
PLANNING COMMISSION AGENDA
Monday, May 23, 2022 at 6:00 p.m.
Caledonia Village Hall – 5043 Chester Lane

- 1. Meeting called to order**
- 2. Roll Call/Introductions**
- 3. Approval of Minutes**
- 4. Citizens' Comments**
- 5. Public Hearing and Possible Action on Items set for Public Hearing**
 - A. REZONE** - Review a request to rezone two parcels consisting of ±92.3 acres located on Northwestern Avenue, south of 13501 Northwestern Avenue from A-2, General Farming and Residential District II, and B-4, Planned Business District to M-3, Heavy Industrial District submitted by Jason Lueders, Applicant, Badger Land Company, Owner. (Parcel ID Nos. 104-04-22-30-038-000 & 104-04-22-30-047-000)
 - B. CONDITIONAL USE** – Review a request for a conditional use to operate a child daycare business in an existing commercial building located at 10502 Northwestern Avenue submitted by Jermesha McHenry, Applicant, 10502 Northwestern Avenue LLC, Owner. (Parcel ID No. 104-04-22-33-208-000)
 - C. CONDITIONAL USE AMENDMENT** – Review a request to amend an existing conditional use permit to extend, for an additional 36 months, the operation of outdoor parking of undamaged and damaged vehicles for an online auto auction business located at 7213 USH 41 submitted by IAA Inc, Applicant, Hribar Holdings LLC, Owner. (Parcel ID No. 104-04-22-07-100-000)
- 6. New Business**
 - A. COOPERATIVE BOUNDARY AGREEMENT REVIEW** – Review a building, site, and operation plan to construct a ±30,000 square-foot warehouse building located on the parcel directly south of 4221 Courtney Road submitted by Robb Sterr, Applicant, Jack Takerian, Owner. (Parcel ID No. 168-04-21-36-001-240)
 - B. CERTIFIED SURVEY MAP** - Review a certified survey map creating four lots for the parcel located at the northwest corner of 4 Mile Road and CTH H submitted by Peter Zimmerman, Applicant, Zimmerman-Etal, Owner. (Parcel ID No. 104-04-22-20-049-000)
- 7. Adjournment**

Dated May 19, 2022

Joslyn Hoeffert
Village Clerk

Only Commission members are expected to attend. However, attendance by all Board members (including non-members of the Plan Commission) is permitted. If additional (non-commission) Board members attend, three or more Board members may be in attendance. Section 19.82(2), Wisconsin Statutes, states as follows: If one-half or more of the members of a governmental body are present, the meeting is rebuttably presumed to be for the purposes of exercising the responsibilities, authority, power, or duties delegated to or vested in the body. To the extent that three or more members of the Caledonia Village Board actually attend, this meeting may be rebuttably presumed to be a "meeting" within the meaning of Wisconsin's open meeting law. Nevertheless, only the commission's agenda will be discussed. Only commission members will vote. Board members who attend the commission meeting do so for the purpose of gathering information and possible discussion regarding the agenda. No votes or other action will be taken by the Village Board at this meeting.

1. Meeting called to order

President Dobbs called the meeting to order at 6:00 p.m. at the Village Hall, 5043 Chester Lane, Racine, Wisconsin.

2. Roll Call/Introductions

Members present: Thomas Knitter, Trustee Weatherston, Nancy Pierce, President Dobbs, Bill Folk, and Tim Just.

Excused: Joseph Minorik

Also Present: Development Director Peter Wagner and Director of Public Services Anthony Bunkelman P.E.
Trustee Fran Martin

3. Approval of Minutes

Approval of March 28, 2022, meeting minutes.

Motion by Folk

Seconded by Pierce. Motion carried unanimously.

4. Citizens' Comments

None

5. Public Hearing Items

None

6. Non-Public Hearing Items

**6A. CONDITIONAL USE AMENDMENT – Review a request for a conditional use amendment to expand the use of the existing fueling station and convenience store to include the operation of a U-Haul business located at 7952 USH 41 submitted by Joy Peter, Applicant, Kidangayil Inc., Owner.
(Parcel ID No. 104-04-22-07-076-000)**

Wagner read from his report:

At the November 2021, Plan Commission meeting, the Plan Commission held the proposed conditional use amendment requesting additional information. The Plan Commission requested a scaled site plan showing the location of vehicles and trailers, fencing along the eastern portion of the site and a gravel pad where U-Haul trailers would be stored on site. Furthermore, the Plan Commission requested a truck modeling plan illustrating how semi-tractors and trailers and emergency vehicles could safely enter and exit the site if U-Haul vehicles and trailers were parked on the site. The applicant searched for an affordable surveyor to create the site plan and truck modeling plan, however, was unsuccessful. The applicant stated he does not want to pay for such plans due to the cost and small revenue generated by the additional business use. As a result, the representative for U-Haul submitted a modified site plan that was submitted in November. The new site plan is the same as the previously submitted plan, however, distances between vehicles, trailers and structures on the site have been labeled. Staff believes what has been submitted does not meet the earlier request from the Plan Commission. Distances on an unscaled map does not provide the necessary documentation that EMS vehicles or other long vehicles, such as RVs or semis, would be able to safely enter and exit the premises with the parked U-Haul vehicles on the site. In addition, the Plan

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Commission requested a privacy fence be installed on the northeast portion of the site. The revised site plan does not show where on the property the privacy fence is proposed, nor details as to the design or height of the fence.

Based on the submitted site plan, staff believes the applicant has not sufficiently addressed the Plan Commission's concerns regarding the safe site circulation of fueling trucks, emergency vehicles, or other long vehicles entering and exiting the property with U-Haul vehicles parked on the site.

If the Plan Commission does not believe the applicant has sufficiently provided documentation demonstrating safe vehicle circulation, then the Plan Commission should not approve the request to amend the existing conditional use to include the operation of a U-Haul business with outdoor storage of equipment located at 7952 USH 41 because the site circulation cannot handle the safe entering and exiting of emergency vehicles, semi-trucks, and other long vehicles with the parking of U-Haul vehicles on the site, and that the proposed site circulation cannot be addressed with appropriate conditions, because the site is too small to accommodate such expanded use.

Neither the applicant nor his agent was in attendance.

Staff projected on screen the latest site plan which attempted to address the concerns raised at the November meeting but still did not include all the requested information. Staff stated that the applicant has not sufficiently addressed the Plan Commission's concerns regarding the safe site circulation of fueling trucks, emergency vehicles, or other long vehicles entering and exiting the property with U-Haul vehicles parked on the site. If the applicant is amendable to removing the proposed vehicles on the south side of the site, staff believes that the one vehicle parked by the business sign in the northwest corner of the site and the trailers parked on a gravel surface towards the rear of the property will not compromise safe entering and exiting of the site.

The Commissioners discussed the proposal, with members stating no trucks should be allowed to be parked in the area south of the building because they could impede semi traffic. They also discussed the fence proposal, which some said was inadequate, and the fact that the trucks were brought onto the site prior to the Village granting an amendment to the Conditional Use Permit, and that the applicant continues to allow U-Haul trucks to be parked on site even after he was notified it was a violation.

Pierce made a motion to deny the Conditional Use Amendment based on the criteria presented by the Development Director in the attached report, which states the site circulation cannot handle the safe entering and exiting of emergency vehicles, semi-trucks, and other long vehicles with the parking of U-Haul vehicles on the site, and that the proposed site circulation cannot be addressed with appropriate conditions, because the site is too small to accommodate such expanded use.

Seconded by Just

ROLL CALL

Nancy Pierce	Aye
Thomas Knitter	Aye
Trustee Weatherston	Aye
Tim Just	Aye
Bill Folk	Aye
President Dobbs	Aye

Motion carried unanimously.

6B. Certified Survey Map

Review a certified survey map creating three lots for the parcel located on the east side of Chester Lane between 4 Mile Road and Village Hall submitted by David Wade and Joy Mathein, Applicants, Robert Konecko, Owner. (Parcel ID No. 104-04-23-20-124-010)

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Development Services Director, Anthony Bunkelman read from his memorandum:

The Engineering Department has received a draft Certified Survey Map (CSM) from David Wade & Joy Mathein. The Konecko property is located on the east side of Chester Lane between 4 Mile Road and the Village Hall. The existing property is approximately 1.25 acres in size and has 330 feet of frontage along Chester Lane. This property was part of a CSM (Lots 2, 3, & 4) in 2004, which was not recorded. Mr. Wade & Ms. Mathein are proposing to develop the proposed lots with duplex homes in the future. The existing parcel is vacant.

The draft CSM proposes to create 3 lots. All 3 lots are proposed for duplex (two family) homes in the near future. The lots are proposed to be approximately 0.38 acres, 0.38 acres, and 0.49 acres in size.

The Zoning of the existing parcel is R-6. R-6 zoning requires a minimum of 100' of frontage and a minimum of 10,000 square feet of area. The proposed lots meet and exceed the minimum zoning requirements.

The CSM is located within the Sanitary Sewer & Water Service Areas. Sanitary Sewer and Watermain are available to the proposed lots within Chester Lane. The proposed lots do not have laterals to them at this time and laterals will need to be extended to the lots. The owner will need to obtain Road Opening Permits for each lot for the installation of the sewer and water laterals.

Access for the 3 proposed lots is to be from Chester Lane. The owner will need to obtain Right of Way Access Permits prior to any accesses being installed.

The drainage of the draft CSM according to the Master Drainage Plan is to the North and East (M-16-10) for the approximate 1.25 acres. As part of the proposed development of these lots, a Site Grading Plan and a Storm Water Management Plan will need to be submitted, reviewed, and approved.

A Wetland Delineation should be performed as part of the Storm Water Management Plan. Any Wetlands will need to be shown on the CSM.

Bunkelman added that he had sent a list of conditions of approval to the applicants who indicated they agree with all the listed conditions.

1. An updated CSM document is provided from a registered land surveyor.
2. The Zoning setbacks & Minimum Frontage requirements for the R-6 Zoning District are listed on the CSM and the setback lines are shown on the lots.
3. Sanitary Sewer and Water laterals will need to be installed to the lots. A plan for the lateral installation shall be submitted, reviewed, and approved. Road Opening Permits will also need to be obtained.
4. A Storm Water Management Plan and a Master Site Grading Plan for the lot of the CSM will need to be submitted, reviewed, and approved by the Caledonia Utility District.
5. A cost share agreement/ maintenance agreement will need to be executed for the expansion of the Village Storm Water Pond.
6. Place a 12' Drainage & Utility Easement along the North and East lot lines.
7. A Wetland Delineation will need to be performed and all Wetlands will need to be shown on the CSM. The Wetland Delineation Report shall be submitted with the Final CSM.
8. The CSM is subject to the Land Division per Lot fee.
9. The Owner agrees to execute any and all agreements and make the necessary deposits the approval of the CSM.
10. The Final CSM is submitted and recorded within 1 year of approval by the Village Board.

Trustee Weatherston made a motion to conditionally approve the Konecko CSM on parcel 104-04-23-20-124-010 subject to the conditions listed.

Seconded by Folk.

ROLL CALL

Nancy Pierce

Aye

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Thomas Knitter	Aye
Trustee Weatherston	Aye
Tim Just	Aye
Bill Folk	Aye
Joseph Minorik	Aye
President Dobbs	Aye

Motion carried unanimously.

6C. Zoning Code Discussion

Review draft Chapter 11, Signs, and Chapter 16, Adult Oriented Businesses of the Village of Caledonia Zoning Code.

Chapter 11, Signs

Wagner stated that the review of Chapter 11, Signs, has been postponed to the next meeting because the U.S. Supreme Court made a decision recently and published a 50-page decision paper about the regulation of temporary signs when it comes to off-premises signs and what authority municipalities to regulate off-premises signs. Because temporary signs are a large part of new code, Village Counsel recommended she conduct another review of the proposed ordinance prior to Plan Commission review.

Chapter 16, Adult Oriented Businesses

Wagner briefly gave an overview of Chapter 16 with references to a plan the Village collaborated on with RCEDC previously regarding the redevelopment of Douglas Avenue, and also references the I-94 Corridor plan as areas where the Village does not want to see any secondary effects of Adult Oriented Businesses, effectively prohibiting them on Douglas Avenue and in the I-94 corridor even if the parcel has the right M-3 zoning. He noted the new Village ordinance is based on the Racine County Code and should provide the Village protection if and when a proposal for an Adult Oriented Business is received. The code is considered restrictive but not exclusionary.

Chapter submitted for review only, no motion needed at this meeting.

7. - Adjournment

Motion by to adjourn Trustee Weatherston. Seconded by Knitter. Motion carried unanimously. Meeting adjourned at 6:34 p.m.

Respectfully submitted,
Helena Dowd
Planning Technician



Meeting Date: May 23, 2022

Item No. **5a**

PLAN COMMISSION REPORT

Proposal: Rezone

Description: Request to rezone two parcels, consisting of ± 92.8 acres located on Northwestern Avenue, south of 13501 Northwestern Avenue, be rezoned from A-2, General Farming and Residential District II, and B-4, Planned Business District to M-3, Heavy Industrial District.

Applicant(s): Jason Lueders (Zilber Group)

Address(es): Northwestern Avenue

Suggested Motion: That the Plan Commission recommends to the Village Board that the two parcels consisting of ± 92.8 acres located on Northwestern Avenue, south of 13501 Northwestern Avenue (Parcel ID Nos. 104-04-22-30-038-000 & 104-04-22-30-047-000) be rezoned from A-2, General Farming and Residential District II, and B-4, Planned Business District to M-3, Heavy Industrial District as illustrated in Exhibit A for the following reasons:

1. Due to the subject property's proximity to I-94, industrial uses should be encouraged in this area.
2. The 2035 Land Use Plan designates this area of the property as Industrial/Business Park. The proposed rezoning is in accord with the 2035 Land Use Plan designation for the subject property.

Owner(s): Badger Land Company

Tax Key(s): 104-04-22-30-038-000 & 104-04-22-30-047-000

Lot Size(s): 27.63 & 65.16 acres

Current Zoning District(s): B-4, Planned Business District and A-2 General Farming and Residential District II

Overlay District(s): N/A

Wetlands: ☒ Yes ☐ No

Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Industrial/Business Park

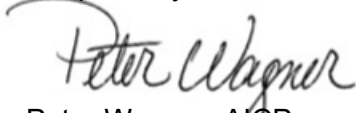
Background: The applicant is requesting the rezoning of two parcels, consisting of ± 92.8 acres located on Northwestern Avenue, south of 13501 Northwestern Avenue, from A-2, General Farming and Residential District II, and B-4, Planned Business District to M-3, Heavy Industrial District. The purpose of this rezoning is to provide a zoning district that can accommodate the future development of a business park. This change in zoning is similar to what was done for the DeBack Farms Business Park.

The M-3 zoning District is being requested due to the proposed use as a business park with multiple buildings to accommodate distribution facilities and other potential industrial uses. Rezoning to the M-3 District is consistent with the adopted 2035 Village Land Use Plan and the proximity to the highway makes an industrial zoning classification on the property suitable for these parcels.

At this time, the applicant has not identified any specific uses. If in the future, a proposed use is not a permitted use, but rather a conditional use, in the M-3 District, the property owner will need to come before the Village requesting a conditional use permit.

If the Plan Commission is comfortable with the proposed rezone, staff has drafted a suggested motion shown on the first page of this report.

Respectfully submitted:

A handwritten signature in dark ink, appearing to read "Peter Wagner", is written over a light gray circular background.

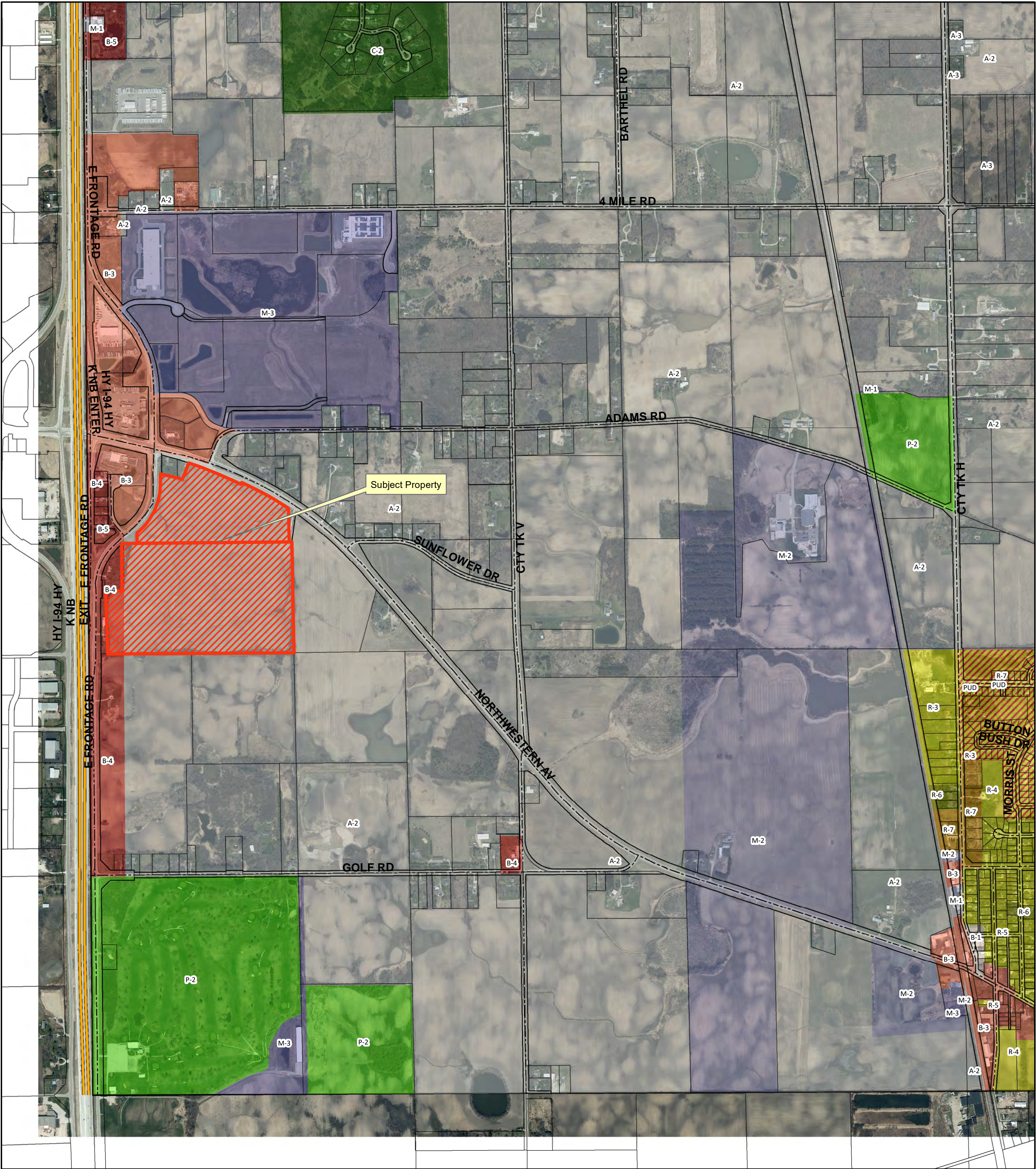
Peter Wagner, AICP
Development Director

EXHIBIT A



APPLICATION FOR REZONING FROM A-2 TO M-3

LOCATION MAP Northwestern Avenue

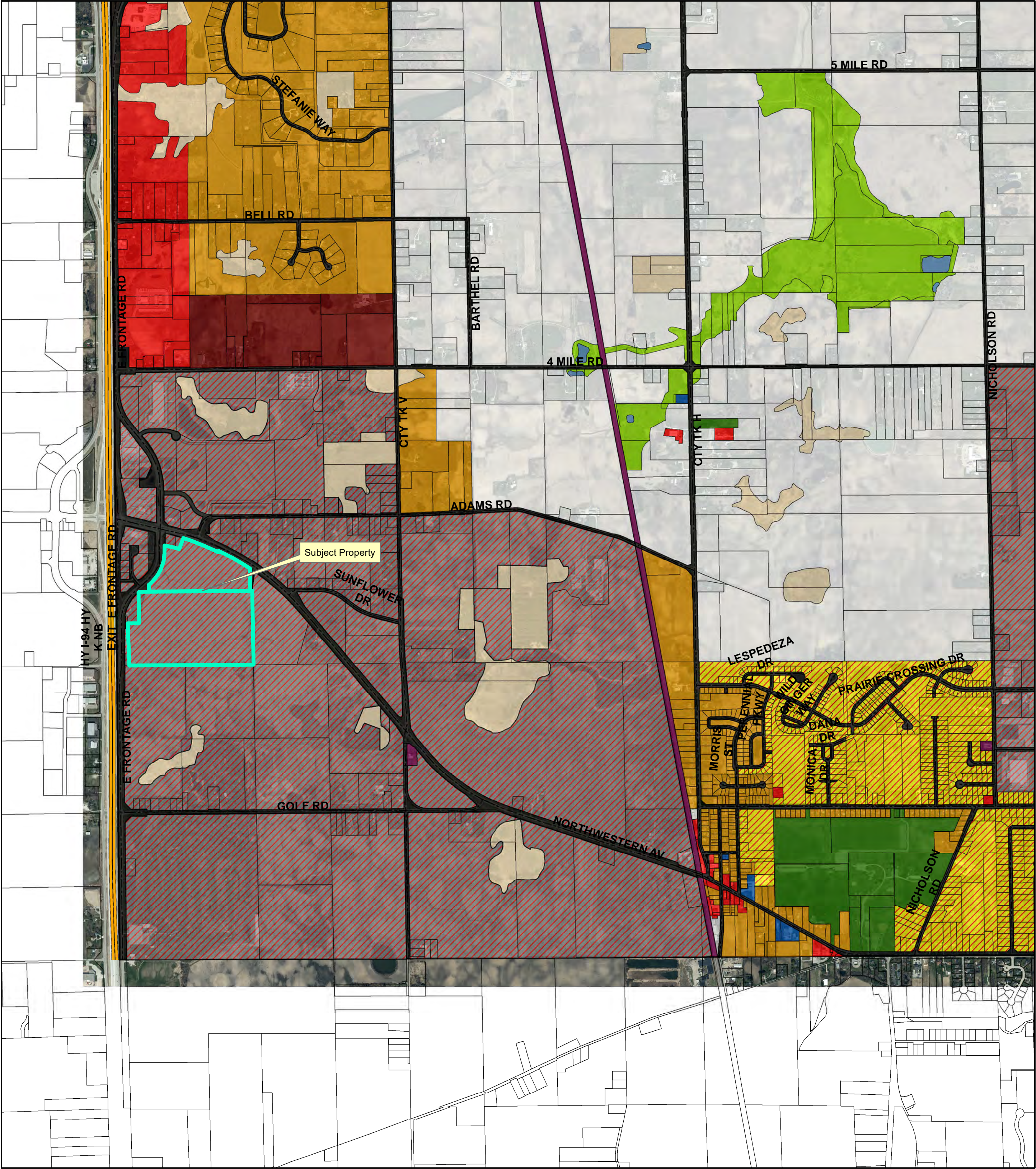


Legend



Northwestern_Avenue

Land Use Map



Legend

Recommended 2035 Caledonia Land Use Plan

LAND USES

- LOW DENSITY RESIDENTIAL (19,000 SQUARE FEET TO 1.49 ACRES PER DWELLING UNIT)
- MEDIUM DENSITY RESIDENTIAL (6,200 TO 18,999 SQUARE FEET PER DWELLING UNIT)
- HIGH DENSITY RESIDENTIAL (LESS THAN 6,200 SQUARE FEET PER DWELLING UNIT)
- COMMERCIAL
- OFFICE PARK
- MIXED USE-COMMERCIAL AND RESIDENTIAL

- INDUSTRIAL
- INDUSTRIAL/BUSINESS PARK
- TRANSPORTATION, COMMUNICATION, AND UTILITIES
- STREETS AND HIGHWAYS
- GOVERNMENTAL AND INSTITUTIONAL
- RECREATIONAL
- EXTRACTIVE
- LANDFILL
- AGRICULTURAL, RURAL RESIDENTIAL, AND OPEN LAND
- PRIMARY ENVIRONMENTAL CORRIDOR
- SECONDARY ENVIRONMENTAL CORRIDOR
- ISOLATED NATURAL RESOURCE AREA
- OTHER OPEN LANDS TO BE PRESERVED
- SURFACE WATER



EXAMPLES OF RECENT DEVELOPMENT PROJECTS
INDUSTRIAL



ZILBER
PROPERTY GROUPSM



Meeting Date: May 23, 2022

Item No. **5b**

PLAN COMMISSION REPORT

Proposal: Conditional Use

Description: Request for a conditional use to allow the operation of a child daycare facility in an existing commercial building located at 10502 Northwestern Avenue

Applicant(s): Jermesha McHenry

Address(es): 10502 Northwestern Avenue

Suggested Motion: That the Plan Commission recommends to the Village Board that a conditional use to operate a licensed child daycare business located at 10502 Northwestern Avenue, Parcel ID No. 104-04-22-33-208-000, be approved for the following reason:

1. The proposed use is allowed by underlying zoning through the conditional use review process.
2. The proposed use does not negatively impact the surrounding properties.

Owner(s): 10502 Northwestern Avenue LLC

Tax Key(s): 104-04-22-33-208-000

Lot Size(s): 0.632 acres

Current Zoning District(s): B-3, Commercial Service District

Overlay District(s): N/A

Wetlands: ☐ Yes ☒ No Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Commercial

Background: The applicant is requesting approval of a conditional use to operate a child daycare facility in an existing commercial building located at 10502 Northwestern Avenue. This type of use is permitted as a conditional use in the B-3 District.

The existing commercial building has three tenant spaces. One is currently a liquor store, another is an acupuncture business, and the other was a dental office. The applicant intends to occupy the former dental business on the north end of the building. The site has access from Roberts Street to the west and an alleyway to the east. Access from Roberts Street is wide enough to accommodate the type of traffic that will occur during pick up and drop off times. The neighboring businesses are not open during the peak traffic time in the morning for daycare drop off and Drop-off times are often spread out over a longer period of time in the afternoon and evenings and should not create a conflict with neighboring business.

At this time, the applicant has not provided a site plan showing any outdoor play area for the facility. The applicant has indicated that an outdoor play area will eventually be part of the business and understands that she will need to come back before the Village for site approval. Included with this report is the applicant's narrative explaining the size of the business and hours of operation.

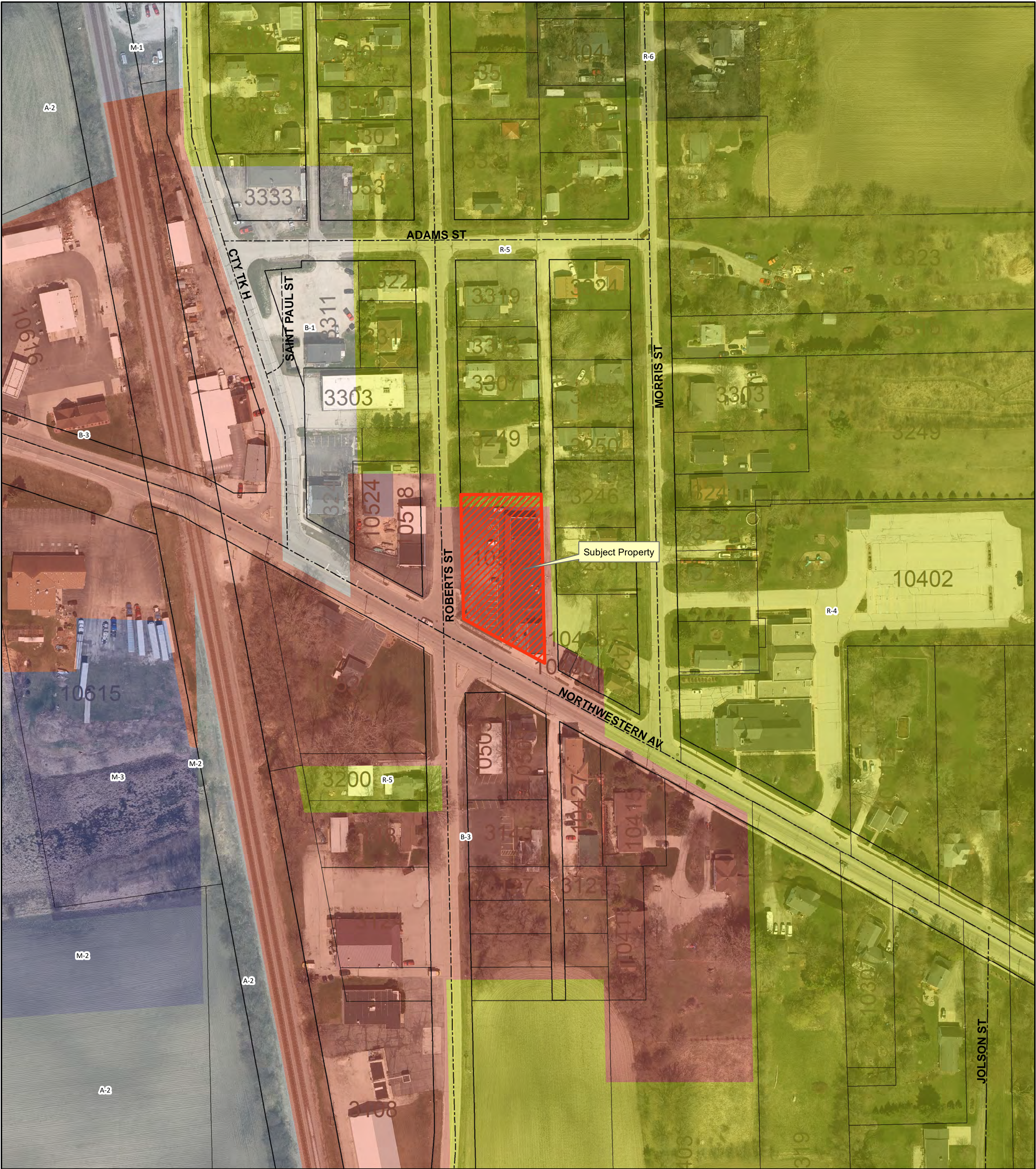
Although the neighboring liquor store may be of concern, the requested use fits within the B-3 zoning district as a conditional use. The use will be required to meet all State regulations regarding the operation of a daycare facility prior to requesting occupancy. Staff believes the location along Northwestern Avenue is a suitable site for this type of business even if abutting a liquor store. If the Plan Commission is comfortable with the proposed conditional use, staff has drafted a suggested motion shown on the first page of this report.

