

VILLAGE BOARD MEETING AGENDA**Tuesday, June 27, 2023 at 6:00 p.m.****Caledonia Village Hall - 5043 Chester Lane**

1. **Meeting called to order**
2. **Pledge of Allegiance**
3. **Roll Call**
4. **Approval of Minutes**
 - Village Board – June 13, 2023
5. **Citizens Reports (citizen comments are in-person only)**
6. **Committee Reports**
 - A. Finance
 1. Approval of A/P checks
 - B. Legislative & Licensing
 1. Grant 2023-2024 Class A and Class B Beer & Liquor Licenses
7. **Ordinances and Resolutions**
 - A. **Resolution 2023-65** – A Resolution Of The Village Board Of The Village Of Caledonia Authorizing The Acceptance Of A Subgrant From The Wisconsin Elections Commission To Be Used Towards The Purchase Of Redesigned Absentee Ballot Envelopes (*Finance Committee: 06/27/2023 TBD*)
 - B. **Resolution 2023-66** – A Resolution Of The Village Board Of The Village Of Caledonia To Approve A Development Agreement With The Richard & Diane Ruffo Revocable Trust Dated 4/22/2009 For The Extension Of Corona Drive (*Village Board Only*)
 - C. **Resolution 2023-67** – A Resolution Of The Village Board Of The Village Of Caledonia Approving A Request For A Site, Building, & Operations Plan To Construct And Utilize A ±70,131 Square-Foot Institutional Building For A Youth Development And Care Facility Located At 2300 Three Mile Road, Village Of Caledonia, Racine County, WI; Michael Landsdorf, Applicant; Racine County, Owner (*Plan Commission: 06/26/2023 TBD*)
 - D. **Resolution 2023-68** – A Resolution Of The Village Board Of The Village Of Caledonia Approving A Request For A Site, Building, & Operations Plan To Construct And Utilize A ±240 Square-Foot Open-Air Structure Located At 2825 Four 1/2 Mile Road, Village Of Caledonia, Racine County, WI; Sheri Manka, Applicant; JMS Investments LLC, Owner (*Plan Commission: 06/26/2023 TBD*)
 - E. **Resolution 2023-69** – A Resolution Of The Village Board Of The Village Of Caledonia Approving The Use Of Contingency Funds From The Public Safety Facility Project For Grading, Restoration, And Installation Of Pedestrian Trails Contiguous To The Village Campus (*Village Board Only*)
8. **New Business**
 - A. Code Enforcement Update (*Village Board Only*)
 - B. Appointment to the Racine Wastewater Commission (*Village Board Only*)
9. **Closed Session Items**
 - A. The VILLAGE BOARD will take up a motion to go into CLOSED SESSION, for the following purposes: pursuant to s. 19.85(1)(e), Wis. Stat., deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session: specifically: to discuss CCM-Caledonia, LLC in TID 5 (*Village Board Only*)
 - B. The Village Board reserves the right to RECONVENE INTO OPEN SESSION to take possible action on the items discussed during the CLOSED SESSION and to move to the remaining item(s) on this agenda and any other agendas posted
10. **Adjournment**

**Village Board Meeting
June 13, 2023**

1 - Order

President Weatherston called the Village Board meeting to order at 6:00 p.m. at the Caledonia Village Hall.

2 - Pledge of Allegiance

3 - Roll Call

Board: President Weatherston, Trustee Pierce, Trustee Stillman, Trustee Hammes, Trustee Martin, Trustee McManus, and Trustee Wishau.

Absent: None.

Staff: Also present were Public Services Director Anthony Bunkelman, Village Engineer Ryan Schmidt, Development Director Peter Wagner, Deputy Police Chief Shawn Engleman, Fire Chief Jeff Henningfeld, Finance Director Wayne Krueger, and Village Attorney/HR Manager Tyler Helsel. Village Attorney Elaine Ekes and Attorney Alan Marcuvitz were also present.

4 – Communications and Announcements

4A. Tony Minto Service Recognition

Trustee Wishau presented a plaque to Tony Minto in recognition of his service. Tony Minto was on the Caledonia Storm Water Utility District Commission for seven years, from 2010 – 2017, and in the Caledonia Water Utility District Commission for six years, from 2017 – 2023.

5 – Approval of Minutes

Village Board – May 23, 2023

Motion by Trustee Stillman to approve the Village Board minutes of the following meeting(s) as printed. Seconded by Trustee McManus. Motion carried unanimously.

6 – Citizens Reports (citizen comments are in-person only)

Curt Kubert, 2009 4 Mile Road, had a neighbor cut down his trees. He is seeking a resolution and may go to small claims court.

7 – Committee Reports

7A - (Approval of A/P checks)

Village – \$1,016,054.69

US Bank – \$35,674.52

Motion by Trustee Wishau to approve the A/P checks as presented for \$1,016,054.69. Seconded by Trustee Martin.

Trustee Hammes expressed a preference for supporting local businesses rather than Amazon.

Motion carried, unanimously.

Motion by Trustee Wishau to approve the US Bank List as presented for \$35,674.52. Seconded by Trustee McManus. Motion carried, unanimously.

7B. Legislative & Licensing

1. Grant 2023-2024 Class A and Class B Beer & Liquor Licenses

Clerk Hoeffert requested approval for the licenses, with the exception of Pick n' Save, which requires a last-minute agent change.

Motion by Trustee Martin to Grant 2023-2024 Class A and Class B Beer & Liquor Licenses listed, with the exception of Pick n' Save. Seconded by Trustee Hammes. Motion carried, unanimously.

Motion by Trustee Stillman to take the agenda out of order, starting with item 8O. Seconded by Trustee McManus. Motion carried, unanimously.

8 – Ordinances and Resolutions

8O – Resolution 2023-63 – Resolution Of The Village Board Of The Village Of Caledonia Approving An Amended Tax Incremental District No. 5 Development Agreement With Cornerstone Development Of S.E. Wisconsin LLC For The Glen At Waters Edge And Approval Of Assignment Of Rights Under The Agreement To The Glen At Waters Edge As The Developing Entity (Village Board Only)

Attorney Marcuvitz elaborated on the document changes and the process of recording them. There is one modification to the year-by-year payment due to a delayed start.

Motion by Trustee Martin to approve Resolution 2023-63 – Resolution Of The Village Board Of The Village Of Caledonia Approving An Amended Tax Incremental District No. 5 Development Agreement With Cornerstone Development Of S.E. Wisconsin LLC For The Glen At Waters Edge And Approval Of Assignment Of Rights Under The Agreement To The Glen At Waters Edge As The Developing Entity (Village Board Only). Seconded by Trustee Stillman. Motion carried, unanimously

8A – Ordinance 2023-09 – An Ordinance To Amend Zoning Districts Of The Zoning Map Adopted Under Section 16-2-3 Of The Code Of Ordinances Of The Village Of Caledonia Approving A Request To Rezone ±1.25 Acres From B-4, Planned Business District To B-3, Highway Business District For The Property Located At 3947 USH 41, Parcel Id No. 104-04-22-30-048-000, Village Of Caledonia, Racine County, Wi., Betty Luebke-Solfest, Applicant, Gregory & Betty Solfest, Owner (Plan Commission: 05/22/2023, motion carried, 7/0)

There was a clerical error regarding the zoning designation, which should be changed from B-3 Highway to B-2 Community.

Motion by Trustee Pierce to approve Ordinance 2023-09 – An Ordinance To Amend Zoning Districts Of The Zoning Map Adopted Under Section 16-2-3 Of The Code Of Ordinances Of The Village Of Caledonia Approving A Request To Rezone ±1.25 Acres From B-4, Planned Business District To B-2, Community Business District For The Property Located At 3947 USH 41, Parcel Id No. 104-04-22-30-048-000, Village Of Caledonia, Racine County, Wi., Betty Luebke-Solfest, Applicant, Gregory & Betty Solfest, Owner (Plan Commission: 05/22/2023, motion carried, 7/0). Seconded by Trustee Stillman. Motion carried, unanimously.

8B – Ordinance 2023-10 – An Ordinance To Amend Zoning Districts Of The Zoning Map Adopted Under Section 16-2-3 Of The Code Of Ordinances Of The Village Of Caledonia

Approving A Request To Rezone The Western ±25.0 Acres From B-4, Planned Business District To B-3 Planned Business District For The Property Located Directly South Of 6009 USH 41 On Ush 41 (Parcel No. 104-04-22-19-037-000), Village Of Caledonia, Racine County, Wi. Luke Sebald, Applicant, Caledonia Trailers LLC, Owner (Plan Commission: 05/22/2023, motion carried, 7/0)

Motion by Trustee Hammes to approve Ordinance 2023-10 – An Ordinance To Amend Zoning Districts Of The Zoning Map Adopted Under Section 16-2-3 Of The Code Of Ordinances Of The Village Of Caledonia Approving A Request To Rezone The Western ±25.0 Acres From B-4, Planned Business District To B-3 Planned Business District For The Property Located Directly South Of 6009 USH 41 On Ush 41 (Parcel No. 104-04-22-19-037-000), Village Of Caledonia, Racine County, Wi. Luke Sebald, Applicant, Caledonia Trailers LLC, Owner (Plan Commission: 05/22/2023, motion carried, 7/0). Seconded by Trustee Martin. Motion carried, unanimously.

8C – Resolution 2023-51 – A Resolution Of The Village Board Of The Village Of Caledonia Approving A Sign Plan For The Commercial Development Located On The Parcel Directly South Of 6009 USH 41; Luke Sebald, Applicant, Caledonia Trailers LLC, Owner (Plan Commission: 05/22/2023, motion carried, 7/0)

Motion by Trustee Stillman to approve Resolution 2023-51 – A Resolution Of The Village Board Of The Village Of Caledonia Approving A Sign Plan For The Commercial Development Located On The Parcel Directly South Of 6009 USH 41; Luke Sebald, Applicant, Caledonia Trailers LLC, Owner (Plan Commission: 05/22/2023, motion carried, 7/0). Seconded by Trustee Stillman. Motion carried, unanimously.

8D – Resolution 2023-52 – A Resolution Of The Village Board Of The Village Of Caledonia Approving A Request To Amend The Conditional Use Permit To Allow Additional Time To Begin Construction Of A ±20,761 Square-Foot Commercial Building And Allow For The Operation Of A Commercial Trailer Sales And Service Business With Outdoor Display Of Merchandise For The Parcel Located Directly South Of 6009 Ush 41, Luke Sebald, Applicant, Caledonia Trailers LLC, Owner (Plan Commission: 05/22/2023, motion carried, 7/0)

Motion by Trustee Martin to Resolution 2023-52 – A Resolution Of The Village Board Of The Village Of Caledonia Approving A Request To Amend The Conditional Use Permit To Allow Additional Time To Begin Construction Of A ±20,761 Square-Foot Commercial Building And Allow For The Operation Of A Commercial Trailer Sales And Service Business With Outdoor Display Of Merchandise For The Parcel Located Directly South Of 6009 Ush 41, Luke Sebald, Applicant, Caledonia Trailers LLC, Owner (Plan Commission: 05/22/2023, motion carried, 7/0). Seconded by Trustee Stillman. Motion carried, unanimously.

8E – Resolution 2023-53 – A Resolution Of The Village Board Of The Village Of Caledonia To Approve A Site, Building, & Operations Plan To Construct A ±20,671 Square Foot Commercial Building To Operate A Commercial Trailer Sales And Service Business With Outdoor Display Of Merchandise For The Parcel Located Directly South Of 6009 USH 41, Luke Sebald, Applicant, Caledonia Trailers LLC, Owner (Plan Commission: 05/22/2023, motion carried, 7/0)

Motion by Trustee Pierce to approve Resolution 2023-53 – A Resolution Of The Village Board Of The Village Of Caledonia To Approve A Site, Building, & Operations Plan To Construct A ±20,671 Square Foot Commercial Building To Operate A Commercial Trailer Sales And Service Business With Outdoor Display Of Merchandise For The Parcel Located Directly South Of 6009 USH 41, Luke Sebald, Applicant, Caledonia Trailers LLC, Owner (Plan Commission: 05/22/2023, motion carried, 7/0). Seconded by Trustee Hammes. Motion carried, unanimously.

8F – Resolution 2023-54 – A Resolution Of The Village Board Of The Village Of Caledonia Approving A Request For A Site, Building, & Operations Plan To Construct And Utilize A ±42,300 Square-Foot Refrigerated Warehouse Building Addition With Loading Docks At 12725 Four Mile Road, Village Of Caledonia, Racine County, Wi; Curtis Schroeder, Applicant; Central Storage Warehouse, Owner (Plan Commission: 05/22/2023, motion carried, 7/0)

Motion by Trustee Stillman to approve Resolution 2023-54 – A Resolution Of The Village Board Of The Village Of Caledonia Approving A Request For A Site, Building, & Operations Plan To Construct And Utilize A ±42,300 Square-Foot Refrigerated Warehouse Building Addition With Loading Docks At 12725 Four Mile Road, Village Of Caledonia, Racine County, Wi; Curtis Schroeder, Applicant; Central Storage Warehouse, Owner (Plan Commission: 05/22/2023, motion carried, 7/0) . Seconded by Trustee Pierce.

It was noted that the expansion would result in increased traffic. There was confirmation regarding whether the expansion plan included provisions to address the issue of idling.

Motion carried, unanimously.

8G – Resolution 2023-55 – A Resolution Of The Village Board Of The Village Of Caledonia Approving A Request For A Site, Building, & Operations Plan To Construct An Electric Vehicle Charging Station At 13712 Northwestern Avenue, Village Of Caledonia, Racine County, Wi; Douglas Walkup, Applicant; Pilot Travel Centers LLC, Owner (Plan Commission: 05/22/2023, motion carried, 7/0)

Motion by Trustee Stillman to approve Resolution 2023-55 – A Resolution Of The Village Board Of The Village Of Caledonia Approving A Request For A Site, Building, & Operations Plan To Construct An Electric Vehicle Charging Station At 13712 Northwestern Avenue, Village Of Caledonia, Racine County, Wi; Douglas Walkup, Applicant; Pilot Travel Centers LLC, Owner (Plan Commission: 05/22/2023, motion carried, 7/0) . Seconded by Trustee Martin. Motion carried, unanimously.

8H – Resolution 2023-56 – Resolution Of The Village Board Of The Village Of Caledonia Authorizing The Payment To Thomas Nurmi For Auto Loss Claim Involving The Caledonia Police Department (Finance Committee: 05/23/2023, motion carried, 3/0)

Motion by Trustee Wishau to approve Resolution 2023-56 – Resolution Of The Village Board Of The Village Of Caledonia Authorizing The Payment To Thomas Nurmi For Auto Loss Claim Involving The Caledonia Police Department (Finance Committee: 05/23/2023, motion carried, 3/0). Seconded by Trustee Pierce. Motion carried, unanimously.

8I – Resolution 2023-57 – Resolution Of The Village Board Of The Village Of Caledonia Authorizing The Payment To Michael Strasser For A Claim Submitted To The Village On April 7, 2023 (Finance Committee: 05/23/2023, motion carried, 3/0)

Motion by Trustee Wishau to approve Resolution 2023-57 – Resolution Of The Village Board Of The Village Of Caledonia Authorizing The Payment To Michael Strasser For A Claim Submitted To The Village On April 7, 2023 (Finance Committee: 05/23/2023, motion carried, 3/0). Seconded by Trustee Stillman. Motion carried, unanimously.

8J – Resolution 2023-58 – Resolution Of The Village Board Of The Village Of Caledonia Authorizing The Payment To Matt Montemurro For A Claim Submitted To The Village On May 15, 2023 (Finance Committee: 05/23/2023, motion carried, 3/0)

Motion by Trustee Wishau to approve Resolution 2023-58 – Resolution Of The Village Board Of The Village Of Caledonia Authorizing The Payment To Matt Montemurro For A Claim Submitted To The Village On May 15, 2023

(Finance Committee: 05/23/2023, motion carried, 3/0). Seconded by Trustee Martin. Motion carried, unanimously.

8K – Resolution 2023-59 – Resolution Of The Village Board Of The Village Of Caledonia Requesting Legislative Action To Change The Allocation Of Reserve “Class B” Liquor Licenses Within The State Of Wisconsin (Legislative and Licensing Committee: 06/06/2023, motion carried, 3/0)

Motion by Trustee Martin to approve Resolution 2023-59 – Resolution Of The Village Board Of The Village Of Caledonia Requesting Legislative Action To Change The Allocation Of Reserve “Class B” Liquor Licenses Within The State Of Wisconsin (Legislative and Licensing Committee: 06/06/2023, motion carried, 3/0). Seconded by Trustee Hammes. Motion carried, unanimously.

8L – Resolution 2023-60 – Resolution Authorizing The Village Of Caledonia To Accept A Grant From The Geiger Family Foundation To Be Used Towards The Purchase Of Fitness Equipment For The Public Safety Building (Finance Committee: 06/13/2023, Motion TBD)

Motion by Trustee Stillman to approve Resolution 2023-60 – Resolution Authorizing The Village Of Caledonia To Accept A Grant From The Geiger Family Foundation To Be Used Towards The Purchase Of Fitness Equipment For The Public Safety Building (Finance Committee: 06/13/2023, Motion TBD). Seconded by Trustee Hammes.

The check was presented to Chief Botsch during the House of Harley Davidson's Law Enforcement Memorial Ride, which honors fallen officers and supports their families.

Motion carried, unanimously.

8M – Resolution 2023-61 – Resolution Authorizing The Village Of Caledonia To Execute A Watermain Easement Agreement With Bluffside Estates LLC (Utility District Commission: 06/07/2023, motion carried, 5/0)

Motion by Trustee Wishau to approve Resolution 2023-61 – Resolution Authorizing The Village Of Caledonia To Execute A Watermain Easement Agreement With Bluffside Estates LLC (Utility District Commission: 06/07/2023, motion carried, 5/0). Seconded by Trustee Martin. Motion carried, unanimously.

8N – Resolution 2023-62 – Resolution Authorizing The Village Of Caledonia To Execute A Storm Water Drainage Easement Agreement With Bluffside Estates LLC (Utility District Commission: 06/07/2023, motion carried, 5/0)

Motion by Trustee Wishau to approve Resolution 2023-62 – Resolution Authorizing The Village Of Caledonia To Execute A Storm Water Drainage Easement Agreement With Bluffside Estates LLC (Utility District Commission: 06/07/2023, motion carried, 5/0). Seconded by Trustee Martin. Motion carried, unanimously.

8P – Resolution 2023-64 – Resolution Authorizing The Village Of Caledonia To Contract With Baycom, Inc. To Install Existing Radio Equipment On The 7 Mile Water Tower (Finance Committee: 06/13/2023, Motion TBD)

Motion by Trustee Martin to approve Resolution 2023-64 – Resolution Authorizing The Village Of Caledonia To Contract With Baycom, Inc. To Install Existing Radio Equipment On The 7 Mile

Water Tower (Finance Committee: 06/13/2023, Motion TBD). Seconded by Trustee Hammes. Motion carried, unanimously.

9 – New Business

9A. Pre-hiring Police Officers – 2023 (Village Board Only)

The request to pre-hire police officers in 2023 was discussed. The authorized increase in police staffing from 36 to 44 officers will likely take over two years to implement. The Chief of Police requested authorization to pre-hire 2 to 4 officers in late 2023 to accelerate the hiring process. The estimated costs for pre-hiring non-certified candidates were provided. While the department lacks funding in the 2023 budget, it was suggested to explore alternative funding sources. The excess personnel funding in the 2024 budget could potentially offset the costs incurred in 2023. There was further discussion and consideration of the request.

Motion by Trustee McManus to approve Pre-hiring Police Officers – 2023. Seconded by Trustee Stillman. Motion carried, unanimously.

10 – Report from Village Administrator

- Public meeting reminder for Horlick Dam proposal by Army Corps of Engineers held at River Bend on June 14th, from 5:30 PM – 7 PM.
- Retirement of Bob Lui, Utility Operations Supervisor, after 39 years of service
- Retirement of Bill Jacoby, Highway Operations Supervisor, after 41 years of service
- Village Hall adopted summer hours with a flexible schedule for hourly employees, allowing them to leave at noon on Fridays. Department heads will provide coverage during this time.

11 – Adjournment

Motion by Trustee Wishau to adjourn. Seconded by Trustee Stillman. Motion carried, unanimously.

Meeting adjourned at 7:01 p.m.

Respectfully submitted, Joslyn Hoeffert, Village Clerk

Fund	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Invoice Amount	GL Account and Title
3 RIVERS BILLING, INC.							
General Fund	3	3 RIVERS BILLING, INC.	6260	MAY-23; EMS BILLING SERVICE	06/05/2023	6,304.83	100-35-61000 Professional Services
Total 3 RIVERS BILLING, INC.:						6,304.83	
ACH - FOTH INFRASTRUCTURE & ENVIRO, LLC							
TID #4 Fund	666	ACH - FOTH INFRASTRUCTURE	84075	PROJ. 0021C031.11 BADGERLA	06/01/2023	3,532.40	414-23163-002 Badgerland-Intersections
TID #4 Fund	666	ACH - FOTH INFRASTRUCTURE	84080	PROJECT 0022C031.10 BADGE	06/01/2023	6,081.76	414-23163-001 Badgerland / Zilber Developmen
General Fund	666	ACH - FOTH INFRASTRUCTURE	84081	PROJECT 0022C031.12 - GLEN	06/01/2023	55.20	100-23163-077 Glen At Waters Edge/6020 Erie
TID #5 Fund	666	ACH - FOTH INFRASTRUCTURE	84083	TID 5 DOMINICAN LIFT STATION	06/01/2023	5,521.64	415-00-61000 Professional Services
TID #5 Fund	666	ACH - FOTH INFRASTRUCTURE	84084	TID 5 CENTRAL LIFT STATION T	06/08/2023	40,181.38	415-00-61000 Professional Services
TID #4 Fund	666	ACH - FOTH INFRASTRUCTURE	84087	TID 4 - I94 WATER DEMAND ST	06/01/2023	2,135.50	414-00-61000 Professional Services
General Fund	666	ACH - FOTH INFRASTRUCTURE	84088	BLUFFSIDE DEVELOPMENT	06/01/2023	20,428.30	100-23163-035 Bluffside
TID #4 Fund	666	ACH - FOTH INFRASTRUCTURE	84090	ADAMS RD WATER MAIN EXTE	06/08/2023	2,169.60	414-00-61000 Professional Services
TID #4 Fund	666	ACH - FOTH INFRASTRUCTURE	84091	ADAMS ROAD ELEVATED STOR	06/01/2023	1,030.20	414-00-61000 Professional Services
TID #4 Fund	666	ACH - FOTH INFRASTRUCTURE	84414	PROJ. 0021C031.11 BADGERLA	06/16/2023	2,252.60	414-23163-002 Badgerland-Intersections
TID #4 Fund	666	ACH - FOTH INFRASTRUCTURE	84415	PROJECT 0022C031.10 BADGE	06/16/2023	29,993.58	414-23163-001 Badgerland / Zilber Developmen
Total ACH - FOTH INFRASTRUCTURE & ENVIRO, LLC:						113,382.16	
ACH - PETPARTNERS							
General Fund	1501	ACH - PETPARTNERS	060723	06/02/2023 PET INSURANCE JU	06/02/2023	233.46	100-21537-000 Pet Insurance Deductions
Total ACH - PETPARTNERS:						233.46	
ACH - SUPERFLEET							
Water Utility Fund	1730	ACH - SUPERFLEET	4/20/2023	VEHICLE FUEL	05/20/2023	18.86	500-00-63200 Fuel, Oil, Fluids
Sewer Utility Fund	1730	ACH - SUPERFLEET	4/20/2023	VEHICLE FUEL	05/20/2023	18.86	501-00-63200 Fuel, Oil, Fluids
General Fund	1730	ACH - SUPERFLEET	EJ994 051820	FUEL FOR CFD VEHICLES	05/26/2023	789.80	100-35-63200 Fuel, Oil, Fluids
Total ACH - SUPERFLEET:						827.52	
ACH - WCA GROUP HEALTH TRUST							
General Fund	9142	ACH - WCA GROUP HEALTH TR	060123	06/01/2023 JUNE 2023 HEALTH I	06/01/2023	231,728.24	100-21535-000 Health Insurance Deductions
Total ACH - WCA GROUP HEALTH TRUST:						231,728.24	
ACH - WE ENERGIES							
General Fund	380	ACH - WE ENERGIES	4593930452	BILLING PERIOD 4/18/2023 TO 5	05/25/2023	20.48	100-70-64140 Utilities
General Fund	380	ACH - WE ENERGIES	4593930452	BILLING PERIOD 4/18/2023 TO 5	05/25/2023	15.20	100-35-64140 Utilities
Sewer Utility Fund	380	ACH - WE ENERGIES	4605838161	BILLING PERIOD 4/27/2023 TO 5	06/21/2023	12,281.55	501-00-64140 Utilities
Water Utility Fund	380	ACH - WE ENERGIES	4605838161	BILLING PERIOD 4/27/2023 TO 5	06/21/2023	1,224.17	500-00-64140 Utilities
Storm Water Utility Fund	380	ACH - WE ENERGIES	4605838161	BILLING PERIOD 4/27/2023 TO 5	06/21/2023	232.09	502-00-64140 Utilities

Fund	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Invoice Amount	GL Account and Title	
General Fund	380	ACH - WE ENERGIES	4614150256	BILLING PERIOD 5/4/2023 TO 6/	06/13/2023	1,091.01	100-30-64140	Utilities
General Fund	380	ACH - WE ENERGIES	4614150256	BILLING PERIOD 5/4/2023 TO 6/	06/13/2023	2,067.55	100-35-64140	Utilities
General Fund	380	ACH - WE ENERGIES	4614150256	BILLING PERIOD 5/4/2023 TO 6/	06/13/2023	296.80	100-41-64140	Utilities
General Fund	380	ACH - WE ENERGIES	4614150256	BILLING PERIOD 5/4/2023 TO 6/	06/13/2023	2,631.96	100-43-64140	Utilities
General Fund	380	ACH - WE ENERGIES	4614150256	BILLING PERIOD 5/4/2023 TO 6/	06/13/2023	558.50	100-70-64140	Utilities
General Fund	380	ACH - WE ENERGIES	4614150256	BILLING PERIOD 5/4/2023 TO 6/	06/13/2023	1,126.04	100-90-64290	Street Lighting
General Fund	380	ACH - WE ENERGIES	4614150256	BILLING PERIOD 5/4/2023 TO 6/	06/13/2023	23.58	100-70-64140	Utilities
Total ACH - WE ENERGIES:						21,568.93		
AERO COMPRESSED GASES								
General Fund	29	AERO COMPRESSED GASES	468960	OXYGEN FOR MEDICAL USE	06/06/2023	47.50	100-35-64280	Medical Supplies
Total AERO COMPRESSED GASES:						47.50		
AMPLIFY GRAPHICS & BRANDING								
General Fund	2127	AMPLIFY GRAPHICS & BRANDI	171146	5-1-2023 TO 5-31-2023 SERVICE	06/14/2023	103.17	100-43-62100	Contracted Services
Total AMPLIFY GRAPHICS & BRANDING:						103.17		
APEX KEY & LOCK								
General Fund	118	APEX KEY & LOCK	INV-12426	CHANGE CODE ON DOORS	06/01/2023	391.75	100-30-64240	Building Repairs & Maintenance
Total APEX KEY & LOCK:						391.75		
ARAMARK								
General Fund	128	ARAMARK	6140187160	MAY-23; RUG DELIVERY - POLI	05/31/2023	499.98	100-43-62100	Contracted Services
General Fund	128	ARAMARK	6140194873	RUG DELIVERY - VILLAGE HALL	06/14/2023	346.47	100-43-62100	Contracted Services
Total ARAMARK:						846.45		
ASCENSION WI EMP SOLUTIONS								
General Fund	9226	ASCENSION WI EMP SOLUTION	411381	05/31/2023 EMPLOYEE DRUG A	05/31/2023	368.00	100-41-51100	Testing/Physicals
Water Utility Fund	9226	ASCENSION WI EMP SOLUTION	411381	05/31/2023 EMPLOYEE DRUG A	05/31/2023	57.50	500-00-51100	Testing/Physicals
Sewer Utility Fund	9226	ASCENSION WI EMP SOLUTION	411381	05/31/2023 EMPLOYEE DRUG A	05/31/2023	57.50	501-00-51100	Testing/Physicals
Total ASCENSION WI EMP SOLUTIONS:						483.00		
AT & T								
Donation Fund	145	AT & T	464641	PHONE LOCATE FEES	05/19/2023	550.00	250-30-64191	Police Federal Funds
Total AT & T:						550.00		

Fund	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Invoice Amount	GL Account and Title
BEACON ATHLETICS							
General Fund	186	BEACON ATHLETICS	0572451-IN	HOME PLATE MATS AND FREIG	06/07/2023	74.00	100-70-64070 Work Supplies
Total BEACON ATHLETICS:						74.00	
BELLE CITY FIRE & SAFETY							
General Fund	196	BELLE CITY FIRE & SAFETY	58587	MISC. FIRST AID KIT SUPPLIES	06/06/2023	190.60	100-43-64070 Work Supplies
General Fund	196	BELLE CITY FIRE & SAFETY	82369	RECHARGE FIRE EXTINGUISH	06/21/2023	46.60	100-30-64070 Work Supplies
Total BELLE CITY FIRE & SAFETY:						237.20	
BUILDING PERMIT REFUND VENDOR							
General Fund	271	BUILDING PERMIT REFUND VE	2021-616 RFN	SITE RESTORATION BOND REF	06/13/2023	1,000.00	100-23160-000 Clean-Up Bonds
General Fund	271	BUILDING PERMIT REFUND VE	22-ROP-02 RF	ROAD OPENING BOND REFUN	06/13/2023	500.00	100-23161-000 Road Opening Bonds
Total BUILDING PERMIT REFUND VENDOR:						1,500.00	
BUY RIGHT, INC.							
General Fund	273	BUY RIGHT, INC.	14873-401249	#216 BRAKE PARTS	06/05/2023	369.14	100-30-63300 Vehicle Repairs & Maintenance
General Fund	273	BUY RIGHT, INC.	14873-402131	WINDSHIELD WIPERS	06/13/2023	28.12	100-30-63300 Vehicle Repairs & Maintenance
General Fund	273	BUY RIGHT, INC.	401172	BRAKES FOR M-12	06/06/2023	88.38	100-35-63300 Vehicle Repairs & Maintenance
General Fund	273	BUY RIGHT, INC.	402355	SPRAY WAX	06/19/2023	14.70	100-35-63300 Vehicle Repairs & Maintenance
General Fund	273	BUY RIGHT, INC.	402482	CABIN AIR FILTER FOR BATT 11	06/21/2023	25.49	100-35-63300 Vehicle Repairs & Maintenance
Total BUY RIGHT, INC.:						525.83	
CITIES & VILLAGES MUTUAL INSURANCE CO.							
General Fund	367	CITIES & VILLAGES MUTUAL IN	2023-APP-144	Q2-2023; WORKERS COMP	06/16/2023	67,379.25	100-90-50260 Workers Compensation
Storm Water Utility Fund	367	CITIES & VILLAGES MUTUAL IN	2023-APP-144	Q2-2023; WORKERS COMP	06/16/2023	2,343.00	502-00-50260 Workers Compensation
Water Utility Fund Sewer	367	CITIES & VILLAGES MUTUAL IN	2023-APP-144	Q2-2023; WORKERS COMP	06/16/2023	2,481.25	500-00-50260 Workers Compensation
Utility Fund	367	CITIES & VILLAGES MUTUAL IN	2023-APP-144	Q2-2023; WORKERS COMP	06/16/2023	2,481.25	501-00-50260 Workers Compensation
Total CITIES & VILLAGES MUTUAL INSURANCE CO.:						74,684.75	
CITY OF RACINE..							
General Fund	374	CITY OF RACINE..	55631	FEB 2023 RADIO REPAIR	06/08/2023	48.00	100-30-62300 Equipment Rental & Maintenance
Total CITY OF RACINE..:						48.00	
CLARK DIETZ, INC.							
Capital Projects Fund	9230	CLARK DIETZ, INC.	437818	PSB - EMERGENCY SIGNALS	06/07/2023	4,577.50	400-75-65025 PSB-VILLAGE SOURCED BLDG IMP

Fund	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Invoice Amount	GL Account and Title
Total CLARK DIETZ, INC.:						4,577.50	
CLEANCO RACINE, INC							
General Fund	9021	CLEANCO RACINE, INC	7777	06/15/2023 CLEANING SERVICE	06/15/2023	910.00	100-43-62100 Contracted Services
Total CLEANCO RACINE, INC:						910.00	
CLL SERVICES INC							
General Fund	9085	CLL SERVICES INC	737	05/09/2023 - 05/30/2023 MILEAG	06/11/2023	166.36	100-90-62900 Private Property Maintenance
General Fund	9085	CLL SERVICES INC	737	05/09/2023 - 05/30/2023 ADMINI	06/11/2023	440.00	100-90-62900 Private Property Maintenance
General Fund	9085	CLL SERVICES INC	738	05/19/2023 MOWING SERVICES	06/11/2023	200.00	100-90-62900 Private Property Maintenance
General Fund	9085	CLL SERVICES INC	738	05/31/2023 MOWING SERVICES	06/11/2023	240.00	100-90-62900 Private Property Maintenance
General Fund	9085	CLL SERVICES INC	739	06/12/2023 MAILING RECEIPTS	06/12/2023	195.12	100-90-62900 Private Property Maintenance
Total CLL SERVICES INC:						1,241.48	
COMPLETE OFFICE OF WISCONSIN							
General Fund	392	COMPLETE OFFICE OF WISCO	486727	PRINTER CARTRIDGE	06/02/2023	58.72	100-13-64030 Office Supplies
General Fund	392	COMPLETE OFFICE OF WISCO	491949	JANITORIAL SUPPLIES	06/14/2023	174.37	100-35-64100 Janitorial Supplies
General Fund	392	COMPLETE OFFICE OF WISCO	495650	LAMINATING POUCHES	06/16/2023	14.01	100-13-64030 Office Supplies
Total COMPLETE OFFICE OF WISCONSIN:						247.10	
CONSERV FS INC.							
General Fund	3962	CONSERV FS INC.	777004176	4001 GAL UNLEADED GAS	06/01/2023	12,043.01	100-41-63200 Fuel, Oil, Fluids
Total CONSERV FS INC.:						12,043.01	
DOERFLINGER, ANDREW & SHELLY							
General Fund	537	DOERFLINGER, ANDREW & SH	2017-104-236	SITE RESTORATION BOND REF	06/22/2023	1,000.00	100-23160-000 Clean-Up Bonds
Total DOERFLINGER, ANDREW & SHELLY:						1,000.00	
DP WIGLEY COMPANY							
General Fund	9233	DP WIGLEY COMPANY	241217	WATER SOFTENER SALT	06/14/2023	86.90	100-35-64100 Janitorial Supplies
Total DP WIGLEY COMPANY:						86.90	
EWALD AUTOMOTIVE GROUP							
Capital Projects Fund	627	EWALD AUTOMOTIVE GROUP	20975	212 NEW CHARGER	06/15/2023	30,216.00	400-30-65040 Equipment-Vehicles
Capital Projects Fund	627	EWALD AUTOMOTIVE GROUP	20975	212 NEW CHARGER UPGRADE	06/15/2023	5,006.50	400-30-65040 Equipment-Vehicles

Fund	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Invoice Amount	GL Account and Title
Total EWALD AUTOMOTIVE GROUP:						35,222.50	
FABICK CAT							
General Fund	3800	FABICK CAT	PIMK0256586	O RINGS	05/19/2023	44.06	100-41-63300 Vehicle Repairs & Maintenance
General Fund	3800	FABICK CAT	PIMK0257041	COMPRESSOR	06/01/2023	1,205.43	100-41-64250 Equipment Repairs & Maintenance
General Fund	3800	FABICK CAT	PIMK0257319	RECEIVER	05/23/2023	170.32	100-41-64250 Equipment Repairs & Maintenance
General Fund	3800	FABICK CAT	PIMK0259447	O RING	06/02/2023	10.44	100-41-63300 Vehicle Repairs & Maintenance
General Fund	3800	FABICK CAT	PIMK0259448	FREIGHT ON PARTS	06/02/2023	14.95	100-41-63300 Vehicle Repairs & Maintenance
General Fund	3800	FABICK CAT	PIMK0259732	#55 V BELTS	06/05/2023	23.08	100-41-63300 Vehicle Repairs & Maintenance
Total FABICK CAT:						1,468.28	
FGM ARCHITECTS							
Capital Projects Fund	652	FGM ARCHITECTS	21-3278.01-20	CALEDONIA PUBLIC SAFETY FA	06/13/2023	13,756.00	400-75-65020 PSB-FGM Building Improvements
Total FGM ARCHITECTS:						13,756.00	
FRANKSVILLE AUTOMOTIVE LLC							
General Fund	679	FRANKSVILLE AUTOMOTIVE LL	14811	#216 BRAKES	06/05/2023	267.50	100-30-63300 Vehicle Repairs & Maintenance
General Fund	679	FRANKSVILLE AUTOMOTIVE LL	14836	#213 OIL CHANGE	06/05/2023	59.74	100-30-63300 Vehicle Repairs & Maintenance
General Fund	679	FRANKSVILLE AUTOMOTIVE LL	14857	#208 OIL CHANGE	06/12/2023	59.74	100-30-63300 Vehicle Repairs & Maintenance
General Fund	679	FRANKSVILLE AUTOMOTIVE LL	14858	#205 OIL CHANGE	06/12/2023	59.74	100-30-63300 Vehicle Repairs & Maintenance
General Fund	679	FRANKSVILLE AUTOMOTIVE LL	14874	#203 OIL CHANGE/TIRE ROTATI	06/14/2023	101.97	100-30-63300 Vehicle Repairs & Maintenance
Total FRANKSVILLE AUTOMOTIVE LLC:						548.69	
GALLS LLC							
Donation Fund	693	GALLS LLC	024516889	OFC FRIESEMA	05/16/2023	73.60	250-30-64190 Police Dept Donations
Donation Fund	693	GALLS LLC	024555906	OFC FRIESEMA	05/19/2023	312.21	250-30-64190 Police Dept Donations
Donation Fund	693	GALLS LLC	024555926	OFC FRIESEMA	05/19/2023	25.89	250-30-64190 Police Dept Donations
General Fund	693	GALLS LLC	024662124	VANNUCCI VEST	05/31/2023	1,000.00	100-30-50280 Clothing Allowance
Total GALLS LLC:						1,411.70	
GUETZKE & ASSOCIATES, INC.							
General Fund	767	GUETZKE & ASSOCIATES, INC.	3657123-IN	HWY DEPT. FIRE ALARM ANUAL	06/06/2023	350.00	100-41-64240 Building Repairs & Maintenance
Total GUETZKE & ASSOCIATES, INC.:						350.00	
IBD LLC							
General Fund	828	IBD LLC	100694057	BATTERY FOR STOCK	06/06/2023	145.95	100-35-63300 Vehicle Repairs & Maintenance

