



VILLAGE OF CALEDONIA UTILITY DISTRICT MEETING AGENDA

Wednesday, December 7, 2022 – 6:00 p.m.

Caledonia Village Hall – 5043 Chester Lane

THIS WILL BE AN IN-PERSON MEETING

***Amended**

- 1. Meeting Called to Order**
- 2. Roll Call**
- 3. Approval of Minutes**
 - a. Utility District Regular Meeting – October 12, 2022
- 4. Public Hearing**
 - a. Central Lift Station and Attenuation Basin Facilities Plan
- 5. Citizen Comments**
- 6. Communications and Announcements**
 - a. Racine Water Utility Agenda & Minutes
 - b. Racine Wastewater Utility Agenda & Minutes
- 7. Approval of O&M Bills**
 - a. O&M Bills related to the Sewer Utility District
 - b. O&M Bills related to the Water Utility District
 - c. O&M Bills related to the Storm Water Utility District
- 8. Project Updates**
 - a. Construction Contract Status
 - b. Riverbend Lift Station Safety Site, Lift Station & Forcemain Upgrade
 - c. Annual Televising Program – Sanitary Sewer
 - d. Water Impact Fee / Sewer Connection Fee Update
 - e. Hoods Creek Attenuation Basin Expansion
 - f. Central Lift Station Safety Site & Attenuation Basin
 - g. North Kremer Watermain Project
 - h. Dominican Lift Station Rehab Project
 - i. Concord Apartments Meter Vault
 - j. Washington Meadows Watermain Project
 - k. TID #4 Elevated Storage Tank & Adams Road Watermain
 - l. Hoods Creek – Aldebaran Brushing Project
 - m. Douglas Avenue OMG Ditch Project
 - n. Turtle Creek Restoration
 - o. Westview Village Storm Improvements
- 9. Action Items**
 - a. STH 32 Stream Restoration Change Order #1
 - b. Bluffside Storm Water Management Plan Approval
 - c. Bluffside Site Improvement Plan Approval
 - d. Bluffside Final Plat Approval
 - e. Vinvan Development LLC Storm Water Easement - 419 4 Mile Road Authorization of Signatures
 - f. ERU Fee Setting Resolution for Village Board
 - g. Hoods Creek Attenuation Basin Expansion Change Order #4
 - h. Hoods Creek Attenuation Basin Expansion Change Order #5
 - i. Utility Operator's On-Call Policy
- 10. Adjournment**

**Village of Caledonia Utility District Meeting
October 12, 2022**

- 1. Meeting Called to Order** – The Regular Meeting of the Village of Caledonia Utility District was held on Wednesday, October 12, 2022. The meeting was called to order by President Howard Stacey at 6:01 pm.
- 2. Roll Call** – Those present were President Howard Stacey, Commissioners Michael Pirk, Robert Kaplan, and Trustee Lee Wishau. Commissioners John Strack, Dave Ruffalo and Tony Minto were excused. Also, present were Utility Operations Supervisor Robert Lui, and Public Services Director Anthony Bunkelman.
- 3. Approval of Minutes**
 - a. Upon a motion by Trustee Wishau and seconded by Commissioner Pirk, the Commission approved the minutes from the Utility District's previous regular meeting held September 7, 2022. A copy of the minutes has been furnished to each Commissioner. **Motion carried.**
- 4. Citizen Comments – None**
- 5. Communications and Announcements**
 - a. **Racine Water Utility Agenda & Minutes**

The Commission looked over the agenda and minutes from the September 20th meeting of the Racine Water Utility. Director Bunkelman gave a brief summary of the action taken by the Utility.
 - b. **Racine Wastewater Utility Agenda & Minutes**

The Commission looked over the agenda and minutes from the September 20th meeting of the Racine Wastewater Utility. Director Bunkelman gave a brief summary of the action taken by the Utility.
- 6. Approval of O&M Bills**
 - a. Upon a motion by Commissioner Pirk and seconded by Trustee Wishau, the Commission approved payment of O&M Bills, related to the Sewer Utility District totaling \$2,981,022.20. **Motion carried.**
 - b. Upon a motion by Trustee Wishau and seconded by Commissioner Pirk, the Commission approved payment of O&M Bills, related to the Water Utility District totaling \$34,222.07. **Motion carried.**
 - c. Upon a motion by Trustee Wishau and seconded by Commissioner Pirk, the Commission approved payment of O&M Bills related to the Storm Water Utility District totaling \$40,248.55. **Motion carried.**

DRAFT

7. Project Updates

a. Construction Contract Status

The current contract statuses were shared with the Commissioners.

b. Riverbend Lift Station Safety Site, Lift Station & Forcemain Upgrade

Working on Facility Plan. Looking to schedule additional flow monitoring and looking at a potential site near the Root River Interceptor for a potential storage tank.

c. Annual Televising Program – Sanitary Sewer

Continuing to perform repairs that staff can perform.

DRAFT

d. Water Impact Fee / Sewer Connection Fee Update

Reviewing information received.

e. Hoods Creek Attenuation Basin Expansion

Base slab pours and wall pours continue. Resolved issues with muffler exhaust and power issue for splitter building.

f. Central Lift Station Safety Site & Attenuation Basin

Scheduled Public Hearing for the Facility Plan for November 2nd. Continue to work on Preliminary Design. Proposed to be bid in April 2023 with Construction May 2023 – July 2024.

g. North Kremer Watermain Project

Restoration Completed. Will be following through on punch list items.

h. Dominican Lift Station Rehab Project

Received 2 Change Orders for project for issues that came up. On agenda for action. Received email from LW Allen about pumps ordered. Both pumps arrived but one pump has a faulty motor and will be returned to Fairbanks. Awaiting response from Fairbanks on when motor will be repaired and delivered.

i. Concord Apartments Meter Vault

Awaiting PTS to perform work.

j. Washington Meadows Watermain

Schedule for work tentatively for Fall of 2022 or Spring of 2023. Will have a Pre-Construction Meeting prior to work beginning.

k. TID #4 Elevated Storage Tank & Adams Road Watermain

Design continues.

l. Hoods Creek – Aldebaran Brushing Project

Left another message with Contractor about getting quote for work.

m. Douglas Avenue – OMG Ditch Project

Project awarded at the September 19th Village Board meeting. Awaiting crops to come off of the field.

n. Turtle Creek Restoration

Forwarded relocation order and necessary information to begin appraisal process.

o. Westview Village Storm Improvements

Contractor has performed work. Awaiting Change Order for time on contract and Pay Request.

DRAFT

8. Action Items

a. Caledonia Utility District 2023 Budget

Director Bunkelman gave a brief overview of the 2023 Budget for Sanitary Sewer, Water, and Storm Water.

Commissioner Kaplan moved to recommend to the Village Board that the Caledonia Utility District 2023 Budget as presented be approved. Seconded by Commissioner Pirk. **Motion carried.**

b. Dominican Lift Station Improvements Change Order #3

Trustee Wishau moved to approve Change Order #3 for adding the location of the Private Watermain, the revised schedule to extend the Substantial Completion and Final Completion dates, adjust the light pole base, and revise the grading plan to remove conflicting information. Seconded by Commissioner Pirk. **Motion carried.**

c. Dominican Lift Station Improvements Change Order #4

Commissioner Pirk moved to approve Change Order #4 for patching and sealing two additional holes in the wet well for an increase in cost of \$1,382.00. Seconded by Commissioner Kaplan. **Motion carried.**

9. Adjournment

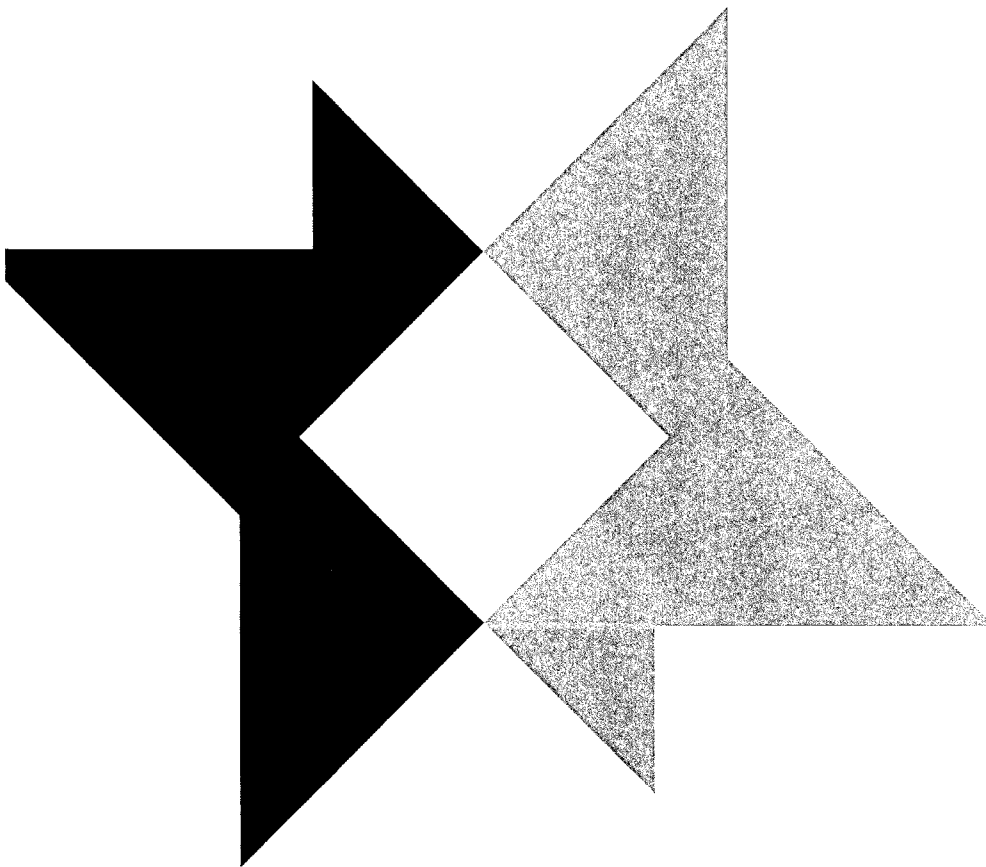
Upon a motion by Commissioner Kaplan and seconded by Commissioner Pirk, the Commission moved to adjourn the regular meeting at 6:39pm. **Motion carried.**

Respectively submitted,
Anthony A. Bunkelman P.E.
Public Services Director



Report

Facilities Plan for the Central Lift Station and Attenuation Basin



Caledonia Utility District

Racine, County, Wisconsin

December 2021

Project I.D.: 19C030.06

Facilities Plan for the Central Lift Station and Attenuation Basin

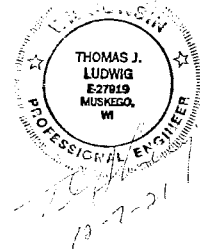
Project ID: 19C030.06

Prepared for
Caledonia Utility District

333 4 ½ Mile Road
Racine, WI 53402

Prepared by
Foth Infrastructure & Environment, LLC

December 2021



REUSE OF DOCUMENTS

This document has been developed for a specific application and not for general use; therefore, it may not be used without the written approval of Foth. Unapproved use is at the sole responsibility of the unauthorized user.

Facilities Plan for the Central Lift Station and Attenuation Basin Caledonia Utility District

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Facilities Plan for the Central Lift Station and Attenuation Basin

Executive Summary

Project Summary

Foth Infrastructure & Environment, LLC (Foth) was retained by the Caledonia Utility District (CUD) to prepare a facilities plan for the Central Lift Station and Attenuation Basin. The Central Lift Station was installed in 1987 and serves the eastern portion of the CUD, generally bounded by 3 Mile Road to the south, 7 Mile Road to the north, Lake Michigan to the east, and the Union Pacific Railroad and STH 31 to the west. The lift station pumps wastewater through a 30-inch force main to the Racine Water and Wastewater Utility (RWWU) collection system for further conveyance and treatment. Future growth within the Central Lift Station Sewer Service Area (SSA) will increase wastewater flows to the lift station, however, flow allocations to the RWWU remain unchanged. Additionally, elements of the lift station have reached the end of their service life. A facilities plan must be approved by the Wisconsin Department of Natural Resources (WDNR) prior to completing design.

Purpose

The purpose of the facilities plan is to identify components of the existing lift station that are in need of rehabilitation and to recommend designs for flow attenuation and safety site conveyance. Flow attenuation involves on-site storage of wastewater flows in excess of the allowable flow to the RWWU collection system, and is commensurate with the findings of the current RWWU Facilities Plan. Safety site conveyance involves routing flow above the allowable flow to the RWWU to a surface water outfall once the storage system is full or filling at capacity. This document facilitates a review by the WDNR with respect to applicable sections of the Wisconsin Administrative Code.

Scope

The following tasks were completed as a part of this facilities plan and are necessary to evaluate potential alternatives and develop a summary of the recommended improvements:

- ◆ Review historical flow data.
- ◆ Review current land use and development within the sewer service area.
- ◆ Summarize current flows for average and peak hour conditions.
- ◆ Provide a general description of the sewer service area.
- ◆ Perform endangered species and historical/archeological reviews of the site.
- ◆ Summarize design criteria for the existing lift station.
- ◆ Estimate future growth within the sewer service area.
- ◆ Develop future flow projections for average and peak hour conditions.
- ◆ Use a computer model of the sewer system to determine design storm hydrographs.

- ◆ Analyze the capacity of existing infrastructure with respect to future flows.
- ◆ Evaluate lift station, attenuation basin, and safety site system alternatives.
- ◆ Perform a total present worth analysis for the proposed alternatives.
- ◆ Provide recommendations for rehabilitation of the existing lift station.
- ◆ Develop a capital cost estimate for recommended improvements.
- ◆ Prepare an implementation schedule for the project.
- ◆ Determine the parallel cost percentage for the Clean Water Fund loan.

Conclusions

Based on the findings of this report, the following is a summary of conclusions for the Central Lift Station and Attenuation Basin:

- ◆ No endangered resources were found within the site boundaries that required follow-up actions.
- ◆ The existing lift station site was not found to be an area of historical or archeological significance.
- ◆ Wastewater flows are anticipated from primarily residential development in the sewer service area, with some minor contributions from commercial and governmental and institutional development.
- ◆ The projected design average annual flow rate is 4.5 MGD.
- ◆ The projected design peak hour flow rate is 27.3 MGD.
- ◆ The modeled 2040 5-Year 6-Hour Storm peak instantaneous flow rate is 27.9 MGD.
- ◆ The modeled 2040 5-Year 12-Hour Storm produces the greatest required storage volume, which is 3.6 MG.
- ◆ The modeled 2040 100-Year 24-Hour Storm peak instantaneous flow rate is 35.0 MGD.
- ◆ The existing north 36-inch sewer is of adequate size for continued use with 2040 flows, however the existing south 21-inch sewer will surcharge under the same conditions.
- ◆ The existing lift station wet well is of adequate size for continued use with 2040 flows.
- ◆ The existing wastewater pumps are suitable for continued use during 2040 flows.
- ◆ The existing force main is of adequate size for continued use during 2040 flows.
- ◆ The existing storm sewer does not have sufficient available capacity for use as a safety site conveyance pipe.
- ◆ The most cost effective attenuation basin design is a covered concrete basin with consecutive channels and an above grade, pumped in, gravity out layout.
- ◆ The most cost effective combined alternative is Alternative B, which consists of a new attenuation basin and reconfiguration of the existing lift station to address all pumping operations. However, Alternative A2, which consists of a new attenuation basin and attenuation pumping station with no modifications to the existing lift station pumps, is within 10-percent of Alternative B on a 20-year total present worth basis and can therefore be considered of equal cost.

- ◆ The most cost effective safety site alternative is the Pressure Conveyance Alternative.
- ◆ The total capital cost of the recommended improvements is estimated to be \$22,460,000.
- ◆ The RWWU WWTP will receive flows from the Central Lift Station. It is capable of treating the type of wastewater that is expected. Flow allocations to the WWTP will not change through the year 2040.
- ◆ The project may be funded through the Clean Water Fund loan program, with payments made using user charge system revenue.
- ◆ The parallel cost percentage for the recommended improvements is 100%.

Recommendations

In accordance with the previously identified conclusions, the following is a summary of recommendations for the Central Lift Station and Attenuation Basin:

- ◆ The 21-inch interceptor discharging into the lift station from the south catchment should be evaluated for I/I and upsized for future flows.
- ◆ The recommended global alternative is the Existing Lift Station Rehabilitation and On-Site Storage Alternative.
- ◆ The recommended on-site storage alternative is the Covered Concrete Attenuation Basin Alternative.
- ◆ The recommended attenuation basin channel configuration alternative is the Consecutive Channel Alternative.
- ◆ The recommended attenuation basin layout alternative is the Above Grade, Pumped In, Gravity Out Layout Alternative.
- ◆ The recommended combined alternative is Alternative A2, which consists of a new attenuation basin and attenuation pumping station with no modifications to the existing lift station pumps.
- ◆ The recommended safety site conveyance alternative is the Pressure Conveyance Alternative.
- ◆ The existing lift station pumps and piping should be retained for continued use.
- ◆ The existing lift station structure should be retained for continued use.
- ◆ The new attenuation basin and pumping station should be constructed on the existing lift station site.
- ◆ Do not phase construction of the attenuation basin or attenuation pumping station.
- ◆ Phase construction of the safety site force main according to future trends in peak flow.
- ◆ Perform a condition assessment and capacity analysis for the existing large pumps.
- ◆ The existing lift station should be rehabilitated to facilitate continued use, including replacement of the electrical and controls systems and standby generator.
- ◆ Provide miscellaneous repairs to the existing lift station building and support systems as needed based on the condition of items to be retained.

- ◆ Submit the facilities plan to the WDNR for review and approval in December 2021.
- ◆ Hold a public hearing for the project in February 2022.
- ◆ Start design of the Central Lift Station and Attenuation Basin improvements in March 2022.
- ◆ Start construction of the Central Lift Station and Attenuation Basin improvements in March 2023.
- ◆ Complete construction of the Central Lift Station and Attenuation Basin improvements by September 2024.



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Agenda Waterworks Commission

Monday, October 17, 2022

4:00 PM

City Hall, Room 207 A/B

ROLL CALL

0763-22 **Subject:** Approval of Minutes for the September 20, 2022, Meeting

Attachments: water minutes_09.20.22

0770-22 **Subject:** Change Order No. 1 on Contract W-21-4, 2021 Pavement Restoration, Conventional Concrete Systems (Contractor)

Attachments: co#1_w-21-4_2021_pavemt_restoration
 co#1_w-21-4_ltr_to_comsrs

0764-22 **Subject:** Request for Final Payment on Contract W-21-4, 2021 Pavement Restoration, Conventional Concrete Systems (Contractor)

Attachments: w-21-4_rwp_payout_req.
 w-21-4_rwp_penalty_assessmt_ltr
 w-21-4_2021_final_payment_ltr_to_comsrs

0765-22 **Subject:** Proposal from CDM Smith for Engineering Design of the Gravity Filtration System Rehabilitation Project

Attachments: cdm_smith_proposal_grav_filtration_syst_rehab_proj.

0766-22 **Subject:** Request from Utility Director for Authorization to submit Intent to Apply (ITA) and Priority Evaluation and Ranking Form (PERF) to the Department of Natural Resources (DNR) for Filtration System Rehabilitation Project

0767-22 **Subject:** Resolution regarding Declaration of Official Intent to reimburse Filtration System Rehabilitation Project

Attachments: rwu_resolution_filtration_system_rehab_proj

0768-22 **Subject:** Request from Utility Director for Authorization to submit Intent to Apply (ITA) and Priority Evaluation and Ranking Form (PERF) to the Department of Natural Resources (DNR) for Water Main Replacement

Project

0769-22

Subject: Request from Utility Director for Authorization to submit Intent to Apply (ITA) and Priority Evaluation and Ranking Form (PERF) to the Department of Natural Resources (DNR) for Lead Service Line Replacement Project

Adjournment

If you are disabled and have accessibility needs or need information interpreted for you, please contact the Water Utility Administration Office at 262.636.9181 at least 48 hours prior to this meeting.



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Minutes - Draft

Waterworks Commission

Monday, October 17, 2022

4:00 PM

City Hall, Room 207 A/B

ROLL CALL

PRESENT: 5 - Natalia Taft, John Tate II, Cory Mason, Paul Vornholt and Stacy Sheppard

EXCUSED: 3 - Matthew Rejc, Trevor Jung and Jason Meekma

0763-22

Subject: Approval of Minutes for the September 20, 2022, Meeting

Recommendation: Approve

A motion was made by City Administrator Vornholt, seconded by Sheppard, that this file be Approved

0770-22

Subject: Change Order No. 1 on Contract W-21-4, 2021 Pavement Restoration, Conventional Concrete Systems (Contractor)

Recommendation: Approve

Water Utility Director presented change order no. 1 on Contract W-21-4 in the amount of \$10,568.79, bringing the total contract amount to \$316,568.79, and recommended for approval.

A motion was made by Secretary Taft, seconded by Sheppard, that this file be Approved

0764-22

Subject: Request for Final Payment on Contract W-21-4, 2021 Pavement Restoration, Conventional Concrete Systems (Contractor)

Recommendation: Approve

Water Utility Director submitted final pay request on Contract W-21-4, and recommended for approval that the work performed by Contractor be accepted and final payment authorized for a contract total of \$316,568.79, while noting that City Purchasing has reviewed Contractor performance under the Racine Works Program (RWP) per City of Racine Ordinance Section #46-41 and recommends a \$12,751.00 penalty assessment for RWP non-compliance (based on the minimum \$10,000.00 penalty plus court costs).

A motion was made by Mayor Mason, seconded by Sheppard, that this file be Approved with retainage of \$7,650.00 as a potential Racine Works Program penalty, and referral to the City Attorney's Office for potential prosecution.

0765-22

Subject: Proposal from CDM Smith for Engineering Design of the Gravity Filtration System Rehabilitation Project

Recommendation: Approve

Mark White from CDM Smith gave a presentation on the preliminary engineering study of the Gravity Filtration System Rehabilitation Project. The cost of the proposal for project engineering design and project bidding is \$647,684.00

A motion was made by City Administrator Vornholt, seconded by Secretary Taft, that this file be Approved

0766-22

Subject: Request from Utility Director for Authorization to submit Intent to Apply (ITA) and Priority Evaluation and Ranking Form (PERF) to the Department of Natural Resources (DNR) for Filtration System Rehabilitation Project

Recommendation: Approve

Water Utility Director requested authorization from the Commission to submit Intent to apply (ITA) and Priority Evaluation and Ranking Form (PERF) to the Department of Natural Resources (DNR) for the FY 2024 SDWLP funding of the Filtration System Rehabilitation Project.

Approved

0767-22

Subject: Resolution regarding Declaration of Official Intent to reimburse Filtration System Rehabilitation Project

Recommendation: Approve

Water Utility Director presented Resolution regarding Declaration of Official Intent to Reimburse for the Filtration System Rehabilitation Project costs incurred by the Utility that occur prior to the WDNR SDWLP funding.

A motion was made by Mayor Mason, seconded by Taft, that this file be Approved

0768-22

Subject: Request from Utility Director for Authorization to submit Intent to Apply (ITA) and Priority Evaluation and Ranking Form (PERF) to the Department of Natural Resources (DNR) for Water Main Replacement Project

Recommendation: Approve

Water Utility Director requested authorization from the Commission to submit Intent to apply (ITA) and Priority Evaluation and Ranking Form (PERF) to the Department of Natural Resources (DNR) for the FY 2024 SDWLP funding of the Water Main Replacement Project.

A motion was made by Mayor Mason, seconded by Sheppard, that this file be Approved

0769-22

Subject: Request from Utility Director for Authorization to submit Intent to Apply (ITA) and Priority Evaluation and Ranking Form (PERF) to the Department of Natural Resources (DNR) for Lead Service Line

Replacement Project

Recommendation: Approve

Water Utility Director requested authorization from Commission to submit Intent to Apply (ITA) and Priority Evaluation and Ranking Form (PERF) to the Department of Natural Resources (DNR) for the FY 2024 SDWLP funding of the Lead Service Line Replacement Project.

A motion was made by Mayor Mason, seconded by Sheppard, that this file be Approved

Adjournment

There being no further business, meeting was adjourned at 4:45 p.m.



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Agenda Waterworks Commission

Tuesday, November 15, 2022

4:00 PM

City Hall, Room 207 A/B

ROLL CALL

0832-22 **Subject:** Approval of Minutes for the October 17, 2022, Meeting

Attachments: water minutes 10.17.22

0666-22 **Subject:** Budget Expenditures for September 2022 Totaling \$111,797.00

Attachments: rwu budget expenditures sept 2022

0833-22 **Subject:** Discussion of DNR SDWLP Water Utility Management Training

0835-22 **Subject:** Approval of Law 732 Agreement for 2023

Attachments: rwu-law 732 tentative wage agreement 2023

0836-22 **Subject:** Approval of Law 732 Base Wage Schedule for 2023

Attachments: 2023 proposed rwu wage schedule

Adjournment

**If you are disabled and have accessibility needs or need information interpreted for you,
please contact the office of the Water Utility Director at 262.636.9181 at least 48 hours
prior to this meeting.**



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Agenda Wastewater Commission

Monday, October 17, 2022

4:30 PM

City Hall, Room 207 A/B

ROLL CALL

0761-22

Subject: Approval of Minutes for the September 20, 2022, Meeting

Recommendation: Approve

Attachments:

ww minutes_09.20.22

0762-22

Subject: Proposal from Ruekert-Mielke to perform 2024 Revenue Sharing Calculations

Recommendation: Approve

Attachments:

revenue share calcs proposal_rm

0594-22

Subject: Request from the City of Racine to Approve its Peak Flow Mitigation Plan to Address Peak Flow Capacity Allocation Exceedances (AECOM invited to meeting)

Recommendation: Approve

Attachments:

cor_proposed peak flow mitigation plan_oct 22 comm mtg

Adjournment

If you are disabled and have accessibility needs or need information interpreted for you, please contact the Wastewater Utility Administration Office at 262.636.9181 at least 48 hours prior to this meeting.



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Minutes - Draft

Wastewater Commission

Monday, October 17, 2022

4:30 PM

City Hall, Room 207 A/B

ROLL CALL

PRESENT: 8 - Natalia Taft, John Hewitt, Robert Lui, Stacy Sheppard, Claude Lois, John Tate II, Paul Vornholt and Cory Mason

EXCUSED: 4 - Matthew Rejc, Dean Rosenberg, Trevor Jung and Jason Meekma

0761-22

Subject: Approval of Minutes for the September 20, 2022, Meeting

Recommendation: Approve

A motion was made by Mayor Mason, seconded by Lui, that this file be Approved

0762-22

Subject: Proposal from Ruekert-Mielke to perform 2024 Revenue Sharing Calculations

Recommendation: Approve

Ed Maxwell from Ruekert-Mielke, presented background and overview of annual Revenue Sharing Calculations, as required in the Intergovernmental Sewer Agreement. The proposal cost to perform calculations for 2024 is \$9,900.00

A motion was made by Mayor Mason, seconded by Tate II, that this file be Approved

0594-22

Subject: Request from the City of Racine to Approve its Peak Flow Mitigation Plan to Address Peak Flow Capacity Allocation Exceedances (AECOM invited to meeting)

Recommendation: Approve

City Commissioner of Public Works, John Rooney, presented on the City's Mitigation Plan to address Peak Flow Capacity Allocation Exceedances. The Mitigation Plan involves multi-point activities to reduce sanitary sewer Inflow/Infiltration (I/I) of storm water. Activities include a residential foundation drain disconnection/sump pump connection program, sanitary manhole lid replacement/sealing, sanitary sewer lateral grouting, and continued sanitary sewer lining and spot replacement. The Plan timeline is over a 4-7 year period to achieve 90% peak flow reduction (5-7 MGD/year). Racine is to provide the Commission with an annual update of Plan progress beginning October 2023. The City of Racine was credited 9.35 MGD in peak flow reduction as a result of their activities at Brose Park, Chicory Road, as well as from annual maintenance in 2020, 2021, and 2022. Commission approval of the Mitigation Plan signifies reasonable assurance that the Plan will maintain capacity thresholds; and results in a

full lifting of the Racine sanitary sewer moratorium of new sewer extensions and connections.

A motion was made by Tate II, seconded by Mayor Mason, that this file be Approved

Adjournment

There being no further business, meeting was adjourned at 5:53 p.m.



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Agenda Wastewater Commission

Tuesday, November 15, 2022

4:30 PM

City Hall, Room 207 A/B

ROLL CALL

0838-22 **Subject:** Approval of Minutes for the October 17, 2022, Meeting

Attachments: ww minutes 10.17.22

0590-22 **Subject:** Budget Expenditures for September 2022 Totaling \$89,488.00

Attachments: nwwu budget expenditures sept 2022

0839-22 **Subject:** Communication from Utility Director Regarding Participation in Water Research Foundation Climate Change Impacts and Wet Weather Management Study

Attachments: letter of support cci study racine
 project synopsis wrf climate change wet weather mgt study

0840-22 **Subject:** Communication from Utility Director Regarding SSR Party Acknowledgement of Receipt of Capacity Exceedance Notification Letters from September 11, 2022, Rain Event

0841-22 **Subject:** Submittal of Pretreatment Rates for 2023

Attachments: proposed pretreatment rates for 2023

0592-22 **Subject:** Request for Approval of Unplanned Expanded Sewer Facility and Draft COSS for North Main and Goold Sanitary Sewer Improvements

Attachments: north main & goold facility draft coss revised July 13 2022

0771-22 **Subject:** Resolution Regarding Declaration of Official Intent to Reimburse for Costs Attributed to the Main Street-Goold Street Sanitary Sewer Improvements Project

Attachments: draft comfort resolution - main-goold sewer improvements 11.22

0842-22

Subject: Proposal from Brown & Caldwell for Engineering Design Services of the Main Street-Goold Street Sanitary Sewer Improvements Project

Attachments:

[brown caldwell_nmg design proposal november 2022](#)

Adjournment

If you are disabled and have accessibility needs or need information interpreted for you, please contact the office of the Wastewater Utility Director at 262.636.9181 at least 48 hours prior to this meeting.