Respectfully submitted:

A handwritten signature in dark ink, appearing to read "Peter Wagner". The signature is fluid and cursive, with the first name "Peter" being more prominent than the last name "Wagner".

Peter Wagner, AICP
Development Director

LOCATION MAP 10502 Northwestern Avenue





MargoFaye Of Love Childcare Center

Proposal:

The proposed place is located in Franksville in a strip mall on the north side of the plaza. The address is 10502 Northwestern Ave. This place served as a dental office for over 10 years. I know that it would be a wonderful place for a small child care center. This center's hours of operation will be from 6am- 10pm, it will serve up to 27 kids per shift. 1st and second shift. No parking spaces will be used by parents except for pick up and drop off which will only be about two mins. We will at least have 3 employees but only use two parking spaces in the front. I have not noticed a lot of childcare centers in the area, this is why I believe this will be a very great asset to the community. I have a lot of people in the Racine area also looking for childcare as well that work in the surrounding areas and use the highway right by the daycare center. This is a very convenient place for a childcare center. The building is completely remodeled and ready to move in. Once we open we plan on creating a play area for the children on the northeast side of the building. We do know that we will need a permit in order to do so.

Back story:

Jermesha McHenry currently has a Family Child Care center in Milwaukee, wi inside my home. I service 8 children per shift, two shifts 1st and 2nd. I have been in business for 1 year and 4 months. I wanted to expand my business and I had a lot of people in the Racine area reaching out to me about childcare for their child or children. I reached out to my friend and asked her if she would be interested in helping me open a center in the racine area and she accepted. My partner's name is Lynzie shultz. Our daycare name is MargoFaye of Love. We came up with this name because we both lost our grandmothers so we named it after them. Our grandmothers meant a lot to us. We plan on being very successful in this journey. We are very professional individuals and want to help the people in our community where we were born and raised.



Meeting Date: May 23, 2022

PLAN COMMISSION REPORT

Item No. 5c

Proposal: Conditional Use Amendment

Description: Review of a request to extend the existing conditional use for 36 months, allowing the applicant to continue to occupy the eastern portion of the existing site with an online vehicle auction site with outdoor storage for used, undamaged, and damaged vehicles located at 7213 Hwy 41 until June 27, 2025.

Applicant(s): Insurance Auto Auction (IAA) Inc.

Address(es): 7213 Hwy 41

Suggested Motion: That the Plan Commission recommends that the Village Board approves the Conditional Use Amendment extending the duration of the conditional use until June 27, 2025, which allows the far eastern portion of the existing site at 7213 Hwy 41 to be occupied with an online vehicle auction platform with outdoor storage for used, undamaged, and damaged vehicles for the following reasons:

1. The proposed use is allowed by underlying zoning through the conditional use process.
2. The proposed use is being incorporated into an existing sales, service and rental of semi-tractors and trailers business and the proposed use is of a similar nature.
3. The owner will repair the existing fencing surrounding the proposed use by June 27, 2022.

Owner(s): Hribar Holdings LLC

Tax Key(s): 104-04-22-07-100-000

Lot Size(s): 38.76 ac

Current Zoning District(s): B-5, Highway Business District

Overlay District(s): N/A

Wetlands: ☒ Yes ☐ No

Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Commercial

Background: The applicant is requesting a 36-month extension to the existing conditional use permit which allows the operation of an online vehicle auction site with outdoor storage for used, damaged, and undamaged vehicles located at 7213 USH 41. IAA Inc. was approved for this type of use in December 2020. The business has been operating with no complaints. This use is similar to the Copart conditional use that was approved by the Plan Commission and Village Board at this location which expires in 2025. Since operations started, the applicant has been compliant with the conditions of approval and provided the Village with the necessary documentation as it relates to environmental and well testing.

During a recent site visit, staff observed sections of fencing surrounding the use is in poor condition and should be repaired. If the Plan Commission were to extend the use, staff recommends adding a condition to the motion requiring the repair of the fence by June 27, 2022.

IAA Inc. currently has few cars in the lot allocated for this use. The existing cars are parked on an angle to reduce the potential glare from vehicle windshields to the north. In addition, the location of these vehicles is further east than the Copart location and is screened by an existing wooded parcel to the north, reducing the visual impact to the neighbors on 6 ½ Mile Road.

If the Plan Commission is comfortable with the proposed extension length of 36 months, staff recommends amending the existing Condition Number 24: Duration of Conditional Use to state that the use expires June 27, 2025. If approved, IAA Inc. will continue to utilize the easternmost portion of the parcel as shown in Exhibit B.

The Plan Commission has the authority to add, modify, or subtract conditions as part of their deliberation. If the Plan Commission finds the revised conditions of approval acceptable, staff has provided a suggested motion for consideration.

EXHIBIT A: IAA Inc. Conditions of Approval

1. **Occupancy Permit.** The applicant must obtain an occupancy permit card from the Village Building Inspection Department and associated fees to occupy the far eastern portion of the existing site with an online vehicle auction platform for used undamaged and damaged vehicles. The occupancy permit must be displayed in a prominent location at the project site, and a copy of these conditions must be kept at the project site at all times until the project has been completed.
2. **Compliance.** Failure to comply with the terms and conditions stated herein could result in the issuance of citation(s) and/or revocation of this permit.
3. **Binding Effect.** These conditions bind and are applicable to the Property Owner, Applicant, and any other users of the Property Owner with respect to the uses on the Property.

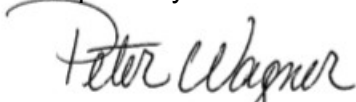
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4. **Plans.** The proposed operation shall be located, constructed, and utilized in accordance with the plans and documents received by the Village Planning & Zoning Department on November 2, 2020.
 5. **Hours of Operation.** The hours of operation of the proposed Copart operation must be from 7:30 a.m. – 6:00 p.m. Monday through Friday only.
 6. **Annual Well Report.** Applicant must conduct groundwater testing at the property by September 1, 2021, and at least annually thereafter, and must submit the findings of each such test to the Village. If any well test indicates that there are any sources of contamination attributable to the operation of the applicant, action must be taken by the property owner and/or Applicant to remedy this contamination. In addition, the Village may impose such additional conditions on the operation as are warranted to address the contamination or may terminate the use if no such conditions can adequately address the contamination. If the owner or operator fails to provide the Village with an annual groundwater testing report, the Village may undertake such testing and charge back the cost of such testing as a special charge against the property.
 7. **Slatting in the Fencing.** Eight-foot green slats must be installed and maintained for the full length of the existing north cyclone fence.
 8. **Annual Environmental Testing and Report.** The property owner and/or the Applicant must have an annual environmental site assessment (Phase 1) conducted for the land utilized by the Applicant and associated report prepared. A copy of this report must be submitted to the Village on an annual basis. If the annual environmental site assessment (Phase 1) indicates that there are any sources of contamination attributable to the operation of the applicant, action must be taken by the property owner and/or the Applicant to remedy this contamination. In addition, the Village may impose such additional conditions on the operation as are warranted to address the contamination or may terminate the use if no such conditions can adequately address the contamination. If the owner or operator fails to provide the Village with an annual environmental site assessment (Phase 1) report, the Village may commission the assessment and charge back the cost of such testing as a special charge against the property.
 9. **Stormwater.** The property owner or designated agent must contact the Village of Caledonia Stormwater Utility District regarding stormwater regulations for this site. Compliance with all regulations and requirements, as determined by the Village of Caledonia Stormwater Utility District is required. Stormwater management plans shall be submitted for approval and be in compliance with all Village requirements, as determined by the Village Utility Engineer before permits are issued.
 10. **Engineering Department.** The property owner or designated agent must contact the Village of Caledonia Engineering Department and must comply with all regulations and requirements of the Village of Caledonia Engineering Department.

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11. **Hazardous Materials and Environmental Protection.** All aspects of the submitted Environmental Safety Plans must be followed relative to Process and Requirements, Ground and Stormwater Protection and Prohibited Activities.
 12. **Parking.** Parking at the site must be in compliance with the submitted plans. All parking of undamaged and damaged vehicles associated with IAA Inc. must be conducted in the proposed parking lot as outlined on the submitted site plan. Each conventional vehicle parking space shall be a minimum of nine feet wide and 180 square feet in area exclusive of the space required for ingress and egress. Handicapped spaces shall be provided in accordance with State requirements. All parking spaces shall be clearly marked. The driveway and all parking areas must be maintained in an all-weather, dust-controlled condition. The property owner or operator must by January 3, 2021 and at least annually thereafter, arrange with the Village Fire Department for an inspection of the property and must immediately implement any changes the Fire Department deems appropriate to protect against any threat of fire or other hazard.
 13. **Landscaping.** Landscaping at the site must be in compliance with the previously approved Landscaping Plan received by the Racine County Development Services Office on September 17, 2015.
 14. **Lighting.** To the extent of any outside lighting is installed, all lighting at the site must be installed and maintained in compliance with the previously approved Lighting Plan. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway. In addition, the property owner or operator must, within 30 days of the date of this approval, provide the Village with documentation from a qualified lighting expert or contractor certifying that all current lighting complies with the previously approved Lighting Plan.
 15. **No Accumulation of Refuse and Debris.** Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.
 16. **Performance Standards.** The applicant must comply with the provisions of Article VII, Division 4, Performance Standards of Chapter 20, Zoning, Racine County Code of Ordinances (a copy is attached), as adopted by the Village of Caledonia.
 17. **Property Maintenance Required.** A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade. All drives shall be paved with asphalt. Parking areas shall be paved or have placed upon them compacted recycled asphalt. All drives and parking areas shall be maintained in a dust free condition.

-
18. **Expiration.** This approval will expire six (6) months from the date of the Village's final approval unless substantial work has commenced following such grant. If this office determines that no substantial work has commenced, the project may not occur unless the Village of Caledonia Plan Commission and the Village Board grants a written extension. Written extension requests must be submitted to the Village Planning & Zoning Department thirty (30) days before permit/approval expiration.
 19. **Access.** The applicant must allow any Village or Racine County employee full and unlimited access to the project site at a reasonable time to investigate the project's construction, operation, or maintenance.
 20. **Compliance with Law.** The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 14, 16 and 18 of the Village of Caledonia Code of Ordinances.
 21. **Reimburse Village Costs.** Applicant shall reimburse to the Village all costs incurred by the Village for review of this conditional use including but not limited to engineering, legal and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.
 22. **Amendments to Conditional Use Approval.** No additions, deletions, or changes may be made to the project, site plan, or these conditions without the Village of Caledonia's prior approval. All addition, deletion, and/or change requests must be submitted to the Village of Caledonia in writing. A minor change to the conditions of this permit, as deemed by the Zoning Administrator, may be made at a staff level, if authorized by the Zoning Administrator.
 23. **Previous Conditional Use Requirements.** All applicable conditions from the previous conditional use approvals for Hribar Holdings LLC and subsequent amendments outlined in Resolutions Nos. 2014-29, 2015-82, 2017-20 and 2017-80 shall remain in effect, unless otherwise amended herein.
 24. **Duration of Conditional Use.** This conditional use approval is intended to be temporary and will expire **June 27, 2025**. No sooner than 6 months before this expiration, the applicant must appear before the Plan Commission and Village Board to request additional time to extend the conditional use approval, if this is their desire, or this activity must cease and the conditional use approval is no longer valid unless additional time is granted by the Village of Caledonia Plan Commission and the Village Board. Nothing herein prevents the Village Board from denying an extension of the temporary use beyond the term of eighteen months based on changes in on-site or off-site conditions, including changes in use on-site and changes in the development of the surrounding parcels that would make a continuation of this temporary conditional use incompatible with the new development surrounding it.

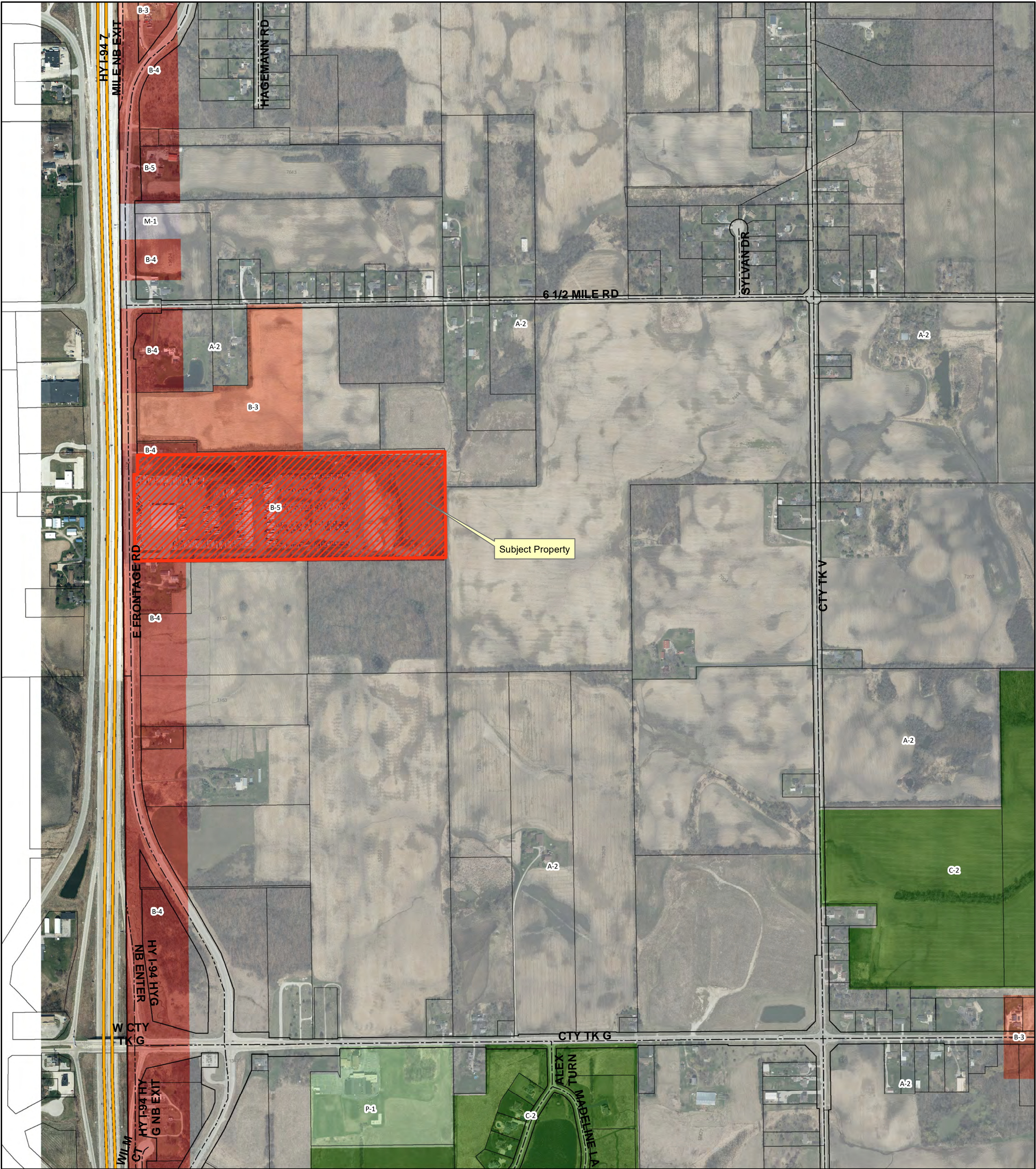
-
25. **Agreement.** Your accepting the conditional use approval/zoning permit and beginning the project means that you have read, understand, and agree to follow all conditions of this approval. Therefore, Hribar Holdings LLC, IAA Inc. and their heirs, successors, and assigns, including tenants, are responsible for full compliance with the above conditions.
26. **Subsequent Owners.** It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.
27. **Road Reservation Areas.** Nothing herein shall prohibit the Village from exercising its rights under the Road Reservation and Easement Agreement, recorded as Document No. 2431997, at the Racine County Register of Deeds (the "Road Reservation"). The Village may exercise its rights under the Road Reservation during the term of this temporary conditional use permit and the property owner and permit owner shall remove any uses under this conditional use permit from the Road Reservation area immediately to allow the dedication of the Road Reservation area. In addition, if the property owner or permit holder seeks to extend this temporary conditional use beyond the term set forth under Condition No. 24, the Village, in its sole discretion, may determine this extension to be land development and require that one and/or both of the areas reserved under the Road Reservation permit should be dedicated for public right-of-way and constructed to Village standards based on site conditions on or off this property, impacts from this conditional use, and/or vehicular traffic caused by this conditional use.
28. **No Vehicle Parts Allowed to Be Sold.** No salvage yard activity such as selling parts of vehicles, associated with the Copart operation, from the site is allowed. All vehicles that are stored at the site must be sold in their entirety as a whole unit not sold in portions or parts.

Respectfully submitted:




Peter Wagner, AICP
Development Director

LOCATION MAP 7213 USH 41



Legend

 7213_USH_41

CONCEPT SUMMARY

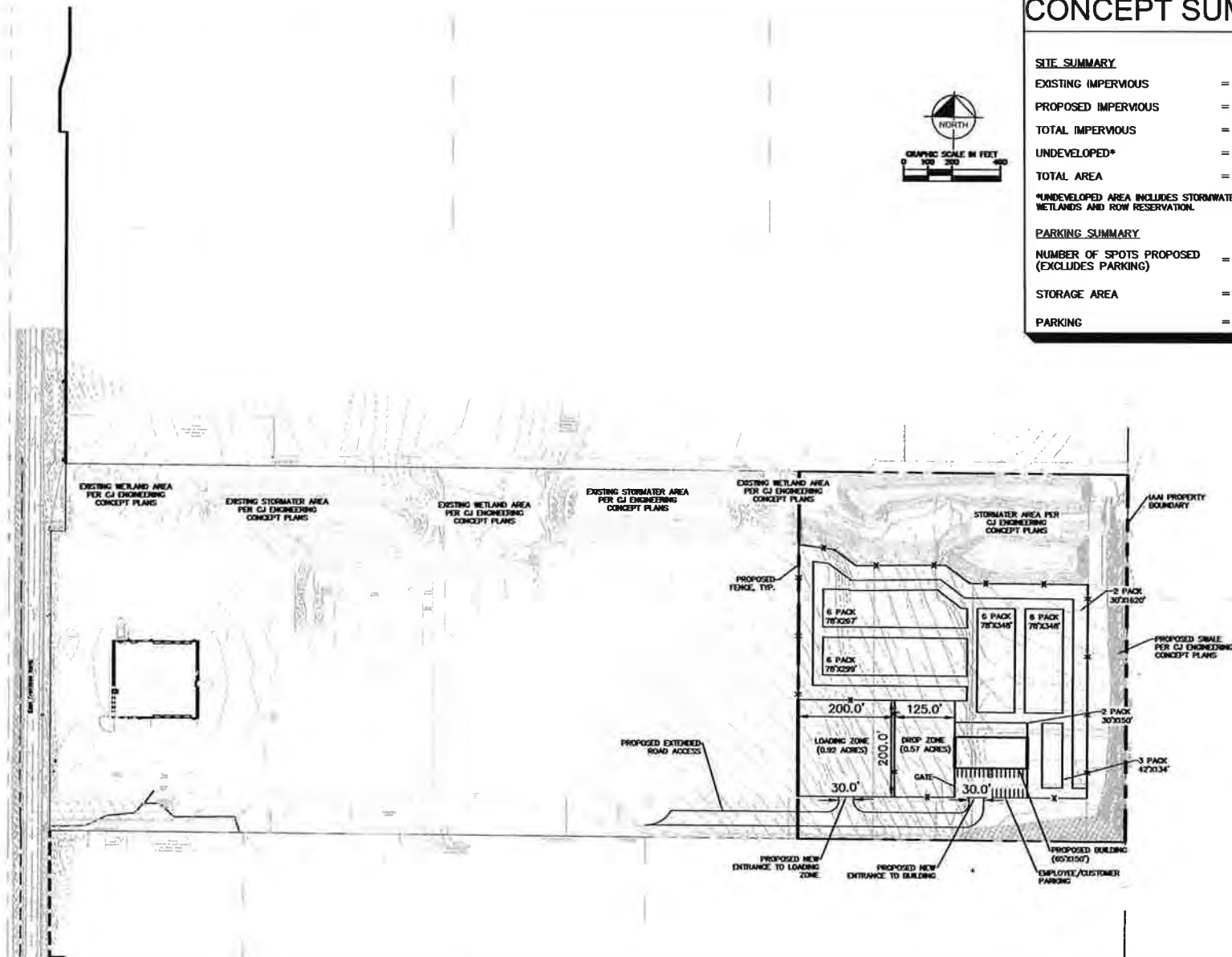
SITE SUMMARY

EXISTING IMPERVIOUS	= 0 ACRES
PROPOSED IMPERVIOUS	= 6.93 ACRES
TOTAL IMPERVIOUS	= 6.93 ACRES
UNDEVELOPED*	= 5.40 ACRES
TOTAL AREA	= 12.33 ACRES

*UNDEVELOPED AREA INCLUDES STORMWATER, EXISTING WETLANDS AND ROW RESERVATION.

PARKING SUMMARY

NUMBER OF SPOTS PROPOSED (EXCLUDES PARKING)	= 720
STORAGE AREA	= 3.15 ACRES
PARKING	= 23



DATE

10/13/2020

DESIGNED BY MDH

CHECKED BY JUK

IAAI CALEDONIA, WI
PARKING LAYOUT EXHIBIT
EAST FRONTAGE ROAD, CALEDONIA, WI, USA

SHEET NUMBER

OV. 1



Kimley-Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
4201 WARFIELD ROAD, SUITE 600, WARRENVILLE, IL 60555
PHONE: 830-487-5550 WWW.KIMLEY-HORN.COM

IAA Operational Statement

I. INTRODUCTION TO APPLICANT

Insurance Auto Auctions, Incorporated (IAA) works in partnership with a variety of sellers, including insurance companies, dealerships, rental car companies and fleet lease companies to facilitate the efficient sale by auction of total loss and theft-recovery vehicles. Vehicles are sold quickly and efficiently, with 70% of its business being conducted via the internet. IAA has positively expanded its business, adding over a hundred facilities over the last 10 years. Currently IAA employs over 1,800 people and has over 160 facilities in the United States and Canada (Impact Auto Auctions).

IAA's auto auction business involves receiving and selling vehicles that have been damaged in accidents or recovered after being stolen. The vehicles are not dismantled; no parts are removed from the vehicles, nor is any maintenance done on the vehicles. The vehicles are sold in the same condition as when they arrive. IAA follows strict regulatory compliance at federal, state and local levels, including regular environmental audits. IAA has best management practices for dealing with the rare spillage or leakage from a vehicle, which is outlined in more detail below.

IAA has been operating at the site since 2020. The Village Board for the Village of Caledonia adopted Resolution No. 2020-122 approving a conditional use permit for IAA with respect to the site on December 7, 2020. A copy of Resolution No. 2020-122 is attached hereto as Exhibit "A".

II. REQUESTED AMENDMENT TO CONDITIONAL USE PERMIT

IAA is requesting that Paragraph 24 of Exhibit A to Resolution No. 2020-122 be amended to allow the duration of the conditional use approval to be extended for an additional thirty-six (36) months.

III. COMPLIANCE WITH CONDITIONAL USE PERMIT CONDITIONS OF A PPROVAL

- A. **Annual Environmental Testing and Report.** IAA is required to have an environmental site assessment conducted on an annual basis with the report being submitted to the Village. IAA most recently submitted an environmental site assessment report to the Village on February 23, 2022.
- B. **Annual Well Report.** IAA is required to conduct groundwater testing at the site on an annual basis and must submit the results of such test to the Village. A water analysis report related to such groundwater testing was prepared on August 24, 2020 is attached as Exhibit "B". A water analysis report related to such groundwater testing was prepared on August 18,

2021 by TG Analytical Laboratories and submitted to the Village (see the attached Exhibit "C").

- C. **Parking/Fire Inspection.** IAA is required to arrange for the Village Fire Department for an inspection of the site. As of the date of this Conditional Use Amendment Application, IAA has scheduled an inspection by the Village Fire Department for the 2022 calendar year.
- D. **Slatting in the Fencing.** IAA is required by Paragraph 7 of Exhibit A to Resolution No. 2020-122 to install and maintain eight-foot green slats for the full length of the existing north cyclone fencing. Such green slatting has been installed and maintained by IAA.

IV. BACKGROUND ON SITE SPECIFIC OPERATIONS

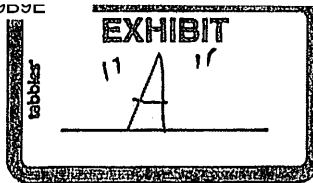
- A. **Traffic to and from Site.** This site operates as an overflow yard. As such, there is no one from the general public coming to the site. The traffic is transports coming to and from the site.
- B. **Layout of the Parking Area.** Automobiles are arranged in five cells within the area. These areas are shown as "6 pack," "2 pack," and "3 pack." This identifies the number of cars parked in each row bumper to fender. No stacking or piling of cars will occur on site at any time. The cars will be parked in such a manner to limit any glare coming from the windshields into neighboring properties.
- C. **Employee Office.** There is an office trailer on site to house inventory records and for workers on site to utilized as temporary shelter from the elements. The only utility to the office is electricity.
- D. **Hours of Operations.** The hours of operation are 7:30 a.m. to 6:00 p.m. Monday through Friday only. There has been and will continue to be no activity on site after 6:00 p.m. unless a security issue arises.
- E. **Fencing.** The site is secured by cyclone fence around the parking area as shown on the site plan. The fencing on the North side of the property has eight-foot green slats installed.
- F. **Environmental Protection Plan.** Given the nature of the use as primarily a holding area for damaged vehicles, and no reclamation, repair, dismantling, or salvage is conducted on the property, spillage, fumes, and odors from the site rarely occur. In rare circumstances, a vehicle that has been damaged may leak while it's being stored, but IAA implements standards and best management practices for addressing these issues, including the following: visual inspection of vehicles, proper handling and storage of vehicles, and training of personnel, preventive maintenance of

stormwater infrastructure, and inspections of storage areas and vehicles upon arrival. All IAA facility employees receive routine training on the management of any such leaks. IAA follows a specified set of standards to ensure high quality operations, which are outlined in the Environmental Best Management Practices Manual containing the standards IAA applies to its operations which were developed by Tetra Tech EM, Inc., a leading international environmental consulting firm. In addition, to address any environmental issues that might arise out of IAA's operations, IAA carries a pollution liability policy issued by Chubb, insurance company which has financial strength ratings of A++ by Standard and Poor's, which policy covers all of its locations throughout the US, Canada and the U.K. (A Certificate evidencing insurance coverage along with a description of the policy is attached as Exhibit "D").

- G. **Lighting.** In order to eliminate any disruption to neighboring property owners, there is no lighting in the inventory area. Any lighting is and shall continue to be down lighting installed on the office trailer and would be full cut-off lights that will not glare onto abutting properties or public roadways.
- H. **Security.** Since the site will not be lit at night, security is through the use of night vision cameras. These cameras are electronically monitored from an offsite station when the property is not being utilized.
- I. **Maintenance of Area.** As with all of our locations, we maintain the property to a high standard and prevent trash and debris from building up on the site.

Further, the area around the location will be maintained throughout the year. IAA occupies only 56% of the total area, leaving 44% as green space to act as a buffer to neighboring properties.

- J. **No Salvage Operations.** IAA has no and will not conduct any salvage operations from the site. All vehicles that we bring to the site will be sold in their entirety. Parts are not sold at our facilities. Vehicles leave in the same condition as they arrived.