Fund	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Invoice Amount	GL Account and Title
Total IBD LLC:						145.95	
INTOXIMETERS							
General Fund	850	INTOXIMETERS	735642	DRY GAS TANK	06/05/2023	150.00	100-30-64070 Work Supplies
Total INTOXIMETERS:						150.00	
JIMS GARAGE DOOR SERVICE, INC.							
General Fund	943	JIMS GARAGE DOOR SERVICE,	217931	STATION 12; GARAGE DOOR R	06/07/2023	923.00	100-35-64240 Building Repairs & Maintenance
Total JIMS GARAGE DOOR SERVICE, INC.:						923.00	
JOHNSON CONTROLS SECURITY SOLUTIONS							
General Fund	969	JOHNSON CONTROLS SECURI	38948101	JUL23-DEC23; SEMI ANNUAL AL	06/10/2023	1,616.85	100-30-62100 Contracted Services
Total JOHNSON CONTROLS SECURITY SOLUTIONS:						1,616.85	
KORTENDICK HARDWARE							
General Fund	1096	KORTENDICK HARDWARE	158259	ROUND UP	06/01/2023	98.96	100-70-64070 Work Supplies
General Fund	1096	KORTENDICK HARDWARE	158280	POLYPROPYLENE ROPE	06/02/2023	26.98	100-70-64070 Work Supplies
General Fund	1096	KORTENDICK HARDWARE	158280	SWIFFER FLOOR CLEANER	06/02/2023	12.58	100-70-64100 Janitorial Services
General Fund	1096	KORTENDICK HARDWARE	158280	MOTOMIX GAS	06/02/2023	39.96	100-70-63200 Fuel, Oil, Fluids
General Fund	1096	KORTENDICK HARDWARE	158317	HOSE AND NOZZLE FOR ST. 11	06/06/2023	20.32	100-35-64240 Building Repairs & Maintenance
General Fund	1096	KORTENDICK HARDWARE	158406	(2) DIAMOND BRAIDED POLYPR	06/07/2023	121.45	100-70-64070 Work Supplies
General Fund	1096	KORTENDICK HARDWARE	158411	(RETURN) NETTING	06/07/2023	-40.49	100-70-64070 Work Supplies
General Fund	1096	KORTENDICK HARDWARE	158416	ROUND UP	06/07/2023	30.58	100-70-64070 Work Supplies
General Fund	1096	KORTENDICK HARDWARE	158436	TENT PEGS, INTER. PAINT, PAI	06/08/2023	32.36	100-70-64070 Work Supplies
General Fund	1096	KORTENDICK HARDWARE	158476	TRASH BAGS	06/09/2023	30.58	100-70-64100 Janitorial Services
General Fund	1096	KORTENDICK HARDWARE	158476	LOCTITE ALL PURPOSE ADHES	06/09/2023	16.72	100-70-64070 Work Supplies
General Fund	1096	KORTENDICK HARDWARE	158575	THREADLOCKER, MISC. FASTN	06/14/2023	47.23	100-70-64070 Work Supplies
General Fund	1096	KORTENDICK HARDWARE	158595	CAR WAX FOR ROLLER DOORS	06/21/2023	30.56	100-35-63300 Vehicle Repairs & Maintenance
Total KORTENDICK HARDWARE:						467.79	
KUSTOM SIGNALS, INC.							
Capital Projects Fund	9274	KUSTOM SIGNALS, INC.	603461	SPEED TRAILER	05/25/2023	8,308.24	400-30-65030 Equipment
Total KUSTOM SIGNALS, INC.:						8,308.24	
NASSCO, INC.							
General Fund	1371	NASSCO, INC.	6299599	HIGH DENSITY CAN LINERS - C	05/31/2023	138.61	100-43-64100 Janitorial Supplies

Fund	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Invoice Amount	GL Account and Title
Total NASSCO, INC.:						138.61	
NATURE SCAPE LAWN AND LANDSCAPE							
General Fund	9124	NATURE SCAPE LAWN AND LA	GORNEY	2023 WEED CONTROL AT GOR	06/02/2023	636.00	100-70-62700 Grounds Service
Total NATURE SCAPE LAWN AND LANDSCAPE:						636.00	
ONTECH SYSTEMS, INC							
General Fund	1071	ONTECH SYSTEMS, INC	79175	APR-23; MONTHLY CLOUD BAC	05/16/2023	1,175.00	100-90-64300 IT Maintenance & Subscriptions
General Fund	1071	ONTECH SYSTEMS, INC	79226	1 YR EXT WARRANTY; CISCO N	05/16/2023	7,861.66	100-90-64300 IT Maintenance & Subscriptions
General Fund	1071	ONTECH SYSTEMS, INC	79232	MAY-23; IT DIRECT TICKETS	05/16/2023	6,003.35	100-90-64310 IT Contracted Services
General Fund	1071	ONTECH SYSTEMS, INC	79753	MAY-23; MONTHLY MANAGED I	05/31/2023	3,929.00	100-90-64300 IT Maintenance & Subscriptions
General Fund	1071	ONTECH SYSTEMS, INC	80023	MAY-23; IT DIRECT SUPPORT; V	05/31/2023	12,006.17	100-90-64310 IT Contracted Services
Capital Projects Fund	1071	ONTECH SYSTEMS, INC	80048	PSB; NETWORK SWITCHES, AC	05/31/2023	22,301.00	400-75-65025 PSB-VILLAGE SOURCED BLDG IMP
General Fund	1071	ONTECH SYSTEMS, INC	80080	JUN-23; SONICWALL FIREWALL	06/16/2023	1,499.00	100-90-64320 IT Infrastructure
General Fund	1071	ONTECH SYSTEMS, INC	80086	JUN-23; MONTHLY DIRECT IT TI	06/16/2023	7,333.94	100-90-64310 IT Contracted Services
General Fund	1071	ONTECH SYSTEMS, INC	80109	JUN-23; FIRE STATION 12 NET	06/16/2023	1,050.00	100-90-64310 IT Contracted Services
General Fund	1071	ONTECH SYSTEMS, INC	80327	MAY-23; MONTHLY CLOUD BAC	06/16/2023	1,105.00	100-90-64300 IT Maintenance & Subscriptions
Total ONTECH SYSTEMS, INC:						64,264.12	
PARK REFUND VENDOR							
General Fund	8999	PARK REFUND VENDOR	WRSA-DWB4A	CRAWFORD ESCROW REFUND	05/29/2023	25.00	100-00-46753 Park and Rec Rental
Total PARK REFUND VENDOR:						25.00	
PATS SERVICES INC.							
General Fund	1462	PATS SERVICES INC.	A-248182	MAY-23; GORNEY - PORTABLE	05/30/2023	120.00	100-70-62100 Contracted Services
General Fund	1462	PATS SERVICES INC.	A-248182	MAY-23; GORNEY - PORTABLE	05/30/2023	150.00	100-70-62100 Contracted Services
General Fund	1462	PATS SERVICES INC.	A-248219	MAY-23; NICOLSON WILDLIFE -	05/30/2023	150.00	100-70-62100 Contracted Services
Recycling Fund	1462	PATS SERVICES INC.	A-248555	YARDWASTE SITE - PORTABLE	06/05/2023	120.00	241-00-62100 Contracted Services
Total PATS SERVICES INC.:						540.00	
PETTY CASH							
General Fund	1493	PETTY CASH	060523	PETTY CASH REPLENISHMENT	06/05/2023	148.18	100-30-64030 Office Supplies
Donation Fund	1493	PETTY CASH	060523	PETTY CASH REPLENISHMENT;	06/05/2023	24.17	250-30-64190 Police Dept Donations
Total PETTY CASH:						172.35	
POMPS TIRE SERVICE							
General Fund	1517	POMPS TIRE SERVICE	160136632	TIRES FOR LOADER	06/06/2023	4,426.75	100-41-63300 Vehicle Repairs & Maintenance

Fund	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Invoice Amount	GL Account and Title
Total POMPS TIRE SERVICE:						4,426.75	
PRIME MEDIA							
General Fund	9191	PRIME MEDIA	0243742-IN	SQUAD PRINTER PAPER	06/09/2023	177.60	100-30-64070 Work Supplies
Total PRIME MEDIA:						177.60	
PRO PHOENIX							
General Fund	1528	PRO PHOENIX	2023226	PRO PHOENIX TRAINING LAEH	06/16/2023	745.00	100-30-51300 Education/Training/Conferences
General Fund	1528	PRO PHOENIX	2023226	PRO PHOENIX TRAINING SCHM	06/16/2023	745.00	100-31-51300 Education/Training/Conferences
Total PRO PHOENIX:						1,490.00	
PRUITT, EKES & GEARY, SC							
General Fund	1534	PRUITT, EKES & GEARY, SC	3113	COOPERATIVE BOUNDARY AG	06/12/2023	34.80	100-90-61100 Legal Fees
TID #4 Fund	1534	PRUITT, EKES & GEARY, SC	3113	BADGERLAND - TID 4	06/12/2023	278.40	414-23163-001 Badgerland / Zilber Developmen
General Fund	1534	PRUITT, EKES & GEARY, SC	3113	RACINE CO YOUTH DEVELOPM	06/12/2023	174.00	100-23163-060 Racine Co YD & CC
General Fund	1534	PRUITT, EKES & GEARY, SC	3113	MUNICIPAL PROSECUTIONS	06/12/2023	4,304.36	100-90-61110 Attorney - Municipal Court
General Fund	1534	PRUITT, EKES & GEARY, SC	3113	CSM OR OTHER REIMBURSABL	06/12/2023	226.20	100-90-61000 Professional Services
TID #4 Fund	1534	PRUITT, EKES & GEARY, SC	3113	TID 4	06/12/2023	400.20	414-00-61000 Professional Services
General Fund	1534	PRUITT, EKES & GEARY, SC	3113	DEBACK FARMS BUS PARK PH	06/12/2023	226.20	100-23163-049 WISPARK LLC - DeBack Farms
General Fund	1534	PRUITT, EKES & GEARY, SC	3113	TID 5 - CCM / WATER'S EDGE	06/12/2023	87.00	100-23163-033 CARDINAL CAPITAL- CCM/D. LYON
General Fund	1534	PRUITT, EKES & GEARY, SC	3113	TID 5 - GLEN IN CALEDONIA - C	06/12/2023	1,774.80	100-23163-077 Glen At Waters Edge/6020 Erie
General Fund	1534	PRUITT, EKES & GEARY, SC	3113	BEAR/NEWPORT DEVELOPME	06/12/2023	104.40	100-23163-096 Bear/Newport
General Fund	1534	PRUITT, EKES & GEARY, SC	3113	ORDINANCES, RESOLUTIONS	06/12/2023	1,370.30	100-90-61100 Legal Fees
General Fund	1534	PRUITT, EKES & GEARY, SC	3113	OPINIONS, LEGAL INTERPRETA	06/12/2023	1,189.75	100-90-61100 Legal Fees
General Fund	1534	PRUITT, EKES & GEARY, SC	3113	GENERAL LITIGATION AND HEA	06/12/2023	226.20	100-90-61100 Legal Fees
General Fund	1534	PRUITT, EKES & GEARY, SC	3113	MEETING ATTENDANCE	06/12/2023	354.55	100-90-61000 Professional Services
Total PRUITT, EKES & GEARY, SC:						10,751.16	
RACINE COUNTY ECONOMIC DEVELOPMENT CORP.							
TID #4 Fund	1554	RACINE COUNTY ECONOMIC D	1883	Q3-2023 ANNUAL CONTRACT	06/01/2023	5,283.18	414-00-61400 Economic Development Services
TID #5 Fund	1554	RACINE COUNTY ECONOMIC D	1883	Q3-2023 ANNUAL CONTRACT	06/01/2023	1,257.91	415-00-61400 Economic Development Services
TID #3 Fund	1554	RACINE COUNTY ECONOMIC D	1883	Q3-2023 ANNUAL CONTRACT	06/01/2023	4,402.66	413-00-61400 Economic Development Services
Total RACINE COUNTY ECONOMIC DEVELOPMENT CORP.:						10,943.75	
RACINE COUNTY PUBLIC WORKS							
Capital Projects Fund	1558	RACINE COUNTY PUBLIC WOR	4259	MAY-23; HIGHWAY PERMITS - 2	05/31/2023	750.00	400-90-65020 Building Improvements

Fund	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Invoice Amount	GL Account and Title
Total RACINE COUNTY PUBLIC WORKS:						750.00	
RACINE COUNTY TREASURER							
General Fund	1561	RACINE COUNTY TREASURER	05312023	MAY 2023 COURT FINES	06/13/2023	4,443.30	100-00-45110 Muni Court Fines
Total RACINE COUNTY TREASURER:						4,443.30	
RDS TRUCK SERVICE INC.							
General Fund	1603	RDS TRUCK SERVICE INC.	00054099	#38 FAN	06/06/2023	157.82	100-41-63300 Vehicle Repairs & Maintenance
General Fund	1603	RDS TRUCK SERVICE INC.	00054100	#38 BREAK HOSE	06/06/2023	13.47	100-41-63300 Vehicle Repairs & Maintenance
Total RDS TRUCK SERVICE INC.:						171.29	
RELIANT FIRE APPARATUS, INC.							
General Fund	1619	RELIANT FIRE APPARATUS, INC	WI001944	TRANSMISSION REPAIR ON Q-1	06/21/2023	3,228.18	100-35-63300 Vehicle Repairs & Maintenance
Total RELIANT FIRE APPARATUS, INC.:						3,228.18	
RILEY CONSTRUCTION COMPANY, INC.							
Capital Projects Fund	9241	RILEY CONSTRUCTION COMPA	622709-10	GENERAL CONTRACTOR; GUA	06/03/2023	1,871,604.53	400-90-65020 Building Improvements
Total RILEY CONSTRUCTION COMPANY, INC.:						1,871,604.53	
RITTERTECH							
General Fund	3802	RITTERTECH	c71052-001	MISC.HYDRAULIC FITTINGS	06/12/2023	16.84	100-41-64250 Equipment Repairs & Maintenan
Total RITTERTECH:						16.84	
ROSE PEST SOLUTIONS							
General Fund	1701	ROSE PEST SOLUTIONS	3368203	JUN-23; MONTHLY PEST CONT	06/19/2023	65.00	100-30-62100 Contracted Services
Total ROSE PEST SOLUTIONS:						65.00	
ROSS LANDCARE							
General Fund	1945	ROSS LANDCARE	3838	TOP SOIL	06/05/2023	384.00	100-41-64090 Road Maintenance Materials
Total ROSS LANDCARE:						384.00	
SCHNABEL PRINTING AND INVITATION CENTER							
General Fund	1033	SCHNABEL PRINTING AND INVI	125634	200- EACH BUSINESS CARDS (06/09/2023	142.50	100-13-64060 Copying & Printing
General Fund	1033	SCHNABEL PRINTING AND INVI	125646	BUSINESS CARDS RIVERA	06/14/2023	27.50	100-35-64060 Copying & Printing

Fund	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Invoice Amount	GL Account and Title
Total SCHNABEL PRINTING AND INVITATION CENTER:						170.00	
SHRED-IT USA							
General Fund	1800	SHRED-IT USA	8003975834	1 -- ON SITE SHRED CONTAINERS	05/25/2023	21.95	100-43-62100 Contracted Services
General Fund	1800	SHRED-IT USA	8003975947	MAY-23; SHREDDING	05/25/2023	21.95	100-30-62100 Contracted Services
General Fund	1800	SHRED-IT USA	8004104698	MAY-23; SHREDDING TOTE ST.	06/14/2023	59.01	100-35-62100 Contracted Services
Total SHRED-IT USA:						102.91	
STATE OF WISCONSIN							
General Fund	1861	STATE OF WISCONSIN	05312023	MAY 2023 COURT FINES	06/11/2023	12,053.01	100-00-45110 Muni Court Fines
Total STATE OF WISCONSIN:						12,053.01	
STREICHERS							
Donation Fund	1895	STREICHERS	11637884	BALLISTIC GEAR	06/21/2023	390.00	250-35-64916 Fire - ARPA Funding Expenses
Total STREICHERS:						390.00	
STRUCKN DESIGN							
General Fund	9199	STRUCKN DESIGN	1787	TRAILER GRAPHICS	06/19/2023	150.00	100-30-63300 Vehicle Repairs & Maintenance
Total STRUCKN DESIGN:						150.00	
STRYKER SALES CORPORATION							
General Fund	8	STRYKER SALES CORPORATION	4186557M	COT BATTERY M-11	06/21/2023	527.87	100-35-64250 Equipment Repairs & Maintenance
Total STRYKER SALES CORPORATION:						527.87	
SUCCESS PLUMBING, INC.							
General Fund	1904	SUCCESS PLUMBING, INC.	34805	CLEAR PLUG IN BOTH RESTROOMS	06/01/2023	126.00	100-30-64240 Building Repairs & Maintenance
Total SUCCESS PLUMBING, INC.:						126.00	
ULINE							
General Fund	2030	ULINE	164136105	RIFLE BOXES,POLYBAGS	05/26/2023	296.16	100-30-64070 Work Supplies
Total ULINE:						296.16	
VANGUARD COMPUTERS INC							
General Fund	9258	VANGUARD COMPUTERS INC	57977	HP CTO Z4 G4 TOWER; PD VIDEO	02/21/2023	3,210.00	100-90-64320 IT Infrastructure

Fund	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Invoice Amount	GL Account and Title
Total VANGUARD COMPUTERS INC:						3,210.00	
VILLAGE OF MT. PLEASANT							
General Fund	2082	VILLAGE OF MT. PLEASANT	0047430	STATION 10 BILLING - 1ST QUA	05/31/2023	3,332.21	100-35-64140 Utilities
General Fund	2082	VILLAGE OF MT. PLEASANT	0047430	STATION 10 BILLING - 1ST QUA	05/31/2023	813.25	100-35-64240 Building Repairs & Maintenance
General Fund	2082	VILLAGE OF MT. PLEASANT	0047430	STATION 10 BILLING - 1ST QUA	05/31/2023	516.59	100-35-64100 Janitorial Supplies
General Fund	2082	VILLAGE OF MT. PLEASANT	0047430	STATION 10 BILLING - 1ST QUA	05/31/2023	10.49	100-35-64070 Work Supplies
General Fund	2082	VILLAGE OF MT. PLEASANT	0047430	STATION 10 BILLING - 1ST QUA	05/31/2023	320.66	100-35-64030 Office Supplies
Total VILLAGE OF MT. PLEASANT:						4,993.20	
VON BRIESEN & ROPER SC							
General Fund	2091	VON BRIESEN & ROPER SC	426660	LABOR AND PERSONNEL - PRO	05/25/2023	2,795.00	100-90-61100 Legal Fees
TID #5 Fund	2091	VON BRIESEN & ROPER SC	427691	ERIE STREET #022395-00003 -	06/12/2023	2,337.50	415-00-61000 Professional Services
TID #4 Fund	2091	VON BRIESEN & ROPER SC	427692	TID 4 - SPECIAL ASSESSMENT -	06/12/2023	491.50	414-00-61000 Professional Services
Total VON BRIESEN & ROPER SC:						5,624.00	
WIS DEPT OF JUSTICE - CIB							
General Fund	2162	WIS DEPT OF JUSTICE - CIB	202305	MAY-23; TIME CHARGES	05/31/2023	7.00	100-30-62100 Contracted Services
Total WIS DEPT OF JUSTICE - CIB:						7.00	
WISCONSIN DOCUMENT IMAGING							
Water Utility Fund	9249	WISCONSIN DOCUMENT IMAGI	211874	MAY-23; COPIER USAGE	05/30/2023	8.37	500-00-64060 Copying & Printing
Sewer Utility Fund	9249	WISCONSIN DOCUMENT IMAGI	211874	MAY-23; COPIER USAGE	05/30/2023	8.37	501-00-64060 Copying & Printing
General Fund	9249	WISCONSIN DOCUMENT IMAGI	211874	MAY-23; COPIER USAGE	05/30/2023	718.38	100-90-62300 Office Equipment Rental & Main
Total WISCONSIN DOCUMENT IMAGING:						735.12	
WISCONSIN HUMANE SOCIETY							
General Fund	2180	WISCONSIN HUMANE SOCIETY	2569	ANIMAL SHELTER CONTRACT -	06/01/2023	1,300.00	100-90-62500 Animal Control Contract
Total WISCONSIN HUMANE SOCIETY:						1,300.00	
<u>TOTAL PAYMENTS BY FUND</u>							
Grand Totals:	Capital Projects Fund \$1,956,519.77					2,541,925.53	
	Donation Fund \$1,375.87						
	General Fund \$455,347.11						
	Recycling Fund \$120.00						
	Sewer Utility Fund \$14,847.53						
	Storm Water Utility Fund \$2,575.09						
	TID #3 Fund \$4,402.66						
	TID #4 Fund \$53,648.92						
	TID #5 Fund \$49,298.43						
	Water Utility Fund \$3,790.15						
	TOTALS \$2,541,925.53						

FUND	Vendor	Vendor Name	Merchant Name	Invoice Number	Description	GL Account and Title	Net Invoice Amount
General Fund	2434	US BANK CORPORATE CARD	AMAZON	112-0219372-3889064	MACK HEADLIGHT #38	100-41-63300 Vehicle Repairs & Maintenanc	144.90
General Fund	2434	US BANK CORPORATE CARD	NEOPOST	N9909901	POSTAGE LEASE - COVERAGE M	100-90-62300 Office Equipment Rental & Ma	690.69
General Fund	2434	US BANK CORPORATE CARD	SHERWIN INDUSTRIES	SC050212	MASTIC MATERIAL	100-41-64090 Road Maintenance Materials	1,728.00
General Fund	2434	US BANK CORPORATE CARD	SHERWIN INDUSTRIES	SC050212	CREDIT MEMO-15 BOXES RETUR	100-41-64090 Road Maintenance Materials	(324.00)
General Fund	2434	US BANK CORPORATE CARD	GT PARKING INC	42523	PARKING FOR FDIC	100-35-51300 Education/Training/Conferenc	56.00
General Fund	2434	US BANK CORPORATE CARD	UNIFIRST CORPORATION	096-1292692	APR-23; RAGS AND COVERALLS	100-41-62100 Contracted Services	478.42
General Fund	2434	US BANK CORPORATE CARD	QDOBA	10033	LUNCH - SCHOOL SWIFT WATER	100-35-51300 Education/Training/Conferenc	32.81
General Fund	2434	US BANK CORPORATE CARD	AMAZON	111-2706001-9498810-A	COPY PAPER	100-42-64030 Office Supplies	202.96
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-173946491-69800	APPLE GIFT CARD FOR I-PADS	100-35-64070 Work Supplies	25.00
Water Utility Fund	2434	US BANK CORPORATE CARD	AMAZON	113-30082364-564269	1 TON GMC HOIST SOLENOID	500-00-63300 Vehicle Repairs & Maintenanc	13.92
Sewer Utility Fund	2434	US BANK CORPORATE CARD	AMAZON	113-30082364-564269	1 TON GMC HOIST SOLENOID	501-00-63300 Vehicle Repairs & Maintenanc	13.91
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-39266886-441000	MOUNTING BRACKET FOR O2 C	100-35-64110 Small Equipment	144.25
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-40182426-28200	TV MOUNT	100-35-64110 Small Equipment	16.99
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-8234416-4009801	INK STAMP	100-11-64030 Office Supplies	18.99
General Fund	2434	US BANK CORPORATE CARD	AMAZON	114-2915758-8121036	NETWORK EQUIPMENT; PD FOR	100-30-64030 Office Supplies	80.88
General Fund	2434	US BANK CORPORATE CARD	AMAZON	114-3602211-5174648	WIRELESS KEYBOARDS AND MIC	100-13-64030 Office Supplies	68.97
General Fund	2434	US BANK CORPORATE CARD	GALLS LLC	23437288	BATON HOLDERS	100-30-50280 Clothing Allowance	55.13
General Fund	2434	US BANK CORPORATE CARD	RAY HINTZ INC.	66504	MULCH; VILLAGE HALL	100-43-64260 Grounds Repairs & Maintenanc	111.24
General Fund	2434	US BANK CORPORATE CARD	AMAZON	111-553343910-06600	SPEED BUMPS FOR DRIVEWAY A	100-35-64110 Small Equipment	163.75
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-61498480-612200	WATERPROOF EXTENSION COR	100-35-64110 Small Equipment	29.98
General Fund	2434	US BANK CORPORATE CARD	GOODWOOD BREWING COMPANY	135	LUNCH AT FDIC	100-35-51300 Education/Training/Conferenc	90.50
Storm Water Utility Fund	2434	US BANK CORPORATE CARD	RACINE TIRE & AUTO SERVICE	299901	2 NEW TIRES	502-00-63300 Vehicle Repairs & Maintenanc	470.00
General Fund	2434	US BANK CORPORATE CARD	HENRY SCHEIN	3,654,774,236,775,460	MEDICAL SUPPLIES	100-35-64280 Medical Supplies	640.42
General Fund	2434	US BANK CORPORATE CARD	DOLLAR GENERAL	45633	MISC SUPPLIES - SCHOOL SWIFT	100-35-51300 Education/Training/Conferenc	47.16
General Fund	2434	US BANK CORPORATE CARD	RAY HINTZ INC.	64137	MULCH; VILLAGE HALL	100-43-64260 Grounds Repairs & Maintenanc	111.24
General Fund	2434	US BANK CORPORATE CARD	RAY HINTZ INC.	66507	MULCH; VILLAGE HALL	100-43-64260 Grounds Repairs & Maintenanc	111.24
General Fund	2434	US BANK CORPORATE CARD	JUNGLE JIM'S PUB N' GRUB	13	3 DINNERS - SCHOOL SWIFT WA	100-35-51300 Education/Training/Conferenc	72.30
General Fund	2434	US BANK CORPORATE CARD	MONTAGE ENTERPRISES, INC	102572	MISC. TRACTOR PARTS	100-41-63300 Vehicle Repairs & Maintenanc	668.15
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-401082426-28200	RETURN OF TV BRACKET MINUS	100-35-64110 Small Equipment	(11.19)
General Fund	2434	US BANK CORPORATE CARD	AMAZON	114-6504372-7897058	EXTERNAL DRIVE	100-30-64030 Office Supplies	35.52
General Fund	2434	US BANK CORPORATE CARD	RENE'S DINING ROOM	14	3 DINNERS - SCHOOL SWIFT WA	100-35-51300 Education/Training/Conferenc	109.49
General Fund	2434	US BANK CORPORATE CARD	CHIPOTLE	426	DINNER AT FDIC	100-35-51300 Education/Training/Conferenc	52.32
General Fund	2434	US BANK CORPORATE CARD	RAY HINTZ INC.	66530	VILLAGE HALL; MULCH	100-43-64260 Grounds Repairs & Maintenanc	111.24
General Fund	2434	US BANK CORPORATE CARD	RAY HINTZ INC.	66534	TOP SOIL	100-43-64260 Grounds Repairs & Maintenanc	111.24
General Fund	2434	US BANK CORPORATE CARD	HOME DEPOT	75995	BED EDGER DEPOSIT	100-43-64260 Grounds Repairs & Maintenanc	150.00
General Fund	2434	US BANK CORPORATE CARD	HOME DEPOT	76290	BED EDGER PARTIAL DEPOSIT RE	100-43-64260 Grounds Repairs & Maintenanc	(29.25)
General Fund	2434	US BANK CORPORATE CARD	SHERWIN INDUSTRIES	SC050239	COLD PATCH +CRACKSEAL PART	100-41-64090 Road Maintenance Materials	505.75
General Fund	2434	US BANK CORPORATE CARD	FASTENAL	WIRAC202404	WORK GLOVES	100-41-64070 Work Supplies	139.93
General Fund	2434	US BANK CORPORATE CARD	BUY RIGHT, INC.	394407	MISC. PARTS + TOOLS	100-41-64070 Work Supplies	420.89
General Fund	2434	US BANK CORPORATE CARD	MEIJER	42723	FUEL FOR TRIP TO FDIC IN INDIA	100-35-63200 Fuel, Oil, Fluids	60.98
General Fund	2434	US BANK CORPORATE CARD	OTTERBOX/LIFEPROOF	14935467	CELL PHONE OTTERBOXES	100-40-64070 Work Supplies	33.56
General Fund	2434	US BANK CORPORATE CARD	OTTERBOX/LIFEPROOF	14935467	CELL PHONE OTTERBOXES	100-70-64070 Work Supplies	33.56
General Fund	2434	US BANK CORPORATE CARD	KWIK TRIP	1751672	STAFF TRAINING; MEAL FOR SW	100-35-51300 Education/Training/Conferenc	24.57
General Fund	2434	US BANK CORPORATE CARD	GOVERNMENT FINANCE OFFICERS A	2023 GFOA DUES-WK	2023 GFOA DUES; W.KRUEGER	100-14-51320 Memberships/Dues	225.00
General Fund	2434	US BANK CORPORATE CARD	THE DISTRICT TAP DOWNTOWN	667367	STAFF TRAINING; MEALS AT FDI	100-35-51300 Education/Training/Conferenc	156.48
Donation Fund	2434	US BANK CORPORATE CARD	HAPPY TAILS PET SUPPLIES	73184465502023-05-0100001	FOOD FOR LOUIE	250-30-64192 Police K9	60.85
General Fund	2434	US BANK CORPORATE CARD	PAYPAL POLICE	9WD67274W8124894X	WI POLICE EXEC CONF; CHIEF	100-30-51300 Education/Training/Conferenc	795.00
General Fund	2434	US BANK CORPORATE CARD	RESIDENCE INN INDIANAPOLIS	HIKPIHFI	HOTEL STAY FOR FDIC 2 NIGHTS	100-35-51300 Education/Training/Conferenc	636.48
General Fund	2434	US BANK CORPORATE CARD	FASTENAL	WIRAC202404A-CREDIT	WORK GLOVES RETURNED	100-41-64070 Work Supplies	(139.93)
General Fund	2434	US BANK CORPORATE CARD	DSPS EPAY ISE	WISCOM045234533	ERIKA WAEGE UDC HVAC CRED.	100-40-51320 Memberships/Dues	32.53

FUND	Vendor	Vendor Name	Merchant Name	Invoice Number	Description	GL Account and Title	Net Invoice Amount
General Fund	2434	US BANK CORPORATE CARD	DSPS E SERVICE FEE COM	WISCOM045234533 CON. FEE	ERIKA WAEGE UDC HVAC CRED.	100-40-51320 Memberships/Dues	0.65
General Fund	2434	US BANK CORPORATE CARD	LANDS END	14054981	EMPLOYEE UNIFORMS	100-60-64070 Work Supplies	92.19
General Fund	2434	US BANK CORPORATE CARD	METALWORLD INC	35761	MISC. MEATAL	100-41-64070 Work Supplies	339.72
General Fund	2434	US BANK CORPORATE CARD	PAYPAL POLICE	73184465502023-05-0200001	RADKE K9 CONFERENCE	100-30-51300 Education/Training/Conferenc	250.00
General Fund	2434	US BANK CORPORATE CARD	TRANSUNION RISK AND ALTERNATIV	781849-202304-1	APR-23; MONTHLY TLO CHARGE	100-30-62100 Contracted Services	75.00
General Fund	2434	US BANK CORPORATE CARD	RACINE COUNTY ECONOMIC DEVEL	ET9PFMB3P	2023 RCEDC ANNUAL MEETING	100-10-64190 Miscellaneous Expenses	25.00
General Fund	2434	US BANK CORPORATE CARD	RACINE COUNTY ECONOMIC DEVEL	ETZA586EG	2023 RCEDC ANNUAL MEETING	100-10-64190 Miscellaneous Expenses	25.00
General Fund	2434	US BANK CORPORATE CARD	RACINE COUNTY ECONOMIC DEVEL	EVTPFDRJ	2023 RCEDC ANNUAL MEETING	100-10-64190 Miscellaneous Expenses	25.00
General Fund	2434	US BANK CORPORATE CARD	RACINE COUNTY ECONOMIC DEVEL	EXBDJ4JK	2023 RCEDC ANNUAL MEETING	100-10-64190 Miscellaneous Expenses	25.00
Water Utility Fund	2434	US BANK CORPORATE CARD	SPECTRUM ENTERPRISE	155369041423	INTERNET CHARGES 4/14/23-5/	500-00-64150 Communication Services	89.99
Sewer Utility Fund	2434	US BANK CORPORATE CARD	SPECTRUM ENTERPRISE	155369041423	INTERNET CHARGES 4/14/23-5/	501-00-64150 Communication Services	89.99
Donation Fund	2434	US BANK CORPORATE CARD	AMAZON	113-4306670-1216241	PELVIC BINDER FOR EACH MED I	250-35-64916 Fire - ARPA Funding Expenses	416.45
General Fund	2434	US BANK CORPORATE CARD	GROVE OUTDOOR POWER	31291	NEW CHAIN SAW	100-41-64110 Small Equipment	587.20
General Fund	2434	US BANK CORPORATE CARD	HENRY SCHEIN	369,578,713,698,882,000,000,000	MEDICAL SUPPLIES	100-35-64280 Medical Supplies	1,450.17
General Fund	2434	US BANK CORPORATE CARD	WISCONSIN POLICE LEADERSHIP	9298	CHIEFS SUMMER CONFERENCE	100-30-51300 Education/Training/Conferenc	275.00
General Fund	2434	US BANK CORPORATE CARD	ONLINE PHOTO	ZF-7210-98300-1	NEW HIRE PHOTOS	100-30-64070 Work Supplies	62.44
General Fund	2434	US BANK CORPORATE CARD	DEA REGISTRATION	50423	APPLICATION FOR REGISTRATIO	100-35-51320 Memberships/Dues	888.00
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-3785125-3282620	FINE POINT MARKERS	100-30-64030 Office Supplies	33.34
Donation Fund	2434	US BANK CORPORATE CARD	AMAZON	113-9223845-5727435	IPAD CASE FOR NEW IPAD FOR	250-35-64916 Fire - ARPA Funding Expenses	26.97
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-9652969-1844218	BATTERIES	100-30-64030 Office Supplies	33.50
General Fund	2434	US BANK CORPORATE CARD	EMERGENCY MEDICAL PRODUCTS, I	2551176	MEDICAL SUPPLIES	100-35-64280 Medical Supplies	413.63
Donation Fund	2434	US BANK CORPORATE CARD	EMERGENCY MEDICAL PRODUCTS, I	2551578	PEDIATRIC ATTACK PACK	250-35-64916 Fire - ARPA Funding Expenses	263.99
Recycling Fund	2434	US BANK CORPORATE CARD	MOBILE REDUCTION SPECIALISTS	70721	3 - 30YD CONTAINERS	241-00-62800 Waste Disposal	1,395.00
Water Utility Fund	2434	US BANK CORPORATE CARD	SMARSH, INC.	INV-93309	CELL PHONE AND TEXT ARCHIVE	500-00-64320 IT Infrastructure	105.01
Sewer Utility Fund	2434	US BANK CORPORATE CARD	SMARSH, INC.	INV-93309	CELL PHONE AND TEXT ARCHIVE	501-00-64320 IT Infrastructure	105.02
General Fund	2434	US BANK CORPORATE CARD	SHERWIN INDUSTRIES	SS097658	MASTIC RENTAL	100-41-64090 Road Maintenance Materials	2,450.00
General Fund	2434	US BANK CORPORATE CARD	PIGGLY WIGGLY	523	COFFEE AND SUPPLIES FOR END	100-35-51300 Education/Training/Conferenc	20.96
Donation Fund	2434	US BANK CORPORATE CARD	AMAZON	113-4311921-9092213	I-PAD AND CASE FOR M-32	250-35-64916 Fire - ARPA Funding Expenses	304.94
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-6905068-9877040	FLASH DRIVES PSS	100-30-64030 Office Supplies	99.96
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-7617152-0889063	CUPS, SHEET PROTECTORS, DIVI	100-30-64030 Office Supplies	58.19
General Fund	2434	US BANK CORPORATE CARD	AT & T	414R05002104M23	04/13/2023 MAY BILLING FOR C	100-43-64150 Communication Services	395.02
General Fund	2434	US BANK CORPORATE CARD	NJ CRIMINAL	91744R-CREDIT	STREET COP TRAINING; CREDIT	100-30-51300 Education/Training/Conferenc	(299.00)
General Fund	2434	US BANK CORPORATE CARD	DOJ EPAY RECORDS CHECK	WINWOR022978554	WISCONSIN ONLINE BACKGROU	100-11-61000 Professional Services	112.00
General Fund	2434	US BANK CORPORATE CARD	APWA SPRING CONFERENCE	R0 2023	APWA DUES; R.SCHMIDT	100-42-51320 Dues & Publications	244.00
General Fund	2434	US BANK CORPORATE CARD	ZARNOTH BRUSH WORKS INC.	0193888-IN	NEW BROOM FOR LOADER	100-41-64250 Equipment Repairs & Mainten	880.25
General Fund	2434	US BANK CORPORATE CARD	EPIC SPORTS	6957792	LEAGUE SOFT BALLS	100-70-64070 Work Supplies	538.46
General Fund	2434	US BANK CORPORATE CARD	KORTENDICK HARDWARE	F77493	2 KEYS MADE	100-41-64240 Building Repairs & Maintenanc	3.58
General Fund	2434	US BANK CORPORATE CARD	SHERWIN INDUSTRIES	SC050291	1.42 TN COLD PATCH	100-41-64090 Road Maintenance Materials	247.08
General Fund	2434	US BANK CORPORATE CARD	AMAZON	111-3453736-9780259	COPY PAPER; CERTIFICATE DISPI	100-13-64030 Office Supplies	87.28
General Fund	2434	US BANK CORPORATE CARD	THE WAI	210	WAI ANNUAL MEMBERSHIP; A/S	100-30-51320 Memberships/Dues	20.00
General Fund	2434	US BANK CORPORATE CARD	4IMPRINT, INC	24851653	HATS FOR STAFF	100-41-64070 Work Supplies	173.23
Storm Water Utility Fund	2434	US BANK CORPORATE CARD	4IMPRINT, INC	24851653	HATS FOR STAFF	502-00-64070 Work Supplies	64.96
Water Utility Fund	2434	US BANK CORPORATE CARD	4IMPRINT, INC	24851653	HATS FOR STAFF	500-00-64070 Work Supplies	43.31
Sewer Utility Fund	2434	US BANK CORPORATE CARD	4IMPRINT, INC	24851653	HATS FOR STAFF	501-00-64070 Work Supplies	43.31
General Fund	2434	US BANK CORPORATE CARD	ARAMARK	860112340 043023	APR-23; UNIFORMS	100-35-62100 Contracted Services	652.33
General Fund	2434	US BANK CORPORATE CARD	DOLLAR GENERAL	330	PERSONAL PURCHASE BEING RE	100-30-64030 Office Supplies	22.21
General Fund	2434	US BANK CORPORATE CARD	WALGREENS	5113194927	STRAPS TO HANG RADIO #56	100-41-63300 Vehicle Repairs & Maintenanc	9.96
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-4351772-3993015	REPLACEMENT BATTERY FOR FL	100-35-64250 Equipment Repairs & Mainten	19.79
General Fund	2434	US BANK CORPORATE CARD	WISCONSIN STEAM CLEANER	62144	CLEAN STEAMER COILS	100-41-64110 Small Equipment	705.38
General Fund	2434	US BANK CORPORATE CARD	RITTERTECH	c60516-001	MISC. HYDRAULIC FITTINGS	100-41-63300 Vehicle Repairs & Maintenanc	59.50

