUCTS #1071.</p> <p>20. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.</p> <p>21. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER, BETWEEN SEPTEMBER 15 AND OCTOBER 15. STABILIZE WITH MULCH, TACKIFIER AND A PERENNIAL GRASS MIX WITH WDRN TECHNICAL STANDARD MULCH AND TACKIFIER APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.</p> <p>22. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.</p> <p>23. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE MUNICIPALITY. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.</p> <p>24. OWNER IS RESPONSIBLE FOR CONTROLLING DUST PER WDRN TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.</p> <p>25. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTE OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.</p> <p>26. COORDINATE WITH THE OWNER, ENGINEER AND DNR REPRESENTATIVE TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE LOCATION OF THE ANTICIPATED OR ACTUAL ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS OR COMPACTED EARTHEN BERMS)</p> <p>27. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS AND TYPE MATTING FOR THE SPECIFICATIONS UNLESS SPECIFIED OTHERWISE ON THE PLANS. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN THE WISDOT PRODUCT ACCEPTABILITY LIST (PAL). INSTALL AND MAINTAIN</p> | <p>PER WDRN TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.</p> <p>28. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS AND TYPE MATTING FOR THE SPECIFICATIONS UNLESS SPECIFIED OTHERWISE ON THE PLANS. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WISDOT PRODUCT ACCEPTABILITY LIST (PAL). INSTALL AND MAINTAIN PER WDRN TECHNICAL STANDARD CHANNEL EROSION MAT #1053.</p> <p>29. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.</p> <p>30. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATTLES, SWALES, ETC) OR AS DIRECTED BY OWNER, MUNICIPALITY, OR DNR REPRESENTATIVE.</p> <p>31. OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDRN REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDRN'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM PUBLIC DATABASE.</p> <p>32. MAINTAIN SOIL EROSION CONTROL DEVICE THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACCOMPLISHED. AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, DISTURBANCE ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.</p> <p>33. NOTIFY THE OWNER IMMEDIATELY IF THERE IS A DISCHARGE OF SEDIMENT AND/OR OTHER CONTAMINANTS.</p> |
|---|---|--|



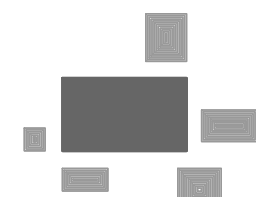
60' RIGHT OF WAY
COLLECTOR STREET,
PARKING ON ONE SIDE

PERRENIAL PARKWAY
WOOLGRASS WAY



60' RIGHT OF WAY
COLLECTOR STREET,
PARKING ON ONE SIDE

BISHOP'S CAP DRIVE



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CHICAGO | MILWAUKEE : NATIONWIDE

CHICAGO | MILWAUKEE : NATIONWIDE

PRAIRIE PATHWAYS
PERENNIAL PKWY
CALEDONIA, WI

CONSTRUCTION DETAILS & SPECIFICATIONS

REVISIONS

1	05/19/23	PER VILLAGE COMMENTS

EG JOB No. 951.20EG PM AEKSTART DATE 12/29/22


SCALE _____ N.T.S.

9

MEMORANDUM

DATE: Tuesday, June 27, 2023

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director 

RE: Authorization of Signatures – Deposit Agreement – 7431 5 Mile Road

BACKGROUND INFORMATION

As a condition of approval of the Storm Water Management Plan and Site Grading Plan for the Brown CSM located at the Southeast corner of Highway 38 & 5 Mile Road, at the time of development (Building Permit) a Deposit Agreement is required for each lot to ensure that the Storm Water Pond for each lot is installed, as-built and operating as designed.

Attached is the Deposit Agreement for Lot 1 of CSM 3423 that has been executed by the owners. The financial guarantee has also been paid to the Village.

To complete the Deposit Agreement, the signatures of the President & Secretary of the Utility District and signatures of the President and Clerk of the Village Board are required.

RECOMMENDATION

Move to authorize the President and Secretary of the Caledonia Utility District to execute the Deposit Agreement with Robin L . & Raulph J. Vallin for the construction of a Storm Water Pond located at 7431 5 Mile Road as part of the Building Permit.

DEPOSIT AGREEMENT

This Deposit Agreement (referred to as the "Agreement") is made the 27 day of June, 2023, by and between **ROBIN L. & RAULPH J VALLIN**, being husband and wife, residing at 1537 South Street Racine, Wisconsin 53402, referred to in this Agreement as "Owner", and the **VILLAGE OF CALEDONIA**, Racine County, Wisconsin, and the **VILLAGE OF CALEDONIA UTILITY DISTRICT**, a utility district of the Village of Caledonia, Racine County, Wisconsin. The Village of Caledonia and Village of Caledonia Utility District are collectively referred to in this Agreement as "Caledonia".

RECITALS

A. The Owner is the fee simple holder of certain real property in the Village of Caledonia, Racine County, State of Wisconsin, as more particularly described and depicted in the Warranty Deed attached hereto Exhibit A and hereby incorporated herein by reference. Said real property is referred to in this Agreement as the "Property".

B. As a part of the approval by Caledonia of Owner's desired improvement of the Property, Owner is constructing, at its own cost and expense, a storm water pond, that will serve as a part of the storm water drainage facilities on the Property. Said storm water drainage facilities are referred to in this Agreement as the "Drainage Facilities".

C. Owner has provided Caledonia with a Storm Water Management Plan for the Property, prepared by Nielsen Madsen + Barber S.C., dated and Professional Engineer Stamped October 16, 2019, Construction Plans, prepared by Nielsen Madsen + Barber S.C., dated and Professional Engineer Stamped October 16, 2019, and an Individual Site Grading Plan, prepared by Nielsen Madsen + Barber S.C., dated and Land Surveyor Stamped May 19, 2023, for the Drainage Facilities to be constructed on the Property (referred to in this Agreement as the "Plan"). The areas of the Owner's Property affected by the Drainage Facilities are described in attached Exhibit B, and include a storm water pond. Caledonia has approved the Plan (in accordance with recommendations of Public Services Director, Anthony A. Bunkelman P.E.).

D. Because Caledonia has made a determination that it is important that the Plan and Drainage Facilities be constructed at the Property in a timely manner in order to lessen the impact of the Owner's desired improvement of the Property on other property owners in the Village of Caledonia, the approval by Caledonia of the Owner's desired improvement of the Property was conditioned upon:

(1) Owner completing construction of the Plan and Drainage Facilities, in conformity with the Plan, within 1 year or by July 31, 2024, subject to an extension in the event of force majeure as defined below (the "Completion Date"); and

(2) Owner entering into an agreement with Caledonia requiring Owner to deposit the sum of \$10,000.00 with Caledonia in order to guarantee the completion of construction by Owner of the Plan and Drainage Facilities, in conformity with the Plan, prior to the Completion Date. Owner is required to enter into said agreement prior to commencement of construction of the Plan and Drainage Facilities.

E. Owner has indicated that it agrees to all of Caledonia's conditions of approval for the Owner's desired development of the Property.

AGREEMENT

For \$1.00 and other good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, the parties agree as follows:

1. The recitals set forth above are hereby incorporated herein as part of the agreement of the parties.

2. Owner shall deposit the sum of \$10,000.00 (referred to in this Agreement as the "Deposit") with Caledonia on or before June 30, 2023. Caledonia is not required to set up a separate account for the Deposit and may commingle the Deposit with its other funds.

3. Owner agrees that prior to the Completion Date, it will:

(a) Complete the construction of the Plan and Drainage Facilities in conformity with the Plan;

(b) Provide Caledonia with as-built drawings of the Plan and Drainage Facilities that are stamped by a registered professional engineer and indicate that the Drainage Facilities were constructed in conformity with the Plan. Caledonia shall review the as-built drawings to confirm conformity with the Plan; and

(c) Pay for any direct damage caused to Village of Caledonia roads and rights-of-way and any other property of Caledonia on the Property as a result of said construction.

The Owner's agreement to complete construction of the Plan and Drainage Facilities as described above in Section 3(a), provide as-built drawings as described above in Section 3(b) and pay for any damage as described above in Section 3(c) are collectively referred to as the "Owner's Obligations".

4. The Completion Date shall be extended if an event of force majeure occurs. As used herein, the term "force majeure" shall mean an event that causes Owner to be delayed in completing construction of the Pond and Drainage Facilities by reason of the inability to procure materials, failure of power, riots, insurrection, war or other reason of a like nature not the fault of the Owner. If an event of force majeure occurs, then the Completion Date shall be extended for the period of the delay. Owner shall give Caledonia written notice as soon as possible of its claim of right to such extension and the reasons therefor.

5. Owner shall provide Caledonia with a written notice of completion after Owner believes that it has completed Owner's Obligations. Caledonia shall make a determination as to whether Owner has completed Owner's Obligations within thirty (30) days after Caledonia's receipt of said notice.

(a) If Caledonia determines that Owner has completed Owner's Obligations, Caledonia shall return the Deposit to Owner within ten (10) days after the making of said determination.

(b) If Caledonia determines that Owner has not completed the Owner's Obligations, Caledonia shall provide a written notice to Owner specifying which of Owner's Obligations have not been completed.

Owner shall thereafter have a cure period of forty-five (45) days from the date of said notice to complete Owner's Obligations and provide Caledonia with a notice of such completion. Caledonia shall make another determination as to whether Owner has completed Owner's obligations within thirty (30) days after Caledonia's receipt of said notice.

(a) If Caledonia determines that Owner has completed Owner's Obligations, Caledonia shall return the Deposit to Owner within ten (10) days after the making of said determination.

(b) If Caledonia determines that Owner has not completed Owner's Obligations, Caledonia shall provide written notice of said determination to Owner, and the Deposit shall be retained by Caledonia and paid to and kept by Caledonia as compensation for Owner's failure to complete Owner's Obligations as required herein, and as reimbursement for any expense incurred by Caledonia because of Owner's failure to complete Owner's Obligations as required herein. Accordingly, Owner shall not have any right to the Deposit if it fails to complete Owner's Obligations as required herein. Caledonia's retention of the Deposit shall not: (i) release Owner of its obligations to complete Owner's Obligations, or (ii) be in lieu of, or foreclose, any other rights or remedies that Caledonia may have in law or equity regarding Owner's failure to complete Owner's Obligations as required herein, it being the intent of the parties that Caledonia shall continue to possess all such rights and remedies in addition to retaining the Deposit.

6. All notices, demands and requests which may be given or which are required to be given by either party to the other shall be in writing and shall be deemed effective either: (a) on the date personally delivered to the address indicated below, or (b) three (3) business days after mailed via certified mail, return receipt requested, addressed to such party at the address set forth below (unless changed by similar notice in writing given by the party whose address is to be changed).