RESOLUTION NO. 2020-122

**A RESOLUTION OF THE VILLAGE BOARD OF THE VILLAGE OF CALEDONIA
APPROVING A REQUEST FOR A CONDITIONAL USE PERMIT TO OCCUPY THE
EASTERNMOST PORTION OF THE SITE AT 7213 HWY 41 BY AN ONLINE VEHICLE
AUCTION PLATFORM FOR DAMAGED AND UNDAMGED USED VEHICLES / HTRIBAR
HOLDINGS LLC, OWNER / IAA INC., APPLICANT**

The Village Board for the Village of Caledonia resolves as follows:

WHEREAS, IAA Inc. requested a conditional use permit to occupy the easternmost portion of the existing site for an online vehicle auction platform with outdoor storage of used, undamaged and damaged vehicles located at 7213 Hwy 41. Htribar Holdings LLC, Owner / IAA Inc., Applicant; Parcel ID No.: 104-04-22-07-100-000.

WHEREAS, the Village of Caledonia Plan Commission recommended approval of the request, subject to the conditions attached hereto as **Exhibit A**, and the Village Board considers the proposed use proper for the following reasons and conditions:

1. The proposed use is allowed by underlying zoning through the conditional use process.
2. Based on the existing similar use on the property, the proposed use appears to fit with the uses in the zoning district.
3. The proposed use is being incorporated into an existing sales, service and rental of semi-tractors and trailers business and the proposed use is of a similar nature.
4. The proposed use will occur only in the location illustrated in Exhibit B.

NOW, THEREFORE, BE IT RESOLVED, by the Village Board of the Village of Caledonia that the requested conditional use set forth above, is hereby approved for the same reasons set forth above and subject to the conditions recommended by the Plan Commission and set forth herein.

Adopted by the Village Board of the Village of Caledonia, Racine County, Wisconsin, this 7th day of December, 2020.

VILLAGE OF CALEDONIA

By: James R. Dobbs
James R. Dobbs
Village President

Attest: Karie Pope
Karie Pope
Village Clerk

EXHIBIT A: IAA Inc. Conditions of Approval

1. **Occupancy Permit.** The applicant must obtain an occupancy permit card from the Village Building Inspection Department and associated fees to occupy the far eastern portion of the existing site with an online vehicle auction platform for used undamaged and damaged vehicles. The occupancy permit must be displayed in a prominent location at the project site, and a copy of these conditions must be kept at the project site at all times until the project has been completed.
2. **Compliance.** Failure to comply with the terms and conditions stated herein could result in the issuance of citation(s) and/or revocation of this permit.
3. **Binding Effect.** These conditions bind and are applicable to the Property Owner, Applicant, and any other users of the Property Owner with respect to the uses on the Property.
4. **Plans.** The proposed operation shall be located, constructed, and utilized in accordance with the plans and documents received by the Village Planning & Zoning Department on November 2, 2020.
5. **Hours of Operation.** The hours of operation of the proposed Copart operation must be from 7:30 a.m. – 6:00 p.m. Monday through Friday only.
6. **Annual Well Report.** Applicant must conduct groundwater testing at the property by September 1, 2021, and at least annually thereafter, and must submit the findings of each such test to the Village. If any well test indicates that there are any sources of contamination attributable to the operation of the applicant, action must be taken by the property owner and/or Applicant to remedy this contamination. In addition, the Village may impose such additional conditions on the operation as are warranted to address the contamination or may terminate the use if no such conditions can adequately address the contamination. If the owner or operator fails to provide the Village with an annual groundwater testing report, the Village may undertake such testing and charge back the cost of such testing as a special charge against the property.
7. **Slatting in the Fencing.** Eight-foot green slats must be installed and maintained for the full length of the existing north cyclone fence.
8. **Annual Environmental Testing and Report.** The property owner and/or the Applicant must have an annual environmental site assessment (Phase 1) conducted for the land utilized by the Applicant and associated report prepared. A copy of this report must be submitted to the Village on an annual basis. If the annual environmental site assessment (Phase 1) indicates that there are any sources of contamination attributable to the operation of the applicant, action must be taken by the property owner and/or the Applicant to remedy this contamination. In addition, the Village may impose such additional conditions on the operation as

are warranted to address the contamination or may terminate the use if no such conditions can adequately address the contamination. If the owner or operator fails to provide the Village with an annual environmental site assessment (Phase 1) report, the Village may commission the assessment and charge back the cost of such testing as a special charge against the property.

9. **Stormwater.** The property owner or designated agent must contact the Village of Caledonia Stormwater Utility District regarding stormwater regulations for this site. Compliance with all regulations and requirements, as determined by the Village of Caledonia Stormwater Utility District is required. Stormwater management plans shall be submitted for approval and be in compliance with all Village requirements, as determined by the Village Utility Engineer before permits are issued.
10. **Engineering Department.** The property owner or designated agent must contact the Village of Caledonia Engineering Department and must comply with all regulations and requirements of the Village of Caledonia Engineering Department.
11. **Hazardous Materials and Environmental Protection.** All aspects of the submitted Environmental Safety Plans must be followed relative to Process and Requirements, Ground and Stormwater Protection and Prohibited Activities.
12. **Parking.** Parking at the site must be in compliance with the submitted plans. All parking of undamaged and damaged vehicles associated with IAA Inc. must be conducted in the proposed parking lot as outlined on the submitted site plan. Each conventional vehicle parking space shall be a minimum of nine feet wide and 180 square feet in area exclusive of the space required for ingress and egress. Handicapped spaces shall be provided in accordance with State requirements. All parking spaces shall be clearly marked. The driveway and all parking areas must be maintained in an all-weather, dust-controlled condition. The property owner or operator must by January 3, 2021 and at least annually thereafter, arrange with the Village Fire Department for an inspection of the property and must immediately implement any changes the Fire Department deems appropriate to protect against any threat of fire or other hazard.
13. **Landscaping.** Landscaping at the site must be in compliance with the previously approved Landscaping Plan received by the Racine County Development Services Office on September 17, 2015.
14. **Lighting.** To the extent of any outside lighting is installed, all lighting at the site must be installed and maintained in compliance with the previously approved Lighting Plan. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway. In addition, the property owner or operator must, within 30 days of the date of this approval, provide the Village with documentation from a qualified lighting expert or contractor certifying that all current lighting complies with the previously approved Lighting Plan.

15. **No Accumulation of Refuse and Debris.** Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.
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SUBURBAN LABORATORIES, Inc.



Wisconsin Lab
400 Bay View Rd. Ste. I, Mukwonago, WI 53149
Tel. (262) 539-2316
www.suburbanlabs.com

EXHIBIT
"B"

urbanlabs.com
Geneva, Illinois 60134
Tel. (708) 544-3260 • Toll Free (800) 783-LABS
Fax (708) 544-8587

August 24, 2020

Jessica Lenz
Anhalt Well Drilling & Pumps
PO Box 55
N534 Hwy 67
Ashippun, WI 53003

Workorder 2008D97

TEL: (920) 474-3777
FAX:
RE: 7213 HWY 41

Dear Jessica Lenz:

Suburban Laboratories, Inc. received 1 sample(s) on 8/17/2020 for the analyses presented in the following report.

All data for the associated quality control (QC) met DNR, method, or internal laboratory specifications except where noted in the case narrative. If you are comparing these results to external QC specifications or compliance limits and have any questions, please contact us.

This final report of laboratory analysis consists of this cover letter, case narrative, analytical report, dates report, and any accompanying documentation including, but not limited to, chain of custody records, raw data, and letters of explanation or reliance. This report may not be reproduced, except in full, without the prior written approval of Suburban Laboratories, Inc.

If you have any questions regarding these test results, please call me at (262) 539-2316.

Sincerely,

Patrick Liberg

Project Manager
(262) 419-0481
patl@suburbanlabs.com



Suburban Laboratories

Case Narrative

Client: Anhalt Well Drilling & Pumps

Project: 7213 HWY 41

WorkOrder: 2008D97

General Comments:

- All results reported in wet weight unless otherwise indicated. (dry = Dry Weight)
- Sample results relate only to the analytes of interest tested and to sample as received by the laboratory.
- Environmental compliance sample results meet the requirements of 35 IAC Part 186 unless otherwise indicated.
- Waste water analysis follows the rules set forth in 40 CFR part 136 except where otherwise noted.
- Accreditation by the Wisconsin Department of Natural Resources is not an endorsement or a guarantee of the validity of data generated.
- For more information about the laboratories' scope of accreditation, please contact us at (708) 544-3260 or the DNR at (608) 267-7633.
- All water analyses that are required to be performed in the field (e.g., pH, residual chlorine, sulfite, temperature, etc.) but are analyzed in the lab are identified as "in lab" and are considered past holding time. Following industry practices these results do not contain an "H" flag but are qualified as being analyzed in the lab.
- LOD and LOQ are elevated in cases where the dilution factor is greater than 1.
- Except for coliform (DATCP Certified #105-331), all analysis performed in Geneva Lab (DNR Certified #399089350).

Abbreviations:

- LOD: The minimum concentration of a substance (an analyte) that can be measured and reported with 99% confidence that the analyte concentration is greater than zero and is determined from analysis of a sample in a given matrix containing the analyte.
- LOQ: The minimum levels, concentrations, or quantities of a target variable (e.g., target analyte) that can be reported with a specified degree of confidence.
- MCL: Maximum Contaminant Level
- J: The analyte was positively identified above our LOD and is considered detectable and usable; however, the associated numerical value is the approximate concentration of the analyte in the sample.
- ATC: Automatic Temperature Correction. - TNTC: Too Numerous To Count
- TIC: Tentatively Identified Compound (GCMS library search identification, concentration estimated to nearest internal standard).
- SS (Surrogate Standard): Quality control compound added to the sample by the lab.

Method References:

For a complete list of method references please contact us.

- E: USEPA Reference methods
- SW: USEPA, Test Methods for Evaluating Solid Waste (SW-846)
- M: Standard Methods for the Examination of Water and Wastewater
- USP: Latest version of United States Pharmacopeia

Workorder Specific Comments:



Suburban Laboratories

Laboratory Results

Client ID: Anhalt Well Drilling & Pumps
Project Name: 7213 HWY 41

Report Date: August 24, 2020
Workorder: 2008D97

Client Sample ID/Monitoring Point: 7213 HWY 41

Matrix: DRINKING WATER

Lab ID: 2008D97-001

Date Received: 08/17/2020 1:41 PM

Collection Date: 08/16/2020 2:00 PM

Parameter	Result	MCL	LOD	LOQ	Qual.	Units	Dilution Factor	Date Analyzed	Batch ID
METALS BY ICPMS			Method: EPA-200.8-Rev 5.4, 1994				Analyst: MTS		
Arsenic	ND	10.0	0.425	1.417		µg/L	1	08/20/2020 2:27 PM	68005
TOTAL NITRATES (NITRATE+NITRITE)			Method: EPA-353.2-Rev 2.0, August 1993				Analyst: EM		
Total Nitrates (Nitrate+Nitrite)	0.12	10	0.089	0.298	JK	mg/L	1	08/19/2020 1:49 PM	R123376
COLIFORM, PRESENCE-ABSENCE, PRIVATE SAMPLE			Method: SM-9223B-PA-Rev 18Ed, 1992				Analyst: DM		
E. coli	Safe					CFU/100ml	1	08/18/2020 3:10 PM	67954
Total Coliform	Safe					CFU/100ml	1	08/18/2020 3:10 PM	67954

Patrick Liberg
 Project Manager
 (262) 419-0481
 patl@suburbanlabs.com



Suburban Laboratories

Qualifier Definitions

WO#: 2008D97

Date: 8/24/2020

Qualifiers:

*x	Value exceeds Maximum Contaminant Level
B	Analyte detected in the associated Method Blank
C	Value is below Minimum Concentration Limit
c	Analyte not in SLI scope of accreditation
E	Estimated, detected above quantitation range
G	Refer to case narrative page for specific comments
H	Holding times for preparation or analysis exceeded
J	Analyte detected below quantitation limit (QL)
K	Results can be used for NR 812 compliance only
N	Tentatively identified compounds
ND	Not detected at the limit of detection (MDL)
P	Present
Q	Accreditation is not available from Wisconsin
R	RPD outside accepted recovery limits
S	Spike Recovery outside accepted recovery limits
T	Analyte detected in sample trip blank
V	EPA requires field analysis/filtration. Lab analysis would be considered past hold time.

SUBURBAN LABORATORIES of Southeast WI LLC

400 Bay View Rd Ste. 1 • Mukwonago, WI 53149
Tel: (414) 348-0370
www.suburbanlabs.com
DATCP Certified #105-331

BACTERIOLOGICAL WATER ANALYSIS

Date of Collection: 8/16/20

Time of Collection: 2:00 pm

Collected By: J. Anhalt

Lab ID Number: 2008D97

Date Received: AUG 17 2020

Date Reported: AUG 18 2020

AUG 18 2020

OWNER: <u>Amstutz & Ruler</u>	PROPERTY LOCATION: <u>7213 Hwy 41</u>	
WELL ADDRESS: <u>7213 Hwy 41</u>	TOWN/CITY: <u>CRIPARI, WI</u>	COUNTY: <u>PELASEE</u>

MAIL RESULTS TO:	
ANHALT WELLS INC. P.O. BOX 65 ASHPPLIN, WI 53003	

REASONS FOR TEST (CHECK ONE)						
<input checked="" type="checkbox"/> ANNUAL TEST	<input type="checkbox"/> FOLLOW UP	<input type="checkbox"/> TASTE/ODOR	<input type="checkbox"/> PREV. UNSAFE	<input type="checkbox"/> MUNICIPAL REQUIRED	<input type="checkbox"/> REAL ESTATE	<input type="checkbox"/> OTHER REASON

SAMPLE LOCATION (CHECK ONE)				
<input type="checkbox"/> BATHROOM TAP	<input type="checkbox"/> KITCHEN TAP	<input type="checkbox"/> PRESSURE TANK	<input checked="" type="checkbox"/> OUTSIDE TAP	<input type="checkbox"/> OTHER

COMMENTS: None

WELL CONSTRUCTION INFORMATION (CHECK ONE)				
<input type="checkbox"/> DRILLED	<input type="checkbox"/> JETTED	<input type="checkbox"/> DRIVEN PT.	<input type="checkbox"/> DUG	<input type="checkbox"/> OTHER

TESTS REQUESTED:	<input checked="" type="checkbox"/> COLIFORM	<input checked="" type="checkbox"/> NITRATE	<input type="checkbox"/> MOLYBDENUM
	<input checked="" type="checkbox"/> ARSENIC	<input type="checkbox"/> LEAD	

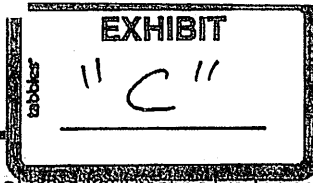
LABORATORY RESULTS (LAB USE ONLY)				
<input checked="" type="checkbox"/> SAFE	<input type="checkbox"/> UNSAFE	<input type="checkbox"/> E. COLI	<input type="checkbox"/> INVALID	<input type="checkbox"/> OTHER

* COLIFORM ABSENT ** COLIFORM PRESENT (COUNT)

ANALYSIS PERFORMED BY JEPA/WIDNR - APPROVED METHODS (COLIFORM SM 9223 COLISURE)
FORM PREPARED EXCLUSIVELY FOR ANHALT WELLS INC. LICENSE #105-331

Corporate Headquarters: 1950 S. Batavia Ave. Ste. 150, Geneva, IL 60134 • Tel: (630) 743-5227 • Fax: (708) 544-8687

Wisconsin DNR Certified #398099350 • DATCP Certified #105-10122



Jeplawy, Joann

From: Mark A. Hribar <MaHribar@AmstonTrailer.com>
Sent: Wednesday, October 20, 2021 3:40 PM
To: Jeplawy, Joann
Cc: Jim Anzia
Subject: well sample
Attachments: 7213-2021 sample.jpg

⚠ CAUTION: This email originated from an external sender. Verify the source before opening links or attachments. **⚠**

Joann,

The annual well water sample result is attached and we have submitted it to the Village of Caledonia as well.

Mark A. Hribar
Fleet Maintenance

AMSTON

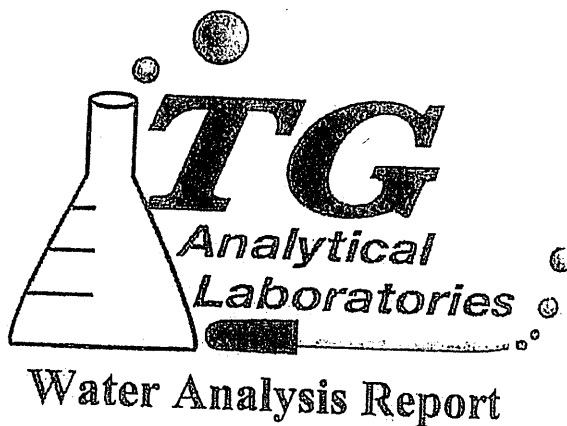
TRAILER SALES

7213 Hwy 41
Caledonia, WI 53108
Office: 262-835-4700 x115

Visit us at: <http://amstontrailer.com>

NOTICE: This communication may contain confidential, proprietary or legally privileged information. It is intended only for the person(s) to whom it is addressed. If you are not an intended recipient, you may not use, read, retransmit, disseminate or take any action in reliance upon it. Please notify the sender that you have received it in error and immediately delete the entire communication, including any attachments. Thank you. Amston Supply Inc.

TG Analytical Laboratories
N1022 Quality Drive
Greenville, WI 54942



Anhalt Wells
N534 WI-67
Ashippun, WI 53003

Reason/Sample ID:		Date of Sample Collection:	Aug 16, 2021
Owner/Facility:	AMSTAN TRAILER	Time of Sample Collection:	9:30 AM
Address:	7213 HWY 41	Date Received:	Aug 17, 2021
City, State, Zip:	CALEDONIA, WI 53108	Report Date:	Aug 18, 2021
Reason for Test:	Annual	Collected By:	T ANHALT
Lab Sample ID:	20216404	Sample Location:	Outside Faucet

Test	Result	Interpretation	LOD/LOQ (cfu)	Method	Test Date	Analyst
Coliform	Absent	SAFE	N/A	SM9223B	Aug 18, 2021	LAR
E. Coli	Absent					

Coliform bacteria are bacteria that are naturally present in the environment and used as an indicator that other, potentially harmful bacteria may be present. E. coli are bacteria whose presence indicates that water may be contaminated by human or animal wastes. Microbes in these wastes can cause short term effects, such as diarrhea, cramps, nausea, headaches, or other symptoms.

Test	Result	Interpretation	LOD/LOQ (mg/L)	Method	Test Date	Analyst
Nitrate	ND	SAFE	0.08/0.267	EPA300.0	Aug 17, 2021	JG
MCL: 10 mg/L		Data Qualifier: A		Dilution Factor: 1		

Infants below the age of six months who drink water containing nitrate in excess of the MCL could become seriously ill and, if untreated, may die. Symptoms include shortness of breath and baby blue syndrome. Sources of nitrate include runoff from fertilizer, leaking from septic tanks, sewage, and erosion of natural deposits.

Test	Result	Interpretation	LOD/LOQ (ug/L)	Method	Test Date	Analyst
Arsenic	ND	SAFE	0.74/2.46	SM3113B	Aug 18, 2021	LAR
MCL: 10 ug/L		Data Qualifier: A		Dilution Factor: 1		

Consumption of water with arsenic levels exceeding the MCL may cause skin damage, problems with the circulatory system, and an increased risk of cancer. Some of the main sources of arsenic include erosion of natural deposits, runoff from orchards, and runoff from glass & electronic production waste water.



CHUBB®

**Premises Pollution Liability
Portfolio Insurance Policy**

**Illinois Union Insurance Company
Chicago, Illinois**

Declarations

This Policy is issued by the stock insurance company identified above (hereinafter *the Insurer*).

THIS POLICY PROVIDES LIABILITY COVERAGE ON A CLAIMS-MADE AND REPORTED BASIS, WHICH COVERS ONLY CLAIMS FIRST MADE AGAINST THE INSURED DURING THE POLICY PERIOD AND REPORTED TO THE INSURER, IN WRITING, DURING THE POLICY PERIOD OR WITHIN THIRTY DAYS THEREAFTER, UNLESS AN EXTENDED REPORTING PERIOD APPLIES. THIS POLICY ALSO PROVIDES FIRST-PARTY COVERAGES ON A DISCOVERED AND REPORTED BASIS, WHICH COVERS ONLY POLLUTION CONDITIONS AND INDOOR ENVIRONMENTAL CONDITIONS, AS APPLICABLE, FIRST DISCOVERED DURING THE POLICY PERIOD AND FOR WHICH A FIRST-PARTY CLAIM IS REPORTED TO THE INSURER, IN WRITING, DURING THE POLICY PERIOD OR WITHIN THIRTY DAYS THEREAFTER. FINALLY, THIS POLICY PROVIDES COVERAGE FOR EMERGENCY RESPONSE COSTS THAT IS LIMITED BY MORE SPECIFIC REPORTING CRITERIA AND COVERS ONLY EMERGENCY RESPONSE COSTS INCURRED, AND REPORTED TO THE INSURER, IN WRITING, WITHIN THE SPECIFIC TIMING REQUIREMENTS IDENTIFIED IN THIS POLICY. PLEASE READ THIS POLICY CAREFULLY. SOME OF THE PROVISIONS CONTAINED IN THIS POLICY RESTRICT COVERAGE, SPECIFY WHAT IS AND IS NOT COVERED AND DESIGNATE YOUR RIGHTS AND DUTIES. LEGAL DEFENSE EXPENSES ARE SUBJECT TO AND SHALL ERODE THE LIMITS OF LIABILITY AND ANY APPLICABLE SELF-INSURED RETENTION.

THE DECLARATIONS, TOGETHER WITH THE COMPLETED AND SIGNED APPLICATION, THIS POLICY, AND ANY ENDORSEMENTS OR SCHEDULES ATTACHED HERETO, CONSTITUTE THE INSURANCE POLICY.

Policy No.: PPL G71537092 001	Renewal of: NEW
Item 1.	First Named Insured: IAA, Inc.
Address:	Two Westbrook Corporate Center Westchester, Illinois 60154

Coverages Purchased: Coverage A. - ☒ Coverage B. - ☒ Coverage C. - ☒
("X" Indicates Coverage Purchased)

Item 2.	Policy Period: (Local Time of the Address Shown in Item 1., above.)	Policy Inception Date: 06/28/2019 12:01 A.M.	Policy Expiration Date: 06/28/2023 12:01 A.M.
Item 3.	Limits of Liability: In U.S. Dollars	a. \$10,000,000 Per Pollution Condition or Indoor Environmental Condition Limit of Liability b. \$25,000,000 Total Policy and Program Aggregate Limit of Liability for all Pollution Conditions and Indoor Environmental Conditions	
Item 4.	Self-Insured Retention / Deductible Period: In U.S. Dollars	a. \$250,000 Per Pollution Condition or Indoor Environmental Condition b. 3 Days Per Pollution Condition or Indoor Environmental Condition	

Mike Bannon

From: Kern, Matthew [Matthew.Kern@marsh.com]
Sent: Friday, October 30, 2020 11:33 AM
To: Mike Bannon
Cc: 'Hoopis, Rich'; Sterrett, Pamela L
Subject: RE: IAA Caledonia
Attachments: IAA Dec. Page - PLL.pdf

Hi Mike. Sorry for the delay. Below is a description of the policy. Page 1 of the dec. page is attached. The policy has blanket additional insured when required by written contract so if the village requires additional insured status under the policy in their contract they have it by virtue of this provision (see Additional Insured sections 3-4 below) . We can also specifically schedule them if needed. I'll give you a call to discuss:

The following is a summary of the PLL Program:

- Carrier: Chubb (writing on Illinois Union Insurance Company)
- Limits: \$10,000,000 (each incident) / \$25,000,000 (aggregate)
- Self-Insured Retention:
 - \$250,000 (each incident) / \$1,000,000 (aggregate) / \$50,000 (maintenance)
 - 3-Day Waiting Period for Business Interruption and Extra Expense
- Term: 4-Year (6/28/2019 to 6/28/2023)
- Retroactive Dates:
 - 6/28/2019 for Covered Operations and Non-Owned Disposal Sites
 - No Retroactive Dates apply to any other coverage unless applied by the carrier for locations added after policy inception
- Insured Schedule:
 - First Named Insured: IAA, Inc., Two Westbrook Corporate Center, Westchester, Illinois 60154
 - Additional Named Insureds:
 1. IAA Acquisition Corp.
 2. IAA Acquisition Corp. dba Valley Auto Pool
 3. IAA Acquisition Corp. dba Wisconsin Auto Auction
 4. IAA Services, Inc.
 5. Insurance Auto Auctions Corp.
 6. Insurance Auto Auctions Corp. dba Auto Disposal Company of Alabama
 7. Insurance Auto Auctions of Georgia, LLC
 8. Insurance Auto Auctions Tennessee LLC

9. Insurance Auto Auctions, Inc.
10. Insurance Auto Auctions, Inc. dba LA Auto Salvage
11. Insurance Auto Auctions, Inc. dba Los Angeles Auto Sales
12. ADS Ashland, LLC
13. ADS Priority Transport, Ltd.
14. Auto Disposal of Bowling Green, Inc.
15. Auto Disposal of Chattanooga, Inc.
16. Auto Disposal of Memphis, Inc.
17. Auto Disposal of Nashville, Inc.
18. Auto Disposal of Paducah, Inc.
19. Auto Disposal Systems, Inc.
20. Auto Disposal Systems, Inc., dba Insurance Auto Auctions
21. Automotive Recovery Services, Inc. dba Insurance Auto Auctions
22. Axle Holdings Acquisition Company, LLC
23. Axle Holdings Acquisition Company, LLC dba Insurance Auto Auctions
24. Axle Holdings II, LLC
25. Axle Holdings, Inc.
26. Salvage Disposal Company of Georgia
27. Salvage Disposal Company of Georgia dba Insurance Auto Auctions
28. Salvage Disposal Company of Georgia dba Insurance Auto Auctions of Knoxville

29. All corporations, limited partnerships, limited liability partnerships, limited liability companies or other business entities or associations, other than joint ventures and general partnerships, as now or may hereafter exist during the "policy period", in which the "first named insured", itself, or through a direct chain of underlying majority-owned operating subsidiary corporations, limited partnerships, limited liability partnerships, or limited liability companies, maintains at least a fifty percent (50%) ownership interest (hereinafter Majority-Owned Affiliates); and

30. All joint ventures or general partnerships, as now or may hereafter exist during the "policy period", to which the "first named insured", itself, or one of its Majority-Owned Affiliates, is a party and maintains at least a fifty percent (50%) ownership interest, but only to the extent of the "first named insured's" or Majority-Owned Affiliates' legal responsibility for the liabilities of such joint venture or general partnership.

- Additional Insureds:
 1. All corporations, limited partnerships, limited liability partnerships, limited liability companies or other business entities or associations, other than joint ventures and general partnerships, as now or may hereinafter exist during the "policy period", in which a "named insured" maintains an ownership interest; and

2. All joint ventures or general partnerships, as now or may hereafter exist during the "policy period", to which a "named insured" is a party, but solely to the extent of the "named insured's" legal responsibility for the vicarious liability of such joint venture or general partnership.

3. All counterparties of a "named insured", or other third-party persons or entities, where such status as an "additional insured" is required by a written contract that has been executed between the "named insured" and such counterparty prior to the relevant "claim" or "first-party claim" to which this insurance applies.

4. All counterparties of a "named insured", or other third-party persons or entities, where such status as an "additional insured" is required by a written contract that has been executed between the "named insured" and such counterparty prior to the relevant "claim" or "first-party claim" to which this insurance applies.

- Coverage:
 - First-Party Onsite Cleanup Costs
 - Third-Party Offsite Cleanup Costs
 - Third-Party Onsite/Offsite Bodily Injury and Property Damage (including Natural Resources Damage)
 - Blanket Non-Owned Disposal Sites Coverage
 - First and Third-Party Transportation Coverage
 - First-Party Business Interruption and Extra Expense
 - Contingent Business Interruption and Extra Expense (\$10MM / \$10MM Sublimits Apply)
 - Asbestos Lead-Based Paint (Cleanup Costs in Soil / Groundwater, Third-Party Bodily Injury and Property Damage and Cleanup in Structures if Accidentally Disturbed)
 - Blanket Underground Storage Tank Endorsement: Any "underground storage tank" at a "covered location" that is used solely for the purpose of holding water or wastewater, unless specifically excluded under separate endorsement to this policy
 - Blanket Divested Properties Endorsement - All locations divested by a "Named Insured" between 06/28/2019 and policy expiration.

► Special Conditions 120-Day Automatic Extended Reporting Period

Known Conditions Exclusion Amendatory Endorsement (Giveback for Disclosed Conditions and "Pollution conditions" or "indoor environmental conditions" that have been reported to the "responsible person" as not being actionable pursuant to "environmental law" in any Phase I or Phase II Environmental Site Assessment report (or its functional equivalent) specifically prepared for a "named insured" by a qualified environmental consultant.