VILLAGE OF CALEDONIA			Payment Approval Report - Sewer Utility Report dates: 6/1/2020-10/17/2022				Page: 1 Oct 17, 2022 11:52AM	
Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
ACH - WE ENERGIES								
380	ACH - WE ENERGIES	SEP-22 071177	SEP-22; GAS & ELECTRIC	10/14/2022	8,095.80	.00		501-00-64140 Utilities
Total ACH - WE ENERGIES:					8,095.80	.00		
ALLIANCE RESUME AND WRITING SERVICE								
3905	ALLIANCE RESUME AND WRIT	9/07/22	Q3-22; NEWSLETTER	09/26/2022	67.50	.00		501-00-64030 Office Supplies
Total ALLIANCE RESUME AND WRITING SERVICE:					67.50	.00		
JOURNAL TIMES								
1565	JOURNAL TIMES	105290	PUBLISH 4 SSO'S	09/19/2022	13.91	.00		501-00-64240 Building Repairs & Maintenance
Total JOURNAL TIMES:					13.91	.00		
LIGHTHOUSE COMMUNICATIONS								
1170	LIGHTHOUSE COMMUNICATIO	1141022	Q3-22; QTR & DEL NOTICE MAIL	10/14/2022	3,757.61	.00		501-00-64040 Postage & Shipping
1170	LIGHTHOUSE COMMUNICATIO	1141022	Q3-22; QTR & DEL NOTICE MAIL	10/14/2022	1,687.39	.00		501-00-64030 Office Supplies
Total LIGHTHOUSE COMMUNICATIONS:					5,445.00	.00		
NETWORK SPECIALIST OF RACINE, INC.								
1390	NETWORK SPECIALIST OF RAC	43128	NOV-22; REMOTE BACKUP	10/09/2022	125.00	.00		501-00-64320 IT Infrastructure
Total NETWORK SPECIALIST OF RACINE, INC.:					125.00	.00		
RACINE WATER & WASTEWATER UTILITIES								
1574	RACINE WATER & WASTEWATE	WWINV-09018	6TH STREET INTERCEPTOR (IN	10/04/2022	928.39	.00		501-00-67100 Interest
Total RACINE WATER & WASTEWATER UTILITIES:					928.39	.00		
ULINE								
2030	ULINE	154524825	SAFETY SUPPLIES - VESTS, GL	09/29/2022	1,614.87	.00		501-00-64070 Work Supplies
Total ULINE:					1,614.87	.00		
WAREHOUSE DIRECT								
2099	WAREHOUSE DIRECT	5337975-1	COPY PAPER-TAX ROLL NOTIC	09/30/2022	43.80	.00		501-00-64030 Office Supplies

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
Total WAREHOUSE DIRECT:								
					43.80	.00		
Grand Totals:								
					16,334.27	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
ACH - WE ENERGIES								
380	ACH - WE ENERGIES	SEP-22 071177	SEP-22; GAS & ELECTRIC	10/14/2022	8,095.80	.00		501-00-64140 Utilities
Total ACH - WE ENERGIES:					8,095.80	.00		
AUGUST WINTER & SONS, INC								
9246	AUGUST WINTER & SONS, INC	PAY APP # 3	DOMINICAN L.S.; PAY APP. # 3	10/21/2022	228,397.30	.00		501-18739-000 CIP-Dominican Lift Station
9246	AUGUST WINTER & SONS, INC	PAY APP. # 1	DOMINICAN L.S.; PAY APP. # 1	10/18/2022	66,667.77	.00		501-18739-000 CIP-Dominican Lift Station
9246	AUGUST WINTER & SONS, INC	PAY APP. # 2	DOMINICAN L.S.; PAY APP. # 2	10/19/2022	121,096.88	.00		501-18739-000 CIP-Dominican Lift Station
Total AUGUST WINTER & SONS, INC:					416,161.95	.00		
KORTENDICK HARDWARE								
1096	KORTENDICK HARDWARE	153349	CADDY VISTS GENERATOR BL	10/17/2022	10.79	.00		501-00-64240 Building Repairs & Maintenance
Total KORTENDICK HARDWARE:					10.79	.00		
STARNET TECHNOLOGIES								
1855	STARNET TECHNOLOGIES	92190-IN	L.S. SCADA ALARM CHARGES	10/24/2022	360.00	.00		501-00-64150 Communication Services
Total STARNET TECHNOLOGIES:					360.00	.00		
U. S. CELLULAR								
2026	U. S. CELLULAR	0536857715	OCT-NOV 22; UTILITY DISTRICT	10/06/2022	154.36	.00		501-00-64150 Communication Services
Total U. S. CELLULAR:					154.36	.00		
VILLAGE OF MT. PLEASANT								
2082	VILLAGE OF MT. PLEASANT	0044400	SANITARY SEWER IMPROVEME	10/17/2022	356,738.22	.00		501-00-67100 Interest
Total VILLAGE OF MT. PLEASANT:					356,738.22	.00		
Grand Totals:					781,521.12	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
ACH - WE ENERGIES								
380	ACH - WE ENERGIES	SEP-22 071177	SEP-22; GAS & ELECTRIC	10/14/2022	741.05	.00		500-00-64140 Utilities
Total ACH - WE ENERGIES:					741.05	.00		
ALLIANCE RESUME AND WRITING SERVICE								
3905	ALLIANCE RESUME AND WRITING SERVICE	9/07/22	Q3-22; NEWSLETTER	09/26/2022	67.50	.00		500-00-64030 Office Supplies
Total ALLIANCE RESUME AND WRITING SERVICE:					67.50	.00		
LIGHTHOUSE COMMUNICATIONS								
1170	LIGHTHOUSE COMMUNICATIONS	1141022	Q3-22; QTR & DEL NOTICE MAIL	10/14/2022	3,757.61	.00		500-00-64040 Postage & Shipping
1170	LIGHTHOUSE COMMUNICATIONS	1141022	Q3-22; QTR & DEL NOTICE MAIL	10/14/2022	1,687.38	.00		500-00-64030 Office Supplies
Total LIGHTHOUSE COMMUNICATIONS:					5,444.99	.00		
NETWORK SPECIALIST OF RACINE, INC.								
1390	NETWORK SPECIALIST OF RACINE, INC.	43128	NOV-22; REMOTE BACKUP	10/09/2022	125.00	.00		500-00-64320 IT Infrastructure
Total NETWORK SPECIALIST OF RACINE, INC.:					125.00	.00		
NORTHERN LAKE SERVICE, INC								
1411	NORTHERN LAKE SERVICE, INC	426443	Q3-22; VH BAC "T" SAMPLE	10/03/2022	150.00	.00		500-00-62560 Water Sampling and Testing
Total NORTHERN LAKE SERVICE, INC:					150.00	.00		
OAK CREEK WATER UTILITY								
1423	OAK CREEK WATER UTILITY	9990001	Q3-22; PUBLIC FIRE PROTECTION	09/15/2022	19,239.37	.00		500-00-64180 Public Fire Protection
1423	OAK CREEK WATER UTILITY	9990001	Q3-22; WATER PURCHASED	09/15/2022	128,048.20	.00		500-00-62550 Purchased Water
1423	OAK CREEK WATER UTILITY	9990002	Q3-22; WATER PURCHASED	09/15/2022	18,957.40	.00		500-00-62550 Purchased Water
1423	OAK CREEK WATER UTILITY	9990008	Q3-22; PURCHASED WATERHA	09/15/2022	9,706.59	.00		500-00-62550 Purchased Water
Total OAK CREEK WATER UTILITY:					175,951.56	.00		
RACINE WATER & WASTEWATER UTILITIES								
1574	RACINE WATER & WASTEWATER UTILITIES	2395187	Q3-22; WATER	10/01/2022	49,250.00	.00		500-00-64180 Public Fire Protection
1574	RACINE WATER & WASTEWATER UTILITIES	2395187	Q3-22; WATER	10/01/2022	605,074.32	.00		500-00-62550 Purchased Water
Total RACINE WATER & WASTEWATER UTILITIES:					654,324.32	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
ULINE								
2030 ULINE		154524825	SAFETY SUPPLIES - VESTS, GL	09/29/2022	538.29	.00		500-00-64070 Work Supplies
Total ULINE:					538.29	.00		
WAREHOUSE DIRECT								
2099 WAREHOUSE DIRECT		5337975-1	COPY PAPER-TAX ROLL NOTIC	09/30/2022	43.80	.00		500-00-64030 Office Supplies
Total WAREHOUSE DIRECT:					43.80	.00		
Grand Totals:					837,386.51	.00		

VILLAGE OF CALEDONIA			Payment Approval Report - Water Utility				Page: 1	
			Report dates: 1/1/2021-10/31/2022				Oct 31, 2022 08:58AM	
Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
ACH - WE ENERGIES								
380	ACH - WE ENERGIES	SEP-22 071177	SEP-22; GAS & ELECTRIC	10/14/2022	741.05	.00		500-00-64140 Utilities
Total ACH - WE ENERGIES:					741.05	.00		
G & F EXCAVATING								
687	G & F EXCAVATING	35574	WATERBREAK & WATER SERVI	10/19/2022	8,310.00	.00		500-00-64240 Building Repairs & Maintenance
Total G & F EXCAVATING:					8,310.00	.00		
OAK CREEK WATER UTILITY								
1423	OAK CREEK WATER UTILITY	5103	OCT-22 BAC "T" SAMPLES	10/12/2022	365.00	.00		500-00-62560 Water Sampling and Testing
Total OAK CREEK WATER UTILITY:					365.00	.00		
RAY HINTZ INC.								
1592	RAY HINTZ INC.	63938	TOP SOIL FOR RESTORATION	09/29/2022	243.00	.00		500-00-64240 Building Repairs & Maintenance
1592	RAY HINTZ INC.	63938	TOP SOIL FOR RESTORATION	09/29/2022	81.00	.00		500-00-64240 Building Repairs & Maintenance
Total RAY HINTZ INC.:					324.00	.00		
STARNET TECHNOLOGIES								
1855	STARNET TECHNOLOGIES	92190-IN	L.S. SCADA ALARM CHARGES	10/24/2022	180.00	.00		500-00-64150 Communication Services
Total STARNET TECHNOLOGIES:					180.00	.00		
U. S. CELLULAR								
2026	U. S. CELLULAR	0536857715	OCT-NOV 22; UTILITY DISTRICT	10/06/2022	154.37	.00		500-00-64150 Communication Services
Total U. S. CELLULAR:					154.37	.00		
Grand Totals:					10,074.42	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
ACH - WE ENERGIES								
380	ACH - WE ENERGIES	SEP-22 071177	SEP-22; GAS & ELECTRIC	10/14/2022	365.28	.00		502-00-64140 Utilities
Total ACH - WE ENERGIES:					365.28	.00		
LANDMARK TITLE OF RACINE, INC.								
1133	LANDMARK TITLE OF RACINE, I	71637-1	10/05/2022 LETTER REPORT 41	10/05/2022	85.00	.00		502-00-61100 Legal Fees
Total LANDMARK TITLE OF RACINE, INC.:					85.00	.00		
SME SEASONAL SERVICES LLC								
1813	SME SEASONAL SERVICES LL	6466	MOWING -5 1/2 MILE AND CHA	10/01/2022	150.00	.00		502-00-64260 Grounds Repairs & Maintenance
Total SME SEASONAL SERVICES LLC:					150.00	.00		
Grand Totals:					600.28	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
ACH - WE ENERGIES								
380	ACH - WE ENERGIES	SEP-22 071177	SEP-22; GAS & ELECTRIC	10/14/2022	365.28	.00		502-00-64140 Utilities
Total ACH - WE ENERGIES:					365.28	.00		
DLT SOLUTIONS								
530	DLT SOLUTIONS	5127345A	10/20/2022 AUTOCAD SUBSCRI	10/18/2022	4,575.66	.00		502-00-64300 IT Maintenance & Subscriptions
Total DLT SOLUTIONS:					4,575.66	.00		
STARNET TECHNOLOGIES								
1855	STARNET TECHNOLOGIES	92190-IN	L.S. SCADA ALARM CHARGES	10/24/2022	60.00	.00		502-00-64150 Communication Services
Total STARNET TECHNOLOGIES:					60.00	.00		
STRAND ASSOCIATES INC.								
1893	STRAND ASSOCIATES INC.	0189131	10/13/2022 ILLICIT DISCHARGE	10/13/2022	112.37	.00		502-00-62101 MS4 - ILLICIT DISCHARGE
Total STRAND ASSOCIATES INC.:					112.37	.00		
WANASEK CORP								
2097	WANASEK CORP	PAY APP. # 1	WESTVIEW VILLAGE; STORM I	10/18/2022	123,394.69	.00		502-00-65156 Westview Village Storm
Total WANASEK CORP:					123,394.69	.00		
Grand Totals:					128,508.00	.00		

Report dates: 1/1/2021-11/3/2022

Nov 03, 2022 12:29PM

FUND	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
BATTERIES PLUS							
Water Utility Fund	176	BATTERIES PLUS	P55022381	SCADA BATTERIES	09/15/2022	38.78	500-00-64240 Building Repairs & Maintenance
Sewer Utility Fund	176	BATTERIES PLUS	P55022381	SCADA BATTERIES	09/15/2022	116.34	501-00-64240 Building Repairs & Maintenance
Total BATTERIES PLUS:						155.12	
FERGUSON WATERWORKS #1476							
Water Utility Fund	1810	FERGUSON WATERWORKS #14	0356241	FIRE HYDRANT PARTS	04/18/2022	298.30	500-00-64240 Building Repairs & Maintenance
Total FERGUSON WATERWORKS #1476:						298.30	
FOTH INFRASTRUCTURE & ENVIRO, LLC							
Storm Water Utility Fund	666	FOTH INFRASTRUCTURE & EN	80514	STH 32 STREAM RESTORATION	10/28/2022	743.25	502-00-65154 HWY 32 Stream Restoration
Storm Water Utility Fund	666	FOTH INFRASTRUCTURE & EN	80515	WESTVIEW VILLAGE STOMWAT	10/28/2022	9,282.64	502-00-65156 Westview Village Storm
Total FOTH INFRASTRUCTURE & ENVIRO, LLC:						10,025.89	
G & F EXCAVATING							
Storm Water Utility Fund	687	G & F EXCAVATING	35564	INLET REPAIR	10/14/2022	5,925.00	502-00-64240 Building Repairs & Maintenance
Total G & F EXCAVATING:						5,925.00	
HEAR WISCONSIN							
Water Utility Fund	2072	HEAR WISCONSIN	11012022002	AUDIOMETRIC TESTING	11/01/2022	35.00	500-00-64190 Miscellaneous Expenses
Sewer Utility Fund	2072	HEAR WISCONSIN	11012022002	AUDIOMETRIC TESTING	11/01/2022	35.00	501-00-64190 Miscellaneous Expenses
Total HEAR WISCONSIN:						70.00	
KRIETE GROUP							
Sewer Utility Fund	1098	KRIETE GROUP	R103009622:0	JET RODDER REPAIR	06/25/2022	517.06	501-00-63300 Vehicle Repairs & Maintenance
Sewer Utility Fund	1098	KRIETE GROUP	R103009622:0	JET RODDER REPAIR	06/25/2022	517.06	501-00-63300 Vehicle Repairs & Maintenance
Sewer Utility Fund	1098	KRIETE GROUP	R103009622:0	JET RODDER REPAIR	06/25/2022	517.07	501-00-63300 Vehicle Repairs & Maintenance
Total KRIETE GROUP:						1,551.19	
LINCOLN CONTRACTORS SUPPLY							
Water Utility Fund	1172	LINCOLN CONTRACTORS SUP	121884	DIGGERS HOTLINE MARKING P	10/25/2022	431.28	500-00-64240 Building Repairs & Maintenance
Sewer Utility Fund	1172	LINCOLN CONTRACTORS SUP	121884	DIGGERS HOTLINE MARKING P	10/25/2022	255.78	501-00-64240 Building Repairs & Maintenance
Storm Water Utility Fund	1172	LINCOLN CONTRACTORS SUP	121884	DIGGERS HOTLINE MARKING P	10/25/2022	255.78	502-00-64070 Work Supplies

VILLAGE OF CALEDONIA		Payment Approval Report - All Utilities Report dates: 1/1/2021-11/21/2022				Page: 1 Nov 17, 2022 08:17AM	
FUND	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
ACH - SUPERFLEET							
Water Utility Fund	1730	ACH - SUPERFLEET	EJ974 10/20/2	OCT-22; FUEL FOR DISTRICT V	10/20/2022	857.81	500-00-63200 Fuel, Oil, Fluids
Sewer Utility Fund	1730	ACH - SUPERFLEET	EJ974 10/20/2	OCT-22; FUEL FOR DISTRICT V	10/20/2022	857.80	501-00-63200 Fuel, Oil, Fluids
Total ACH - SUPERFLEET:						1,715.61	
ACH - WE ENERGIES							
Water Utility Fund	380	ACH - WE ENERGIES	10/31/2022	OCT-22; GAS & ELECTRIC	11/10/2022	595.55	500-00-64140 Utilities
Sewer Utility Fund	380	ACH - WE ENERGIES	10/31/2022	OCT-22; GAS & ELECTRIC	11/10/2022	12,609.41	501-00-64140 Utilities
Storm Water Utility Fund	380	ACH - WE ENERGIES	10/31/2022	OCT-22; GAS & ELECTRIC	11/10/2022	190.11	502-00-64140 Utilities
Total ACH - WE ENERGIES:						13,395.07	
ASCENSION WI EMP SOLUTIONS							
Sewer Utility Fund	9226	ASCENSION WI EMP SOLUTION	406501	DOT DRUGSCREENING	10/31/2022	67.00	501-00-51100 Testing/Physicals
Water Utility Fund	9226	ASCENSION WI EMP SOLUTION	406501	DOT DRUGSCREENING	10/31/2022	67.00	500-00-51100 Testing/Physicals
Total ASCENSION WI EMP SOLUTIONS:						134.00	
B.A.M. CONCRETE							
Storm Water Utility Fund	9248	B.A.M. CONCRETE	11152022	INLET REPAIR - CONCRETE	11/15/2022	4,329.72	502-00-64240 Building Repairs & Maintenance
Total B.A.M. CONCRETE:						4,329.72	
CORE & MAIN LP							
Water Utility Fund	405	CORE & MAIN LP	R360505	WATERMAIN REPAIR PARTS	10/21/2022	1,033.92	500-00-64240 Building Repairs & Maintenance
Water Utility Fund	405	CORE & MAIN LP	R582013	WATERMAIN REPAIR PART	10/21/2022	137.50	500-00-64240 Building Repairs & Maintenance
Total CORE & MAIN LP:						1,171.42	
FOTH INFRASTRUCTURE & ENVIRO, LLC							
Sewer Utility Fund	666	FOTH INFRASTRUCTURE & EN	80516	RIVERBEND SAFETY SITE	10/28/2022	10,439.40	501-18725-000 CIP-Riverbend Safety Site
Sewer Utility Fund	666	FOTH INFRASTRUCTURE & EN	80517	CADDY VISTA IMPROVEMENTS	10/28/2022	258.06	501-18729-000 Caddy Vista Lift Stations
Sewer Utility Fund	666	FOTH INFRASTRUCTURE & EN	80520	HOODS CREEK BASIN	10/28/2022	37,522.09	501-18736-000 CIP-Hoods Creek Attenuation
Water Utility Fund	666	FOTH INFRASTRUCTURE & EN	80521	NORTH KREMER WATERMAIN	10/28/2022	1,333.00	500-18735-107 CIP - North Kremer Watermain
Water Utility Fund	666	FOTH INFRASTRUCTURE & EN	80523	WASHINGTON MEADOWS WAT	10/28/2022	2,648.10	500-18737-107 CIP - WASHINGTON MEADOWS
Water Utility Fund	666	FOTH INFRASTRUCTURE & EN	80524	GIS MAPPING	10/28/2022	1,207.23	500-00-62103 Mapping
Sewer Utility Fund	666	FOTH INFRASTRUCTURE & EN	80524	GIS MAPPING	10/28/2022	1,207.23	501-00-62103 Mapping
Water Utility Fund	666	FOTH INFRASTRUCTURE & EN	80525	GENERAL ENGINEERING	10/28/2022	1,558.50	500-00-61340 Engineering Design Charges
Sewer Utility Fund	666	FOTH INFRASTRUCTURE & EN	80525	GENERAL ENGINEERING	10/28/2022	2,730.00	501-00-61340 Engineering Design Charges

FUND	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
Total FOTH INFRASTRUCTURE & ENVIRO, LLC:							
						58,903.61	
FRANKSVILLE AUTOMOTIVE LLC							
Water Utility Fund	679	FRANKSVILLE AUTOMOTIVE LL	13944	TRUCK TIRES	11/10/2022	625.39	500-00-63300 Vehicle Repairs & Maintenance
Sewer Utility Fund	679	FRANKSVILLE AUTOMOTIVE LL	13944	TRUCK TIRES	11/10/2022	625.39	501-00-63300 Vehicle Repairs & Maintenance
Total FRANKSVILLE AUTOMOTIVE LLC:							
						1,250.78	
G & F EXCAVATING							
Water Utility Fund	687	G & F EXCAVATING	35584	WATERMAIN BREAK; 1502 SEP	10/28/2022	2,220.00	500-00-64240 Building Repairs & Maintenance
Sewer Utility Fund	687	G & F EXCAVATING	35586	SEWER LATERAL REPAIR	10/31/2022	1,980.50	501-00-64240 Building Repairs & Maintenance
Water Utility Fund	687	G & F EXCAVATING	35592	KENTWOOD / ERIE ST WATERB	11/07/2022	9,623.50	500-00-64240 Building Repairs & Maintenance
Total G & F EXCAVATING:							
						13,824.00	
NETWORK SPECIALIST OF RACINE, INC.							
Water Utility Fund	1390	NETWORK SPECIALIST OF RAC	43289	DEC-22; REMOTE DATA BACKU	11/13/2022	125.00	500-00-64320 IT Infrastructure
Sewer Utility Fund	1390	NETWORK SPECIALIST OF RAC	43289	DEC-22; REMOTE DATA BACKU	11/13/2022	125.00	501-00-64320 IT Infrastructure
Total NETWORK SPECIALIST OF RACINE, INC.:							
						250.00	
NORTHERN LAKE SERVICE, INC							
Water Utility Fund	1411	NORTHERN LAKE SERVICE, IN	428626	Q4-22; V.H. BAC"TM" SAMPLE	10/31/2022	31.50	500-00-62560 Water Sampling and Testing
Water Utility Fund	1411	NORTHERN LAKE SERVICE, IN	429198	TTHM & HALO QUARTERLY SA	11/10/2022	619.52	500-00-62560 Water Sampling and Testing
Total NORTHERN LAKE SERVICE, INC:							
						651.02	
PAYNE & DOLAN, INC.							
Water Utility Fund	1474	PAYNE & DOLAN, INC.	1838038	STONE FOR WATERMAIN BREA	11/03/2022	54.44	500-00-64240 Building Repairs & Maintenance
Total PAYNE & DOLAN, INC.:							
						54.44	
RACINE WATER & WASTEWATER UTILITIES							
Water Utility Fund	1574	RACINE WATER & WASTEWATE	WAINV-16430	JUL-SEP 2022; BAC"TM" SAMPLE	11/01/2022	1,350.00	500-00-62560 Water Sampling and Testing
Total RACINE WATER & WASTEWATER UTILITIES:							
						1,350.00	
SJE, INC.							
Sewer Utility Fund	1119	SJE, INC.	CD99436010	HOODS CREEK BASIN PUMP IM	05/31/2022	76,338.90	501-18736-000 CIP-Hoods Creek Attenuation

FUND	Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
ACH - SUPERFLEET Water Utility Fund Sewer Utility Fund	1730	ACH - SUPERFLEET	10/20/2022	NOV-22; VEHICLE FUEL	11/20/2022	48.34	500-00-63200 Fuel, Oil, Fluids
	1730	ACH - SUPERFLEET	10/20/2022	NOV-22; VEHICLE FUEL	11/20/2022	48.33	501-00-63200 Fuel, Oil, Fluids
	Total ACH - SUPERFLEET:					96.67	
ACH - WE ENERGIES Water Utility Fund Sewer Utility Fund Storm Water Utility Fund	380	ACH - WE ENERGIES	10/31/2022	OCT-22; GAS & ELECTRIC	11/10/2022	595.55	500-00-64140 Utilities
	380	ACH - WE ENERGIES	10/31/2022	OCT-22; GAS & ELECTRIC	11/10/2022	12,609.41	501-00-64140 Utilities
	380	ACH - WE ENERGIES	10/31/2022	OCT-22; GAS & ELECTRIC	11/10/2022	190.11	502-00-64140 Utilities
	Total ACH - WE ENERGIES:					13,395.07	
AUGUST WINTER & SONS, INC Sewer Utility Fund	9246	AUGUST WINTER & SONS, INC	PAY APP. # 4	DOMINICAN L.S.; PAY APP #4	11/29/2022	155,779.00	501-18739-000 CIP-Dominican Lift Station
	Total AUGUST WINTER & SONS, INC:					155,779.00	
BUY RIGHT, INC. Sewer Utility Fund	273	BUY RIGHT, INC.	14873-382453	CADDY VISTA L.S.S GEN.	11/16/2022	43.68	501-00-64240 Building Repairs & Maintenance
	Total BUY RIGHT, INC.:					43.68	
CORE & MAIN LP Water Utility Fund Water Utility Fund Water Utility Fund Water Utility Fund Water Utility Fund	405	CORE & MAIN LP	R591281	WATERMAIN REPAIR PARTS	10/24/2022	1,520.00	500-00-64240 Building Repairs & Maintenance
	405	CORE & MAIN LP	R808582	WATERMAIN REPAIR PARTS	10/21/2022	2,319.89	500-00-64240 Building Repairs & Maintenance
	405	CORE & MAIN LP	R814479	WATERMAIN REPAIR PARTS	11/18/2022	1,065.00	500-00-64240 Building Repairs & Maintenance
	405	CORE & MAIN LP	R837435	WATERMAIN REPAIR PARTS	11/18/2022	47.24	500-00-64240 Building Repairs & Maintenance
	405	CORE & MAIN LP	R871072	WATERMAIN REPAIR PARTS	11/18/2022	264.80	500-00-64240 Building Repairs & Maintenance
Total CORE & MAIN LP:						5,216.93	
FOTH INFRASTRUCTURE & ENVIRO, LLC Storm Water Utility Fund Storm Water Utility Fund Sewer Utility Fund Sewer Utility Fund Water Utility Fund Water Utility Fund Water Utility Fund	666	FOTH INFRASTRUCTURE & EN	80945	STH 32 STREAM RESTORATION	11/28/2022	870.00	502-00-65154 HWY 32 Stream Restoration
	666	FOTH INFRASTRUCTURE & EN	80946	WESTVIEW VILLAGE STORMWA	11/28/2022	902.00	502-00-65156 Westview Village Storm
	666	FOTH INFRASTRUCTURE & EN	80947	RIVERBEND SAFETY SITE	11/22/2022	7,441.45	501-18725-000 CIP-Riverbend Safety Site
	666	FOTH INFRASTRUCTURE & EN	80950	OCT-22; HOODS CREEK BASIN	11/22/2022	27,538.63	501-18736-000 CIP-Hoods Creek Attenuation
	666	FOTH INFRASTRUCTURE & EN	80951	N. KREMER WATERMAIN RELA	11/22/2022	1,255.00	500-18735-107 CIP - North Kremer Watermain
	666	FOTH INFRASTRUCTURE & EN	80954	WASHINGTON MEADOWN WAT	11/22/2022	23,759.34	500-18737-107 CIP - WASHINGTON MEADOWS
	666	FOTH INFRASTRUCTURE & EN	80955	OCT-22; GIS MAPPING	11/22/2022	153.00	500-00-62103 Mapping

STH 32 Utility Improvements DOT

Sewer & Water

Contractor	Payne and Dolan Inc.		
Original Contract	\$	266,043.63	
Change Order	\$	(32,046.02)	-12.0%
Engineering (DOT)	\$	19,325.61	
Current Contract	\$	253,323.22	
Pay Request	\$	3.12	12/11/2018
Pay Request	\$	868.07	6/4/2019
Pay Request	\$	2,645.08	8/1/2019
Pay Request	\$	2,766.76	9/4/2019
Pay Request	\$	7,396.43	10/3/2019
Pay Request	\$	92,497.63	11/1/2019
Pay Request	\$	80,448.04	12/2/2019
Pay Request	\$	64,166.90	1/2/2020
Pay Request	\$	2,645.08	2/3/2020
Pay Request	\$	1,014.86	3/2/2020
Pay Request	\$	1,655.72	4/1/2020
Pay Request	\$	405.27	6/1/2020
Pay Request	\$	1,500.29	9/2/2020
Pay Request	\$	268.21	12/1/2020
Pay Request	\$	288.56	5/3/2021
Remaining on Contract	\$	(5,246.80)	-2.0%
Foth Engineering/Review (7/23/2019 - 6/3/2020)	\$	61,034.29	
Total Project Cost	\$	314,357.51	
Revised 2019 CIP	\$	350,000.00	

North Kremer Watermain

Water

Contractor	PTS Contractors Inc		
Original Contract	\$	2,681,000.00	
Change Order #1 - #10	\$	(26,624.53)	-0.99%
Current Contract	\$	2,654,375.47	
Pay Request #1	\$	573,596.56	
Retainage	\$	30,189.29	
Pay Request #2	\$	781,206.79	
Retainage	\$	36,835.71	
Pay Request #3	\$	340,809.90	
Pay Request #4	\$	542,749.45	
Pay Request #5	\$	303,018.87	
Remaining on Contract (Including Retainage)	\$	112,993.90	4%
Design Engineering (2020 - 8/23/2021)	\$	206,069.12	7.69%
Construction Services (7/28/2021 to 11/16/2021)	\$	98,024.74	3.66%
G & F Excavating (Charles Street	\$	2,535.00	
Ray Hintz (Top Soil Charles Stree	\$	24.00	
Racine County (Pavement Repair Charles Street)			
Total Project Cost	\$	2,961,028.33	

Erie Street Sanitary Sewer Improvements

Sewer

Contractor	Reesman's		
Original Contract	\$	842,759.00	
Change Order #1	\$	-	0.00%
Change Order #2	\$	-	
Change Order #3	\$	(3,035.00)	-0.36%
Change Order #4	\$	28,189.14	3.34%
Change Order #5	\$	2,666.56	0.32%
Change Order #6	\$	7,350.00	0.87%
Change Order #7	\$	3,634.58	0.43%
Change Order #8			0.00%
Current Contract	\$	881,564.28	4.60%
Pay Request #1	\$	176,119.17	
Retainage	\$	9,269.43	
Pay Request #2	\$	374,210.13	
Retainage	\$	12,696.37	
Pay Request #3	\$	342,607.86	
Remaining on Contract (Including Retainage)	\$	(11,372.88)	-1.3%
Design Engineering (3/29/2020 - 10/18/2021)	\$	117,471.95	13.94%
Construction Services			0.00%
Total Project Cost	\$	999,036.23	

Dominican Lift Station Improvements

Sewer

Contractor	August Winter & Sons, Inc		
Original Contract	\$	718,500.00	
Change Order #1	\$	-	0.00%
Change Order #2	\$	4,560.00	0.63%
Change Order #3	\$	-	
Change Order #4	\$	1,382.00	0.19%
Current Contract	\$	724,442.00	0.82%
Pay Request #1	\$	66,667.77	
Retainage	\$	3,508.83	
Pay Request #2	\$	121,096.88	
Retainage	\$	6,373.52	
Pay Request #3	\$	228,397.30	
Retainage	\$	8,228.70	
Pay Request #4	\$	155,779.00	
Remaining on Contract (Including Retainage)	\$	152,501.05	21%
Design Engineering (3/29/2020 - 10/18/2021)	\$	234,943.90	32.70%
Construction Services			0.00%
Starnet (Building & Controls)	\$	93,496.00	
We Energies	\$	8,926.04	
Total Project Cost	\$	1,061,807.94	

Hoods Creek Attenuation Basin Expansion

Sewer

Contractor	Miron Construction		
Original Contract	\$	10,209,403.20	
Change Order #1	\$	-	0.00%
Change Order #2	\$	-	0.00%
Change Order #3	\$	60,787.06	0.60%
Change Order #4	\$	8,210.32	0.08%
Change Order #5	\$	1,321.33	0.01%
Total	\$	70,318.71	0.69%
Current Contract	\$	10,279,721.91	
Pay Request #1	\$	503,595.85	
Retainage	\$	26,505.04	
Pay Request #2	\$	668,836.92	
Retainage	\$	35,201.95	
Pay Request #3	\$	2,856,043.90	
Retainage	\$	153,318.10	
Pay Request #4	\$	2,875,931.51	
Retainage	\$	41,729.67	
Pay Request #5	\$	1,505,021.00	
Remaining on Contract (Including Retainage)	\$	1,870,292.73	18%
Design Engineering (9/28/2020-5/26/2022)	\$	431,789.35	4.23%
Construction Services (5/26/2022-6/23/2022)	\$	45,541.30	0.45%
Gabriel Novac #1	\$	82,590.00	
Gabriel Novac #2	\$	165,180.00	
Gabriel Novac #3			
Total	\$	247,770.00	
Total Project Cost	\$	11,004,822.56	

Washington Meadows Watermain
Water

Contractor	Reesman's		
Original Contract	\$	1,681,981.35	
Current Contract	\$	1,681,981.35	0.00%
Remaining on Contract (Including Retainage)	\$	1,681,981.35	100.0%
Design Engineering 1/23/2022 to 6/23/2022	\$	97,246.35	5.78%
Construction Services 7/29/2022 to 7/29/2022	\$	1,002.50	0.06%
Total Project Cost	\$	1,780,230.20	

Westview Village Stormwater Improvements

Storm Water

Contractor	The Wanasek Corp		
Original Contract	\$	154,465.00	
Current Contract	\$	154,465.00	0.00%
Pay Request #1	\$	123,394.69	
Retainage	\$	6,494.46	
Pay Request #2	\$	22,689.14	
Retainage	\$	1,194.16	
Remaining on Contract (Including Retainage)	\$	8,381.17	5.4%
Design Engineering	\$	62,613.56	40.54%
Construction Services			0.00%
Total Project Cost	\$	217,078.56	

CALEDONIA UTILITY DISTRICT PROJECT SUMMARY WORKSHEET

Riverbend Drive Lift Station Safety Site & Forcemain Upgrade

- Working on facility plan. Looking to schedule additional flow monitoring and looking at a potential site near the Root River Interceptor for a potential storage tank.