FUND	Vendor	Vendor Name	Merchant Name	Invoice Number	Description	GL Account and Title	Net Invoice Amount
General Fund	2434	US BANK CORPORATE CARD	RITTERTECH	C60516-001A	MISC.HYDRAULIC FITTINGS	100-41-63300 Vehicle Repairs & Maintenanc	16.64
General Fund	2434	US BANK CORPORATE CARD	HENRY SCHEIN	37047800	MED SUPPLIES FOR SQUADS PE	100-35-64280 Medical Supplies	38.10
Recycling Fund	2434	US BANK CORPORATE CARD	MOBILE REDUCTION SPECIALISTS	70871	6 - 60 CU YD CONTAINERS	241-00-62800 Waste Disposal	2,790.00
Sewer Utility Fund	2434	US BANK CORPORATE CARD	USCC CALL CENTER	561506927	HOODS BASIN REPEATER APRIL	501-00-64150 Communication Services	7.02
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-8025303-4924228	E-12 TIC GEAR KEEPER	100-35-64250 Equipment Repairs & Mainten	60.97
General Fund	2434	US BANK CORPORATE CARD	AT & T	287299115248X05012023	04/23/2023 PHONE CHARGES PI	100-30-64150 Communication Services	1,547.03
General Fund	2434	US BANK CORPORATE CARD	AT & T	287299115248X05012023	04/23/2023 PHONE CHARGES FI	100-35-64150 Telephone	1,042.56
General Fund	2434	US BANK CORPORATE CARD	AT & T	287299115248X05012023	04/23/2023 PHONE CHARGES VI	100-43-64150 Communication Services	773.51
Water Utility Fund	2434	US BANK CORPORATE CARD	AT & T	287299115248X05012023	04/23/2023 PHONE CHARGES U	500-00-64150 Communication Services	189.95
Sewer Utility Fund	2434	US BANK CORPORATE CARD	AT & T	287299115248X05012023	04/23/2023 PHONE CHARGES U	501-00-64150 Communication Services	189.95
General Fund	2434	US BANK CORPORATE CARD	SPECTRUM ENTERPRISE	71664501050123	05/01/2023 COMMUNICATION	100-43-64150 Communication Services	620.20
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-8060564-1807408	KITCHEN TOWELS	100-35-64100 Janitorial Supplies	39.98
General Fund	2434	US BANK CORPORATE CARD	HENRY SCHEIN	375,495,453,730,433,000,000,000	MEDICAL SUPPLIES	100-35-64280 Medical Supplies	1,433.13
General Fund	2434	US BANK CORPORATE CARD	PICK N SAVE	999999511	SUPPLIES FOR HOSTING RACINE	100-35-64070 Work Supplies	25.05
General Fund	2434	US BANK CORPORATE CARD	PICK N SAVE	999999513	SUPPLIES FOR HOSTING RACINE	100-35-64070 Work Supplies	215.10
General Fund	2434	US BANK CORPORATE CARD	KORTENDICK HARDWARE	F84116	FASTENERS + GLUE	100-41-64070 Work Supplies	9.52
General Fund	2434	US BANK CORPORATE CARD	EMERGENCY MEDICAL PRODUCTS, I	25,529,032,552,552	MEDICAL SUPPLIES	100-35-64280 Medical Supplies	240.79
General Fund	2434	US BANK CORPORATE CARD	FOX VALLEY TECH COLLEGE	700246652	REGISTRATION FEE SCHUSTER TI	100-30-51300 Education/Training/Conferenc	325.00
General Fund	2434	US BANK CORPORATE CARD	FOX VALLEY TECH COLLEGE	700246652-CONV FEE	SERVICE FEE SCHUSTER TRAININ	100-30-51300 Education/Training/Conferenc	9.59
General Fund	2434	US BANK CORPORATE CARD	SPECTRUM ENTERPRISE	14416050223	MAY 2023 PHONE AND INTEREN	100-43-64150 Communication Services	1,841.13
Water Utility Fund	2434	US BANK CORPORATE CARD	TDS METROCOM	50123	05/01/23 TELEPHONE CHARGES	500-00-64150 Communication Services	288.30
Sewer Utility Fund	2434	US BANK CORPORATE CARD	TDS METROCOM	50123	05/01/23 TELEPHONE CHARGES	501-00-64150 Communication Services	288.30
General Fund	2434	US BANK CORPORATE CARD	TREK BICYCLE RACINE	51823150013819	HELMETS FOR BIKE PATROL	100-30-50280 Clothing Allowance	431.97
General Fund	2434	US BANK CORPORATE CARD	STATE BAR OF WISCONSIN	1103366 2023	BAR DUES FOR T. HELSEL	100-13-51320 Memberships/Dues	523.00
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-9702278-9041054	2 CYCLE SMALL ENGINE FUEL	100-35-63200 Fuel, Oil, Fluids	47.58
General Fund	2434	US BANK CORPORATE CARD	NEOPOST	40188933	POSTAGE MACHINE BRUSH & SF	100-13-64030 Office Supplies	26.00
General Fund	2434	US BANK CORPORATE CARD	CALEDONIA FEED & SUPPLY	57893	GRASS SEED	100-41-64090 Road Maintenance Materials	196.75
General Fund	2434	US BANK CORPORATE CARD	KWIK TRIP	93756	FUEL FOR E-11 TRIP FROM JANE	100-35-63200 Fuel, Oil, Fluids	100.00
Water Utility Fund	2434	US BANK CORPORATE CARD	VERIZON WIRELESS	9933829183	SCADA ALARM SYSTEM CHARGE	500-00-64150 Communication Services	20.18
Sewer Utility Fund	2434	US BANK CORPORATE CARD	VERIZON WIRELESS	9933829183	SCADA ALARM SYSTEM CHARGE	501-00-64150 Communication Services	20.19
General Fund	2434	US BANK CORPORATE CARD	FSP*WISCONSIN STATE FIRE	WSFCA 062223	WSFC ASSOCIATION CONFERENC	100-35-51300 Education/Training/Conferenc	605.00
General Fund	2434	US BANK CORPORATE CARD	HALLMAN LINDSAY PAINTS	E0170688	PAINT AND BRUSHES	100-41-63300 Vehicle Repairs & Maintenanc	112.91
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-5169198-8281003	CARDS	100-30-64030 Office Supplies	49.85
General Fund	2434	US BANK CORPORATE CARD	AMAZON	113-8668666-8297809	LYSOL WIPES	100-30-64030 Office Supplies	14.95
Water Utility Fund	2434	US BANK CORPORATE CARD	SPECTRUM ENTERPRISE	123-964101-050723	4/7/2023 INTERNET SERVICE W/	500-00-64150 Communication Services	153.76
Sewer Utility Fund	2434	US BANK CORPORATE CARD	SPECTRUM ENTERPRISE	123-964101-050723	4/7/2023 INTERNET SERVICE W/	501-00-64150 Communication Services	153.76
General Fund	2434	US BANK CORPORATE CARD	ZOOM	7133190008402023-05-2500001	MAY-JUN 2023; VIDEO CONFERE	100-60-61000 Professional Services	31.98
General Fund	2434	US BANK CORPORATE CARD	WISC MUN CLERKS	WMCA-DIST 5 MEETING	DISTRICT 5 ZOOM MEETING REG	100-11-51300 Education/Training/Conferenc	20.00
Total US BANK CORPORATE CARD							38,028.48
Grand Totals:							38,028.48

TOTALS BY FUND

Donation Fund	\$	1,073.20
General Fund	\$	30,419.45
Recycling Fund	\$	4,185.00
Sewer Utility Fund	\$	911.45
Storm Water Utility Fund	\$	534.96
Water Utility Fund	\$	904.42
TOTALS	\$	38,028.48

CLASS A COMBINATION - CORPORATION

Walgreen Co

Trade Name: Walgreens #06243

5005 Douglas Ave., Racine, WI 53402

Agent: Martin Sievert – 3343 W. Vogel Avenue, Greenfield, WI 53221

CLASS A COMBINATION – LIMITED LIABILITY COMPANY

Mega Marts, LLC

Trade Name: Pick 'n Save #6378

5111 Douglas Ave., Racine, WI 53402

Agent: Camden Roach, S83W27200 Hillview Dr., Mukwonago, WI 53149

SAIFI, LLC

Trade Name: Ayra's Liquor & Cigar

6900 Hwy 31, Racine, WI 53402

Agent: Saifi Ajmeri – 1617 Shore Dr., Racine, WI 53402

CLASS B COMBINATION - CORPORATION

Milaeger's, Inc.

Trade Name: Mileager's, Inc.

4838 Douglas Avenue, Racine, WI 53402

Agent: Kevin D. Milaeger – 608 Water's Edge Dr., Racine, WI 53402

The Depot Inc.

Trade Name: The Depot Bar & Grill

11402 Hwy G, Caledonia WI 53108

Agent: Mark G. Gracyalny – 13140 4 Mile Rd, Franksville WI 53126

Gustin Enterprises, Inc.

Trade Name: Witt's Bar & Grill

11601 Hwy G, Caledonia WI 53108

Agent: Scott Gustin – 10270 W 5 Mile Road, Franksville, WI 53126

South Hills Hospitality, Inc.

Trade Name: South Hills Country Club

3047 Hwy 41, Franksville, WI 53126

Agent: Alexander Hintz – 7108 Hwy 38, Caledonia, WI 53108

S & P Foods, Inc.

Trade Name: Sebastian's

6025 Douglas Ave., Racine, WI 53402

Agent: Partrice Sebastian – 35 Harborview Dr., #201, Racine WI 53402

Trusted Insurance Advisor Services, Inc.

Trade Name: Douglas Avenue Diner

5121 Douglas Avenue, Racine, WI 53402

Agent: Michael Scamarcia – 3725 Candle Ct, Racine, WI 53402

JD&K Management Inc.

Trade Name: Catering by Danny

5844 Douglas Ave., Racine, WI 53402

Agent: Daniel R. Johnson – 16330 Plank Rd., Union Grove, WI 53182

CLASS B COMBINATION – LIMITED LIABILITY COMPANY

G&C's Meet Market Bar & Grill

Trade Name: G&C's Meet Market Bar & Grill

3120 Roberts St., Franksville, WI 53126

Agent: Colin Kyrle Pankow, Sr. – 3148 Roberts St., Franksville 53126

Giovanni DeRango & Giovanni DeRango, LLC

Trade Name: DeRango the Pizza King

4621 – 6 Mile Rd., Racine, WI 53402

Agent: Anthony DeRango - 222 Hwy V, Mt. Pleasant, WI 53177

Suds-N-Grub LLC

Trade Name: Suds-N-Grub

4507 Douglas Ave., Racine, WI 53402

Agent: Randall Paul Kressig – 1134 Berkeley Dr., Racine, WI 53402

Meadows Family Restaurant, Inc.

Trade Name: Meadows Family Restaurant

10615 Northwestern Ave., Franksville, WI 53126

Agent: Christine Peterson – 1339 Tallgrass Ln., Mount Pleasant, WI 53406

Soup Shanty LLC

Trade Name: Soup Shanty

6022 Douglas Avenue, Racine, WI 53402

Agent: Cherie M. Bangust – 6733 Brian Drive, Racine, WI 53402

OMG, LLC

Trade Name: OMG

6337 Douglas Ave., Racine WI 53402

Agent: Angela Bowen – 12714 7 ½ Mile Road, Caledonia, WI 53108

Joey's West LLC

Trade Name: Joey's West

9825 Kraut Rd., Franksville, WI 53126

Agent: Joseph G. LeGath – 4 Gaslight Dr. #101, Racine, WI 53403

Saloon at Hwy H, LLC

Trade Name: Tavern on H

3311 County Road H, Franksville, WI 53126

Agent: Jori Antonneau – 5910 Indigo Drive, Mt. Pleasant, WI 53406

Buca's Bar & Grill, LLC.

Trade Name: Buca's Bar & Grill

4234 Douglas Avenue, Racine, WI 53402

Agent: Jeanne Kroes – 2401 Erie St., Racine, WI 53402

CLASS B beer and CLASS C wine – LIMITED LIABILITY COMPANY

Hop Head's Hospitality & Events, LLC.

Trade Name: Franksville Craft Beer Garden

9614 Northwestern Avenue, Franksville, WI 53126

Agent: Kenneth Michel, Jr – 9312 S Oak Creek Ct., Franklin, WI 53132

RESOLUTION NO. 2023-65

**A RESOLUTION OF THE VILLAGE BOARD OF THE VILLAGE OF CALEDONIA
AUTHORIZING THE ACCEPTANCE OF A SUBGRANT FROM THE WISCONSIN
ELECTIONS COMMISSION TO BE USED TOWARDS THE PURCHASE OF
REDESIGNED ABSENTEE BALLOT ENVELOPES**

WHEREAS, the Wisconsin Elections Commission has directed the creation of new absentee ballot envelope designs in order to ensure compliance with recent statutory requirements and court orders; and

WHEREAS, the Village of Caledonia has been encouraged to use this subgrant to offset costs associated with the purchase of these redesigned absentee ballot envelopes (EL-120 and EL-122); and

WHEREAS, the Village of Caledonia is applying for a subgrant with the Wisconsin Elections Commission under the 2023 Absentee Ballot Envelope Subgrant Program for \$2,638.96 to be used for the purchase of these redesigned envelopes; and

WHEREAS, the Wisconsin Elections Commission has granted \$2,638.96 to be used for the purchase of the redesigned absentee ballot envelopes; and

NOW, THEREFORE, BE IT RESOLVED that the Village Board of the Village of Caledonia, Racine County, Wisconsin, do hereby authorize the acceptance of a subgrant of \$2,638.96 from the Wisconsin Elections Commission to be used for the purchase of redesigned absentee ballot envelopes (EL-120 and EL-122).

Adopted by the Village Board of the Village of Caledonia, Racine County,
Wisconsin on this ____ day of June, 2023.

By: _____
Thomas Weatherston, President

Attest: _____
Joslyn Hoeffert, Clerk

APPENDIX A

HINDI	Jurisdiction	County	Percentage	Subgrant
50012	TOWN OF CARSON	PORTAGE COUNTY	0.02%	\$ 141.96
50014	TOWN OF DEWEY	PORTAGE COUNTY	0.02%	\$ 98.89
50016	TOWN OF EAU PLEINE	PORTAGE COUNTY	0.02%	\$ 104.23
50018	TOWN OF GRANT	PORTAGE COUNTY	0.03%	\$ 195.44
50020	TOWN OF HULL	PORTAGE COUNTY	0.09%	\$ 548.71
50022	TOWN OF LANARK	PORTAGE COUNTY	0.03%	\$ 155.62
50024	TOWN OF LINWOOD	PORTAGE COUNTY	0.02%	\$ 115.03
50026	TOWN OF NEW HOPE	PORTAGE COUNTY	0.01%	\$ 74.56
50028	TOWN OF PINE GROVE	PORTAGE COUNTY	0.01%	\$ 86.40
50030	TOWN OF PLOVER	PORTAGE COUNTY	0.03%	\$ 160.57
50032	TOWN OF SHARON	PORTAGE COUNTY	0.04%	\$ 215.74
50034	TOWN OF STOCKTON	PORTAGE COUNTY	0.05%	\$ 305.13
50101	VILLAGE OF ALMOND	PORTAGE COUNTY	0.01%	\$ 39.30
50102	VILLAGE OF AMHERST	PORTAGE COUNTY	0.02%	\$ 108.65
50103	VILLAGE OF AMHERST JUNCTION	PORTAGE COUNTY	0.01%	\$ 38.26
50141	VILLAGE OF JUNCTION CITY	PORTAGE COUNTY	0.01%	\$ 40.73
50161	VILLAGE OF NELSONVILLE	PORTAGE COUNTY	0.00%	\$ 20.00
50171	VILLAGE OF PARK RIDGE	PORTAGE COUNTY	0.01%	\$ 54.26
50173	VILLAGE OF PLOVER	PORTAGE COUNTY	0.23%	\$ 1,369.51
50176	VILLAGE OF ROSHOLT	PORTAGE COUNTY	0.01%	\$ 46.58
50191	VILLAGE OF WHITING	PORTAGE COUNTY	0.03%	\$ 172.02
50281	CITY OF STEVENS POINT	PORTAGE COUNTY	0.46%	\$ 2,787.82
51002	TOWN OF CATAWBA	PRICE COUNTY	0.00%	\$ 26.67
51004	TOWN OF EISENSTEIN	PRICE COUNTY	0.01%	\$ 69.61
51006	TOWN OF ELK	PRICE COUNTY	0.02%	\$ 109.43
51008	TOWN OF EMERY	PRICE COUNTY	0.01%	\$ 32.92
51010	TOWN OF FIFIELD	PRICE COUNTY	0.02%	\$ 102.79
51012	TOWN OF FLAMBEAU	PRICE COUNTY	0.01%	\$ 55.56
51014	TOWN OF GEORGETOWN	PRICE COUNTY	0.00%	\$ 20.00
51016	TOWN OF HACKETT	PRICE COUNTY	0.00%	\$ 20.30
51018	TOWN OF HARMONY	PRICE COUNTY	0.00%	\$ 22.51
51020	TOWN OF HILL	PRICE COUNTY	0.01%	\$ 36.82
51022	TOWN OF KENNAN	PRICE COUNTY	0.01%	\$ 35.65
51024	TOWN OF KNOX	PRICE COUNTY	0.01%	\$ 33.70
51026	TOWN OF LAKE	PRICE COUNTY	0.02%	\$ 125.70
51028	TOWN OF OGEMA	PRICE COUNTY	0.01%	\$ 79.24
51030	TOWN OF PRENTICE	PRICE COUNTY	0.01%	\$ 47.49
51032	TOWN OF SPIRIT	PRICE COUNTY	0.01%	\$ 32.66
51034	TOWN OF WORCESTER	PRICE COUNTY	0.03%	\$ 168.77
51111	VILLAGE OF CATAWBA	PRICE COUNTY	0.00%	\$ 20.00
51141	VILLAGE OF KENNAN	PRICE COUNTY	0.00%	\$ 20.00
51171	VILLAGE OF PRENTICE	PRICE COUNTY	0.01%	\$ 55.30
51271	CITY OF PARK FALLS	PRICE COUNTY	0.04%	\$ 249.57
51272	CITY OF PHILLIPS	PRICE COUNTY	0.03%	\$ 154.71
52002	TOWN OF BURLINGTON	RACINE COUNTY	0.11%	\$ 679.62
52006	TOWN OF DOVER	RACINE COUNTY	0.08%	\$ 466.61
52010	TOWN OF NORWAY	RACINE COUNTY	0.14%	\$ 815.85
52016	TOWN OF WATERFORD	RACINE COUNTY	0.11%	\$ 673.50
52104	VILLAGE OF CALEDONIA	RACINE COUNTY	0.44%	\$ 2,638.96

VILLAGE OF CALEDONIA

FISCAL NOTE: BUDGET MODIFICATION FOR RECEIPT OF GRANT FOR THE ABSENTEE BALLOT ENVELOPE SUBGRANT

FISCAL YEAR: 2023

ACCOUNT NAME	ACCOUNT NUMBER	CURRENT BUDGET	YEAR TO DATE EXPENDITURES	CURRENT BALANCE	BUDGET MODIFICATION	BUDGET AFTER MODIFICATION	REMAINING BUDGET BALANCE
DEPARTMENT: ELECTIONS							
GRANT REVENUE	100-00-43200	\$ 32,000	\$ -	\$ 32,000	\$ 2,639	\$ 34,639	\$ 34,639
COPYING & PRINTING	100-12-64060	\$ 2,500	\$ 1,392	\$ 1,108	\$ 2,639	\$ 5,139	\$ 3,747
		\$ 2,500	\$ 1,392	\$ 1,108	\$ 2,639	\$ 5,139	\$ 3,747



June 21, 2023

To: Wisconsin Elections Commission
Subject: 2023 Absentee Ballot Envelope Subgrant Memorandum of Understanding

Dear Wisconsin Elections Commission,

I, Joslyn Hoeffert, as Clerk of the Village of Caledonia, am writing this Memorandum of Understanding (MOU) in order to apply for the 2023 Absentee Ballot Envelope Subgrant Program, as announced in your communication dated June 12, 2023.

In line with the guidelines provided by the Wisconsin Elections Commission (WEC), I understand that this subgrant is meant to offset the costs that we will incur while purchasing the redesigned absentee ballot envelopes (EL-120 and EL-122) in order to comply with recent statutory requirements and court orders.

The Village of Caledonia is aware of the need for these redesigned envelopes to maintain the integrity of our election process and is prepared to comply with all terms of use, as stated in your notice.

As per Appendix A, the Village of Caledonia is entitled to receive an award of \$2,638.96 based on our estimated January 1, 2022, voting age population, as determined by the Department of Administration Demographic Services Center.

I confirm that these funds will be used strictly for purchasing the redesigned absentee ballot envelopes (EL-120 and EL-122).

By submitting this MOU, the Village of Caledonia agrees to adhere to all program requirements as outlined in the communication from the WEC. I understand that failure to use these funds as stated could result in the repayment of subgrant funds to the WEC.

Please accept this MOU as our formal application to the 2023 Absentee Ballot Envelope Subgrant Program.

Thank you,

Joslyn Hoeffert
Village Clerk
(262)835-6414
jhoeffert@caledoniawi.com

Attachments: Appendix A; Fiscal Note; Resolution 2023-65
Cc: Village of Caledonia Board of Trustees

RESOLUTION NO. 2023-66

**A RESOLUTION OF THE VILLAGE BOARD OF THE VILLAGE OF CALEDONIA TO
APPROVE A DEVELOPMENT AGREEMENT WITH THE RICHARD & DIANE RUFFO
REVOCABLE TRUST DATED 4/22/2009 FOR THE EXTENSION OF CORONA DRIVE**

The Village Board for the Village of Caledonia resolves as follows:

WHEREAS, the Owner, the Richard & Diane Ruffo Revocable Trust Dated 4/22/2009 is the owner of property to the North of the Aldebaran Subdivision, more specifically North of Corona Drive.

WHEREAS, the Owner, the Richard & Diane Ruffo Revocable Trust Dated 4/22/2009 has submitted and has received approval for a CSM for the dedication of Right of Way. The intent is to construct a single-family home on the lot. In order for the Village to allow a single-family home to be constructed on the lot, the Corona Drive Extension will need to be constructed as a Village Road to provide appropriate frontage for the lot.

WHEREAS, the Owner, the Richard & Diane Ruffo Revocable Trust Dated 4/22/2009 has submitted construction plans and has received approval from the Village of Caledonia Utility District and the Engineering Department for the construction of the Corona Drive Extension.

WHEREAS, the Owner, the Richard & Diane Ruffo Revocable Trust Dated 4/22/2009 has executed a Development Agreement and will be providing the appropriate financial guarantee for the construction of the Corona Drive Extension.

WHEREAS, the Village President and Village Clerk need to execute the Development Agreement in order to allow it to be recorded.

NOW, THEREFORE, BE IT RESOLVED by the Caledonia Village Board that the Development Agreement between the Village of Caledonia, the Richard & Diane Ruffo Revocable Trust Dated 4/22/2009 and A.W. Oakes & Son Inc. as set forth in **Exhibit A** attached hereto and incorporated herein (the "Development Agreement"), is hereby authorized, and approved, and the Village President and Village Clerk are authorized to execute said agreement and Village staff are authorized to take all such actions necessary in furtherance of the Development Agreement.

Adopted by the Village Board of the Village of Caledonia, Racine County, Wisconsin, this
____ day of June, 2023.

VILLAGE OF CALEDONIA

By: _____
Thomas Weatherston
Village President

Attest: _____
Joslyn Hoeffert
Village Clerk

DEVELOPMENT AGREEMENT

Corona Drive - Road Extension (Parcel ID 51-104-04-22-35-002-000)

THIS DEVELOPMENT AGREEMENT, (the “Agreement”), effective as of the date last executed by any Party hereto, is made and entered into by and between **RICHARD & DIANE RUFFO REVOCABLE TRUST DATED 4/22/2009**, their successors and assigns, (the “Developer”), the **VILLAGE OF CALEDONIA**, a municipal corporation located in Racine County, Wisconsin, its successors and assigns (the “Village”), and **A.W. OAKES & SON INC.** being a Wisconsin Corporation (the “Contractor”) (Developer, Village, and Contractor are collectively referred to as “the Parties”);

INTRODUCTION

- A. The Village is located in Racine County, Wisconsin.
- B. Developer is the sole record-title owner of a parcel of real property previously platted (hereinafter referred to as the "Property") located in the Village of Caledonia, Racine County, Wisconsin, and which is legally described on the attached **Exhibit A**.
- C. Developer desires to construct a Single-Family Home on the parcel, which presently is not buildable, because the parcel does not have access to a constructed Village Road. The Developer is willing to construct a Village Road within the parcel to make the parcel buildable, which requires that the Developer enter into a suitable contract with the Village relative to the construction of a road extension of Corona Drive.
- D. Developer has provided plans for the construction of the Village Road. A copy of the Approved Constriction Plans are attached as **Exhibit C**.

E. As a part of the road extension of Corona Drive, the Developer wishes to contract directly with the Contractor for the purpose of constructing the roadway improvements prior to acceptance by the Village pursuant to Titles 14 and 18 of the Village's Code of Ordinances.

F. Any and all applications, the pre-development agreement, and accompanying plans, schedules, exhibits, and other documents filed with the Village are incorporated by reference herein, as modified by any written or formal approvals of the Village.

G. Wisconsin Statute Section 236.13 and the applicable Village Ordinances provide that as a condition for final approval, the governing body of a municipality may require the Developer make and install or have made and installed, any new Public Improvement, reasonably necessary in the Property, and the Developer may provide an irrevocable letter of credit or other surety approved by the Village guaranteeing that the Developer will make and install or have made and installed those improvements in the Property within a reasonable time.

H. The Village believes that the orderly planned development of the Property will best promote the health, benefit, safety and general welfare of the community.

NOW THEREFORE, in consideration of the granting of approval by the Village of the development of the above described Property, and the covenants herein contained, and other good and valuable consideration, the adequacy and sufficiency which is acknowledged by all parties, it is mutually agreed as follows:

1. **Introduction is Correct.** The Parties agree that the foregoing "Introduction" is true and correct and is hereby incorporated into this Agreement by reference.

2. **Definitions.**

Public Improvements shall mean all public improvements to be constructed under this Agreement, including grading, erosion control, drainage, Sanitary Sewer Utilities, Watermain

Utilities, and all requisite public improvements, Public Roads, including any required curb and gutter, and Storm Water Utilities.

Public Roads shall mean all public rights-of-way in the legal description including any required curb and gutter.

3. **Consent of the Village.** The Village hereby grants permission to the Developer and the Contractor to undertake and do the Construction Project for the Property as a private project on private property (as opposed to a Village project requiring compliance with the public bidding statutes).

4. **Construction Project.** The Property Public Improvements construction shall be undertaken and done by Contractor, and Developer shall be solely responsible for the payment of all costs and expenses for the construction. The Contractor and Developer expressly understand and agree that the Village will not be liable or responsible in any manner for any of the said costs and expenses of the Property construction.

5. **Code of Ordinances Incorporated.** The Code of Ordinances of the Village, as amended from time-to-time, is hereby incorporated into this Agreement, and Developer and Contractor agree to perform all of the obligations imposed upon Developer and/or Contractor by the terms and provisions of such ordinances, as applicable. Without limitation, Developer specifically acknowledges that it must pay all applicable fees, which include, but are not limited to, applicable impact fees, land division fees, and others. Notwithstanding the foregoing, impact fees for an individual home's construction shall be paid at the time of building permit for said home.

6. **Public Improvements; Dedication and Construction.**

(a) **Property Improvements Generally.** Developer shall prepare, at its expense and per applicable Village Ordinances and the requirements of this Agreement, complete plans for construction of the Property's Public Improvements, including for the extension of Corona Drive as shown on the approved plans prepared by Pinnacle Engineering Group dated and professional engineered stamped on May 19, 2023 for the Public Improvements subject to any conditions and requirements of the Village's Engineering Department which are incorporated herein by reference (the "Plans"). The Public Improvements', Public Roads' design and plans shall conform to the Village's minimum standards for public utilities and public roads then in effect unless otherwise agreed to in writing by the Developer and the Village, and such plans and specifications shall be submitted to and approved by the Village. In the event of any conflict between the minimum design standards in the Village's Code of Ordinances and the requirements of this Agreement, the more restrictive shall control except as expressly provided for in this Agreement. The Developer acknowledges and agrees that it is solely responsible for all costs of construction and installation of Property improvements and Public Improvements.

(b) **Sewer & Water Mains & Lateral Construction.** Developer's design engineer shall stake all the Sewer and Water Mains & Laterals prior to construction. Developer shall be responsible for constructing the Sewer & Water Mains & Laterals at Developer's expense and per approved Plans. Developer's construction work shall be subject to inspection by the Village, Utility District, or the Village's designee. Developer shall construct the Sewer & Water Mains & Laterals utilizing granular backfill, as set forth in the approved Plans and as required by Village Ordinances. The parcel being buildable is conditioned upon the Village's acceptance of the Public Improvements and the Property (and the lot therein) being serviced with public Sewer & Water

Mains & Laterals, and the Developer agrees to enter into agreements to grant to the Village, as appropriate all easements, if applicable and deemed necessary for the furnishing of public Sewer & Water Mains & Laterals to the lot in said Property.

After the Sewer & Water Mains & Laterals have passed final inspection and testing, and after all lien waivers for the work completed on the Sewer & Water Mains & Laterals have been provided to the Village, the Village shall accept any necessary easements for access to the Sewer & Water Utilities.

(c) **Public Roads Construction.** After acceptance of the Sewer & Water Utilities by the Village and Utility District, the Developer and Contractor shall thereafter construct, at Developer's expense, the base construction, except asphaltting, in compliance with applicable Village standards and Ordinances for public roads. When such base construction, except asphaltting, has been completed by the Developer and Contractor, inspected, tested and approved by the Village Engineering Department, and after all lien waivers respecting the Public Roads have been provided to the Village, the Village shall accept such construction, subject to maintenance guarantees then provided in the Village Ordinances, this Agreement and such other guarantees as the Village Board may deem necessary to protect the Village in the event that there is an identified deficiency in the construction that warrants a longer guarantee period of time. It is anticipated that the Public Roads construction, including binder and surface asphaltting, as further described herein shall be done in 2023. The Developer and Contractor shall be responsible for regrading and shaping the Public Roads at its expense prior to the asphaltting work being done in accordance with Village's duly-bid public road work (annual paving program) contract. After construction of base course of the Public Roads is approved and accepted by the Village, the Village's asphaltting contractor shall fine grade the stone base and install four and one-half (4½) inches of binder

asphalt, in two (2) layers per Village Engineering Department specifications, on all such Public Roads or parts thereof within the Property which the Developer and Contractor are required to construct hereunder. The Village Engineering Department shall inspect such work for compliance with Village Ordinances and if such work complies, shall accept such work which shall constitute "substantial completion" in accordance with Sec. 236.13, Wis. Stat.

When authorized to install the surface course of asphalt by the Village's Engineering Department, the Village's asphaltting contractor shall patch if necessary, based on inspection by the Village Engineering Department. A final inspection shall be completed by the Village Engineering Department to determine if any repairs need to be made. The binder course should be swept clean prior to placing any tack coat. The Village's asphaltting contractor shall install one and one-half (1-1/2) inches of surface asphalt and Developer and Contractor shall complete the final work except for any manhole and water box adjustments on such Public Roads in the Property. Developer agrees that it is financially responsible for the costs for all asphalt and installation of the asphalt binder and surface courses, but the Village shall be responsible to perform such work, either directly or through contracted third-parties. Developer and Contractor shall also abide by the provisions of Resolution 2000-26, relating to street barricades, which is incorporated herein by reference.

(d) **Reimbursement for Costs.** The Developer shall, within Thirty (30) Days after receiving a written itemized invoice(s) from the Village for the same, reimburse and pay to the Village all engineering, inspection, administrative and legal costs incurred by the Village. This shall expressly include, but not be limited to, (i) all engineering costs incurred in the review of the Plans, and (ii) all inspection costs, and (iii) all legal costs of the Village's attorney pertaining to this Agreement.

(e) **Right of Village To Complete The Project.** If the Developer commences the work (by having the Contractor commence actual excavation work and/or construction work on site) but then fails for any reason to complete or finish the work, then, in addition to any and all other remedies available to the Village under the law:

1) The Village may, at its option, complete and finish the work by doing such remaining work (the "Completion Work") as a publicly-bid Village project; and

2) The Developer shall pay to the Village all costs incurred by the Village in doing the Completion Work; and

3) Without in any manner limiting its available remedies under the law, the Village may obtain payment of all such costs for the Completion Work through a levy of special assessments and/or special charges (collectively referred to as the "Special Assessment") on the Property pursuant to the terms and provisions of Section 66.0703 of the Wisconsin Statutes and/or any other applicable statutes. Developer hereby waives all procedural rights that Developer may have under the laws of the State of Wisconsin with respect to such an imposition of the Special Assessment on the Property for items required of Developer herein. This waiver includes, but is not limited to, the requirement of a written notice and a public hearing as required under Section 66.0703 of the Wisconsin Statutes and/or any other special assessment statutes.

7. **Drainage Facilities.**

(a) **Construction.** Developer and Contractor agree to design, construct, and install, at its expense, all the Storm Water Utilities as specified and set forth in the Village-approved plans and specifications described in Section 6 hereof. In the event the Storm Water Utilities are not completed within two (2) years from the date hereof, the Village Board shall have the right to

review the plans in light of conditions then existing or expected in the area and to modify the plans to meet any such conditions. The Developer and Contractor shall construct and complete the Storm Water Utilities pursuant to any such revised plans. All such work shall be subject to approval and acceptance by the Village Board and the Village's Utility Commission. Any damage occurring to the Public Improvements or to any other drainage structures or appurtenances, including drainage tiles, shall be repaired, restored or rerouted by Developer in accordance with this Agreement.

(b) **Default.** In the event of any default in the obligations to properly repair damage caused during construction or to maintain the drainage easements, including any retention or detention basins, the Village may cause said maintenance to be provided and may charge the Developer or subsequent owner for said costs. In addition, the Village, at its option, may cause all such costs including any engineering, legal, and administrative costs with respect to the same, to be assessed against the Property or the lot within the Property that is assigned responsibility for such drainage facility, all as provided in Sections 66.0627 and 66.0703, Wis. Stats., and applicable Village Ordinance.

8. **Public Improvements Cost, Security, Guaranty Period.**

(a) **Public Improvements Costs and Security.** In order to secure Developer's satisfactory completion of the Public Improvements including but not limited to the Sewer, Water and Storm Mains & Laterals and Public Roads, the Developer has opted to post with the Village a Letter of Credit, in the amount of **\$375,000.00** (the "Security"), which amount equates to 120% of the Public Improvements' estimated total cost (excluding the cost for asphaltting) and equates to 110% of the estimated total paving work cost as set forth in **Exhibit B** which is incorporated herein by reference.

Developer shall post the Security with the Village prior to the required staking by the Developer. After completion satisfactory to the Village as set forth in this Agreement of each of (1) the Sewer, Water, Storm Mains & Laterals, and (2) the Public Road's stone course, and (3) the Public Road's binder and surface course of asphalt, the Village shall release that portion of the Security that is attributable to the estimated cost of the completed work upon receipt by the Village of lien waivers, as shown on **Exhibit B** hereto. The release of security shall be accomplished incrementally as portions of the work are completed and accepted by the Village and invoices for asphaltting work have been paid by Developer. After invoices have been paid for the Sewer, Water, & Storm Mains and Laterals and Road work and the asphalt courses have been accepted, only that portion of the Security necessary to secure completion of the remaining Public Improvements work plus 10% of the original Security total of **\$29,945.20** shall be retained by the Village as security for an additional fourteen (14) months to secure the Developer's obligations during the Guaranty Period and to ensure completion of the remaining Public Improvements. In calculating the retention amount of the security, such amount shall not include the original 20% contingency. Developer may, at its option, substitute an additional cash bond for the remaining amount on the letter of credit for the remaining Public Improvements work, plus 10% of the original Security.

The Village may utilize the remaining security for repair and maintenance of the Public Road, as well as for additional amounts needed to complete the asphaltting of the street if the Developer does not perform, after notice, its repair, maintenance and/or reconstruction responsibilities during the Guaranty Period. In the event any such fund is inadequate to pay for such work, the Developer, upon written demand by the Village, shall pay to the Village any such deficiency. In addition to any other remedies the Village may have, the Village shall be entitled

to impose a special assessment or special charge against the Property for any deficiencies not paid in accordance with Section 25 of this Agreement.

If Developer fails to complete the Public Improvements within one year of initial staking, the Village shall draw on the Security without further notice to Developer to complete the remaining Public Improvements.

(b) **Guaranty.** Developer shall warrant and guarantee the Public Improvements in good condition and in compliance with the Village's standards and specifications for a minimum period of one (1) year after acceptance of the courses of asphalt (the "Guaranty Period"). The Developer shall be liable for all maintenance (except snow plowing) and repair of the road, shoulders and curb and gutter as applicable for a period of at least one (1) year. The Village Board may require a longer guaranty period based upon the site conditions, time when construction is to be carried on, and any other factors affecting the road or its stability. In the event any defect(s) is discovered during such one-year time period, the Village shall notify the Developer and Contractor in writing, and the Developer and Contractor shall cause such defect(s) to be corrected within Sixty (60) calendar days (or within such shorter period designated by the Village if the public health and safety so require). If the Developer and/or Contractor shall fail to do so within such 60-day time period (or if the public safety sooner requires the remedied work to be done and the Developer/Contractor are not able to timely do so), then the Village may cause such defect(s) to be corrected, and the Developer and Contractor shall be liable to the Village for any costs incurred by the Village in doing so, including any construction, engineering, legal or administrative costs with respect to the said remedial work.

In the case of the asphaltting work for the Public Roads, this Guaranty Period includes the time period between acceptance of the binder course of asphalt and installation and

acceptance of the surface course of asphalt. The Guaranty Period, however, shall not in any manner limit, change or amend any applicable statutes of limitation regarding the Public Improvements. The Village shall utilize any or all retained Security during the Guaranty Period toward the costs of any necessary repairs of the Public Improvements if Developer does not directly or adequately perform, after notice, its repair and maintenance responsibilities under this Agreement. The Parties recognize that the Guaranty Period lasts longer than 14 months and if the Developer does not directly or adequately perform, after notice, its repair and maintenance responsibilities under this Agreement and the Village takes action to perform the repair and maintenance, the Developer shall reimburse the Village for costs incurred in doing so within thirty (30) days of written notice of such costs. If Developer fails to reimburse the Village for such costs, including but not limited to actual attorney's fees and costs, engineering fees and costs, and administrative costs, in addition to any other remedies the Village may have, the Village shall be entitled to specially assess its costs against the Property in accordance with Section 25 of this Agreement.

(c) **General Inspections.** The Public Improvements shall be inspected by the Village's Engineering Department, or the Village's consulting engineers, and all costs of such inspections shall be paid for by Developer. The Contractor shall provide to the Village its work schedule for Public Improvements prior to any work being undertaken, such schedule shall (i) specify the times, dates, and type of work to be performed, and (ii) have a format and content satisfactory to the Village's Engineering Department. Developer and Contractor understand that it is the intent of the Village to have one or more inspectors presents as needed while the work on the Public Improvements is being performed. The designated inspectors at the construction site shall have the full right and authority to stop work on the Property project whenever they believe

that any such work or materials are not in compliance with the approved Plans and Specification, and in such event the Contractor shall then immediately cure any such failure of compliance before proceeding with any other work. Notwithstanding the foregoing right and authority granted to the Village's inspectors (to stop the work in the event of a failure of compliance with the approved Plans and Specifications), the parties to this Agreement expressly understand and agree that, as between the parties to this Agreement, the Contractor and/or Developer shall be the sole parties responsible for (i) all safety measures required for the work, and (ii) the direction of all laborers and personnel doing the work (except for the inspector(s) hired by Village), and (iii) all means and methods required to do the work.