Robin L. & Raulph J. Vallin
1537 South Street
Racine, WI 53402

Village of Caledonia, Wisconsin
Village of Caledonia Utility District
5043 Chester Lane
Racine, Wisconsin 53402

7. This Agreement may not be altered, changed or amended except by an instrument in writing signed by the parties.

VILLAGE OF CALEDONIA

BY: _____
Thomas Weatherston, President

ATTEST: _____
Joslyn Hoeffert, Clerk

STATE OF WISCONSIN)
) SS
COUNTY OF RACINE)

Personally came before me this _____ day of _____ 2023, the above-named **Thomas Weatherston, President** and **Joslyn Hoeffert, Clerk**, of the Village of Caledonia, to me known to be the persons who executed the foregoing instrument and acknowledged the same on behalf of the Village of Caledonia.

Notary Public, Racine County, WI

My Commission expires: _____

VILLAGE OF CALEDONIA UTILITY DISTRICT

BY: _____
Howard Stacey, President

ATTEST: _____
Robert Kaplan, Secretary

STATE OF WISCONSIN)
) SS
COUNTY OF RACINE)

Personally came before me this _____ day of _____ 2023, the above-named, **Howard Stacey, President** and **Robert Kaplan, Secretary**, of the Village of Caledonia Utility District, to me known to be the persons who executed the foregoing instrument and acknowledged the same on behalf of the Village of Caledonia Utility District.

Notary Public, State of Wisconsin

My Commission expires: _____

This Instrument Was Drafted By: Anthony A. Bunkelman P.E., Public Services Director

**The above recording information verifies
this document has been electronically recorded**
Returned to Fidelity Title Inc.
Pages: 1

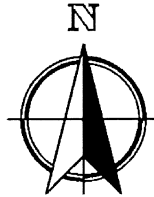
Document Name

* Type name below signatures.

30-4

CERTIFIED SURVEY MAP NO. 3423

PART OF THE NORTHWEST 1/4 & NORTHEAST 1/4 OF THE
NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 4 NORTH,
RANGE 22 EAST, IN THE VILLAGE OF CALEDONIA, RACINE
COUNTY, WISCONSIN.



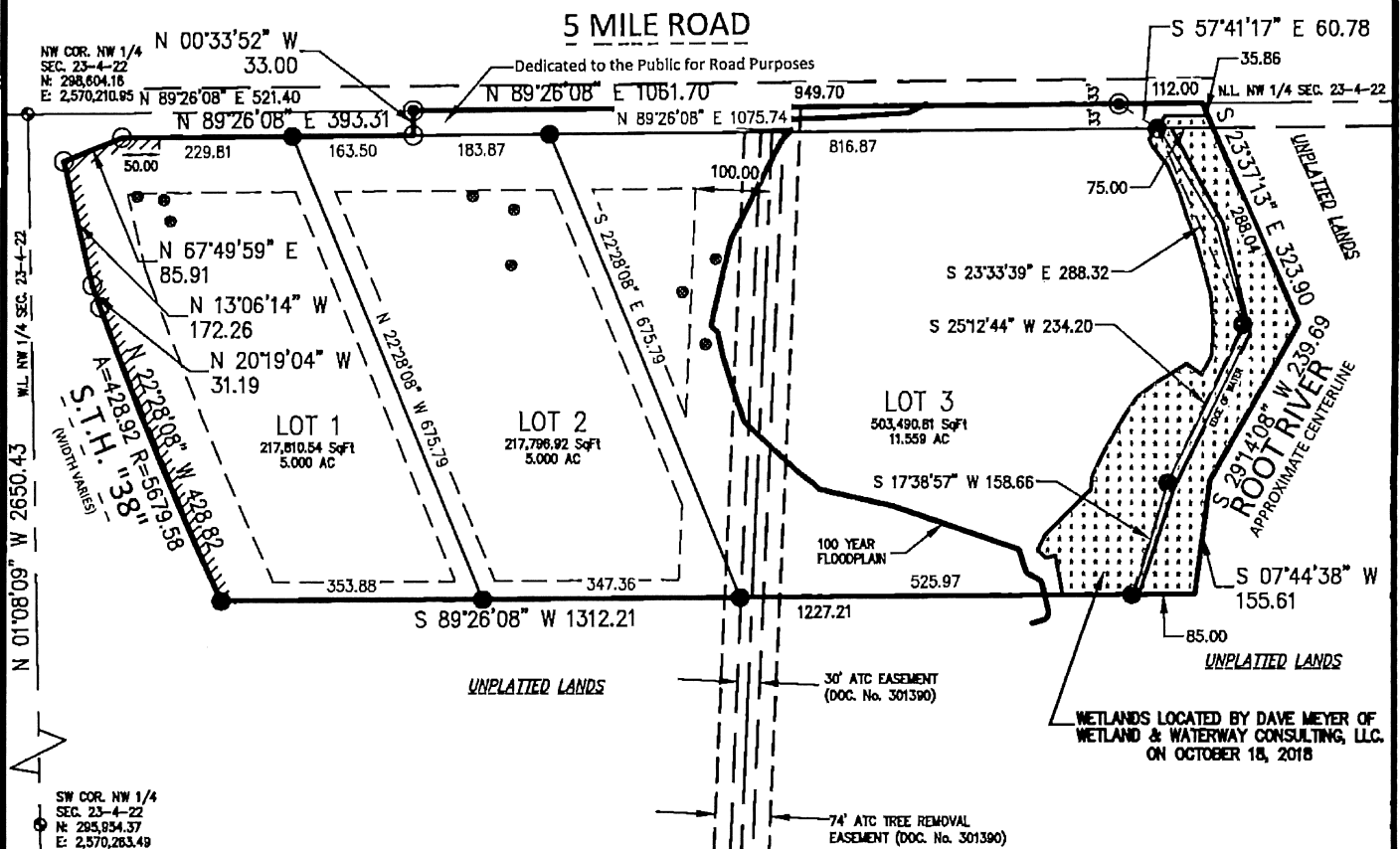
Document # **2572638**
RACINE COUNTY REGISTER OF DEEDS
November 23, 2020 1:56 PM

Connie C. Madsen

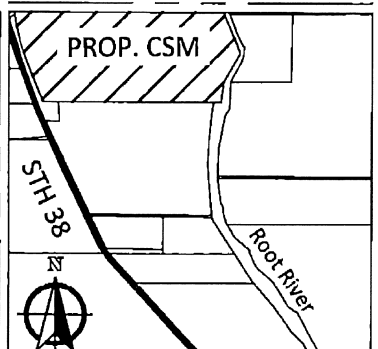
CONNIE COBB MADSEN
RACINE COUNTY
REGISTER OF DEEDS
Fee Amount: \$30.00

Pages: 4

RECORDING DATA



LOCATION MAP
5 mile Rd



NW 1/4 SECTION 23-T4N-R23E



Mark R. Madsen
12-5-19



Nielsen Madsen & Barber
CIVIL ENGINEERS AND LAND SURVEYORS

1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbcsc.net

This Instrument was drafted by Mark R. Madsen September 30, 2019 Revised December 05, 2019

250' 0' 250'
SCALE 1"=250'

NOTES:

ZONING OF PARCELS IS : A-2

OWNER/LAND SPLITTER: JUSTIN BROWN
ADDRESS: 4215 ERIE STREET, RACINE, WI. 53402

ALL ELEVATIONS REFER TO NATIONAL
GEODETIC DATUM OF 1929.

BEARINGS BASE: GRID NORTH, WISCONSIN
COORDINATE SYSTEM, SOUTH ZONE.
BASED UPON NAD 1927. THE NORTH LINE OF
SECTION 23-T4N-R23E IS ASSUMED TO BEAR
N 89°26'08" E.

LEGEND:

- 1" O.D. IRON PIPE FOUND
- 5/8" O.D. REBAR - 1.68LBS/LIN FT. SET
- ⊙ 6" CONC. MON. W / SEWRPC BRASS CAP FOUND
- ⊗ SOIL BORING
- //// NO VEHICULAR ACCESS

2018.0256.02.DWG
SHEET 1 OF 4 SHEETS

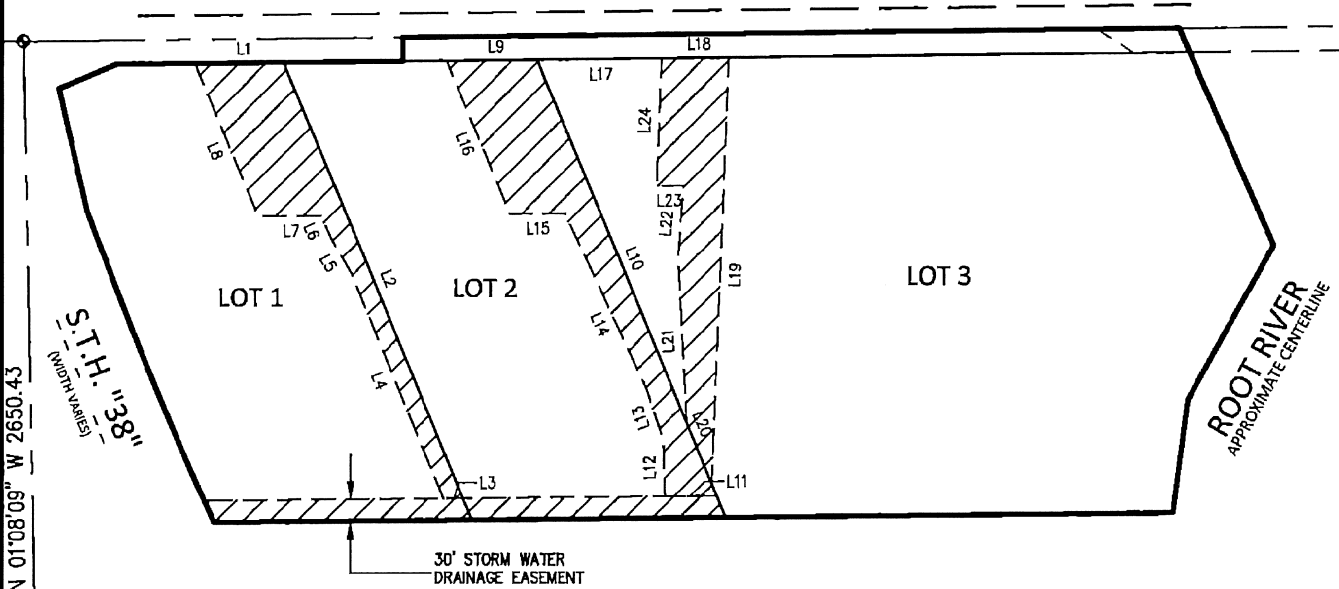
CERTIFIED SURVEY MAP NO. 3423

PART OF THE NORTHWEST 1/4 & NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 4 NORTH, RANGE 22 EAST, IN THE VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN.