90-Day Notice of Cancellation for all reasons other than non-payment of premium

Disclosed Documents Endorsement (all Environmental Reports sent to the Carrier are deemed Disclosed Documents and scheduled by endorsement)

Insured Contract Endorsement:

1. All written contracts concerning "covered operations" or "covered locations where a "named insured" or "foreign entity" agreed to indemnify a counterparty for environmental

costs and liabilities arising from the "named insured's" or "foreign entity's" "covered operations" or operations or control over a "covered location", including all leases for "covered locations"

2. Notwithstanding the foregoing, "environmental indemnity obligations" shall not include any contract or agreement in which a "named insured" or "foreign entity" agrees to indemnify any such third-party for "pollution conditions" or "indoor environmental conditions" that: 1) first commence, in whole or in part; and 2) are reported to a "named insured" or "foreign entity", prior to the date of execution of such contract or agreement, unless such conditions are specifically identified or described, or identified or described in documents listed, on the Schedule of Disclosed Conditions Endorsement attached to this Policy, if any.

Automatic Acquisition Endorsement – Fixed Rate for Acquired Properties

Choice of Counsel Endorsement

Global Insurance Program

Pre-Approved Consultants Endorsement

From: Mike Bannon <mike@dkblaw.com>
Sent: Friday, October 30, 2020 11:09 AM
To: Kern, Matthew <Matthew.Kern@marsh.com>
Cc: 'Hoopis, Rich' <RHoopis@IAA.com>
Subject: IAA Caledonia
Importance: High

Matthew:

I really need today info on the environmental policy maintained by IAA. Dec sheet? Description of the policy? Can we add the village as an additional named insured?

My filing deadline is NOW.

Thanks, Mike

Micheal D. Bannon
DeMark, Kolbe & Brodek, S.C.
7418 Washington Avenue
Racine, WI 53406
Phone: 262-886-9720
Fax: 262-886-3074
mike@dkblaw.com

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Legal Description:

Parcel I:

That part of the Southwest 1/4 of Section 7, Township 4 North, Range 22 East, described as follows: Begin at a point 50 rods North of the Southwest corner of the Southwest 1/4 of said Section 7; run thence East 140 rods more or less to the North and South 1/4 line of said Section 7; thence North 46 rods; thence West to the West line of said Section; thence South 46 rods to the place of beginning. EXCEPTING THEREFROM the East 10 acres of the above described parcel and Excepting land conveyed to Racine County for highway purposes by Deed #409956. ALSO EXCEPTING THEREFROM land conveyed by an Award of Damages recorded on March 11, 2011 under Document No. 2279164. Said land being in the Village of Caledonia, Racine County, Wisconsin.

NOTE: Address: Frontage Road

Tax Key No.: 104-04-22-07-100-000

PARCEL II:

The East 10 acres of the following: That part of the Southwest Fractional 1/4 of Section 7, Township 4 North, Range 22 East, bounded as follows: Begin at a point 50 rods North of the Southwest corner of the Southwest Fractional 1/4 of said Section; thence East 140 rods more or less to the East line of said 1/4 Section; thence North on said East line 46 rods; thence West 140 rods, more or less to the West line of said Southwest 1/4; thence South on said West line 46 rods to the place of beginning. Said land being in the Village of Caledonia, Racine County, Wisconsin.

NOTE: Address: Frontage Road

Tax Key No.: 104-04-22-07-030-000



Meeting Date: May 23, 2022

Item No. **6a**

PLAN COMMISSION REPORT

Proposal: Cooperative Boundary Agreement Review

Description: Review a request to approve a building, site, and operation plan for the construction of a ±30,000 warehouse building located on a parcel located directly south of 4221 Courtney Road in the Village of Raymond.

Applicant(s): Rob Sterr

Address(es): Courtney Road

Suggested Motion: That the Plan Commission recommends to the Village Board that the building, site, and operation plan for the construction of a ±30,000 warehouse building located on a parcel located directly south of 4221 Courtney Road (Parcel ID No. 168-04-21-36-001-240) in the Village of Raymond be approved for the following reasons:

1. The Village of Raymond Plan Commission and Village Board granted approval of the proposed building, site, and operation plan.
2. The proposed use meets the intent of the Village of Caledonia development standards and find that the proposed use is a spectacular use for this parcel without connecting to sewer and water in accordance with the Cooperative Boundary Agreement between the Villages of Caledonia and Raymond.
3. Any change of use will require review by the Village of Raymond and the Village of Caledonia.
4. The applicant agrees to screen all building mechanicals from the public right-of-way.

Owner(s): Garni LLC

Tax Key(s): 168-04-21-36-001-240

Lot Size(s): 3.649 acres

Current Zoning
District(s): M-2, General Industrial District

Overlay District(s): N/A

Wetlands: ☐ Yes ☒ No Floodplain: ☐ Yes ☒ No

Comprehensive
Plan: Industrial and Business Park

Background: The applicant is requesting approval of a ±30,000 square-foot warehouse building located on the parcel directly south of 4221 Courtney Road. The purpose of this building is to be used as a parts and supplies warehouse for the power coat industry. Hours of operation for the business will be 7am to 6pm Monday through Friday. The Village of Raymond approved this proposal in April of 2022.

The intent of the Boundary Agreement is to ensure that development occurring along the Interstate has a consistent and high-quality appearance. The following is a review of the proposed development as to relates to the design standards included in Exhibit K of the Boundary Agreement. It is the Plan Commission's discretion to determine whether the proposed development meets the standards and should be considered a "spectacular" development.

Building Design

The building exterior will be primarily painted precast concrete panels with window and metal accents. On the west and north elevations of the building, there will be clerestory windows to allow natural light into the building. On the southeast corner of the building, glass windows and metal sun canopies will be installed creating a focal point for the entrance of the building. To break up the long expanses of wall, the applicant intends to install two, tall window banks on the east elevation and paint the building to create a visual building design of a top, middle, and bottom. The proposed building applies four-sided architecture by utilizing the same materials and design on all sides of the building. The building will have two dock doors and one tall overhead garage door on the west elevation of the building. These amenities cannot be seen from the road and will be screened by evergreens on the north to minimize the visual impact from the road. Building drawings do not illustrate any rooftop mechanicals. All mechanicals will need to be screened from the road which was also a Village of Raymond requirement. Building height and setbacks comply with zoning district requirements.

Landscaping

The proposed landscape plan will install twelve deciduous trees along the right-of-way that will be no more than 50 feet apart. This complies with streetscape landscaping requirements. Landscape standards also include a secondary landscape layer located behind the tree line to help screen views of parking areas. No secondary landscape layer is being proposed. The intent of having the secondary layer is to help shield vehicle lights from glaring on the abutting right-of-way. This development is not proposing parking stalls facing the public road. In addition, there is a ditch along the frontage which makes it more difficult to install a secondary vegetative layer. Based on the surrounding developments along Courtney Road, the proposed street landscaping is consistent with surrounding landscaping in the business park. In addition to the street landscaping, the applicant intends to install shrubs along the buildings edge along with three trees and install a cluster of trees on the corner of the proposed stormwater pond. The Plan Commission has the discretion to require a secondary landscape layer.

Parking

The proposed development will consist of 27 parking stalls, three which are ADA compliant. The number of proposed parking stalls and stall dimensions comply with parking stall requirements.

Dumpster

There will be two dumpsters located on the west side of the building. The dumpster enclosure will consist of chain link fencing with privacy slates. For proposed developments within Caledonia, staff recommends that similar materials as the building be used for the enclosure or privacy fencing that matches the color palette of the building. Staff believes the use of chain link fences is not a durable enclosure material and privacy slats don't completely screen the dumpsters from view. The proposed location of the enclosure behind the building completely screens it from the public right-of-way. There is no regulation prohibiting the use of chain-link fencing for dumpster enclosures.

Lighting

The proposed lighting plan complies with lighting requirements as identified in Exhibit K of the Boundary Agreement. No more than 0.2 foot-candles of light go beyond any lot line. The proposed lighting fixtures on the building and parking-lot area will be cutoff LEDs and will be down-cast. Pole heights do not exceed 20 feet in compliance with Exhibit K.

Signage

No signage is proposed at this time. Any future signage will be required to comply with the Village of Caledonia sign ordinance and must be approved by Caledonia staff prior to the applicant receiving a sign permit from the Village of Raymond.

Grading and stormwater management as well as fire protection requirements are reviewed and approved by the Village of Raymond.

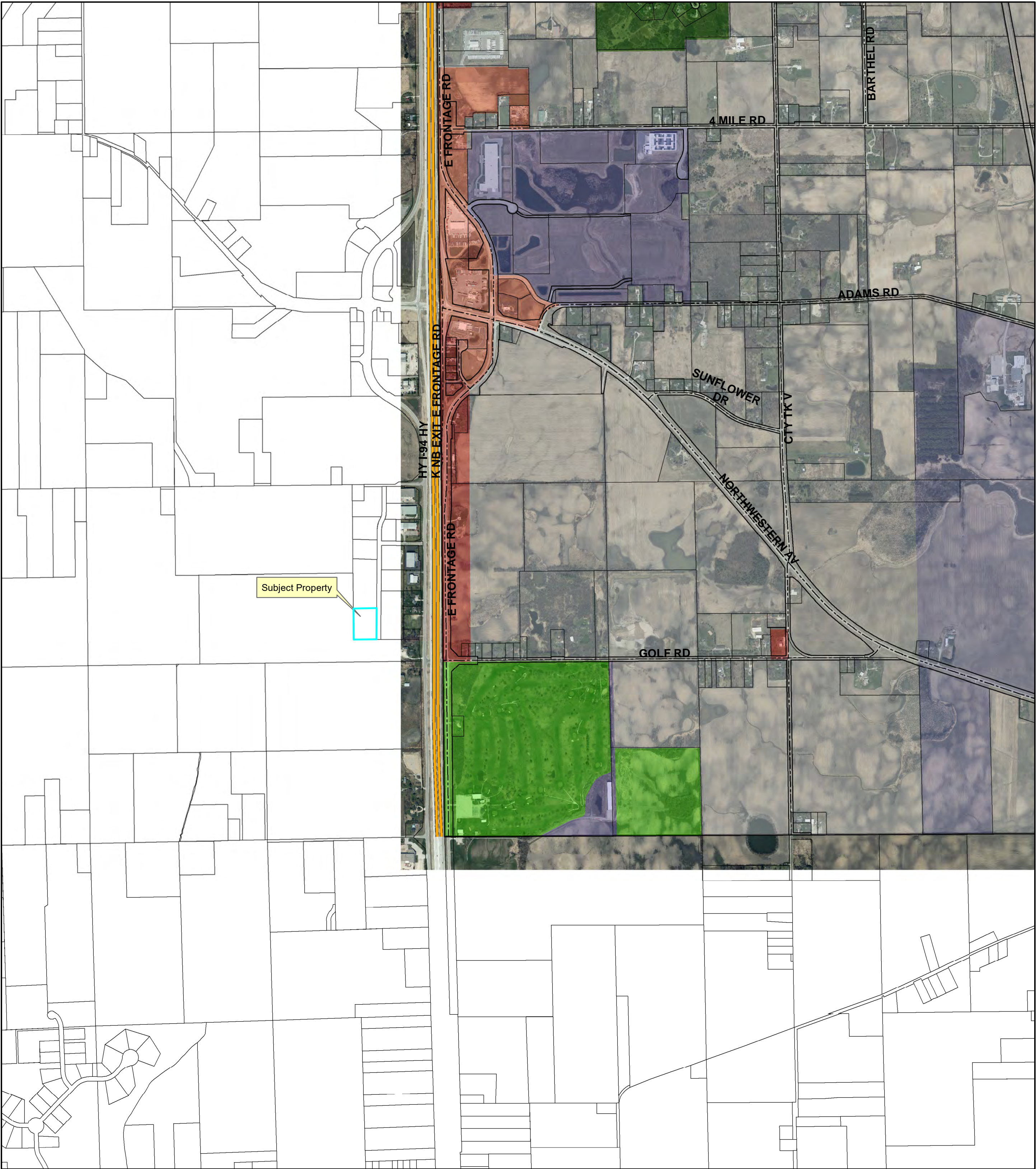
Overall, the proposed development meets the design standards outlined in the Cooperative Boundary Agreement Design Standards except for the secondary landscaping area along the public roadway. The Plan Commission has the discretion to allow what is proposed or require additional landscaping to the site. If the Plan Commission is comfortable with the proposed building, site, and operation plan, staff drafted a suggested motion to approve the building, site, and operation plan located on the parcel located directly south of 4221 Courtney Road.

Respectfully submitted:



Peter Wagner, AICP
Development Director

LOCATION MAP Courtney Road



Legend

GARNI LLC

April 4th, 2022

Plan of Operation

GARNI LLC is looking to construct a building at parcel # 168-04-21-36-001-240 which is the lot south of address 4221 Courtney Road. The owner of GARNI, is Mr. Armen Sarajian, with mailing address of 4221 Courtney Road Franksville, WI 53126. Mr. Sarajian operates the business EPSI located at 4221 Courtney Road and FAST located at 4220 Courtney Road.

The proposed building will be constructed on 3.650 acre lot and have a single story 30,000 square foot precast panel building. The precast will be painted and also have several architectural sun canopies. The site will have a parking lot for vehicles located on the east side of the building. There will be a truck entrance and drive, located on the north side of the building, that leads to a loading dock area on the west side of the building. A service drive is proposed to connect the parking lot to the parking lot located at 4221 Courtney Road. The building will be fully sprinklered with the required water capacity, provided by the underground storage tanks, located at 4221 Courtney Road. A well for domestic water and a septic system will be installed to serve the building.

The building will be used as a parts and supplies warehouse for the power coat industry. Hours of operation will be 7am to 6pm, Monday thru Friday. There will be approximately 15 employees.



FRONT AERIAL VIEW



FRONT LEFT VIEW

GARNI LLC

COURTNEY ST, VILLAGE OF RAYMOND, WISCONSIN 53108

VICINITY MAP



OWNER MAILING ADDRESS

GARNI LLC
4221 COURTNEY ST, RAYMOND, WI 53108

SUPERVISING PROFESSIONAL

THESE PLANS ARE THE SOLE PROPERTY OF ANDERSON-ASHTON, INC. AND SHALL NOT BE COPIED OR USED BY ANY COMPANY OR INDIVIDUALS UNLESS SPECIFICALLY AUTHORIZED BY THE FOLLOWING SUPERVISING PROFESSIONAL LISTED BELOW:
ROBERT STENSBERG, #12238-5
NADINE LOVE-FILER, #34212-6
2746 S. 166th STREET
NEW BERLIN, WI 53151

PROFESSIONAL STAMP & DATE

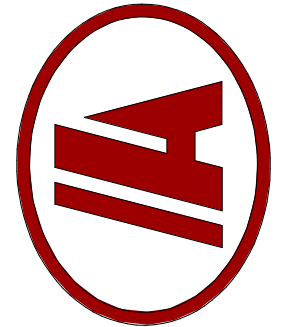
PLAN REVISIONS

REV	DESCRIPTION	SHEETS	DATE
	PLAN COMMISSION SUBMITTAL	ALL SHEETS	4/4/2022

DRAWING INDEX

CIVIL	
P-0	PLAT OF SURVEY WITH TOPOGRAPHY
C1.0	SITE PLAN
C2.0	SITE GRADING AND SITE UTILITY PLAN
C3.0	SITE EROSION CONTROL PLAN
A-SITE	
AS01	ARCHITECTURAL SITE PLAN
LANDSCAPING	
L100	LANDSCAPE PLAN
ARCHITECTURAL	
A101	PLANS
A121	ROOF PLAN
A200	ELEVATIONS
A601	WINDOW SCHEDULE
A900	3D DRAWINGS
ELECTRICAL	
E-5-0	SITE POINT BY POINT PLAN
E-5-1	FIXTURES

ANDERSON-
ASHTON, INC.
DESIGN / BUILD
2746 South 166th Street
New Berlin, WI 53151
PH: 262.591.8800
WWW.ANDERSONASHTON.COM



PROPOSED BUILDING FOR:

GARNI LLC

COURTNEY ST, VILLAGE OF RAYMOND, WISCONSIN 53108

DRAFTED BY: MFP
DESIGNER: RRS
ISSUE: 4/4/2022 1:00:29 PM
SUBMITTAL DATE: XX-XX-XX
DESIGN NO. P-02140
CONSTRUCTION NO. 3978

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T101

LEGAL DESCRIPTION:

PARCEL A:

THAT PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4, OF THE NORTHEAST 1/4, OF SECTION 36, TOWNSHIP 4 NORTH, RANGE 21 EAST, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE SOUTH 89°13'04" WEST FOR A DISTANCE OF 304.26 FEET ALONG THE SOUTH LINE OF SAID 1/4 SECTION, TO A POINT; THENCE NORTH 00°32'52" EAST FOR A DISTANCE OF 1234.81 FEET ALONG THE WEST LINE OF INTERSTATE "94", TO A POINT; BEING SUBTENDED BY A CHORD OF NORTH 00°20'14" WEST FOR A DISTANCE OF 115.93 FEET ALONG SAID LINE, TO A POINT; THENCE NORTH 89°27'08" WEST FOR A DISTANCE OF 691.50 FEET TO A POINT OF THE WEST LINE OF A PUBLIC ROAD AND THE POINT OF BEGINNING; THENCE SOUTH 00°32'52" WEST FOR A DISTANCE OF 571.19 FEET ALONG SAID WEST LINE TO A POINT; THENCE SOUTH 89°13'52" WEST FOR A DISTANCE OF 346.50 FEET TO A POINT; THENCE NORTH 00°36'54" WEST FOR A DISTANCE OF 746.87 FEET ALONG THE WEST LINE OF THE EAST 1/2 OF SAID 1/4 SECTION TO A POINT; THENCE SOUTH 88°03'39" EAST FOR A DISTANCE OF 361.67 FEET ALONG THE CENTERLINE OF AN EXISTING DRAINAGE DITCH TO A POINT ON THE WEST LINE OF SAID PUBLIC ROAD; THENCE SOUTH 00°32'52" WEST FOR A DISTANCE OF 158.78 FEET ALONG SAID WEST LINE TO THE POINT OF BEGINNING, TOGETHER WITH AND SUBJECT TO SAID COVENANTS, EASEMENTS, AND RESTRICTIONS OF RECORD, SAID PROPERTY CONTAINS 6.00 ACRES MORE OR LESS, SAID LAND BEING IN THE TOWN OF RAYMOND, RACINE COUNTY, WISCONSIN.

LEGAL DESCRIPTION:

PARCEL B:

THAT PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 4 NORTH, RANGE 21 EAST, IN THE TOWN OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE SOUTH 89°13'04" WEST FOR A DISTANCE OF 304.26, ALONG THE SOUTH LINE OF SAID 1/4 SECTION, TO A POINT; THENCE NORTH 00°32'52" EAST FOR A DISTANCE OF 1234.81 FEET, ALONG THE WEST LINE OF INTERSTATE I-94, TO A POINT; THENCE NORTHWESTERLY ALONG A CURVE TO THE LEFT WITH A RADIUS OF 57095.79 FEET AND ARC LENGTH OF 115.93 FEET, BEING SUBTENDED BY A CHORD OF NORTH 00°20'14" WEST FOR A DISTANCE OF 115.93 FEET, CONTINUING ALONG SAID WEST 89°27'08" WEST FOR A DISTANCE OF 691.50 FEET, TO A POINT ON THE WEST LINE OF A PUBLIC ROAD; THENCE SOUTH 00°32'52" WEST FOR A DISTANCE OF 465.19 FEET, CONTINUING ALONG SAID WEST LINE, TO A POINT; THENCE SOUTH 89°13'52" WEST FOR A DISTANCE OF 337.06 FEET, TO A POINT; THENCE NORTH 00°36'54" WEST FRO A DISTANCE OF 465.07 FEET, TO A POINT; THENCE NORTH 89°13'52" EAST FOR A DISTANCE OF 346.50 FEET, TO THE POINT OF BEGINNING.

NOTES:

1. LEGAL DESCRIPTION FROM KAPUR SURVEY DATED OCTOBER 20, 2020 (PARCEL "A") AND AMERICAN SURVEY COMPANY SURVEY DATED NOVEMBER 6, 2011 (PARCEL "B").

2. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

3. [PORTIONS OF] SUBJECT PROPERTY IS [ARE] LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55101C0089D, WITH A DATE OF IDENTIFICATION OF 05/02/2012, IN COMMUNITY NO. 550347, RACINE COUNTY UNINCORPORATED AREAS, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.

4. SITE BENCHMARK - FLOOR AT DOOR AS SHOWN HEREON, EL = 733.32.

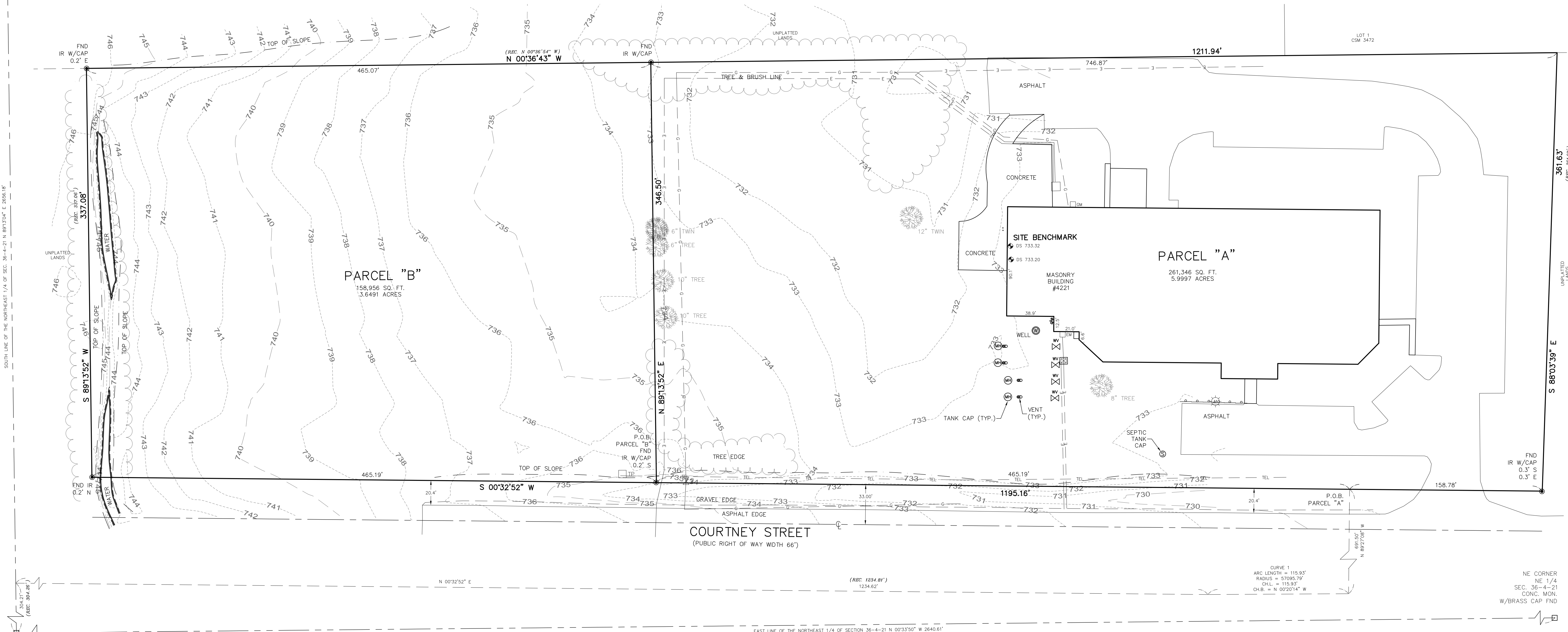
5. SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), RACINE COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)). NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88(2012)), USING THE WISCONSIN CONTINUALLY OPERATING REFERENCE STATIONS (WISCORS & GEOID 12A).

CJ
engineering
civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH: (414) 443-1312
www.cj-engineering.com

CSE
CAPITOL SURVEY ENTERPRISES
220 REGENCY CT. STE. 210
BROOKFIELD, WI 53045
PH: (262) 786-6600
FAX: (414) 786-6608
www.CAPITOLSURVEY.COM



SW CORNER
NE 1/4
SEC. 36-4-21
CONC. MON.
W/BRASS CAP FND

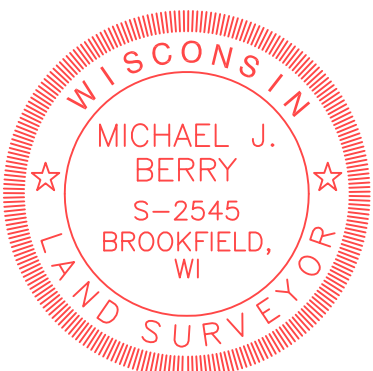


SE CORNER
NE 1/4
SEC. 36-4-21
CONC. MON.
W/BRASS CAP FND

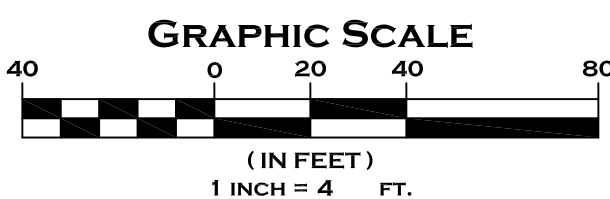
I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO, WITHIN ONE (1) YEAR FROM DATE THEREOF.