9. **Street Markings and Signage.** The Developer shall be responsible for the costs of procuring and installing all pavement markings and street signage within or adjacent to the Property. Pavement markings, if any, may include stop lines at intersections, striping for right turn lanes, and any other pavement markings required by the Village's Engineering Department. Signage shall include all stop signs, street signs and other signs required by the Village's Engineering Department. The street sign and pavement marking plan, which shall be created by the Village's Engineering Department, is incorporated by reference. The Developer authorizes the Village to have the necessary Public Roads markings and signs installed and shall reimburse the Village on a time and material basis.

10. **Sale of Lots.** Developer or its successors in title shall not sell, convey or transfer any land abutting upon a street or portion thereof dedicated until the following have occurred: (1) this Agreement is executed and recorded; (2) all Security has been deposited with the Village (by such time as is herein provided); (3) the Sewer & Water Utilities have been installed and accepted

by the Village & Utility District; and (4) all Public Roads have been constructed in accordance with the terms of the Village's subdivision Ordinance, the Village standards for construction of streets and highways, other applicable Village Ordinances, and this Agreement.

11. **Sewer and Water.** For the parcel to be buildable for a single-family home the parcel shall be serviced with public sewer and water service by the Village's Utility Districts. All fees applicable to the connection and service of the Property to the public sewer and water systems shall be borne by Developer or individual lot owners, and any use of such systems shall be subject to all applicable use restrictions.

12. **Reimbursement of Costs.** The Developer acknowledges and agrees that it is solely responsible for all costs related to the installation of Public Improvements. In addition, the Developer agrees to reimburse the Village for its costs related to the Property including costs incurred by the Village to review conceptual, preliminary and final plans plat associated with the Property and to review, revise and/or draft any agreements, easements, deed restrictions or other documents associated with the Property. Such costs shall also include the costs of Village's retained engineers, attorneys, inspectors, agents, and subcontractors. Developer understands that legal, engineering, and all other consultants retained by the Village are acting exclusively on behalf of the Village and not Developer. Developer entered into a previous predevelopment agreement with the Village paid to the Village a deposit for such reimbursements. This Section supersedes the predevelopment agreement, and the parties intend that the reimbursement account and process set up by the predevelopment agreement shall continue uninterrupted as needed to cover expenses incurred under this Agreement. If at any time said deposit becomes insufficient to pay expenses incurred by the Village, Developer shall deposit required additional amounts within fifteen (15) days of written demand by the Village. If Developer does not deposit the required amount within

the time required, the Village may suspend additional work or review as to the plans and specifications under consideration until the deposit is received. Within sixty (60) days after completion of all construction contemplated under this Agreement, the Village shall furnish Developer with a statement of all such costs incurred by it with respect to such Property. Any excess funds shall be remitted to Developer, and any costs in excess of such deposit shall be paid by Developer upon demand. Any interest earned on said deposit shall remain the property of the Village to partially offset administrative expenses associated with planning and development.

13. **Utilities and Utility Laterals.** Developer is responsible for all costs associated with all private utilities servicing the Property including, without limitation, the cost of underground installation of cables, wires, pipes, laterals, etc. for electric, gas, telephone, and cable television services, if any. Developer shall fully restore, at its expense, any Village right-of-way that has been disturbed due to its installation of utilities, lighting or landscaping. The Village shall not take ownership of any utility laterals outside of the Right of Way.

14. **As-Built Plans.** Upon written acceptance of all improvements by the Village, the Village's Consulting Engineer, at the Developer's expense, shall provide to the Village one complete set of as-built plans and profile sheets. In addition, the Developers Engineer, at the Developers expense, shall prepare and provide to the Village one complete set of plans, two sets of prints indicating actual constructed locations and elevations, and one set of electronic drawings (PDF) and associated files compatible with a computer-aided design (CAD) system maintained by the Village. The as-built plans shall be prepared by modification of the construction drawings to reflect as-built data for streets, site grading, and all other relevant public improvements. Changes to base and other maps and official drawings not provided by the Developer's as-built drawings,

but necessitated by actions of the Developer, shall be reimbursed to the Village by the Developer whether or not such items are enumerated in this Agreement.

15. **Building Permit and Lot Construction.** Until the Public Improvements provided herein to be installed to service the Property have been installed to the reasonable satisfaction of the Village Engineering Department, no building permit shall be issued for the Property; provided, however, that a building permit may be issued to the Property after the binder course for the street has been installed and accepted by the Village. It is anticipated that the paving will be completed in 2023. The Developer shall be responsible for plowing of the snow through winter months on the Village's rights-of-way that are unpaved. Construction activities related to improvements upon any lot shall not spill over onto other Property. Finished yard grades and grading plans must be approved by the Village Engineering Department before construction may commence and the lot owner shall be responsible for the costs of any review at the time of building permit review.

16. **Laws To Be Observed.** The Developer and Contractor shall at all times observe and comply with all federal, state, and local laws, regulations, and Ordinances (collectively, the "Laws") which are in effect, or which may be placed in effect and impact the conduct of the work to be accomplished under this Agreement to construct the Public Improvements and Private Improvements, inclusive of repairs, replacements, and alterations (**the "Work"**). The Developer and Contractor shall indemnify and hold harmless the Village and its agents, officers and employees, against any claims or liability directly arising from or based on the violation of any such Laws by the Developer or its principals, agents, employees or contractors, except to the extent that such claims or liability arise by virtue of the negligence or willful misconduct of the Village and any of its agents, contractors, officers or employees. The Developer and Contractor shall

procure all permits and licenses and pay all charges and fees and give all notices necessary and incident to the lawful prosecution of the Work to be completed under this Agreement.

17. **Public Protection and Safety.** The Village shall not be responsible for any damage, bodily injury or death arising out of the Work whether from maintaining an “attractive nuisance” or otherwise, except as caused by the negligence or willful misconduct of the Village or any of its agents, contractors, officers or employees. Where apparent or potential hazards actually known by the Developer and Contractor that occur incident to the conduct of the Work, the Developer and Contractor shall provide reasonable safeguards. Developer shall, however, still be solely responsible for the means and the methods used for the construction of the Work. The Village, Developer and Contractor do not waive, and shall retain, all defenses to third party claims pursuant to applicable law.

18. **Survey Monuments.** The Developer and Contractor shall exercise all reasonable efforts to assure that all survey or other monuments required by Statute or Ordinance will be properly placed and installed. Any monuments disturbed during construction of improvements shall be restored by Developer and Contractor.

19. **Drain Tile.** Any drain tile or other drainage structure or appurtenance damaged during construction shall be repaired and restored to its condition prior to such construction, or rerouted or replaced, if necessary, by Developer and Contractor in the reasonable opinion of the Village Engineering Department, and provide a permanent record of such work to the Village.

20. **Erosion Control.** During the course of the development of the Property, the Developer shall be responsible to ensure that reasonable steps are taken to prevent erosion from the parcel and the siltation therefrom being carried into streets rights-of-way, street-side ditches, drainage ditches, easements, culverts, drains, waterways, lakes, and streams. To prevent such

erosion and siltation the Developer shall conform to the practices as set forth in the erosion control plan located in the Construction Plans and all Construction Site Storm Water Permits issued by the Department of Natural Resources. In the event of any such erosion or siltation, the Developer and Contractor shall be responsible for removing all such siltation from and restoring all such rights-of-way, ditches, easements, culverts, drains, waterways, lakes and streams. All such compliance and work hereunder shall be done without cost to the Village. The Developer shall be responsible for ensuring that its contractors utilize construction means and methods that minimize, to the extent possible, nuisance-type impacts to the surrounding landowners. Prior to the start of construction, the Developer shall obtain a Land Disturbance Permit from the Village.

21. **Personal Liability of Public Officials.** In carrying out any of the provisions of this Agreement or in exercising any power or authority granted to them thereby, there shall be no personal liability of the Village officers, agents or employees, it being understood and agreed that in such matters they act as agents and representatives of the Village.

22. **Indemnification/Hold Harmless Agreement.** The Developer hereby does, jointly and severally, expressly agree to indemnify and hold the Village and its respective elected and appointed officers, employees, engineers and agents harmless from and against all claims, judgments, damages, costs, expenses and liability of every kind and nature, including but not limited to any reasonable actual fees for attorneys and experts retained by the Village in conjunction with this Agreement, for any injury or damage received or sustained by any person or entity in connection with, on account of, or in any way relating to the Property, Construction Project including Developer's performance of work relating thereto, or this Agreement and any other liability of any nature whatsoever, that may arise, directly or indirectly as a result of:

- a) The Village entering into this Agreement; and/or

- b) The Developer and Contractor undertaking and doing the Construction Project(s);

and/or
- c) The Developer and/or Contractor failing to comply with the terms and provisions of this Agreement and/or the Development Agreement.

Such indemnification, however, shall not apply to any intentional torts and/or acts of negligence on the part of the releases and shall not apply to injury or damage arising, in whole or in part, due to negligence or willful misconduct of the Village, or any of their agents, contractors, officers or employees. The Developer further agrees to aid and defend the Village or its agents (at no cost to the Village or its agents) in the event they are named as a defendant in an action concerning or relating in any way to the Property or this Agreement, unless said suit is brought by the Developer or due to negligence or willful misconduct of the Village, or any of their agents, contractors, officers, or employees. The Developer and Contractor are not agents or employees of the Village. All work or obligations to be performed by the Developer and Contractor pursuant to the terms of this Agreement shall be done in accordance with (i) all applicable state, federal and local laws, rules, ordinances and regulations; and (ii) the terms and provision of this Agreement.

23. **Indemnification for Environmental Contamination.** The Developer and Contractor, as applicable, shall indemnify, defend, and hold the Village, and its respective elected and appointed officers, employees, and agents harmless from any claims, judgments, damages, penalties, fines, costs, or loss (including actual fees for attorneys and consultants) that arise as a result of the presence in or on property owned by the Village or any Village right-of-way (“Village Parcels”) of any toxic or hazardous substances in excess of the minimum levels allowed by applicable law (collectively, the “Substance”) arising from any activity conducted by the

Developer, Contractor, or any third parties, or by the Developer's respective employees, agents or contractors, except as to injury or damage arising, in whole or in part, due to negligence or willful misconduct of the Village, or any of their agents, contractors, officers, or employees. Without limiting the generality of the foregoing, this indemnification shall specifically include any costs incurred by the Village in connection with any remedial, removal, or restoration work required by any local, state, or federal agencies because of the presence of the Substances on or in the Village Parcels, whether in the soil, groundwater or air unless its due to the Village's willful neglect or misconduct.

The Village agrees that they will immediately deliver written notice to the Developer and Contractor of the Village's discovery of the Substances in or on the Village Parcels. Following delivery to the Developer and Contractor of written notice of the Village's claim as required under this Section, the Village shall make all reasonable accommodations to allow the Developer and Contractor to examine the Village Parcels and conduct such clean-up operations as may be required by appropriate local, state, or federal agencies to comply with applicable laws.

In the event the Developer and Contractor is obligated to indemnify the Village against claims arising under this Section, Developer and Contractor shall take all necessary steps to ensure that the Village receive written confirmation from the appropriate governmental authority of the satisfactory completion of the required remediation, removal or restoration work including, without limitation, a no further action letter, final case closure letter or confirmation that the presence of such toxic or hazardous substances affecting the Village Parcels migrated from an offsite source (the "Closure Documents"). The Closure Documents may be predicated upon any contingency or restriction approved by the appropriate governmental authority for groundwater or any use or as a deed restriction or registration in any registry including, without

limitation, the GIS Registry. Developer and Contractor shall be responsible for any continuing obligation imposed by any appropriate governmental authority as a continuing indemnity for the Village.

24. **Insurance Requirements.**

(a) **General:** The Developer and Contractor shall obtain insurance reasonably acceptable to the Village as required under this section and such insurance which shall, by specific endorsement to said policy, name the Village, on a primary and non-contributory basis, as an additional insured or loss payee as the Village shall direct. The Developer and Contractor shall maintain all required insurance under this section until the Village has accepted dedication of all Public Improvements and for the duration of the Guaranty Period. Insurance required under this Agreement shall be carried with an insurer authorized to do business in Wisconsin by the Wisconsin State Insurance Department. The Village reserves the right to reasonably disapprove any insurance company.

(b) **Certificates of Insurance:** Where the Village does not specify other limits for liability insurance, the minimum limits of liability shall be as follows:

Employer's Liability	\$100,000.00 per occurrence
Comprehensive Motor Vehicle Liability,	\$1,500,000.00 per Bodily Injury Accident & Property Damage Combined
Comprehensive General Liability Bodily Injury	\$1,500,000.00 per accident; \$2,000,000 per project General Aggregate
Property Damage Combined	\$1,000,000.00 aggregate; \$2,000,000 per project General Aggregate
Worker's Compensation	Statutory Limits

Builder's Risk (as deemed applicable by Village)	All Risk Type; Total Value of Project
Installation Floater	All Risk Type; Total Value of Project
Umbrella	\$2,000,000 aggregate

The Developer and Contractor may furnish coverage for bodily injury and property damage for Comprehensive Motor Vehicle Liability and Comprehensive General Liability through the use of primary liability policies or in a combination with an umbrella excess third party liability.

(c) **Owner's Protective Liability (Independent Contractor Insurance).**

The liability limits shall be the same as those of the Comprehensive General Liability Policy.

25. **Special Assessments.** Developer agrees, for itself and its successors in interest in the Property, that the Property is specially benefitted by this Agreement and by the Public Improvements provided for by this Agreement. If Developer defaults on any obligations under this Agreement, including but not limited to any financial obligation, Developer agrees, for itself and its successors in interest in the Property, that, in addition to any other remedy at law or in equity that the Village may pursue, the Village shall be entitled to specially assess all its costs relating to such default against the Property, pro rata based on acreage, without need of any procedures that are otherwise required by state statute or Village ordinance before a special assessment may be imposed. Developer, for itself and its successors in interest in the Property, hereby waives any and all right to any hearings and to challenge any such special assessment.

26. **Miscellaneous Provisions.**

a. **Incorporation of Attachments.** All exhibits and other documents attached hereto or referred to herein are hereby incorporated in and shall become a part of this Agreement.

b. **Non-waiver of Approvals.** Nothing herein shall be construed or interpreted in any way to waive any obligation or requirement of the Developer to obtain all necessary approvals,

licenses, and permits from the Village in accordance with its usual practices and procedures, nor limit or affect in any way the right and authority of the Village to approve or disapprove any plans and specifications, or any part thereof, or to impose reasonable limitations, restrictions, and requirements on the Property, construction, and use of the Property as a condition of any such approval, license, or permit, including without limitation, requiring any and all other and further development and similar agreements. The Village will act diligently to review all necessary approvals, licenses, and permits duly requested by the Developer.

c. **Compliance with Laws.** The Property construction shall be undertaken and done in full compliance with:

- i. The terms and provisions of this Development Agreement
- ii. All applicable governmental laws, rules, regulations, statutes and ordinances; and
- iii. All directives, rules and regulations of the Village, and its officers, employees and agents; and
- iv. All drawings, plans, specifications, or diagrams required by and approved by the Village.

d. **Time of the Essence.** Time is deemed to be of the essence with regard to all dates and time periods set forth herein and incorporated herein.

e. **Headings.** Descriptive headings are for convenience only and shall not control or affect the meaning or construction of any provision of this Agreement.

f. **Entire Agreement.** This Agreement and all other documents and agreements expressly referred to herein contain the entire agreement between the Developer and the Village

with respect to the matters set forth herein. This Agreement may be modified only in writing signed by all Parties.

g. **Venue and Law Applicable.** This Agreement shall be governed, controlled, interpreted and construed in accordance with the internal laws of the State of Wisconsin. The venue of any legal action arising under and/or pertaining to this Agreement shall solely and exclusively be Racine County Circuit Court in Racine, Wisconsin.

h. **Originals and Counterparts.** This Agreement may be executed in any number of counterparts, each of which shall be deemed to be an original.

i. **Amendments to Agreement.** This Agreement shall not be amended orally but only by the written agreement of the Parties signed by the appropriate representatives of each Party and with the actual authority of each Party.

j. **Agreement Runs with the Land.** This Agreement shall be binding upon the Developer, and its successors in title or assigns, and the provisions hereof shall be covenants running with the land and shall be binding upon the present owners and all subsequent owners of the Property or any portion thereof. This Agreement shall be recorded with the Racine County Register of Deeds. The sale of any lot or parcel within the Property shall not relieve any owners of their continuing liability hereunder except as provided herein.

k. **Notices.** All notices permitted or required by this Agreement shall be given in writing and shall be considered given upon receipt if hand delivered to the party or person intended or a successor designated by a party to this Agreement, or upon facsimile transmission to the fax numbers set forth herein or a successor number or numbers designated by the party, or one business day after deposit with a nationally recognized overnight commercial courier service, air bill prepaid, or forty-eight (48) hours after deposit in the United States mail, postage prepaid, by

certified mail, return receipt requested, addressed by name and address to the party or person intended as follows, or a successor party or address, or both:

To Developer: Richard & Diane Ruffo Revocable Trust Dated 4/22/2009
9 Ironwood Court
Racine, WI 53402

To the Village: Village Clerk
Village of Caledonia
5043 Chester Lane
Racine, WI 53402

Village Engineer
Village of Caledonia
5043 Chester Lane
Racine, WI 53402

To the Contractor: A.W. Oakes & Son Inc
2000 Oakes Road
Racine, WI 53406

l. **Successors and Assignment.** This Agreement is binding upon and enforceable against the Parties' respective successors and permitted assigns. The Village may assign its interest in this Agreement to any successor entity or entities, including any municipality or municipalities established under Wisconsin law with jurisdiction over part or all of the area now occupied by the Village. The Developer and Contractor may not assign its interest in this Agreement without the express written approval of the Village.

m. **Severability.** The provisions of this Agreement are severable. If any provision of this Agreement is held by a court of competent jurisdiction to be invalid or unenforceable, the remaining provisions of this Agreement shall be binding on all parties.

n. **Subordination.** The Mortgagee joins in this Agreement for the sole purpose of agreeing that in the event of the foreclosure of its mortgage interest in the lands of the Property,

this Agreement shall survive such foreclosure and the lands in the Property shall remain subject to this Agreement.

o. **The Contractor.** A.W. Oakes & Son Inc. is the general contractor for construction of the Development, being hired and retained by Developer to construct the Public Improvements. A.W. Oakes & Son Inc., however, as the general contractor, shall be responsible and obligated to the Village to perform all of the duties imposed upon the "Contractor" under this Agreement.

p. **Force Majeure.** For purposes of this Agreement, the term "Force Majeure" means events or circumstances beyond a Party's reasonable control, including, without limitation, "acts of God," fire, flood, other natural calamities, accidents, unusual delays in deliveries, unavoidable casualties, labor disputes, strikes, lockouts or picketing (legal or illegal), wars, riots, acts of terrorism, changes in or unexpected interpretations of applicable statutes, laws, ordinances or regulations, adverse weather conditions, condemnation or other actions of governmental authorities or utility companies or shortages of labor, fuel, power or materials.

q. **Use of Further Subcontractor.** In the event Contractor elects to use a further Subcontractor(s) to do part and/or all of the construction, then:

- i. Such further Subcontractor must be pre-approved by the Developer; and
- ii. Such further Subcontractor must be pre-approved and pre-qualified by the Village, which approval shall not be unreasonably withheld, conditioned, or delayed; and
- iii. Such further Subcontractor shall agree to perform all of the duties and obligations imposed upon the Contractor in this Agreement relative to

that portion of duties and obligations of the work they are taking over;
and

- iv. The general contractor shall still remain a party to this Agreement, and still be responsible for fully performing all of the duties and obligations imposed upon any subcontractor(s) under this Agreement.

r. **Legal Action.** In addition to the provisions set forth in this Agreement, the Village may take any and all other appropriate action at law or equity to enforce compliance with the provisions of this or any other agreement it may have with the Developer and Contractor pertaining to this project, and in the event of a legal action in which the final determination is in favor of the Village, the Village shall be entitled to collect from the Developer and Contractor statutory costs and disbursements, plus its actual attorneys' fees and costs.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement in the day and year set forth below.

DEVELOPER

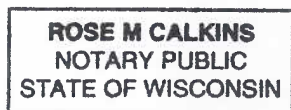
RICHARD & DIANE RUFFO REVOCABLE TRUST DATED 4/22/2009

By: [Signature]
Richard Ruffo

By: [Signature]
Diane Ruffo

STATE OF WISCONSIN)
) SS:
COUNTY OF RACINE)

Personally came before me this 14TH day of June 2023, Richard Ruffo and Diane Ruffo, being trustees of the Richard & Diane Ruffo Revocable Trust Dated 4/22/2009 to me known to be the persons who executed the foregoing instrument and acknowledged the same as the act and deed of said persons.



[Signature]
Notary Public, Racine County, WI
Print Name: Rose M. Calkins
My commission: 10-3-2026

VILLAGE OF CALEDONIA

By: _____
Thomas Weatherston
Village President

Attest: _____
Joslyn Hoeffert
Village Clerk

Personally came before me this ____ day of _____, 2023, Thomas Weatherston and Joslyn M. Hoeffert, Village President and Village Clerk of the Village of Caledonia, to me known to be the persons who executed the foregoing instrument, and acknowledged the same as the act and deed of said Village.

Notary Public, Racine County, WI

Name: _____

My Commission: _____

CONTRACTOR

A.W. OAKES & SON INC.

By: _____

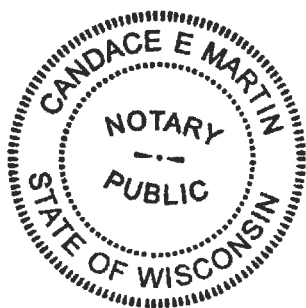
Maxwell J. Oakes, CPA
President

Attest: _____

Patricia R. Koestler
Secretary



Personally came before me this 20th day of June, 2023 Maxwell J. Oakes and Patricia R. Koestler President and Secretary of the A.W. OAKES & SON, INC. to me known to be the persons who executed the foregoing instrument, and acknowledged the same as the act and deed of said corporation.



Candace E. Martin

Notary Public, Racine County, WI

Name: Candace E. Martin

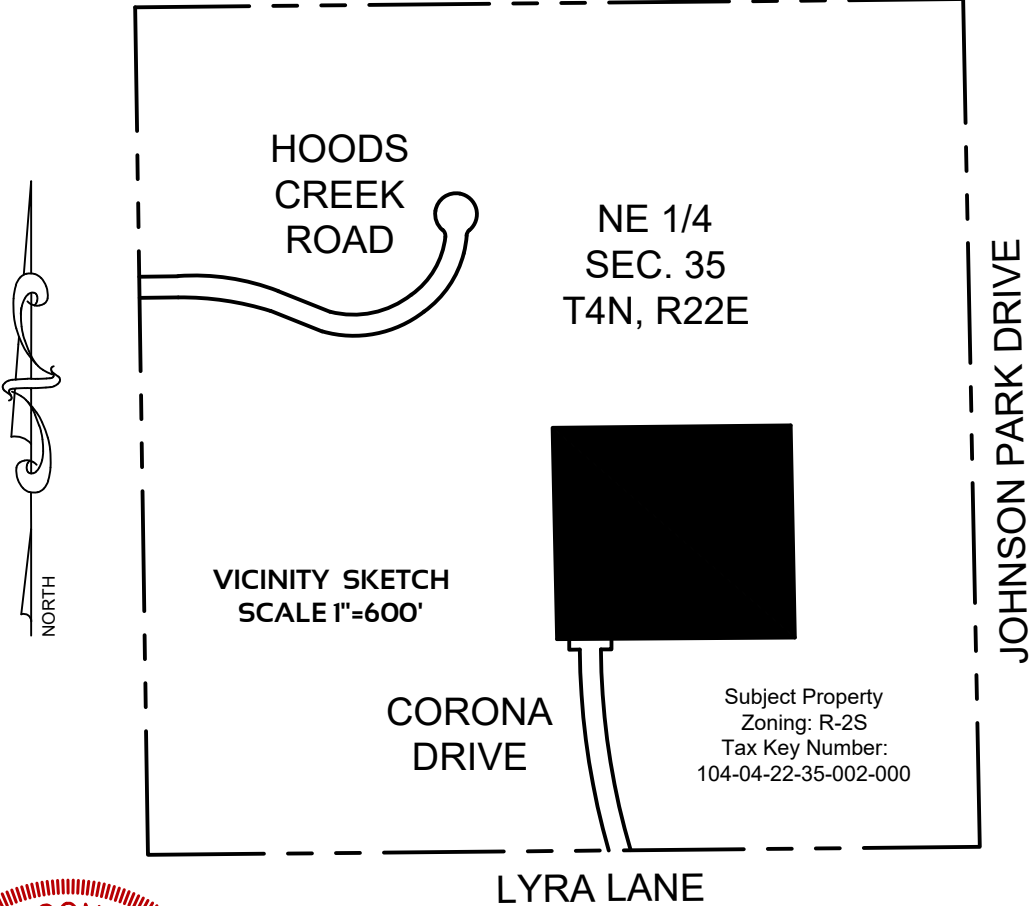
My Commission: August 19, 2026

EXHIBITS:

- Exhibit A: Legal Description of Property
- Exhibit B: Cash Deposit / Security
- Exhibit C: Approved Construction Plans

CERTIFIED SURVEY
MAP NO. _____

Being a part of the Southeast 1/4 of the Northeast 1/4 of
Section 35, Township 4 North, Range 22 East, Village of
Caledonia, Racine County, Wisconsin



APRIL 4, 2023

Prepared for:
Richard Ruffo
9 Iron Wood Court
Racine, WI 53402

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

NOTES:

- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- Coordinates referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1983/2011). Bearings referenced to the east line of the Northeast 1/4 of Section 35, Township 4 North, Range 22 East which has a bearing of S01°07'55"E.
- Flood Zone Classification: The property lies within Zone "X" of the Flood Insurance Rate Map Community Panel No. 55101C0113E with an effective date of FEBRUARY 1, 2019. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.

DRAFTED BY: ST
PEG JOB#2893.00
SHEET 1 OF 5

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

CERTIFIED SURVEY MAP NO. _____

Being a part of the Southeast 1/4 of the Northeast 1/4 of Section 35, Township 4 North,
Range 22 East, Village of Caledonia, Racine County, Wisconsin



- LEGEND:**
- - Denotes Found 2" Iron Pipe
 - - Denotes Found 3/4" Iron Rebar
 - - Denotes Found Square Pipe
 - - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.

NW CORNER, NE 1/4
SEC. 35, T4N, R22E
(FOUND CONC. MON.
W/ BRASS CAP)
N=288,052.14;
E=2,541,542.58

NE CORNER, NE 1/4
SEC. 35, T4N, R22E
(FOUND CONC. MON.
W/ BRASS CAP)
N=288,077.91;
E=2,544,129.69

N89°25'45"E 2587.24'
NORTH LINE OF THE NE 1/4
SEC. 35, T4N, R22E

TAX KEY
#104-04-22-35-003-000
UNPLATTED LANDS
OWNER: MACVICAR

N89°25'45"E 733.05'

VILLAGE OF
CALEDONIA
CITY OF RACINE

MONUMENTED WEST LINE OF THE
SE 1/4 OF THE NE 1/4 OF SECTION 35
10' GRINDER PUMP
SEWAGE SYSTEM
PIPE LINE EASEMENT
PER DOC. 1001616

LOT 1
464,330 SQ. FT.
10.6596 ACRES

OWNER: CITY OF RACINE
"HERBERT F JOHNSON
MEMORIAL PARK"

TAX KEY
#276-00-00-21-258-000
UNPLATTED LANDS

EAST LINE OF THE NE 1/4 SEC. 35, T4N, R22E
S01°07'55"E 2649.50'

PROPOSED 20' WIDE STORM
SEWER EASEMENT GRANTED
TO THE VILLAGE OF CALEDONIA
SEE DETAIL ON SHEET 5

DEDICATED FOR
PUBLIC ROAD
CORONA DRIVE
20,940 SQ. FT.
0.4807 ACRES

MONUMENTED NORTH LINE OF
ALDEBARAN ((R) N88°56'24"W)

S89°37'11"W 733.60'

P.O.B.
N89°37'11"E
565.22'

1991.67'

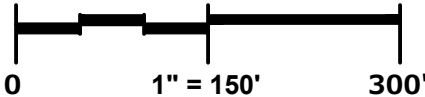
657.83'

SE CORNER, NE 1/4
SEC. 35, T4N, R22E
(FOUND CONC. MON. W/ BRASS CAP)
N=258,428.93; E=2,544,182.03
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE)

**CORONA
DRIVE**
(VARIABLE
PUBLIC R.O.W.)

**LEO
LANE**

GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2893.00
SHEET 2 OF 5

CERTIFIED SURVEY MAP NO. _____

Being a part of the Southeast 1/4 of the Northeast 1/4 of Section 35, Township 4 North,
Range 22 East, Village of Caledonia, Racine County, Wisconsin

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and divided that part of the Southeast 1/4 of the Northeast 1/4 of Section 35, Township 4 North,
Range 22 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

Commencing at the southeast corner of the Northeast 1/4 of said Section 35; thence North 01°07'55" West along the east line of
said Northeast 1/4, 657.83 feet; thence South 89°37'11" West, 565.22 feet to a found square iron pipe marking the northeast
corner of Block 3 of Aldebaran, a recorded subdivision, and the Point of Beginning;

Thence continuing South 89°37'11" West along the monumented north line of said Block 3 of Aldebaran, 733.60 feet;
Thence North 01°12'15" West along the monumented West line of the Southeast 1/4 of the Northeast 1/4 of said Section 35, as
described in Quit Claim Deed Document No. 2264571, 660.56 feet;
Thence North 89°25'45" East parallel to the north line of the said Northeast 1/4, 733.05 feet;
Thence South 01°07'55" East parallel to the aforesaid east line of the Northeast 1/4, 663.00 feet to the Point of Beginning.

Dedicating that portion of subject property as graphically shown for public right of way purposes.

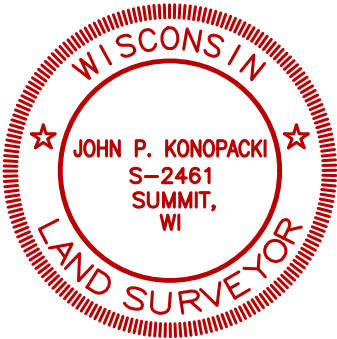
Containing 485,270 square feet (11.1403 acres) of land Gross and 464,330 square feet (10.6596 acres) of land Net more or less.

That I have made such survey, land division and map by the direction of RICHARD AND DIANE RUFFO REVOCABLE TRUST
DATED APRIL 22, 2009, owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the Village of Caledonia
Land Division Ordinance in surveying, mapping and dividing the land within the certified survey map.

Date: APRIL 4, 2023



John P. Konopacki
Professional Land Surveyor S-2461

LINE TABLE

LINE NO.	BEARING	DISTANCE
L1	N00°22'49"W	89.12'

CURVE TABLE

CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT	TANGENT
C1	27.18'	28.00'	055°36'38"	N27°25'30"E	26.12'	N00°22'49"W	N55°13'49"E
C2	406.62'	80.00'	291°13'16"	S89°37'11"W	90.37'	N55°13'49"E	S55°59'27"E
C3	27.18'	28.00'	055°36'38"	S28°11'08"E	26.12'	S55°59'27"E	S00°22'49"E

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2893.00
SHEET 3 OF 5

CERTIFIED SURVEY MAP NO. _____

Being a part of the Southeast 1/4 of the Northeast 1/4 of Section 35, Township 4 North,
Range 22 East, Village of Caledonia, Racine County, Wisconsin

OWNER'S CERTIFICATE OF DEDICATION

RICHARD AND DIANE RUFFO REVOCABLE TRUST DATED APRIL 22, 2009, as owner, hereby certifies that we caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of the Village of Caledonia.

RICHARD AND DIANE RUFFO REVOCABLE TRUST DATED APRIL 22, 2009, as owner, does further certify that this certified survey map is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval:

- 1. Village of Caledonia

IN WITNESS WHEREOF, the said RICHARD AND DIANE RUFFO REVOCABLE TRUST DATED APRIL 22, 2009, has caused these presents to be signed by (name - print) _____, (title) _____ and (name - print) _____, (title) _____, at (city) _____, _____ County, Wisconsin, on this _____ day of _____, 2023.

In the presence of: RICHARD AND DIANE RUFFO REVOCABLE TRUST DATED APRIL 22, 2009

Name - Title

Name - Title

STATE OF WISCONSIN)
_____ COUNTY) SS

-
Personally came before me this _____ day of _____, 2023, _____ and _____, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____

CONSENT OF CORPORATE MORTGAGEE

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described in the forgoing affidavit of John P. Konopacki, surveyor, and does hereby consent to the above certification of owners.

IN WITNESS WHEREOF, the said _____, has caused these presents to be signed by _____, its _____, and its corporate seal to be hereunto affixed this _____ day of _____, 2023.

Date

Name - Title

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 2023, _____, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____



APRIL 4, 2023

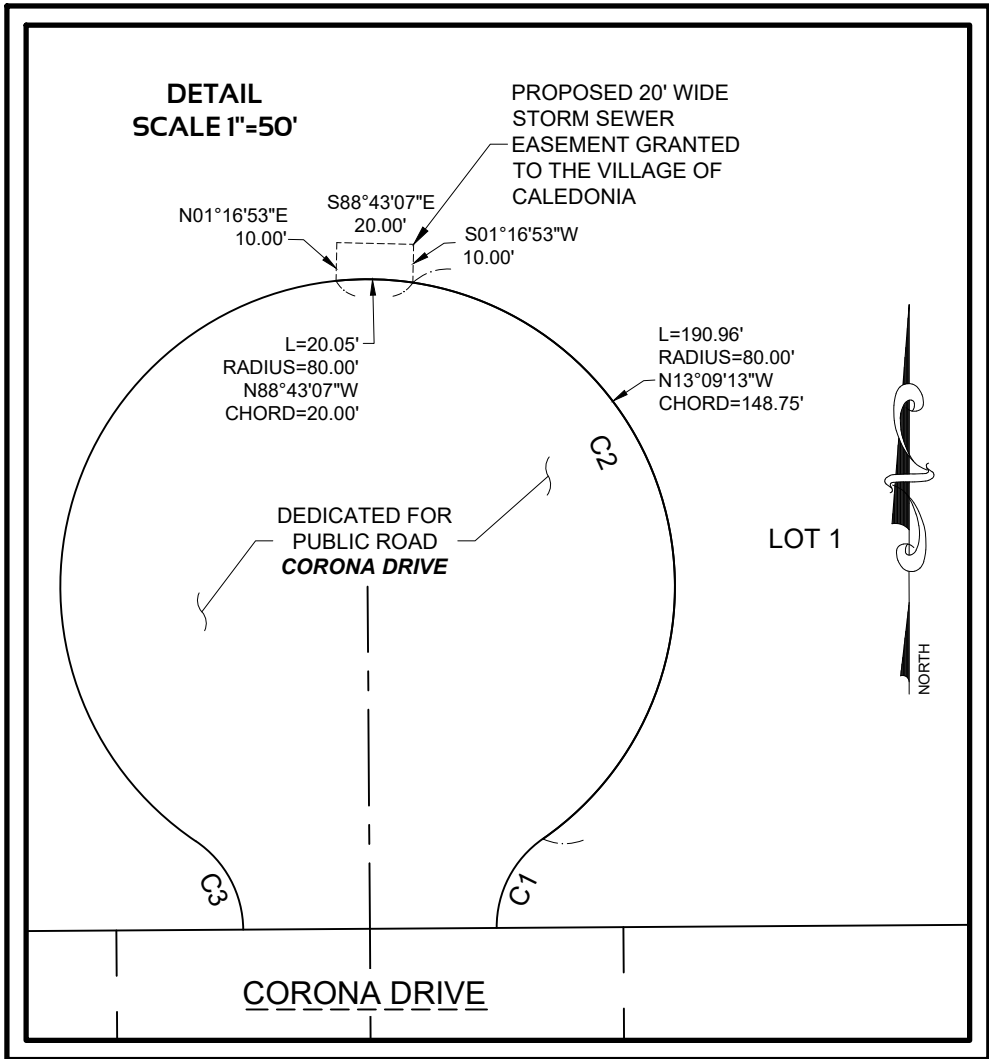
CERTIFIED SURVEY MAP NO. _____

Being a part of the Southeast 1/4 of the Northeast 1/4 of Section 35, Township 4 North,
Range 22 East, Village of Caledonia, Racine County, Wisconsin

VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Caledonia, Wisconsin, on this _____ day of _____, 2023.

Date _____ Joslyn M. Hoeffert, Village Clerk



APRIL 4, 2023

Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2893.00
SHEET 5 OF 5

Exhibit B

Corona Drive Extension

Road Extension Work including Laterals	\$ 270,000.00
Total	\$ 270,000.00

120% of Total	\$ 324,000.00
---------------	---------------

After acceptance of all public improvements and during the guaranty period after installation of the surface course of asphalt it is anticipated that the Letter of Credit will be reduced to \$29,945.20 (representing 10% of the cost of the Public Improvements)

Paving Work			
Binder	252 tons	\$ 69.70	\$ 17,564.40
Surface	84 tons	\$ 77.65	\$ 6,522.60
Subgrade Prep	973 SY	\$ 1.00	\$ 973.00
Shouldering	244 SY	\$ 18.00	\$ 4,392.00
Inspections			\$ 16,911.64

Paving Work	\$ 46,363.64
-------------	--------------

110% of Total	\$ 51,000.00
---------------	--------------

TOTAL Letter of Credit	\$ 375,000.00
------------------------	---------------

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC. DESIGNED: ASZ DRAFTED: BR REVIEWED: ASZ

LEGEND

	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER CATCH BASIN (ROUND CASTING)	⊙	●
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	□	■
PRECAST FLARED END SECTION	△	▲
CONCRETE HEADWALL	∩	∩
VALVE BOX	⊗	⊗
FIRE HYDRANT	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
FIRE PROTECTION	—	—
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
UTILITY CROSSING	—	—
CAUTION EXISTING UTILITIES NEARBY		CAUTION
GRANULAR TRENCH BACKFILL		
LIGHTING	⊙	⊙
ELECTRICAL TRANSFORMER OR PEDESTAL	⊙	⊙
POWER POLE	⊙	⊙
POWER POLE WITH LIGHT	⊙	⊙
GUY WIRE	⊙	⊙
STREET SIGN	⊙	⊙
CONTOUR	—	—
SPOT ELEVATION	×	+
WETLANDS	—	—
PRIMARY ENVIRONMENTAL CORRIDOR	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	—	—
DIVERSION SWALE	—	—
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊙	⊙
SOIL BORING	⊙	⊙
TOPSOIL PROBE	⊙	⊙
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

ABBREVIATIONS

BL	BASE LINE	MH	MANHOLE
BP	BOTTOM OF PIPE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
FYG	FINISHED YARD GRADE	TS	TOP OF SIDEWALK
HWL	HIGH WATER LEVEL	TW	TOP OF FOUNDATION WALL
INV	INVERT	WM	WATER MAIN
L	LENGTH OF CURVE	Δ	INTERSECTION ANGLE

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

WISCONSIN OFFICE:
15850 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

CORONA DRIVE EXTENSION
VILLAGE OF CALEDONIA, RACINE CO.