Annual Televising Program – Sanitary Sewer

- Continuing to perform repairs that staff can perform.

Water Impact Fee / Sewer Connection Fee Update

- Reviewing information received.

Hoods Creek Attenuation Basin Expansion

- Base slab pours and wall pours continue. It is anticipated that all of the concrete for the tank will be completed by Christmas. There is a concern on the order in which the pumps are being worked on. Working through issue with contractor.

Central Lift Station Safety Site & Attenuation Basin

- Scheduled Public Hearing for the Facility Plan for December 7th. Continue to work on Preliminary Design. Proposed to be bid in December 2023 with Construction March 2024 – September 2025.

North Kremer Watermain Project

- Restoration Completed. Will be following through on punch list items.

Dominican Lift Station Rehab Project

- Received a response that the motor will arrive approximately December 13th. Pending shipping the pumps should be sent out approximately January 11th. Contractor has been working on the site work as much as possible.

Concord Apartments Meter Vault

- PTS installed Meter Vault. Should have meter head installed soon.

Washington Meadows Watermain

- Reesman's informed the Utility of the desire to start a portion of the project. Preconstruction meeting held on October 20th. Resident notice went out on October 27th. Project started on October 31st. Work requested to perform in 2022 is completed, the balance of the project will be done in 2023.

TID #4 Elevated Storage Tank & Adams Road Watermain

- Design continues.

**CALEDONIA UTILITY DISTRICT
STORM WATER PROJECTS
PROJECT SUMMARY WORKSHEET**

Hoods Creek – Aldebaran Brushing Project

- Left message with Contractor about getting quote for work.

Douglas Avenue – OMG Ditch Project

- Worked through an insurance issue with AW Oakes. Crops came off field and site ready for project on November 11. Held Pre-Construction meeting on November 28th. Contractor plans to start on December 5th with mobilization and tree removal.

Turtle Creek Restoration

- Discussed appraisals with Southern Wisconsin Appraisal, they will be starting the notices and meetings with owners in January.

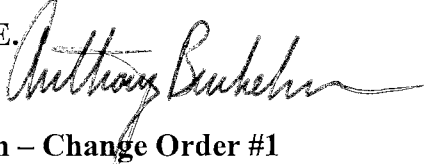
Westview Village Storm Improvements

- Contractor completed work. Will need to perform any final restoration / touch up in Spring. Will need to process a Charge Order for time when received.

MEMORANDUM

DATE: Tuesday, November 22, 2022

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director 

RE: STH 32 Stream Restoration – Change Order #1

BACKGROUND INFORMATION

This Change Order is for adding the following language to the Supplementary Conditions

- Commercial General Liability Insurance and Automobile Liability Insurance may be obtained through a combination of base policy and excess or umbrella insurance policy.

This Change Order does not have any cost implications. This request was reviewed and accepted.

It is recommended that Change Order #1 be approved.

RECOMMENDATION

Move to approve Change Order #1 for adding language to the Supplementary Conditions as stated in the Change Order documents.

SECTION 00 63 62
CHANGE ORDER

No. 1

Date of Issuance: 11/7/2022	Effective Date: 11/7/2022
Owner: Caledonia Utility District	Owner's Contract No.: 19C035.01
Contractor: A.W. Oakes and Son, Inc.	Contractor's Project No.:
Engineer: Foth Infrastructure & Environment, LLC	Engineer's Project No.: 19C035.01
Project: STH 32 Stream Restoration	Contract Name:

The Contract is modified as follows upon execution of this Change Order:


Description: Add paragraph SC 6.03 K 7 to Section 00 73 00, Supplementary Conditions:

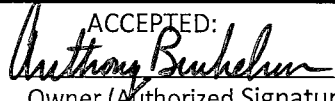
7. Commercial General Liability insurance and Automobile Liability insurance may be obtained through a combination of base policy and excess or umbrella insurance policy.

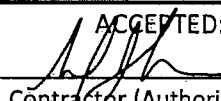
Attachments: Section 00 73 00 as modified by this Change Order.

All increases to contract price shall include costs for bonding and insurance.

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES <i>[note changes in Milestones if applicable]</i>
Original Contract Price: \$ 279,831.00	Original Contract Times: Substantial Completion: <u>March 17, 2023</u> Ready for Final Payment: <u>June 30, 2023</u> days or dates
[Increase] [Decrease] from previously approved Change Orders No. <u> </u> to No. <u> </u> : \$ <u>NA</u>	[Increase] [Decrease] from previously approved Change Orders No. <u> </u> to No. <u> </u> : Substantial Completion: <u>NA</u> Ready for Final Payment: <u>NA</u> days
Contract Price prior to this Change Order: \$ 279,831.00	Contract Times prior to this Change Order: Substantial Completion: <u>March 17, 2023</u> Ready for Final Payment: <u>June 30, 2023</u> days or dates
[Increase] [Decrease] of this Change Order: \$ 0.00	[Increase] [Decrease] of this Change Order: Substantial Completion: <u>No Change</u> Ready for Final Payment: <u>No Change</u> days or dates
Contract Price incorporating this Change Order: \$ 279,831.00	Contract Times with all approved Change Orders: Substantial Completion: <u>March 17, 2023</u> Ready for Final Payment: <u>June 30, 2023</u> days or dates

RECOMMENDED:
By: 
Title: Project Manager
Date: 11/7/2022

ACCEPTED:
By: 
Title: Director of Public Services
Date: 11-10-2022

ACCEPTED:
By: 
Title: President
Date: 11/9/22

Approved by Funding Agency (if applicable)

By: N/A Date:
Title: N/A

SECTION 00 73 00

SUPPLEMENTARY CONDITIONS

These Supplementary Conditions amend or supplement the Standard General Conditions of the Construction Contract, EJCDC® 00 70 00 (2013 Edition). All provisions that are not so amended or supplemented remain in full force and effect.

The terms used in these Supplementary Conditions have the meanings stated in the General Conditions. Additional terms used in these Supplementary Conditions have the meanings stated below, which are applicable to both the singular and plural thereof.

The address system used in these Supplementary Conditions is the same as the address system used in the General Conditions, with the prefix "SC" added thereto.

ARTICLE 2 – PRELIMINARY MATTERS

SC-2.01 Delivery of Bonds and Evidence of Insurance

Delete Paragraphs 2.01 A. in its entirety and insert the following in their place:

- A. When Contractor delivers executed counterparts of the Agreement to Owner, Contractor shall also deliver to Owner such bonds, insurance certificates, insurance endorsements, and other documents as Contractor may be required to furnish.

SC-2.02 Copies of Documents

Delete Paragraph 2.02.A in its entirety and insert the following new paragraph in its place:

- A. Owner shall furnish to Contractor four (4) copies of conformed Contract Documents (half-size 11x17 drawings) incorporating and integrating all Addenda and any amendments negotiated prior to the Effective Date of the Contract (including one fully executed counterpart of the Agreement) and one copy in electronic portable document format (PDF). Additional printed copies of the conformed Contract Documents will be furnished upon request at the cost of reproduction.

ARTICLE 4 – COMMENCEMENT AND PROGRESS OF THE WORK

SC-4.01 Commencement of Contract Times; Notice to Proceed

SC-4.01.A. Delete the last two sentences of Paragraph 4.01.A entirely and replace with the following:

The Contract Times will commence to run on the date indicated in the Notice to Proceed. A Notice to Proceed must be issued prior to any Work at the site. In no event will the

Contract Times commence to run later than the ninetieth day after the Effective Date of the Contract.

ARTICLE 5 - AVAILABILITY OF LANDS; SUBSURFACE AND PHYSICAL CONDITIONS; HAZARDOUS ENVIRONMENTAL CONDITIONS

SC-5.03 *Subsurface and Physical Conditions*

SC-5.03 Delete Paragraphs 5.03.A and 5.03.B in their entirety and insert the following:

- A. No reports of explorations or tests of subsurface conditions at or adjacent to the Site, or drawings of physical conditions relating to existing surface or subsurface structures at the Site, are known to Owner.

SC-5.06 *Hazardous Environmental Conditions*

SC 5.06. Delete Paragraphs 5.06.A and 5.06.B in their entirety and insert the following:

- A. No reports or drawings related to Hazardous Environmental Conditions at the Site are known to Owner.
- B. Not Used.

ARTICLE 6 – BONDS AND INSURANCE

SC-6.03 *Contractor's Insurance*

SC 6.03. Add the following new paragraph immediately after Paragraph 6.03.J.

K. The limits of liability for the insurance required by Paragraph 6.03 of the General Conditions shall provide coverage for not less than the following amounts or greater where required by Laws and Regulations:

- 1. Workers' Compensation, and related coverages under Paragraphs 6.03.A.1 and A.2 of the General Conditions:

State:	<u>Statutory</u>
Federal, if applicable (e.g., Longshoreman's):	<u>Statutory</u>

Employer's Liability:

Bodily injury, each accident	\$ <u>100,000</u>
Bodily injury by disease, each employee	\$ <u>N/A</u>
Bodily injury/disease aggregate	\$ <u>N/A</u>

For work performed in monopolistic states,	\$ <u>N/A</u>
--	---------------

stop-gap liability coverage shall be endorsed to either the worker's compensation or commercial general liability policy with a minimum limit of:

Foreign voluntary worker compensation

Statutory

2. Contractor's Commercial General Liability under Paragraphs 6.03.B and 6.03.C of the General Conditions:

General Aggregate \$ 2,000,000

Products - Completed Operations Aggregate \$ 2,000,000

Personal and Advertising Injury \$ 2,000,000

Each Occurrence (Bodily Injury and Property Damage) \$ 2,000,000

3. Automobile Liability under Paragraph 6.03.D. of the General Conditions:

Combined Single Limit of: \$ 1,000,000

4. Excess or Umbrella Liability:

Per Occurrence \$ 3,000,000

General Aggregate \$ 3,000,000

5. Contractor's Pollution Liability

Each Occurrence \$ N/A

General Aggregate \$ N/A

6. Additional Insureds: Owner (Caledonia Utility District) and Engineer (Foth Infrastructure & Environment, LLC).

7. Commercial General Liability insurance and Automobile Liability insurance may be obtained through a combination of base policy and excess or umbrella insurance policy.

SC-6.05 Property Insurance

SC-6.05. Delete all paragraphs under 6.05 entirely.

ARTICLE 7 – CONTRACTOR'S RESPONSIBILITIES

SC-7.02 Labor; Working Hours

SC-7.02.B. Add the following new sentence immediately after the first sentence in Paragraph 7.02.B:

Regular working hours are 7:00 AM to 7:00 PM, Monday through Friday.

SC-7.02.B. Delete the last sentence of Paragraph 7.02.B:

SC-7.09 Taxes

SC 7.09. Add a new paragraph immediately after Paragraph 7.09A:

B. Owner is exempt from payment of sales and compensation use taxes of the State of Wisconsin and of cities and counties thereof on all materials and equipment to be incorporated into the Work

1. Owner's exemption does not apply to construction tools, machinery, equipment, or other property purchased by or leased by Contractor, or to supplies or materials not incorporated into the Work.

ARTICLE 10 – ENGINEER’S STATUS DURING CONSTRUCTION

SC-10.03 Project Representative

SC-10.03. Add the following new paragraphs immediately after Paragraph 10.03.A:

B. The Resident Project Representative (RPR) will be Engineer's representative at the Site, will act as directed by and under the supervision of Engineer, and will confer with Engineer regarding RPR's actions. RPR's dealings in matters pertaining to the Work in general with Engineer, Contractor and subcontractors shall only be through or with the full knowledge and approval of Contractor. RPR shall generally communicate with Owner only with the knowledge of and under the direction of Engineer.

C. The RPR shall have the same authority and responsibility as Engineer.

ARTICLE 15 – PAYMENTS TO CONTRACTOR; SET-OFFS; COMPLETION;
CORRECTION PERIOD

SC-15.03 Substantial Completion

SC 15.01.D. Amend the first sentence of paragraph 15.01.D.1, by changing “10 days” to “30 days.”

SC-15.03.A. Add a new sub-paragraph immediately after paragraph 15.03.A, as follows:

To qualify for Substantial Completion status, all Work must be completed except for final clean-up and restoration.

SC 15.03.B. Add the following new subparagraph to Paragraph 15.03.B:

If any portion of the Work has been determined to not be Substantially Complete and requires re-inspection or re-testing by Engineer, the cost of such re-inspection or re-testing, including costs of time, travel and living expenses, shall be paid by Contractor to Owner. If Contractor does not pay, or the parties are unable to agree as to the amount owed, then Owner may impose a reasonable set-off against payments due under Article 15.

ARTICLE 17 – FINAL RESOLUTION OF DISPUTES

SC-17.01 Methods and Procedures

SC-17.01. Delete bullets 1 through 3 under Paragraph 17.01.B. in their entirety and insert the following in their place:

- A. With respect to any legal claims that may arise under and/or pertain to this Agreement, the parties shall have available to them all remedies, both in equity and/or law, available under the laws of the State of Wisconsin.
- B. This Agreement shall be governed, controlled, interpreted and construed by and under the laws of the State of Wisconsin, with giving effect to Wisconsin's conflict of law provisions.
- C. The venue for any legal action arising under and/or pertaining to this Agreement shall be solely and exclusively Racine County Circuit Court in Racine, Wisconsin.

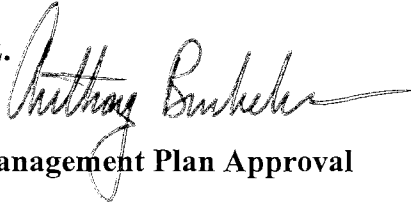
END OF SECTION

MEMORANDUM

DATE: Monday, November 28, 2022

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director



RE: Bluffside – Storm Water Management Plan Approval

BACKGROUND INFORMATION

Aaron Koch P.E. of Pinnacle Engineering Group has prepared a Storm Water Management Plan for Bluffside, a residential infill subdivision consisting of 19 lots and 5 Outlots along existing roads (Old Orchard Boulevard, Park Ridge Drive, 4 Mile Road, and Bluffside Drive). The subdivision is located within the sewer and water service area.

This project falls under Base Storm Water Regulations. Base Storm Water Regulations are that the 100 yr. post development peak runoff must be reduced to or below the 10 yr. predevelopment peak runoff and the 10 yr. post development peak runoff must be reduced to or below the 2 yr. predevelopment peak runoff. The site must also achieve 80% Total Suspended Solids removal.

The runoff from the majority of the proposed subdivision will drain into the proposed storm water pond to be constructed on the site, then discharge offsite to the East to a drainage way to the Root River. There is a portion of the proposed subdivision (8.6 acres) that is undetained due to topography. To offset the undetained area, a larger area of the existing development (10.5 acres) is tributary to the proposed storm water pond and was held to the base storm water regulations.

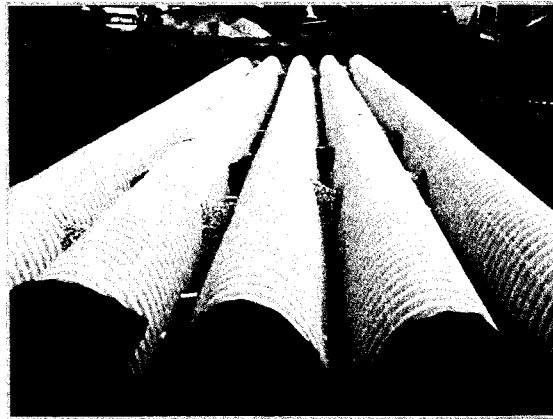
The Storm Water Management Plan has been reviewed by the Public Services Director, is in conformance with the Ordinance, and is ready for Utility District Commission approval.

Included in this packet is the Storm Water Management Plan summary.

RECOMMENDATION

Move to approve the Storm Water Management Plan for the Bluffside Subdivision.

STORMWATER MANAGEMENT PLAN



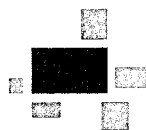
Bluffside

Caledonia, Wisconsin

PEG Project Number: 1543.00-WI

July 30, 2021

November 23, 2021



PINNACLE ENGINEERING GROUP

20725 Watertown Road | Suite 100 | Brookfield, WI 53186

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APPENDICIES

APPENDIX 1 – MAPS

- Vicinity Map

APPENDIX 2 – PRE-DEVELOPMENT CONDITIONS INFORMATION

- Hydrology Exhibit – Existing Conditions
- Hydrographs

APPENDIX 3 – POST-DEVELOPMENT CONDITIONS (RATE ATTENUATION)

- Hydrology Exhibit – Proposed Conditions
- Hydrographs

APPENDIX 4 – POST-DEVELOPMENT CONDITIONS (WATER QUALITY)

- WinSLAMM Modeling Input Data & Output Computations

APPENDIX 5 – SOIL MAP

Questions and comments can be directed to:

Aaron E. Koch, P.E.
Sr. Project Manager | Director of Engineering
Phone: 262.754.8888 | Fax: 262.754.8850
aekoch@pinnacle-engr.com

 PINNACLE ENGINEERING GROUP
20725 Watertown Road | Suite 100
Brookfield, WI 53186
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INTRODUCTION

The proposed project consists of subdivision infill with new lots located south of Four Mile Road and Bluffside Drive in the Village of Caledonia, Racine County, Wisconsin. The Village of Caledonia and the Wisconsin DNR have jurisdiction on the site with regards to stormwater goals. PEG has prepared a plan which will meet these goals.

DESIGN CRITERIA

Village of Caledonia..... Title 9 Chapter 2– also follows DNR regulations

Wisconsin Department of Natural Resources:.....NR 216 & NR 151

Water Quantity: The Village of Caledonia requires the 100-year post development peak discharge to not exceed the 10-year predevelopment peak runoff discharge. The post-development runoff discharges for storms up to and including the 10-year shall not exceed the 2-year predevelopment peak discharge. The 1-year and 2-year proposed storm event must also be kept at or below existing conditions for the 1-year and 2-year storm per NR 151.

Water Quality: The minimum Village and DNR requirements are to remove 80% of the total suspended solids (TSS) load on an average annual basis from the runoff from the site.

Infiltration: Infiltration is required for sites containing soils suitable for infiltration. In this case, the soil is not suitable for infiltration. Per NR 151, the site is exempt from the need to do infiltration and thus infiltration is not provided as part of this plan.

Protective Areas: Existing wetlands are present on site within Outlot 2 and Lot 11. A 10' protective "setback" for impervious area will apply.

EXISTING CONDITIONS

The Bluffside Caledonia site currently contains several lots that have been developed into single family homes, with the remaining area as unplatted lands. There is no stormwater currently existing for the development. The drainage area discharges to the Root River, which ultimately will reach Lake Michigan. The geotechnical report shows Ozaukee silt loam, which will be modeled as soil group C. Existing conditions for only the new lot area to be developed was modeled.

POST-DEVELOPMENT CONDITIONS

It is proposed to add 19 lots to the existing subdivision. Drainage from the site will be directed to a wet pond located in the southeast corner of the site, and discharge to a ditch leading to the Root River. Due to the existing drainage system, it is not possible to capture runoff from all 19 lots in one central pond. Some of the new lots will not be tributary to the proposed pond. To offset the new development, it is proposed to provide stormwater detention and sediment removal for an equal or greater acreage of existing lots and roadway. Of the 22.1 acres within the development, 13.5 acres of the new lots will be tributary to the stormwater pond and approximately 8.6 acres of the proposed lots will not be captured. To offset the 8.6 acres of uncaptured area, the stormwater pond will capture 5.5 acres of the existing lots and 5.0 acres of Right of Way. This adds in a total of 10.5 acres which more than offsets the undetained lots

by almost 2 acres. The modeled is then done for a total of 24.0 acres under both existing and proposed conditions which will result in stormwater being provided for a slightly larger area than required.

The existing swales and roadside ditches will convey the stormwater to the new pond location, some additional culverts are necessary to convey a proper area to the pond. The road will act as an embankment, however the roadside ditches adjacent to the pond will be kept intact so very little water will pond against the road itself. The low point in the road will act as a spillway during the 100-year storm the peak water elevation is below the edge of pavement by several inches and will not prohibit any vehicular traffic from using the road during the 100-year storm.

ANALYSIS METHODS

HydroCAD® (Version 10.00) software has been used to analyze stormwater characteristics for this stormwater management plan. HydroCAD uses the accepted TR-55 methodology for determining peak discharge runoff rates. Rainfall depths for the 1-year, 2-year, 10-year and 100-year storm events are 2.35, 2.67, 3.77, and 5.92 inches in accordance with SEWRPC rainfall depths. MSE3 24-hour rainfall distributions are used.

TSS reduction characteristics for the proposed water quality facilities were determined using WinSLAMM® (Version 10.4) Source Loading and Management Model.

SUMMARY OF RESULTS

To determine the allowable release rates, it is assumed that the existing drainage area to the pond is entirely undeveloped. This will result in the lowest peak flow rates and will ensure that the pond is detaining all of the drainage area from proposed conditions to predevelopment conditions.

Existing Drainage Data

Area	Area (ac)	CN	Tc (min)	Peak Flows 1-year (cfs)	Peak Flows 2-year (cfs)	Peak Flows 10-year (cfs)	Peak Flows 100-year (cfs)
New Lot Area to be Developed – No Roadways	24.0	70	13.1	9.8	15.0	36.8	89.9

Proposed Flows

Area	Area (ac)	CN	Tc (min)	Peak Flows 1-year (cfs)	Peak Flows 2-year (cfs)	Peak Flows 10-year (cfs)	Peak Flows 100-year (cfs)
Proposed Area to Pond	24.0	80	17.0	22.0	28.7	53.8	107.3
Pond Release after detention	---	---	---	4.5	6.8	17.0	32.2

Basin Data

Pond	Basin Bottom	Normal Water	Peak W.S. Elev. 2-year	Peak W.S. Elev. 100-year	Spillway Elev.
Wet Pond	646.5	651.5	652.9	655.5	655.9

The modeling indicates that the pond will detain the flows to the appropriate release rates.

Note that the plugged conditions was analyzed in the 100-year event. While it is unlikely that a 48" box and 30" pipe would ever be fully plugged, if the only discharge was the overflow over the roadway, the maximum depth on the roadway would be approximately 5".

Runoff Water Quality

Water quality will be provided for the new lot areas, existing lot areas and the existing roadway. Since the actual treated area exceeds the proposed new lot area, providing 80% TSS removal for the actual tributary area will exceed the minimum treatment needed for just the new lots. In addition, the actual area includes the roadway which will have a much higher TSS loading than the lots. By providing 80% removal for the roadway in lieu of the proposed lots, the actual TSS removal is much more than it would be for just lots and thus the minimum TSS removal is well exceeded by treating a larger area that also contains roadway.

Water Quality Summary

Area/Pond	Ponds of TSS Generated	Pounds of TSS Remaining	Pounds of TSS Removed	Percent Removal
Total Site	5095	982	4113	80.7%

Infiltration

Infiltration is not required due to the lack of soils suitable for infiltration. The site contains exclusively clay soils.

Protective Areas

Existing wetlands are present on the site. The wetlands will not be disturbed with the development of the lots and will be located within Outlot 2 and the west side of Lot 11. According to the delineator these wetlands are not high quality and a 10' protective area is appropriate. The building pads have been set in such a way to allow for a 10' protective area. The final home permit drawings for these lots should be reviewed to ensure the protective area is maintained.

CONCLUSION

The stormwater management features for the development have been designed to comply with the Village and DNR regulations. This includes peak flow reduction, water quality and protective areas. The proposed wet pond will serve to meet all these of these goals. Maintenance is expected to occur on a regular basis. An agreement with the Village of Caledonia will be executed to ensure this occurs.

MEMORANDUM

DATE: Monday, November 28, 2022

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director



RE: Bluffside – Site Improvement Plan Approval

BACKGROUND INFORMATION

Aaron Koch P.E. of Pinnacle Engineering Group has prepared a Site Improvement Plan for Bluffside, a residential infill subdivision consisting of 19 lots and 5 Outlots along existing roads (Old Orchard Boulevard, Park Ridge Drive, 4 Mile Road, and Bluffside Drive). The subdivision is located within the sewer and water service area.

The Site Improvement Plan includes Sanitary Sewer Laterals to the new lots, the extension of Watermain to the new lots, a Storm Water Pond, various storm sewer/road culvert improvements and a Master Grading Plan for the new lots.

The Sanitary Sewer Laterals and Watermain Plans have been reviewed by the Utility District Staff and the Utility District Consultant. The plans for the Sanitary Sewer Laterals and the Watermain are recommended for approval.

The Storm Water Pond was reviewed with the Storm Water Management Plan and is ready for approval.

The Storm Sewer/Road Culvert improvements and the Master Grading Plan for the new lots was reviewed by the Engineering Department. The Engineering Department has recommended approval of these plans.

The Bluffside Site Improvement Plans have also been reviewed by the Public Services Director and the plans are ready for Utility District Commission approval. It is recommended that the following motion be approved.

RECOMMENDATION

Move to approve the Site Improvement Plans for the Bluffside Subdivision.