FEB. 16, 2022
DATE

MICHAEL J. BERRY, R.L.S.
REGISTERED LAND SURVEYOR S-2545



www.DiggersHotline.com



LEGEND

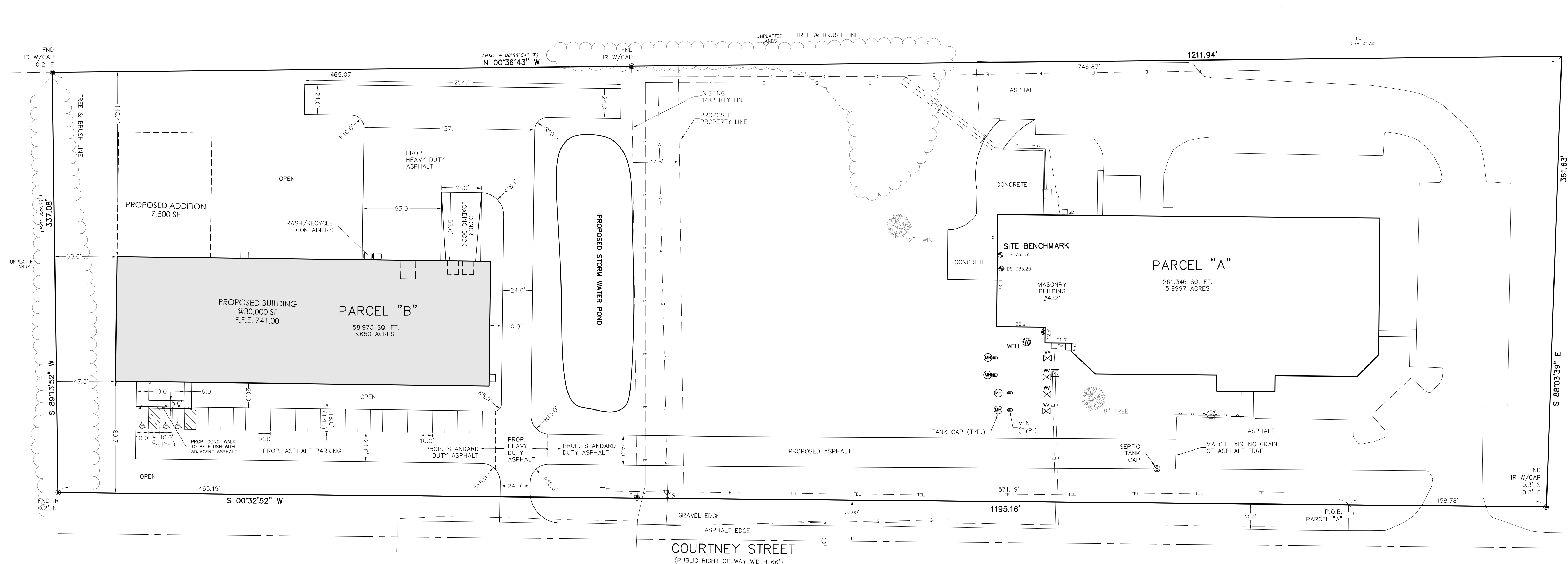
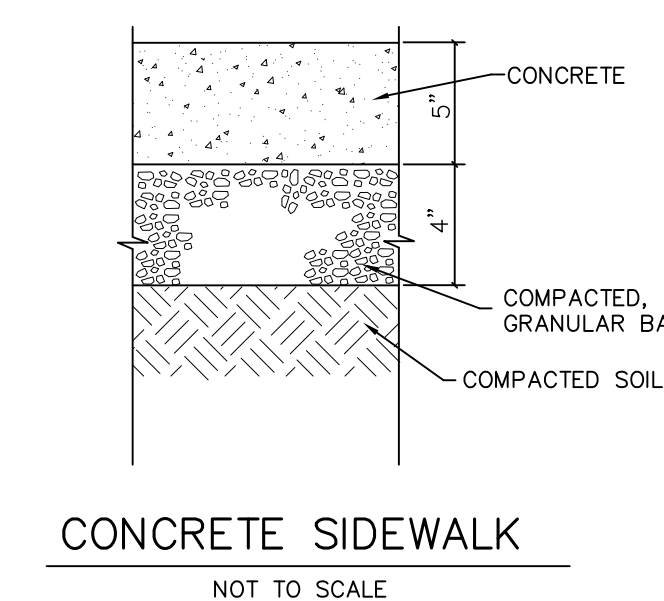
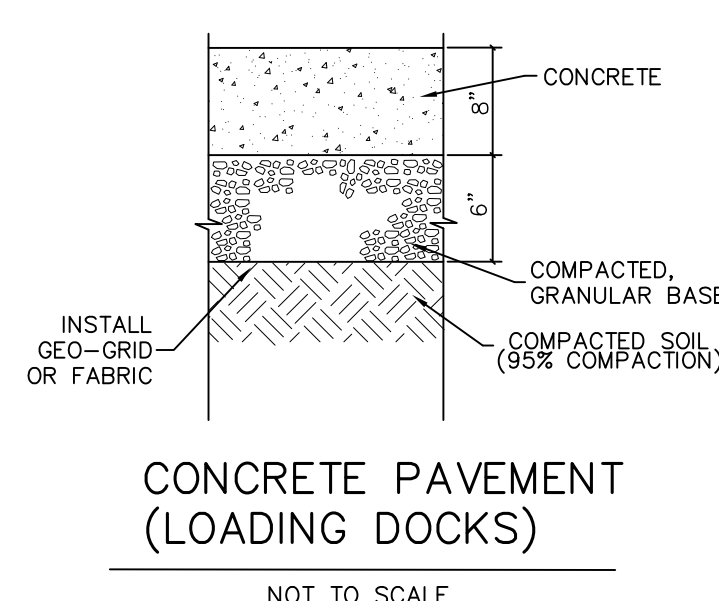
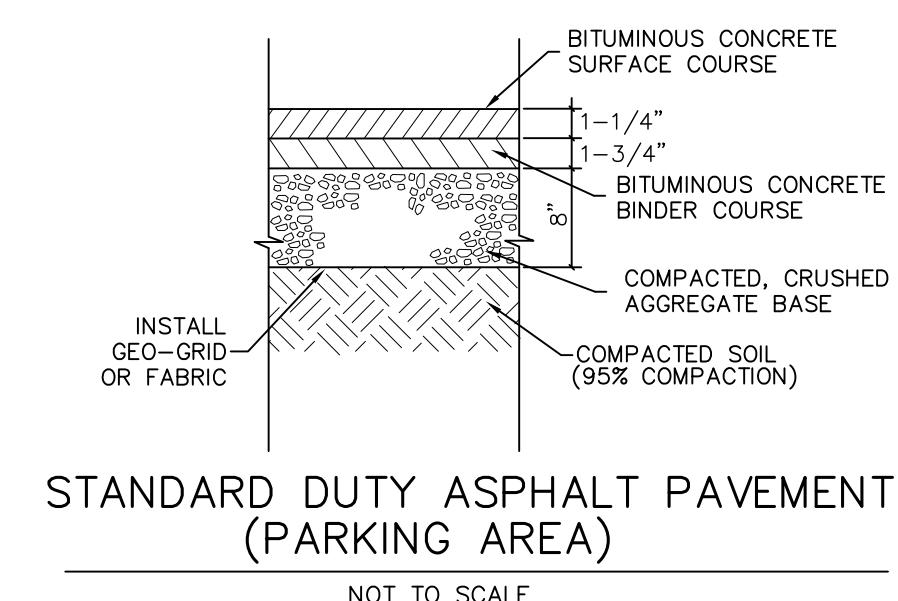
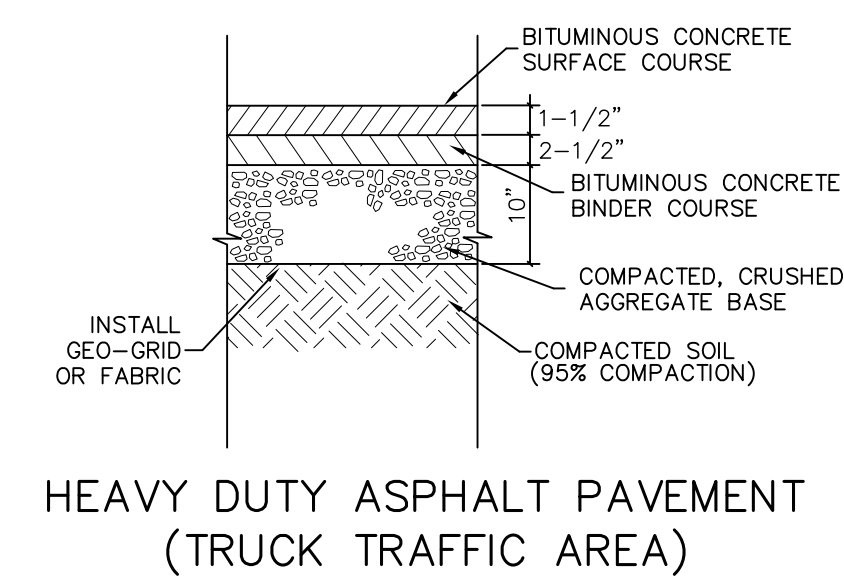
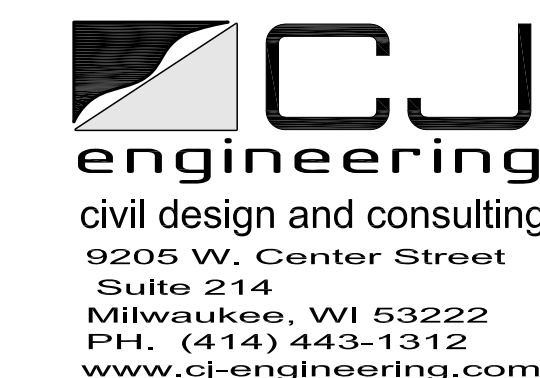
— SAN —	— ELECTRIC TRANSFORMER —	— HYDRANT —
— ST —	— ELECTRIC METER —	— WATER VALVE —
— W —	— ELECTRIC PEDESTAL —	— GAS VALVE —
— G —	— ELECTRIC BOX AT GRADE —	— MANHOLE —
— TEL —	— TELEPHONE BOX AT GRADE —	— STORM MANHOLE —
— E —	— TELEPHONE PEDESTAL —	— CATCH BASIN —
— FO —	— TV PEDESTAL —	— CURB INLET —
— CATV —	— GAS METER —	— METAL LIGHT POLE —
— COMB —	— AIR CONDITIONER —	— CONCRETE LIGHT POLE —
— WOOD FENCE —	— UTILITY POLE —	— WOOD LIGHT POLE —
— METAL FENCE —	— WOOD SIGN —	— MAIL BOX —
— EDGE OF TREES AND BRUSH —	— METAL SIGN —	— FIBER OPTIC MARKER —
— DOOR SILL ELEVATION —	— FLAG POLE —	— GUY WIRE —
— FIRE DEPARTMENT CONNECTION —	— BOLLARD —	
	— BOLLARD LIGHT —	
	— YARD LIGHT —	

PLAT OF SURVEY WITH TOPOGRAPHY

FOR

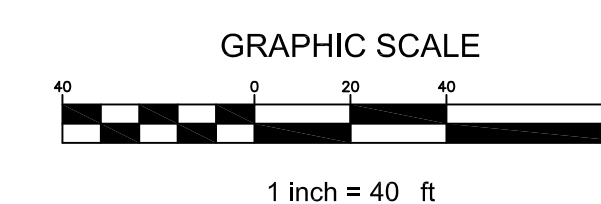
SPECIALTY TAPES
4221 COURTNEY ROAD
FRANKSVILLE, WI

DRAWN BY:	NJF	DATE:	FEB. 16, 2022
CHECKED BY:	NJF	DRAWING NO.	P - 0
CSE Job No.:	22 - 007	SHEET	1 OF 1



27 TOTAL SPACES

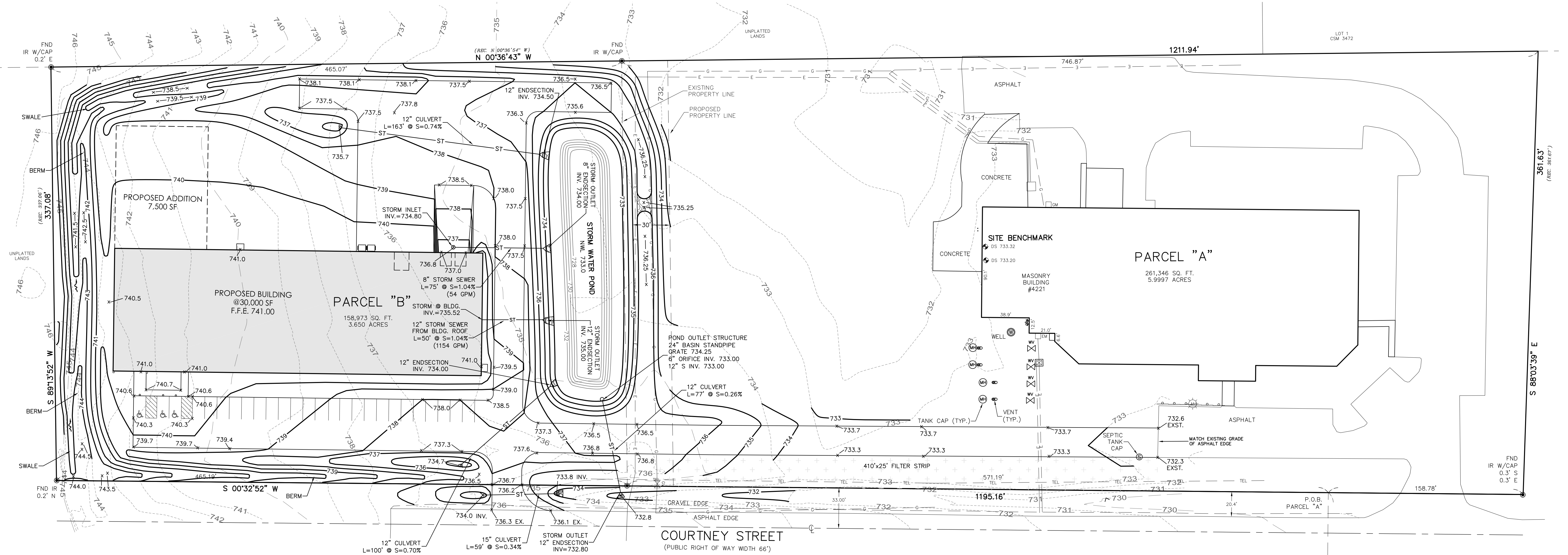
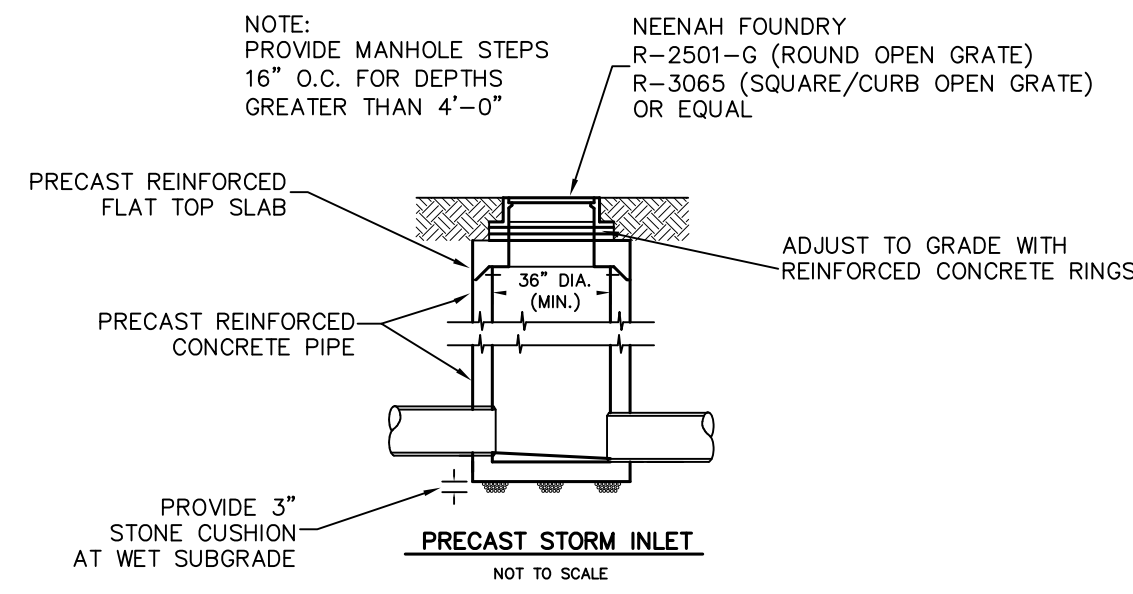
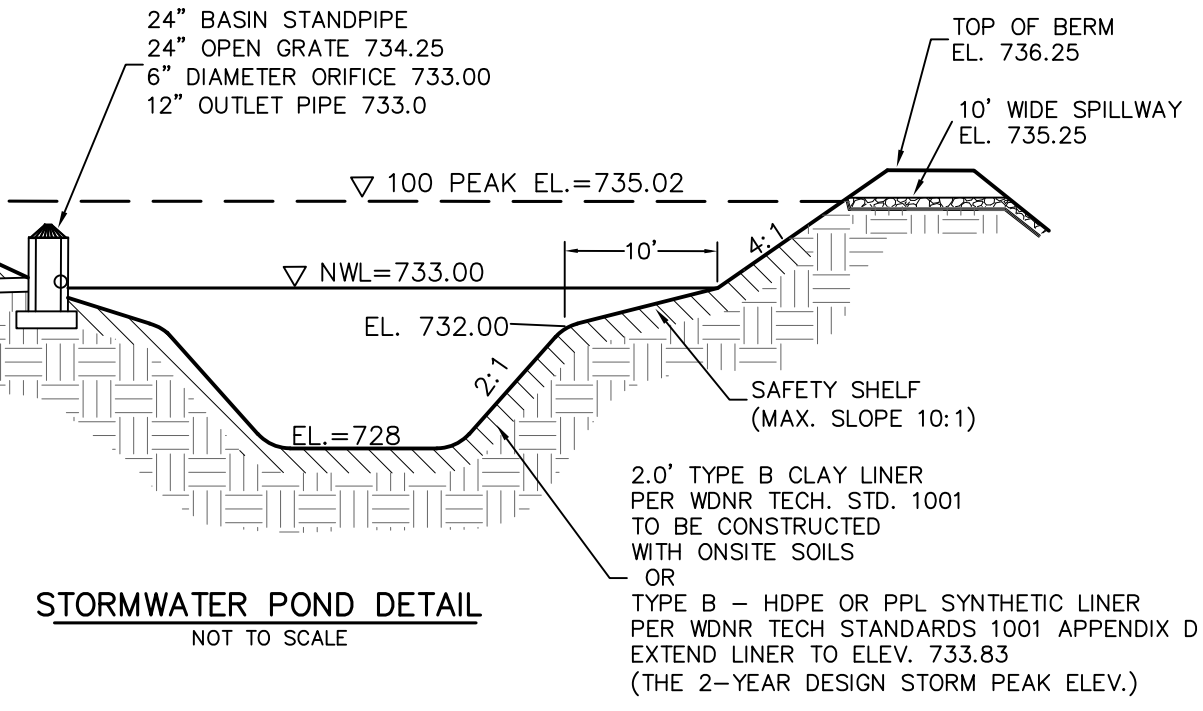
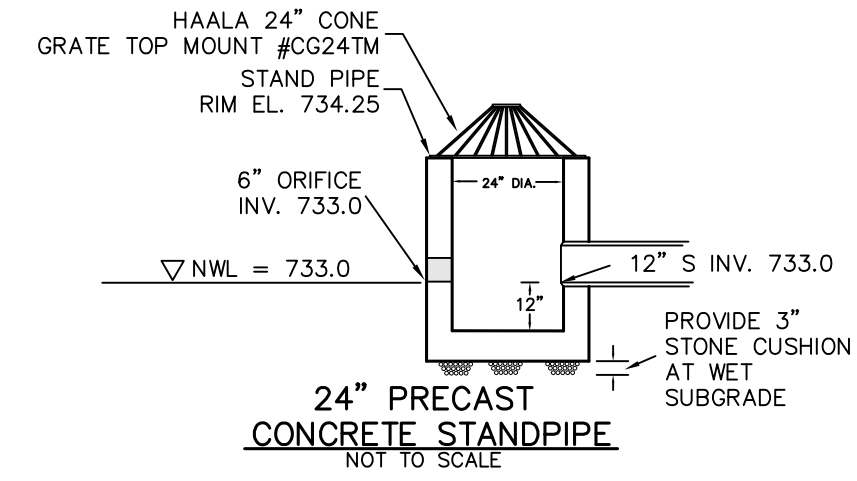
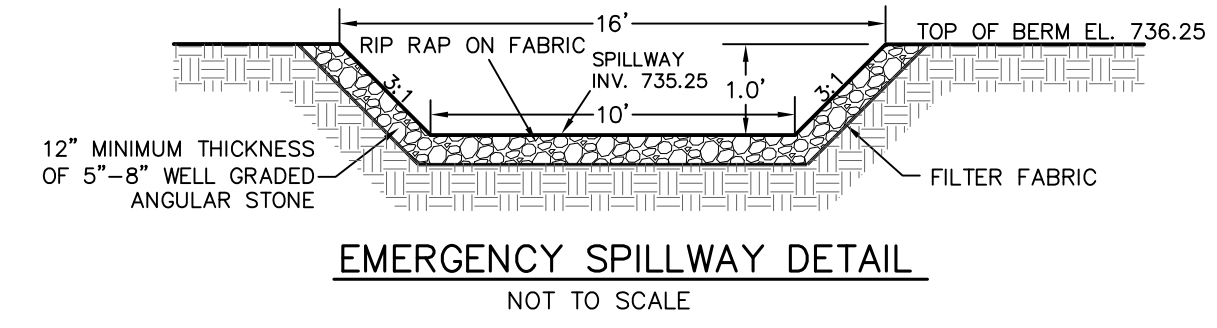
1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.
2. DISTURBED AREA = 4.186 ACRES



CJE NO.:2205R4
APRIL 28, 2022

GARNI, LLC
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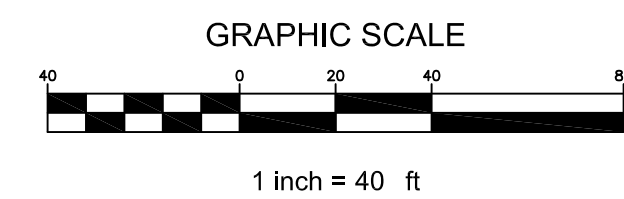
SITE PLAN C1.0
SHEET 1 OF 3



LEGEND	
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
x	PROPOSED ELEVATION
ST	PROPOSED STORM SEWER



- NOTES:
- EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.
 - DISTURBED AREA = 4.186 ACRES
 - STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE VILLAGE AND NR 151 WILL BE PROVIDED BY A PROPOSED DETENTION POND LOCATED NORTH OF THE PROPOSED BUILDING.
 - CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT BOTTOM OF THE STORM WATER POND MATCHES THE DESIGN ELEVATION UPON COMPLETION OF THE SITE.
 - AN "AS-BUILT" CERTIFICATION DRAWING OF THE STORM WATER POND SHALL BE COMPLETED WITH SURVEYED ELEVATIONS INCLUDED.



GARNI, LLC
4221 COURTNEY RD. FRANKSVILLE, WI

SITE GRADING AND UTILITY PLAN

CJE NO.:2205R4
APRIL 28, 2022

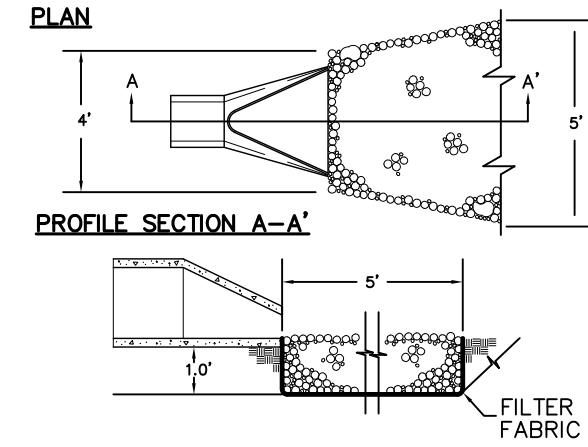
C2.0

SHEET 2 OF 3



NOTES:

1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.
2. DISTURBED AREA = 4.186 ACRES
3. ALL EROSION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE VILLAGE OF RAYMOND STANDARDS AND WDNR CPS TECHNICAL STANDARDS.
4. STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE TOWN AND NR 151 WILL BE PROVIDED BY A PROPOSED STORM WATER WET POND LOCATED NORTH OF THE PROPOSED BUILDING.



CONSTRUCTION SPECIFICATIONS

1. EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIP RAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
2. PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1.0'.
3. EXERCISE CARE IN RIP RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
4. PLACE RIP RAP ON ZERO GRADE - TOP OF RIP RAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.
5. RIP RAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 5" TO 8" DIA.
6. IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.

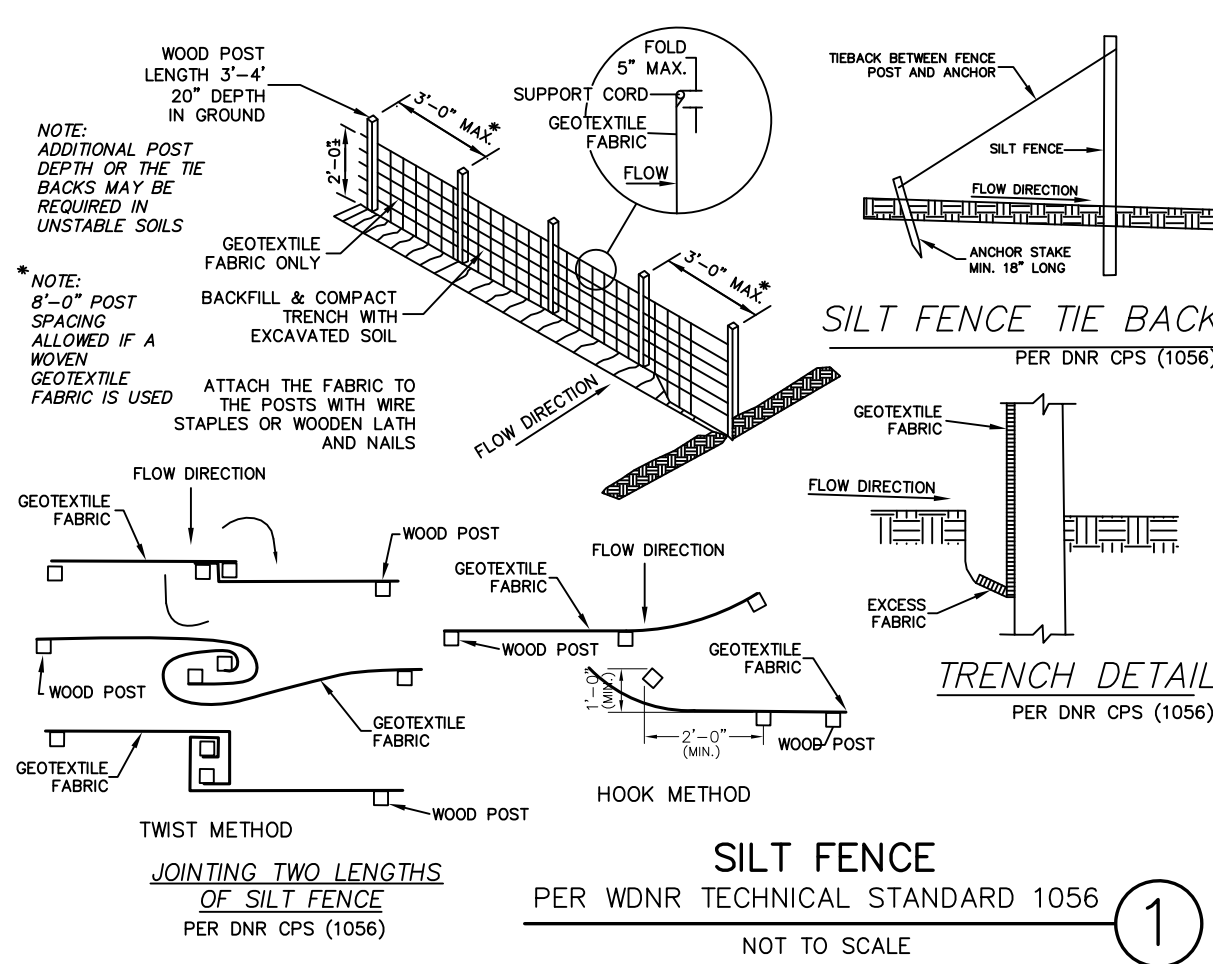
OUTLET PROTECTION FOR ENDSECTION

NOT TO SCALE

EROSION CONTROL PRACTICES

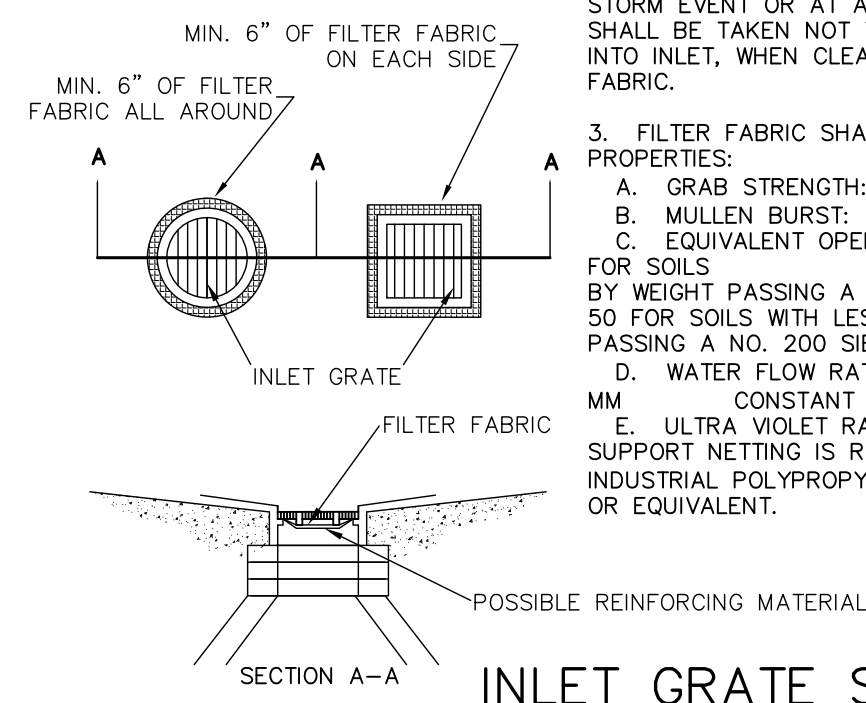
- ① SILT FENCE
- ② CONSTRUCTION EXIT
- ③ INLET PROTECTION
- ④ OUTLET PROTECTION
- ⑤ EROSION MATTING
- ⑥ SEDIMENT BASIN

FOR FINAL STABILIZATION, PROVIDE CLASS 1, TYPE B EROSION MAT PER 'WISDOT EROSION CONTROL PAL' (OR EQUAL) IN ALL ROADSIDE DITCHES, DEFINED SWALES, SIDE SLOPES, OUTLET BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.