COVER SHEET

REVISIONS

1	VILLAGE COMMENTS	03-30-23	—	—	—
2	DNR NOI SUBMITTAL	05-19-23	—	—	—
—	—	—	—	—	—
—	—	—	—	—	—

PEC JOB NO.	2893.00
ASZ	ASZ
START DATE	02-07-23
SCALE	N/A

SHEET
C-1
C-7

ENGINEERING IMPROVEMENT PLANS
FOR
CORONA DRIVE
EXTENSION

VILLAGE OF CALEDONIA, WI
PLANS PREPARED FOR
RICHARD & DIANE RUFFO REVOCABLE TRUST

ATTN: RICHARD RUFFO
9 IRONWOOD COURT
RACINE, WI 53402
PHONE: 262-994-5550

INDEX OF SHEETS

C-1	COVER SHEET
C-2	PROP. SANITARY SEWER PLAN & PROFILE
C-3	PROP. WATER MAIN PLAN & PROFILE
C-4	PROP. PAVING AND STORM SEWER PLAN & PROFILE
C-5	GRADING & EROSION CONTROL PLAN
C-6 - C-7	CONSTRUCTION DETAILS

APPLICANT/ DEVELOPER

RICHARD & DIANE RUFFO REVOCABLE TRUST
ATTN: RICHARD RUFFO
9 IRONWOOD COURT
RACINE, WI. 53402
(262) 994-5550

CIVIL ENGINEERING
CONTACTS

PINNACLE ENGINEERING GROUP
ATTN: ANTHONY S. ZANON, P.E.
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888

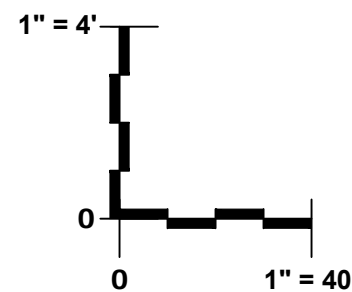
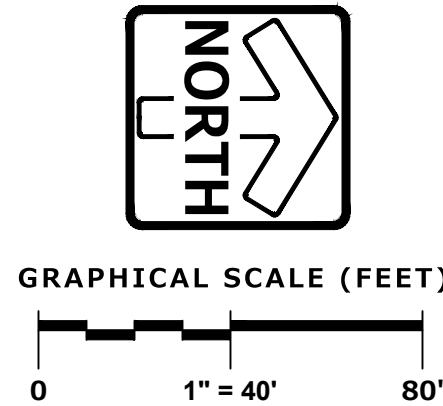


Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

PINNACLE ENGINEERING GROUP, LLC
ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

A circular prohibition sign with a diagonal slash over a shovel and a house icon. The sign is black and white, with a thick black border. Inside the circle, there is a white background. A diagonal slash runs from the top-left to the bottom-right. Overlaid on the slash is a black icon of a shovel and a house. The shovel is positioned vertically, with its handle at the top and its head at the bottom. The house is positioned to the left of the shovel, with its roofline and chimney visible.

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.

Contact Diggers Hotline, Inc., Etc.

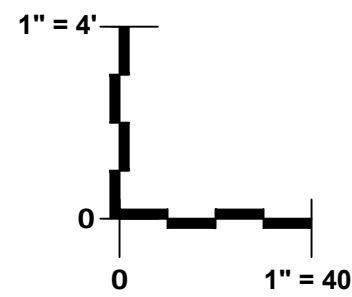
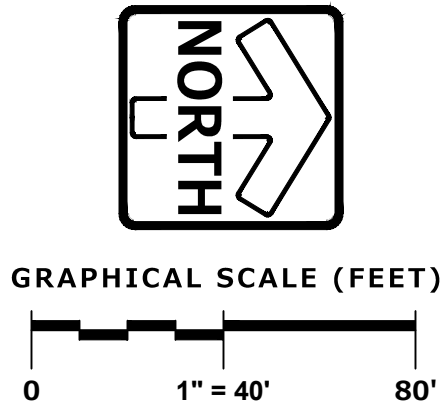
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS STATUTE 182.07(5)(974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

MILWAU. AREA 259-1181

REG JOB No. 2893.00
 REG PM ASZ
 START DATE 02-07-23
 SCALE 1" = 40'

SHEET
C-2
C-7



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

A circular prohibition sign with a diagonal slash over a shovel and a house icon. The sign is black and white, with a thick black border. Inside the circle, there is a white background. A diagonal slash runs from the top-left to the bottom-right. Overlaid on the slash is a black icon of a shovel and a house. The shovel is positioned vertically, with its handle at the top and its head at the bottom. The house is positioned to the left of the shovel, with its roofline and chimney visible.

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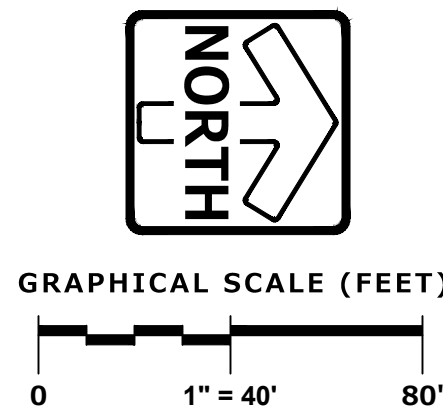
Contact Diggers Hotline, Inc., Etc.

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

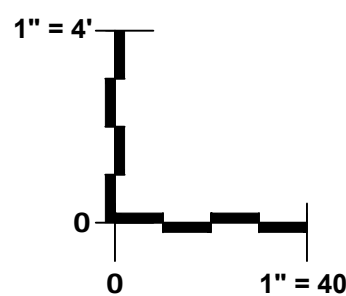
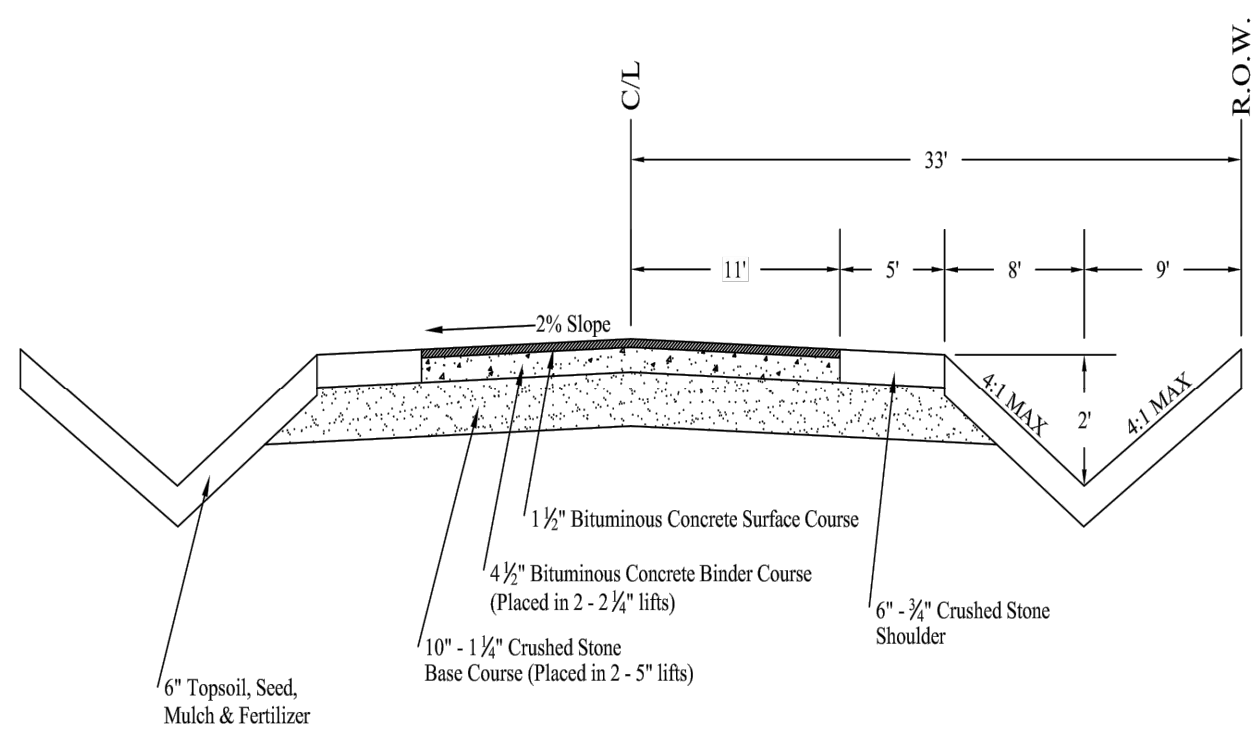
VIS STATUTE (1820753/9774)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

MILWA. AREA 259-1181


PEG JOB No. 2893.00
 PEG PM ASZ
 START DATE 02-07-23
 SCALE 1" = 40'



Village of Caledonia
Rural Local Road
Cross Section



TO OBTAIN LOCATION OF
FACTORIES, UNDERGROUND
FACILITIES, BEFORE YOU
DIG IN WISCONSIN



NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.

Contact Diggers Hotline, Inc., Etc.

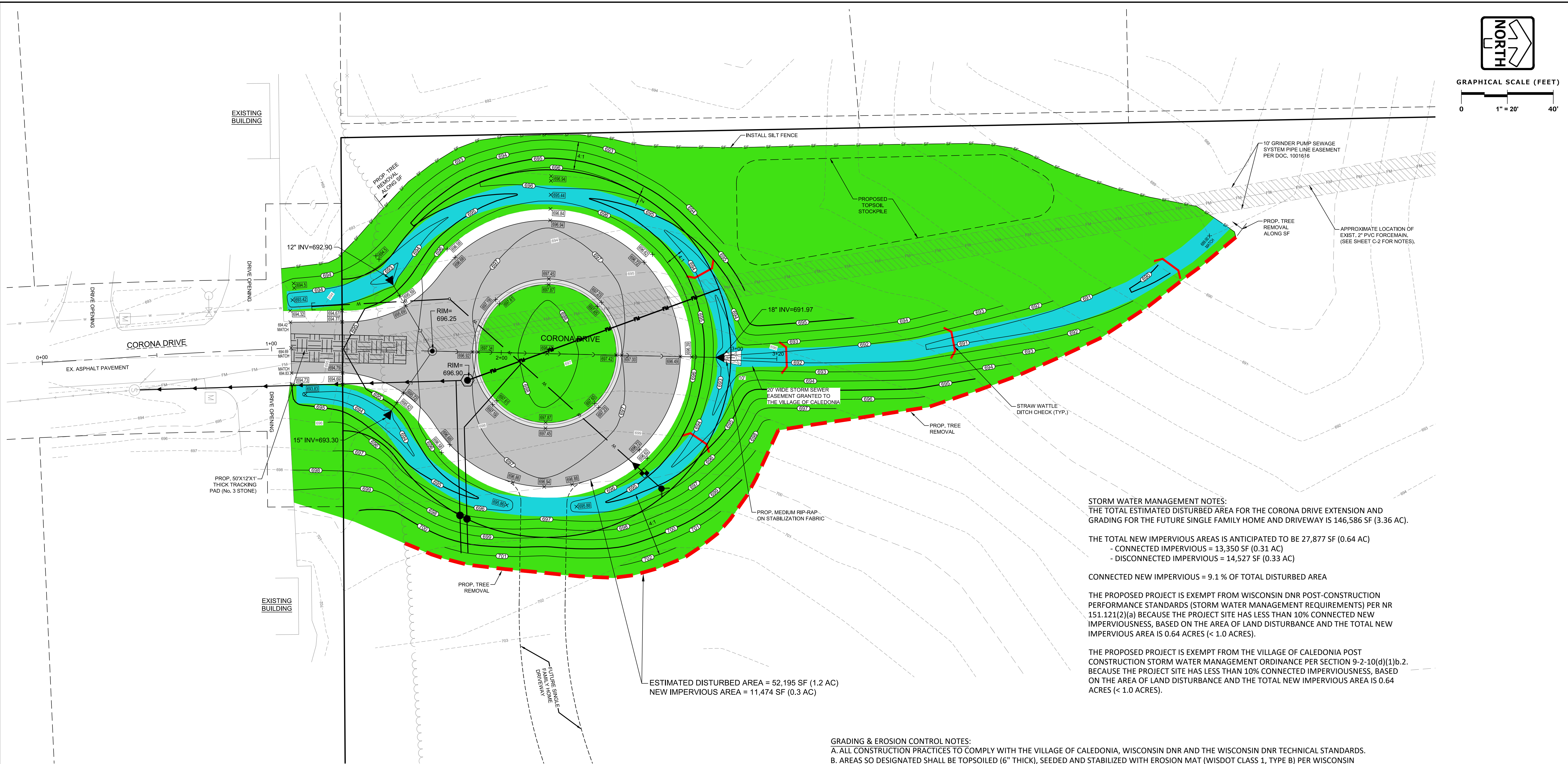
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS STATE# 080007040
REQUIRES MIN 3 WORK DAYS
NOTICE BEFORE EXCAVATE

MILWA. AREA 259-1181

PEG JOB No. 2893.00
 PEG PM ASZ
 START DATE 02-07-23
 SCALE 1" = 40'

SHEET
C-4
C-7

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC
DESIGNED: BR
DRAFTED: BR
REVIEWED: ASZ
DESIGNED: ASZ



GRAPHICAL SCALE (FEET)
0 1" = 20' 40'

STORM WATER MANAGEMENT NOTES:
THE TOTAL ESTIMATED DISTURBED AREA FOR THE CORONA DRIVE EXTENSION AND GRADING FOR THE FUTURE SINGLE FAMILY HOME AND DRIVEWAY IS 146,586 SF (3.36 AC).

THE TOTAL NEW IMPERVIOUS AREAS IS ANTICIPATED TO BE 27,877 SF (0.64 AC)
- CONNECTED IMPERVIOUS = 13,350 SF (0.31 AC)
- DISCONNECTED IMPERVIOUS = 14,527 SF (0.33 AC)

CONNECTED NEW IMPERVIOUS = 9.1 % OF TOTAL DISTURBED AREA

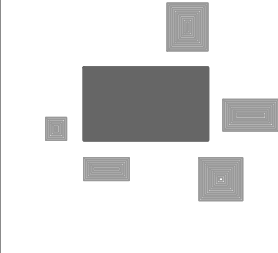
THE PROPOSED PROJECT IS EXEMPT FROM WISCONSIN DNR POST-CONSTRUCTION PERFORMANCE STANDARDS (STORM WATER MANAGEMENT REQUIREMENTS) PER NR 151.121(2)(a) BECAUSE THE PROJECT SITE HAS LESS THAN 10% CONNECTED NEW IMPERVIOUSNESS, BASED ON THE AREA OF LAND DISTURBANCE AND THE TOTAL NEW IMPERVIOUS AREA IS 0.64 ACRES (< 1.0 ACRES).

THE PROPOSED PROJECT IS EXEMPT FROM THE VILLAGE OF CALEDONIA POST CONSTRUCTION STORM WATER MANAGEMENT ORDINANCE PER SECTION 9-2-10(d)(1)b.2. BECAUSE THE PROJECT SITE HAS LESS THAN 10% CONNECTED IMPERVIOUSNESS, BASED ON THE AREA OF LAND DISTURBANCE AND THE TOTAL NEW IMPERVIOUS AREA IS 0.64 ACRES (< 1.0 ACRES).

- GRADING & EROSION CONTROL NOTES:**
- ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE VILLAGE OF CALEDONIA, WISCONSIN DNR AND THE WISCONSIN DNR TECHNICAL STANDARDS.
 - AREAS SO DESIGNATED SHALL BE TOPSOILED (6" THICK), SEEDED AND STABILIZED WITH EROSION MAT (WISDOT CLASS 1, TYPE B) PER WISCONSIN DNR TECHNICAL STANDARD 1052. CHANNEL AREAS SO DESIGNATED SHALL BE TOPSOILED (6" THICK), SEEDED AND STABILIZED WITH CHANNEL EROSION MAT (WISDOT CLASS II, TYPE C) PER WISCONSIN DNR TECHNICAL STANDARD 1053.
 - TEMPORARY STABILIZATION IS REQUIRED FOR ANY AREA LEFT INACTIVE FOR MORE THAN SEVEN DAYS. TOPSOIL AND SPOIL STOCKPILES SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF LAYUP USING AGRICULTURAL RYE WITH A SEEDING RATE OF 3 LBS/1000 SQUARE FEET. INSTALL SILT FENCE ON THE DOWNSLOPE SIDE OF THE PILE TO REDUCE SEDIMENT RUNOFF.
 - TREES SHALL ONLY BE REMOVED TO COMPLETE THE GRADING AS SHOWN. NO OTHER TREES SHALL BE REMOVED. COORDINATE TREE REMOVAL WITH THE OWNER PRIOR TO ANY TREE REMOVAL WORK.
 - ALL CONSTRUCTION TRAFFIC IS TO ENTER/EXIT THE SITE OVER THE TRACKING PAD FROM CORONA DRIVE. THE TRACKING PAD IS PER WISCONSIN DNR TECHNICAL STANDARD 1057. ALL PRIVATE AND PUBLIC STREETS ARE TO BE KEPT CLEAN AT ALL TIMES.
 - THE PERMANENT SEED MIXTURE FOR ALL DISTURBED AREAS SHALL BE WISCONSIN DOT SEED MIXTURE NO. 40 AND SOWN AT THE RATE OF 4 LBS/1000 SQ. FT. SEED MIXTURE NO. 40 CONSISTS OF 35% KENTUCKY BLUEGRASS, 20% RED FESCUE, 20% HARD FESCUE AND 25% IMPROVED FINE PERENNIAL RYEGRASS. THE TEMPORARY SEED MIX SHALL BE WINTER WHEAT.
 - FERTILIZE SOIL WITH 10 LBS/1000 SQ. FT. OF 20-0-10 FERTILIZER.
 - ANY DEWATERING THAT MAYBE REQUIRED DUE TO CONSTRUCTION SHALL BE COMPLETED SO THAT THE WATER IS PUMPED INTO A TYPE II GEOTEXTILE BAG ON THE UPSLOPE SIDE OF THE SILT FENCE. THE GEOTEXTILE BAG SHOULD BE PLACED IN A LOCATION THAT ALLOWS THE DISCHARGED WATER TO FLOW OVER A VEGETATIVE COVER. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1061.
 - ALL BUILDING AND WASTE MATERIAL SHALL BE DISPOSED OF OFF SITE TO PREVENT RUNOFF OF MATERIAL.
 - DUST CONTROL SHOULD BE ADDRESSED PER WISCONSIN DNR TECHNICAL STANDARD 1068. AT A MINIMUM USE WATER. USE POLYMERS, TACKIFIER AND SOIL STABILIZERS IF NEEDED. INSPECT DAILY TO DETERMINE THE NEED TO IMPLEMENT A CONTROL.
 - CONCRETE TRUCKS, IF NEEDED, ARE TO BE WASHED OUT IN PAVEMENT SUB-BASE AREAS.



NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., Etc.
TO OBTAIN LOCATIONS OF UNDERGROUND UTILITIES, CALL DIGGERS HOTLINE 1-800-242-8911 TOLL FREE
WIS. STATUTE 180.07(1)(a) REVISOR 180.07(1)(a) NOTICE BEFORE YOU EXCAVATE
MILWAU. AREA 259-1181



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CORONA DRIVE EXTENSION

VILLAGE OF CALEDONIA, RACINE CO.

GRADING & EROSION CONTROL PLAN

REVISIONS		
1	VILLAGE COMMENTS	03-30-23
2	DNR NOI SUBMITTAL	05-19-23

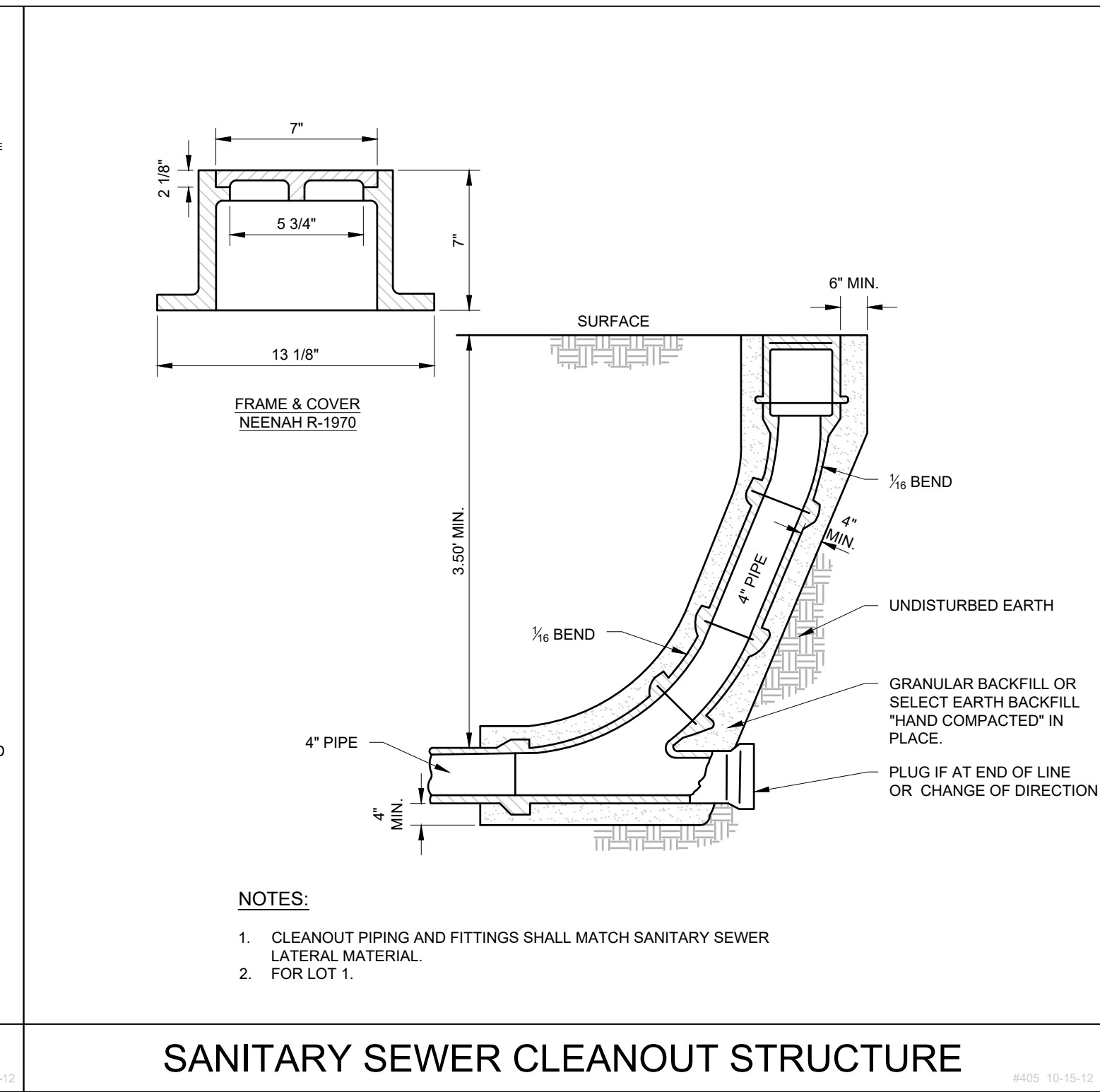
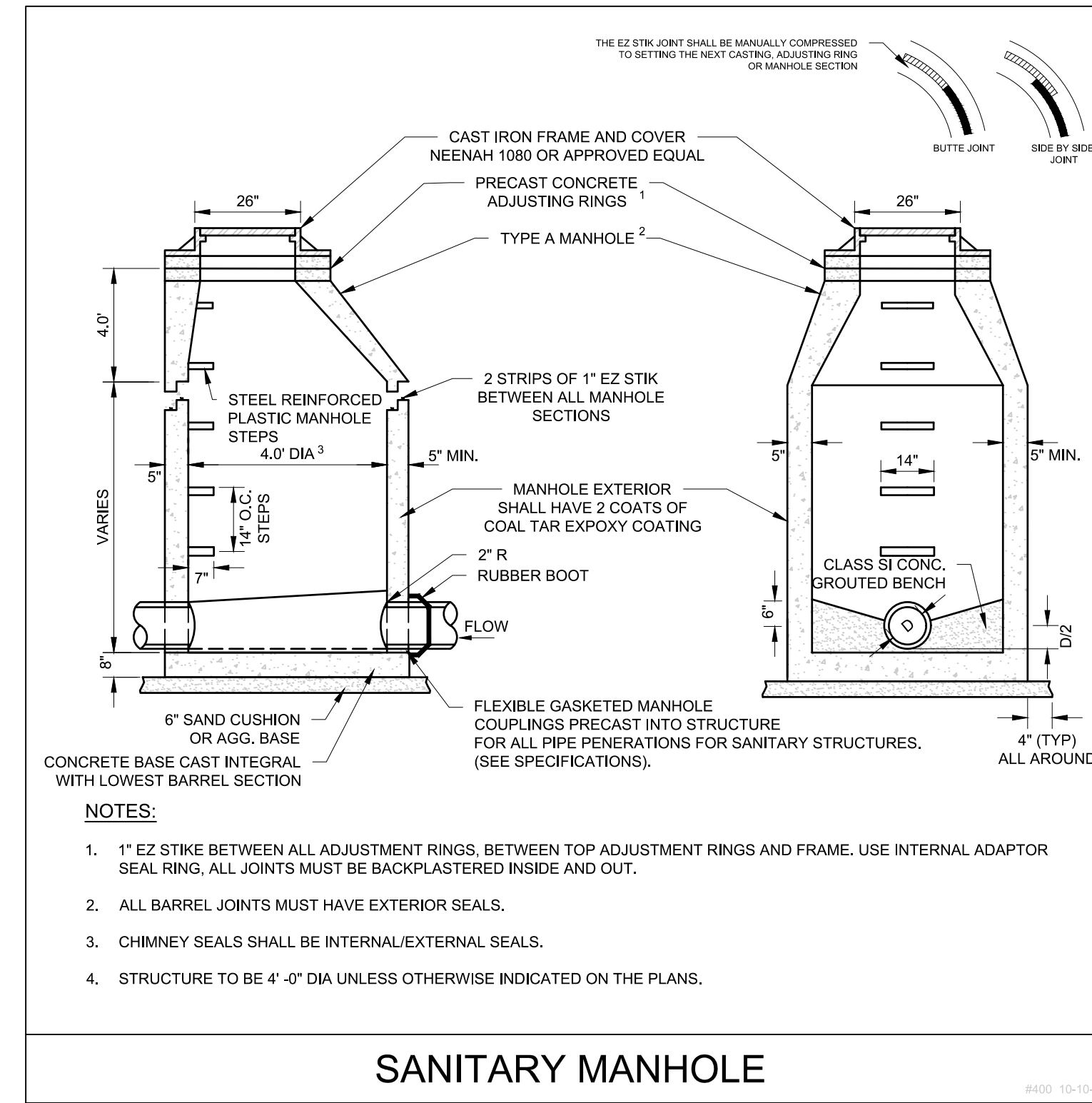
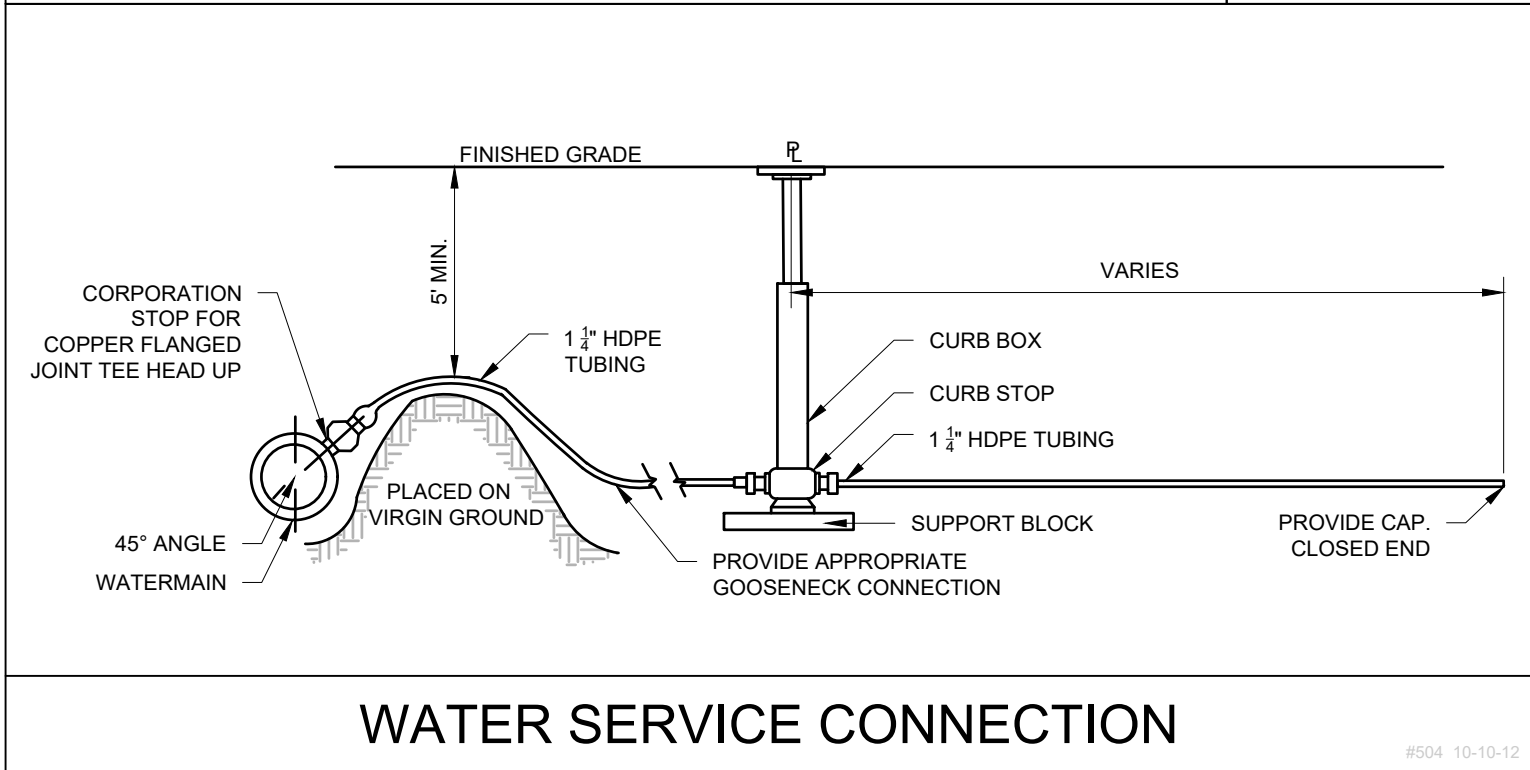
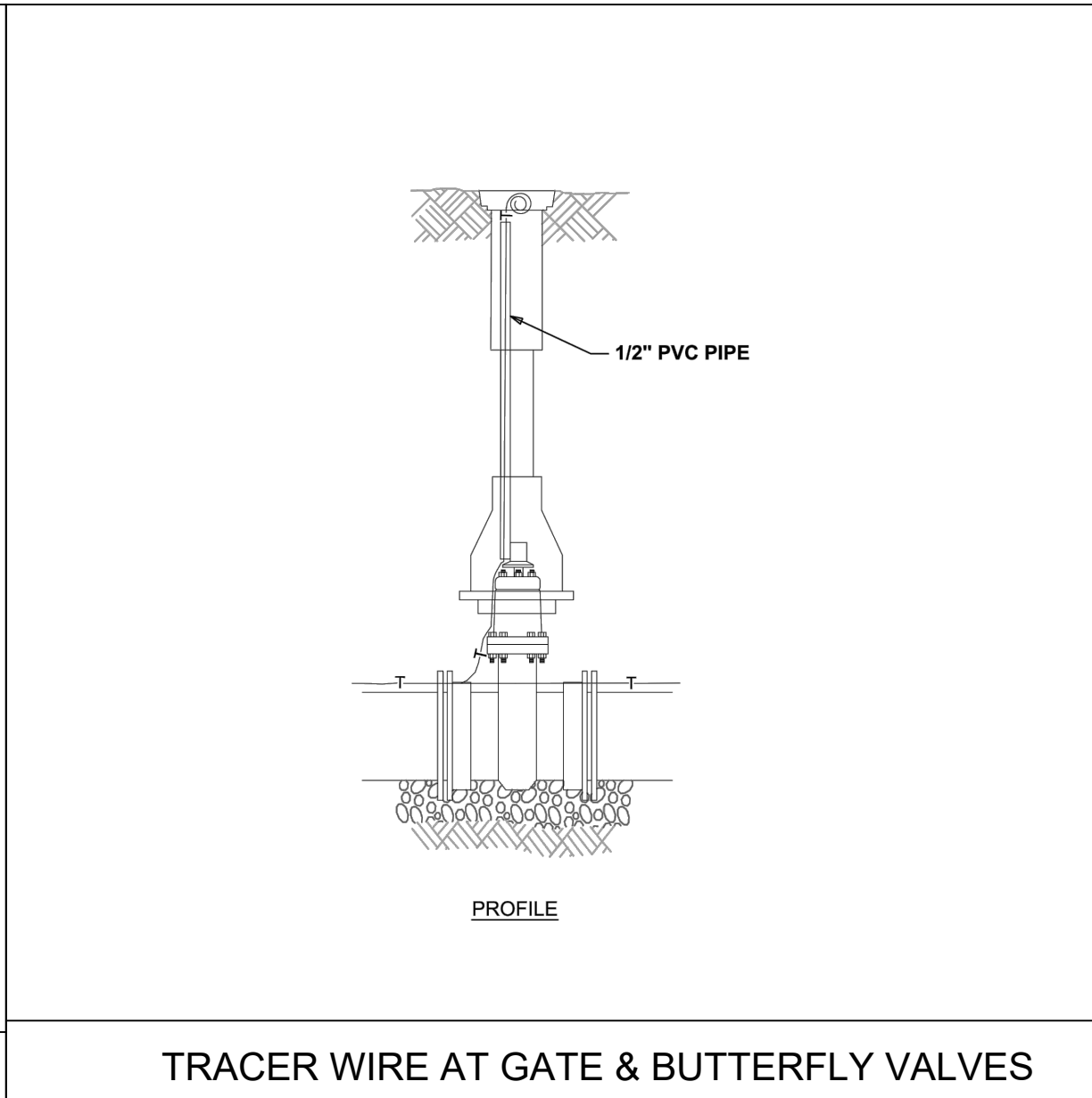
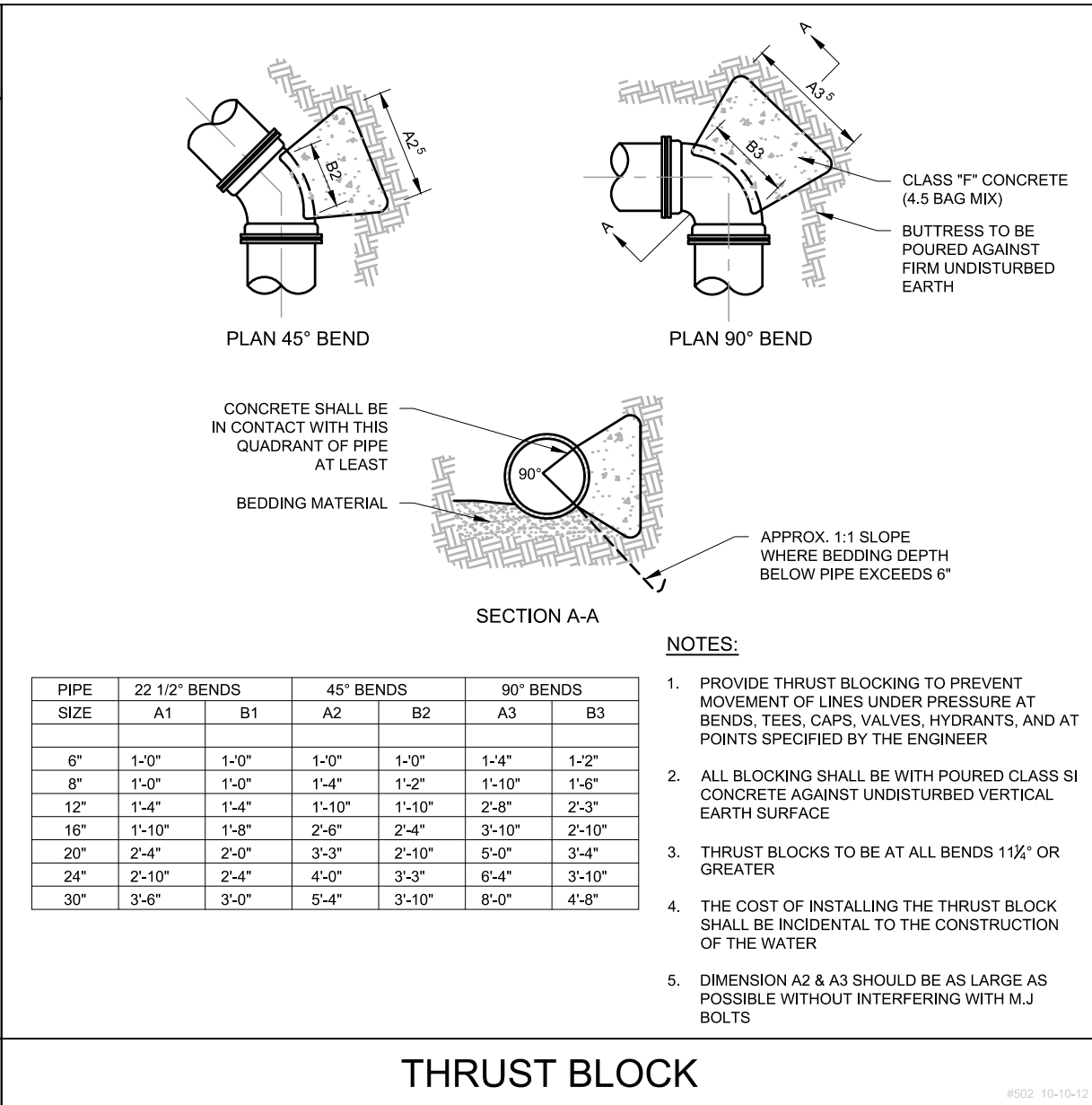
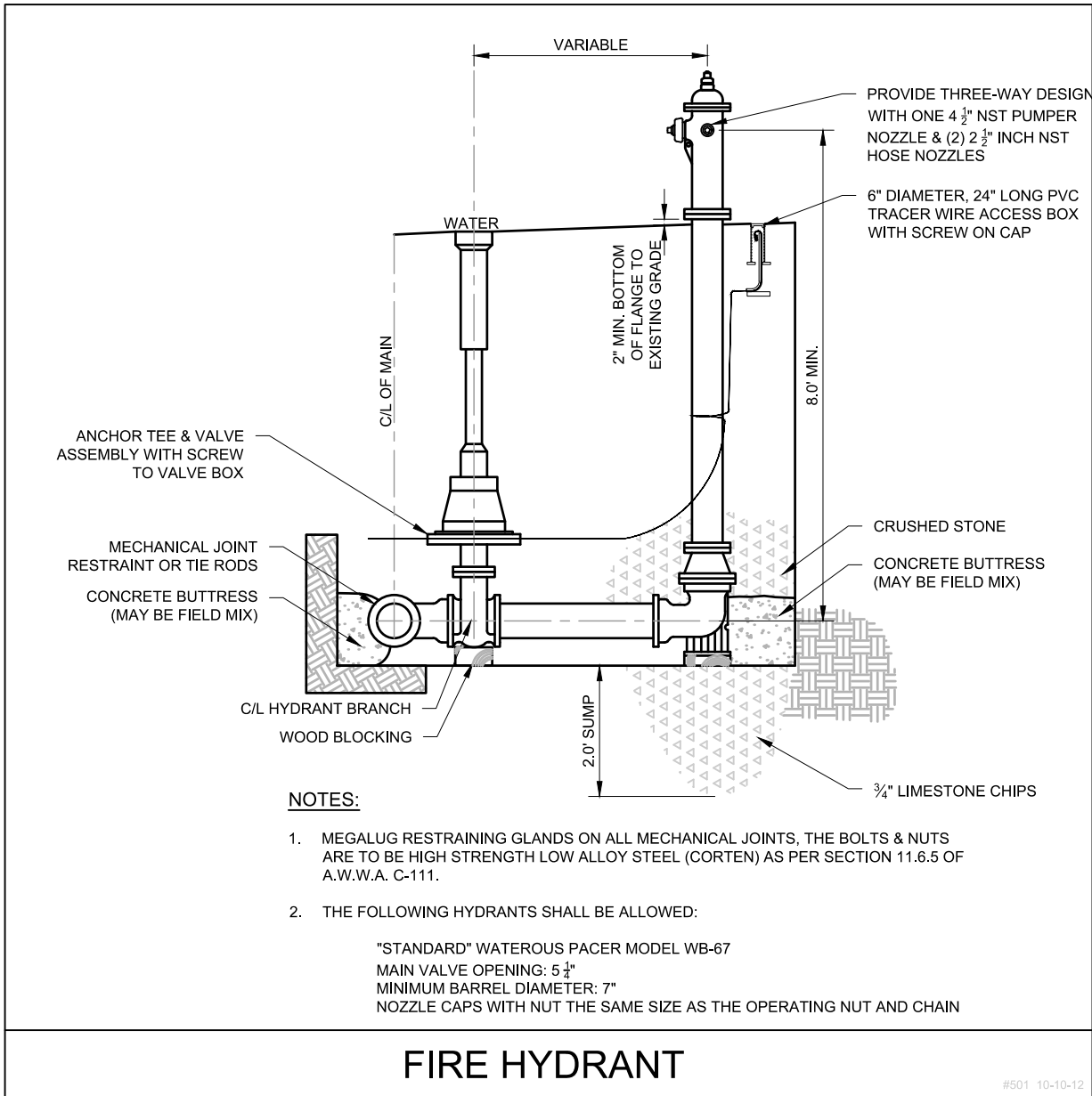
PEC JOB NO. 2893.00	ASZ
PEC PM	ASZ
START DATE	02-07-23
SCALE	1" = 20'
SHEET	C-5
	C-7