STORM WATER DRAINAGE EASEMENTS



5 MILE ROAD



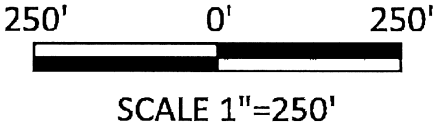
LOT 1 EASEMENT TABLE		
Line #	Length	Direction
L1	121.63	N89° 26' 08"E
L2	643.45	S22° 28' 08"E
L3	21.56	S89° 26' 08"W
L4	332.54	N22° 28' 08"W
L5	54.72	N30° 08' 37"W
L6	33.60	N24° 06' 44"W
L7	85.78	S89° 27' 24"W
L8	226.38	N22° 28' 08"W

LOT 2 EASEMENT TABLE		
Line #	Length	Direction
L9	124.02	N89° 26' 08"E
L10	643.45	S22° 28' 08"E
L11	70.58	S89° 26' 08"W
L12	75.37	N01° 28' 44"W
L13	72.39	N18° 10' 14"W
L14	266.60	N25° 04' 38"W
L15	75.31	S89° 26' 08"W
L16	226.42	N22° 28' 08"W

LOT 3 EASEMENT TABLE		
Line #	Length	Direction
L17	170.64	N89° 26' 08"E
L18	92.06	N89° 26' 08"E
L19	581.94	S02° 17' 35"W
L20	89.40	N22° 28' 08"W
L21	224.30	N03° 07' 26"W
L22	100.66	N04° 17' 21"E
L23	36.90	S89° 26' 08"W
L24	174.11	N02° 17' 48"E



Mark R. Madsen
12-5-19



Nielsen Madsen & Barber
CIVIL ENGINEERS AND LAND SURVEYORS

1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbasc.net

This Instrument was drafted by Mark R. Madsen September 30, 2019 Revised December 05, 2019

2018.0256.02.DWG
SHEET 2 OF 4 SHEETS

CERTIFIED SURVEY MAP NO. 3423

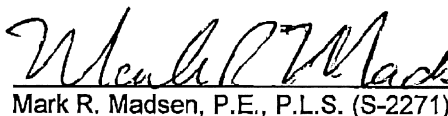
PART OF THE NORTHWEST 1/4 & NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 4 NORTH, RANGE 22 EAST, IN THE VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Mark R. Madsen, hereby certify: That I have prepared this Certified Survey Map at the direction of Justin Brown, Owner; THAT such Map is a correct representation of the exterior boundaries of the land surveyed and are described as: That part of the Northwest 1/4 & Northeast 1/4 of the Northwest 1/4, Section 23, Township 4 North, Range 22 East of the Fourth Principal Meridian, bounded and described as follows: Commencing at the Northwest corner of the Northwest 1/4 of said Section 23; run thence N89°26'08"E, 521.40 feet along the North line of the Northwest 1/4 of said Section 23 to the point of beginning of this description; continue thence N89°26'08"E, 949.70 feet along the North line of the Northwest 1/4 of said Section 23 to a meander corner located S89°26'08"W, 112.00 feet from the approximate centerline of the Root River; thence S57°41'17"E, 60.78 feet along said meander line to a point on the Southerly right-of-way line of 5 Mile Road; thence S23°33'39"E, 288.32 feet along said meander line; thence S25°12'44"W 234.20 feet along said meander line; thence S17°38'57"W, 158.66 feet along said meander line to a meander corner located S89°26'08"W, 85.00 feet from the approximate centerline of the Root River; thence S89°26'08"W, 1227.21 feet parallel with the North line of the Northwest 1/4 of said Section 23 to a point on the Easterly right-of-way line of State Trunk Highway "38" (S.T.H. "38") and a point on a curve to the right having a Westerly convexity, a radius of 5679.58 feet and a chord bearing and distance of N22°28'08"W, 428.82 feet; thence Northwesterly 428.92 feet along the arc of said curve and along the Easterly right-of-way line of said S.T.H. "38"; thence N20°19'04"W, 31.19 feet along the Easterly right-of-way line of said S.T.H. "38"; thence N13°06'14"W, 172.26 feet along the Easterly right-of-way line of said S.T.H. "38" to a point on the Southerly right-of-way line of said 5 Mile Road; thence N67°49'59"E, 85.91 feet along the Southerly right-of-way line of said 5 Mile Road; thence N89°26'08"E, 393.31 feet parallel with the North line of the Northwest 1/4 of said Section 23 and along the Southerly right-of-way line of said 5 Mile Road; thence N00°33'52"W, 33.00 feet along the Southerly right-of-way line of said 5 Mile Road to the point of beginning of this description. Said land being in the Village of Caledonia, County of Racine and State of Wisconsin. Containing 974,365 square feet or 22.368 acres more or less to the Centerline of the Root River. (Containing 905,046 square feet or 20.777 acres more or less to the edge of water of the Root River and excluding the road right-of-way.).

THAT I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and Title 14 of the Code of General Ordinances for the Village of Caledonia. THAT such map is a true representation of all exterior boundaries of the land surveyed and the land division thereof made;

December 05, 2019



Mark R. Madsen, P.E., P.L.S. (S-2271)
Nielsen Madsen & Barber, S.C.
1458 Horizon Blvd. Suite 200
Racine, WI 53406
(262)634-5588



Nielsen Madsen & Barber

CIVIL ENGINEERS AND LAND SURVEYORS

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Tele: (262)634-5588 Website: www.nmbssc.net

This Instrument was drafted by Mark R. Madsen September 30, 2019 Revised December 05, 2019

2018.0256.02.DWG
SHEET 3 OF 4 SHEETS

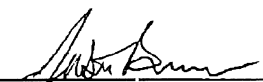
CERTIFIED SURVEY MAP NO. 3423

PART OF THE NORTHWEST 1/4 & NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION
23, TOWNSHIP 4 NORTH, RANGE 22 EAST, IN THE VILLAGE OF CALEDONIA, RACINE
COUNTY, WISCONSIN.

OWNERS' CERTIFICATE

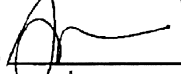
I Justin Brown as Owner hereby certify that I have caused the lands described on this map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map. I also do further certify that this Certified Survey Map is required to be submitted to the the following for approval or objection: Village Board of the Village of Caledonia.

IN WITNESS WHEREOF the said Justin Brown has caused these presents to be signed as
Owner at CALEDONIA Wisconsin on this 23rd day of November ~~2019~~ 2020


Justin Brown
2639 89th Street
Kenosha, WI 53143

STATE OF WISCONSIN)
COUNTY OF Racine)

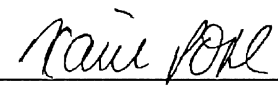
Personally came before me this 28rd day of November 2020, Justin Brown, to me known to be the person who executed the foregoing instrument, and acknowledged that they executed the foregoing.

Notary Public,  JOSEPH HOFFERT
My commission expires: 11/21/21

VILLAGE CERTIFICATE


APPROVED as a Certified Survey Map this 3rd day of December, 2019.

FROM ALL OF
104-04-22-23-025-000


Karie Pope, Clerk
VILLAGE OF CALEDONIA

TO
LOT 1 104-04-22-23-025-010
LOT 2 104-04-22-23-025-020
LOT 3 104-04-22-23-025-030




12-5-19



Nielsen Madsen & Barber
CIVIL ENGINEERS AND LAND SURVEYORS

1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net


This Instrument was drafted by Mark R. Madsen September 30, 2019 Revised December 05, 2019

2018.0256.02.DWG
SHEET 4 OF 4 SHEETS

MEMORANDUM

DATE: Thursday, June 29, 2023

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director 

RE: Lot 16 Karen Jean North Subdivision – Grading into wetland setback area

BACKGROUND INFORMATION

The Village has received an inquiry about Lot 16 of Karen Jean North Subdivision to build a single-family home. The proposal for this single-family home is 44' x 50'. See the attached survey for approximate locations. This lot has wetlands located on it and there also is a wetland setback area (pulled from the final plat).

The Declaration of Restrictive Covenants for the subdivision specifically state that the wetlands and the wetland setback are not to be disturbed. The Master Grading Plan for the subdivision shows that the wetland setback was proposed to be graded on this lot to allow a home to fit on the lot. With this conflict it was determined that there should be concurrence between the Home Owners Association and the Village.

The prospective buyer has brought forth this request to the Home Owners Association and they have approved it by more than a 75% vote. The Home Owners Association has also checked with the Wisconsin DNR and they have no issue with grading into the wetland setback area. At this time, the Utility District and the Public Works Committee will need to concur with this request to allow the home to be constructed.

RECOMMENDATION

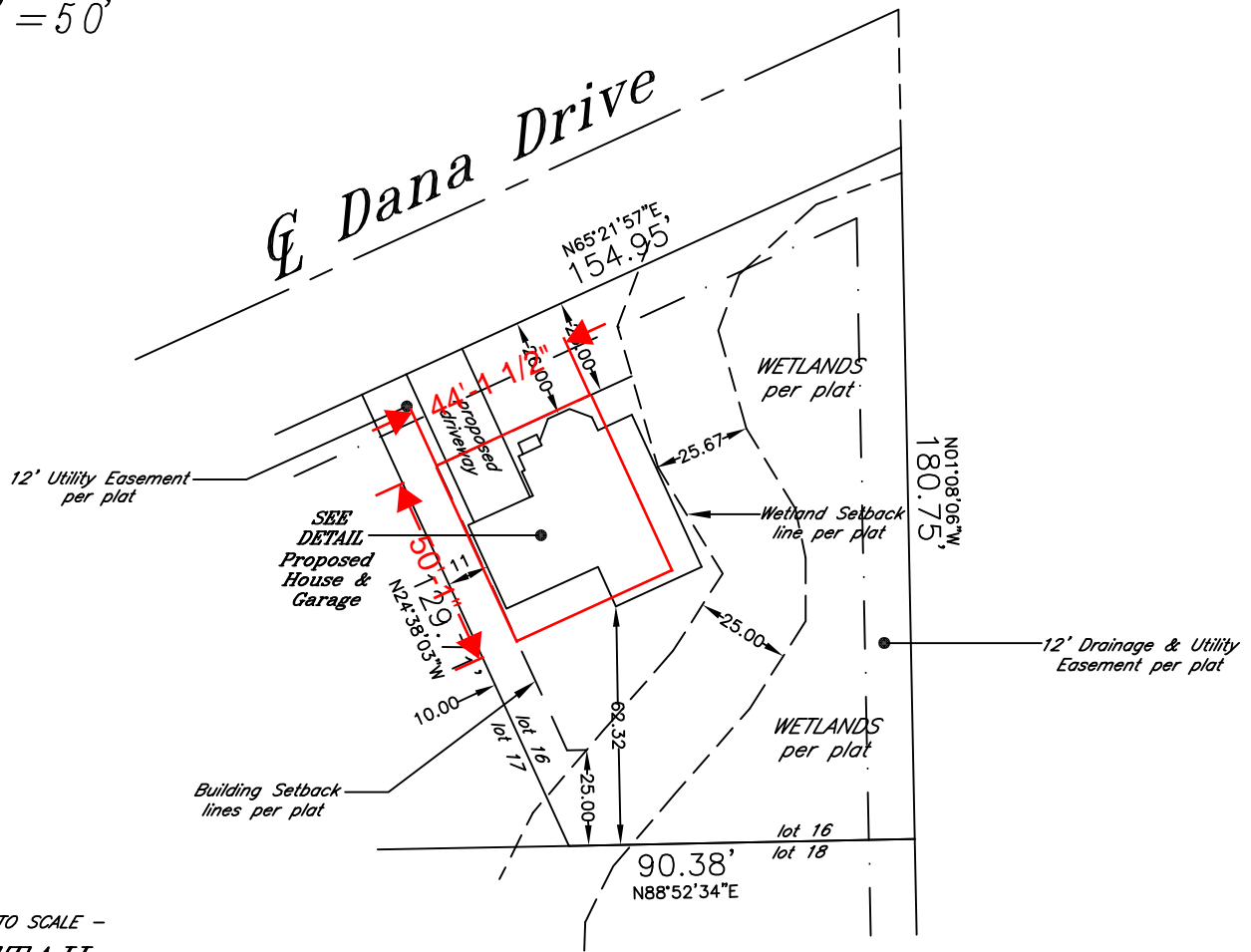
Move to allow a single-family home to be constructed on Lot 16 of Karen Jean North Subdivision subject to the following:

- 1. The applicant follow the Master Grading Plan for Karen Jean North Subdivision and be allowed to grade into the wetland setback area.**
- 2. The FYG of the home be 725.00.**
- 3. A site-specific grading plan be submitted, reviewed and approved by the Engineering Department as part of the Building Permit.**
- 4. All other lot specific restrictions for grading and drainage shall be followed on the lot per the Master Grading Plan.**
- 5. The Building Permit process is followed to issue a Building Permit for the Single-Family Home.**
- 6. Once the grading within the wetland setback area is completed the applicant shall then no longer be allowed to disturb the wetland setback area and follow the Declaration of Restrictive Covenants for the subdivision.**

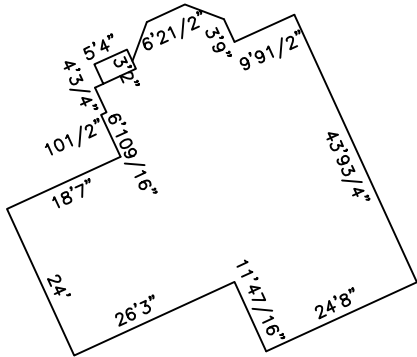


Scale
1" = 50'

denotes iron
pipe



- NOT TO SCALE -
DETAIL
.....



*
Verify exact number with
Village Engineering Department

*
outside finish grade = EL 000.00
(advisory only) - top of founda-
tion = EL 000.00 (advisory only) un-
less otherwise determined in writ-
ing by Village Engineering Department

Proposed building field staked true size. Contractor to verify all dimensions be-
fore building by same and adhere to drainage plan in effect for this subdivision.
Refer to a current title report for easements or restrictions which may affect
the use of this site that are not shown on the recorded subdivision plat.

J.K.R. SURVEYING, INC.
8121 22ND AVENUE
KENOSHA, WI 53143

S K E T C H

I hereby certify that
this property was
surveyed under my
direction and this
plat is a true re-
presentation thereof.

.....

Reg. Land Surveyor
February 2, 2022
Revised 2/16/22

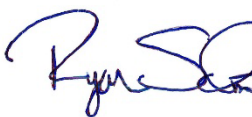
Plat of Survey of
LOT 16 IN
KAREN-JEAN NORTH SUBDIVISION
in NW1/4 Section 33-4-22
VILLAGE OF CALEDONIA
RACINE COUNTY, WIS.

-for-
Preston Fawcett, Contractor

MEMORANDUM

Date: June 9, 2023

To: Public Works Committee
Utility Commission

From: Ryan Schmidt, P.E.
Village Engineer 

Re: **5920 Sunshine Lane – Variance Request**

BACKGROUND INFORMATION

The Engineering Department received a request to allow for a variance to install a retaining wall structure and shed inside of a 12' Storm Sewer Easement and 6' We Energies Easement at 5920 Sunshine Lane. This request came in because of the Engineering Departments field inspection of the property for the site grading and drainage bond refund. Staff visited the site to find a retaining wall installed and a shed base being prepared in an area that appeared to encroach upon the easement as shown on the building permit and plat of survey without any accessory structure permits. The site recertification survey has been included as Exhibit A clearly showing the encroachment of said retaining wall and proposed shed.

The property was issued building permits on 06/03/2021 and the Site Grading and Drainage Bond inspection was performed approximately 270 days post occupancy per ordinance. There is a section on the Site Grading portion of the Building Permit stating that the installation of any structures or retaining walls as shown on the approved plat of survey and building permit are not allowed. In addition, a paving permit is required prior to the installation of concrete in the Village Right-of-Way. This permit was not acquired.

There is an 18" storm sewer pipe along the rear lot line within the 12' Storm Sewer Easement. The Village does not authorize property owners to place structures or fences in easements, especially ones with public utilities in them. As a result, Staff does not recommend the issuance of any waivers or variance to install these structures within the 12' Storm Sewer Easement. Village Staff recommends all retaining walls and proposed sheds be removed from the Storm Sewer Easement and all appropriate permits be applied for. The property owner may request a variance to allow the installation of the structures within the We Energies Utility Easement with written approval from We Energies.

RECOMMENDED MOTION

Motion to Deny the Variance Request at 5920 Sunshine Lane for the installation of a retaining wall and shed within the 12' Storm Sewer Easement due to the direct violation of Building Permit 2021-299 and 21-FP-037. Any existing structures shall be removed from the easement and permits must be acquired for the new shed and retaining wall placement.



VILLAGE OF CALEDONIA
BUILDING PERMIT
5043 CHESTER LANE | RACINE, WI 53402 | Tel# (262) 835-4451

Issued Date: 06/03/2021

Applied for: 05/25/2021

Expires: 05/25/2022

Permit No. 2021-299

Type of Permit Residential 1 & 2 Family

Parcel # 104042320401670

Receipt# R-3A 1003090

Property Address: **5920 SUNSHINE LN**

Lot: 67

Block:

Subdivision/CSM#: AUTUMN SHORES

Valuation 256,229.00

Square Feet 2,785.00

Owner DNOALD J VESELIK JR
KAREN VESELIK
RACINE, WI 53402

Contractor MC HOME BUILDERS LLC (MASTER CRAFT)
5008 GREEN BAY RD
KENOSHA, WI 53144
262-654-1220
dkika@mchomebuildersllc.com

Permit Fees

Residences 1 & 2 Family/Attached Garages	1,114.00
Plan Review-1 & 2 family residence	170.00
WI Uniform bldg permit seal	45.00
Erosion Control fees - 1 & 2 family lots	235.00
Fireplaces	228.00
Neighborhood Planning Surcharge	232.96
Grading and Drainage Bond	1,000.00
Grading & Drainage Bond Inspection Fee	200.00
Park Development	1,000.00
Zoning/Planning	600.00

TOTAL FEE

4,824.96

EXPLANATION OF PROJECT:
NEW SFR W ATTACHED GARAGE

Note: Applicant must arrange inspections with the Inspection Department at least forty-eight (48) hours prior to desired appointment time.

Senior Inspector - James Keeker - Ph: 262-835-6406 - Email: jkeeker@caledonia-wi.gov

Building | Residential Electrical | Residential Plumbing

Building Inspector - Scott Seymour - Ph: 262-835-6420 - Email: sseymour@caledonia-wi.gov

Commercial | Residential

I, the undersigned, agree to comply with all applicable codes, statutes, and ordinances and with the conditions of this permit; understand that the issuance of the permit creates no legal liability, express or implied, on the municipality; and certify that all the information provided is accurate. All work performed associated with this permit shall be my responsibility when it comes to ensuring compliance. Any plans, specifications, or other written information supplied to the department at time of application is conditionally approved upon the issuance of this permit. It is further understood that the department must verify compliance at various stages of construction by performing inspections. Said inspections must be scheduled a minimum of two business days (48 hours) in advance. Construction shall not proceed until approved by the department.

Work shall not proceed until the inspector has approved the various stages of construction or two business days have elapsed since the day of inspection request. This permit will expire 24 months after the date of issuance if the building's exterior has not been completed. Keep this card posted until final inspection has been made. (WI Stats. 101.63)



WISCONSIN UNIFORM BUILDING PERMIT # 2021-296

☒ Constr ☒ HVAC ☐ Elect ☐ Plumb ☒ Erosion
Project: 1 Story Single Family Residence,
w/

Issued To	OWNER (AGENT) MC Homes	PHONE 654-1220
	BUILDING SITE ADDRESS 5920 Sunshine Lane	
	CITY, VILLAGE, TOWN Caledonia - Racine Co	

Issued by	PERSON ISSUING [Signature]	CERT. NO. 1315417
	DATE ISSUED 6/9/2021	TELEPHONE 835-6420
Comments: Foundation R-10, walls 2x6 @ 16" O.C., R-19, Ceiling R-50, window 0.26		

NOTICE OF NONCOMPLIANCE: This issuing jurisdiction shall notify the applicant in writing of any violations to be corrected. All cited violations, except erosion control ones, shall be corrected within 30 days of notification, unless extension time is granted.

SITE INFO	
SUBDIVISION	
LOT NO.	BLOCK NO.
ZONING DISTRICT	
1/4, SEC 20, T 4, N, R 23 E or W	
PARCEL NO. 104042320	401670
SETBACKS: FRONT 36 ft REAR 72.62 ft	
LEFT 12 ft RIGHT 12 ft	

INSPECTIONS			
PHASE	ROUGH	FINAL	EROSION
FOOTING			
FOUNDATION			
BSMT DRAIN TILES			
CONSTRUCTION			
PLUMBING			
HEAT/VENT/AC			
ELECTRICAL			
INSULATION			
OCCUPANCY			

CONTRACTORS			
G.C.	NAME	CREDENTIAL #	PHONE
MC Home Builders		1231385	654-1220
HVAC			
HJ Faust		3795	763-7866
ELECT.			
Gemin Electric		1185573	414-840-1259
PLBG			
Karlson Plumbing		221227	633-1951
MSR ELECT			



VILLAGE OF CALEDONIA
5043 CHESTER LANE • RACINE, WI 53402
PHONE (262) 835-6420

APPLICATION FOR BUILDING PERMIT

Permit No.

2021-299

Parcel No.

104042320401670

Receipt No.