CONSTRUCTION SPECIFICATIONS

1. CONSTRUCTION SILT FENCE AROUND THE DISTURBED AREAS AS SHOWN ON EROSION CONTROL PLAN, TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM
2. LOCATE POSTS PER DNR CPS (1056)
3. WHEN JOINTS ARE NECESSARY REFER, TO DNR CPS (1056)
4. FILTER FABRIC TO BE OF NYLON, POLYESTER, POLYPROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH - 50 LB/LIN. IN. (MIN.) - AND WITH A FLOW RATE OF AT LEAST 0.3 GAL/SQ. FT./MIN. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
5. THE FILTER FABRIC SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4" X 6" TRENCH
6. THE FILTER FABRIC SHALL BE STAPLED AND/OR NAILED TO THE UPSLOPE SIDE OF THE POSTS.
7. POST TO BE 1 1/8" X 1 1/8" HICKORY OR OAK, 3 FEET LONG, SPACED A MAXIMUM OF 3 FEET APART.
8. USE WIRE REINFORCEMENT IN UNSTABILIZED MINOR SWALES, DITCHES AND DIVERSIONS.
9. USE WISDOT APPROVED SILT FENCE

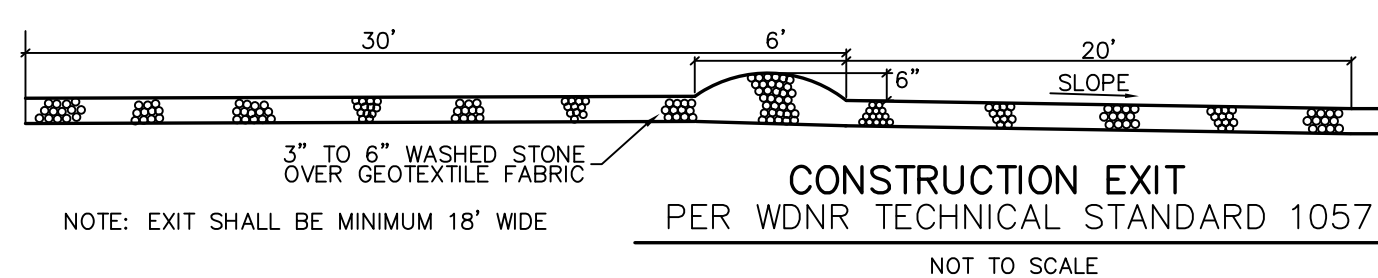
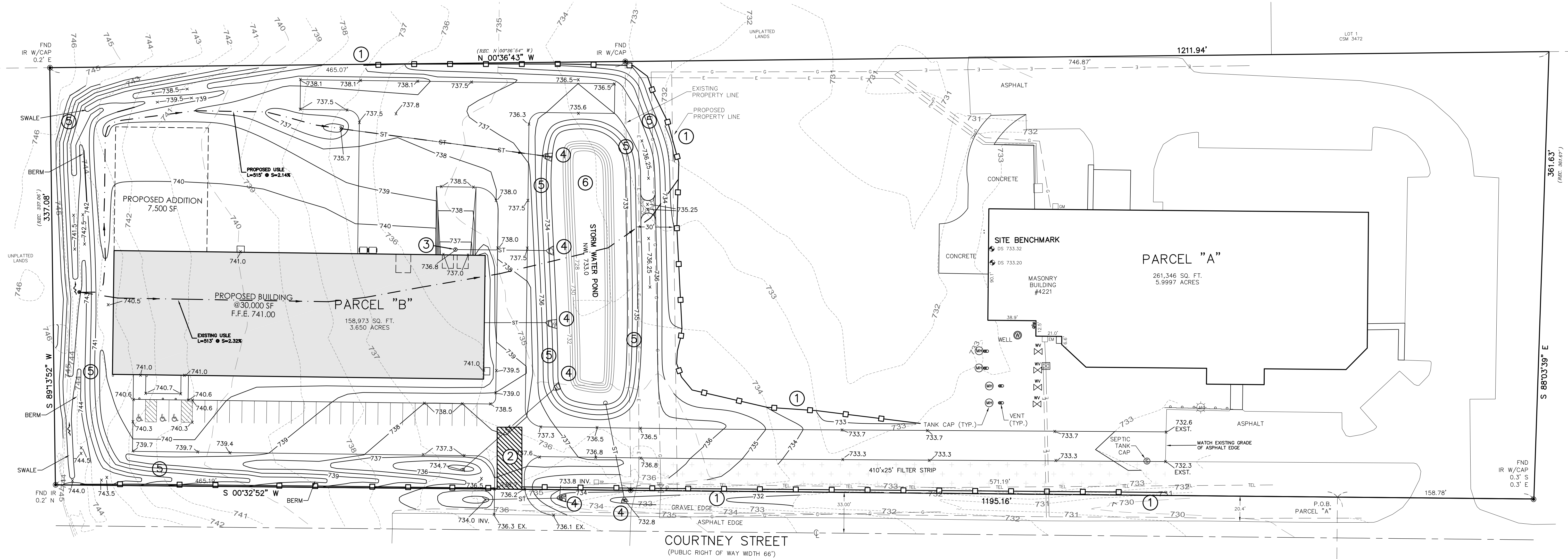


INLET GRATE SCREEN

PER WDNR TECHNICAL STANDARD 1060

NOT TO SCALE

NOTE: INSTALL IN ALL STORM INLETS AND CATCH BASINS LOCATED WITHIN AND ADJACENT TO THE CONSTRUCTION AREA



CONSTRUCTION EXIT

PER WDNR TECHNICAL STANDARD 1057

NOT TO SCALE

LEGEND

- 732 --- EXISTING CONTOUR
- 733 --- PROPOSED CONTOUR
- x 734.5 --- PROPOSED ELEVATION
- ST --- PROPOSED STORM SEWER

CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. INSTALL CONSTRUCTION EXIT.
3. INSTALL SILT FENCE.
4. STRIP AND STOCK PILE TOP SOIL SURROUND TOP SOIL STOCK PILE WITH SILT FENCE AND TEMP. STABILIZE. LOCATION OF STOCK PILE TO BE DETERMINED BY CONTRACTOR.
5. INSTALL STORM WATER BASIN TO USE AS SEDIMENT BASINS COMPLETE WITH OUTLETS:
 - A. ROUGH GRADE AND OVER EXCAVATE BOTTOM OF BASINS.
 - B. INSTALL OUTLET STRUCTURE AND PIPES.
6. ROUGH GRADE SITE
7. BEGIN BUILDING CONSTRUCTION.
8. INSTALL PROPOSED UTILITIES.
9. INSTALL INLET GRATE SCREENS IN ALL NEW STORM INLETS.
10. INSTALL OUTLET PROTECTION.
11. INSTALL BASE COURSE OF PAVEMENT.
12. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS.
13. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
14. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.

MAINTENANCE PLAN

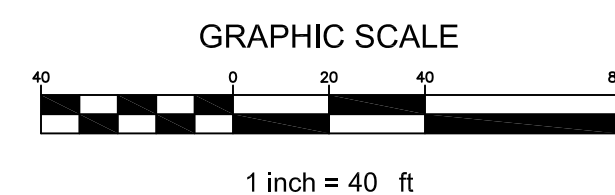
1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDING AREAS WILL BE WATERED, FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

TEMPORARY STABILIZATION METHODS

TEMPORARY SEEDING:
DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING (COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Oats	131*	98
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97
* Fall Seeding		

LAND APPLICATION OF ADDITIVES:
DURING NONGROWING SEASON (NOVEMBER 1 - MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) - SEE WDNR TECHNICAL STANDARD 1050.
STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.



CJE NO.:2205R4
APRIL 28, 2022

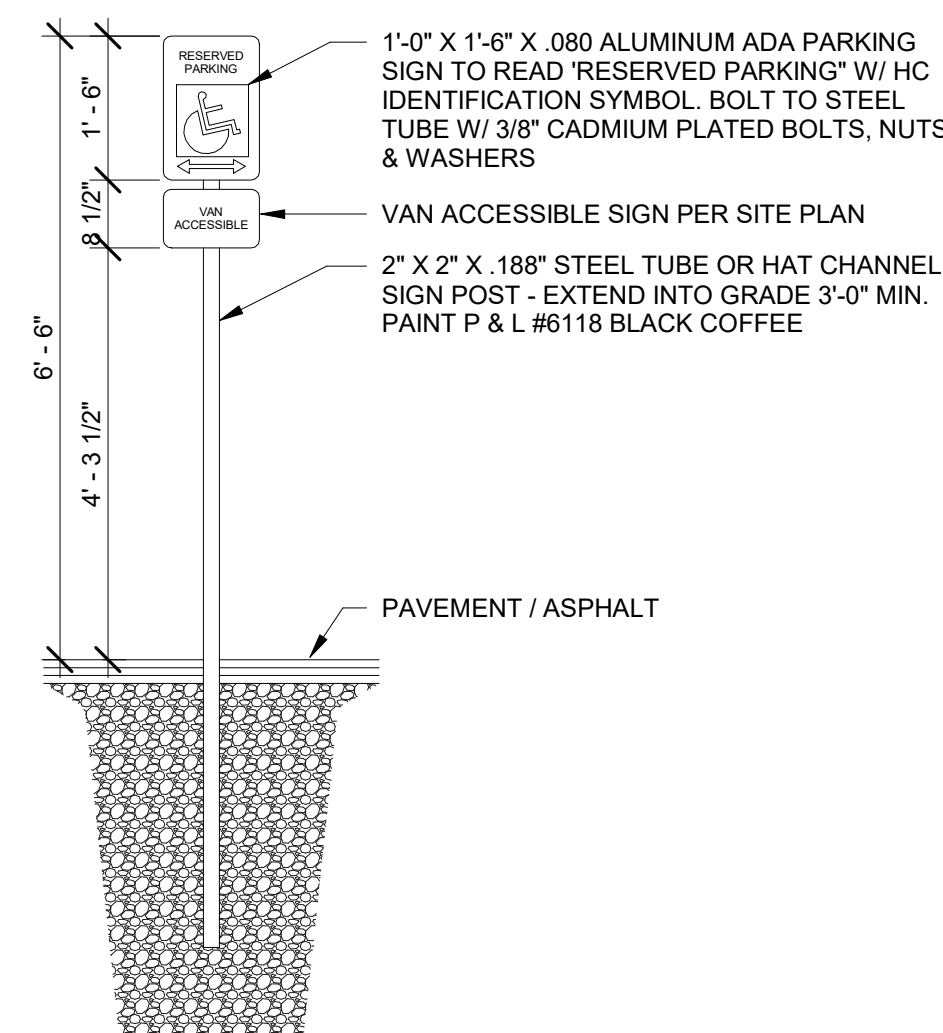
GARNI, LLC
4221 COURTNEY RD. FRANKSVILLE, WI

EROSION CONTROL PLAN

C3.0

SHEET 3 OF 3

- ACCESSIBLE PATH - ANNOTATIONS ON DRAWINGS FROM PARKING TO ENTRANCE AND TOILETS AND TO INCLUDE:
- VERIFIED ACCESSIBLE PARKING/AISLE IS STABLE, FIRM AND SLIP RESISTANT. ANSI 302.1 AND 403.2
- VERIFIED SURFACE TRANSITIONS. ANSI 403.3 WALKING SURFACES ON ACCESSIBLE ROUTE.
- MAX RUNNING SLOPE 1:20 SLOPE, CROSS SLOPE 1:48 MAX. (RAMP 1:12 - 1:20 SLOPE)
- VERIFIED VEHICLE SPACE AND AISLE SIZE. ANSI 502.2 : 96" W. MIN + 96" AISLE OR 132" VAN + 60" AISLE WITH VERIFIED VEHICLE PARKING MARKING. ANSI 502.3 (SEE DETAIL THIS PLAN)
- VERIFIED VEHICLE AISLE MARKING. ANSI 502.4 (HATCHING REQ'D IN AISLE)
- VERIFIED VEHICLE SPACE AND AISLE SLOPE. ANSI 502.5 (1:48 MAX)
- VERIFIED VEHICLE SIGNAGE. ANSI 502.7 (SEE DETAIL THIS SHEET)

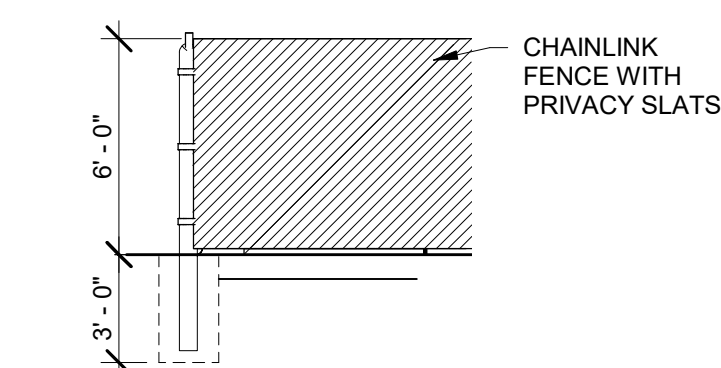


SITE STATISTICS	
PROPOSED BUILDING AREA:	30,006 S.F. (13%)
SIDEWALK-CONCRETE AREA:	2,282 S.F. (1%)
PAVED AREA:	49,405 S.F. (22%)
GREEN SPACE AREA:	143,780 S.F. (64%)
TOTAL LOT AREA:	225,473 S.F. (100%)

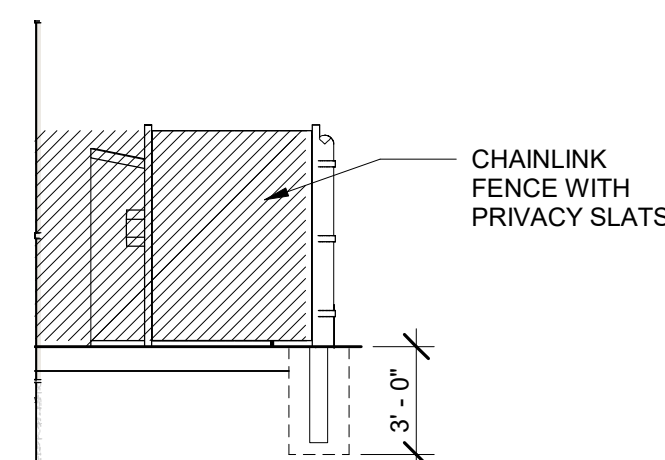
AREAS		
NAME	AREA	AREA RATIO
GREENSPACE		
LANDSCAPE	87,414 SF	48%
STORM WATER POND	12,301 SF	7%
WATER	1,491 SF	1%
	101,206 SF	55%
HARD SURFACE		
CONCRETE	2,282 SF	1%
PAVEMENT	49,405 SF	27%
PROPOSED BUILDING	30,006 SF	16%
	81,693 SF	45%
GRAND TOTAL	182,899 SF	100%

PARKING		
RACINE COUNTY MUNICIPAL CODE: 20-1088, WI LEGISLATURE: 346.503(1)a)2		
Family	Type	Count
Parking Space	10' x 18' - 90 deg	24
Parking Space	10' x 18' - 90 deg ADA	1
Parking Space - ADA	10' x 18' (9' Aisle)	2

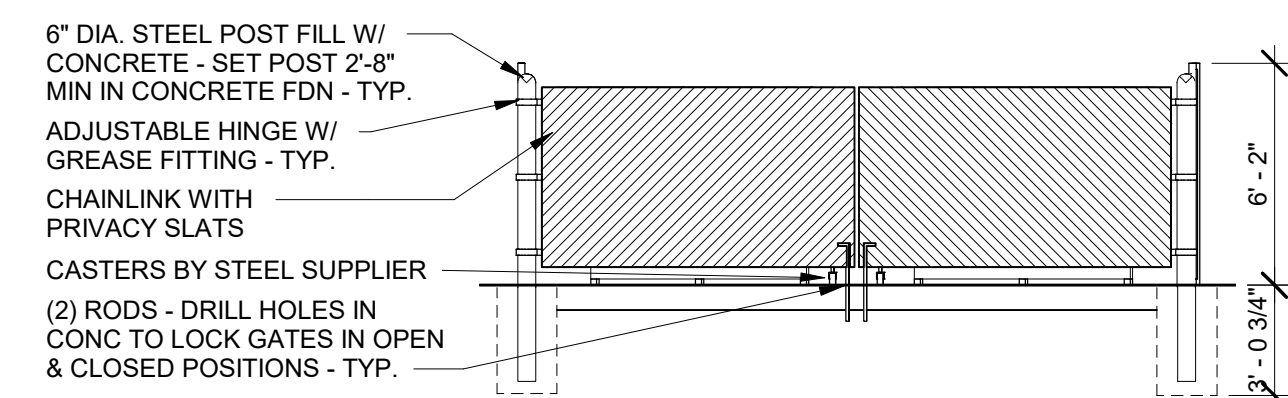
1. VISIT JOB SITE TO VERIFY EXISTING SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION. MEET WITH GENERAL CONTRACTOR PRIOR TO STARTING.
2. REMOVE EXISTING TREES ALONG WITH ROOTS AS REQUIRED @ PROPOSED BUILDING AND PAVING AREAS.
3. STRIP AND REMOVE ALL REMAINDER VEGETATION & 3" x 4" TOP SOIL FROM WITHIN THE BUILDING AND PAVING AREAS, STOCKPILE REUSABLE, UNCONTAMINATED TOPSOIL, AND PROVIDE FOR ALL EXCESS MATERIAL TO BE TRUCKED OFF SITE. RESPEAD SALVAGED TOPSOIL OVER DISTURBED AREAS TO APPROX. 4" DEPTH AFTER CONSTRUCTION IS FINISHED.
4. CUT (OR FILL) THE BUILDING AREA +5.0' BEYOND PERIMETER OF THE BUILDING
5. CUT THE FLOOR AREA TO THE SUB-GRADE ELEVATION. (THE PERIMETER FOUNDATION FOOTINGS TO BE EXCAVATED BY CONCR. CONTR. TO THE REQUIRED DEPTHS PER THE FOUNDATION PLAN). BENCH GRADE BACK PER CURRENT OSHA CODE STANDARDS PART #1926 IF REQ'D BY THE G.C. FOR THE PROJECT
6. PROOF ROLL BUILDING AREA FOR ANY SOFT MATERIALS. REPORT ANY SOFT SPOTS TO THE GENERAL CONTRACTOR.
7. ALL FILL MATERIAL FOR BRINGING GRADES UP TO SUB-GRADE ELEVATIONS SHALL BE GRANULAR OR CLEAN COMPACTABLE CLAY AND APPROVED BY ANDERSON-ASHTON
8. ALL EXTERIOR BACKFILL MATERIAL FOR STANDARD FROST FOUNDATION WALLS SHALL BE CLEAN COMPACTABLE CLAY.
INTERIOR BACKFILL MATERIAL SHALL BE 3/4" CLEAR STONE.
9. ALL BACKFILL & FILL MATERIALS SHALL BE INSPECTED AND APPROVED BY ANDERSON-ASHTON PRIOR TO PLACEMENT. ALL FILL MATERIALS SHALL BE COMPACTED IN 6" MAX. LIFTS @ 95% MODIFIED PROCTOR.
10. PREPARE THE PAVING AREA AS SHOWN ON THE CONSTRUCTION DOCUMENTS TO +/- 0.10'
11. PREPARE ALL SWALES AS SHOWN ON PLAN TO PROVIDE POSITIVE DRAINAGE DURING CONSTRUCTION.
12. RETURN AFTER THE BUILDING IS ENCLOSED & FINISH GRADE AND TOPSOIL AROUND PERIMETER OF BUILDING. ALSO, FINISH GRADE AROUND ELECTRICAL, TELEPHONE, GAS, SEWER, WATER AND UTILITY TRENCHES.



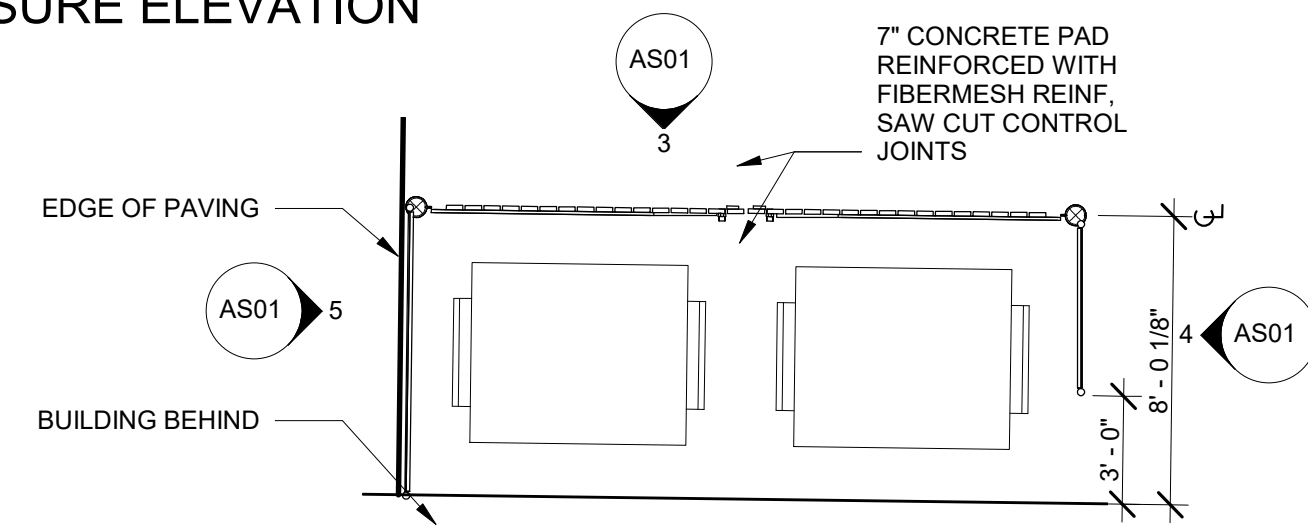
5 SOUTH ENCLOSURE ELEVATION
3/16" = 1'-0"



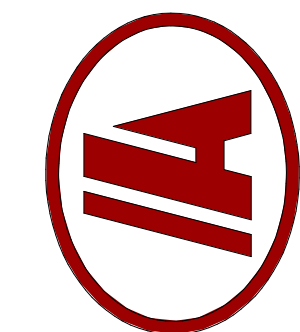
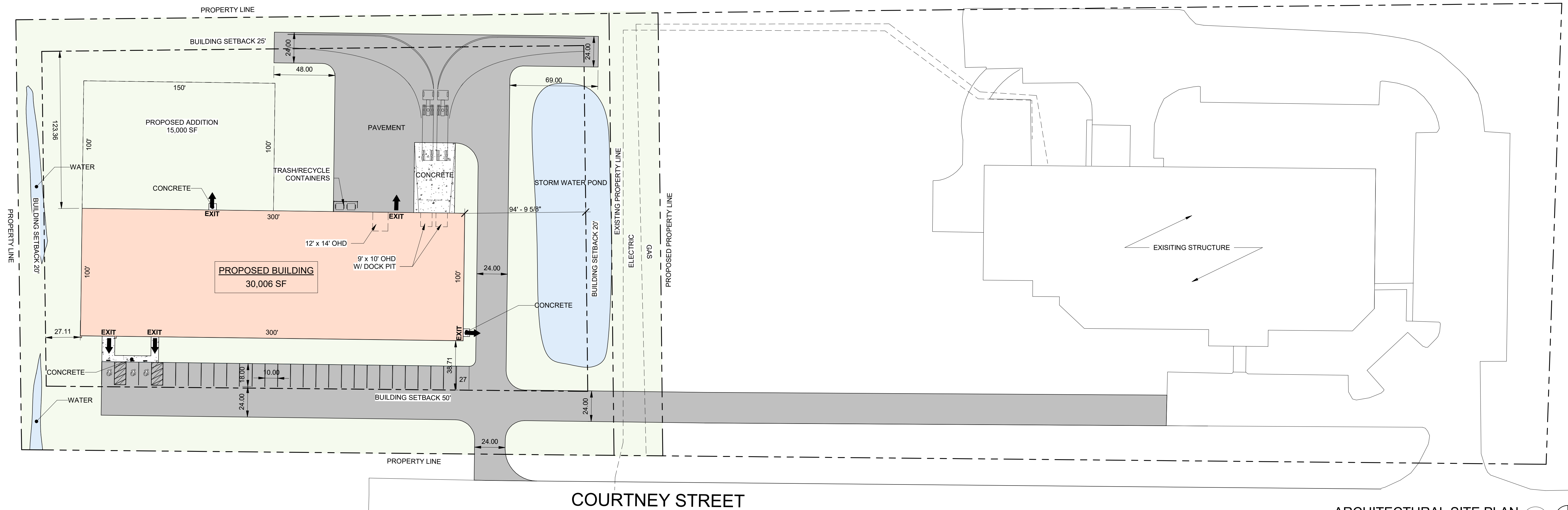
4 NORTH ENCLOSURE ELEVATION
3/16" = 1'-0"



3 WEST ENCLOSURE ELEVATION
3/16" = 1'-0"

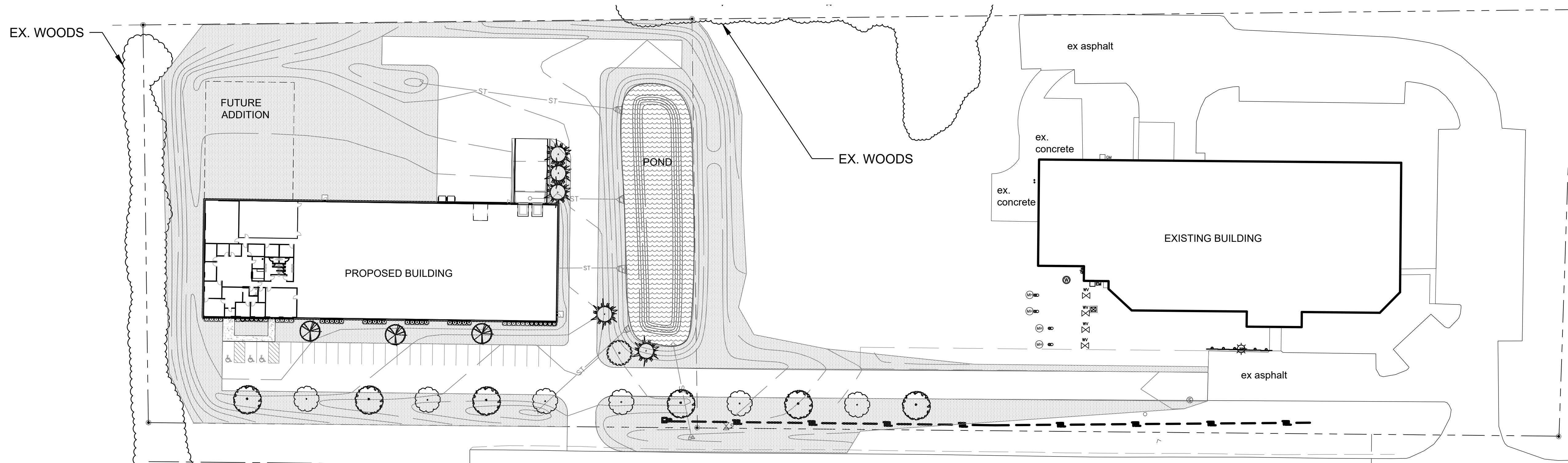


2 DUMPSTER ENCLOSURE PLAN
3/16" = 1'-0"





WISCONSIN'S LARGEST
TREE TRANSPLANTERS

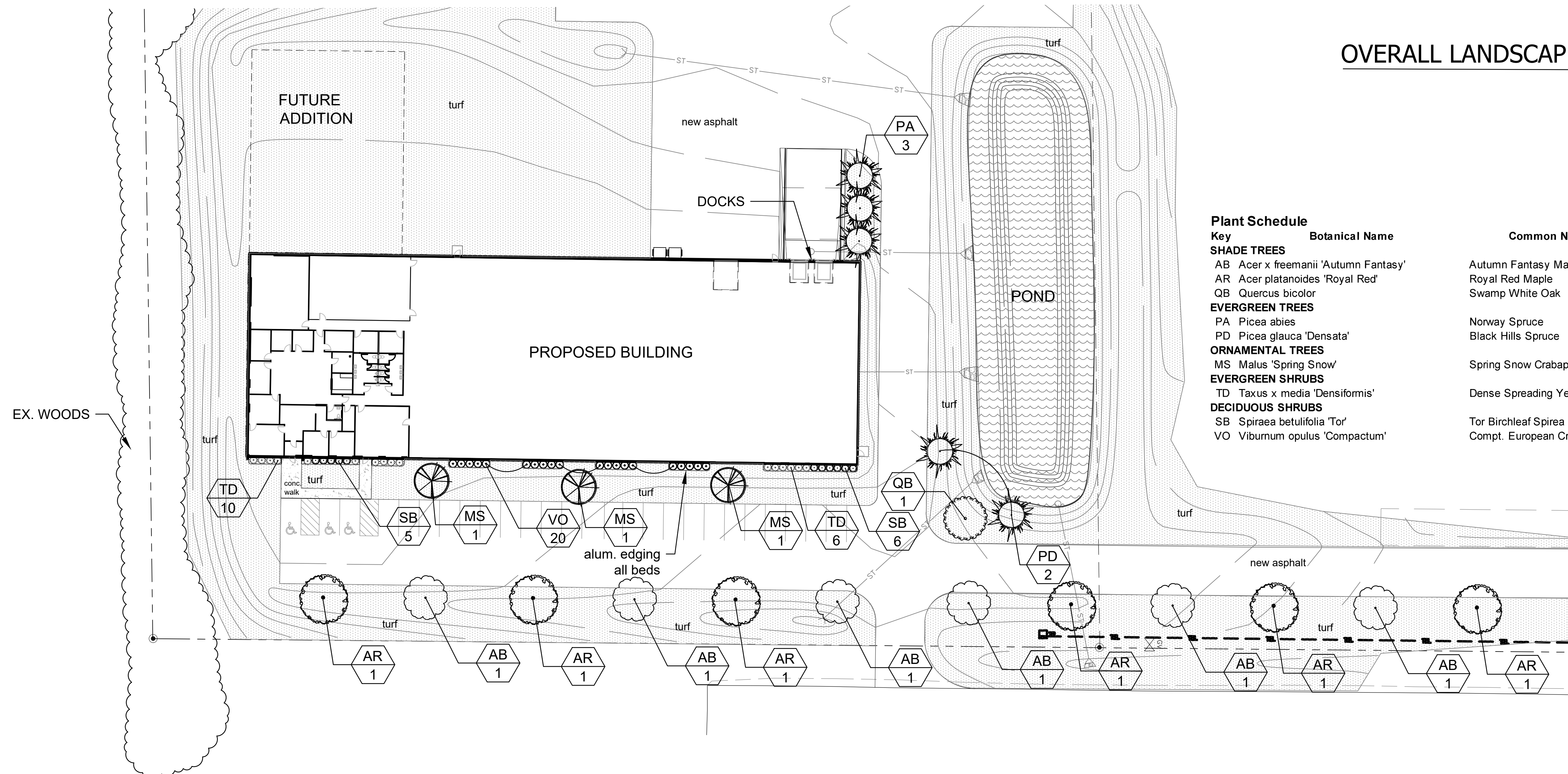


OVERALL LANDSCAPE PLAN

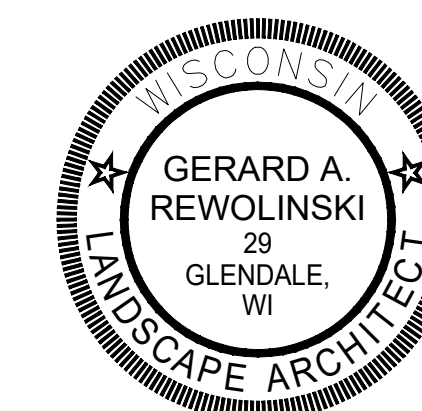
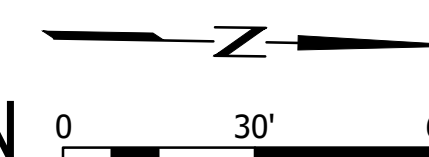


Plant Schedule

Key	Botanical Name	Common Name	Size	Root	Spacing
SHADE TREES					
AB	Acer x freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	6 2.5" Cal.	B&B	as shown
AR	Acer platanoides 'Royal Red'	Royal Red Maple	6 2.5" Cal.	B&B	as shown
QB	Quercus bicolor	Swamp White Oak	1 2.5" Cal.	B&B	as shown
EVERGREEN TREES					
PA	Picea abies	Norway Spruce	3 6' High	B&B	as shown
PD	Picea glauca 'Densata'	Black Hills Spruce	2 6' High	spaded	as shown
ORNAMENTAL TREES					
MS	Malus 'Spring Snow'	Spring Snow Crabapple	3 1.5-2" Cal.	B&B	as shown
EVERGREEN SHRUBS					
TD	Taxus x media 'Densiflora'	Dense Spreading Yew	16 24" spread	B&B	4' o.c.
DECIDUOUS SHRUBS					
SB	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	11 18" High	Container	36" o.c.
VO	Viburnum opulus 'Compactum'	Compt. European Cranberrybush	20 24" High	Container	4' o.c.