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REVIEWED: AAK

DESIGNED: AAK

DRAWN: HLL

LEGEND

	EXISTING	PROPOSED
SANITARY SEWER MANHOLE		
STORM SEWER MANHOLE		
STORM SEWER CATCH BASIN (ROUND CASTING)		
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)		
PRECAST FLARED END SECTION		
CONCRETE HEADWALL		
VALVE BOX		
FIRE HYDRANT		
CLEANOUT		
SANITARY SEWER		
FORCE MAIN		
STORM SEWER		
DRAIN TILE		
WATER MAIN		
FIRE PROTECTION		
ELECTRICAL CABLE		
OVERHEAD WIRES		
GAS MAIN		
TELEPHONE LINE		
UTILITY CROSSING		
CAUTION EXISTING UTILITIES NEARBY		
GRANULAR TRENCH BACKFILL		
LIGHTING		
ELECTRICAL TRANSFORMER OR PEDESTAL		
POWER POLE		
POWER POLE WITH LIGHT		
GUY WIRE		
STREET SIGN		
CONTOUR		
SPOT ELEVATION		
WETLANDS		
PRIMARY ENVIRONMENTAL CORRIDOR		
FLOODWAY		
FLOODPLAIN		
HIGH WATER LEVEL (HWL)		
NORMAL WATER LEVEL (NWL)		
DIRECTION OF SURFACE FLOW		
DITCH OR SWALE		
DIVERSION SWALE		
OVERFLOW RELIEF ROUTING		
TREE WITH TRUNK SIZE		
SOIL BORING		
TOPSOIL PROBE		
FENCE LINE, TEMPORARY SILT		
FENCE LINE, WIRE		
FENCE LINE, CHAIN LINK OR IRON		
FENCE LINE, WOOD OR PLASTIC		
CONCRETE SIDEWALK		
CURB AND GUTTER		
DEPRESSED CURB		
REVERSE PITCH CURB & GUTTER		
EASEMENT LINE		

ABBREVIATIONS

BL	BASE LINE	MH	MANHOLE
BP	BOTTOM OF PIPE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
DP	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FES	FLARED END SECTION	ST	STORM SEWER
FF	FINISHED FLOOR	T	TANGENCY OF CURVE
FG	FINISHED GRADE	TB	TOP OF BANK
FL	FLOW LINE	TC	TOP OF CURB
FP	FLOODPLAIN	TF	TOP OF FOUNDATION
FR	FRAME	TP	TOP OF PIPE
FW	FLOODWAY	TS	TOP OF SIDEWALK
PYG	FINISHED YARD GRADE	TW	TOP OF FOUNDATION WALL
HWL	HIGH WATER LEVEL	WM	WATER MAIN
INV	INVERT	Δ	INTERSECTION ANGLE
L	LENGTH OF CURVE		

ENGINEERING IMPROVEMENT PLANS

FOR

BLUFFSIDE

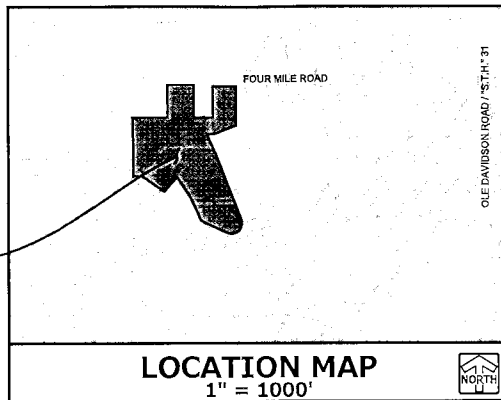
CALEDONIA, WISCONSIN

PLANS PREPARED
FOR

BLUFFSIDE ESTATES, LLC

8338 CORPORATE DRIVE, SUITE 300
MOUNT PLEASANT, WI 53406

PROJECT
LOCATION



GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- NO GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THE PROJECT SITE.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGERS' HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

INDEX OF SHEETS

C-1	COVER SHEET
C-2	EXISTING CONDITIONS
C-3 - C-6	GRADING PLAN
C-7 - C-10	EROSION CONTROL PLAN
C-11 - C-14	UTILITY PLAN
C-15 - C-19	WATERMAIN PLAN & PROFILE
C-20 - C-21	CONSTRUCTION DETAILS

PROJECT CONTACTS

CIVIL ENGINEER	DEVELOPER
AARON KOCH, P.E. SENIOR PROJECT MANAGER PRINCIPAL 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888	RAY LEFFLER BLUFFSIDE ESTATES, LLC 8338 CORPORATE DRIVE, STE 300 MOUNT PLEASANT, WI 53406

CONTACT VILLAGE FOR PERMITS,
INSTALLATION AND INSPECTION
INSTRUCTIONS PRIOR TO
PERFORMING ANY WORK IN VILLAGE
ROAD RIGHT OF WAYS



Toll Free (800) 242-8511
Milwaukee Area (414) 250-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

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FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

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BROOKFIELD, WI 53186
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

BLUFFSIDE

CALEDONIA, WI

COVER SHEET

REVISIONS

1. PER VILLAGE COMMENTS	07/30/21	5. PER VILLAGE COMMENTS	06/27/22
2. PER VILLAGE COMMENTS	12/06/22	6. PER VILLAGE COMMENTS	07/20/2022
3. PER VILLAGE COMMENTS	02/18/22		
4. PER VILLAGE COMMENTS	04/05/22		

PAGE JOB NO. 1543.00
REG. PK. AAK
START DATE 05/03/21
SCALE N.T.S.

SHEET
C-1
OF
C-21

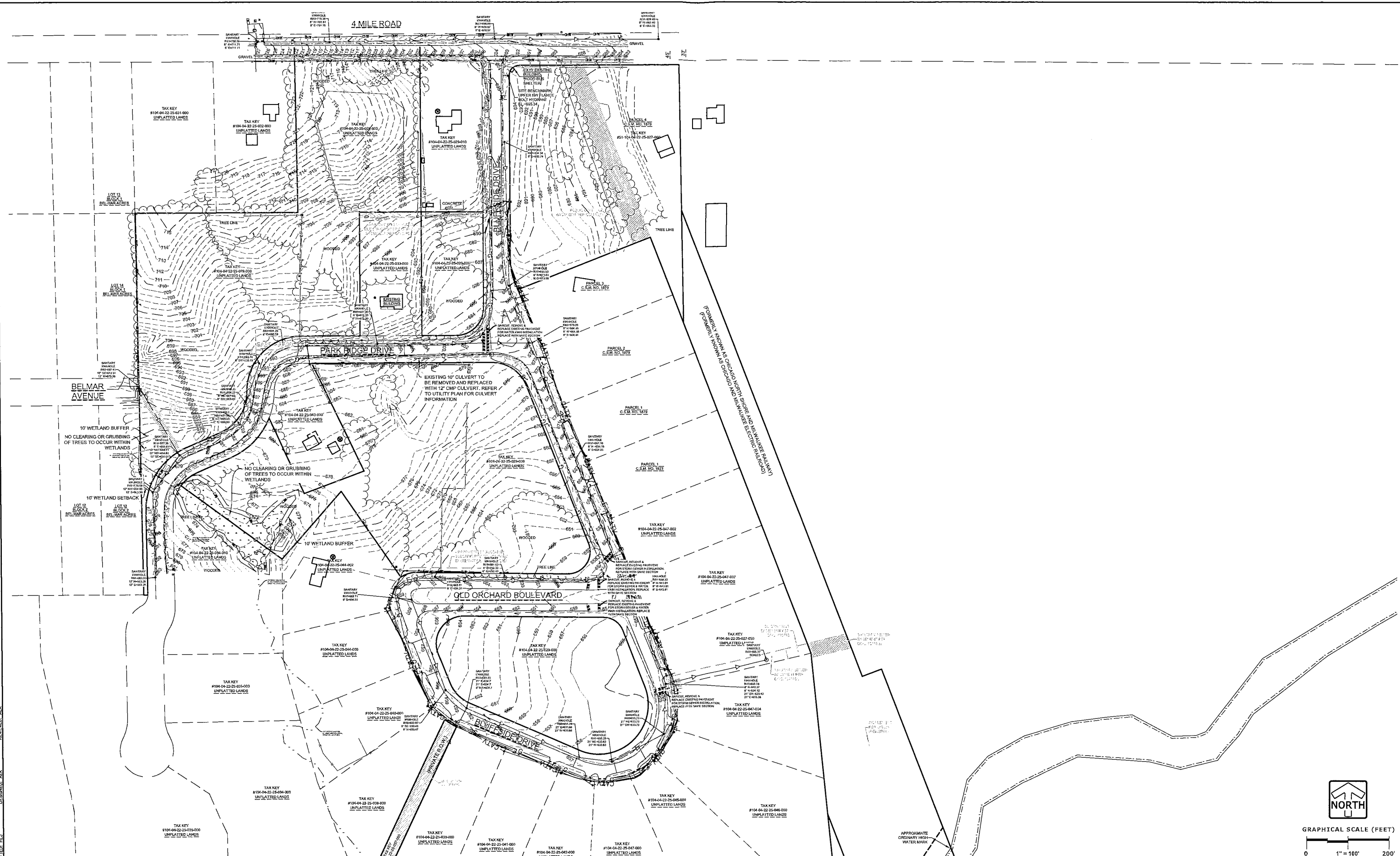
COVER SHEET

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BLUFFSIDE

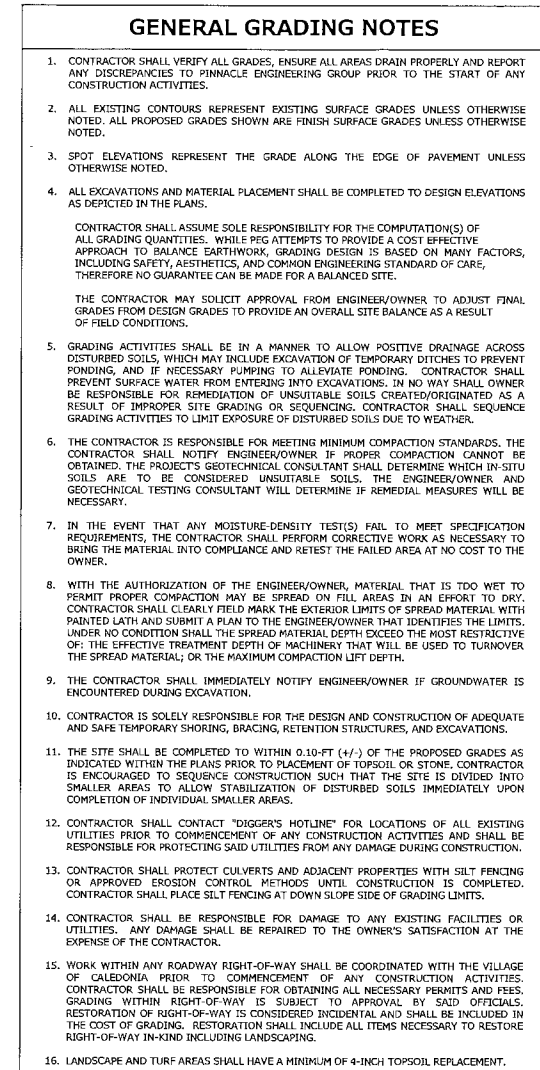
CALEDONIA, WI

EXISTING CONDITIONS

REVISIONS					
1	PER VILLAGE COMMENTS	07/30/21	5	PER VILLAGE COMMENTS	06/27/22
2	PER VILLAGE COMMENTS	12/06/22	6	PER VILLAGE COMMENTS	07/20/2022
3	PER VILLAGE COMMENTS	02/18/22			
4	PER VILLAGE COMMENTS	04/05/22			

FIG. NO. 1543.00
A/E/C
START DATE 05/03/21
SCALE 1" = 100'

SHEET
C-2
OF
C-21



ROAD DITCHES DISTURBED WHICH ARE IN
EXCESS OF 2% SHALL BE SODDED WITH
DITCH CHECKS INSTALLED

SHEET C-6
DETAIL A

ROOT RIVER

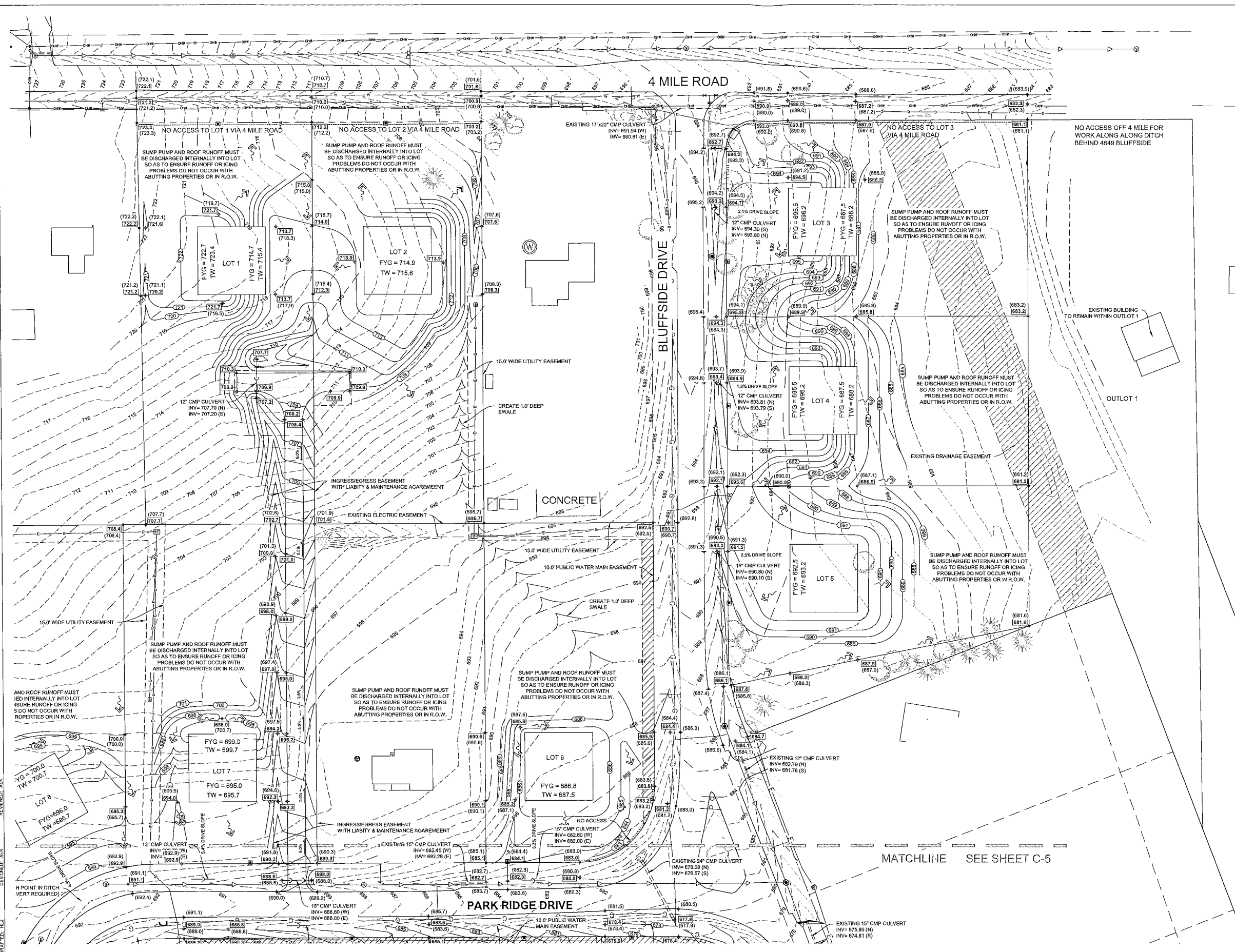


GRAPHICAL SCALE (FEET)










0 1" = 100' 200'

1. PER VILLAGE COMMENTS	07/30/21	5. PER VILLAGE COMMENTS	06/27/22
2. PER VILLAGE COMMENTS	12/06/22	6. PER VILLAGE COMMENTS	07/20/2022
3. PER VILLAGE COMMENTS	02/18/22		
4. PER VILLAGE COMMENTS	04/05/22		

SHEET
C-3
OF
C-21



LEGEND

- | | |
|---|--|
|  | STORM SEWER MANHOLE |
|  | STORM SEWER CATCH BASIN- ROUND CASTING |
|  | STORM SEWER CATCH BASIN- RECTANGULAR CASTING |
|  | PROPOSED CONCRETE FLARED END SECTION |
|  | PROPOSED STORM SEWER |
|  | PROPOSED CONTOUR |
|  | PROPOSED SPOT ELEVATION |
|  | EXISTING SPOT ELEVATION |
|  | DIRECTION OF SURFACE FLOW |
| TW | TOP OF WALL |
| FYG | YARD GRADE |

**ANY LOTS WITH MORE THAN 3.0' OF
FILL SHALL PROVIDE GEO-TECHNICAL
REPORTS TO VILLAGE.**

**ROAD OPENING PERMIT FOR ALL WORK
BEING PERFORMED IN VILLAGE ROAD
RIGHT OF WAY REQUIRED**

ROAD DITCHES DISTURBED WHICH ARE IN
EXCESS OF 2% SHALL BE SODDED WITH
DITCH CHECKS INSTALLED



GRAPHICAL SCALE (FEET)

0 1" = 40' 80'

REVISIONS

1	PER VILLAGE COMMENTS	07/30/21	5	PER VILLAGE COMMENTS	06/27/22
2	PER VILLAGE COMMENTS	12/05/22	6	PER VILLAGE COMMENTS	07/20/20
3	PER VILLAGE COMMENTS	02/18/22			
4	PER VILLAGE COMMENTS	04/05/22			

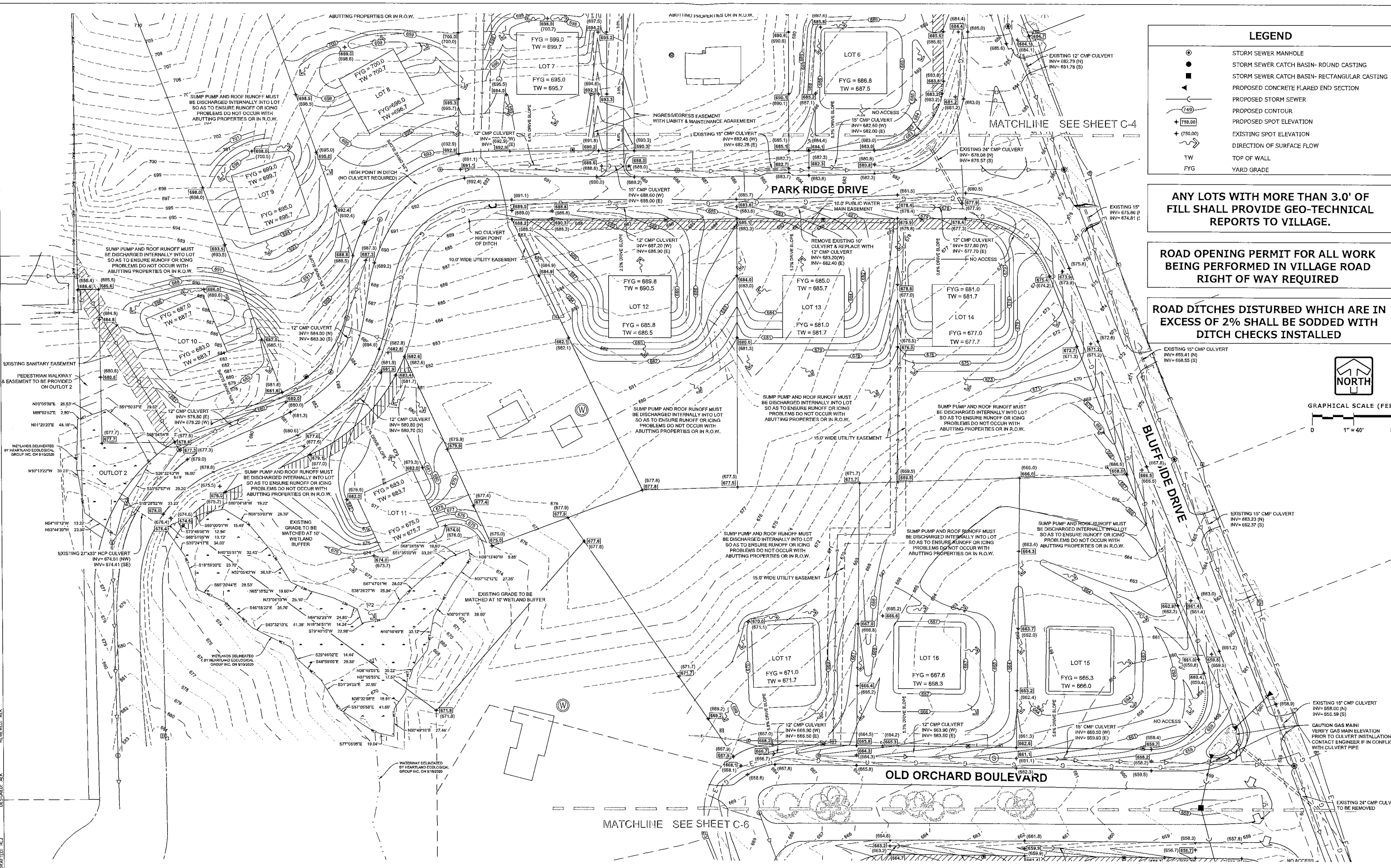
SHEET
C-4
OF
C-21


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DESIGNED: A/E/C

REVIEWED: A/E/C

DRAFTED: H/LJ





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CHICAGO | MILWAUKEE | NATIONWIDE

BLUFFSIDE
CALEDONIA, WI

GRADING PLAN

REVISIONS	
1. PER VILLAGE COMMENTS	07/30/21
2. PER VILLAGE COMMENTS	12/06/22
3. PER VILLAGE COMMENTS	02/18/22
4. PER VILLAGE COMMENTS	04/05/22
5. PER VILLAGE COMMENTS	06/27/22
6. PER VILLAGE COMMENTS	02/20/2023

PER JOB No. 1543.00
PER IN. A/E/C
START DATE 02/03/21
SCALE 1" = 40'

SHEET
C-5
OF
C-21

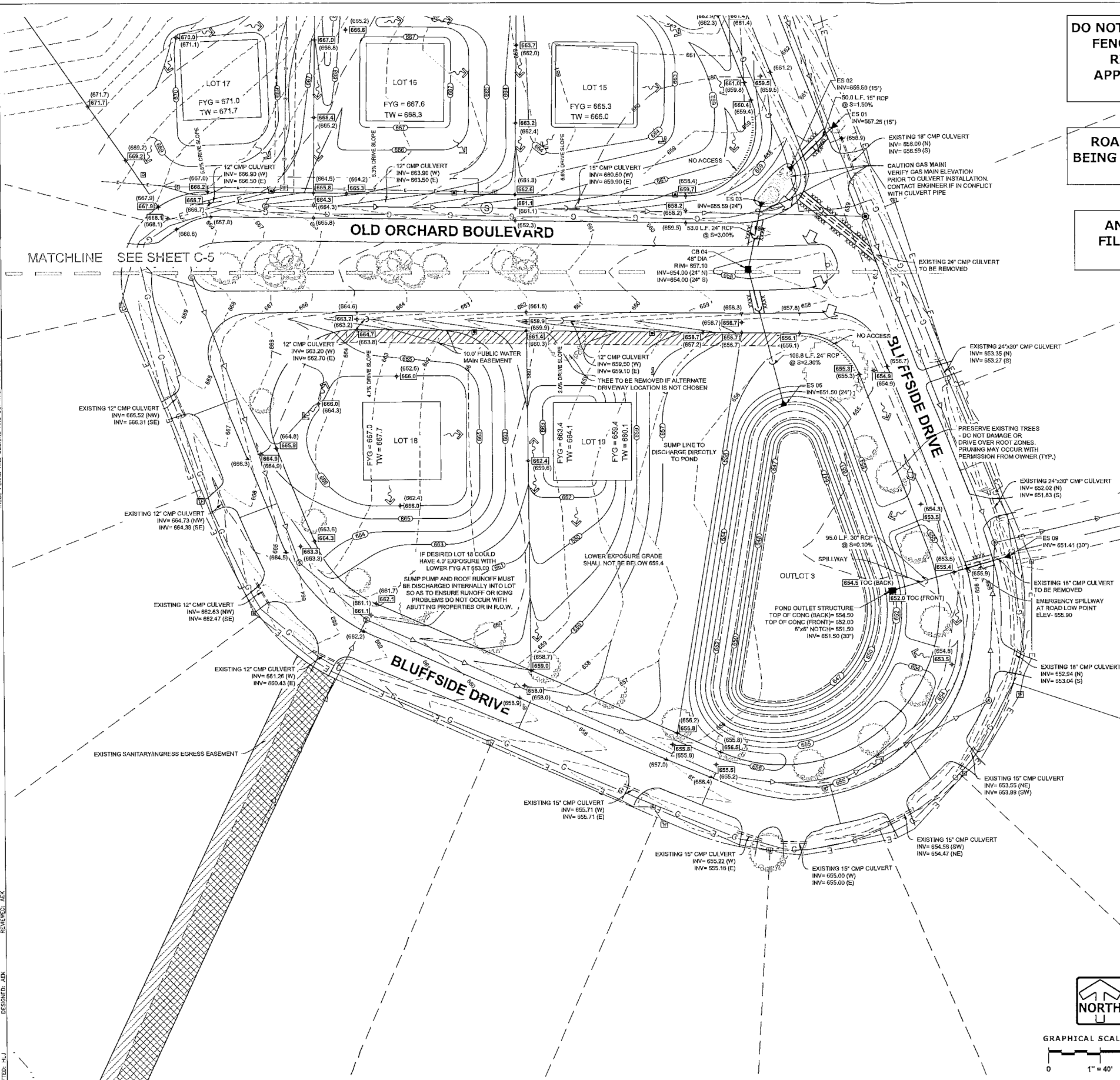
Z:\PROJECTS\2018\1543.00-WI\CAD\SHEETS\1543.00-WI GRADING PLAN.DWG

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GRADING PLAN

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DRAFTED: HLJ
DESIGNED: AER
REVIEWED: AER



DO NOT INSTALL TREES, PLANTINGS, BERMS, FENCES OR OTHER ITMES IN THE ROAD RIGHT OF WAY WITHOUT PROPER APPROVALS FROM THE PUBLIC WORKS DIRECTOR.

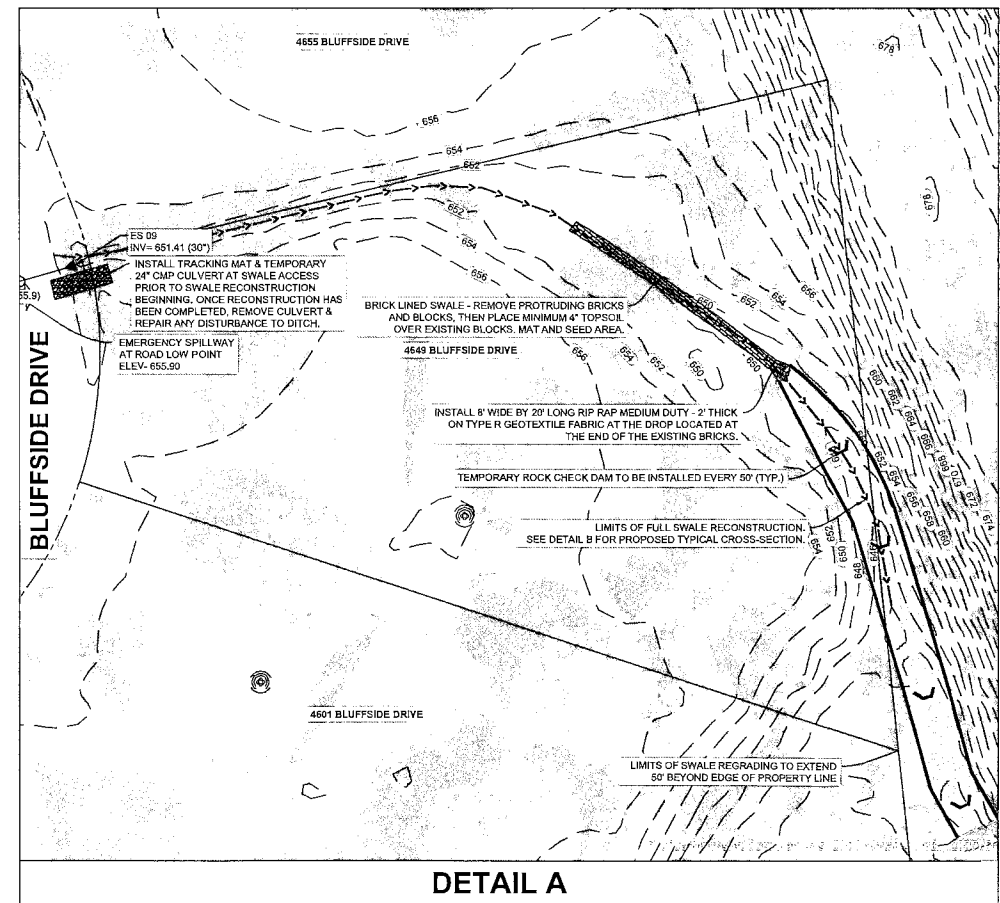
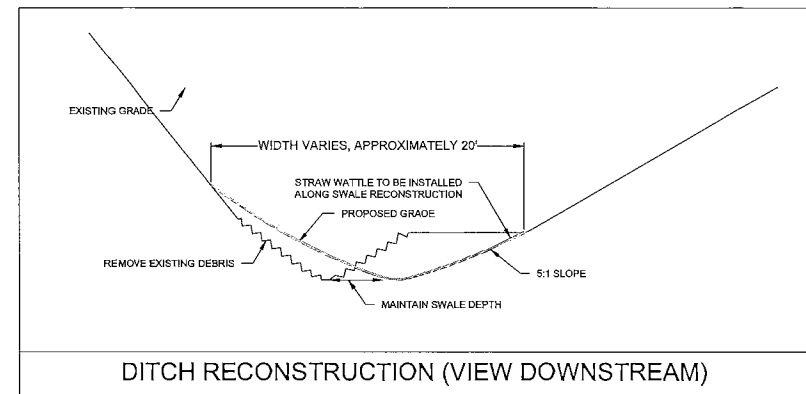
ROAD OPENING PERMIT FOR ALL WORK BEING PERFORMED IN VILLAGE ROAD RIGHT OF WAY REQUIRED

ANY LOTS WITH MORE THAN 3.0' OF FILL SHALL PROVIDE GEO-TECHNICAL REPORTS TO VILLAGE.