Owner's Name

Veselik, Don & Karen

Owner's Email

dbooyahboy@sbcglobal.net

Owner's Mailing Address, City, State & Zip (if different from Project Address)
5820 Leawood Ln Racine 53402

Phone

(262) 930-4086

Contractor's Business Name

MC Home Builders LLC

Contractor's Email

dkika@mchomebuildersllc.com

Contractor's Business Mailing Address, City, State & Zip
5008 Green Bay Rd Kenosha, WI 53144

Phone

(262) 654-1220 ext2004

Dwelling Contractor Certificate Number Exp. Date
101200051 2021-12-10

Dwelling Contractor Qualifier Number Exp. Date
120700373 14-12-2021

Fax

()

PROJECT ADDRESS: Lot 67 Sunshine Ln Racine 53402

Sec. _____
Township _____
Range _____

Lot #:

Subdivision
Name:

CSM# 20-401-670

Tax Key:

104042320401670

SETBACKS: Distance from
lot lines to object

Front ✓
36 Ft.

Rear ✓
72.62 Ft.

Left ✓
12 Ft.

Right ✓
12 Ft.

Zoning
District: R3A

SQ. FT. OF ADDITION (IF APPLICABLE)

Basement 1990, 1st floor 2091, garage 1065

ESTIMATED PROJECT COST
\$ 256,229

Public Sewer Yes ☒ No ☐

County Sanitary Permit No.

Type of
Project

New ☒ Addition ☐ Alteration ☐ Conversion ☐ Temporary ☐ Other ☐

EXPLANATION OF PROJECT

New single family home, with attached garage, covered porch.

The applicant agrees to comply with all applicable codes, statutes and ordinances and with the conditions of this permit; understands that issuance of the permit creates no legal liability, express or implied, on the Department or Municipality; and certifies that all of the above information is accurate.

PRINT CONTACT PERSON Durim Kika, agent

Phone (262) 654-1220 ext2004

SIGNATURE OF APPLICANT DURIM KIKA

Date 05/03/21

See reverse side for fees.

EMANUED
6/3/2021



VILLAGE OF CALEDONIA
GRAVEL DRIVEWAY WITH NEW/EXISTING ROAD ACCESS PERMIT
5043 CHESTER LANE | RACINE, WI 53402 | Tel# (262) 835-4451

Issued Date: 06/03/2021

Applied for: 05/25/2021

Expires: 05/25/2022

Permit No. 21-ROW-076

Type of Permit GRAVEL DRIVEWAY - NEW ROW - P

Parcel # 104042320401670
R-3A

Receipt # 1003090

Property Address: **5920 SUNSHINE LN**

Lot: 67 Block:

Subdivision/CSM#: AUTUMN SHORES

Valuation

Square Feet

Permit Fees

Owner DNOALD J VESELIK JR
KAREN VESELIK
RACINE, WI 53402

Engineering Plan Review-Res 1 & 2 famil 225.00
ROW Access (Culvert)/SITE GRADING 100.00

Contractor EAGLE EXCAVATING & GRADING
S72W13659 WOODS RD
MUSKEGO, WI 53150
414-322-5284

TOTAL FEE

325.00

Applicant MC HOME BUILDERS LLC (MASTER CRAFT)
5008 GREEN BAY RD
KENOSHA, WI 53144
262-654-1220
dkika@mchomebuildersllc.com

EXPLANATION OF PROJECT:

GRAVEL DRIVEWAY WITH ACCESS & SITE GRADING *SEE ATTACHED DOCUMENTATION*

Note: Contact the Village Engineering Department prior to paving the driveway for permit, installation and inspection instructions.

Engineering Technician - Richard Sehrbrock - Ph: 262-835-6428 - Email: rsehrbrock@caledonia-wi.gov

Engineering Technician - Helena Dowd - Ph: 262-835-6419 - Email: hdowd@caledonia-wi.gov

I, the undersigned, agree to comply with all applicable codes, statutes, and ordinances and with the conditions of this permit; understand that the issuance of the permit creates no legal liability, express or implied, on the municipality; and certify that all the information provided is accurate. All work performed associated with this permit shall be my responsibility when it comes to ensuring compliance. Any plans, specifications, or other written information supplied to the department at time of application is conditionally approved upon the issuance of this permit. It is further understood that the department must verify compliance at various stages of construction by performing inspections. Said inspections must be scheduled a minimum of two business days (48 hours) in advance. Construction shall not proceed until approved by the department.

GRAVEL DRIVEWAY WITH NEW ROAD ACCESS PERMIT (21-ROW-76)

5920 SUNSHINE LANELOT 67, AUTUMN SHORES ADDITION NO. 2 SUBDIVISIONPARCEL # 104-04-23-20-401-670Name of Applicant: MC Home Builders LLC Phone: W: 262-654-1220 X-2004 E-mail: dkika@mcbuildersllc.comAddress of Applicant: 5008 Green Bay Road, Kenosha, WI 53144Name of Owner: Don & Karen Veselik Phone: W: 262-930-4086 E-mail: E-mail:dbooyahboy@sbcglobal.netAddress of Owner: 5820 Leawood Lane, Racine, WI 53402Gravel Driveway With New Road Access Permit Fee----- \$100.00 (21-ROW-076)Payment Received: CK# 001388 Date: 6/9/2021 By: EWCulvert Required ☐ Yes ☒ No Driveway width (minimum) 18 FT.Culvert Diameter and Type: No cmp needed. Curb and gutter.Culvert Elevation (Flow Line) 2 FT. ☒ North, ☐ WestCulvert Elevation (Flow Line) 2 FT. ☒ South, ☐ East**Note: CONTACT THE VILLAGE PRIOR TO PAVING THE DRIVEWAY FOR PERMIT, INSTALLATION AND INSPECTION INSTRUCTIONS.**

Note: Flared end Sections will be required on all driveway culverts unless waived in writing by the Public Works Director. Culvert must be installed and driveway built before construction begins, unless temporarily waived in writing by the Public Works Director.

Remarks: Curb & gutter. Reshape and revegetate the lot to drain front to back of curb and back to rear yard drainage swale. The builder will be responsible to install the driveway, reshape and revegetate the road right of way and install, monitor, and maintain erosion control per the attached Village approved revised survey/grading and erosion control plan dated 5-27-21. Contractors shall use the approved driveway access only to access the site unless waived by the Public Works Director. Care must be taken not to crush or damage the road pavement or curb. The road pavement is alligatored but together. If the pavement or curb is damaged it will need to be repaired/replaced to the satisfaction of the Highway Superintendent. Recommend photos of the road and right of way be taken prior to excavation for possible future reference. The driveway and any future sidewalks must be located a minimum of 5' south of the north lot line and lot line extended and 5' north of the south lot line and lot line extended (outside of all easements and to ensure side yard swales can be installed and maintained). NOTE: There is an 18' Drainage & Utility Easement along the west (rear) side of the lot. No portion of the driveway shall exceed a centerline slope of 6%. This may require that the finished driveway be installed at an even grade from the garage slab to the back of curb. Driveway to be a minimum of 30' deep opposite double wide overhead garage doors and 20' deep opposite single wide overhead doors. Side slopes on the driveway are not to exceed 4:1. This may require the installation of retaining walls to achieve. The driveway must be installed so as to ensure water drains away from the home, that runoff does not flow out into the road, onto abutting properties or create an icing problem in the road. Note: The drive may be located over the sanitary sewer and water laterals. Care must be taken not to crush or damage these systems. If crushed, damaged, or in need of repair/adjustment, contact the Caledonia Engineering Department and the Caledonia Utility District for repair/modification and inspection instructions. See the Village approved revised survey/grading plan dated 5-27-21 for site grading and erosion control instructions.

Signature of Applicant: Date: 6/9/21Permit Granted: Date: 6/2/21

SITE GRADING INSTRUCTION SHEET (21-FP-37)

5920 SUNSHINE LANE
LOT 67, AUTUMN SHORES ADDITION NO. 2 SUBDIVISION

PARCEL # 104-04-23-20-401-670

Name of Applicant: **MC Home Builders LLC** Phone: **W: 262-654-1220 X-2004** E-mail: **dkika@mcbuildersllc.com**
 Address of Applicant: **5008 Green Bay Road, Kenosha, WI 53144**

Name of Owner: **Don & Karen Veselik** Phone: **W: 262-930-4086** E-mail: **E-mail:dbooyahboy@sbcglobal.net**
 Address of Owner: **5820 Leawood Lane, Racine, WI 53402**

Site Grading Plan Review Fee----- **\$ 225.00**

Payment Received: _____ Date: _____ By: _____

SITE GRADING AND FINISHED YARD GRADE INSTRUCTIONS

Proposed Finished Yard Elevation: **The FYG on the building and any egress window wells shall be no lower than 624.00. Contact Village Plumbing Inspector for proper sizing, installation, and inspections if installing any egress window well drainage systems. Do not install any window wells in any easement areas. The finished garage slab elevation shall be no higher than 624.33.**

NOTE: Shallow sanitary sewer. Home will have a hung sanitary sewer system. Recommend exposing the lateral prior to digging the basement to verify invert elevations. Contact the Public Works Director and Building Inspector for approvals to raise the FYG's or deviate from the attached approved grading plans. Contact the Caledonia Utility District and the Village Plumbing Inspector for approvals, conditions, installation, and inspection instructions if desiring to run in the sanitary sewer lateral prior to digging basement. Contractor shall contact the Public Works Director for a Road Opening Permit prior to performing and sanitary sewer/water excavations in the Village Road Right of Way.

NOTE: LOTS MAY HAVE IN EXCESS OF 3' OF FILL. CONSULT GEO-TECHNICAL REPORT FOR SOIL COMPACTION RESULTS OF THIS SITE. THIS INFORMATION IS ATTAINABLE FROM THE DEVELOPER. THE VILLAGE WILL NOT BE HELD LIABLE FOR ANY FOUNDATION/STRUCTURAL PROBLEMS THAT MAY RESULT FROM PLACEMENT OF BUILDING / STRUCTURES ON FILL SOILS.

Note: The Finished Yard Elevation shall be the finished elevation around the immediate perimeter of the building and is 8" below the top of foundation. The contractor shall be responsible to calculate the depth of footing excavation, which will provide for the above assigned Finished Yard Elevation.

Signature of Applicant:  Date: 6/9/21

Approval:  Date: 6/2/21
 Public Works Director

Remarks: **Grade the lot and install, monitor, and maintain erosion control per the revised subdivision master grading plans and the attached Village approved revised survey/grading and erosion control plans dated 5-27-21. Centerline slopes on the side and rear yard swales are to be at no less than .8%. The swales are to be "V" shaped and centered along the lot lines and in easements conforming to the approved grading plans. A minimum of 8" of positive pitch away from the buildings shall be maintained. Side slopes around the building and on the swales are not to exceed 4:1. This may require the installation of retaining walls to achieve. Cutting/filling approximately .95' along the lot lines and in the rear swale may be required to conform to the approved grading plans. Reshape and revegetate the rear yard swale per the approved grading plans to ensure proper drainage both north and south of the planned break point. Reshape and revegetate the side yards to drain front to front (back of curb), rear**

to rear. Swales to be graded to ensure proper drainage is maintained. Cutting/filling approximately .95' along the lot lines and in swales may be required to conform to the approved grading plans. Grading past the lot lines may be required. Must work with abutting property owners to achieve or the swales may need to be shifted onto this lot.