LANDSCAPE ENLARGEMENT PLAN



Gerard A. Rewolinski



Premier Landscapes

LANDSCAPE DEVELOPMENT FOR

GARNI, LLC
4221 COURTNEY ROAD
FRANKSVILLE, WISCONSIN

LANDSCAPE
ARCHITECTURE

DESIGN BY: GAR

DRAWN BY: GAR

DATE: 3/31/2022

REVISED:

SCALE: varies

SHEET: L100

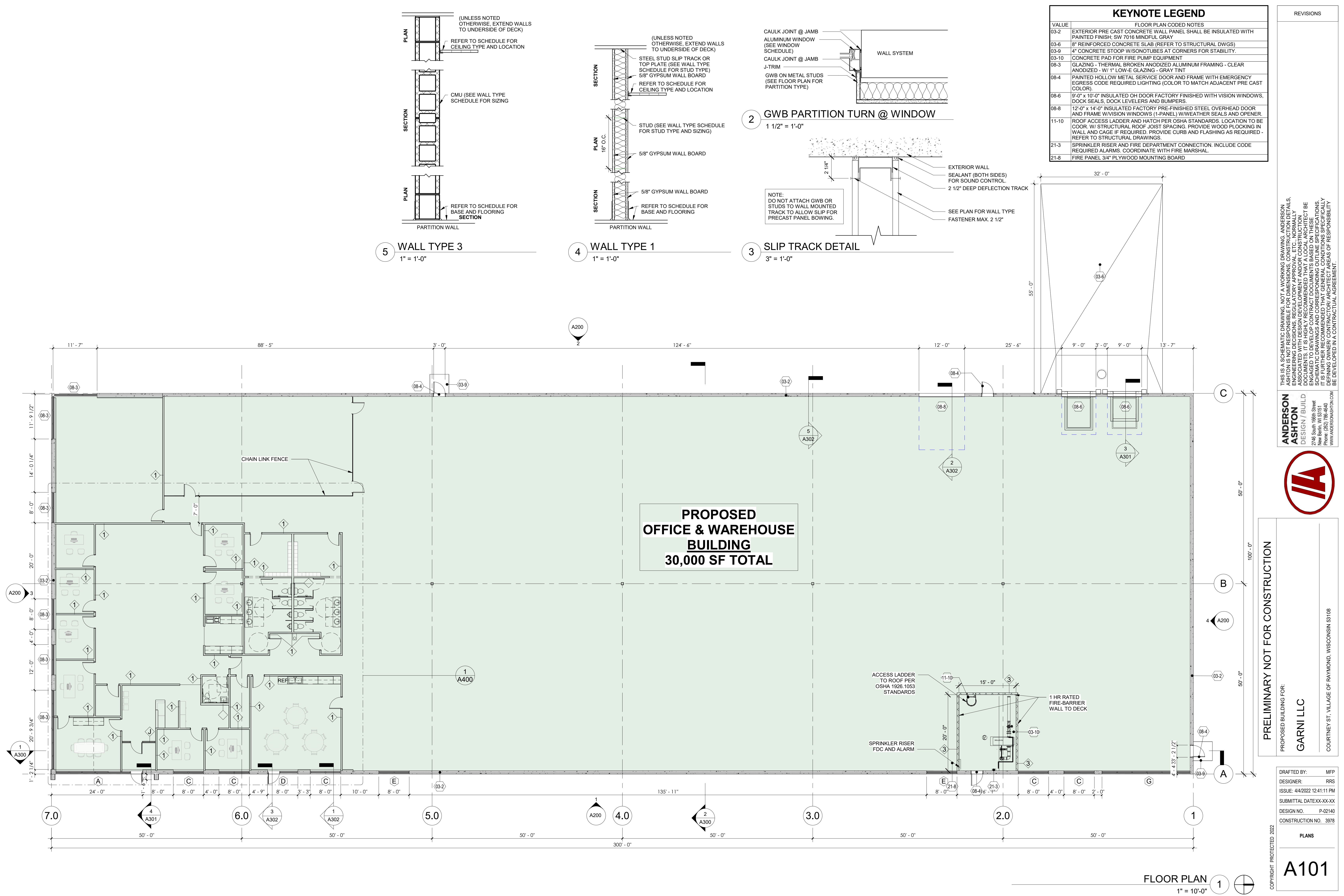
**TREES
ON THE MOVE**

5611 S. Calhoun Road
New Berlin, WI 53151

Phone: (262) 679-5200

treesonthemove.com

PLANTINGS, STRUCTURES AND OTHER REPRESENTATIONS SHOWN ON THIS PLAN ARE FOR THE PURPOSE OF CONVEYING LANDSCAPE DESIGN FEATURES. REFER TO PREPARED CONTRACT DOCUMENTS FOR SPECIFIC ITEMS INCLUDED IN ANY PARTICULAR PHASE OF LANDSCAPE CONSTRUCTION.



KEYNOTE LEGEND	
VALUE	FLOOR PLAN CODED NOTES
03-2	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH; SW 7016 MINDFUL GRAY
03-6	8" REINFORCED CONCRETE SLAB (REFER TO STRUCTURAL DWGS)
03-9	4" CONCRETE STOOP W/SONOTUBES AT CORNERS FOR STABILITY.
03-10	CONCRETE PAD FOR FIRE PUMP EQUIPMENT
08-3	GLAZING - THERMAL BROKEN ANODIZED ALUMINUM FRAMING - CLEAR ANODIZED - W/ 1" LOW-E GLAZING - GRAY TINT
08-4	PAINTED HOLLOW METAL SERVICE DOOR AND FRAME WITH EMERGENCY EGRESS CODE REQUIRED LIGHTING (COLOR TO MATCH ADJACENT PRE CAST COLOR).
08-6	9'-0" x 10'-0" INSULATED OH DOOR FACTORY FINISHED WITH VISION WINDOWS, DOCK SEALS, DOCK LEVELERS AND BUMPERS.
08-8	12'-0" x 14'-0" INSULATED FACTORY PRE-FINISHED STEEL OVERHEAD DOOR AND FRAME W/VISION WINDOWS (1-PANEL) W/WEATHER SEALS AND OPENER.
11-10	ROOF ACCESS LADDER AND HATCH PER OSHA STANDARDS. LOCATION TO BE COOR. W/ STRUCTURAL ROOF JOIST SPACING. PROVIDE WOOD FLOORING IN WALL AND CAGE IF REQUIRED. PROVIDE CURB AND FLASHING AS REQUIRED - REFER TO STRUCTURAL DRAWINGS.
21-3	SPRINKLER RISER AND FIRE DEPARTMENT CONNECTION. INCLUDE CODE REQUIRED ALARMS. COORDINATE WITH FIRE MARSHAL.
21-8	FIRE PANEL 3/4" PLYWOOD MOUNTING BOARD

REVISIONS

THIS IS A SCHEMATIC DRAWING. NOT A WORKING DRAWING. ANDERSON ASHTON IS NOT RESPONSIBLE FOR DIMENSIONS, CONSTRUCTION DETAILS, ENGINEERING DECISIONS, REGULATORY APPROVALS, OR ANY OTHER INFORMATION. IT IS HIGHLY RECOMMENDED THAT A LOCAL ARCHITECT BE ENGAGED TO DEVELOP CONTRACT DOCUMENTS BASED ON THESE SCHEMATIC DRAWINGS AND CORRESPONDING OUTLINE SPECIFICATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE DESIGN OF THE BUILDING. THE ARCHITECT SHALL BE DEVELOPED IN A CONTRACTUAL AGREEMENT.

ANDERSON ASHTON
DESIGN / BUILD
2746 South 16th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM

PRELIMINARY NOT FOR CONSTRUCTION

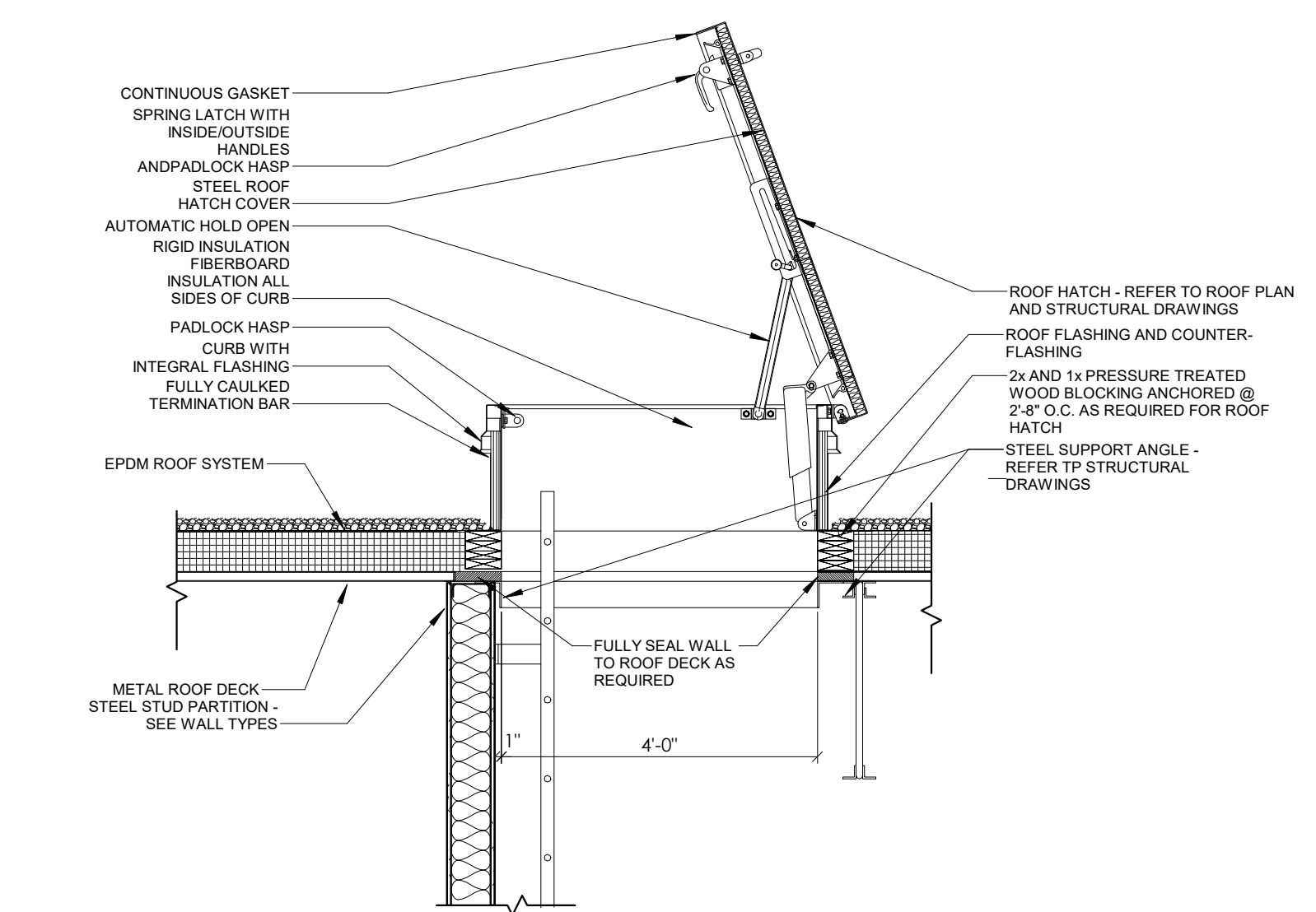
PROPOSED BUILDING FOR:
GARNI LLC

COURTNEY ST, VILLAGE OF RAYMOND, WISCONSIN 53108

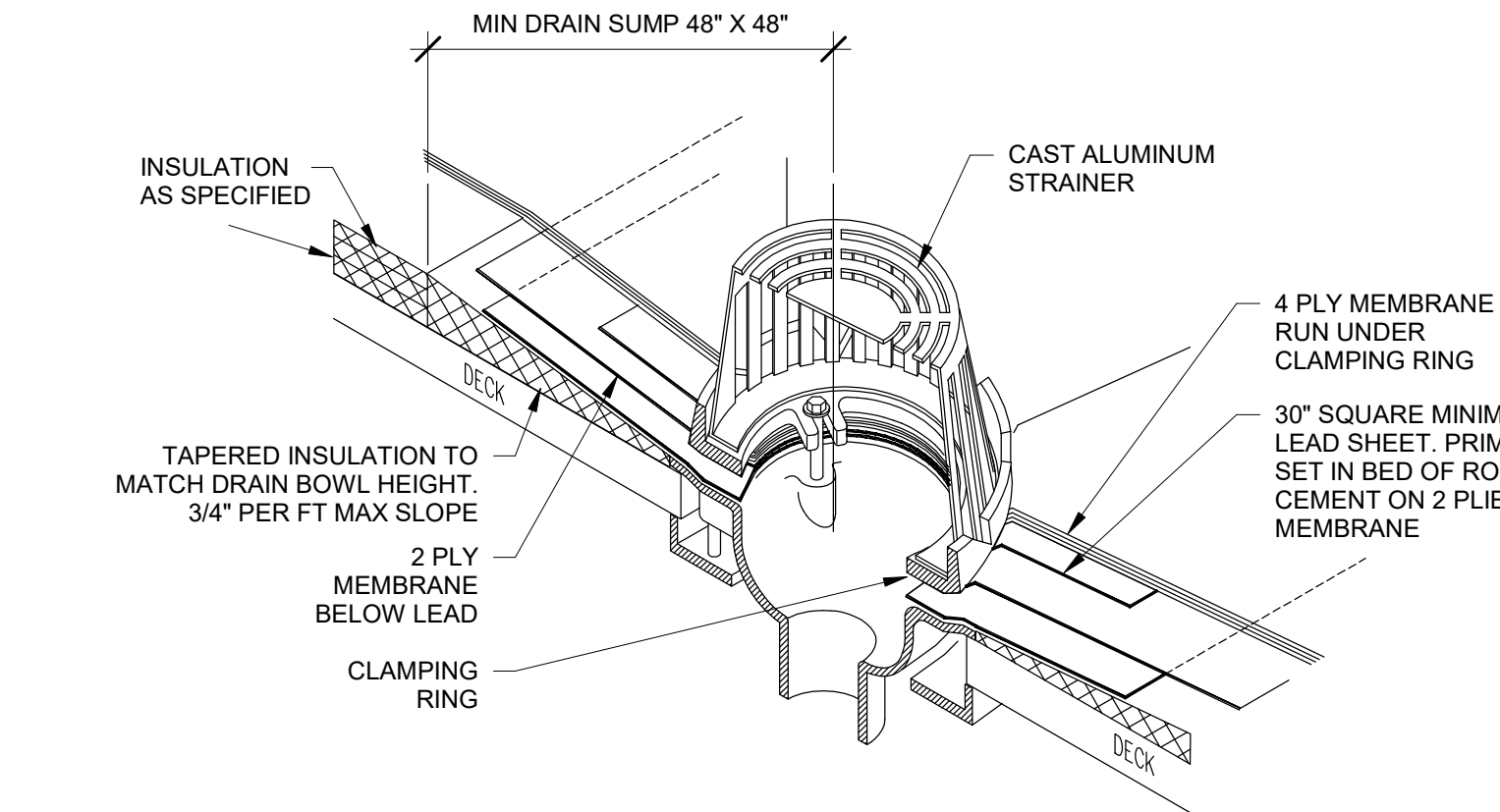
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DESIGNER: RRS
ISSUE: 4/4/2022 12:41:11 PM
SUBMITTAL DATE: XX-XX-XX
DESIGN NO. P-02140
CONSTRUCTION NO. 3978

PLANS

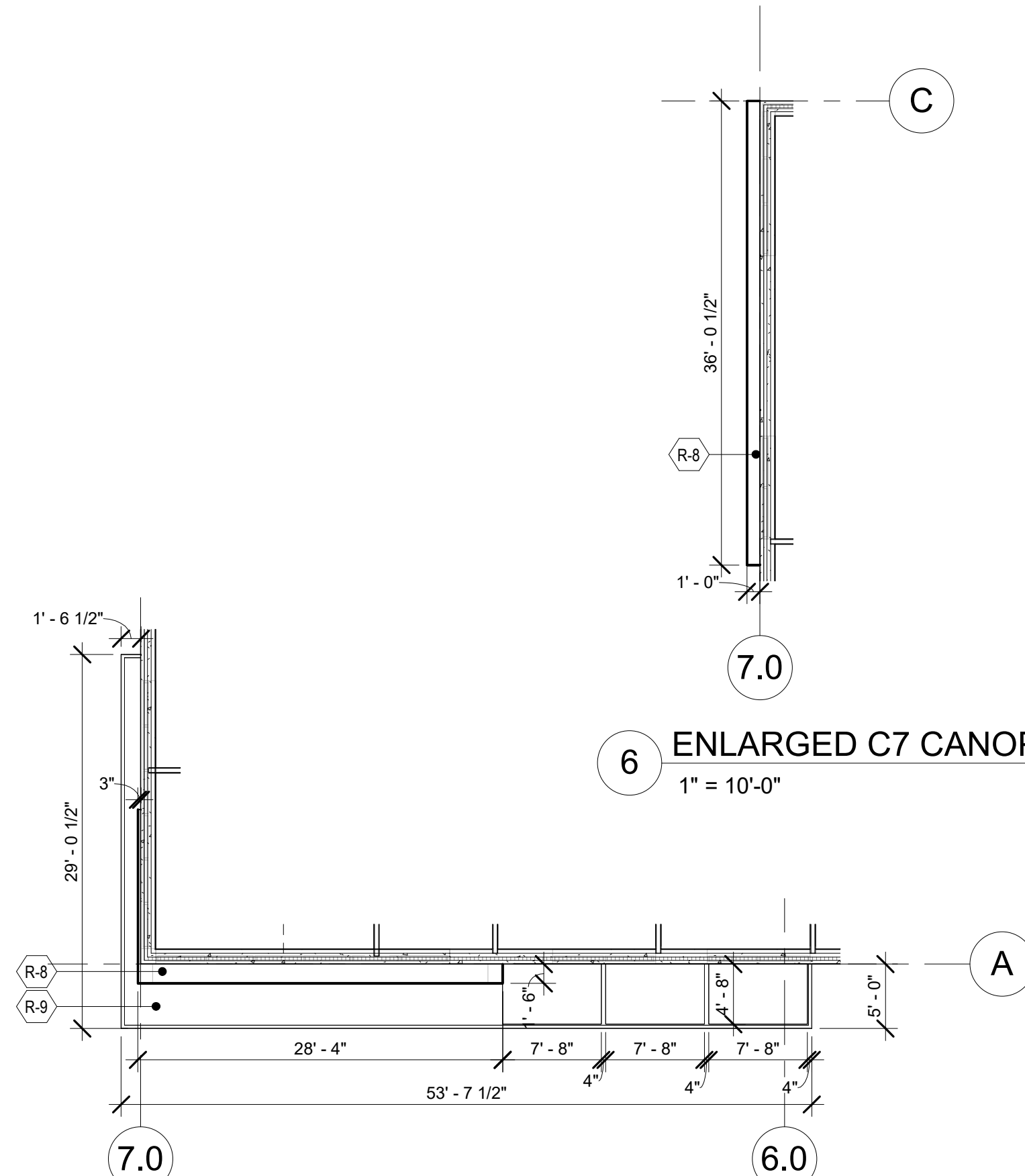
A101



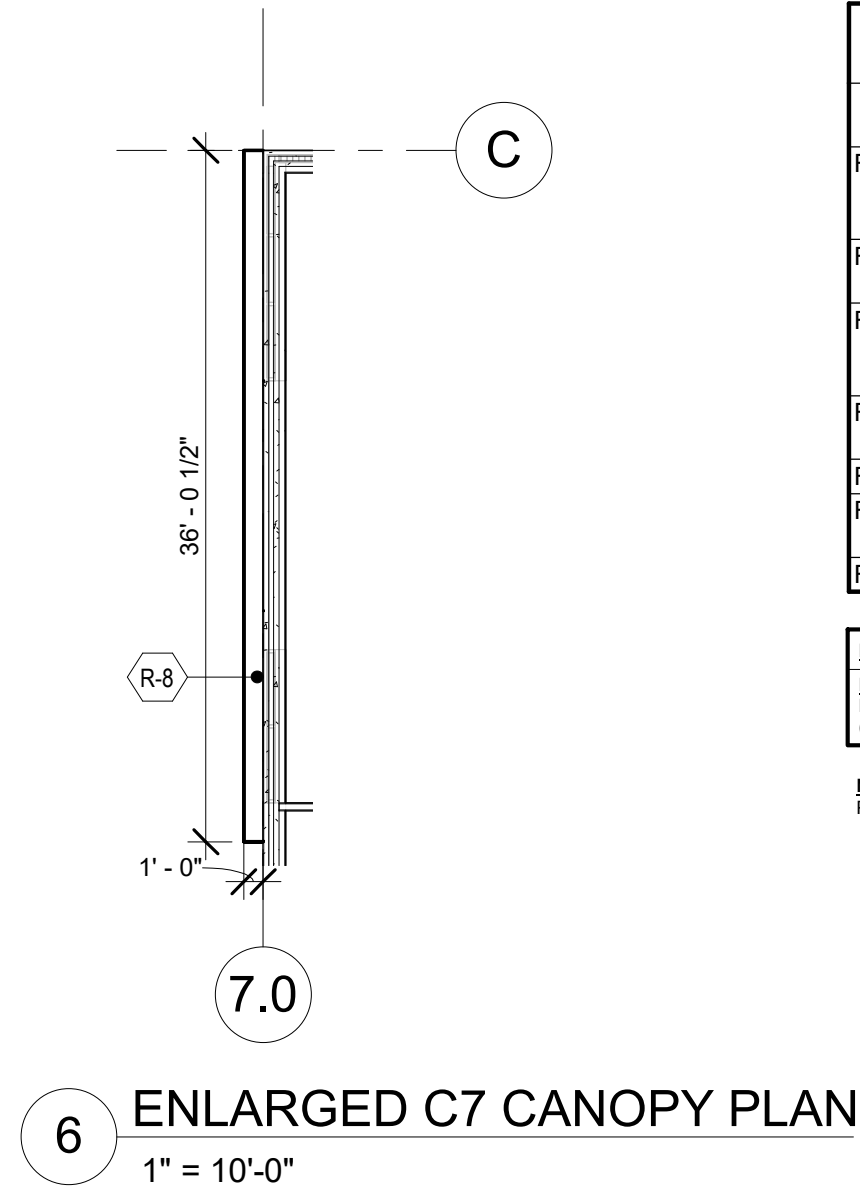
3 ROOF HATCH DETAIL
1/2" = 1'-0"