LEGEND

	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN- ROUND CASTING
	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
	PROPOSED CONCRETE FLARED END SECTION
	PROPOSED STORM SEWER
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	TOP OF WALL
	YARD GRADE

ROAD DITCHES DISTURBED WHICH ARE IN EXCESS OF 2% SHALL BE SODDED WITH DITCH CHECKS INSTALLED



BLUFFSIDE
CALEDONIA, WI

GRADING PLAN

REVISIONS	
1. PER VILLAGE COMMENTS	07/30/21
2. PER VILLAGE COMMENTS	12/06/22
3. PER VILLAGE COMMENTS	02/18/22
4. PER VILLAGE COMMENTS	04/05/22
5. PER VILLAGE COMMENTS	06/27/22
6. PER VILLAGE COMMENTS	07/20/2022

FIG. JOB No. 1543.00
PES. PM. AER
START DATE 05/03/21
SCALE 1" = 40'

SHEET
C-6
OF
C-21

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DRAFTED: HJJ
DESIGNED: AEK
REVIEWED: AEK

SHEET C-8

SHEET C-8

SHEET C-10

BLUFFSIDE
CALEDONIA, WI

EROSION CONTROL PLAN
OVERVIEW

REVISIONS

1	PER VILLAGE COMMENTS	07/30/21	5	PER VILLAGE COMMENTS	06/27/22
2	PER VILLAGE COMMENTS	12/06/22	6	PER VILLAGE COMMENTS	07/20/2022
3	PER VILLAGE COMMENTS	02/18/22			
4	PER VILLAGE COMMENTS	04/05/22			

FIG JOB No. 1543.00
FIG PM AEK
START DATE 05/03/21
SCALE 1" = 100'

SHEET
C-7
OF
C-21

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LEGEND

⊙	STORM SEWER MANHOLE	—	NORMAL WATER LEVEL (NWL)
●	STORM STORM CATCH BASIN (ROUND CASTING)	— SF —	SILT FENCE
■	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	○	INLET PROTECTION
▶	PRECAST FLARED END SECTION	■	CONSTRUCTION ENTRANCE
—	PROPOSED CONTOUR	□	EROSION CONTROL BLANKET
+	PROPOSED SPOT ELEVATION		
—	WETLANDS		

CONSTRUCTION SITE SEQUENCING

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
2. CONSTRUCT BASIN TO BE USED AS SEDIMENT TRAP ON WITHIN OUTLOT 3.
3. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE. ANY STOCKPILE INACTIVE FOR 7 DAYS OR LONGER SHALL BE STABILIZED.
4. CONDUCT ROUGH GRADING EFFORTS AND INSTALL DITCH CHECKS AS NEEDED.
5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
7. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
8. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.



GRAPHICAL SCALE (FEET)
0 1" = 100' 200'

EROSION CONTROL PLAN OVERVIEW

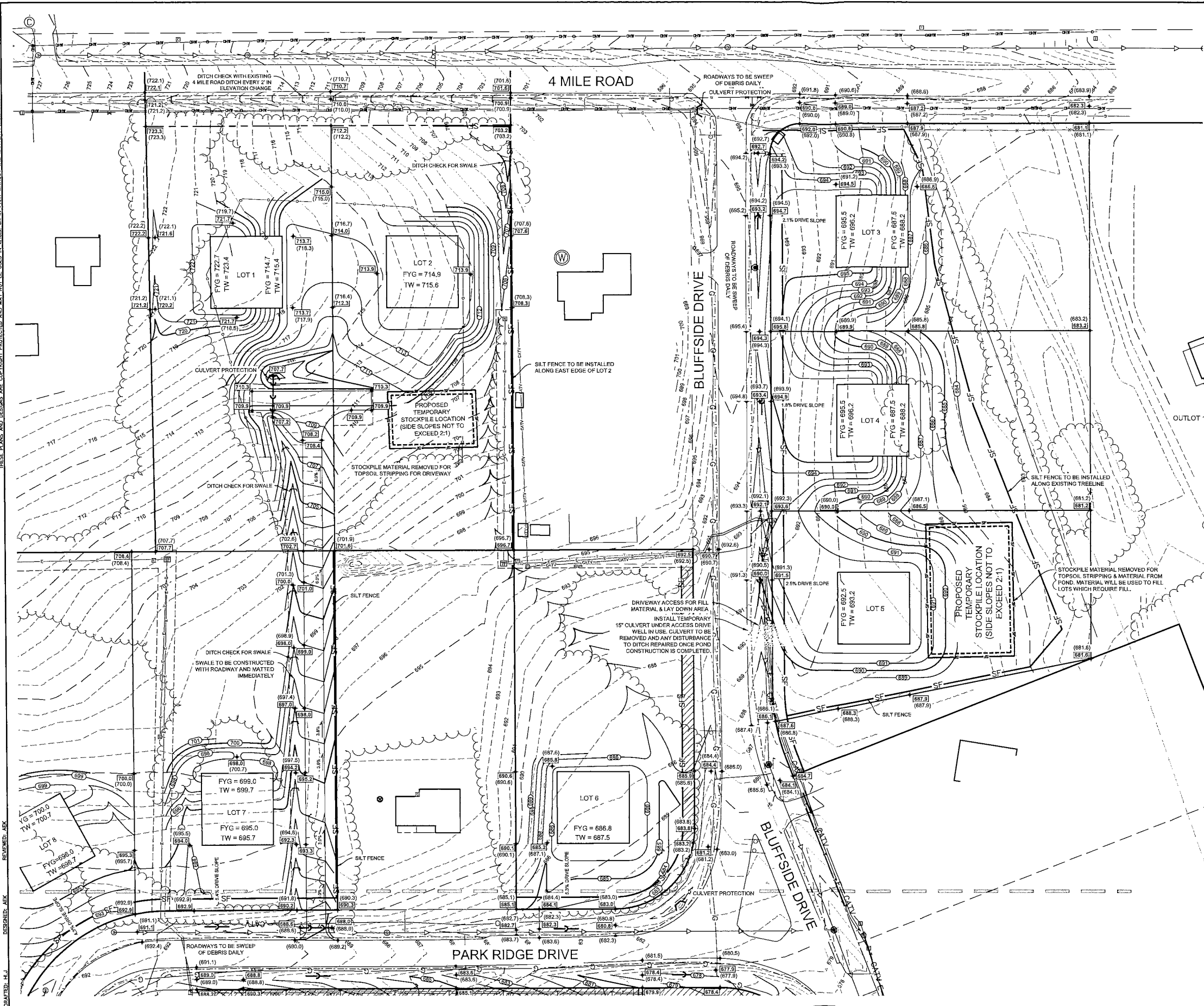
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DESIGNED: HJJ

REVIEWED: AER

DATE: 05/03/21



LEGEND

STORM SEWER MANHOLE

STORM STORM CATCH BASIN (ROUND CASTING)

STORM SEWER CATCH BASIN (RECTANGULAR CASTING)

PRECAST FLARED END SECTION

PROPOSED CONTOUR

PROPOSED SPOT ELEVATION

WETLANDS

NORMAL WATER LEVEL (NWL)

SILT FENCE

INLET PROTECTION

CONSTRUCTION ENTRANCE

EROSION CONTROL BLANKET

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EROSION CONTROL PLAN

REVISIONS			
1.	PER VILLAGE COMMENTS	02/30/21	5. PER VILLAGE COMMENTS 06/27/22
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4.	PER VILLAGE COMMENTS	04/05/22	

REG JOB No. 1543.00

REG PN. AER

START DATE 05/03/21

SCALE 1" = 40'

SHEET

C-8

OF

C-21

5-COPY/8/8/21/2021

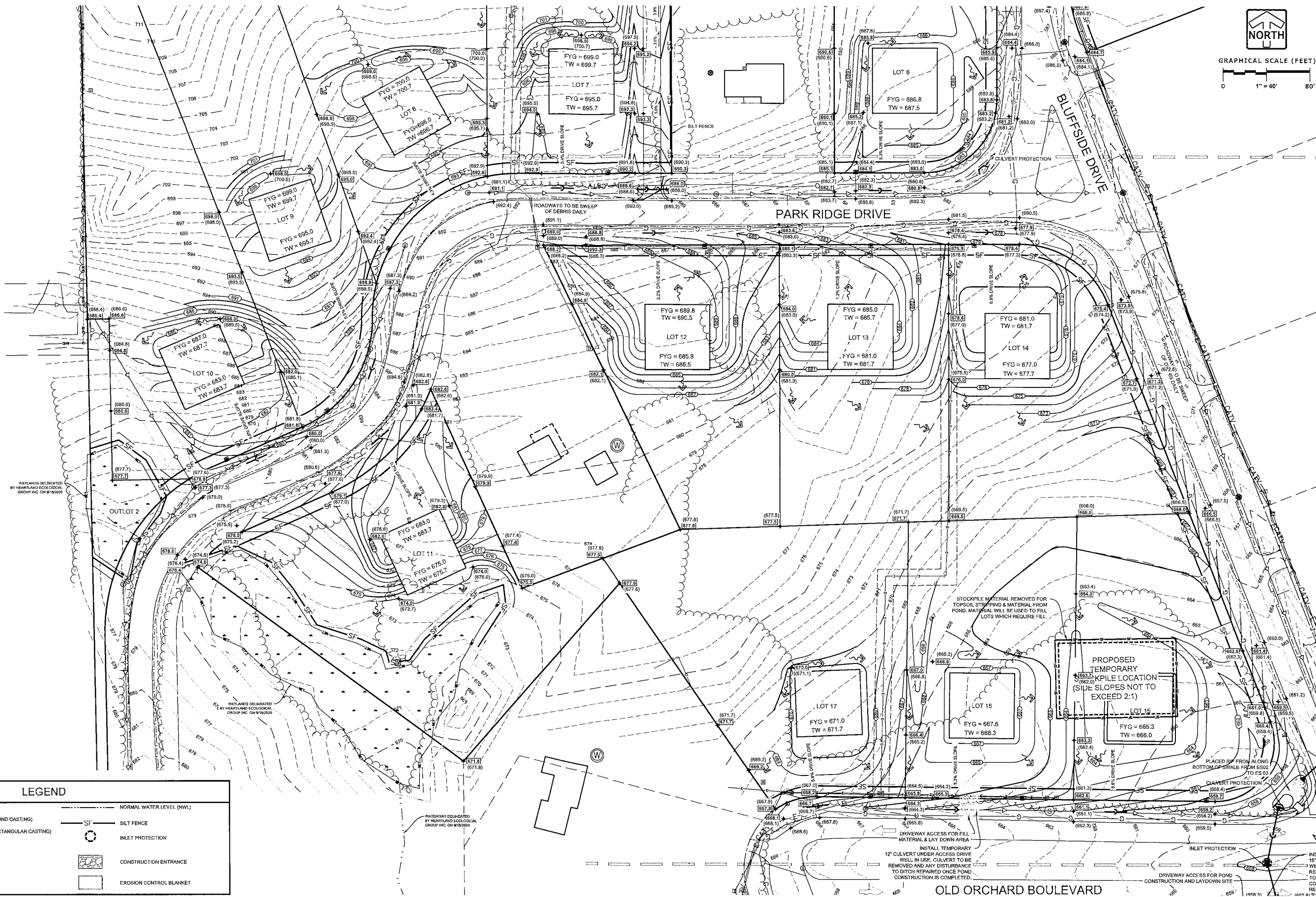
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Z:\PROJECTS\2018\1543.00-WI\CAD\Sheets\1543.00-WI EROSION CONTROL PLAN.DWG



GRAPHICAL SCALE (FEET)

0 1" = 40' 80'



LEGEND

- | | |
|---|----------------------------|
| ● STORM SEWER MANHOLE | — NORMAL WATER LEVEL (NWL) |
| ● STORM STORM CATCH BASIN (ROUND CASTING) | — Silt Fence |
| ● STORM SEWER CATCH BASIN (RECTANGULAR CASTING) | ○ INLET PROTECTION |
| ▶ PRECAST FLARED END SECTION | ■ CONSTRUCTION ENTRANCE |
| — PROPOSED CONTOUR | □ EROSION CONTROL BLANKET |
| + 769.0 PROPOSED SPOT ELEVATION | |
| WETLANDS | |

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EROSION CONTROL PLAN

REVISIONS

- | | | | |
|-------------------------|----------|-------------------------|------------|
| 1. PER VILLAGE COMMENTS | 02/30/21 | 5. PER VILLAGE COMMENTS | 06/27/22 |
| 2. PER VILLAGE COMMENTS | 12/06/22 | 6. PER VILLAGE COMMENTS | 07/20/2022 |
| 3. PER VILLAGE COMMENTS | 02/18/22 | | |
| 4. PER VILLAGE COMMENTS | 04/05/22 | | |

FIG. JOB NO. 1543.00

DESIGNER: A/E/C

START DATE: 03/03/21

SCALE: 1" = 40'

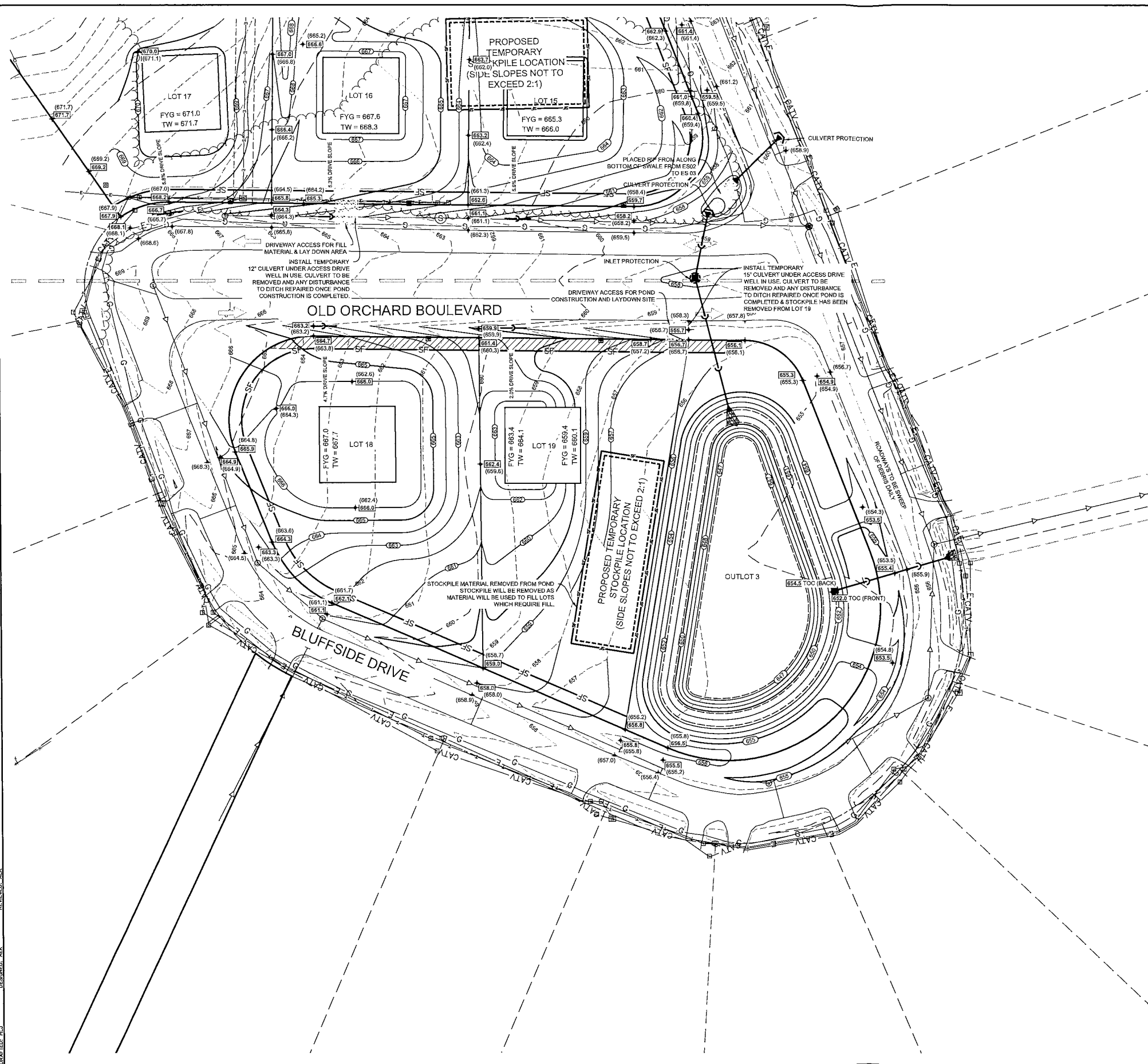
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C-9
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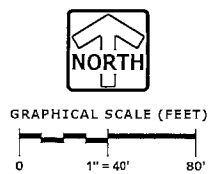
DESIGNED: AAK

DRAFTED: HLJ



LEGEND

●	STORM SEWER MANHOLE	---	NORMAL WATER LEVEL (NWL)
●	STORM STORM CATCH BASIN (ROUND CASTING)	SF	SILT FENCE
■	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	○	INLET PROTECTION
▶	PRECAST FLARED END SECTION	■	CONSTRUCTION ENTRANCE
---	PROPOSED CONTOUR	□	EROSION CONTROL BLANKET
+	PROPOSED SPOT ELEVATION		
—	WETLANDS		



MATERIAL FROM POND TO BE STOCKPILED ON LOT 3, 15 & 19 PER PLANS AND SURROUNDED WITH SILT FENCE. STOCKPILE SIDE SLOPES NOT TO EXCEED 2:1. STOCKPILE TO BE STABILIZED IF IT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.

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CALEDONIA, WI

EROSION CONTROL PLAN

REVISIONS					
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2	PER VILLAGE COMMENTS	12/06/22	6	PER VILLAGE COMMENTS	07/20/2022
3	PER VILLAGE COMMENTS	02/18/22			
4	PER VILLAGE COMMENTS	04/05/22			

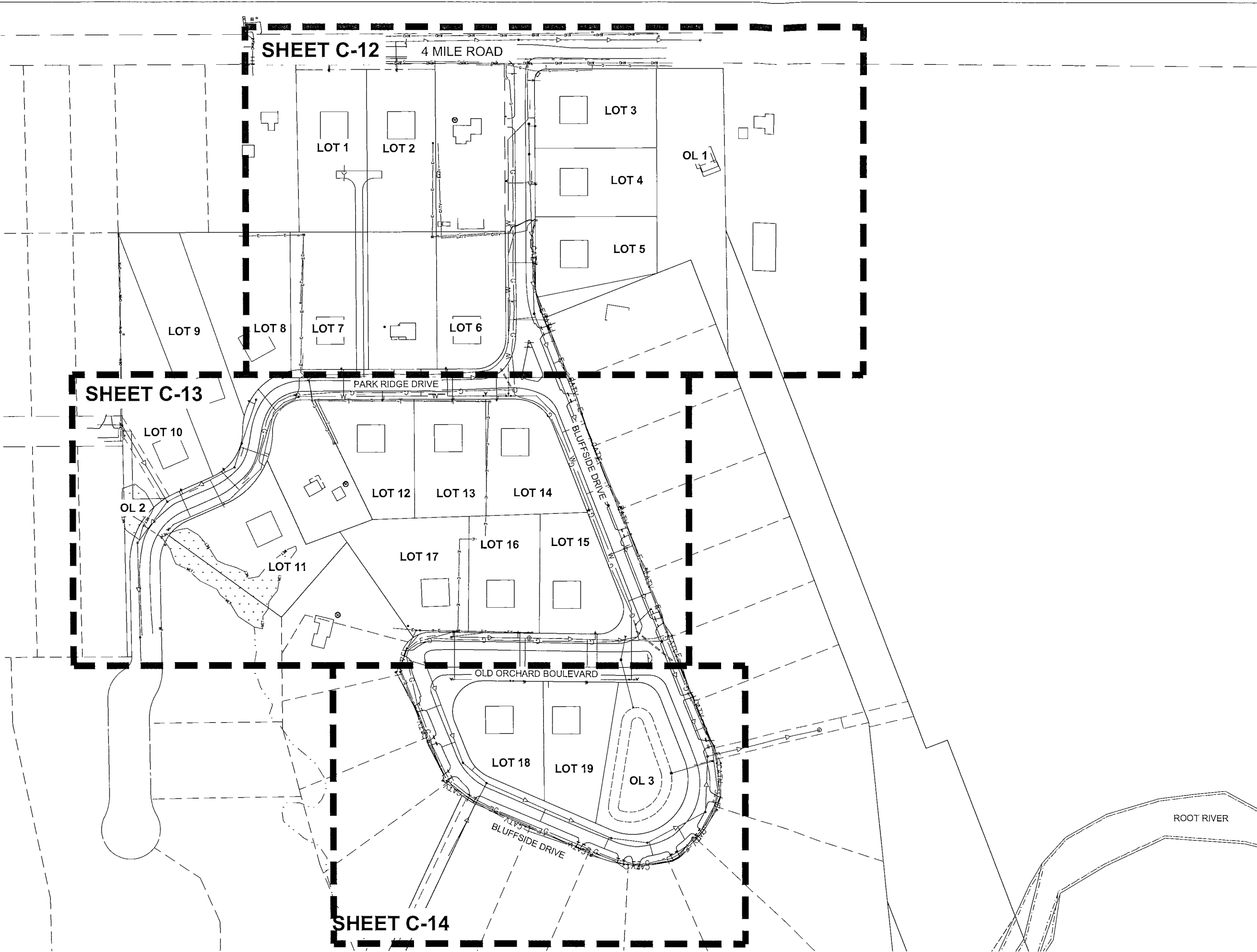
PROJ NO: 1543.00
SHEET C-10 OF C-21
START DATE: 05/03/21
SCALE: 1" = 40'

EROSION CONTROL PLAN

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DRAFTED: HLJ
DESIGNED: AKK
REVIEWED: AKK



LEGEND	
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN- ROUND CASTING
	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
	PROPOSED CONCRETE FLARED END SECTION
	PROPOSED STORM SEWER
	PROPOSED CONTOUR
	SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	TW TOP OF WALL
	FYG YARD GRADE

- GENERAL GRADING NOTES
1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.

2. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.

3. SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

4. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.

CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.

THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.

5. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.

6. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.

7. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.

8. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.

9. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.

10. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.

11. THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.

12. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.

13. CONTRACTOR SHALL PROTECT CULVERTS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.

14. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

15. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE VILLAGE OF CALEDONIA PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.

16. LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.

ALL WORK WITHIN PUBLIC R.O.W.
SHALL CONFORM TO THE VILLAGE OF
CALEDONIA STANDARDS.



GRAPHICAL SCALE (FEET)
0 1" = 100' 200'

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BLUFFSIDE
CALEDONIA, WI

UTILITY PLAN OVERVIEW

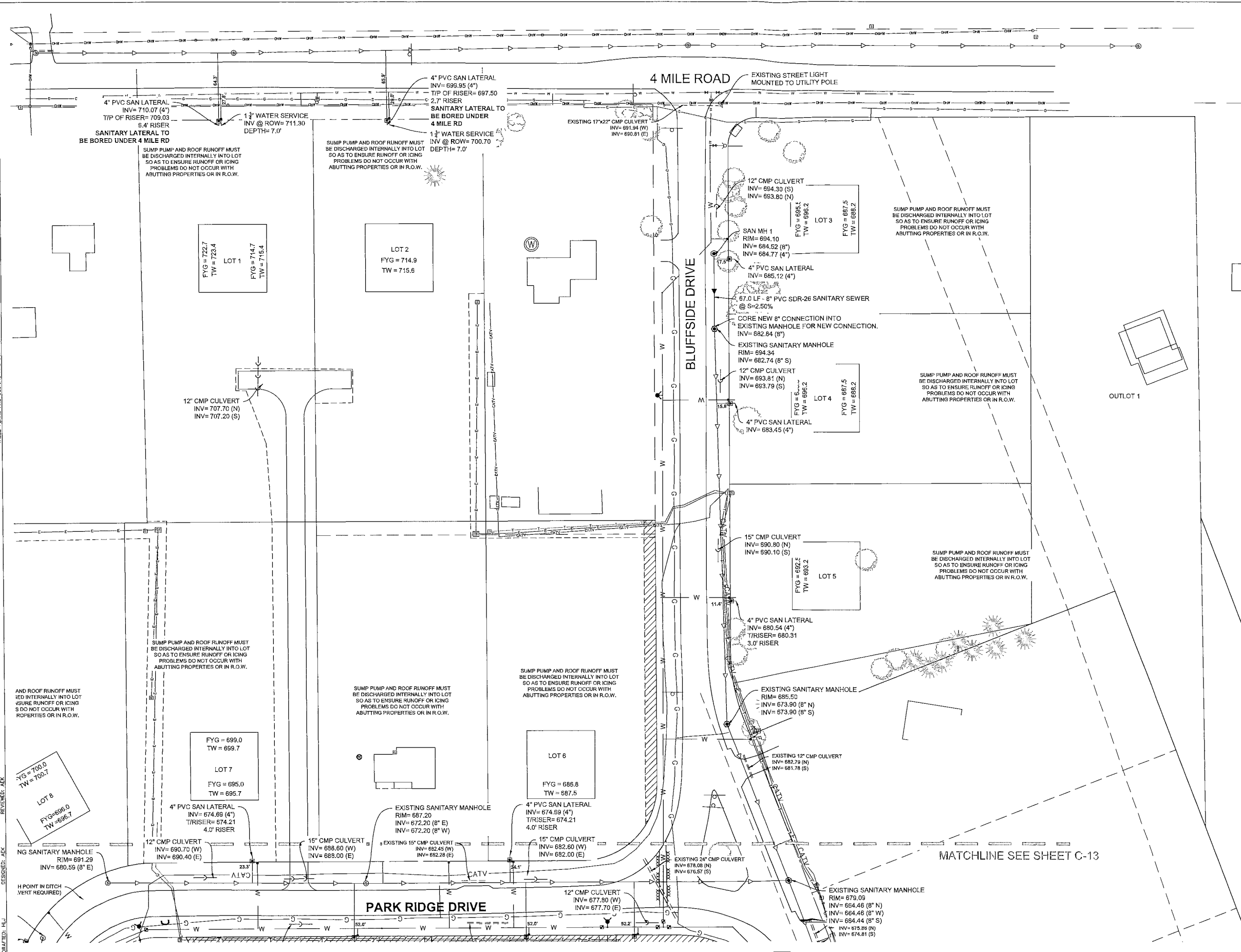
REVISIONS						1543.00	AKK	SHEET
						PEG JOB No.	PEG PW	
1.	PER VILLAGE COMMENTS	07/30/21	5.	PER VILLAGE COMMENTS	06/27/22	START DATE	05/03/21	C-11 OF C-21
2.	PER VILLAGE COMMENTS	12/06/22	6.	PER VILLAGE COMMENTS	07/20/2022			
3.	PER VILLAGE COMMENTS	02/18/22						
4.	PER VILLAGE COMMENTS	04/05/22						
						SCALE	1" = 100'	

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REVIEWED: AEK

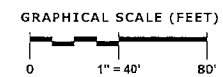
DESIGNED: AEK

DRAFTED: MLJ



LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	SANITARY SEWER
	FORCE MAIN
	STORM SEWER
	DRAIN TILE
	WATER MAIN
	FIRE PROTECTION
	UTILITY CROSSING
	ELECTRICAL CABLE
	GAS MAIN
	TELEPHONE LINE

SANITARY SEWER CLEANOUT SHALL BE PLACED 1.0' INSIDE OF PROPERTY LINE



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UTILITY PLAN

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REG JOB No. 1543.00
PES PM AEK
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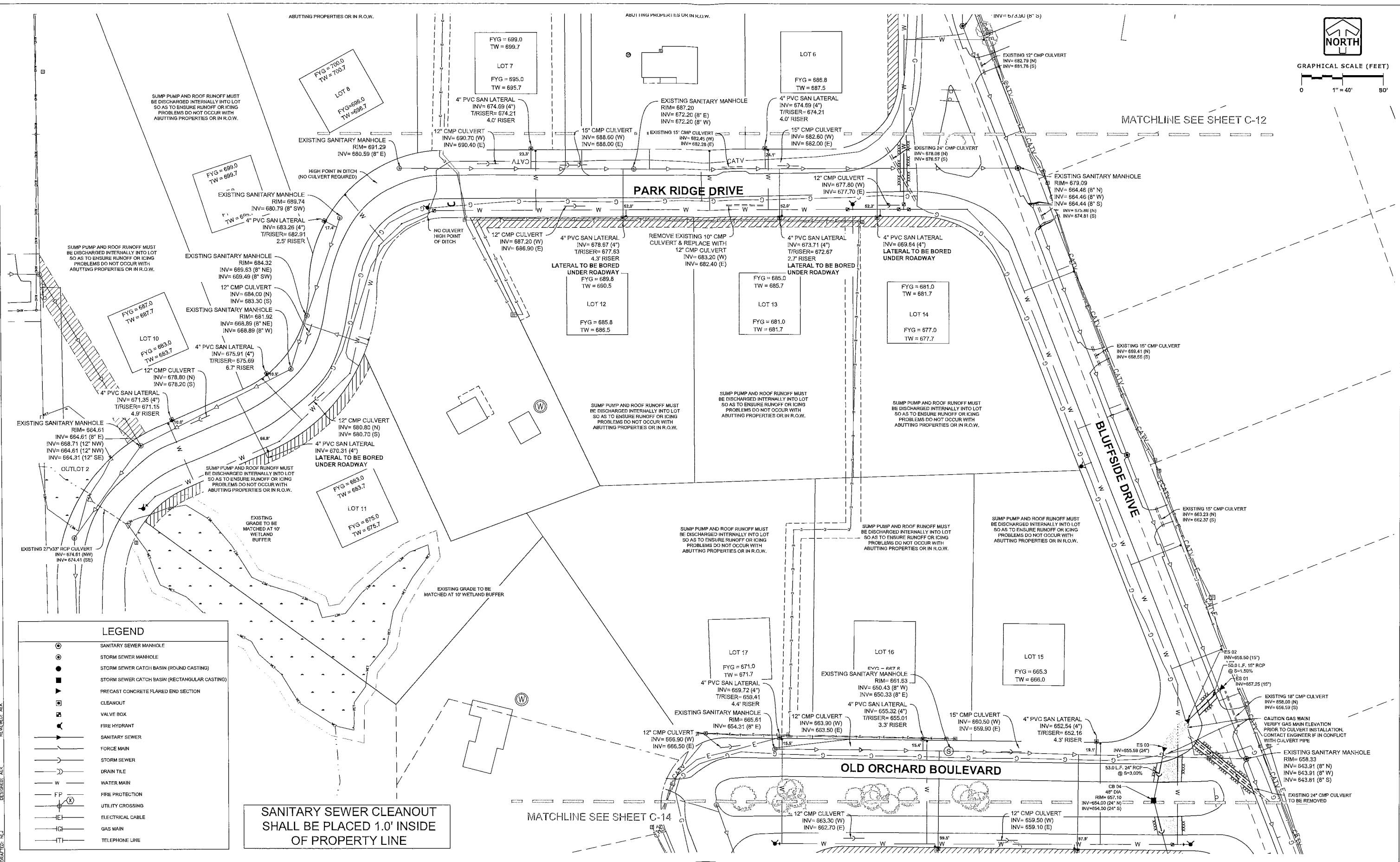
SHEET
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OF
C-21

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REVIEWED: AEX

DESIGNED: AEX

DRAWN: HJ





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6. PER VILLAGE COMMENTS	07/20/2022