The sump pump will need to be tiled to discharge to the rear yard drainage swale (recommend towards the northwest corner of the lot). It shall be installed so as to ensure runoff does not create drainage or icing problems. This may require daylighting the sump line a minimum of 10' from the lot lines or more to achieve. Contact the Plumbing Inspector for installation and inspection instructions if required. Erosion control will need to be installed and maintained at the outlet of the sump pump until the downslope area is vegetated. The downspouts shall be outletted so as to ensure that runoff does not create a drainage problem with abutting properties or icing of the road right of way. Downspouts may be connected to the sump discharge line if desired however again the systems shall be discharged to ensure that runoff does not create a drainage or icing problem (a minimum of 10' from the lot lines). Note: There is an 18' Drainage and Utility Easement located along the west side of the lot. Do not install driveways, retaining walls, fences, berms, air conditioners, egress window wells, decks, patios, sidewalks, trees/plantings or any other permanent structures in any easement areas. More than 150 cubic feet of excavated material may need to be exported from the site. Will need to follow all conditions set forth in Land Disturbance/Erosion Control Permit #21-FP-37. Care must be taken not to damage any Village road right of ways. All tracking must be cleaned up immediately. Trucks must follow the approved haul route. Beware of possible farm drain tiles. If hit or damaged, contact the Village Engineering Department for repair and inspection instructions.

A recertification of the finished grading is to be supplied by Surveyor providing as built elevations at all the proposed elevation locations as shown on the Village revised survey/grading plans dated 5-27-21. Surveyor is to make the Village revised grading plans changes to their files including adding sanitary sewer and water lateral and invert elevations/locations and will be expected to utilize these revised grades for the recertification and building permit process. The recertification is to be reviewed, approved and accepted, and street trees shall have been installed (if required pursuant to Village Ordinances & Subdivision requirements) prior to the release of the Site Restoration Bond. The recertification of the lot will be at the cost of the builder/homeowner and will need to be completed as many times as necessary to confirm that the lot has been graded pursuant to these approved grading plans. It is recommended that the surveyor/engineer install final grade stakes in the field at the locations shown on the Village revised proposed grading plans prior to the final grading of the site. This will indicate if the lot has been rough graded correctly and will also give the finished grader elevations to grade to. NOTE: lot may have been filled in excess of 3.0'. May need to install extra courses in foundation to reach suitable soils.



VILLAGE OF CALEDONIA
LAND DISTURBANCE / EROSION CONTROL PERMIT
5043 CHESTER LANE | RACINE, WI 53402 | Tel# (262) 835-4451

Issued Date:	Permit No.	21-FP-37
Applied for: 05/25/2021	Type of Permit	LAND DISTURBANCE / EROSION C
Expires: 11/21/2021	Parcel #	104042320401670
		R-3A
	Receipt #	

Property Address: 5920 SUNSHINE LN
Lot: 67 **Block:** Subdivision/CSM#: AUTUMN SHORES

Valuation
Square Feet

Permit Fees

Owner	DNOALD J VESELIK JR KAREN VESELIK RACINE, WI 53402	Land Disturbance < 1 acre	50.00
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Contractor EAGLE EXCAVATING & GRADING
S72W13659 WOODS RD
MUSKEGO, WI 53150
414-322-5284 — Ken - 414-803-5201

Applicant	MC HOME BUILDERS LLC (MASTE 5008 GREEN BAY RD KENOSHA, WI 53144 262-654-1220 dkika@mchomebuildersllc.com	TOTAL FEE	50.00
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REQUIREMENTS/PERMIT SUBMITTAL ITEMS:

1.) Attach a site map depicting the limits, depth, and/or final elevation of fill/grading and the subject property lines. Base map can be supplied by the Engineering Department. Scale is to be not less than 1"=200'. * See attached survey/grading plans dated 5-27-21 for details. Fill will be transported to a fill site located west of the Village. Follow any permit requirements for that site. 2.) Contact Village, State, & County regarding any necessary permits or approvals. * Follow all Village Permits & conditions for the site. 3.) Estimated quantity of material being graded/filled 500 cubic yards or ___ square yards. * See attached grading plans for excavated and disturbed areas. 4.) Source and type of fill material. * Excess material is coming from new home basement excavation – clay/sand spoil. Exporting clean fill - topsoil, sand, gravel, silt, and clay spoil from project. No concrete, asphalt, construction debris or compost. 5.) Haul routes need to be mapped. * Follow Sunshine Lane to Shore Drive to Silent Sunday Court to Charles Street north to 5 1/2 Mile Road to Novak Road to 6 Mile Road to CTH G to STH 38 to CTH H to CTH G and west out of the Village. All trucks shall follow State and County Trunk roads when possible and use approved driveway accesses unless waived by the Public Works Director. 6.) Restoration and erosion control measures. * Grade & restore site per approved survey/grading plans. Must install, monitor, & maintain erosion control downstream of all disturbed areas. Installing silt fence & track mat before work begins. Topsoil and seed disturbed areas. SPECIAL CONDITIONS: Follow all conditions of the Building Permit.

**VILLAGE OF CALEDONIA LAND DISTURBANCE / EROSION
CONTRTOL PERMIT APPLICATION (SHORT FORM)**

Fill out completely. Need Village approval prior to importing/exporting more than 150 cubic yards of material.

FEES: \$50.00 Total Disturbance < 1 acre; \$200.00 Total Disturbance > 1 Acre

Site Where Work is Being Performed: Lot 67 Sunshine Lane Racine

Applicant: Mastercraft Builders Address: 5008 Green Bay Rd Kenosha WI Ph #: 262-654-1220

Owner: Veselik, Don Address: 5820 Leawood Dr Racine WI Ph #: 262-930-4086

Date Work Performed: 06/01 thru 6 month Contractor Performing Work: Mastercraft Ph. #: 262-654-1220 Contact: Jim

Requirements/Permit Submittal Items

- 1.) Attach a site map depicting the limits, depth, and/or final elevation of fill/grading and the subject property lines. Base map can be supplied by the engineering department. Scale is to be not less than 1"=200'.

Attached

- 2.) Contact Racine County Planning regarding any necessary county permits.

Attached

- 3.) Estimated quantity of material being graded/filled 400 cubic yards or _____ square yard.

- 4.) Source and type of fill material.

Spoils

- 5.) Haul routes need to be mapped.

as per Ken & Rich Conversation

- 6.) Restoration and erosion control measures.

silt fence wrapping lot

Village Approval/Permit Conditions: Grade, fill, install foundations, storm drainage systems, and revegetate sites so as to ensure proper drainage away from all buildings is maintained, so as to ensure that natural drainage is not restricted, and to ensure that runoff does not create a problem with abutting properties or icing of the road Right of Ways. Do not grade or fill wetlands, floodplains, or storm water drainage systems/detention basins without proper approvals. Use the approved driveway accesses to access the sites. The road Right of Way shall be kept open at all times. Do not park, place or store any construction vehicles, equipment or materials in any Village roads or Village road Right of Ways. Follow State and County Road where possible. Fill to be placed to conform to the approved Building and Fill Permits for the affected sites. Grade lots per the Village approved survey/grading plans. Sites shall be graded and swales must be provided so as to ensure proper drainage is maintained. Centerline slopes on swales are to be no less than .8% and side slopes on all grading are not to exceed 4:1. Install, monitor and maintain erosion control down slope of disturbed areas & install track mat per Wisconsin Best Management practices. All tracking to be cleaned up immediately. The Builder/Contractor shall keep records of all erosion control inspections performed on this site in conformance with the Village of Caledonia Ordinance and the Wisconsin DNR. These inspection records shall be kept onsite and copies shall be forwarded to the Village of Caledonia or Wisconsin DNR upon request. Disturbed areas to be reshaped and revegetated as soon as possible. If placement of fill is desired elsewhere in Caledonia, contact the Public Works Director for a possible Fill Permit and alternate haul route requirements and approvals. Importing /exporting clean fill only. No compost, concrete, construction material or asphalt. Care must be taken not to crush or damage any Village roads. Owner/builder shall be responsible for all repairs and repair costs which may be required to fix Village ROW/roads resulting from the filling/land disturbance activities. All repairs shall be made to the satisfaction of the Highway Superintendent. Recommend photos of the roads be taken prior to construction for possible future reference. A 25' grass buffer may be acceptable in lieu of silt fence with prior approvals. Additional erosion control may be required if erosion becomes a problem.

Approved:

(Signature of Applicant)

(Date)

(Public Works Director)

(Date)

- Notes:
- 1.) Permit expires 180 days after the date of issuance, unless renewed.
 - 2.) This permit does not absolve the applicant of any other required state and local permits.
 - 3.) Fill may not be placed in any wetland and floodplain areas unless otherwise permitted through WDNR and US Army Corp. of Engineers.
 - 4.) Fill may not restrict or alter existing drainage patterns.
 - 5.) Free and unlimited access to the property being filled/graded must be provided to Village staff during the life of the permit.
 - 6.) Any costs associated with construction operations which may cause damage to Village right-of-way or property shall be reimbursed by the applicant.

VILLAGE APPROVAL / PERMIT CONDITIONS:

Grade, fill, install foundations, storm drainage systems and revegetate sites per plans so as to ensure proper drainage away from all buildings is maintained, that natural drainage is not restricted, and that runoff does not create a problem with abutting properties or icing of the road right of way. Do not grade or fill wetlands, floodplains, easements, or storm water drainage systems without proper approvals. Use the approved driveway accesses to access the site(s). Follow the Land Disturbance Permits for the affected site(s). Silt fence/erosion control shall be installed, monitored, and maintained downslope of the disturbed areas to ensure fill and erosion does not leave the fill site. Engineering went over what is needed with the contractor. Grade lots per the Village approved survey/grading plans. Swales must be provided so as to ensure proper drainage is maintained. Centerline slopes on swales are to be no less than .8% and side slopes on all grading are not to exceed 4:1. Install and maintain a track mat per Wisconsin Best Management practices. All tracking is to be cleaned up immediately. The Builder/Contractor shall keep records of all erosion control inspections performed on this site in conformance with the Village of Caledonia Ordinance and the Wisconsin DNR. These inspection records shall be kept on site and copies shall be forwarded to the Village of Caledonia or Wisconsin DNR upon request. If placement of fill is desired elsewhere in Caledonia, contact the Public Works Director for a possible Land Disturbance Permit and alternate haul route requirements and approvals. Importing / exporting clean fill only. No compost, concrete, construction material or asphalt. Care must be taken not to crush or damage any Village roads. Owner/builder responsible for all repairs and repair costs which may result to Village ROW/roads as result of the filling/land disturbance activities. All repairs must be made to the satisfaction of the Highway Superintendent. Recommend photos of the road be taken prior to construction for possible future reference. Site(s) are to be reshaped and revegetated as soon as possible. A 25' grass buffer down slope of disturbed areas may be used in lieu of silt fence. Additional erosion control may be required if erosion becomes a problem.