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REVIEWED: ASZ

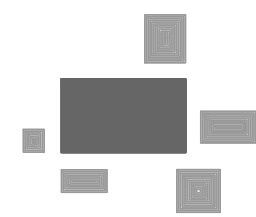
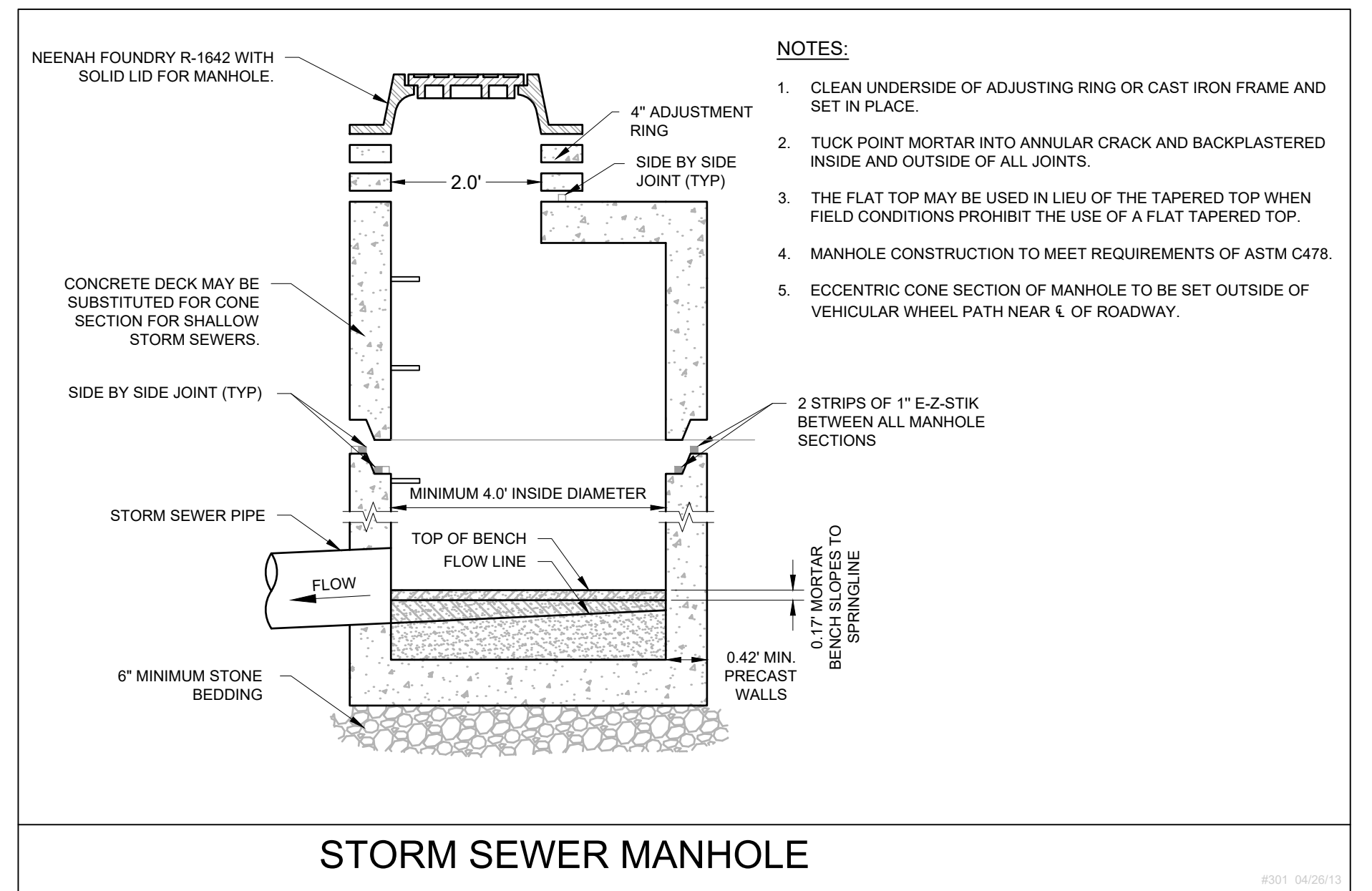
DESIGNED: ASZ

DRAFTED: BR



UTILITY NOTES:

- GENERAL
 - ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF CALEDONIA UTILITY DISTRICT, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION, AND SPS 382 AND 384.
 - THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR ANY REMOVAL OR RELOCATIONS OF EXISTING SERVICES.
 - UTILITY CONTRACTOR IS RESPONSIBLE FOR LEVELING THE EXCESS SPOIL MATERIAL FROM THE TRENCH.
 - ALL BEDDING AND COVER MATERIAL SHALL BE 3/8" CRUSHED STONE CHIPS PER STANDARD SPEC SECTION 8.43.2(A) AND VILLAGE STANDARD MATERIAL SPECIFICATIONS. PEA GRAVEL IS NOT ACCEPTABLE. BACKFILL SHALL BE GRANULAR BACKFILL PER STANDARD SPEC SECTION 8.43.4.
 - CONTRACTOR TO PROVIDE FLAGMAN AND SIGNAGE FOR WORK IN THE CORONA DRIVE RIGHT-OF-WAY. SIGNAGE SHALL MEET THE CURRENT MUTCD. THE ROAD SHALL BE OPEN TO TRAFFIC AT ALL TIMES.
- SANITARY SEWER
 - ALL SANITARY SEWER MAINS AND LATERALS SHALL BE INSTALLED PER CALEDONIA UTILITY DISTRICT SPECIFICATIONS.
 - THE SANITARY SEWER PIPE AND SANITARY LATERALS SHALL BE PVC ASTM D3034 SDR 35. ELASTOMERIC JOINTS SHALL BE A BELL AND SPIGOT JOINT CONFORMING TO ASTM D3212 SEALED BY A RUBBER GASKET CONFORMING TO ASTM F477.
 - ALL MANHOLES SHALL BE PRECAST REINFORCED CONCRETE AND HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES. MINIMUM WALL THICKNESS SHALL BE PER TABLE NO. 1 IN FILE NO. 12 OF THE STANDARD SPECIFICATIONS. PRECAST CONCRETE MANHOLE BASE, BARREL RISERS, CONE SECTION AND ADJUSTING RINGS SHALL MEET THE REQUIREMENTS OF ASTM C-478. MANHOLES SHALL BE CONSTRUCTED PER DRAWING FILE NO. 12 OF THE STANDARD SPECIFICATIONS AND VACUUM TESTED IN ACCORDANCE WITH SECTION 3.7.6 OF THE STANDARD SPECIFICATIONS.
 - MANHOLE FRAMES AND COVERS SUPPLIED BY THE CONTRACTOR SHALL BE NEENAH R-1661-B SELF SEALING, CONCEALED PICK HOLE, NO VENTS.
 - LATERALS SHALL BE 4" IN DIAMETER AND INSTALLED AT 1/4" PER FOOT AS SHOWN ON THE UTILITY PLAN. A MAPLEHEART SHALL BE INSTALLED AT THE END OF ALL LATERALS, AND THE TOP 12" SHALL BE PAINTED GREEN UPON COMPLETION OF THE LATERAL INSTALLATION.
 - BEFORE STARTING, BULKHEAD AND/OR PLUG THE CONNECTION TO THE EXISTING SEWER. LEAVE IN PLACE UNTIL NEW SEWER HAS BEEN CLEANED AND ACCEPTED.
 - CONTRACTOR TO INSTALL GREEN PLASTIC COATED TRACER WIRE (10 GAUGE SOLID COPPER) PER SPS 382.30(11)(H). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. SPLICES SHALL BE CONNECTED BY USING A SNAKEBITE LOCKING CONNECTOR OR APPROVED EQUAL. INSTALL DETECTOR WIRE AT EVERY MAIN, LATERAL, AND MANHOLE. SANITARY WIRES MAY BE PLACED INTO THE MANHOLE BELOW THE FRAME. AN ANODE ROD SHALL BE INSTALLED AT ALL DEAD ENDS, INCLUDING LATERALS.
 - CONTRACTOR SHALL CLEAN AND TELEWISE THE ENTIRE SANITARY SEWER SYSTEM PRIOR TO ACCEPTANCE.
- WATER MAIN
 - THE WATER MAIN SHALL BE PVC AWWA C-900 DR-18. ALL VALVES, FITTINGS, MARKERS AND HYDRANTS SHALL MEET THE VILLAGE SPECIFICATIONS.
 - WATER LATERALS SHALL BE 1-1/4" HDPE CONFORMING TO AWWA C901 AND PE 3608. IT SHALL HAVE A RATED WORKING PRESSURE OF 200 PSI. STAINLESS STEEL INSERTS SHALL BE PROVIDED AT COMPRESSION JOINTS. CURB STOPS SHALL BE MCDONALD NO.6104 OR 6106, OR EQUAL.
 - CONTRACTOR SHALL INSTALL BLUE PLASTIC COATED TRACER WIRE (10 GAUGE SOLID COPPER). PLASTIC WIRE MAY BE TAPED TO PLASTIC PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 10 FEET AND AT ALL BENDS. SPLICES SHALL BE CONNECTED USING A SNAKEBITE LOCKING CONNECTOR OR APPROVED EQUAL. INSTALL DETECTOR WIRE AT EVERY LATERAL, CURB STOP AND CURB BOX. TRACER WIRES SHALL BE WRAPPED AROUND THE CURB STOP AT GROUND LEVEL. AN ANODE ROD SHALL BE INSTALLED AT ALL DEAD ENDS.
 - MARK THE END OF THE LATERALS WITH A WOODEN 2"x4" BOARD EXTENDING FROM THE INVERT OF THE LATERAL TO TWO FEET ABOVE GROUND LEVEL. THE TOP 12" SHALL BE PAINTED BLUE UPON COMPLETION OF LATERAL INSTALLATION.
- STORM SEWER
 - STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (CLASS NOTED ON THE PLANS) PER ASTM C76 WITH RUBBER GASKET JOINTS PER ASTM C443.



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CORONA DRIVE EXTENSION VILLAGE OF CALEDONIA, RACINE CO.

CONSTRUCTION DETAILS

REVISIONS

1	VILLAGE COMMENTS	03-30-23		
2	DNR NOI SUBMITTAL	05-19-23		

PEC JOB NO. 2893.00

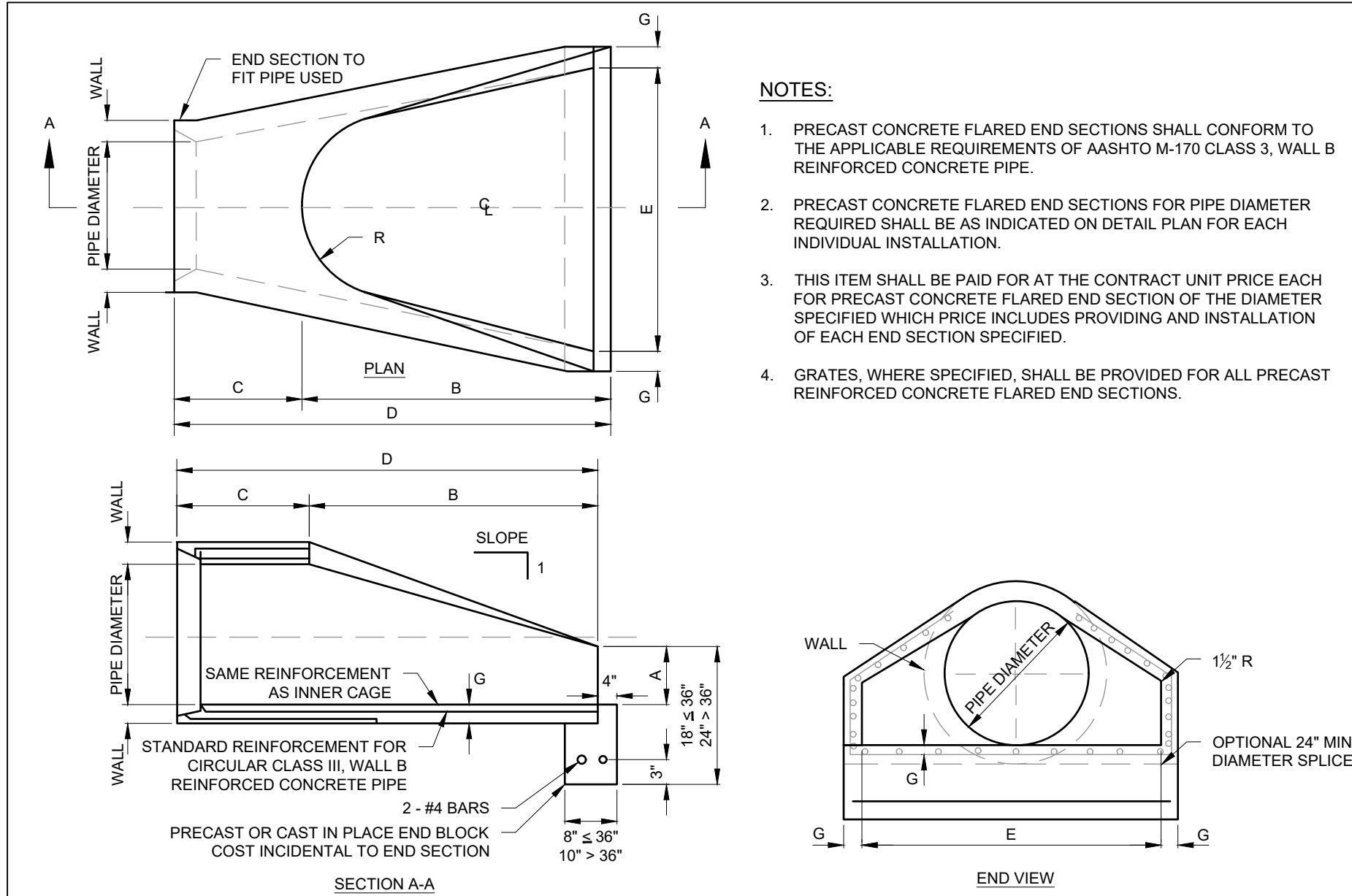
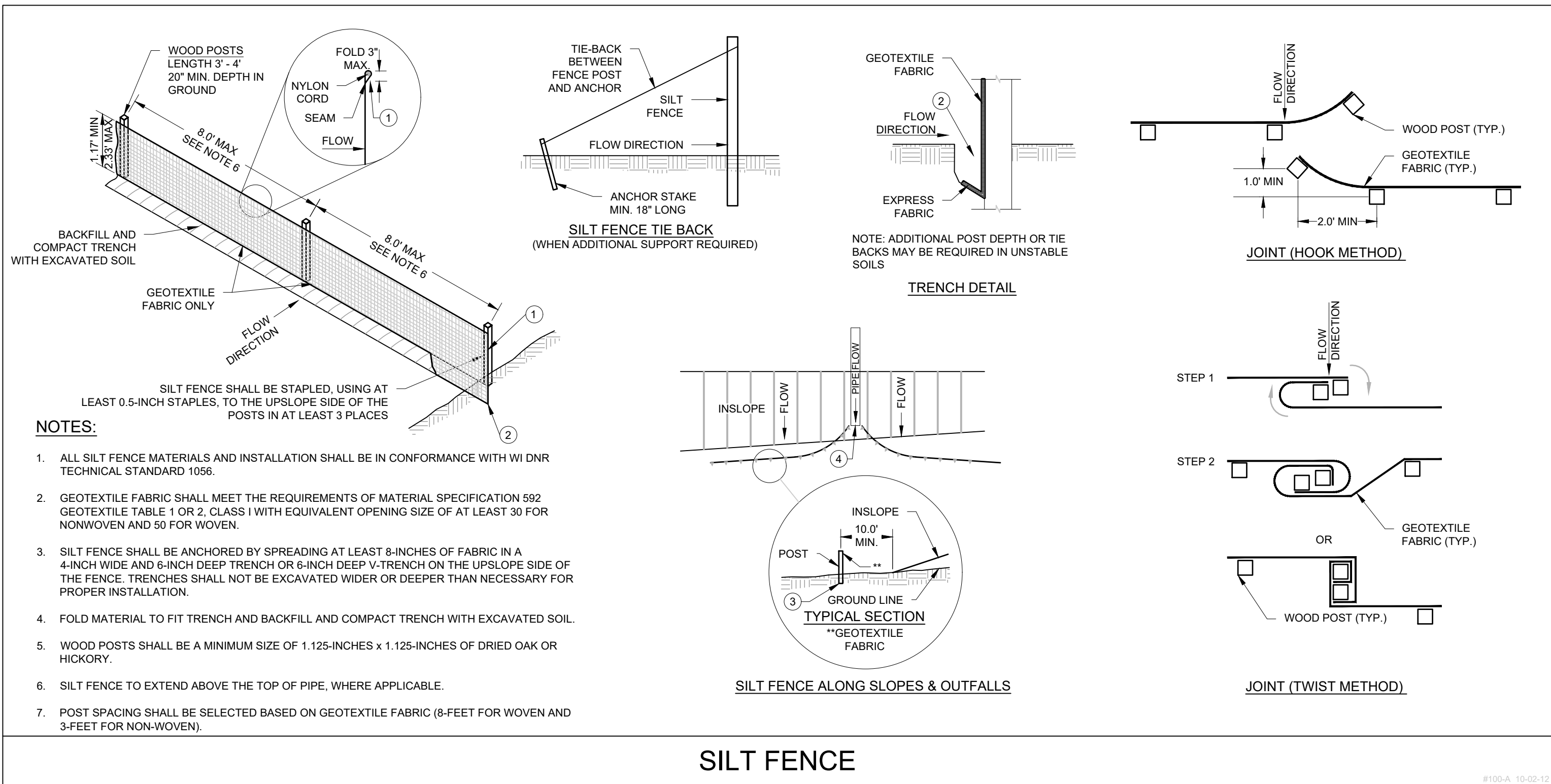
ASZ

START DATE 02-07-23

SCALE N.T.S.

SHEET C-6 C-7

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PIPE DIA.	APPROX. QTY. (lbs)	WALL (in)	A (in)	B (in)	C (in)	D (in)	E (in)	G (in)	R (in)	APPROX. SLOPE
12"	530	2	4	24	4'-0 7/8"	6'-0 7/8"	24	2	9	1:2.4
15"	740	2 1/4	6	27	3'-10"	6'-1"	30	2 1/4"	11	1:2.4
18"	990	2 1/2	9	27	3'-10"	6'-1"	36	2 1/2"	12	1:2.4
21"	1280	2 3/4	9	35	38	6'-1"	3'-6"	2 3/4"	13	1:2.4
24"	1520	3	9 1/2	3'-7 1/2"	30	6'-1 1/2"	4'-0"	3	14	1:2.5
27"	1930	3 1/4	10 1/2	4'-0"	25 1/2	6'-1 1/2"	4'-6"	3 1/4"	14 1/2	1:2.4
30"	2190	3 1/2	12	4'-6"	19 3/4	6'-1 3/4"	5'-0"	3 1/2"	15	1:2.5
33"	3200	3 3/4	13 1/2	4'-10 1/2"	39 1/4	8'-1 3/4"	5'-6"	3 3/4"	17 1/2	1:2.5
36"	4100	4	15	5'-3"	34 3/4	8'-1 3/4"	6'-0"	4	20	1:2.5
42"	5380	4 1/2	21	5'-3"	35	8'-2"	6'-6"	4 1/2"	22	1:2.5
48"	6550	5	24	6'-0"	26	8'-2"	7'-0"	5	22	1:2.5
54"	8240	5 1/2	27	5'-5"	35	8'-4"	7'-6"	5 1/2"	24	1:2.0
60"	8730	6	35	5'-0"	39	8'-3"	8'-0"	5	*	1:1.9
66"	10710	6 1/2	30	6'-0"	27	8'-3"	8'-6"	5 1/2"	*	1:1.7
72"	12520	7	36	6'-6"	21	8'-3"	9'-0"	6	*	1:1.8
78"	14770	7 1/2	36	7'-6"	21	9'-3"	9'-6"	6 1/2"	*	1:1.8
84"	18160	8	36	7'-6 1/2"	21	9'-3 1/2"	10'-0"	6 1/2"	*	1:1.6

* RADIUS AS FURNISHED BY MANUFACTURER

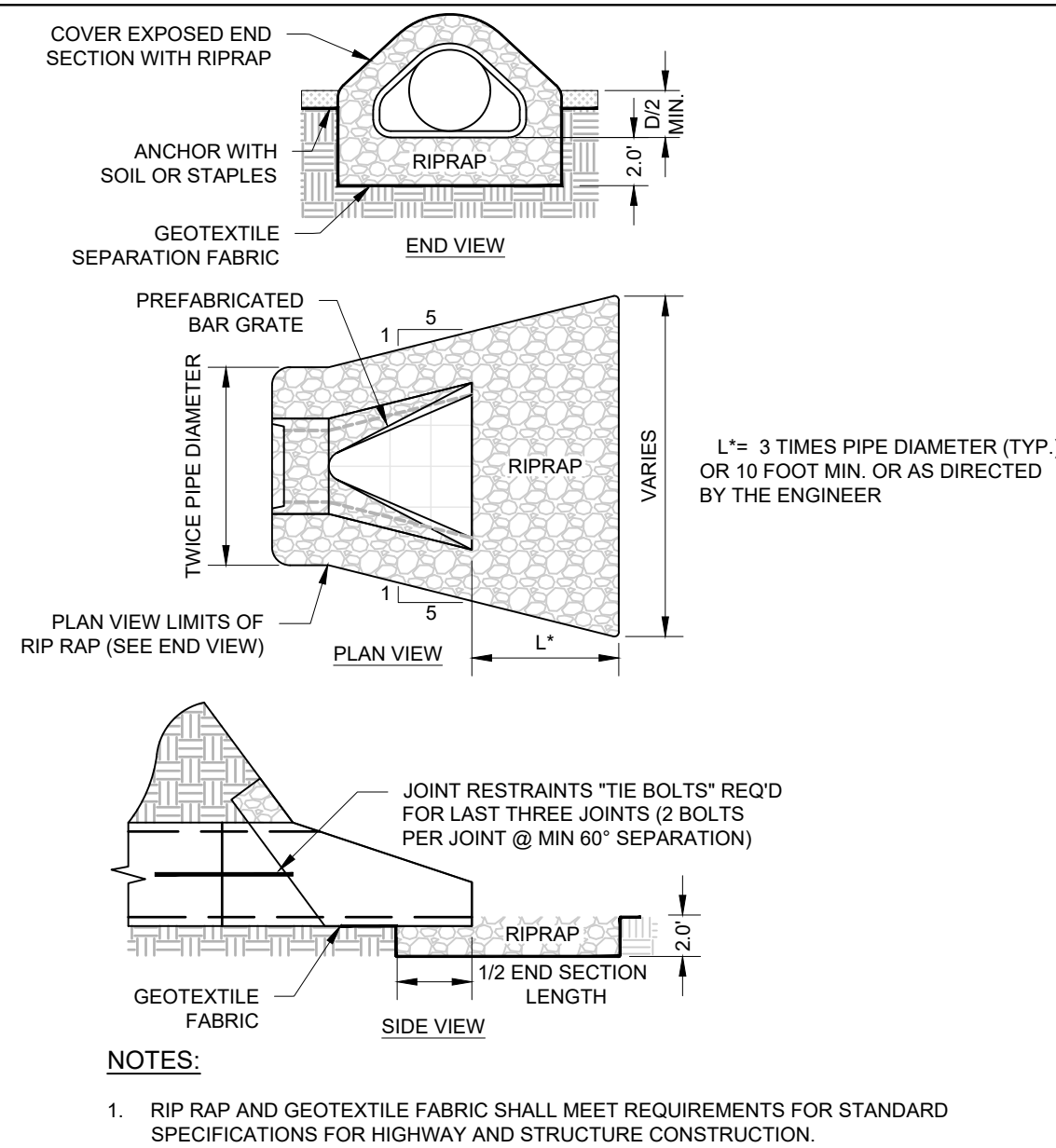
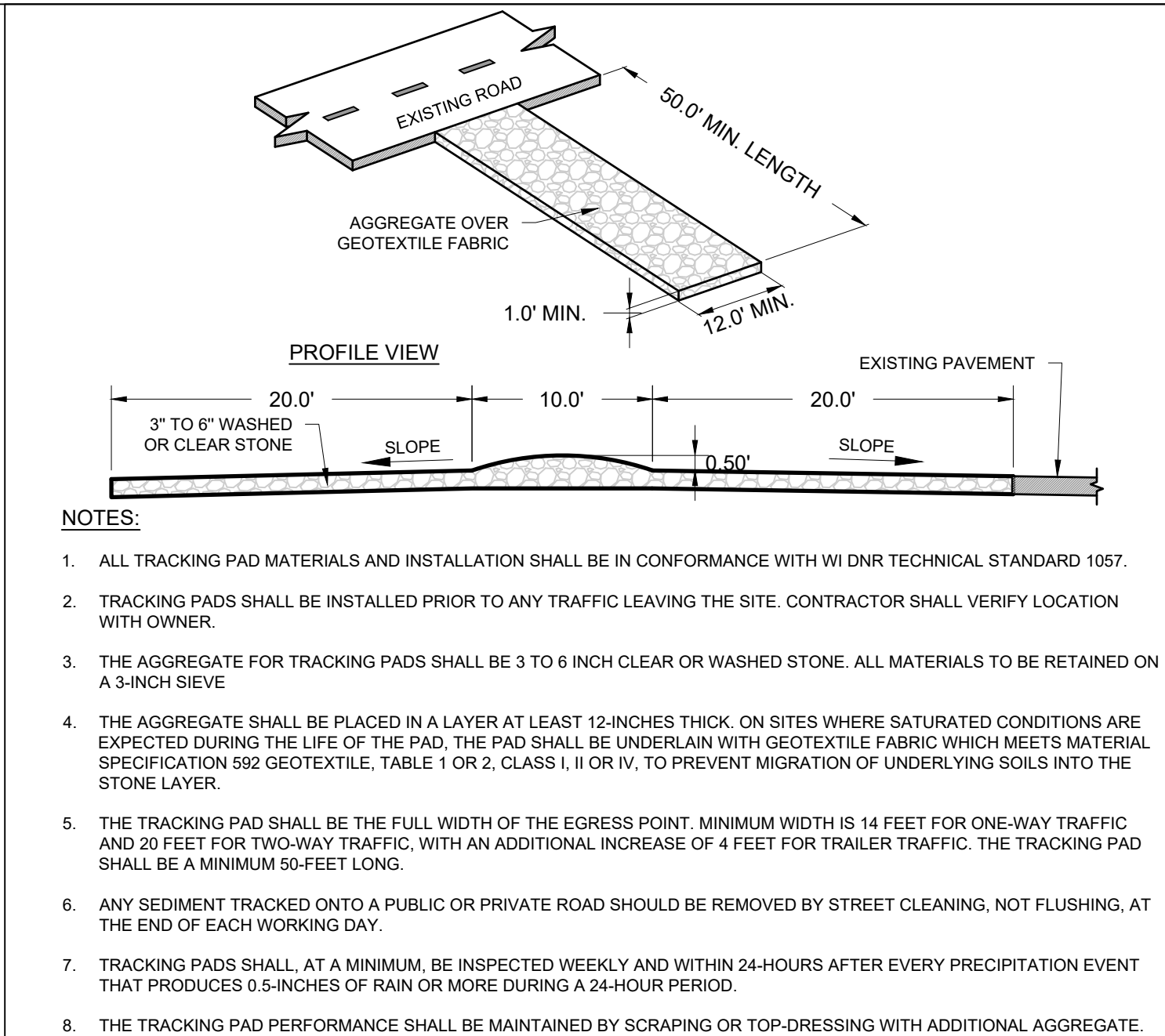
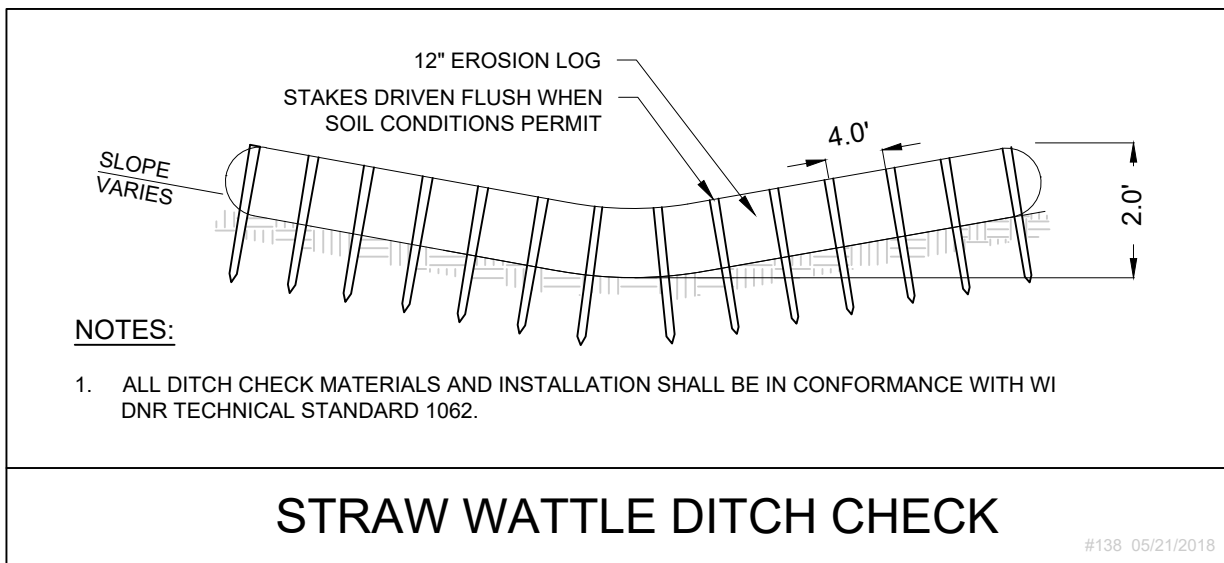
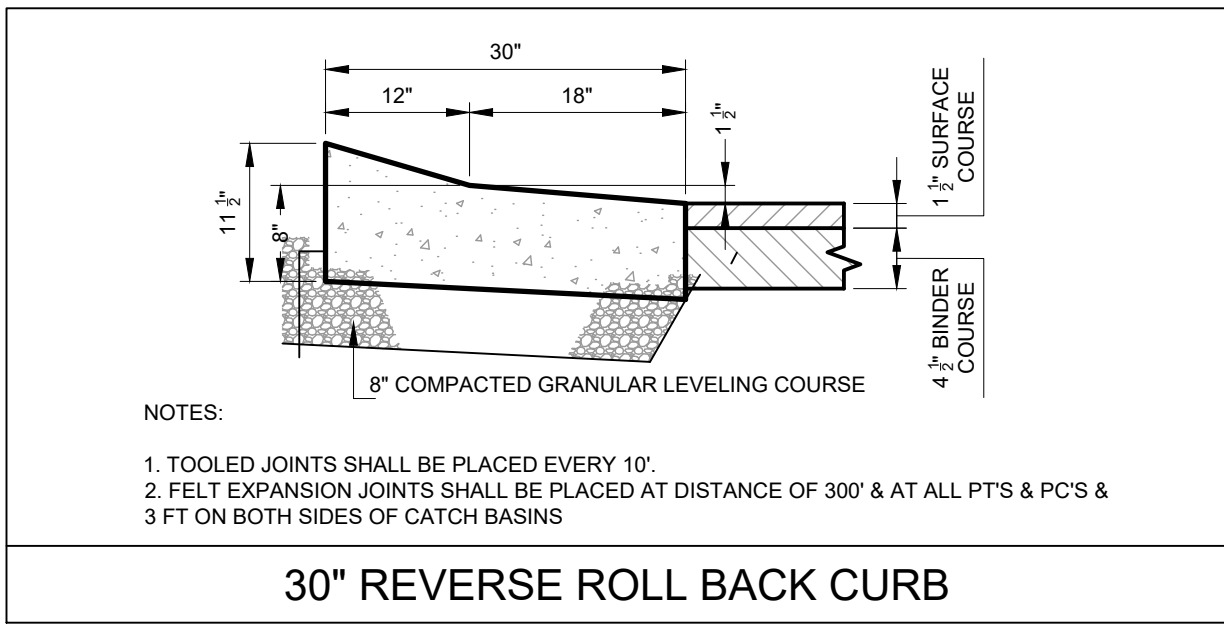
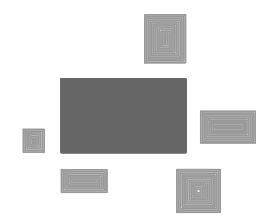


Table 1 – Prescriptive Compliance Area Soil Stabilization				
Prescriptive Compliance Areas	Bare Soil	Slope & Channel Management	Periods of Inactivity	Final Grade
Soil stockpiles that will exist for more than 7 days Utility trench backfills Temporary ditches/swales that will exist for more than 7 days Permanent ditches/swales Small areas – Less than 1 acre and less than 1% of site Discrete areas – Less than 1 acre Storm water practice side slopes Slopes steeper than 20%	Areas that Do Not Drain to Sediment Basins or Traps Limit the duration of soil exposure to no more than 30 days.	General Design and implement approved soil stabilization practices per DNR technical standards.	Planned Inactivity Stabilize immediately if area will be left inactive for more than 14 days.	Permanent Features Stabilize area immediately after reaching final grade.
	Areas that Drain to Sediment Basins or Traps Limit the duration of soil exposure to no more than 90 days. However, use the duration from the soil loss and sediment discharge calculations for the other areas of the site if less than 90 days.	Refer to WisDOT Slope & Channel Matrices for appropriate slope and slope length conditions.	Unplanned Inactivity Stabilize area immediately if period of inactivity reaches 14 days.	Temporary Features Stabilize area immediately after establishment of temporary feature or reaching specified temporary grade.
		Slopes Steeper than 20% Provide stable diversion of off-site runoff around the slope.		
		Provide slope interruption devices in accordance with Manufactured Perimeter Control & Slope Interruption Products Technical Standard 1071 or equivalent methods to reduce uninterrupted slope length.		



- CONSTRUCTION SEQUENCE:**
- REMOVE TREES AND INSTALL TRACKING PAD AND SILT FENCE. CONTINUOUS INSPECTION OF EROSION CONTROL MEASURES THROUGHOUT THE PROJECT. THE GRADING CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE IN A 24 HOUR PERIOD. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE MAINTAINED AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION OR MAINTENANCE PERFORMED IN RESPONSE TO THE INSPECTION.
 - LOCATE EXISTING FORCEMAIN TO VERIFY TYPE, SIZE, AND LOCATION.
 - STRIP TOPSOIL.
 - ROUGH GRADE ROAD CENTERLINE TO SUBGRADE.
 - INSTALL SANITARY SEWER, WATER MAIN AND STORM SEWER.
 - ROUGH GRADE ROAD CENTERLINE TO SUBGRADE.
 - FINISH GRADE ROAD SUBGRADE.
 - STONE ROAD AND INSTALL CURB & GUTTER.
 - PAVE ROAD.
 - FINISH GRADE DISTURBED AREAS.
 - RESPREAD TOPSOIL, SEED, FERTILIZE AND STABILIZE DISTURBED AREAS.
 - MAINTAIN EROSION CONTROL MEASURES UNTIL THE SITE IS 80% REVEGETATED. THE CONTRACTOR IS TO THEN REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL MEASURES. RESTORE ANY DISTURBED AREAS DUE TO EROSION CONTROL MEASURE REMOVAL.

ESTIMATED START DATE: JUNE 2023
ESTIMATED COMPLETION DATE: AUGUST 2023
ESTIMATED DISTURBED AREA: 1.2 ACRES



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CORONA DRIVE EXTENSION
VILLAGE OF CALEDONIA, RACINE CO.

CONSTRUCTION DETAILS

REVISIONS

1. VILLAGE COMMENTS 03-30-23
2. DNR NOI SUBMITTAL 05-19-23

PEC JOB No. 2893.00

DESIGNED BY: ASZ

START DATE: 02-07-23

SCALE: N.T.S.