PER JOB NO. 1543.00

PER IN. AEX

START DATE 05/03/21

SCALE 1" = 40'

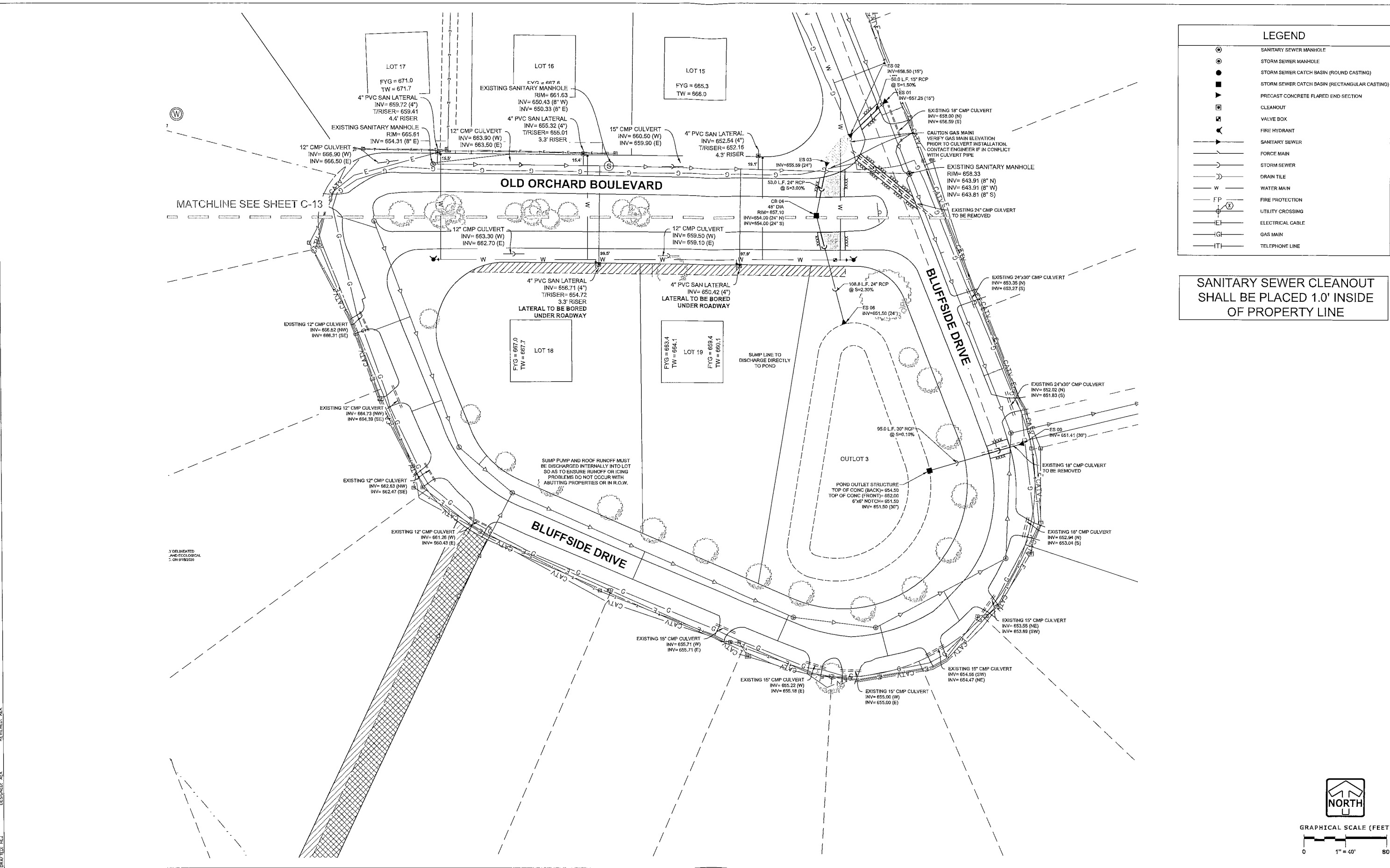
SHEET
C-13
OF
C-21

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REVIEWED: AEX

DESIGNED: AEX

DRAFTED: HLJ





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BLUFFSIDE CALEDONIA, WI

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REG JOB NO. 1543.00
REG PN. AEX
START DATE 05/03/21
SCALE 1" = 40'

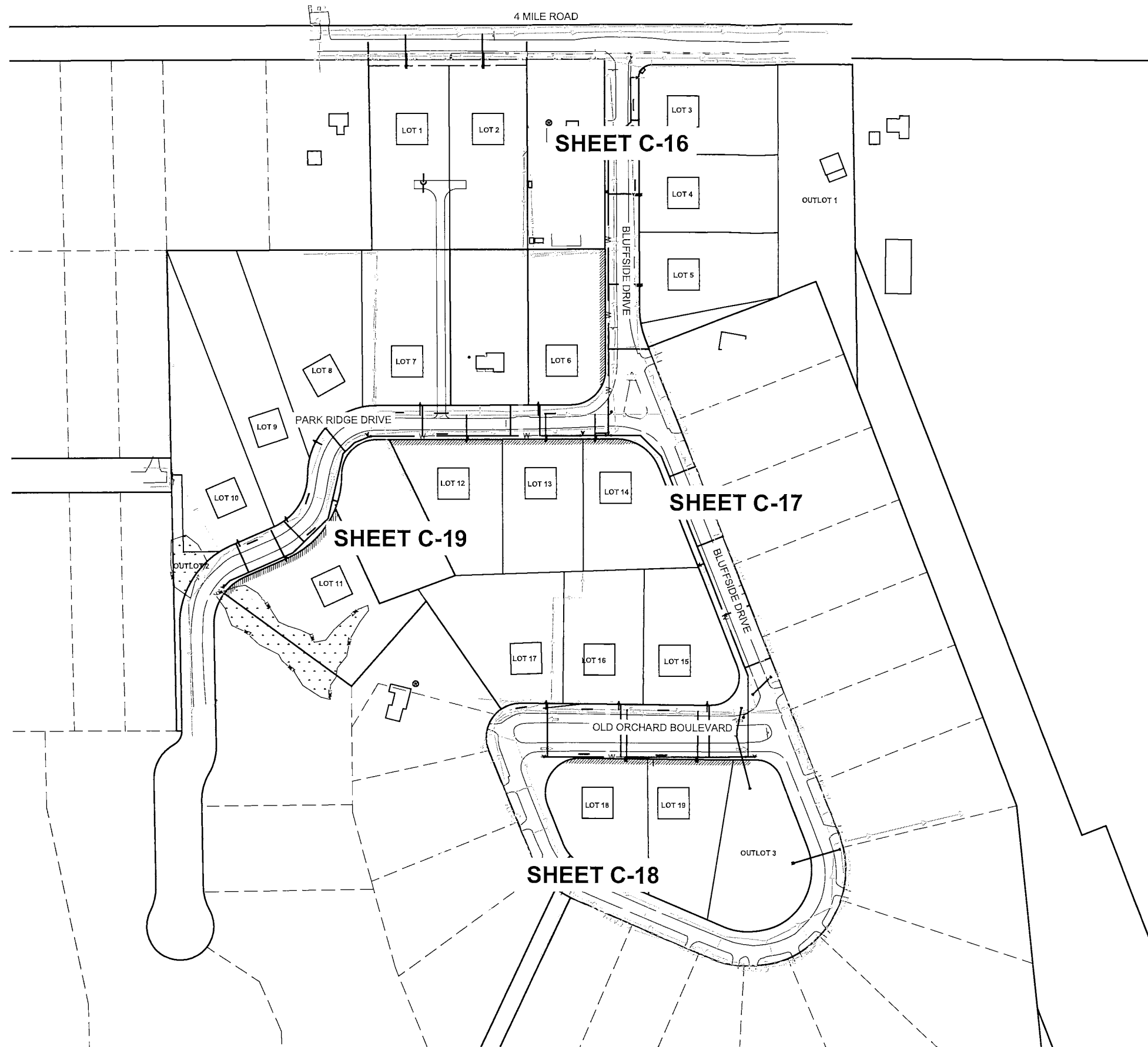
SHEET
C-14
OF
C-21

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DESIGNED: A&K

REVIEWED: A&K

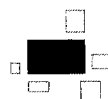
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LEGEND			
	SANITARY SEWER MANHOLE		VALVE BOX
	STORM SEWER MANHOLE		FIRE HYDRANT
	STORM SEWER CATCH BASIN (ROUND CASTING)		SANITARY SEWER
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)		STORM SEWER
	PRECAST CONCRETE FLARED END SECTION		WATER MAIN
	CLEANOUT		UTILITY CROSSING



GRAPHICAL SCALE (FEET)
0 1" = 100' 200'



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CALEDONIA, WI

**WATERMAIN PLAN &
PROFILE OVERVIEW**

REVISIONS

1.	PER VILLAGE COMMENTS	07/20/21	5.	PER VILLAGE COMMENTS	06/27/22
2.	PER VILLAGE COMMENTS	12/05/22	6.	PER VILLAGE COMMENTS	07/20/2023
3.	PER VILLAGE COMMENTS	02/18/22			
4.	PER VILLAGE COMMENTS	04/05/22			

REG JOB No. 1543.00
REG PN: A&K
START DATE 05/03/21
SCALE: 1" = 100'

SHEET
C-15
OF
C-21

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WATERMAIN PLAN & PROFILE OVERVIEW

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DESIGNED: AER

REVIEWED: AER

DRAWN: HJL



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**WATERMAIN PLAN &
PROFILE**

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3.	PER VILLAGE COMMENTS	02/18/22			
4.	PER VILLAGE COMMENTS	04/05/22			

FIG JOB No. 1543.00

FIG PN. AER

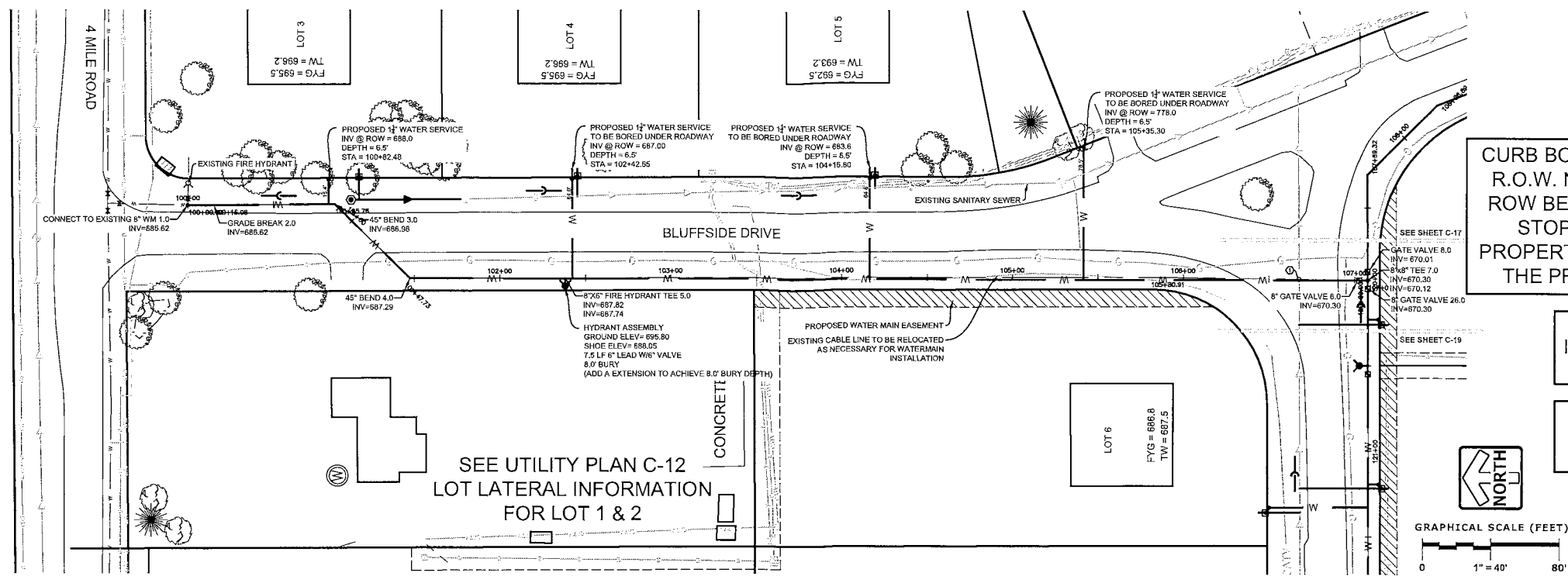
START DATE 05/03/21

SCALE 1" = 40'

SHEET
C-16
OF
C-21

WATERMAIN PLAN & PROFILE

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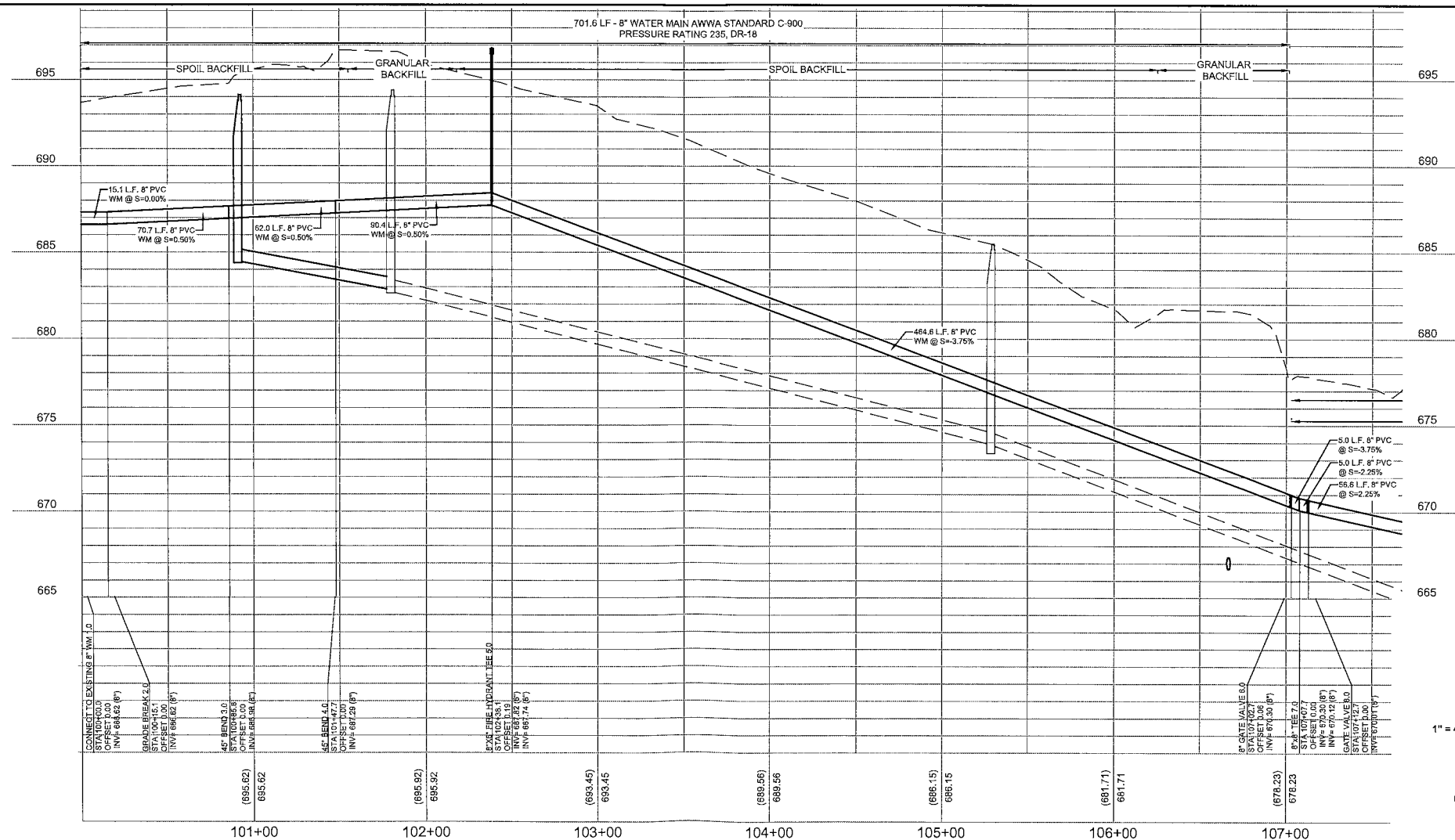


CROSSINGS	
1	8" WATER MAIN OVER 8" SANITARY MAIN 8" WM B/PIPE=671.31 8" SAN T/PIPE=667.37

CURB BOX TO BE INSTALLED 1.0' INSIDE THE R.O.W. NO FITTINGS ARE ALLOWED IN THE ROW BETWEEN CORPORATE STOP & CURB STOP. ANY WATER SERVICE BEYOND PROPERTY LINE IS UP TO THE DEVELOPER & THE PROPERTY OWNER BEING SERVED.

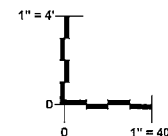
TRACER WIRE TO BE INSTALLED PER UTILITY DISTRICT STANDARD SPECIFICATIONS

ALL WATER LATERALS SHALL BE 1 1/4" HDPE CTS TUBING



PROPERLY COMPACT GRANULAR BACKFILL MATERIAL WILL BE REQUIRED WHERE PAVEMENT & SHOULDER NEED TO BE OPEN CUT (5.0' PAST EDGE OF PAVEMENT)

SEEDING AND EROSION CONTROL BLANKET SHALL BE INSTALLED AT ALL DISTURBED GREEN AREAS UPON COMPLETION OF UTILITY INSTALLATION

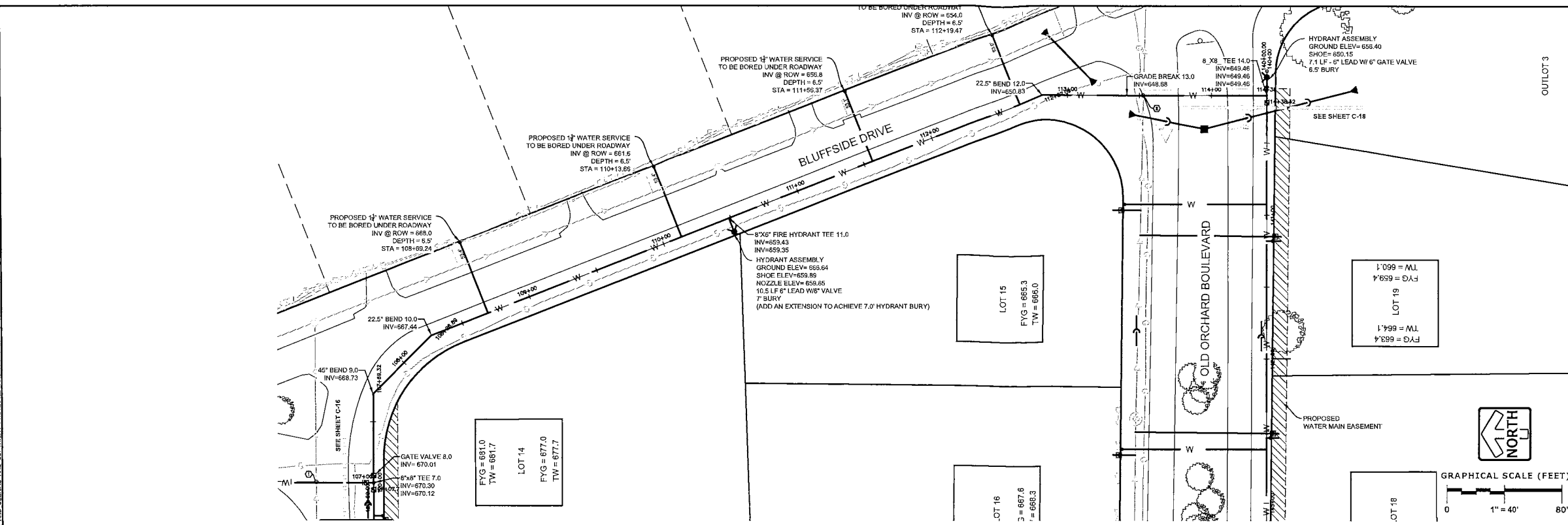


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DESIGNED: A.E.K.

REVIEWED: A.E.K.

DRAWN: H.J.

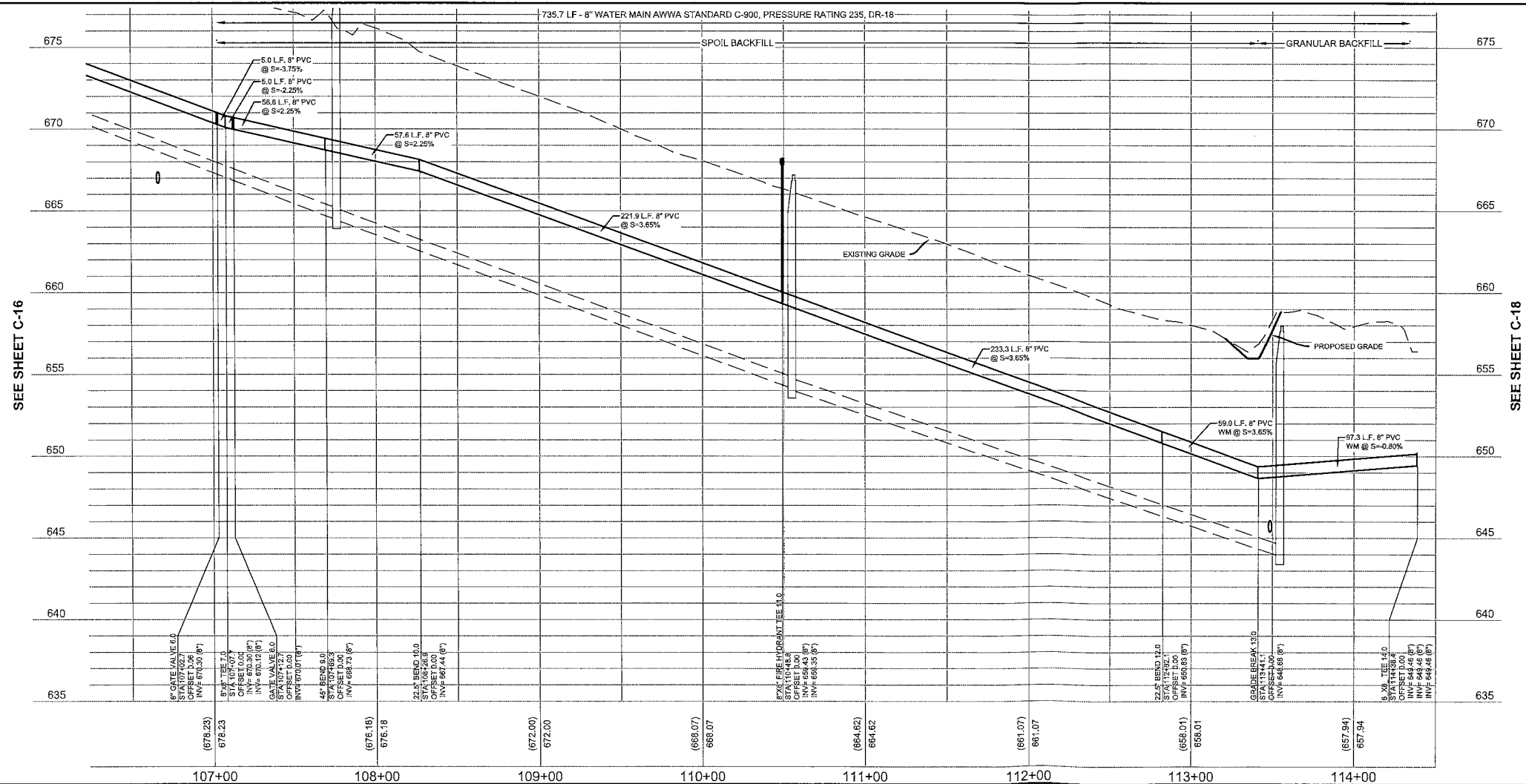
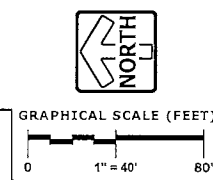


CROSSINGS	
1	8" WATER MAIN OVER 8" SANITARY MAIN 8" WM B/PIPE=671.31 8" SAN T/PIPE=667.37
2	8" WATER MAIN OVER 8" SANITARY MAIN 8" WM B/PIPE=649.04 8" SAN T/PIPE=646.07

CURB BOX TO BE INSTALLED 1.0' INSIDE THE R.O.W. NO FITTINGS ARE ALLOWED IN THE ROW BETWEEN CORPORATE STOP & CURB STOP. ANY WATER SERVICE BEYOND PROPERTY LINE IS UP TO THE DEVELOPER & THE PROPERTY OWNER BEING SERVED.

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REVISIONS	
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PEG JOB No. 1543.00

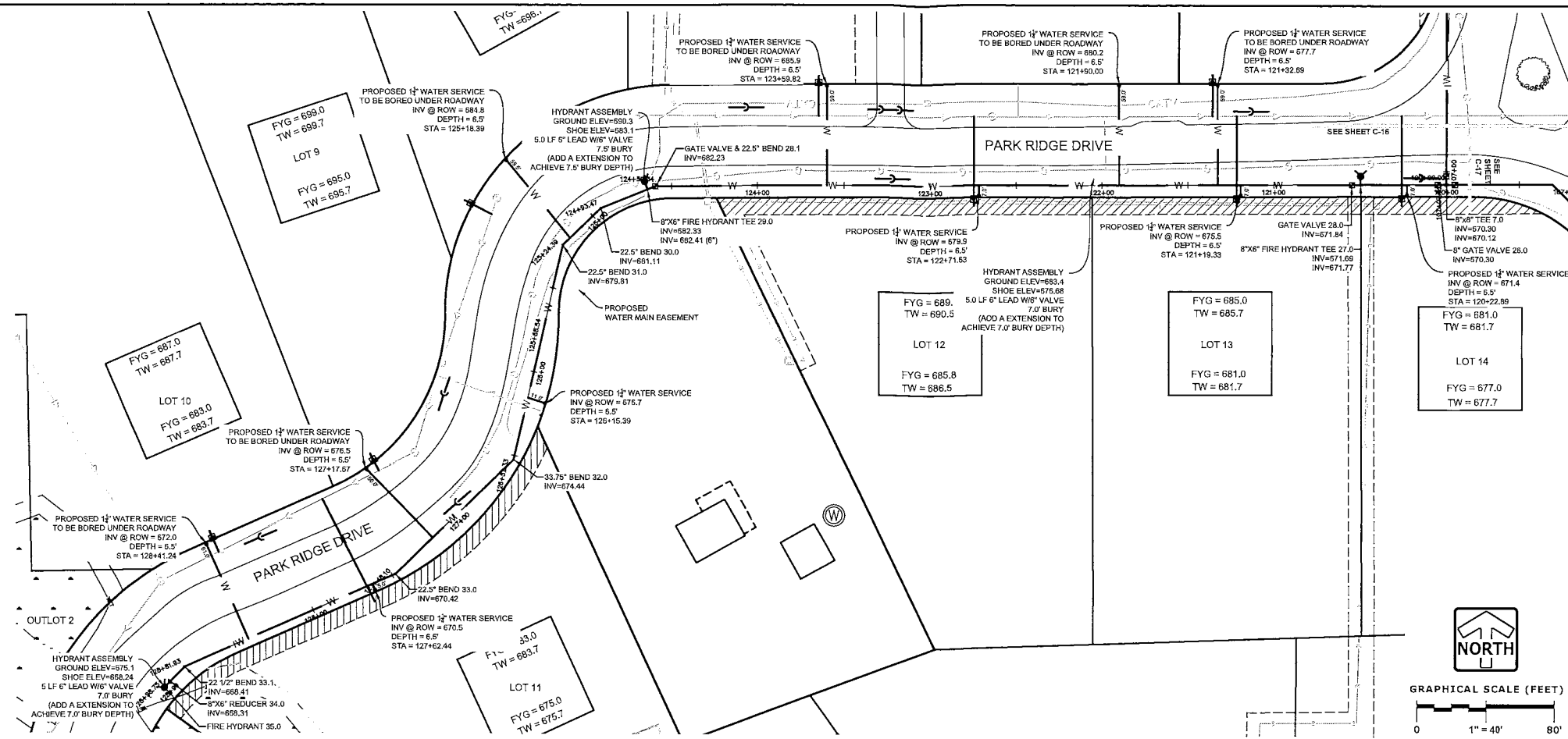
PEG PN. A.E.K.