Signature of Applicant:

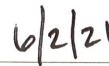


Date:



Approved By: DIRECTOR OF DPW TOM LAZCANO

Date:



NOTES:

- 1.) Permit expires 180 days after the date of issuance, unless renewed.
- 2.) This Permit does not absolve the applicant of any other required state and local permits.
- 3.) Fill may not be placed in any wetland and floodplain areas unless otherwise permitted through WDNR and US Army Corp. of Engineers.
- 4.) Fill may not restrict or alter existing drainage patterns.
- 5.) Free and unlimited access to the property being filled / graded must be provided to Village staff during the life of the permit.
- 6.) Any costs associated with construction operations which may cause damage to Village right of way or property shall be reimbursed by the applicant.

Contact information: If alternate routes are required please contact the Village Engineering Department:
Engineering Technician - Richard Sehrbrock - Ph: 262-835-6428 - Email: rsehrbrock@caledonia-wi.gov
Engineering Technician - Helena Dowd - Ph: 262-835-6419 - Email: hdowd@caledonia-wi.gov

I, the undersigned, agree to comply with all applicable codes, statutes, and ordinances and with the conditions of this permit; understand that the issuance of the permit creates no legal liability, express or implied, on the municipality; and certify that all the information provided is accurate. All work performed associated with this permit shall be my responsibility when it comes to ensuring compliance. Any plans, specifications, or other written information supplied to the department at time of application is conditionally approved upon the issuance of this permit. It is further understood that the department must verify compliance at various stages of construction by performing inspections. Said inspections must be scheduled a minimum of two business days (48 hours) in advance. Construction shall not proceed until approved by the department.



Village of
CALEDONIA

5043 Chester Lane
Racine, WI 53402
www.caledoniawi.com

office: 262-835-6415
fax: 262-835-2388

Date: May 27, 2021



**Know what's below.
Call before you dig.**

Re: Building Permit
Address: 5920 Sunshine Lane, Racine, WI 53402

Dear Resident:

Your application for a Building Permit has been reviewed in the field by our Engineering Department. We have noticed that overhead and/or underground utility lines may be located in close proximity to the proposed structure. It is possible that the utility lines may have to be relocated to allow for adequate clearance from the proposed structure. We recommend that you consult the appropriate utility company concerning this matter. The Village agrees to issue the Building Permit subject to the utility lines being relocated if such relocation is deemed necessary by the applicable utility.

The Village of Caledonia in no way warrants that the utility lines have adequate clearance nor will the Village be responsible for any accidents or expenses which may occur involving such utility lines.

Sincerely,

Tom Lazcano, P.E.
Public Works Director

Owner Signature

PLAT OF SURVEY

LEGAL DESCRIPTION: Lot 67 in **AUTUMN SHORES ADDITION NO. 2**, being a subdivision of the Northeast 1/4 and Northwest 1/4 of the Northeast 1/4 of Section 20, Town 4 North, Range 23 East, in the Town of Caledonia, Racine County, Wisconsin.

Village Approved Revisions 5-27-21

March 11, 2021 (Drawing Only)

April 14, 2021 Revised Foundation Plan (Not Staked) Survey No. 112363-S

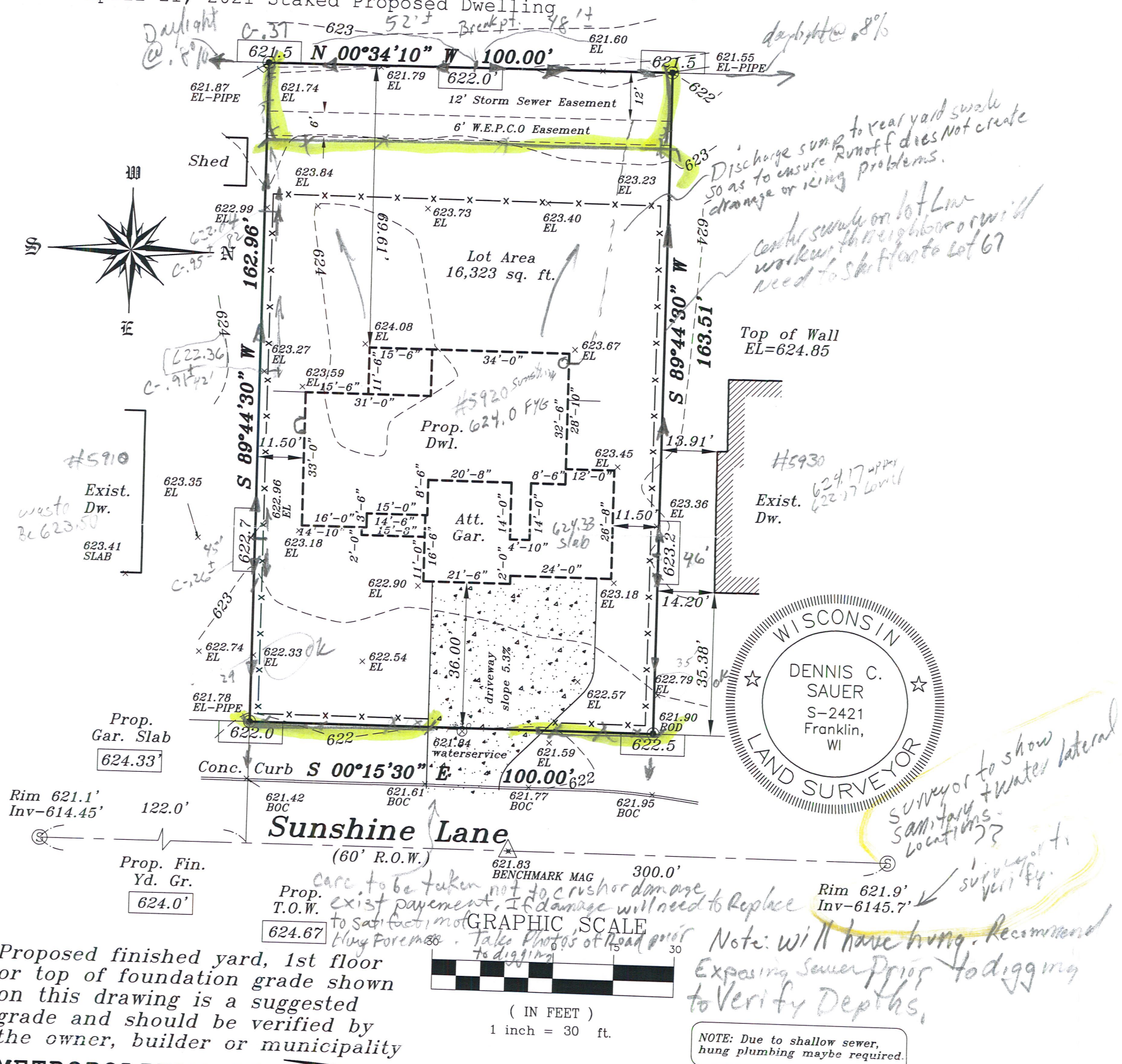
April 21, 2021 Staked Proposed Dwelling

March 11, 2021 (Drawing Only)

Survey No. 112363-S

April 14, 2021	(Drawing Only)	Survey
April 21, 2021	Revised Foundation Plan	(Not Staked)
April 21, 2021	Staked Proposed Building	

April 21, 2021 Staked Proposed Dwelling



Proposed finished yard, 1st floor
or top of foundation grade shown
on this drawing is a suggested
grade and should be verified by
the owner, builder or municipality

**METROPOLITAN SURVEY
SERVICE, INC.**

PROFESSIONAL LAND SURVEYORS

9415 West Forest Home Avenue, Suite 202

Hales Corners, Wisconsin 53130

PH. (414) 529-5380

survey@metropolitansurvey.com

www.metropolitansurvey.com

© — Denotes Iron Pipe Found

○ — Denotes Iron Pipe Set

00.0 — Denotes Proposed Grade

—x—x— Denotes Proposed Silt Screen

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY,
AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN
ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED

Dennis C. Sauer
Professional Land Surveyor S-2421

Professional Land Surveyor S-2421

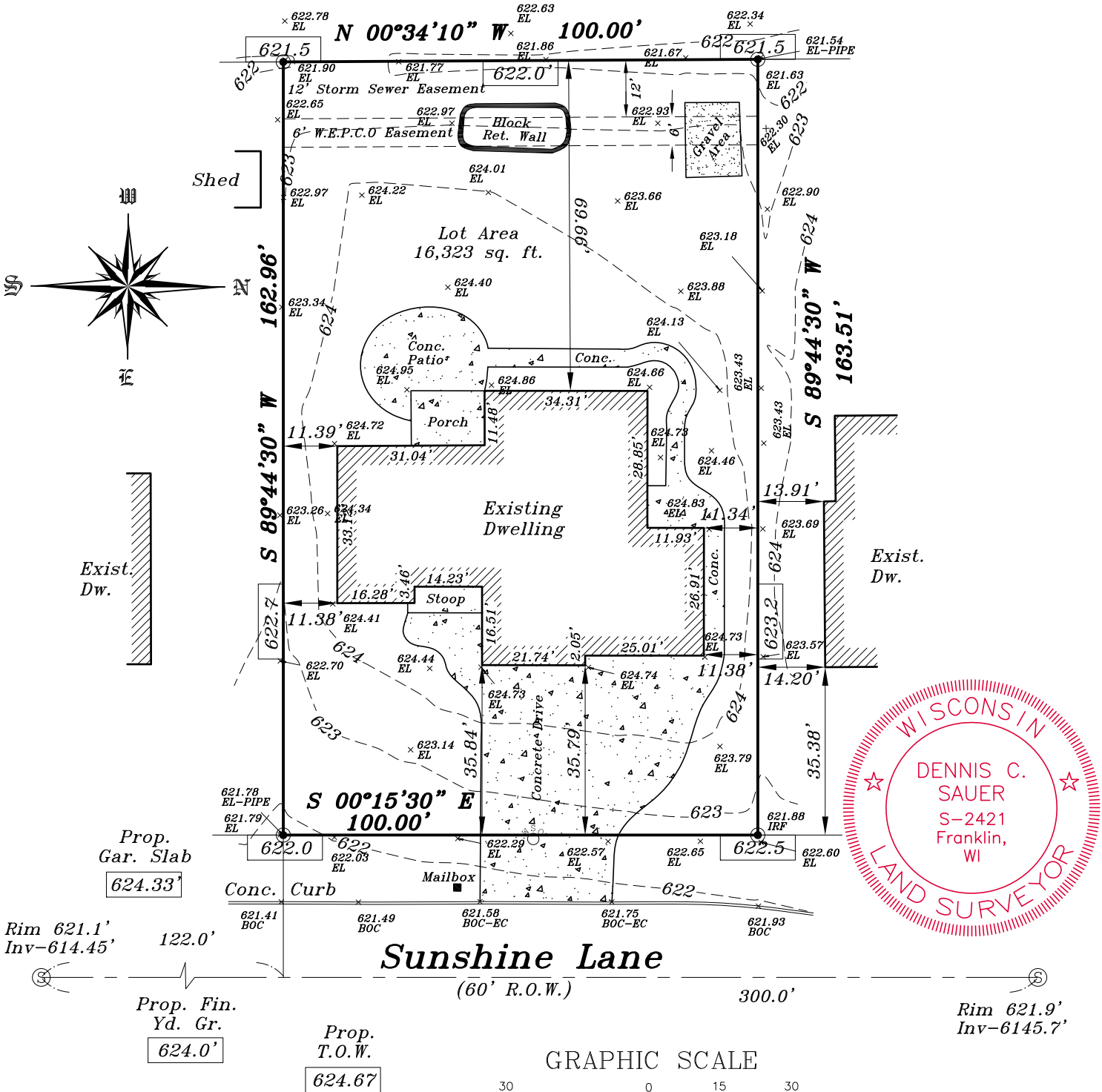
PLAT OF SURVEY

LOCATION: 5920 Sunshine Lane, Caledonia, Wisconsin

LEGAL DESCRIPTION: Lot 67 in AUTUMN SHORES ADDITION NO. 2, being a subdivision of the Northeast 1/4 and Northwest 1/4 of the Northeast 1/4 of Section 20, Town 4 North, Range 23 East, in the Town of Caledonia, Racine County, Wisconsin.

May 10, 2023

Survey No. 112363-AS-BUILT



Proposed finished yard, 1st floor or top of foundation grade shown on this drawing is a suggested grade and should be verified by the owner, builder or municipality

METROPOLITAN SURVEY SERVICE, INC.

PROFESSIONAL LAND SURVEYORS

8482 South 76th Street
Franklin, Wisconsin 53132
PH. (414) 529-5380

survey@metropolitansurvey.com
www.metropolitansurvey.com



I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY. ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED

Dennis C. Sauer
Dennis C. Sauer
Professional Land Surveyor S-2421

⊙ — Denotes Iron Pipe Found





Sunshine Lane

5-2-23

MEMORANDUM

DATE: Thursday, June 29, 2023

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director



RE: Request for Variance – 5040 Candlelight Drive

BACKGROUND INFORMATION

Matthew Albrecht of 5040 Candlelight Drive has submitted a request to install a concrete patio within the existing 12' Utility Easement & (17.93' to 12' x 126.89') Storm Sewer Maintenance Easement on his property. These easements have been in place since the Final Plat of Club View Subdivision was recorded in 1964. The easements that Mr. Albrecht wishes to encroach on have a 36" Clay Drain Tile running through them. The 36" Clay Drain Tile was part of the Farm District and was installed back in the 1920's. The Clay Tile has been intercepted in several areas (4 Mile Road/Charles Street, Charles Street/Johnson Avenue, & Charles Street/Ellis Avenue) and does not drain as much area as it once did.

At the request of Mr. Albrecht's Design Engineer, the Utility District had the 36" Clay Tile televised. The 36" Clay Tile is in poor shape in some areas (with roots and silt within the tile) and shows its age in most of the pipe (longitudinal cracks along the top half). In the past, the Utility District has repaired sink holes over the 36" Clay Tile. The intent of the televising was to determine if the tile could be lined. Based on the televising and the age of the tile, it is not recommended that the 36" Clay Tile be lined.

In a recent email from the Design Engineer, it was suggested that 2 manholes be installed and 55' of the 36" Clay Tile be replaced. The Design Engineer has asked that the funding for the replacement be from the Utility District. While this request would correct the area where the proposed encroachment is, it does not correct the overall issue of the tile.

It is recommended that the Utility District look in to replacing the 36" Clay Tile with an appropriately sized storm sewer and look to improve the entire line that remains active, not just what is convenient for 1 owner. It is recommended that the Utility District budget a Capital Project to replace the 36" Clay Tile.

The second issue to be addressed is if the owner would be allowed an encroachment within the easements after a new Storm Sewer would be installed. It is not recommended that any easement with a facility is allowed for an encroachment.

RECOMMENDATION

Move to budget a Capital Project to replace the 36" Clay Tile from Erie Street to 4 Mile Road for 2024.

Move to recommend denial of a request for a concrete patio encroachment within the 12' Utility Easement & (17.93' to 12' x 126.89') Storm Sewer Maintenance Easement on the property located at 5040 Candlelight Drive due to the following:

The Caledonia Utility District has a facility located within the easement that the encroachment is requested.

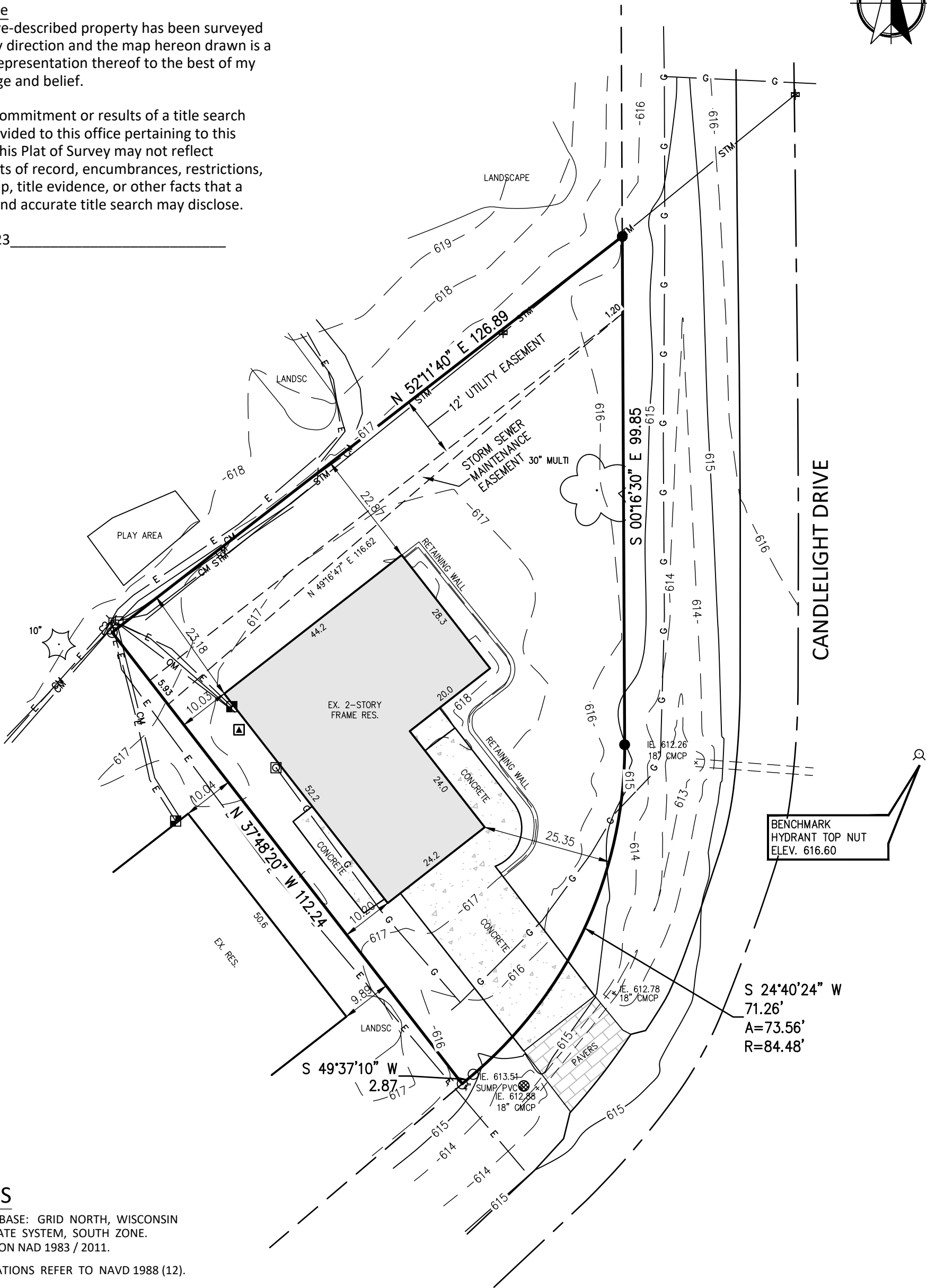
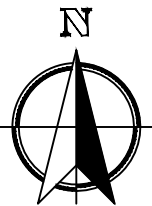
Plat of a survey for MATTHEW ALBRECHT of Lot Nine (9), Block Two (2), Club View, being a Subdivision of part of the Southwest One-quarter (1/4) of Section Twenty-one (21), Township Four (4) North, Range Twenty-three (23) East. Said land being in the Village of Caledonia, in Racine County, State of Wisconsin.

Certificate

The above-described property has been surveyed under my direction and the map hereon drawn is a correct representation thereof to the best of my knowledge and belief.

No title commitment or results of a title search were provided to this office pertaining to this survey. This Plat of Survey may not reflect easements of record, encumbrances, restrictions, ownership, title evidence, or other facts that a current and accurate title search may disclose.

4/10/2023



NOTES

BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE.
BASED UPON NAD 1983 / 2011.
ALL ELEVATIONS REFER TO NAVD 1988 (12).

LEGEND

- | | | |
|---------------------|-------------------------|---------------------|
| ● 3/4" REBAR SET | —E— ELECTRIC LINE | 6" DECIDUOUS TREE |
| ○ 1-1/4" PIPE FOUND | —G— GAS MAIN | 6" CONIFEROUS TREE |
| ⊠ DRAIN TILE | —CM— COMMUNICATION LINE | ⊠ ELECTRIC PEDESTAL |
| ⊗ SUMP HOSE | —STM— STORM SEWER | ⊗ HYDRANT |
| ⊠ ELECTRIC METER | ⊠ HVAC | ⊗ BUSH |
| ⊠ GAS METER | ⊠ COMMUNICATION BOX | |



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

FIELD WORK 4-06-2023 BY WJB / JME
DRAWN 4-10-2023 BY SCB
SCALE 1" = 20'
SHEET 1 OF 1 SHEETS
JOB NO. 2023.0046.01