2 ROOF DRAIN DETAIL
1/2" = 1'-0"



5 ENLARGED A7 CANOPY PLAN
1" = 10'-0"

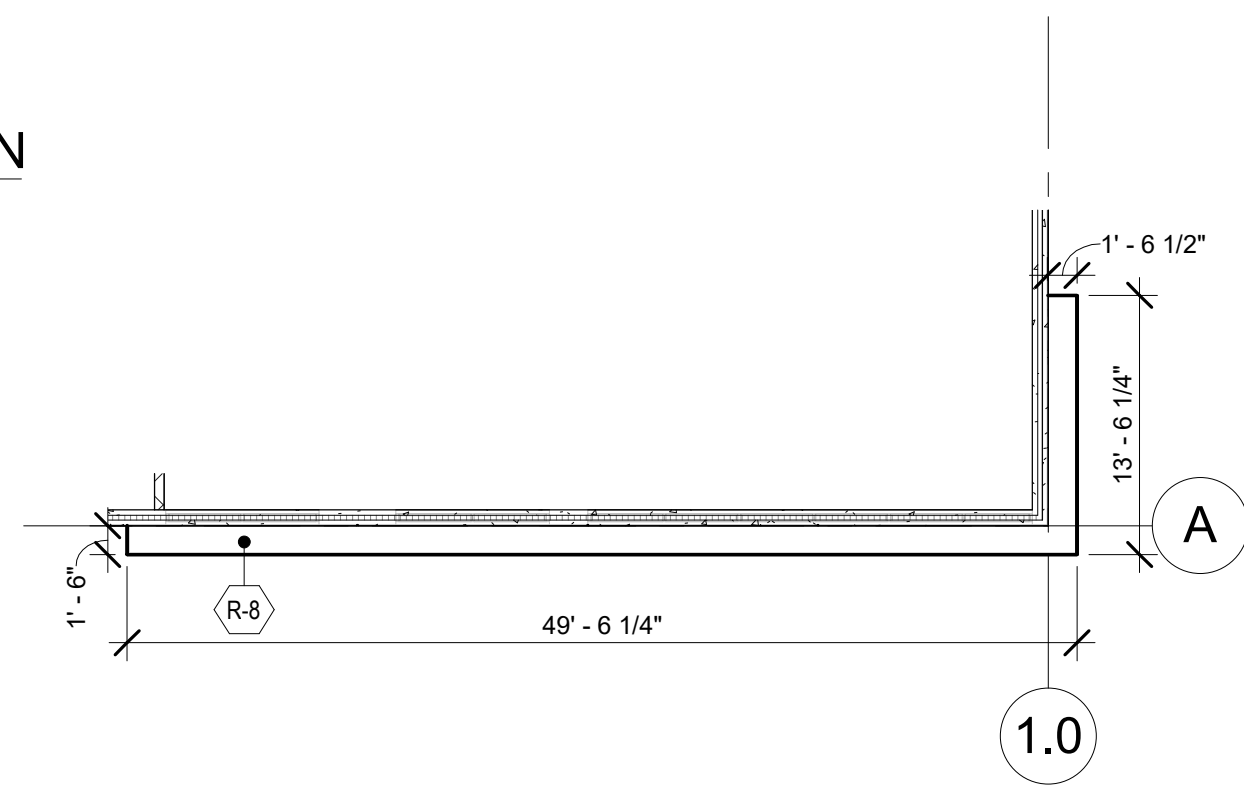


6 ENLARGED C7 CANOPY PLAN
1" = 10'-0"

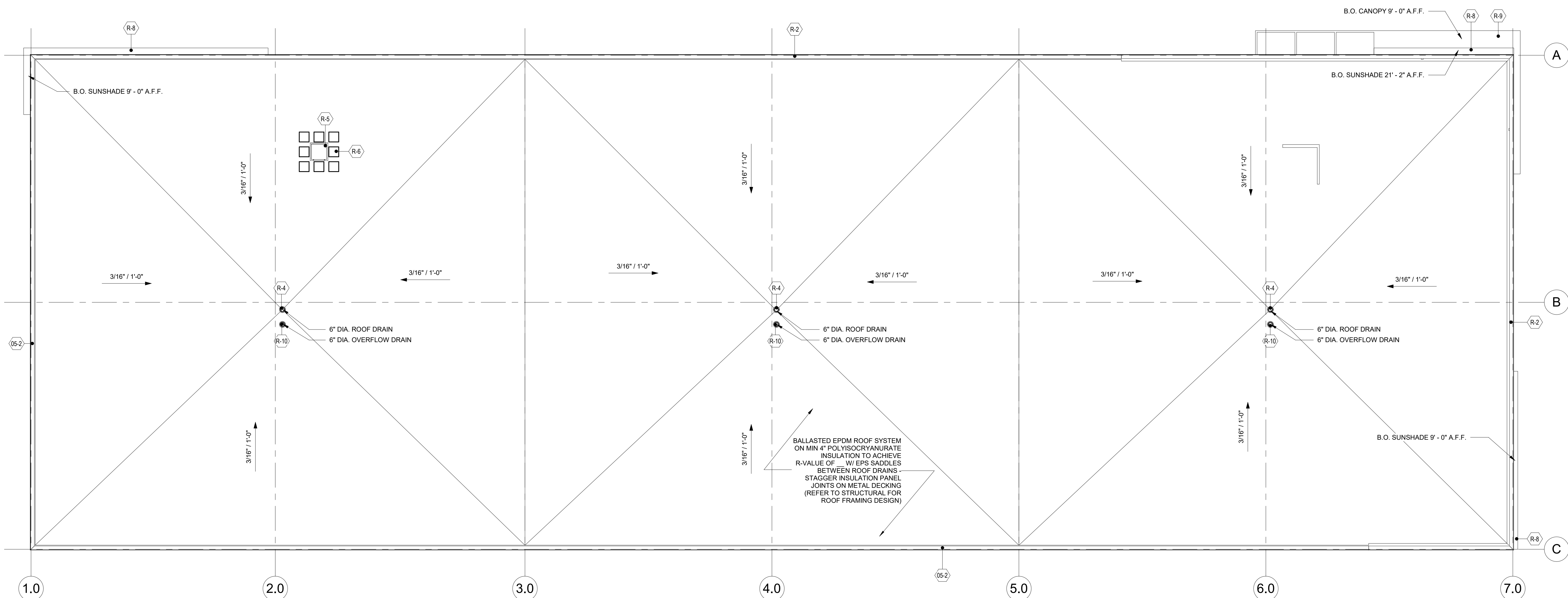
ROOF KEYNOTES	
Key Value	Keynote Text
R-2	PREFINISHED 24 GA. METAL COPING ON SINGLE 2X PRESSURE TREATED WOOD BLOCKING. EXTEND RUBBER MEMBRANE FLASHING UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL. BLOCKING BY ROOFING CONTRACTOR.
R-4	ROOF DRAIN AND SUMP PANS - REFER TO DETAIL ON ROOF PLAN SHEET. INSULATE UNDERSIDE OF PAN W/ ONE LAYER 3/4" ELASTOMERIC ADHERED INSULATION. COORD. W/ STRUCTURAL.
R-5	ROOF HATCH. PROVIDE CODE-COMPLIANT HATCH SIZE FOR USE WITH OSHA APPROVED STEEL LADDER ACCESS FROM GROUND FLOOR. PROVIDE FRAMING, CURB, FLASHING AND TAPERED INSULATION FOR DRAINAGE AROUND HATCH AS REQ'D. SEE DETAIL 2/A120.
R-6	2'X2'X2' CONCRETE PAVERS W/PROVIDE PROTECTIVE SHEET - SEE STRUCTURAL FOR REQUIREMENTS.
R-8	PREFABRICATED METAL SUNSHADE.
R-9	PREFABRICATED METAL CANOPIES, INTERNALLY SLOPED TO DOWNSPOUT - DISCHARGE TO GRADE.
R-10	OVERFLOW ROOF DRAIN - SET 2" HIGHER THAN PRIMARY ROOF DRAIN - SEE PLUMBING

ROOFING SYSTEM NOTES:
ROOF SYSTEM #1:
DIRECTLY ADHERED SINGLE PLY EPDM 60 MIL ON MIN. 5.75" EPS TYPE II (1.35 LB/CUFT) DIRECT TO DECK ON CONTINUOUS INSULATION (TWO LAYERS STAGGERED) MIN. R-25.

NOTE:
PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ANY HVAC EQUIPMENT - REFER TO HVAC PLANS FOR EXACT LOCATION.



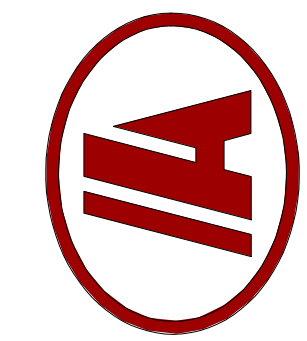
4 ENLARGED A1 CANOPY PLAN
1" = 10'-0"



ROOF PLAN
1" = 10'-0"

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New Berlin, WI 53151
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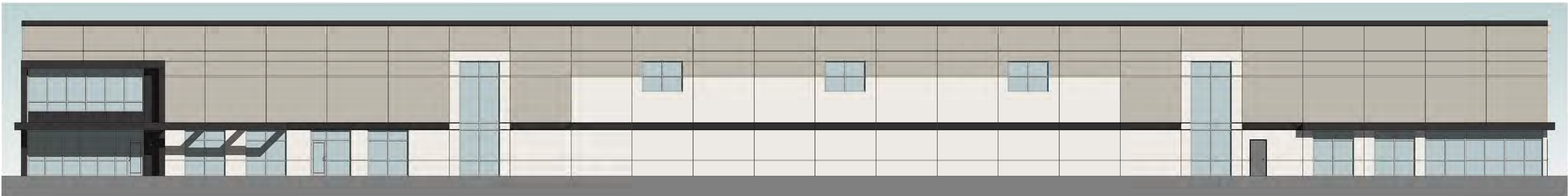
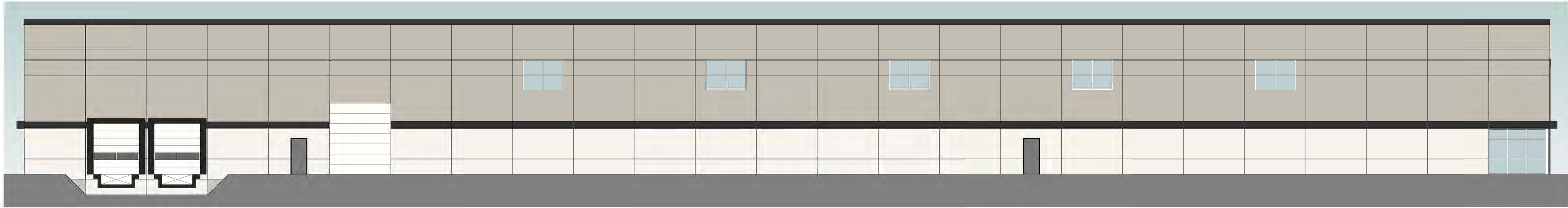
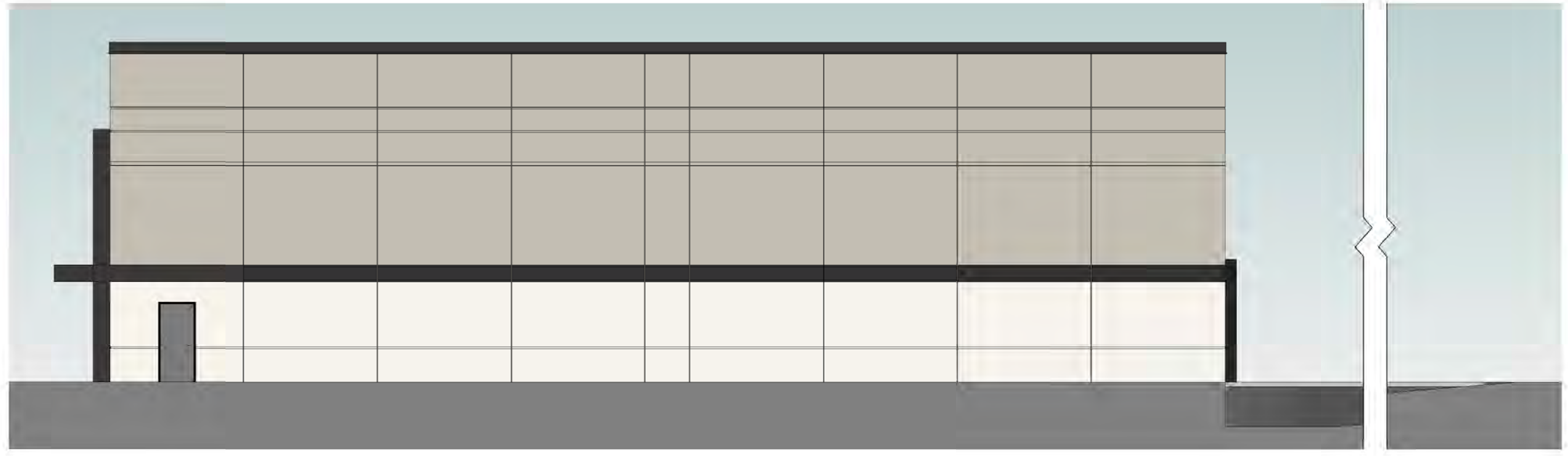
PROPOSED BUILDING FOR:
GARNI LLC

COURTNEY ST., VILLAGE OF RAYMOND, WISCONSIN 53108

DRAFTED BY: MFP
DESIGNER: RRS
ISSUE 3/18/2022 11:57:16 AM
SUBMITTAL DATE XX-XX-XX
DESIGN NO. P-02140
CONSTRUCTION NO. 3978

ROOF PLAN

A121





FRONT RIGHT VIEW



BACK ELEVATION VIEW



BACK LEFT VIEW



LEFT SIDE VIEW

REVISIONS

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ANDERSON
ASHTON

DESIGN / BUILD

2746 South 166th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM

PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED BUILDING FOR:

GARNI LLC

COURTNEY ST., VILLAGE OF RAYMOND, WISCONSIN 53108

DRAFTED BY:	MFP
DESIGNER:	RRS
ISSUE:	4/4/2022 11:49:46 AM
SUBMITTAL DATE:	XX-XX-XX
DESIGN NO.	P-02140
CONSTRUCTION NO.	3978

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3D DRAWINGS

A900



DISCLAIMER: CALCULATIONS HAVE BEEN PERFORMED ACCORDING TO IESNA & CIE STANDARDS AND GOOD PRACTICE. SOME DIFFERENCES BETWEEN MEASURED VALUES AND CALCULATED RESULTS MAY OCCUR DUE TO TOLERANCES IN CALCULATION METHODS, TESTING PROCEDURES, COMPONENT PERFORMANCE, MEASUREMENT TECHNIQUES AND FIELD CONDITIONS SUCH AS VOLTAGE AND TEMPERATURE VARIATION. INPUT DATA USED TO GENERATE THE ATTACHED CALCULATIONS SUCH AS ROOM DIMENSIONS, REFLECTANCES, FURNITURE AND ARCHITECTURAL ELEMENTS SIGNIFICANTLY AFFECT THE LIGHTING CALCULATIONS. IF THE REAL EXPERIMENTAL CONDITIONS DO NOT MATCH THE INPUT DATA, DIFFERENCES WILL OCCUR BETWEEN MEASURED VALUES AND CALCULATED VALUES.

LIGHTING NOTES:

1. MULTIPLE PARTS ARE NEEDED TO ASSEMBLE AS A COMPLETE FIXTURE.
SEE INSTALLATION INSTRUCTIONS

LIGHTING NOTES:

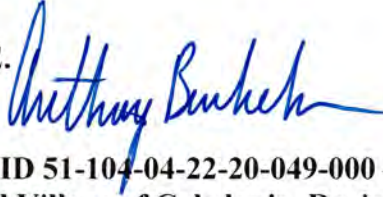
1. MULTIPLE PARTS ARE NEEDED TO ASSEMBLE AS A COMPLETE FIXTURE.
SEE INSTALLATION INSTRUCTIONS

MEMORANDUM

Date: Monday, May 16, 2022

To: Plan Commission

From: Anthony A. Bunkelman P.E.
Public Services Director



Re: Zimmerman CSM – Parcel ID 51-104-04-22-20-049-000 – SE ¼ of Section 20, T4N, R22E, Four Mile Road Village of Caledonia, Racine County, WI – Owner Zimmerman -etal, Applicant Peter Zimmerman

The Engineering Department has received a Final Certified Survey Map (CSM) from Peter Zimmerman, on behalf of Zimmerman etal. The Zimmerman property is located at the Northwest corner of Four Mile Road and County Trunk Highway H. The existing property is approximately 32 acres in size. This property has approximately 681 feet of frontage along Four Mile Road and approximately 1,100 feet of frontage along County Trunk Highway H.

The existing parcel currently vacant and is farmed.

The CSM proposes to create 4 lots. All of the lots would potentially be sold for single family residences. The lots are proposed to be 11.95 acres, 6.17 acres, 7.15 acres, and 5.77 acres in size.

The Zoning of the existing parcel is A-2. A-2 zoning requires 150' of frontage and a minimum of 40,000 square feet of area. The proposed lots exceed the minimum zoning requirements.

The Village's Comprehensive Land Use Plan calls for Agricultural, Rural Residential, and Open Land for this property. The land use plan also shows an area of Secondary Environmental Corridor. The CSM is consistent with the Village's Comprehensive Land Use Plan.

The CSM is located outside of the Sanitary Sewer & Water Service Areas. Since the CSM is located outside of the Sanitary Sewer & Water Service Area, each lot within the CSM must provide and show a suitable area for a private onsite sewerage treatment system (POWTS). Soil (Perc) tests have been performed on each of the lots to ensure that each lot is buildable. Wells will need to be placed on the sites when the single-family homes are proposed.

Access for the 3 proposed lots that have frontage along Country Trunk Highway H will need to be obtained from Racine County. The number of access points will be limited. The owner/applicant has contacted Racine County to ensure that Right of Way access will be granted for the proposed lots along County Trunk Highway H. Access notes have been placed on the CSM that were provided by Racine County. The 5.77-acre lot along 4 Mile Road will also have limited access. Four Mile Road is considered a principal thoroughfare. Lots along a principal thoroughfare are allowed 1 access. There is an existing farm access toward the West end of the lot. This farm access can either be utilized as the access for this lot or it can be relocated to a new location on the lot that is suitable for the proposed single-family home. Ultimately there shall only be one access for the lot. If the access is relocated, depending on the proposed location, a sight distance survey may be required at the time of Building Permit due to the

elevation change of the road. Any access used for this lot will need to meet all acceptable sight distance requirements.

Since Four Mile Road is a principal thoroughfare, a minimum of 45' of Right of Way will need to be dedicated to the Village. The proposed CSM includes the necessary dedication for the minimum Right of Way.

The drainage of the CSM according to the Master Drainage Plan shows 4 separate watersheds (H-41-3 & H-40-1, H-39-5, & H-39-4) for the approximately 32 acres. The lots will predominantly drain West to East to County Trunk Highway H, then East through 2 road culverts. There are 2 drainage ways depicted on the Master Drainage Plan in basins H-40-1 & H-39-5. The drainage ways will require drainage easements granted over them. The CSM has Drainage Easements granted for the drainage ways.

Due to the size and shape of the lots, individual storm water management plans and site grading plans will be required at the time of the Building Permits to install storm water management facilities and to ensure maximum flexibility in the development of the lots. A Note has been placed on the CSM to indicate this requirement.

The Wisconsin DNR Surface Water Data Viewer shows mapped wetlands on the site. The Surface Water Data Viewer also indicates that there are hydric soils that may be conducive to wetlands on the site. A Wetland Delineation was performed and submitted by the Owner to meet this requirement.

Move to recommend approval of the Zimmerman CSM on parcel 51-104-04-22-20-049-000 subject to the following:

- 1. The CSM is subject to the Land Division per Lot fee.**
- 2. The Final CSM is recorded within 1 year of approval by the Village Board.**

RACINE COUNTY CERTIFIED SURVEY MAP # _____

OF
BEING PART OF THE SOUTHEAST QUARTER OF SECTION 20, TOWN 4 NORTH, RANGE 22 EAST,
IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

OWNERS:

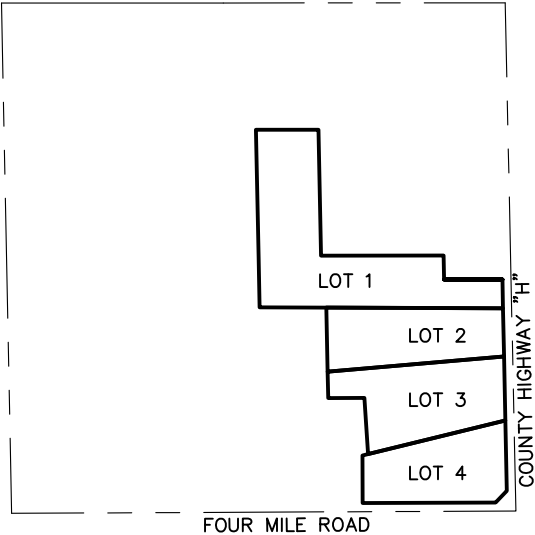
PETER P. ZIMMERMAN
3850 COLORADO COURT
RACINE, WI 53404

MARLENE M. LAMBERTON
5020 MARY DREW DRIVE
RACINE, WI 53402

DANIEL D. ZIMMERMAN
5200 ERIE STREET
RACINE, WI 53402

BRIAN A. SELIN
JEFFREY M. SELIN
5863 S. MADELINE AVE.
MILWAUKEE, WI 53221

LOCATION SKETCH
SE 1/4 20-04-24



I, KEVIN C. LEWIS, WISCONSIN REGISTERED LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE PREPARED THIS CERTIFIED SURVEY MAP; AS DIRECTED TO MAKE SAID SURVEY, DIVISION AND MAP BY THE OWNERS PETER P. ZIMMERMAN, DANIEL D. ZIMMERMAN, MARLENE M. LAMBERTON, BRIAN A. SELIN AND JEFFREY M. SELIN; THE BOUNDARIES OF WHICH ARE DESCRIBED AS FOLLOWS:

PART OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 4 NORTH, RANGE 22 EAST, IN THE TOWN OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN. COMMENCING AT THE SOUTHEAST QUARTER CORNER OF SAID SECTION 20; THENCE NORTH 89 DEGREES 44 MINUTES 26 SECONDS EAST ALONG THE SOUTH LINE OF SAID QUARTER SECTION, 798.10 FEET. THENCE NORTH 00 DEGREES 15 MINUTES 34 SECONDS WEST, 33.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00 DEGREES 15 MINUTES 34 SECONDS WEST, 260.11 FEET; THENCE NORTH 76 DEGREES 19 MINUTES 56 SECONDS EAST, 30.32 FEET; THENCE NORTH 03 DEGREES 47 MINUTES 27 SECONDS WEST, 292.84 FEET; THENCE SOUTH 89 DEGREES 44 MINUTES 26 SECONDS WEST, 188.50 FEET; THENCE 01 DEGREES 10 MINUTES 04 SECONDS WEST, 471.72 FEET; THENCE NORTH 89 DEGREES 45 MINUTES 59 SECONDS WEST, 347.75 FEET; THENCE NORTH 01 DEGREES 10 MINUTES 04 SECONDS WEST, 925.11 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 06 SECONDS EAST, 325.50 FEET; THENCE SOUTH 01 DEGREES 12 MINUTES 17 SECONDS EAST, 656.00 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 06 SECONDS EAST, 303.49 FEET TO THE WEST RIGHT OF WAY LINE OF COUNTY HIGHWAY "H"; THENCE SOUTH 01 DEGREES 12 MINUTES 17 SECONDS EAST ALONG SAID WEST RIGHT OF WAY LINE OF COUNTY HIGHWAY "H", 1100.71 FEET; THENCE SOUTH 43 DEGREES 48 MINUTES 34 SECOND WEST, TO THE SOUTH RIGHT OF WAY LINE OF SAID FOUR MILE ROAD, 101.01 FEET; THENCE SOUTH 89 DEGREES 44 MINUTES 26 SECONDS WEST ALONG SAID SOUTH RIGHT OF WAY LINE OF FOUR MILE ROAD, 681.10 FEET TO THE POINT OF BEGINNING.

DEDICATING THE SOUTHERLY 12.00 FEET FOR PUBLIC ROAD PURPOSES.

THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF S. 236.34 OF THE WISCONSIN STATE STATUTES AND THE VILLAGE OF CALEDONIA LAND DIVISION ORDINANCE IN SURVEYING, MAPPING AND DIVIDING THE SAME.

SURVEYOR
DATED THIS _____ DAY OF _____, A.D. 2022.

KEVIN C. LEWIS
WISCONSIN REGISTERED LAND SURVEYOR S-2775

REVISED: 05/09/2022
PREPARED: 04/28/2022

PROJECT NUMBER
21341

CERTIFIED SURVEY MAP
ZIMMERMAN FARM
4 MILE ROAD
CALEDONIA, WISCONSIN

**CONSULTING, INC.**
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
300 MARQUARDT DRIVE WHEELING, ILLINOIS 60090 PH. (847) 215-1133 | FAX (847) 215-1177
1129 MAIN STREET UNION GROVE, WISCONSIN 53182 PH. (262) 878-6200 | ig@igconsulting.net

PREPARED FOR: PETER ZIMMERMAN		SCALE: N/A	
FIELD CREW: D.J.	FIELD WORK: 04/20/2021	DRAFTED BY: S.R.M.	CHECKED BY:

FIRM NO. 184-001330

RACINE COUNTY CERTIFIED SURVEY MAP #

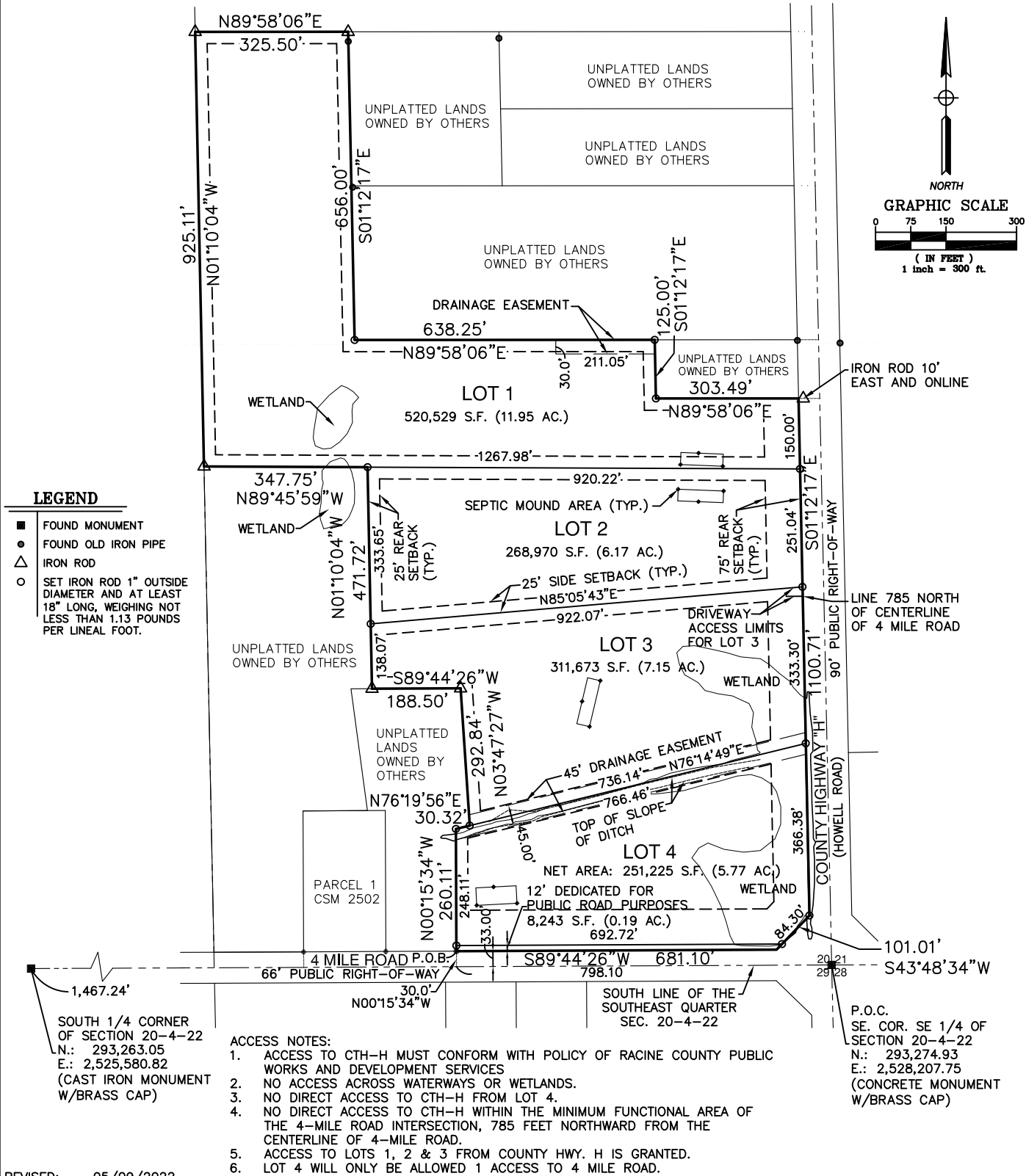
OF
BEING PART OF THE SOUTHEAST QUARTER OF SECTION 20, TOWN 4 NORTH, RANGE 22 EAST,
IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

BEARINGS HEREON REFER TO GRID
NORTH, STATE PLANE COORDINATE
SYSTEM SOUTH ZONE. SOUTH LINE
PUBLISHED AS N89°44'26"E.

NOTE:
-WETLANDS DELINEATED BY HEARTLAND ECOLOGICAL
GROUP INC. PER REPORT DATED APRIL 28, 2022
-INDIVIDUAL STORM WATER MANAGEMENT AND SITE
GRADING PLANS ARE TO BE DONE AT TIME OF
BUILDING PERMITS FOR THESE LOTS.

SUBJECT PROPERTY ZONING:
A-2: GENERAL FARMING DISTRICT II
TAX KEY NUMBER:
104-04-22-20-049-000

SETBACKS:
STREET = 75'
SIDE = 25'
REAR = 25'



RACINE COUNTY CERTIFIED SURVEY MAP # _____

OF
BEING PART OF THE SOUTHEAST QUARTER OF SECTION 20, TOWN 4 NORTH, RANGE 22 EAST,
IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

OWNER’S CERTIFICATE OF DEDICATION

AS OWNERS, WE HEREBY CERTIFY THAT WE CAUSED THE LAND DESCRIBED TO THIS PLAT TO BE SURVEYED, DIVIDED, DEDICATED AND MAPPED AS REPRESENTED ON THIS PLAT. WE ALSO CERTIFY THAT THIS CERTIFY SURVEY MAP IS REQUIRED BY S.236.34 TO BE SUBMITTED TO THE VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN FOR APPROVAL.

OWNER _____ OWNER _____
DANIEL D. ZIMMERMAN MARLENE M. LAMBERTON

OWNER _____ OWNER _____
BRIAN A. SELIN JEFFREY M. SELIN

OWNER _____
PETER ZIMMERMAN

STATE WISCONSIN}
SS
RACINE COUNTY }

THE ABOVE NAMED DANIEL D. ZIMMERMAN, MARLENE M. LAMBERTON, BRIAN A. SELIN, JEFFREY M. SELIN AND PETER ZIMMERMAN, KNOWN TO ME TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME,

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20_____

MY COMMISSION EXPIRES _____
NOTARY PUBLIC
PRINT NAME HERE _____

VILLAGE OF CALEDONIA VILLAGE BOARD APPROVAL:
APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF CALEDONIA ON THIS _____
DAY OF _____, 20_____.

DATE _____
VILLAGE CLERK _____

REVISED: 05/09/2022
PREPARED: 04/28/2022

PROJECT NUMBER
21341

CERTIFIED SURVEY MAP
ZIMMERMAN FARM
4 MILE ROAD
CALEDONIA, WISCONSIN

**CONSULTING, INC.**

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PREPARED FOR: PETER ZIMMERMAN			SCALE: N/A
FIELD CREW: D.J.	FIELD WORK: 04/20/2021	DRAFTED BY: S.R.M.	CHECKED BY:

FIRM NO. 184-001330