START DATE 05/03/21

SCALE 1" = 40'

SHEET
C-17
OF
C-21

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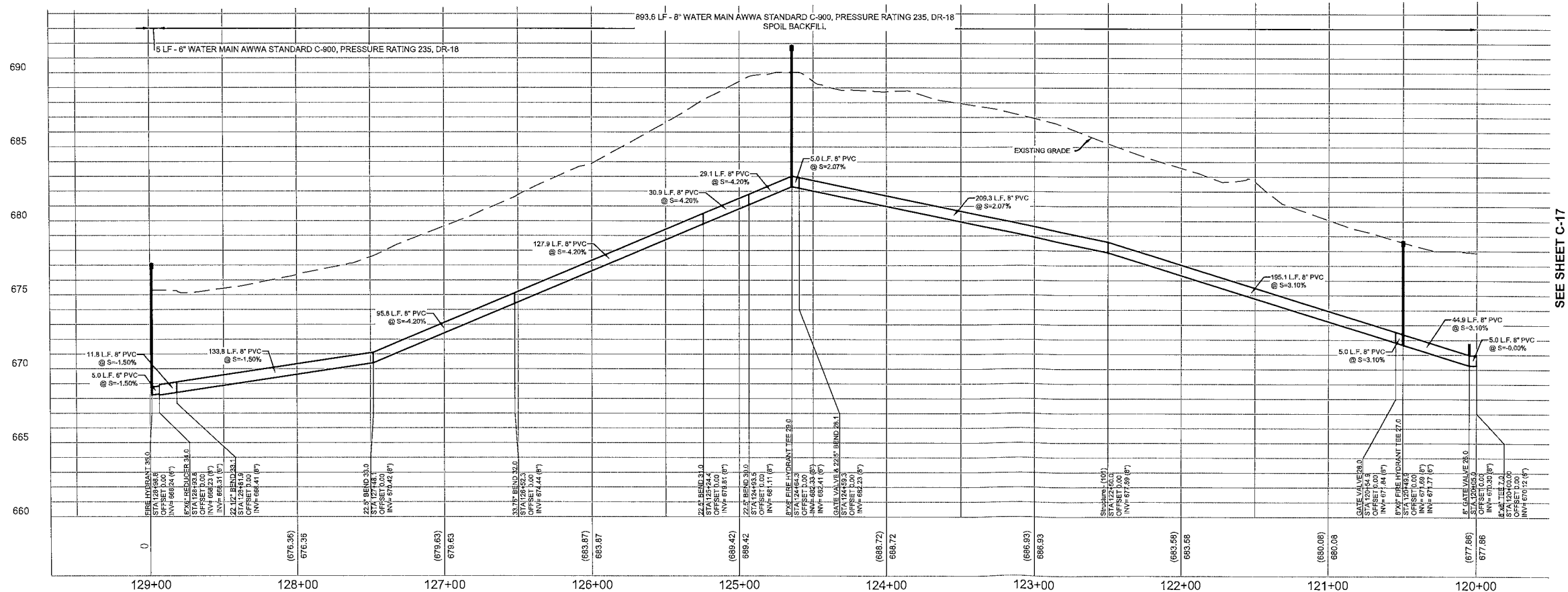
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TRACER WIRE TO BE INSTALLED PER UTILITY DISTRICT STANDARD SPECIFICATIONS

ALL WATER LATERALS SHALL BE 1 1/4" HDPE CTS TUBING

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SEEDING AND EROSION CONTROL BLANKET SHALL BE INSTALLED AT ALL DISTURBED GREEN AREAS UPON COMPLETION OF UTILITY INSTALLATION



SEE SHEET C-17

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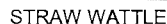
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6.	PER VILLAGE COMMENTS	07/20/2022

REG JOB No. 1543.00
REG PN. A/EK
START DATE 05/03/21
SCALE 1" = 40'

SHEET
C-19
OF
C-21

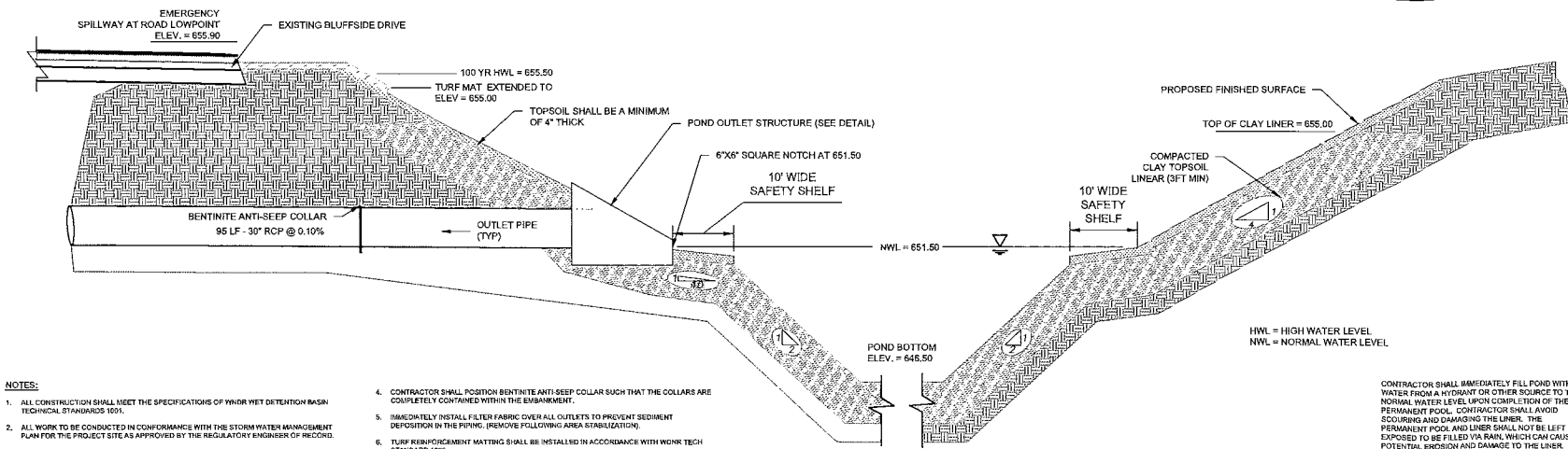


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REVIEWED: AKE

DESIGNED: AKE

DRAFTED: HJL

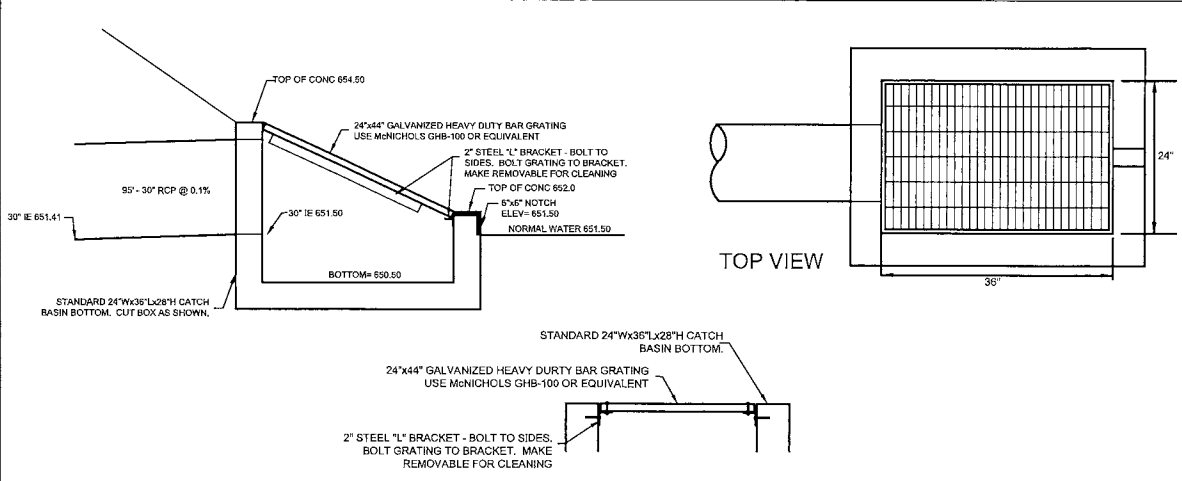


NOTES:

- ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF WDNR WET DETENTION BASIN TECHNICAL STANDARDS #101.
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THIS PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
- RCP PIPING & INSTALLATION WITHIN THE BASIN SHALL BE IN ACCORDANCE WITH ASTM M 254 TYPE 15 WITH WATER TIGHT JOINTS.

- CONTRACTOR SHALL POSITION BENTONITE ANTI-SEEP COLLAR SUCH THAT THE COLLARS ARE COMPLETELY CONTAINED WITHIN THE EMBANKMENT.
- IMMEDIATELY INSTALL FILTER FABRIC OVER ALL OUTLETS TO PREVENT SEDIMENT DEPOSITION IN THE POND. (REMOVE FOLLOWING AREA STABILIZATION)
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMPs). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF AND UNDERSTAND THE BMPs PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.

WET POND CROSS SECTION



POND OUTLET DETAIL

EROSION CONTROL SPECIFICATIONS & REQUIREMENTS

- ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT (WPDES PERMIT NO. WI-5067831-4) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMPs). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF AND UNDERSTAND THE BMPs PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- QUALIFIED PERSONNEL: (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH OR MORE PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH THE GENERAL PERMIT CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
- POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
- KEEP COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- MODIFICATIONS TO THE APPROVED SWAPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMPs. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- OWNER IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
- INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
- REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS.
- INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCES PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCES.
- INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1080.
- WHERE POSSIBLE, STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1087.
- NOTIFY OWNER & ENGINEER IF DEWATERING IS SCHEDULED TO OCCUR IN AREAS OF SOIL AND/OR GROUNDWATER CONTAMINATION OR IF DEWATERING WILL OCCUR FROM A HIGH CAPACITY WELL (70 GPM OR MORE). DEWATERING ONLY AFTER THE APPROPRIATE WDNR DEWATERING DISCHARGE PERMIT HAS BEEN OBTAINED.
- PUMPS MAY BE USED AS BYPASS DEVICES IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
- PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. LIMIT PUMPING TO EITHER (A) THE SEDIMENT BASIN/TRAP DESIGN DISCHARGE RATE, OR (B) THE BASIN DESIGN RELEASE RATE WITH THE CORRECTLY-FITTED HOSE AND GEOTEXTILE FILTER BAG. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DEWATERING #1081.
- COMPLETE AND STABILIZE SEDIMENT BASIN/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 603). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP #1063.
- CONSTRUCT AND PROTECT THE BIOINFILTRATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDNR TECHNICAL STANDARD BIORETENTION FOR INFILTRATION #1048. BIOINFILTRATION MAY BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION. DO NOT EXCAVATE FINAL 1' OR INSTALL STONE/ENGINEERED MEDIA UNTIL UPSTREAM AREA IS STABILIZED. WHEN THIS ACCOMPLISHED, REMOVE THE FINAL 1' PLUS ANY SOIL WHICH APPEARS TO BE IMPACTED BY SEDIMENT AND COMPLETE CONSTRUCTION OF BIOINFILTRATION AREA.
- INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1055. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
- REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1082.
- INSTALL AND MAINTAIN FILTER SOCK IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS #1071.
- IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
- IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
- STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
- SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE MUNICIPALITY. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
- OWNER IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTE OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
- COORDINATE WITH THE OWNER, ENGINEER AND DNR REPRESENTATIVE TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS OR COMPACTED EARTHEN BERMS)
- FOR NON-CANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS AND TYPE MATTING FOR THE SPECIFICATIONS UNLESS SPECIFIED OTHERWISE ON THE PLANS. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOTS WISDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
- FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS AND TYPE MATTING FOR THE SPECIFICATIONS UNLESS SPECIFIED OTHERWISE ON THE PLANS. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOTS WISDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
- MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
- INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATTLES, SWALES, ETC) OR AS DIRECTED BY OWNER, MUNICIPALITY, OR DNR REPRESENTATIVE.
- OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNRS BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM PUBLIC DATABASE.
- MAINTAIN SOIL EROSION CONTROL DEVICE THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS ARE FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCE ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- NOTIFY THE OWNER IMMEDIATELY IF THERE IS A DISCHARGE OF SEDIMENT AND/OR OTHER CONTAMINANTS.

BLUFFSIDE
CALEDONIA, WI

CONSTRUCTION DETAILS

REVISIONS

1	PER VILLAGE COMMENTS	07/30/21	5	PER VILLAGE COMMENTS	05/27/22
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4	PER VILLAGE COMMENTS	04/05/22			

FIG. JOB No. 1543.00

FIG. PM. AKE

START DATE 05/03/21

SCALE: #####

SHEET
C-21
OF
C-21

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CONSTRUCTION DETAILS

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MEMORANDUM

Date: October 26, 2022

To: Plan Commission
Utility District
Village Board

From: Ryan Schmidt, PE
Village Engineer



Re: Final Subdivision Plat – Bluffside

The Engineering Department received a Subdivision Final Plat for Bluffside on October 20, 2022. The Bluffside subdivision is located south of 4 Mile Road and along Bluffside Drive. This subdivision is proposed to add 19 lots within the existing subdivision on multiple public roadways (Old Orchard Boulevard, Park Ridge Drive, and Bluffside Drive). The Bluffside subdivision is within the sewer service area. This Final Plat was originally brought to the Plan Commission in June of 2021 for review and approval while the Preliminary Plat was approved in March of 2021.

The Final Plat includes 5 Outlots. A proposed storm water pond will be constructed upon Outlot 3. The developer will be required to provide a separate storm water easement and a liability and maintenance agreement for the proposed storm water feature to ensure it is installed and maintained properly. Outlot 4 and Outlot 5 were created within the Primary Environmental Corridor and wetland areas along the Root River to meet the 40% Open Space Requirement.

The property has an R-2S Zoning Classification, which requires 50 foot street yard and rear yard setbacks as well as 15 foot side yard setbacks. The proposed minimum lot size is required to be 40,000 square feet with 150 feet of frontage. The Villages 2035 Land Use Plan shows the property shall be Low Density Residential. The Final Plat meets or exceeds these requirements.

Construction Plans were approved to extend the water main within Village Right-of-Way or Easements. Sanitary Sewer main is already on-site and sewer laterals will be installed to each of the proposed lots. All of the new lots will be required to connect to the Sanitary Sewer and Water Services. Existing properties along Bluffside Drive and Park Ridge Drive will receive a water lateral to the property line from the Developer. The Developer will be allowed to request a 10 year cost recovery in accordance with Wisconsin PSC rules.

A Development Agreement is in the process of being finalized pending some minor changes. Once the agreement is signed, it shall be brought to the Village Board for Approval prior to the recording of the Final Plat. The Developer shall follow all requirements of said Development Agreement with the approval of this Plat.

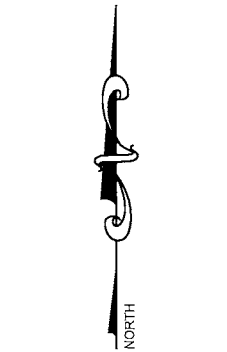
If the Plan Commission, Utility District, and Village Board are willing to support the Final Plat, the following motion is recommended:

Move to approve the Final Bluffside Subdivision Plat subject to the following:

- **Final Plat is updated to include a 20' water main easement parallel to the existing 20' sanitary sewer easement that runs between Bel-Mar Avenue and Park Ridge Drive. The water main easement shall run parallel along the southwest side of the existing sewer easement.**
- **The Developer shall execute a separate Storm Water Easement and Liability and Maintenance Agreement for Outlot 3.**
- **Access Easement for Lot 1 and Lot 2 is spelled out on the Final Plat prior to recording.**
- **The Development Agreement is signed and approved at the Village Board prior to final recording of the Plat.**
- **Final Plat must conform to all Ordinances in Title 9,14, and 18 as necessary.**
- **Final Plat is subject to Land Division per Lot Fee.**

BLUFFSIDE

Being a part of Parcel 4 of Certified Survey Map No. 1879 and additional lands in the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 Section 25, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin.



Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (NAD, 1983/2011). The north line of the Northwest 1/4 of Section 25, Township 4 North, Range 22 East has a bearing of S89°47'58"W.

R-2S BUILDING SETBACKS:
STREET SETBACK = 50 FEET
REARYARD = 50 FEET
SIDEYARD = 15 FEET

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	S89°47'58"W	66.00'
L2	S00°12'02"E	66.00'
L3	S00°35'22"W	105.00'
L4	N22°05'02"W	77.08'
L5	N66°15'06"E	91.03'
L6	S89°47'58"W	83.00'
L7	S66°15'06"W	91.03'
L8	S29°07'20"W	66.19'

PREPARED FOR:
Bluffsides Estates, LLC
8338 Corporate Drive, Suite 300
Mount Pleasant, WI 53406
262-698-7777

Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

LEGEND:
○ - Denotes Found 1" Iron Pipe
● - Denotes Found 2" Iron Pipe
● - Denotes Found 3/4" Iron Rod
SF - Denotes "Square Foot"
(R) - Denotes "Recorded As"
--- - Denotes No Access
All other corners are marked by a 3/4" X 18" Iron Rebar, 15 LBS./FT.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

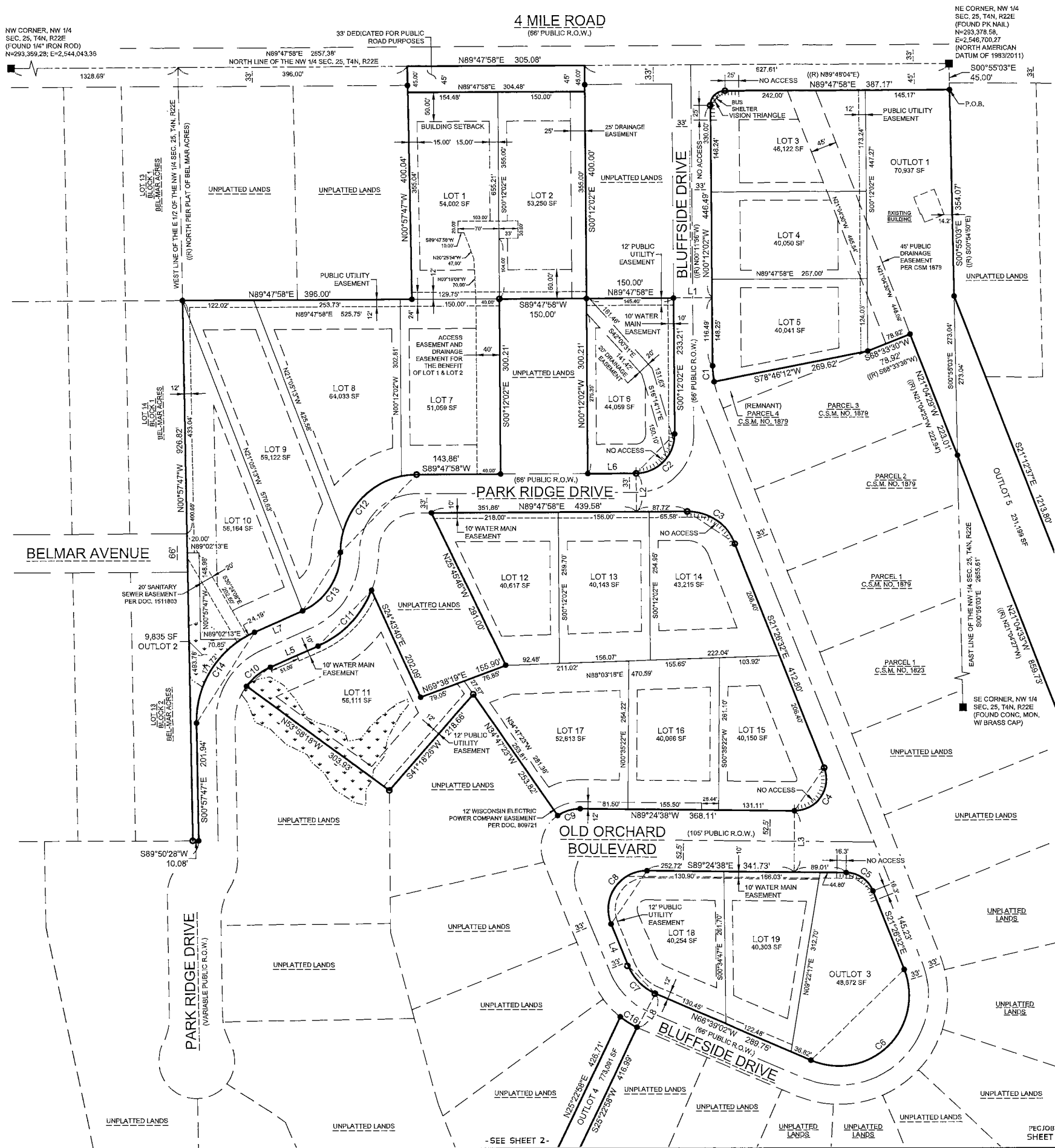
Certified _____, 20__

Department of Administration



OCTOBER 11, 2022

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461
PINNACLE ENGINEERING GROUP



www.pinnacle-engr.com



-SEE SHEET 3-

REG JOB#1543.00
SHEET 1 OF 3

BLUFFSIDE

Being a part of Parcel 4 of Certified Survey Map No. 1879 and additional lands in the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 Section 25, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and divided a part of Parcel 4 of Certified Survey Map No. 1879, as recorded in the Register of Deeds office for Racine County as Document No. 1550235, and additional lands in the Northeast 1/4 and Southwest 1/4 of the Northwest 1/4 and the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 Section 25, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

Commencing at the northeast corner of the Northwest 1/4 of said Section 25; Thence South 00°55'03" East along the east line of said Northwest 1/4, 45.00 feet to the south right of way line of Four Mile Road and the Point of Beginning;

Thence continuing South 00°55'03" East along said east line, 354.07 feet; Thence South 21°12'37" East, 1213.80 feet; Thence North 68°47'23" East, 50.00 feet; Thence South 21°12'37" E, 413.50 feet to a Meander Line of the Root River; Thence South 33°48'08" West along said Meander Line, 305.08 feet; Thence South 89°54'32" West, 60.92 feet; Thence North 05°59'32" West, 681.07 feet; Thence North 21°04'33" West and then along the northeasterly line of Certified Survey Map No. 1879, 859.73 feet to the aforesaid east line of the Northwest 1/4; Thence North 21°04'29" West along the northeasterly line of said Certified Survey Map No. 1879, 223.01 feet to the north line of said Certified Survey Map; Thence South 68°33'30" West along said north line, 78.92 feet; Thence South 78°46'12" West, 269.62 feet to the east right of way line of Bluffs Drive to a point of curvature; Thence northerly 27.50 feet along the arc of said curve to the right, whose radius is 160.00 feet and whose chord bears North 05°07'28" West, 27.47 feet; Thence North 00°12'02" West along said east right of way line, 116.49 feet to a tie line;

Thence South 89°47'58" West along said tie line, 66.00 feet to the west right of way line of said Bluffs Drive; Thence South 00°12'02" East along said west right of way line, 233.21 feet to a point of curvature; Thence southwesterly 105.24 feet along said west right of way line and the arc of said curve to the right, whose radius is 67.00 feet and whose chord bears South 44°47'58" West, 94.75 feet to a tie line;

Thence South 00°12'02" East along said tie line, 66.00 feet to the south right of way line of Park Ridge Drive; Thence North 89°47'58" East along said south right of way line, 87.72 feet to a point of curvature; Thence southeasterly 105.03 feet along said south right of way line and the arc of said curve to the right, whose radius is 87.52 feet and whose chord bears South 55°49'17" East, 98.84 feet; Thence South 21°26'32" East along the aforesaid west right of way line of Bluffs Drive, 412.80 feet to a point of curvature; Thence southwesterly 105.74 feet along said west right of way line and the arc of said curve to the right, whose radius is 54.08 feet and whose chord bears S34°34'25" West, 89.69 feet to a tie line;

Thence South 00°35'22" West along said tie line, 105.00 feet to the south right of way line Old Orchard Boulevard; Thence South 89°24'38" East along said south right of way line, 89.01 feet to a point of curvature; Thence southeasterly 59.31 feet along aforesaid west right of way line of Bluffs Drive and the arc of said curve to the right, whose radius is 50.00 feet and whose chord bears South 55°25'35" East, 55.90 feet; Thence North 21°26'32" East along said west right of way line of Bluffs Drive, 145.23 feet to a point of curvature; Thence southwesterly 285.48 feet along said west right of way line and the arc of said curve to the right, whose radius is 121.34 feet and whose chord bears South 45°57'13" West, 224.04 feet; Thence North 66°39'02" West along the north right of way line of said Bluffs Drive, 289.75 feet to a point of curvature and a tie line;

Thence South 29°07'20" West along said tie line, 56.19 feet to the south right of way line of Bluffs Drive; Thence South 25°22'58" West, 416.99 feet; Thence South 07°23'02" East along the south line of the parcel described in Warranty Deed No. 800291, 85.00 feet; Thence South 84°01'26" East along said south line, 139.80 feet; Thence North 31°34'32" East along said south line, 21.90 feet; Thence North 64°24'02" East along said south line, 160.33 feet to a Found 1" Iron Pipe; Thence South 73°38'02" East along the south line of the parcel described in Warranty Deed No. 800434, 192.14 feet; Thence South 07°14'03" East along the south line of the parcel described in Warranty Deed No. 961505, 146.28 feet; Thence North 75°54'29" East along said south line, 257.42 feet to the aforesaid east line of the Northwest 1/4 of Section 25; Thence South 00°55'03" East along said east line, 478.15 feet to the southeast corner of said Northwest 1/4; Thence South 89°52'59" West along the south line of said Northwest 1/4, 1326.60 feet to the west line of the East 1/2 of the Northwest 1/4 and the east line of Overlook Acres, a recorded subdivision; Thence North 00°57'47" West along said east line, 588.87 feet to a Found 1" Iron Pipe; Thence North 75°02'50" East, 164.11 feet to a Found 1" Iron Pipe; Thence North 89°59'41" East, 339.10 feet; Thence South 74°17'42" East, 42.03 feet; Thence North 23°22'58" East, 426.71 feet to the aforesaid south right of way line of Bluffs Drive and a point on a curve; Thence southeasterly 34.01 feet along said south right of way line and the arc of said curve to the left, whose radius is 155.01 feet and whose chord bears South 57°54'11" East, 33.94 feet to the aforesaid tie line;

Thence North 29°07'20" East along said tie line, 66.19 feet to the north right of way line of said Bluffs Drive and a point of curvature; Thence northwesterly 69.24 feet along said north right of way line and the arc of said curve to the right, whose radius is 88.01 feet and whose chord bears North 44°22'02" West, 67.50 feet; Thence North 22°05'02" West along said north right of way line, 77.08 feet to a point of curvature; Thence northeasterly 130.99 feet along said north right of way line and the arc of said curve to the right, whose radius is 56.61 feet and whose chord bears North 34°15'10" East, 110.88 feet to the aforesaid south right of way line of Old Orchard Boulevard; Thence South 89°24'38" East along said south right of way line, 252.72 feet to a tie line;

Thence North 00°35'22" East along said tie line, 105.00 feet to the north right of way line of said Old Orchard Boulevard; Thence North 89°24'38" West along said north right of way line, 368.11 feet to a point of curvature; Thence southwesterly 40.64 feet along the arc of said curve to the left, whose radius is 66.61 feet and whose chord bears South 73°06'44" West, 40.01 feet; Thence North 34°47'23" West, 253.82 feet; Thence South 41°18'26" West, 218.66 feet; Thence North 53°58'18" West, 303.93 feet to the south right of way line of Park Ridge Drive and a point on a curve; Thence northeasterly 52.19 feet along said south right of way line and the arc of said curve to the right, whose radius is 101.00 feet and whose chord bears North 51°29'53" East, 51.61 feet; Thence North 66°15'06" East along said south right of way line, 91.03 feet to a point of curvature; Thence northeasterly 135.95 feet along said south right of way line and the arc of said curve to the left, whose radius is 175.00 feet and whose chord bears North 43°59'48" East, 132.55 feet; Thence South 34°43'40" East, 202.09 feet; Thence North 69°38'19" East, 155.90 feet; Thence North 25°45'46" West, 291.00 feet to the aforesaid south right of way line of Park Ridge Drive; Thence North 89°47'58" East along said south right of way line, 439.58 feet to a tie line;

Thence North 00°12'02" West along said tie line, 66.00 feet to the north right of way line of said Park Ridge Drive; Thence South 89°47'58" West along said north right of way line, 83.00 feet; Thence North 00°12'02" West, 150.00 feet; Thence South 00°12'02" East, 300.21 feet to the aforesaid north right of way line of Park Ridge Drive; Thence South 89°47'58" West along said north right of way line, 143.86 feet to a point of curvature; Thence southwesterly 208.92 feet along said north right of way line and the arc of said curve to the left, whose radius is 133.00 feet and whose chord bears South 44°47'58" West 188.09 feet to a point of reverse curve; Thence southwesterly 126.42 feet along said north right of way line and the arc of said reverse curve to the right, whose radius is 109.00 feet and whose chord bears South 33°01'32" West, 119.45 feet; Thence South 66°15'06" West along said north right of way line, 51.03 feet to a point of curvature; Thence southwesterly 195.91 feet along said north right of way line and the arc of said curve to the left, whose radius is 167.00 feet and whose chord bears South 32°38'39" West, 184.87 feet; Thence South 00°57'47" East along the west right of way line of the aforesaid Park Ridge Drive, 201.94 feet; Thence South 89°50'28" West, 10.06 feet to the east line of Bel-Mar Acres; Thence North 00°57'47" West along said east line, 926.82 feet; Thence North 89°47'58" East, 395.00 feet; Thence North 00°57'47" West, 400.04 feet to the north line of the aforesaid Northwest 1/4; Thence North 89°47'58" East along said north line, 305.08 feet; Thence South 00°12'02" East, 400.00 feet; Thence North 89°47'58" East, 150.00 feet to the aforesaid west right of way line Bluffs Drive and a tie line;

Thence North 89°47'58" West along said tie line, 66.00 feet to the aforesaid east right of way line of Bluffs Drive; Thence North 00°12'02" West along said east right of way line, 330.00 feet to a point of curvature; Thence northeasterly 39.27 feet along said east right of way line and the arc of said curve to the right, whose radius is 25.00 feet and whose chord bears North 44°47'58" East, 35.36 feet to the south right of way line of the aforesaid Four Mile Road; Thence North 89°47'58" East along said south right of way line, 387.17 feet to the Point of Beginning.

Including the said land between the Meander Line and the Center Line of the Root River.

Dedicating the Northerly portion of subject property as graphically shown for public right of way purposes.

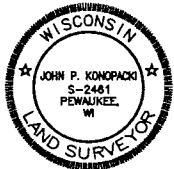
Containing 2,071,005 square feet (47.5437 acres) Gross to the centerline of the Root River. Net land area is 2,035,118 square feet (46.7198 acres) to the Meander Line of the Root River, more or less.

That I have made such survey, land division and map by the direction of Bluffs Estates, LLC, owner of said land.