SHEET C-7 C-7

CONSTRUCTION DETAILS

FOR CONSTRUCTION

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RESOLUTION NO. 2023-67

**A RESOLUTION OF THE VILLAGE BOARD OF THE VILLAGE OF CALEDONIA
APPROVING A REQUEST FOR A SITE, BUILDING, & OPERATIONS PLAN TO
CONSTRUCT AND UTILIZE A ±70,131 SQUARE-FOOT INSTITUTIONAL BUILDING FOR
A YOUTH DEVELOPMENT AND CARE FACILITY LOCATED AT 2300 THREE MILE
ROAD, VILLAGE OF CALEDONIA, RACINE COUNTY, WI; MICHAEL LANDSDORF,
APPLICANT; RACINE COUNTY, OWNER**

The Village Board for the Village of Caledonia resolves as follows:

WHEREAS, Michael Landsdorf, Applicant, requested approval to construct and utilize a ±70,131 square-foot institutional building for the operation of the Racine County Youth Development and Care Facility at 2300 Three Mile Road, Village of Caledonia, Racine County, WI; and,

WHEREAS, the Village of Caledonia Plan Commission recommended approval of the site, building, and operations plan, for the following reasons:

1. The proposed use is allowed by underlying zoning through the site, building, and operations plan review process.
2. The proposed development complies with the approved conditional use permit for the property.

NOW, THEREFORE, BE IT RESOLVED, by the Village Board of the Village of Caledonia that the requested building, site, and operations plan set forth above, is hereby approved for the same reasons set forth above and subject to the same conditions and contingency imposed by the Village Plan Commission.

Adopted by the Village Board of the Village of Caledonia, Racine County, Wisconsin, this
____ day of June, 2023.

VILLAGE OF CALEDONIA

By: _____
Thomas Weatherston
Village President

Attest: _____
Joslyn Hoeffert
Village Clerk

RESOLUTION NO. 2023-68

**A RESOLUTION OF THE VILLAGE BOARD OF THE VILLAGE OF CALEDONIA
APPROVING A REQUEST FOR A SITE, BUILDING, & OPERATIONS PLAN TO
CONSTRUCT AND UTILIZE A ±240 SQUARE-FOOT OPEN-AIR STRUCTURE LOCATED
AT 2825 FOUR 1/2 MILE ROAD, VILLAGE OF CALEDONIA, RACINE COUNTY, WI;
SHERI MANKA, APPLICANT; JMS INVESTMENTS LLC, OWNER**

The Village Board for the Village of Caledonia resolves as follows:

WHEREAS, Sheri Manka, Applicant, requested approval to construct and utilize a ±240 square-foot open-air shelter at 2825 Four ½ Mile Road, Village of Caledonia, Racine County, WI; and,

WHEREAS, the Village of Caledonia Plan Commission recommended approval of the site, building, and operations plan for the following reasons:

1. The proposed use is allowed by underlying zoning through the site, building, and operations plan review process.
2. The proposed use is consistent with the existing use on the property.

NOW, THEREFORE, BE IT RESOLVED, by the Village Board of the Village of Caledonia that the requested building, site, and operations plan set forth above, is hereby approved for the same reasons set forth above and subject to the same conditions and contingency imposed by the Village Plan Commission.

Adopted by the Village Board of the Village of Caledonia, Racine County, Wisconsin, this
_____ day of June, 2023.

VILLAGE OF CALEDONIA

By: _____

Thomas Weatherston
Village President

Attest: _____

Joslyn Hoeffert
Village Clerk

RESOLUTION NO. 2023-69

**A RESOLUTION OF THE VILLAGE BOARD OF THE VILLAGE OF CALEDONIA
APPROVING THE USE OF CONTINGENCY FUNDS FROM THE PUBLIC SAFETY
FACILITY PROJECT FOR GRADING, RESTORATION, AND INSTALLATION OF
PEDESTRIAN TRAILS CONTIGUOUS TO THE VILLAGE CAMPUS**

WHEREAS, the Public Safety Building requires finished grading and restoration of the project area south of the building and stormwater ponds; and

WHEREAS, the approved Crawford Park Master Plan includes pedestrian trails in the same area that will be restored by the current Public Safety Building Contractor; and

WHEREAS, restoration work would be completed on this property as part of the Public Safety Building project that would not be consistent with the Crawford Park Master Plan, staff is desirous of having this initial restoration match the Crawford Park Master Plan to reduce overall costs and minimize land disruption; and

WHEREAS, a change order to include the grading, restoration, and installation of the proposed pedestrian trails, as shown in **Exhibit A** and attached hereto, is an efficient way to complete the area surrounding the Public Safety Building and meet the desired Crawford Park Master Plan layout; and

WHEREAS, Village Staff still feels there are sufficient contingency funds to complete the project as designed in **Exhibit A** and estimated in **Exhibit B** without impacting the successful completion of the Public Safety Building within budget; and

WHEREAS, Resolution 2023-41 was approved in April to install the project as designed, not to exceed \$200,000 dollars, but the actual cost provided by the Public Safety Building Contractor exceeded \$300,000; and

WHEREAS, Village Staff recommends removing the asphalt installation from the current proposal and revisit it at a later date when the project is near completion and sufficient contingency funding is still available; and

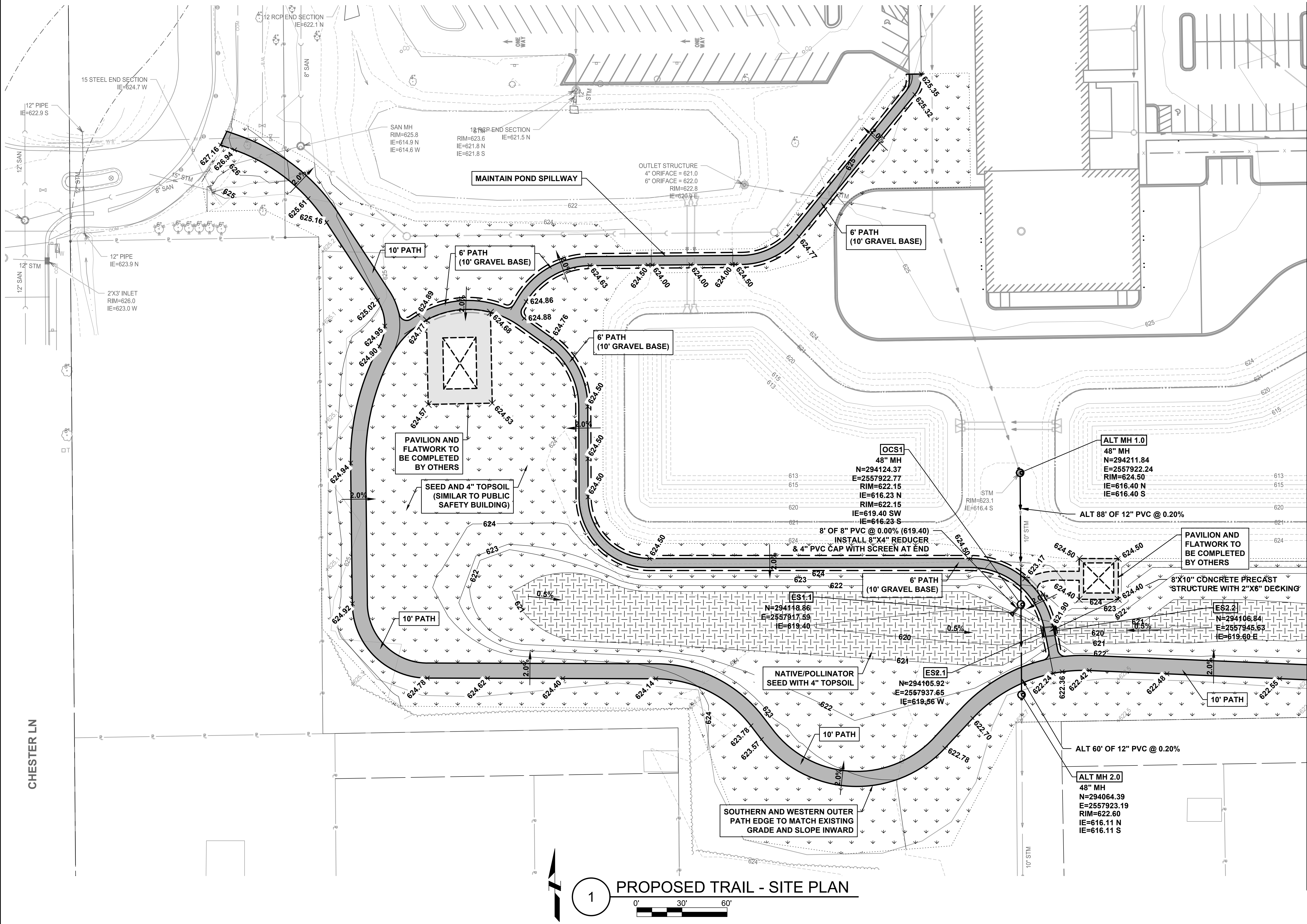
NOW THEREFORE, BE IT RESOLVED THAT, that the Village Board will approve the use of contingency funds for the grading, restoration, and installation of a pedestrian trail without asphalt at the Public Safety Building, not to exceed \$235,000 using the quote attached hereto as Exhibit B and revisit the pavement installation at a date near project completion.

Adopted by the Board of Trustees of the Village of Caledonia, Racine County, Wisconsin, this ____ day of June, 2023.

VILLAGE OF CALEDONIA

By: _____
Thomas Weatherston
Village President

Attest: _____
Joslyn Hoeffert
Village Clerk

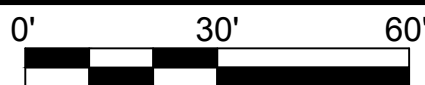


CHESTER LN



1

PROPOSED TRAIL - SITE PLAN



MATCH LINE - SEE NEXT SHEET

625 57TH STREET
6TH FLOOR
KENOSHA, WI 53140
PHONE : 262.657.1550
www.clarkdietz.com

PROJECT TITLE

VILLAGE OF CALEDONIA
CRAWFORD PARK MASTER GRADING
RACINE COUNTY, WISCONSIN

DESIGNED BY: CJB
DRAWN BY: DMT
CHECKED BY: APP/BLF
DATE CHECKED: 4/17/23

DATE REVISION

4/19/23 1A (PATH)

DRAWING TITLE

PHASE 1A (WEST)

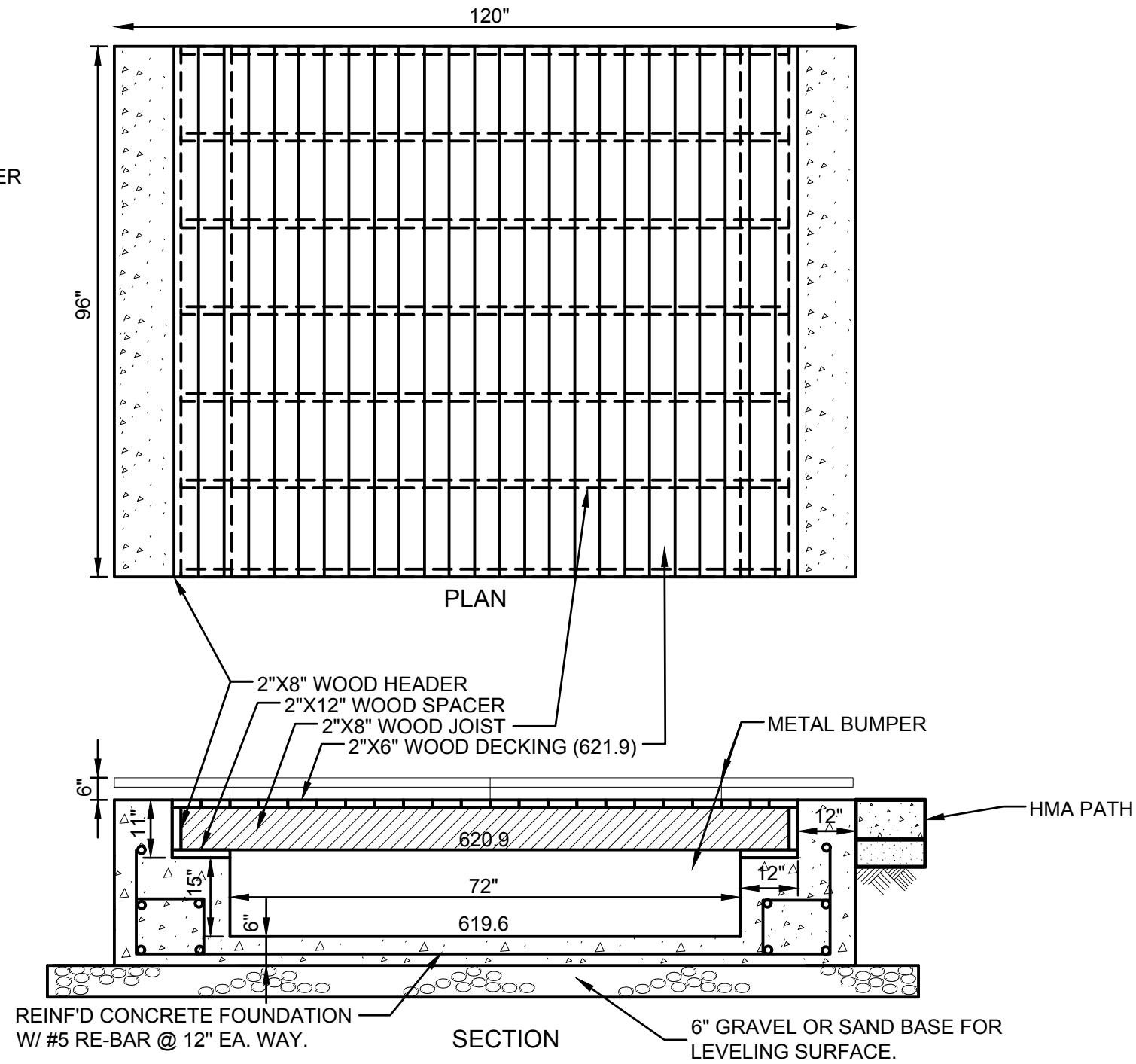
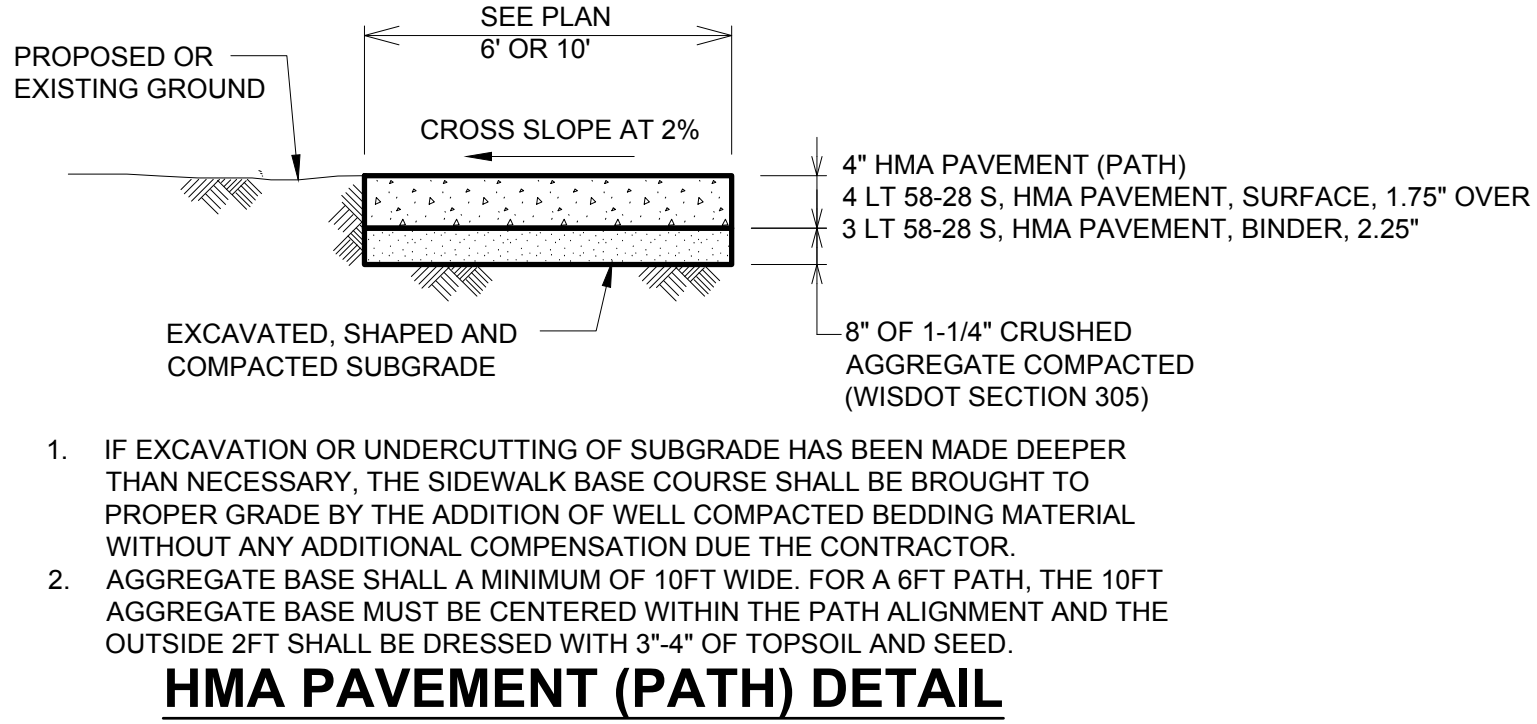
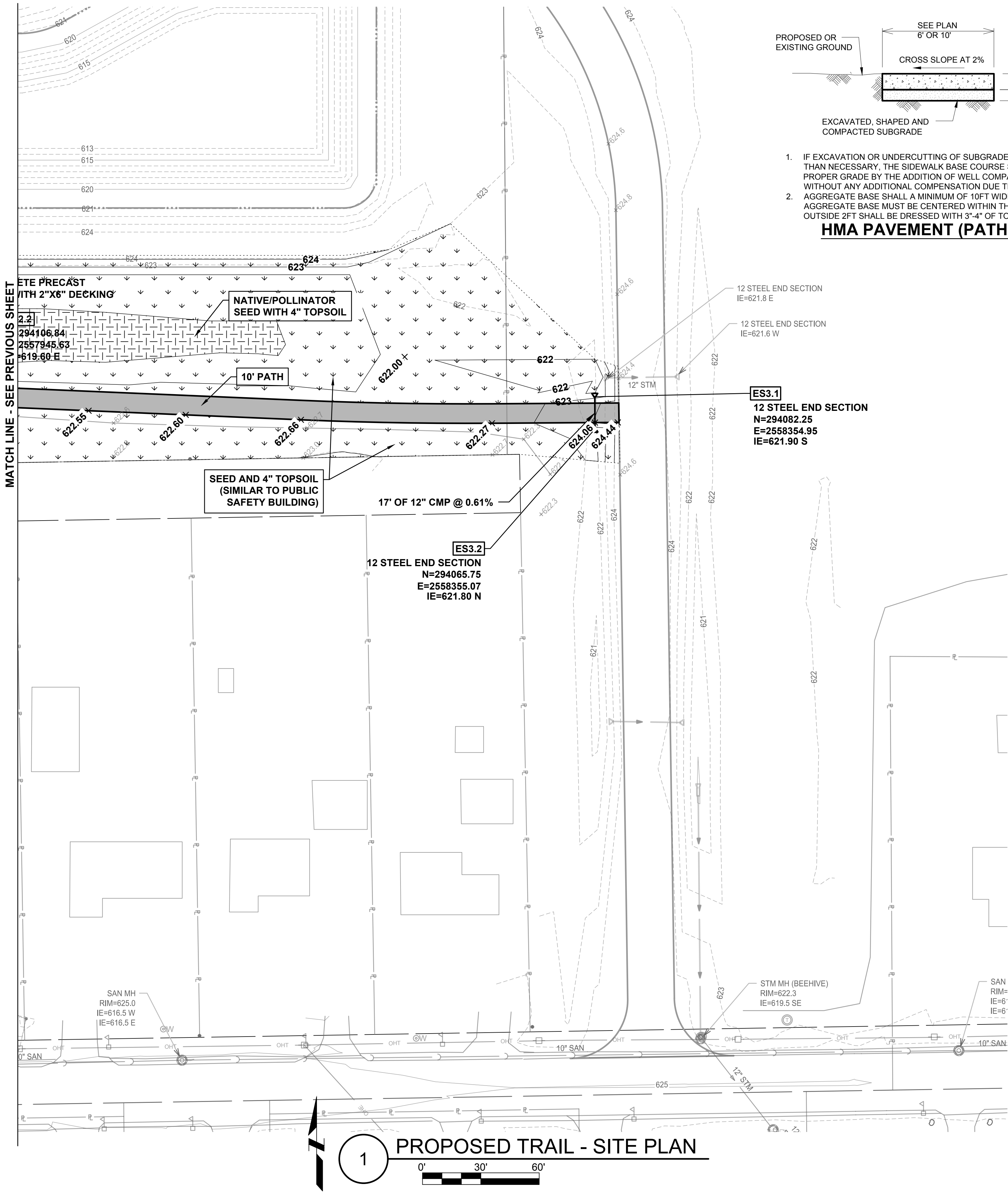
PROJECT No.

C0790070

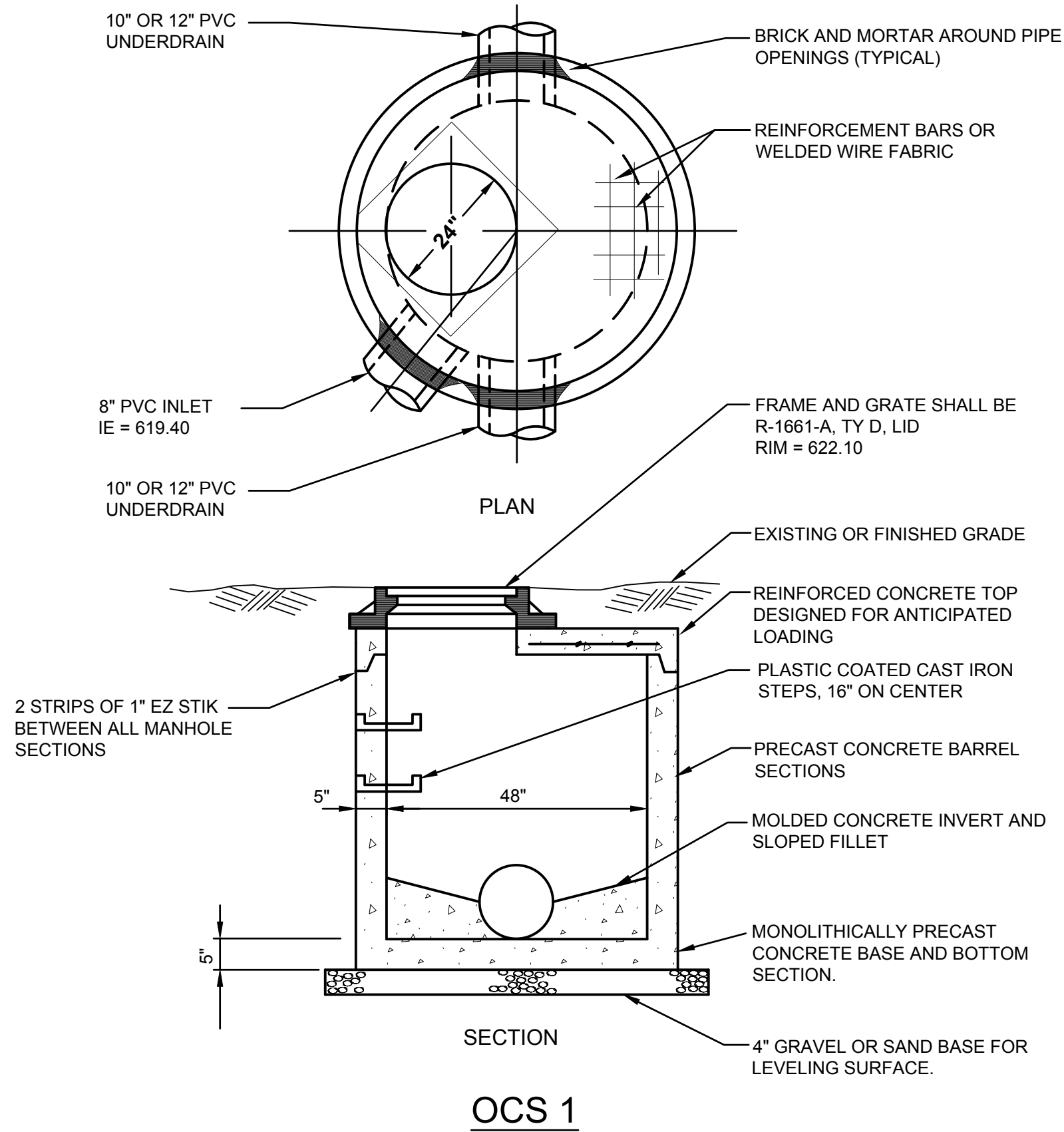
DRAWING No.

1A-W

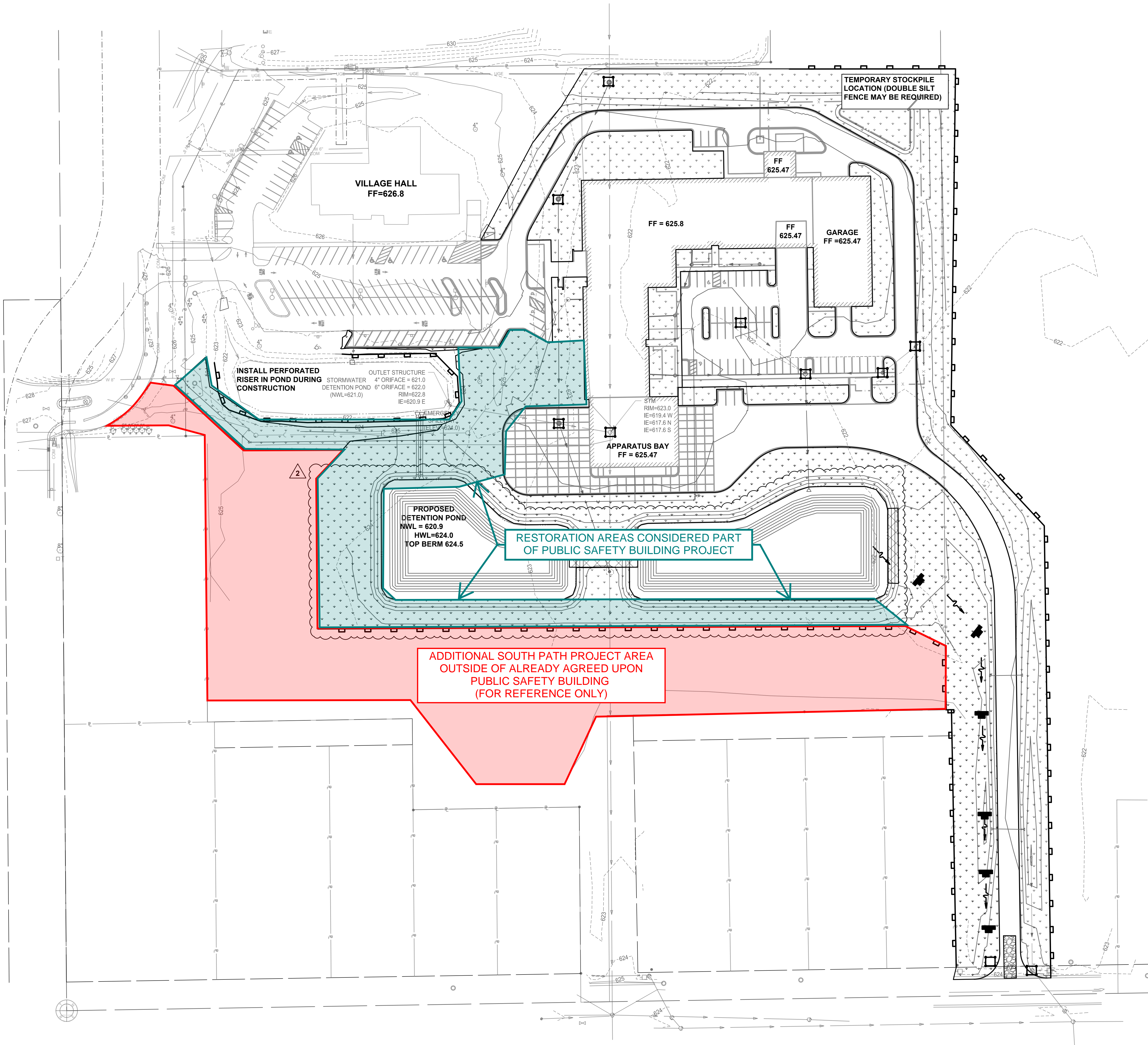
DWG 1A-W OF 2 DWGS



- NOTES:
1. DETAIL DRAWING IS INTENDED TO BE USED AS A REFERENCE FOR THE CONTRACTOR.
 2. CONTRACTOR SHALL DESIGN WITH LICENSED ENGINEER AND INSTALL PER MANUFACTURER REQUIREMENTS.
 3. BOX STRUCTURE SHALL BE PRECAST PER MANUFACTURER REQUIREMENTS.
 4. CONTRACTOR TO INSTALL FASTEN DECKING MATERIAL PER INDUSTRY STANDARDS.
 5. SHOP DRAWING SHALL BE SUBMITTED TO ENGINEER FOR REVIEW PRIOR TO CASTING STRUCTURE TO ENSURE INTENT IS MET.



FOR REFERENCE ONLY



NOTES

1. SILT FENCE SHALL BE USED AS THE PERIMETER EROSION CONTROL IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES. SILT SOCK TO ONLY BE USED IF A REPAIR TO THE PERIMETER EROSION CONTROL IS NEEDED DURING CONSTRUCTION.
2. CONTRACTOR TO KEEP PAVEMENT CLEAN OF MUD AND DEBRIS USING SWEEPING/SCRAPING EQUIPMENT TO BE STORED ONSITE.
3. CONTRACTOR TO PROVIDE VEHICLE WASHOUT FOR VEHICLES ENTERING SITE LOCATED OUTSIDE OF STATE RIGHT-OF-WAY.
4. EROSION CONTROL BLANKET SHALL BE USED IN THE DETENTION GRADING AREA AND ALONGSIDE THE ACCESS ROAD.
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- TURF REINFORCEMENT MAT
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9. TEMPORARILY STABILIZE ALL DISTURBED AREAS IF CONSTRUCTION EXTENDS INTO WINTER MONTHS.

fgma

FGM Architects Inc.
219 Milwaukee St, Suite 325
Milwaukee, Wisconsin 53202

414.346.7282 OFFICE

WISCONSIN STATE CERTIFICATE
OF AUTHORIZATION WI #3101-11

CIVIL

CLARK DIETZ, INC.
707 N. MILWAUKEE STREET, SUITE 624
MILWAUKEE, WI 53202
414.377.8900 (O)
WI STATE CERTIFICATE OF AUTHORITY
NO. 2056-11

LANDSCAPE

UPLAND DESIGN LTD.
2404 LOCKPORT STREET, SUITE 200
PLAINFIELD, IL 60544
815.254.0091 (O)

STRUCTURAL

AMBROSE ENGINEERING, INC.
906 N. 222nd STREET, SUITE 102
CEDARBURG, WI 53512
862.377.7002 (O)

M.E.P.

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SECURITY

CORRECT ELECTRONICS, INC.
2807 S. WASHINGTON STREET, SUITE 110
NAPERVILLE, IL 60563
630.689.1190 (O)

ISSUANCE

DATE	DESCRIPTION
08/19/22	ISSUED FOR CONSTRUCT
08/24/22	CONSTRUCTION BULLETI
09/02/22	CONSTRUCTION BULLETI

CALEDONIA PUBLIC SAFETY BUILDING

VILLAGE OF CALEDONIA
5043 CHESTER LANE
CALEDONIA, WI 53402

ISSUED FOR CONSTRUCTION

OVERALL PROPOSED
EROSION CONTROL PLAN

SHEET NO.

C1.5

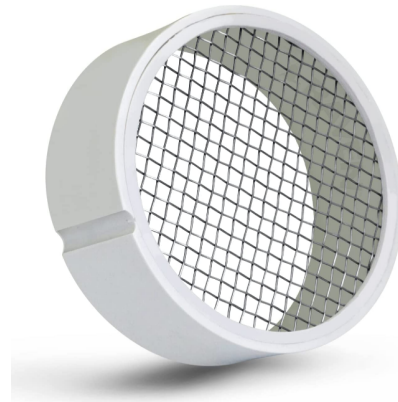
JOB NO. F0760120
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10ftx8ft Structure Intent Photo



8"X4" PVC Reducer Example



4" PVC Screen Cap Example



06/05/2023

Kathy Kasper
Village of Caledonia
6900 Nicholson Road
Caledonia, WI 53108

RE: Request for Authorization to Proceed
62270-900: Village of Caledonia - Public Safety Building

Dear Kathy,

This letter is to provide official notification of a potential project change as follows:

Change Order Type	Change Order No	Description
Potential Change Order	PCO 042	Pedestrian Pathway and Grading Work

Total Amount
\$0.00

PCO Item	Item Notes	Days +/-	Price
1 : PCO 042: Pedestrian Pathway & Grading Work - Landscaping	Breezy Hill		\$54,226.80
2 : PCO 042: Pedestrian Pathway & Grading Work - Surveying	NMB		\$2,316.94
3 : PCO 042: Pedestrian Pathway & Grading Work - Asphalt Paving	Cicchini		\$85,831.00
4 : PCO 042: Pedestrian Pathway & Grading Work - Site Utilities	AW Oakes		\$177,515.00
5 : PCO 042: Pedestrian Pathway & Grading Work - Design Cont	RCCI		\$-319,889.74

Please sign and return this letter indicating your authorization of this adjustment to the contract amount and/or schedule. Should you have any questions, please contact me as soon as possible so as not to impact the construction schedule. I can be reached at chadp@rileycon.com (email).

Respectfully,

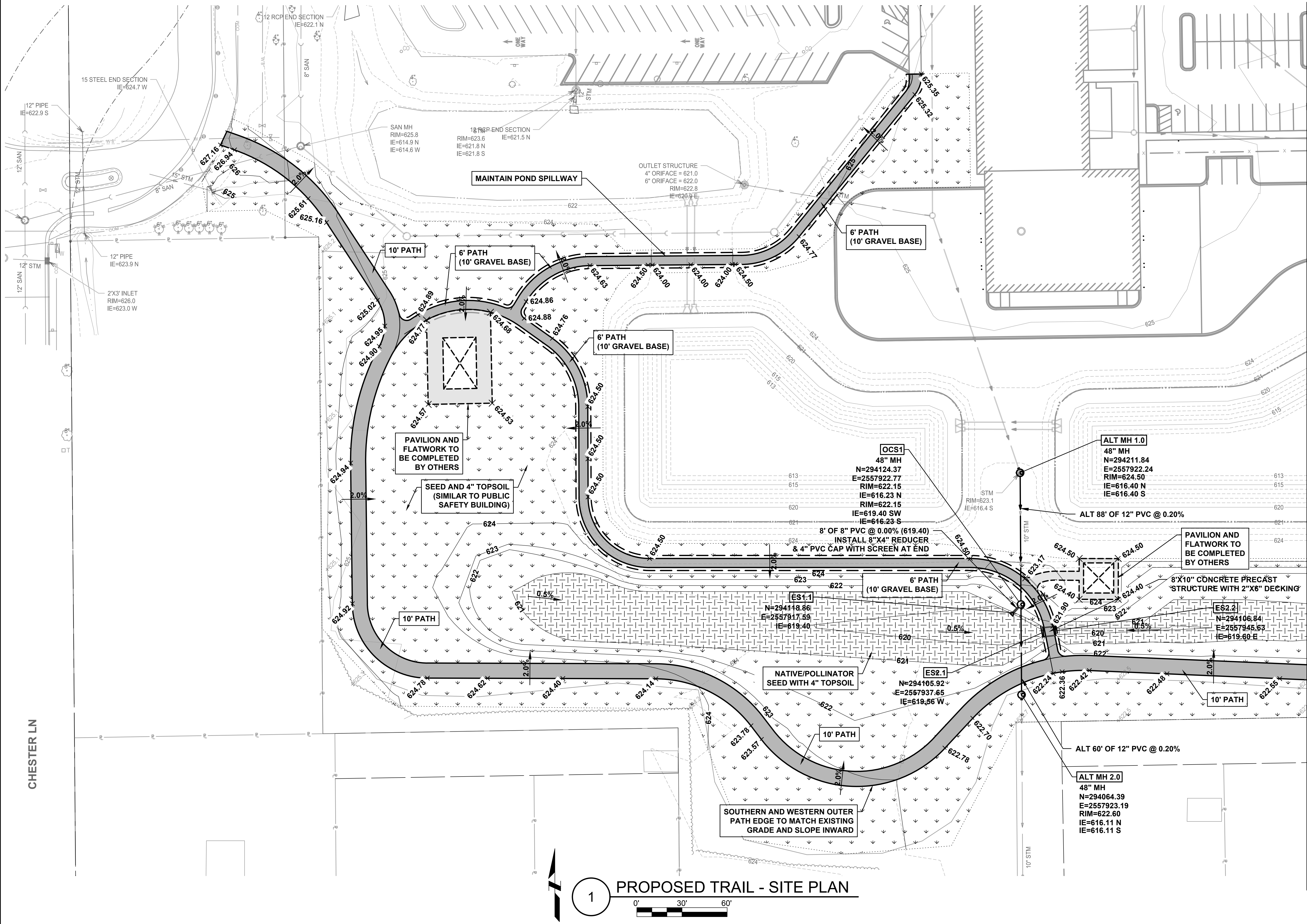
RILEY CONSTRUCTION COMPANY, INC.

Chad Parker
Project Executive

Authorized Signature / Date

C: Mike Altreuther - Riley Construction Co., Inc.
PCO 042 File, 62270-900

CHESTER LN



1 PROPOSED TRAIL - SITE PLAN

MATCH LINE - SEE NEXT SHEET

ClarkDietz

625 57TH STREET
6TH FLOOR
KENOSHA, WI 53140
PHONE : 262.657.1550
www.clarkdietz.com

PROJECT TITLE

VILLAGE OF CALEDONIA
CRAWFORD PARK MASTER GRADING
RACINE COUNTY, WISCONSIN

DESIGNED BY: CJB
DRAWN BY: DMT
CHECKED BY: APP/BLF
DATE CHECKED: 4/17/23

DATE REVISION

4/19/23 1A (PATH)

DRAWING TITLE

PHASE 1A (WEST)

PROJECT No.

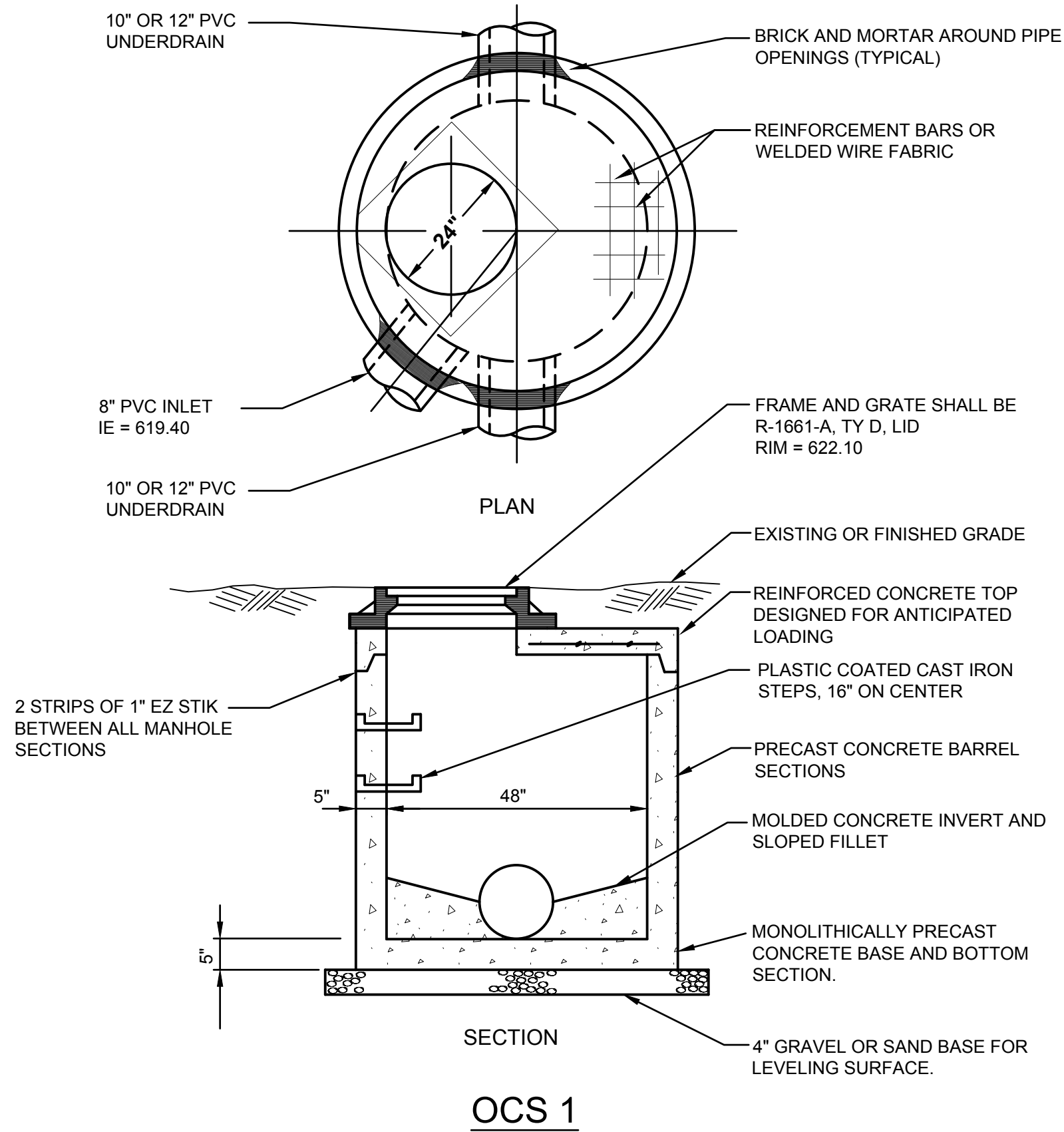
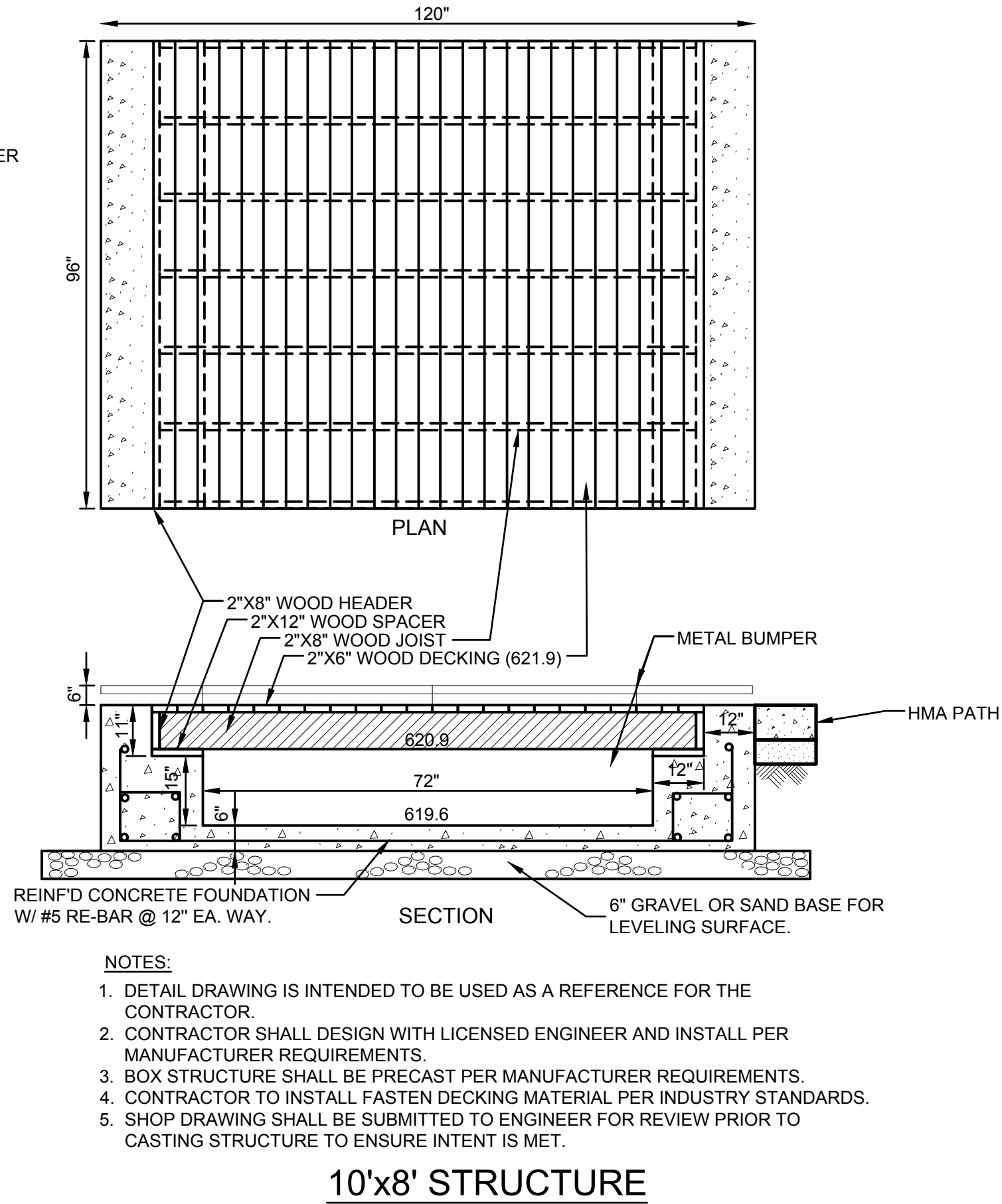
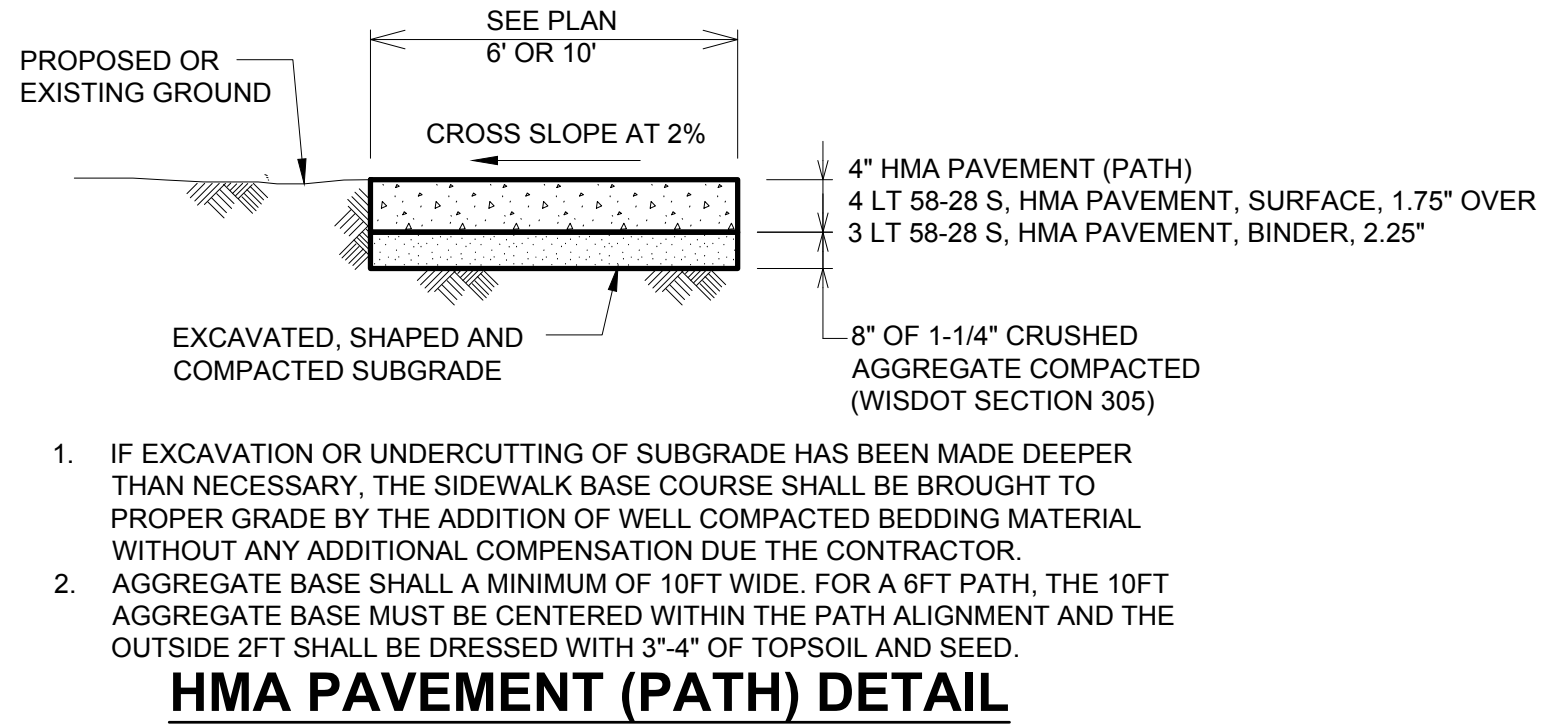
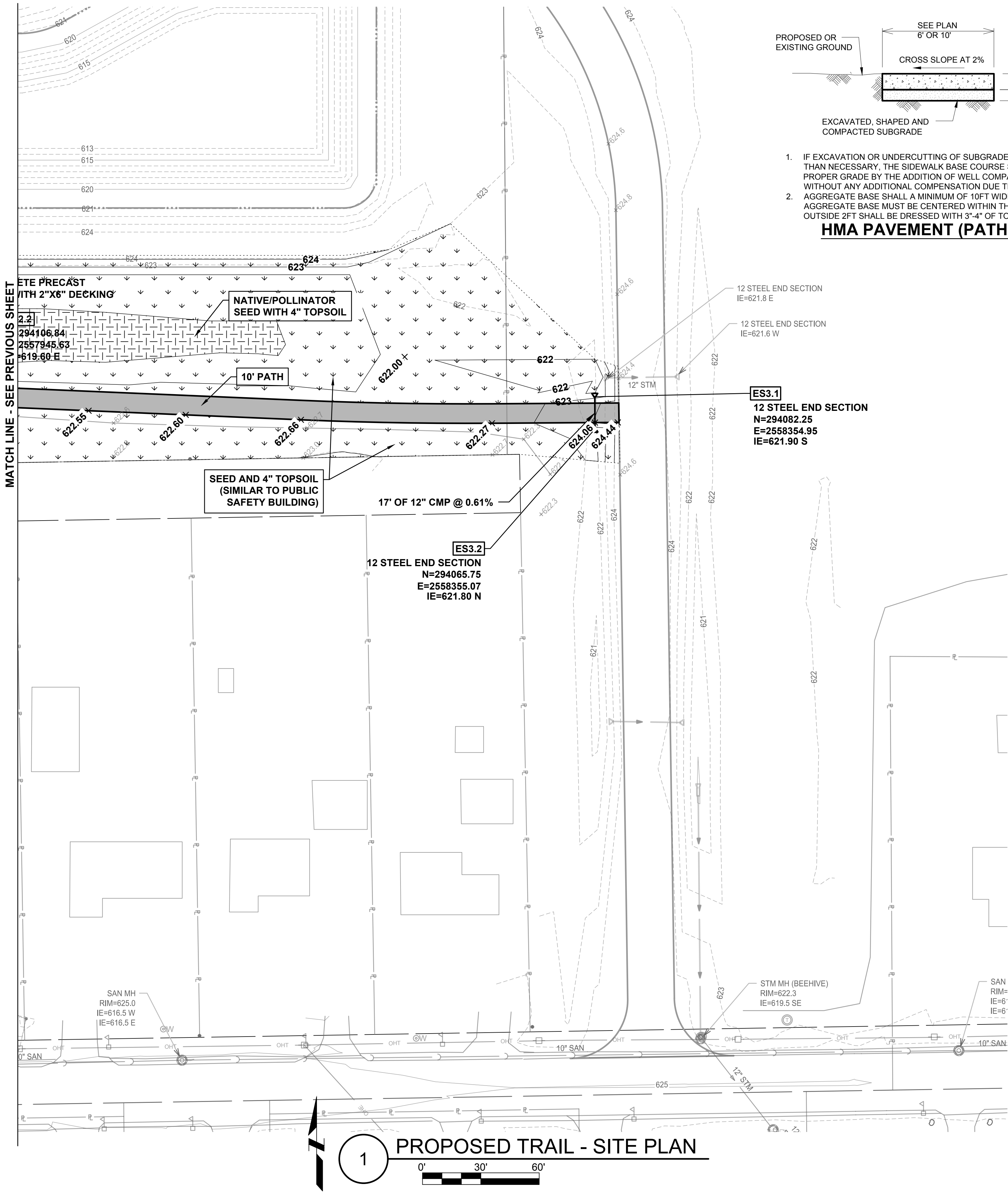
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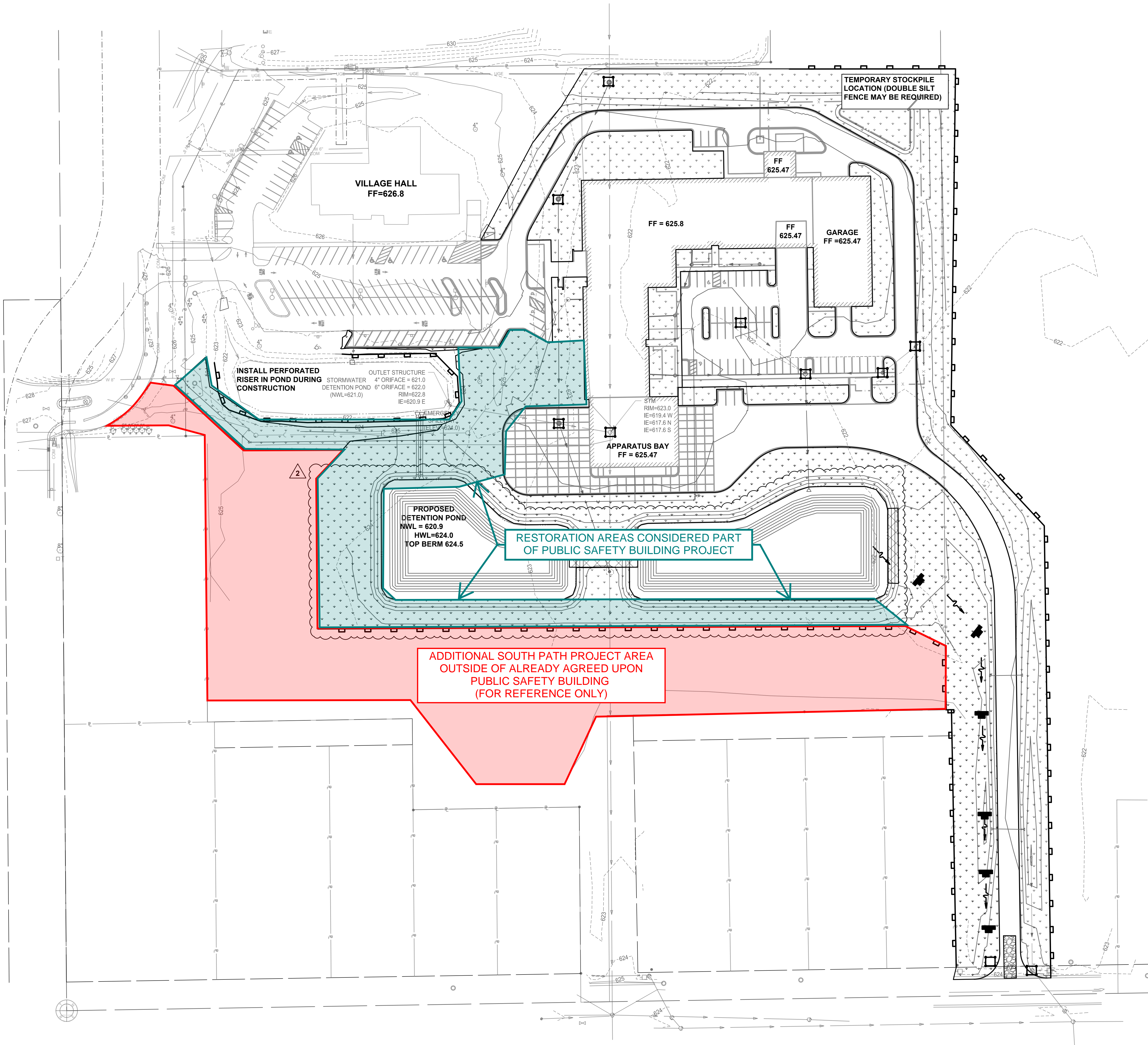
1A-W

DWG 1A-W OF 2 DWGS

NOTE: DIMENSIONAL DATA IS NOT TO BE OBTAINED BY SCALING ANY PORTION OF THIS DRAWING.



FOR REFERENCE ONLY



NOTES

1. SILT FENCE SHALL BE USED AS THE PERIMETER EROSION CONTROL IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES. SILT SOCK TO ONLY BE USED IF A REPAIR TO THE PERIMETER EROSION CONTROL IS NEEDED DURING CONSTRUCTION.
2. CONTRACTOR TO KEEP PAVEMENT CLEAN OF MUD AND DEBRIS USING SWEEPING/SCRAPING EQUIPMENT TO BE STORED ONSITE.
3. CONTRACTOR TO PROVIDE VEHICLE WASHOUT FOR VEHICLES ENTERING SITE LOCATED OUTSIDE OF STATE RIGHT-OF-WAY.
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fgma

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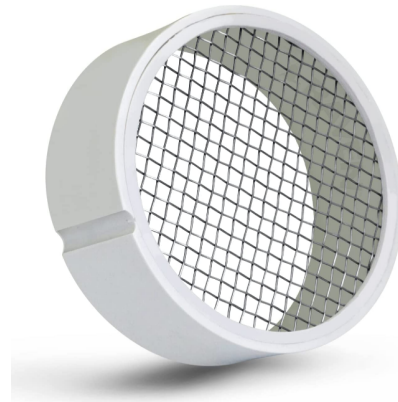
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10ftx8ft Structure Intent Photo



8"X4" PVC Reducer Example



4" PVC Screen Cap Example

CONSTRUCTION STAKING BUDGET - SITE

Project Name:		Riley - Crawford Park Pathway					Job No:		2022.0209.01	
Project Location:		Village of Caledonia					Date:		5/5/2023	
Travel (Round Trip):		45 min.					By:		MDE	
T/C	No	Task Description	Description	Hrs	EMP ID	Rate	Total			
MOBILIZATIONS	2	ASPHALT PATHWAY / STORM SEWER STAKING								
35		Coordination	Contractor Coordination	0.5	CE02	\$105.00	\$52.50			
1		Survey Setup + Investigation	Staking Setup	2.0	CADD	\$105.00	\$210.00			
3		Survey Control Network	Travel Time + Establish Control	2.0	SVYC	\$98.00	\$196.00			
3		Survey Control Network	Travel Time + Establish Control	2.0	SVYA	\$68.00	\$136.00			
25		Asphalt Pavement Staking	Field Staking	6.0	SVYC	\$98.00	\$588.00			
25		Asphalt Pavement Staking	Field Staking	6.0	SVYA	\$68.00	\$408.00			
24		Storm Sewer Staking	Field Staking	4.0	SVYC	\$98.00	\$392.00			
24		Storm Sewer Staking	Field Staking	4.0	SVYA	\$68.00	\$272.00			
19		Review + Certification	Project Manager Review	0.3	PGMR	\$158.00	\$39.50			
				26.8			Total:		\$2,294.00	
MOBILIZATIONS	2	Construction Staking Estimate:							\$2,294.00	
								Administrative Fee:		\$22.94
								Total Bid:		\$2,316.94

Site Grading



EARTHWORK • UTILITIES • SITE DEVELOPMENT • ENVIRONMENTAL SERVICES

2000 Oakes Road. Racine, Wisconsin 53406

Phone: (262) 886-4474 • Fax: (262) 886-1897

June 1, 2023

RE: A.W. Oakes & Son, Inc. – Crawford Park Walking Path

A.W. Oakes & Son, Inc. is pleased to provide the following proposal per the drawings received.

Grading Proposal:

1. Mobilization
2. Tracking pad entrance (1 EA)
3. Site erosion control (silt fence)
4. Sawcut clean edges for path tie-ins to existing pavement
5. Strip topsoil and stockpile in sledding hill area
6. Cut & fill site complete +/- 0.1'. Stockpile excess spoils in sledding hill area
7. Spread topsoil
8. Stone under asphalt path
9. 2' agg shoulder where shown on plans (3/4" dense limestone)
10. Survey, dust control, sweeping and dewatering for the above activities.

Grading Proposal: \$118,165.00

Exclusions:

- Permits / Permit fees / Inspection costs / No bond included
- Initial layout / Control Points to be provided
- Asphalt or concrete paving
- Fine grading for asphalt or concrete
- Stone under pavilion flatwork. Pavilion stone, flatwork, and installation by others.
- Compaction or density testing
- EBS or undercuts
- Temporary or permanent seeding or landscaping
- Traffic control
- Winter conditions (frost excavation, ground covering, snow removal, etc.)
- Contaminated water and/or soil disposal. Site assumed to be clean.

If you have any questions, please let me know if you have questions at 312-656-0710

Sincerely,

Brian Rucka
Estimator / Project Manager
A.W. Oakes & Son, Inc.

Site Utilities

(Includes bridge structure)



EARTHWORK • UTILITIES • SITE DEVELOPMENT • ENVIRONMENTAL SERVICES

2000 Oakes Road. Racine, Wisconsin 53406

Phone: (262) 886-4474 • Fax: (262) 886-1897

May 12, 2023

Riley Construction
Attn. Chad Parker

RE: A.W. Oakes & Son, Inc. – PCO 042 Construction Bulletin Changes

A.W. Oakes & Son, Inc. is in receipt of PCO 042 Construction Bulletin dated 4/19/23. We have reviewed the plans and there are cost impacts associated with the revisions. A breakdown of our added costs is below.

Add 2 Storm Manholes @ \$5,300.00/Each	\$10,600.00
Add 88 LF of 12" PVC Storm Sewer \$125.00/LF	\$11,000.00
Add 1 48" OCS Structure @ \$5,300.00/Each	\$5,300.00
Add 8 LF of 8" PVC Storm Sewer @ \$100.00/LF	\$800.00
Add 17 LF of 12" CMP @ \$100.00/LF	\$1,700.00
Add 8'x10' Concrete Structure (Pedestrian Bridge)	\$29,950.00

Total \$59,350.00

Please review and issue a contract change order for the above amount. If you have any questions, please let me know at 262-977-3511.

Sincerely,

Jay Beesley
Estimator / Project Manager
A.W. Oakes & Son, Inc.

Paving



Date: Wednesday, May 3, 2023

Company: Riley Construction Co.
Name: Lisa Parmentier
Address: 5301 99th Avenue
City: Kenosha, WI 53144

Job Name: Caledonia Public Safety Bldg
Job Location: PCO 042 - Crawford Park
Phone: 262-658-4381
Email: LisaP@rileycon.com

FINE GRADING AND PAVING PROPOSAL FOR AN AREA APPROXIMATELY 19,700 SQUARE FEET:

- All aggregate base course to be completed by others to conform to plan elevations within $\pm 0.05'$
- Fine grade and compact the aggregate base course installed by others.
- Apply water to existing aggregate base course for compaction as necessary
- Construct a 4-inch Hot-Mix Asphalt pavement section consisting of a 2.25-inch lift of binder course and a 1.75-inch lift of surface course

Sub-Contractor must rent a paving machine small enough for the side walks.

PROJECT NOTES:

- If additional crushed aggregate base is necessary to achieve proper paving elevations a charge of \$25.00 per ton will be added to the contract.
- If unsuitable subbase conditions are discovered, a charge of \$44.50 per ton will be added to the contract to undercut, place aggregate base and dispose of material off-site.

Cicchini Asphalt, LLC propose hereby to furnish material and labor - complete in accordance with above specifications, for the sum of:

PRICE PER CONTRACT: \$ 85,831.00

This Proposal and Cicchini Asphalt's obligation to provide any labor, materials and/or equipment hereunder is expressly conditioned upon federal, state and local regulations, restrictions and orders pertaining to the COVID-19 pandemic and the health, safety and welfare of Cicchini Asphalt's employees. If Cicchini Asphalt, in its sole discretion, is unable to timely and/or adequately provide labor, materials, equipment, and/or workforce to fulfill this Proposal due to the COVID-19 pandemic or other virus outbreaks, epidemics, and pandemics, then this Proposal shall be null and void, Cicchini Asphalt shall be excused from all performance hereunder, any and all liability against Cicchini Asphalt is waived, and Cicchini Asphalt shall be entitled to reimbursement of all costs incurred at the time performance is ceased

PAYMENT TERM: Payment due upon completion of work. A finance charge computed by a percentage of 1-1/2% per month which is an annual percentage rate of 18% may be assessed on all invoices not paid within terms of sale as shown on invoice and all costs of collection and actual attorney fees.

CONTRACT: Contract pricing subject to change if not executed within ten days due to the volatility of petroleum pricing

PERMITS: All necessary permits by others - please contact your local municipality for information and cost

DELAYS: Cicchini Asphalt, LLC will complete the job within a reasonable time, but shall not be liable for delays beyond their control.

WORK: Work to be complete in a workmanlike manner according to industry standards.

INSURANCE: Cicchini Asphalt, LLC and its employees are fully insured

ACCEPTANCE OF PROPOSAL – The authorized signer below agrees and accepts to the above prices, specifications, conditions and the additional terms and conditions of sale. Cicchini Asphalt, LLC is authorized to mobilized and perform the work as specified. The authorized signer below agrees to the payment terms above.

Signature: _____

Date: _____

Greg Krahn
Cicchini Asphalt, LLC

ADDITIONAL TERMS AND CONDITIONS OF SALE

Work of Others: Prior to the commencement of the Work, the work of others shall be completed to such an extent that it will not in any way conflict or interfere with the Work. If Cicchini Asphalt, LLC is directed to commence Work prior to the time such other work is completed, Owner/Contractor agrees to pay the costs of any extra mobilizations or reduced productivity attributable to Cicchini Asphalt, LLC commencing any of the Work before any others have completed their work.

Changed Conditions: Any changed condition of the job specifications involving extra costs will be performed only upon submission of a written change order, and Owner/Contractor will be required to pay to Cicchini Asphalt, LLC an extra charge over and above the original contract price for performance of the requested change order.

Utilities: Cicchini Asphalt, LLC will not be responsible for damage to any underground utilities, invisible dog fence or other hidden conditions if the Owner/Contractor fails to give Cicchini Asphalt, LLC advance notice of their existence and location. Owner/Contractor agrees to indemnify and hold Cicchini Asphalt, LLC harmless for any loss, expense or damage resulting from, arising out of, or in any way related to such condition.

Access: Physical access by heavy equipment and material delivery vehicles to the site that is the subject of this contract may result in physical damage to property including but not limited to existing concrete sidewalk, approach, driveway, pavement, landscape or structures. Cicchini Asphalt, LLC will cooperate with the Owner/Contractor in finding alternative access solutions, but the Owner/Contractor does hereby release and hold harmless Cicchini Asphalt, LLC from any claims for physical damage caused from access to the site. Owner/Contractor agrees that any physical damage to property caused by Cicchini Asphalt, LLC's heavy equipment and material delivery vehicles in the process of gaining access to the site, where no other access options have been made available, shall be the responsibility of the Owner/Contractor.

Restoration: Cicchini Asphalt, LLC will not be responsible for any restoration of adjacent areas disturbed as a result of construction, including, but not limited to, stone shoulder, adjustment of drainage structures or landscaping that may need to be performed to allow for proper drainage of water from the surface of the new pavement unless otherwise agreed to in the scope of work.

Damage Waiver: Any claim for property damage is conclusively waived unless presented to Cicchini Asphalt, LLC in writing within seven (7) calendar days of the occurrence.

Acceptance of Material/Labor: All materials and labor are conclusively accepted as satisfactory unless objected to in writing within seven (7) calendar days of performance.

Lien Law: "AS REQUIRED BY THE WISCONSIN CONSTRUCTION LIEN LAW, BUILDER (CICCHINI ASPHALT, LLC) HEREBY NOTIFIES OWNER THAT PERSONS OR COMPANIES FURNISHING LABOR OR MATERIALS FOR THE CONSTRUCTION ON OWNER'S LAND MAY HAVE LIEN RIGHTS ON OWNER'S LAND AND BUILDINGS IF NOT PAID. THOSE ENTITLED TO LIEN RIGHTS, IN ADDITION TO THE UNDERSIGNED BUILDER, ARE THOSE WHO CONTRACT DIRECTLY WITH THE OWNER OR THOSE WHO GIVE THE OWNER NOTICE WITHIN 60 DAYS AFTER THEY FIRST FURNISH LABOR OR MATERIALS FOR THE CONSTRUCTION. ACCORDINGLY, OWNER PROBABLY WILL RECEIVE NOTICES FROM THOSE WHO FURNISH LABOR OR MATERIALS FOR THE CONSTRUCTION, AND SHOULD GIVE A COPY OF EACH NOTICE RECEIVED TO HIS MORTGAGE LENDER, IF ANY, TO SEE THAT ALL POTENTIAL LIEN CLAIMANTS ARE DULY PAID."

Compliance with Laws: Owner/Contractor, at its sole expense, shall comply with and obtain all necessary licenses and permits under present and future laws, statutes, ordinances, rules, orders or regulations of any governmental body having jurisdiction over the site, the Work, or the Owner/Contractor shall bear the sole cost of any fines or penalties for failure to comply with or obtain the same and shall indemnify and hold Cicchini Asphalt, LLC harmless for any fine, penalty or expense resulting from, arising out of, or in any way related to Owner/Contractor's violations under this paragraph.

Insurance/Indemnification: This Proposal is contingent upon the express agreement that indemnification, defense, additional insured status and waivers of subrogation, if required by the Owner/Contractor, shall be provided by Cicchini Asphalt, LLC, but only to the extent of Cicchini Asphalt, LLC's negligent acts or omissions in the performance of its work. Owner/Contractor to carry any necessary property insurance on the Work. Cicchini Asphalt, LLC's workers are fully covered by Workers' Compensation Insurance. Cicchini Asphalt, LLC will meet insurance limits of liability by using a combination of primary insurance policies and umbrella/excess policies.

Warranty: All material is guaranteed to be as specified. All Work to be completed in a workmanlike manner according to standard practices. Cicchini Asphalt, LLC's warranty excludes remedy for damage or defect caused by abuse, modifications not executed by Cicchini Asphalt, LLC, its subcontractors or suppliers, improper or insufficient maintenance, improper operation, normal wear and tear under normal usage or excessive manipulation over the original design criteria. Cicchini Asphalt, LLC's warranty for material and workmanship is for the term of one year from Cicchini Asphalt, LLC's last substantial labor date and is in lieu of any other warranty or remedy required by law.

Site Drainage: Cicchini Asphalt, LLC reserves the right to refuse to construct a pavement unless minimum grades of 1% are attainable for surface drainage. If the Owner/Contractor directs construction with less than a minimum grade of 1% or if the plans do not provide 1% drainage in all directions, it is understood and agreed that waterponding may occur and that no warranty will attach to the Work. Cicchini Asphalt, LLC is not responsible for the redesigning of plan grades in order to establish a minimum of 1% drainage.

Subgrade/Aggregate Base: The Owner/Contractor is responsible to furnish Cicchini Asphalt, LLC a suitable subgrade/aggregate base having the ability to support the maximum axle loads transmitted from the heaviest construction and/or vehicle traffic anticipated as not to cause any deformation to the subgrade/aggregate base. All subgrade must be rough graded by Owner/Contractor to within $\pm 0.1'$ of the proposed plan subgrade elevations.

Resurfacing: When resurfacing concrete, brick or asphalt pavements, Cicchini Asphalt, LLC is not responsible for the reproduction of cracks or expansion joints which may occur

Incorporation: If any other agreement is entered into between the parties, the terms of this agreement shall be incorporated into any such agreement and shall supersede any conflicting terms contained therein.

Captions: The captions and headings at the beginning of each section of this Proposal are for convenience only and are to be given no weight in construing the provisions of this Agreement.

Breezy Hill Landscaping
7530 288th Avenue
Salem WI 53168
United States
262-537-2111

Invoicing Address:

Village of Caledonia Public Safety Building
5043 Chester Lane
Caledonia WI 53402
United States

Village of Caledonia Public Safety Building
5043 Chester Lane
Caledonia WI 53402
United States

Shipping Address:

Village of Caledonia Public Safety Building, PCO 042
5043 Chester Lane
Caledonia WI 53402
United States

Quotation # WICLS23-15249

Quotation Date:	Expiration:	Expected Ship Date:	Payment Terms:	Salesperson:
05/02/2023	06/01/2023	05/30/2023	LANDSCAPE	Tyler Watson

Product	Quantity	Unit Price	Amount
Village of Caledonia Public Safety Building, PCO 042	1.000 Units	0.000	\$ 0.00
Seeding			
Pollinator Seed Mix	2,300.000 Sq Yd	0.690	\$ 1,587.00
Annual Ryegrass Seed	2,300.000 SqYd/Seed	0.080	\$ 184.00
General 30 Lawn Seed Mix lb (25# Bag)	12,200.000 SqYd/Seed	0.200	\$ 2,440.00
Deluxe 50 Lawn Seed Mix lb (25# Bag)	12,200.000 SqYd/Seed	0.248	\$ 3,025.60
10-10-10 Fertilizer 50 lbs	14,500.000 SqYd/10-10-10	0.074	\$ 1,073.00
Straw Blanket DS-75W8/16 sq yd	14,500.000 SqYD	0.750	\$ 10,875.00
Sod Staples 6"	14,500.000 Each	0.180	\$ 2,610.00
Erosion Net Install (sq yd)	14,500.000 SqYD	0.610	\$ 8,845.00
Broadcast Seed Install (sq yd)	14,500.000 SqYD	0.750	\$ 10,875.00
Subtotal			\$ 41,514.60

Phone: 262-537-2111

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Turf area maintenance includes 3 weeks of temporary irrigation system which includes set up and take down, plus any misc. trips for adjustments, etc. The 4th week includes mowing and trimming.

The native maintenance has the 3 weeks of watering and then spot spraying for weeds the fourth week.

Product	Quantity	Unit Price	Amount
Maintenance			
30 Day Lawn Maintenance & Watering	1.000 Job	7,030.000	\$ 7,030.00
(2.52 Acres)			
30 Day Native Seed Maintenance & Watering	1.000 Job	3,100.000	\$ 3,100.00
(2,300 SY)			
		Subtotal	\$ 10,130.00
Mobilization & Delivery			
Mobilization & Delivery Fee	51,644.000 Job	0.050	\$ 2,582.20
		Subtotal	\$ 2,582.20
Subtotal			\$ 54,226.80
Tax Exempt			\$ 0.00
Total			\$ 54,226.80

Notes:

+/- 1" Finish grade included

All soils to be provided & placed by others

Irrigation system not included at this time

Path, bridge, drainage, etc.: By Others

Payment terms: 10 Days

To: Village Board

RE: 2023 Code Enforcement Summary

The purpose of this memo is to inform the Village Board of code enforcement cases through May of 2023. Below are graphs depicting what types of violations are occurring and what percentage those types of cases represent overall. If the Village Board has questions regarding specific properties, they can be addressed by staff at the June 27th meeting.

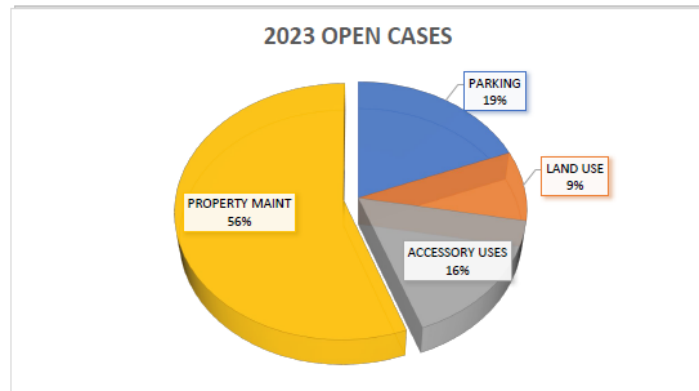
DATE May 31, 2023

DEC 2022 UNRESOLVED CASES	
PARKING	5
LAND USE	4
ACCESSORY USES	9
PROPERTY MAINT	31
TOTAL	49

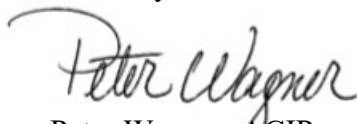
2023 CASES OPENED	
PARKING	32
LAND USE	5
ACCESSORY USES	7
PROPERTY MAINT	56
TOTAL	100

2023 CASES CLOSED	
PARKING	22
LAND USE	2
ACCESSORY USES	3
PROPERTY MAINT	43
TOTAL	70

2023 UNRESOLVED CASES	
PARKING	15
LAND USE	7
ACCESSORY USES	13
PROPERTY MAINT	44
TOTAL	79



Sincerely,




Peter Wagner, AICP
 Development Director

MEMORANDUM

DATE: Wednesday, June 21, 2023

TO: Village Board

FROM: Kathryn Kasper
Village Administrator 

RE: Appointment to the Racine Wastewater Commission

BACKGROUND INFORMATION

Robert (Bob) Lui is the Caledonia Representative on the Racine Wastewater Commission and has since retired from his employment with the Village. Anthony Bunkelman is the Alternate Representative on the Commission.

With Bob's retirement, the Village will need to fill this open position on the Racine Wastewater Commission. Anthony Bunkelman has been the Alternate Representative on the Racine Wastewater Commission since October 1, 2016. It is recommended that Anthony Bunkelman be appointed to be Caledonia Representative on the Racine Wastewater Commission and a new Alternate Representative be selected.

The term for the Caledonia Representative (per the Sewer Agreement) is a 3-year term. The current term is from 10/1/2020 to 9/30/2023. The Alternate Representative (per the Sewer Agreement) has a 1-year term. The current term is from 10/1/2022 to 9/30/2023.

RECOMMENDATION

Appoint Anthony Bunkelman to be the Caledonia Representative on the Racine Wastewater Commission to fill the remainder of the Caledonia Representative term (6/8/2023 – 9/30/2023) and further, approve appointment of Anthony Bunkelman for the next 3 year term beginning in October of 2023 (10/1/2023 to 9/30/2026).