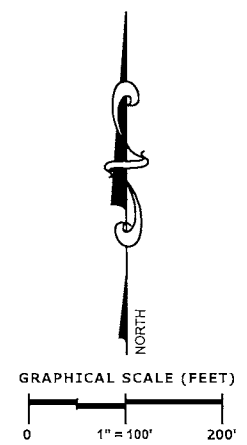
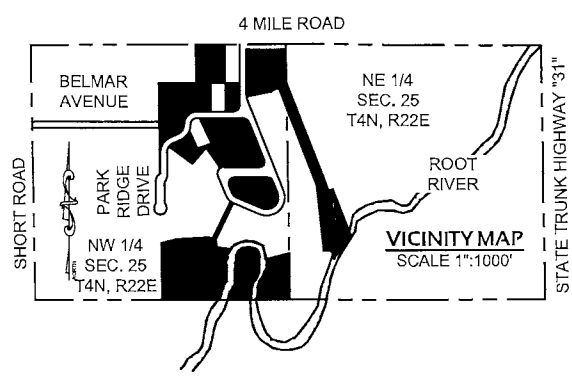
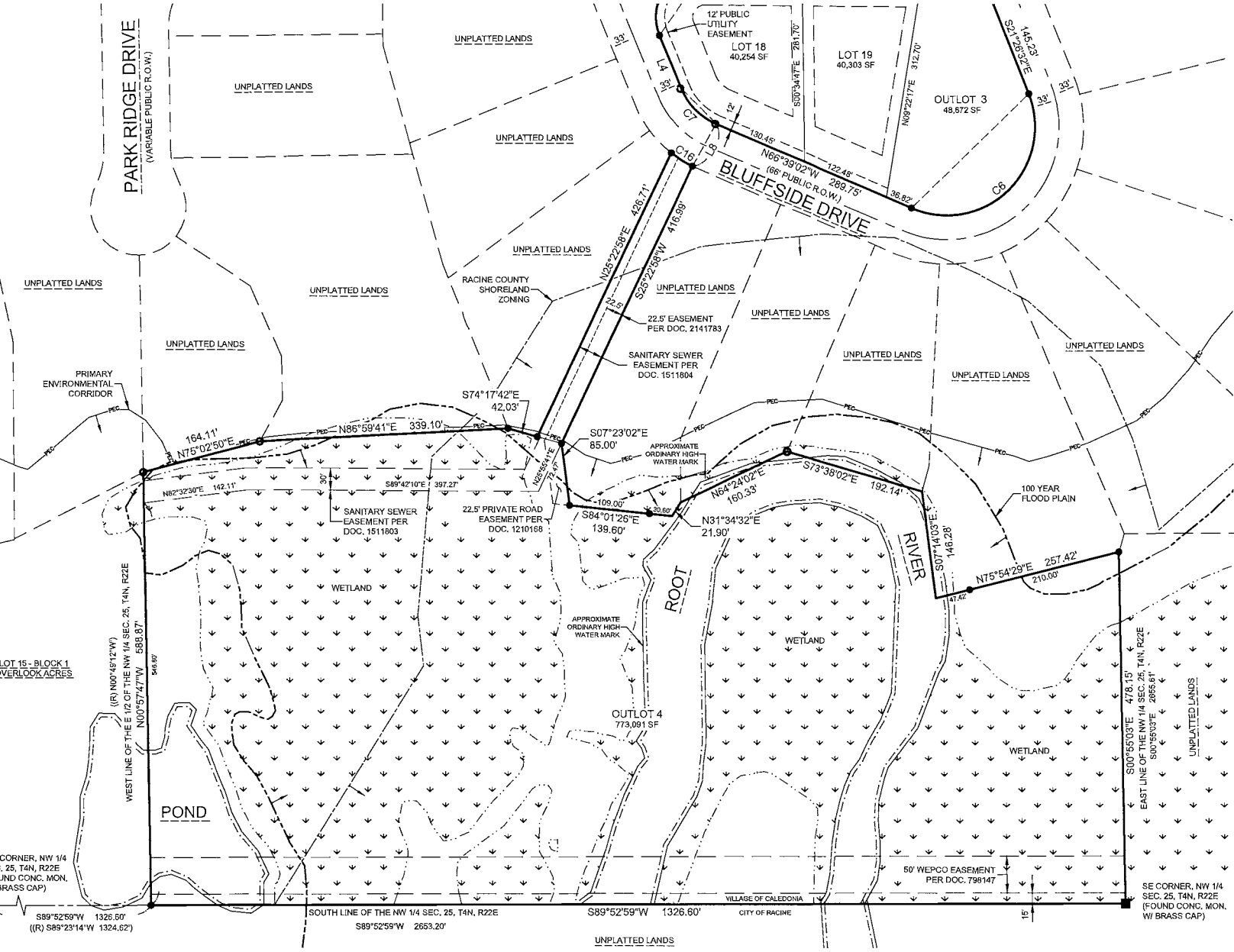
That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the Village of Caledonia Land Division Ordinance in surveying, mapping and dividing the land within the subdivision.

Date: OCTOBER 11, 2022



John P. Konopacki
Professional Land Surveyor S-2461



LEGEND:
○ - Denotes Found 1" Iron Pipe
● - Denotes Found 2" Iron Pipe
● - Denotes Found 3/4" Iron Rod
SF - Denotes "Square Foot"
(R) - Denotes "Recorded As"

All other corners are marked by a 3/4" X 18" Iron Rebar, 15 LBS/FT.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration

BLUFFSIDE

Being a part of Parcel 4 of Certified Survey Map No. 1879 and additional lands in the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 Section 25, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin.

OWNER'S CERTIFICATE OF DEDICATION

Bluffside Estates, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited company caused the land described on this plat to be surveyed, divided, dedicated and mapped as represented on this plat.

Bluffside Estates, LLC, as owner, does further certify that this plat is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval or objection:

- Village of Caledonia
- Racine County
- Department of Administration

IN WITNESS WHEREOF, the said Bluffside Estates, LLC, has caused these presents to be signed by (name - print) _____, Member, at (city) _____, Racine County, Wisconsin, on this _____ day of _____, 20____.

In the presence of: Bluffside Estates, LLC

Name (signature) - Member

STATE OF WISCONSIN)
RACINE COUNTY) SS

Personally came before me this _____ day of _____, 20____, (name) _____, Member, of the above named limited liability company, to me known to be the person who executed the foregoing instrument, and to me known to be such Member of said limited liability company, and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited liability company, by its authority.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____

CONSENT OF CORPORATE MORTGAGEE

Tri-City National Bank, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, dedicating and mapping of the land described in the foregoing affidavit of John P. Konopacki, surveyor, and does hereby consent to the above certification of owners.

IN WITNESS WHEREOF, the said _____, its _____, has caused these presents to be signed by _____, 20____, this _____ day of _____.

Date _____ Name (signature) - Title _____

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 20____, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____

VILLAGE APPROVAL

Approved by the Village of Caledonia on this _____ day of _____, 20____.

Date _____ Joslyn M. Hoeft, Village Clerk

VILLAGE OF CALEDONIA CERTIFICATE OF FINANCE

I, Wayne Krueger, being the duly elected, qualified and acting Village of Caledonia Finance Director, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of this _____ day of _____, 20____, on any of the land included on this map.

Date _____ Wayne Krueger, Village Finance Director

RACINE COUNTY TREASURER'S CERTIFICATE

STATE OF WISCONSIN)
RACINE COUNTY) SS

I, Jeff Latas, being duly elected, qualified and acting Treasurer of Racine County, do hereby certify in accordance with the records in my office, there are no unpaid taxes or special assessments as of _____ day of _____, 20____, on any of the lands in the subdivision plat of BLUFFSIDE.

Date _____ Jeff Latas, Racine County Treasurer



OCTOBER 11, 2022

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



NOTES:

- Flood Zone Classification: The property lies with in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55101C0111D, 55101C0113D and 55101C0114D effective MAY 2, 2012. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain. Floodplain is shown by graphic plotting only.
- OUTLOT OWNERSHIP AND PURPOSE: Outlot 1 with the existing building shall be maintained by the Developer until such time as it may be deeded to the Caledonia Conservancy. Outlot 2 shall be maintained for open space purposes. Outlot 3 of the plat of BLUFFSIDE shall be maintained by the BLUFFSIDE Homeowners Association for storm water retention purposes. Each individual lot owner shall have an undividable fractional ownership of Outlot 2 and 3 and that Racine County and the Village of Caledonia shall not be liable for any fees or special assessments in the event Racine County or the Village of Caledonia should become the owner of any lot in the subdivision by reason of delinquency. The Homeowners Association shall maintain said Outlot 2 and 3 in an unobstructed condition so as to maintain their intended purpose. Construction of any building, grading, or filling in said Outlot 2 and 3 is prohibited unless approved by the Village of Caledonia. The Homeowners Association grants to the Village the right (but not the responsibility) to enter upon the Outlot 2 and 3 in order to inspect, repair, or restore said Outlots to their intended purpose. Expense incurred by the Village for said inspection, repair, or restoration of said Outlot 2 and 3 may be placed against the tax roll for said association and collected as a special charge by the Village. The developer and all subsequent owners shall transfer to any subsequent purchaser of any buildable lot within the plat of BLUFFSIDE an undividable one-nineteenth (1/19th) interest in Outlots 2 & 3. The developer and all subsequent owners warrant and represent that said Outlot 2 and 3 for assessment purposes will have no value per se, and the 1/19th interest in said outlots would be assessed with each of the buildable lots. In the event that said Outlot 2, and 3 are not assessed as above, the developer and all subsequent owners warrant and represent that each will pay 1/19th per buildable lot, of the taxes due on said outlots. In the event that these said taxes are not paid, Racine County reserves the right to collect from each and every developer or subsequent owner individually for all taxes due. Outlot 4 and Outlot 5 shall be retained by the Developer until such time as they may be deeded to the Caledonia Conservancy.
- Primary Environmental Corridor graphically shown per the Southeastern Wisconsin Regional Planning Commission Regional Map Server 2010 Environmental Corridors.
- Wetlands delineated by Heartland Ecological Group INC. on September 15, 2020. Wetlands on Outlot 4 and Outlot 5 graphically shown per Racine County Mapbook.
- Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution.

UTILITY EASEMENT PROVISIONS

An easement for electric and communications service is hereby granted by

BLUFFSIDE ESTATES, LLC., Grantor, to

WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin Corporation doing business as WE Energies, Grantee

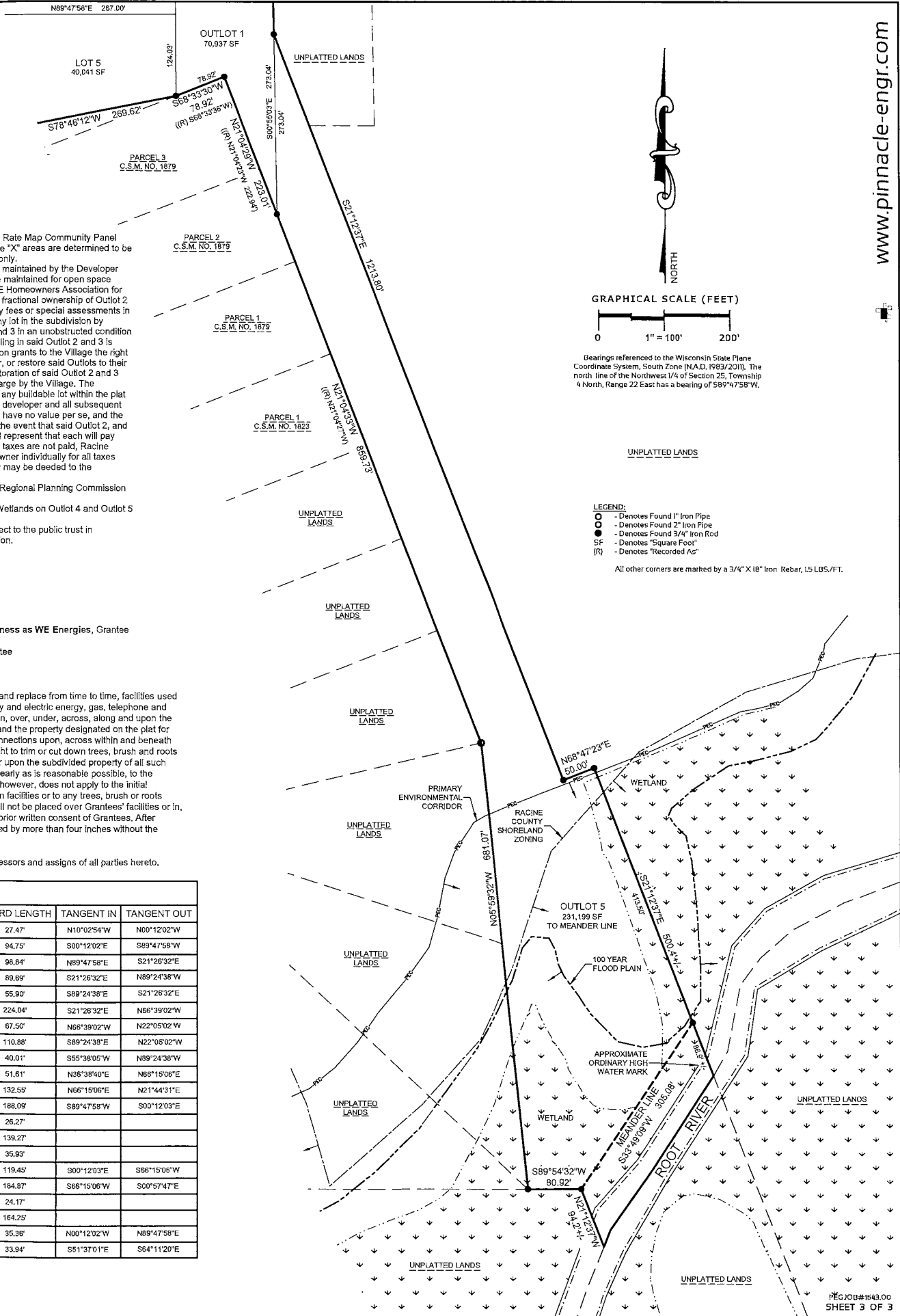
WISCONSIN BELL, INC., d/b/a AT&T WISCONSIN, a Wisconsin Corporation, Grantee

and TIME WARNER ENTERTAINMENT COMPANY, L.P., Grantee,

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonable required incident to the rights herein given, and the right to enter upon the subdivided property of all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonable possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities or communication facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Buildings shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without the written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

CURVE TABLE							
CURVE NO.	LOT	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT IN
C1	LOT 5	27.50'	180.00'	009°50'52"	N05°07'28"W	27.47'	N10°02'54"W
C2	LOT 6	105.24'	67.00'	090°00'00"	S44°47'58"W	94.75'	S00°12'02"E
C3	LOT 14	105.03'	87.52'	068°45'30"	S55°49'17"E	98.84'	N89°47'58"E
C4	LOT 15	105.74'	54.08'	112°01'54"	S34°34'25"W	89.69'	S21°26'32"E
C5	OUTLOT 3	59.31'	50.00'	067°58'05"	S55°25'35"E	55.90'	S89°24'38"E
C6	OUTLOT 3	285.46'	121.34'	134°47'30"	S45°57'13"W	224.04'	S21°26'32"E
C7	LOT 18	89.24'	89.01'	044°34'00"	N44°22'02"W	67.50'	N68°39'02"W
C8	LOT 18	130.99'	86.81'	112°40'24"	N34°15'10"E	110.88'	S89°24'38"E
C9	LOT 17	40.54'	66.61'	034°57'18"	S73°05'44"W	40.01'	S55°38'05"W
C10	LOT 11	52.19'	101.00'	029°36'25"	N51°28'53"E	51.61'	N35°38'40"E
C11	LOT 11	135.95'	175.00'	044°30'35"	N43°59'48"E	132.55'	N66°15'06"E
C12	ROW	206.92'	133.00'	090°00'01"	S44°47'58"W	188.09'	S89°47'58"W
	LOT 7	26.31'	133.00'	011°20'01"	S84°07'58"W	26.27'	
	LOT 8	145.57'	133.00'	063°08'33"	S46°53'41"W	139.27'	
	LOT 9	35.04'	133.00'	019°31'27"	S07°33'41"W	35.93'	
C13	LOT 9	126.42'	109.00'	068°27'06"	S33°01'32"W	119.45'	S00°12'03"E
C14	ROW	195.91'	167.00'	067°12'53"	S32°38'39"W	184.87'	S65°15'06"W
	LOT 10	24.19'	167.00'	008°18'01"	S62°08'05"W	24.17'	
	OUTLOT 2	171.72'	167.00'	058°54'52"	S28°29'39"W	164.25'	
C15	LOT 3	39.27'	25.00'	090°00'00"	N44°47'58"E	35.36'	N00°12'02"W
C16	OUTLOT 4	34.01'	155.01'	012°34'19"	S57°54'11"E	23.94'	S51°37'01"E



www.pinnacle-engr.com




REGJOB#1543.00
SHEET 3 OF 3

MEMORANDUM

DATE: Monday, November 28, 2022

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director 

RE: Authorization of Signatures – Storm Water Drainage Easement – 419 4 Mile Road – Vinvan Development LLC

BACKGROUND INFORMATION

As a condition of approval of the Certified Survey Map that was done on this property, a Storm Water Drainage Easement was supposed to be granted along the West and South property lines. This Storm Water Drainage Easement will encompass a Storm Sewer that was extended along the West lot line and also encompass a drainage swale that drains the development to the Storm Sewer.

The Storm Water Drainage Easement Agreement has been prepared and signed by the Owner. In order to record the Storm Water Drainage Easement, the Commission President and Secretary will need to execute the easements along with the Village Board President and Clerk.

It is recommended that the signatures of the President & Secretary of the Utility District are authorized.

RECOMMENDATION

Move to authorize the President and Secretary of the Caledonia Utility District to execute the Stormwater Drainage Easement for 419 4 Mile Road with Vinvan Development LLC.

Document Number

**Storm Water Drainage Easement
Agreement:
Vinvan Development LLC**

Name and Return Address

**Mr. Anthony A. Bunkelman P.E.
Village of Caledonia
Engineering Department
5043 Chester Lane
Racine, Wisconsin 53402**

104-04-23-28-008-010

Parcel Identification Number (PIN)

STORM WATER DRAINAGE EASEMENT AGREEMENT:
VINVAN DEVELOPMENT LLC

This Storm Water Drainage Easement Agreement ("Agreement") is made the 11th day of OCTOBER, 2022, by and between **Vinvan Development LLC (and its members)**, a Wisconsin Limited Liability Company with offices located at 5300 Green Bay Road Kenosha, WI 53144, referred to in this Agreement as "Owner", and the **VILLAGE OF CALEDONIA**, Racine County, Wisconsin, and the **VILLAGE OF CALEDONIA UTILITY DISTRICT**, a utility district of the Village of Caledonia, Racine County, Wisconsin. The Village of Caledonia and Village of Caledonia Utility District are collectively referred to in this Agreement as the "Grantees".

RECITALS

A. The Owner is the fee simple holder of certain real property in the Village of Caledonia, Racine County, State of Wisconsin, as more particularly described and depicted in the Letter Report of Title attached hereto as Exhibit A, and hereby incorporated herein by reference. Said real property is referred to in this Agreement as the "Property".

B. As a part of the approval by the Grantees for the development of the Property, the Grantees have required the Owner to construct, at Owner's own cost and expense, a storm water drainage plan within the area of the Property described and depicted on Exhibit B attached hereto and incorporated herein. Said storm water drainage plan is hereinafter referred to in this Agreement as the "Plan". The Grantees have further required as part of said approval that the Owner enter into an agreement with Grantees setting forth the Owner's responsibility to maintain the Plan and provide Grantees with an access easement.

C. The Grantees have requested that the Owner grant a permanent easement (referred to in this Agreement as the "Storm Water Drainage Easement") over that portion of the Property described in attached Exhibit B, hereinafter referred to in this Agreement as the "Storm Water Drainage Easement Area". The location of the Storm Water Drainage Easement Area with respect to the Property is as shown and described in Exhibit B.

D. The Grantees have requested that the Owner grant a permanent access easement (referred to in this Agreement as the "Ingress/Egress Easement") over the Owner's Property, that will grant to the Grantees, and their employees, officials, commissioners, contractors, consultants, and agents, pedestrian and/or vehicular ingress and egress to and from Four Mile Road and the Storm Water Drainage Easement Area.

E. The Storm Water Drainage Easement Area and the Ingress/Egress Easement Area area collectively referred to in this Agreement as the "Utility Easement Area".

F. As used in this Agreement, the term "Drainage Facilities" shall mean the Plan, the Storm Water Drainage Easement Area, the Ingress/Egress Easement Area, the drainage swales, drainage ditches, pipelines, laterals, culverts, storm sewers and any other structures or improvements that are constructed or installed upon the Utility Easement Area from time to time by the Owner or Grantees, or any other person or entity, or their contractors, successors and assigns, for the conveyance of surface and storm water over, across, under and through the Property.

AGREEMENT

For \$1.00 and other good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, the parties agree as follows:

1. Construction, Use, Operation, Cleaning, Maintenance, Altering, Repairs and Replacements of the Drainage Facilities. The Owner agrees to construct, use, operate, clean, maintain, alter, repair and replace the Drainage Facilities, including, without limitation, mowing, control of weed and algae growth, repair of erosion, and the removal of trees, brush, vegetation and silt, and all other obstacles to the flow of surface water to and from the Drainage Facilities, so that the Drainage Facilities function properly and to their design capacity for the storage and conveyance of storm water and so that there are no obstructions interfering with the location, construction, use, operation, cleaning, maintenance, alteration, repair and replacement of the Drainage Facilities. Said obligations shall include the obligation to construct, use, operate, clean, maintain, alter, repair and replace the Drainage Facilities both during the construction thereof and thereafter and in conformity with this Agreement and the Ordinances of the Village of Caledonia and any restrictive covenants applicable to the Property. The Owner shall prevent the Drainage Facilities from becoming a nuisance.

2. Failure to Construct, Clean, Maintain, Alter, Repair and Replace Drainage Facilities. The Grantees shall have the right, but not the responsibility, to enter upon the Property in order to perform construction, cleaning, maintenance, alterations, repairs and replacements of the Drainage Facilities if the Owner fails to do so after receiving a written request from the Grantees. The Owner shall be given at least ten business days after the date of said written request to perform whatever construction, cleaning, maintenance, alterations, repairs and replacements are deemed reasonable and necessary by the Grantees as stated in said notice. Provided, however, that in the event the Grantees determine that emergency action should be performed, then the Grantees may enter upon the Property immediately and perform said emergency action. The Owner shall reimburse Grantees for all costs incurred by the Grantees in performing said construction, cleaning, maintenance, alterations, repairs, replacements and emergency action, including, without limitation, any construction, engineering, legal and administrative costs with respect to the same, upon receiving an invoice for said costs. If Owner fails to pay said costs, then said costs may be assessed upon the Property by the Grantees as a special charge as provided in Wisconsin Statutes Sections 66.0627 and 66.0703, and Owner consents to said assessments and waives notice and hearing with respect to the levying of said assessments in accordance with Wisconsin Statutes Section 66.0703 and/or 66.0627.

3. Alteration or Changes of Drainage Facilities. The Owner shall not make or construct any alteration or change of the Drainage Facilities, including, without limitation, any alteration or change in the grade, elevations, size, shape, capacity, rate of inflow or rate of outflow of the Drainage Facilities, unless the Grantees approve the alteration or change in writing prior to the making or construction of said alteration or change.

4. Indemnification. Owner shall, and hereby does, indemnify and hold harmless the Grantees, and their employees, officials, commissioners, contractors, consultants, and agents from and against any claims, actions, judgments, damages, costs, and expenses (including, but not limited to, reasonable actual attorney fees) and/or liability of any nature whatsoever, that may arise, directly or indirectly, as a result of (i) the existence, construction, use, operation,

cleaning, maintaining, alteration, repair, and/or replacement of the Drainage Facilities, and/or (ii) any property damage and/or bodily injury (including death) that may arise or occur as a result of the foregoing and/or at such locations.

5. Insurance. Owner shall, at Owner's own cost and expense, and prior to the construction of the Drainage Facilities, obtain and maintain a policy of general liability insurance, from a Wisconsin-licensed insurance carrier, that (i) has coverage and policy limits satisfactory to the Grantees, and (ii) has the Grantees named as additional insureds. Such insurance shall be kept and maintained by the Owner throughout the entire term of this Agreement.

6. Grant of Easement. The Owner hereby grants to the Grantees, and to the Grantees' employees, officials, commissioners, contractors, consultants, agents, successors, and assigns, the Ingress/Egress Easement over, across, under, and through the Owner's Property, to and from Four Mile Road and the Storm Water Drainage Easement Area, for the purposes of (i) performing its duties, responsibilities, and easement rights imposed upon and/or granted to the Grantees under this Agreement, and/or (ii) inspecting, monitoring, and/or testing the Drainage Facilities and/or the Utility Easement Area, and (iii) for conveying and/or storing surface and storm waters in, over, across, under, and/or through the Utility Easement Area and the Drainage Facilities.

7. Removal of Obstructions. Owner hereby grants to the Grantees, and to Grantees' employees, officials, commissioners, contractors, consultants, and agents the right to:

- (a) Cut down and remove or trim all trees, bushes or other vegetation existing within the Storm Water Drainage Easement Area, and to cut down and remove or trim all trees, bushes and other vegetation located outside of the Storm Water Drainage Easement Area that interfere with (i) the construction, use, operation, cleaning, maintenance, alteration, repair and replacement of the Drainage Facilities within the Storm Water Drainage Easement Area, or (ii) ingress and egress to the Storm Water Drainage Easement Area and Four Mile Road.
- (b) Remove any fences, structures or improvements located within the Storm Water Drainage Easement Area to the extent necessary to (i) carry out the construction, use, operation, cleaning, maintenance, alteration, repair and replacement of the Drainage Facilities within the Storm Water Drainage Easement Area, or (ii) maintain ingress and egress to the Storm Water Drainage Easement Area and Four Mile Road.

8. Further Owner Requirements.

(a) No fences, structures or improvements will be erected, and no trees, bushes or other vegetation will be planted, within the Storm Water Drainage Easement Area without the written consent of the Grantees; and

(b) The elevation of the existing ground surface within the Storm Water Drainage Easement Area will not be altered without the written consent of the Grantees.

(c) Owner shall comply with (i) the provisions and requirements of the Site Grading & Drainage Improvements Plan for the Property, prepared by Nielsen Madsen + Barber S.C., dated September 13, 2022, as may be approved and/or amended from time to time by the Grantees.

9. Restoration of Surface. The Grantees shall reasonably restore the surface of the Property disturbed by the Grantees' (i) construction, use, operation, cleaning, maintenance, alteration, repair and replacement of the Drainage Facilities within the Storm Water Drainage Easement Area or (ii) ingress and egress to the Storm Water Drainage Easement Area. Said restoration shall be to the condition that existed prior to the Grantees' entry on the Property; provided, however that the Grantees shall only be required to (i) restore any disturbed areas of soil with grass seed, and (ii) restore any disturbed paved portion or gravel portion of the Property with similar materials.

10. Non-Use. Non-use or limited use of the rights granted to the Grantees in this Agreement shall not prevent the Grantees from the later use of said rights to the fullest extent authorized in this Agreement.

11. Covenants Run With Land. All of the terms and conditions in this Agreement, including the benefits and burdens, shall run with the land that is the Property and shall be binding upon, inure to the benefit of, and be enforceable by the Owner and the Grantees and their respective successors and assigns.

12. Warranty. The Owner does hereby warrant and covenant that the Owner owns the Property in fee simple and is lawfully seized and possessed of the Property; that the Owner has a good and lawful right to grant the rights granted to the Grantees hereunder; that the Property is free and clear of all liens and encumbrances, except for recorded easements and recorded covenants, that the persons executing this Agreement on behalf of the Owner are fully authorized to execute this Agreement on behalf of the Owner; and that this Agreement is the binding obligation of the Owner.

13. Term. The term of this Agreement shall continue indefinitely, in full force and effect, unless and until amended and/or terminated with the written approval of the Grantees.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date set forth above.

OWNER:

BY:

Robert J. Morrone
Robert J. Morrone, Member

STATE OF WISCONSIN)

) SS

COUNTY OF RACINE)

Personally came before me this 11th day of October 2022, the above-named **Robert J. Morrone**, a Member of Vinvan Development LLC, to me known to be the persons who executed the foregoing instrument and acknowledged the same on behalf of said limited liability company.

Diane M. Penzkowski
Notary Public, State of Wisconsin

Diane M. Penzkowski

My Commission expires: 4-2-2024

VILLAGE OF CALEDONIA

BY:

James R. Dobbs
James R. Dobbs, President

ATTEST:

Joslyn Hoeffert
Joslyn Hoeffert, Clerk

STATE OF WISCONSIN)

) SS

COUNTY OF RACINE)

Personally came before me this _____ day of _____ 2022, the above-named **James R. Dobbs, President** and **Joslyn Hoeffert, Clerk**, of the Village of Caledonia, to me known to be the persons who executed the foregoing instrument and acknowledged the same on behalf of the Village of Caledonia.

Notary Public, Racine County, WI

My Commission expires: _____

This Instrument Was Drafted By: Anthony A. Bunkelman P.E., Public Services Director

LETTER REPORT

TITLE REPORT PREPARED FOR: Village of Caledonia

TAX KEY NO.: 104-04-23-28-008-010

TITLE CO. REFERENCE NO.: 71637

LEGAL DESCRIPTION:

Parcel 1 of Certified Survey Map No. 2528 recorded in the office of the Register of Deeds for Racine County, Wisconsin on June 20, 2003, in Volume 7 of Certified Survey Maps, page 909, as Document No. 1911674, being a division of a part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 4 North, Range 23 East, in the Village of Caledonia, Racine County, Wisconsin. Excepting therefrom land conveyed in Quit Claim Deed recorded April 25, 2006, as Document No. 2082081.

OWNER:

Vinvan Development LLC, also known as Vinvan Development LLC, a Wisconsin limited liability company

PROPERTY ADDRESS:

419 4 mile Road, Racine, WI 53402

OPEN MORTGAGES:

Mortgage from Vinvan Development LLC aka Vinvan Development LLC, a Wisconsin Limited Liability Company to Community State Bank in the amount of \$338,250.00 dated July 27, 2022 and recorded in the office of the Register of Deeds for Racine County, Wisconsin on July 28, 2022 as Document No. 2635236.

Assignment of Rents dated July 27, 2022 and recorded in the office of the Register of Deeds for Racine County, Wisconsin on July 28, 2022 as Document No. 2635237.

UNSATISFIED LIENS, JUDGMENTS, WARRANTS:

NONE

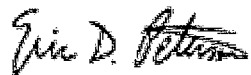
REAL ESTATE TAXES:

Taxes for the year 2021 in the amount of \$727.29, have been paid in full.

THIS report is compiled from the public records of the appropriate offices in which the property is located, and assumes no liabilities for the public record information or facts shown in detail herein. **THIS REPORT IS NOT AN ABSTRACT OR OPINION OF TITLE, TITLE COMMITMENT OF GUARANTY OR TITLE INSURANCE POLICY.** The liability hereunder is specifically limited to the fees paid for the preparation of this report.

This report is prepared and submitted as of October 3, 2022 at 12:00 AM

Landmark Title of Racine, Inc.

A handwritten signature in black ink, appearing to read "Eric D. Peterson". The signature is written in a cursive, flowing style with some loops and flourishes.

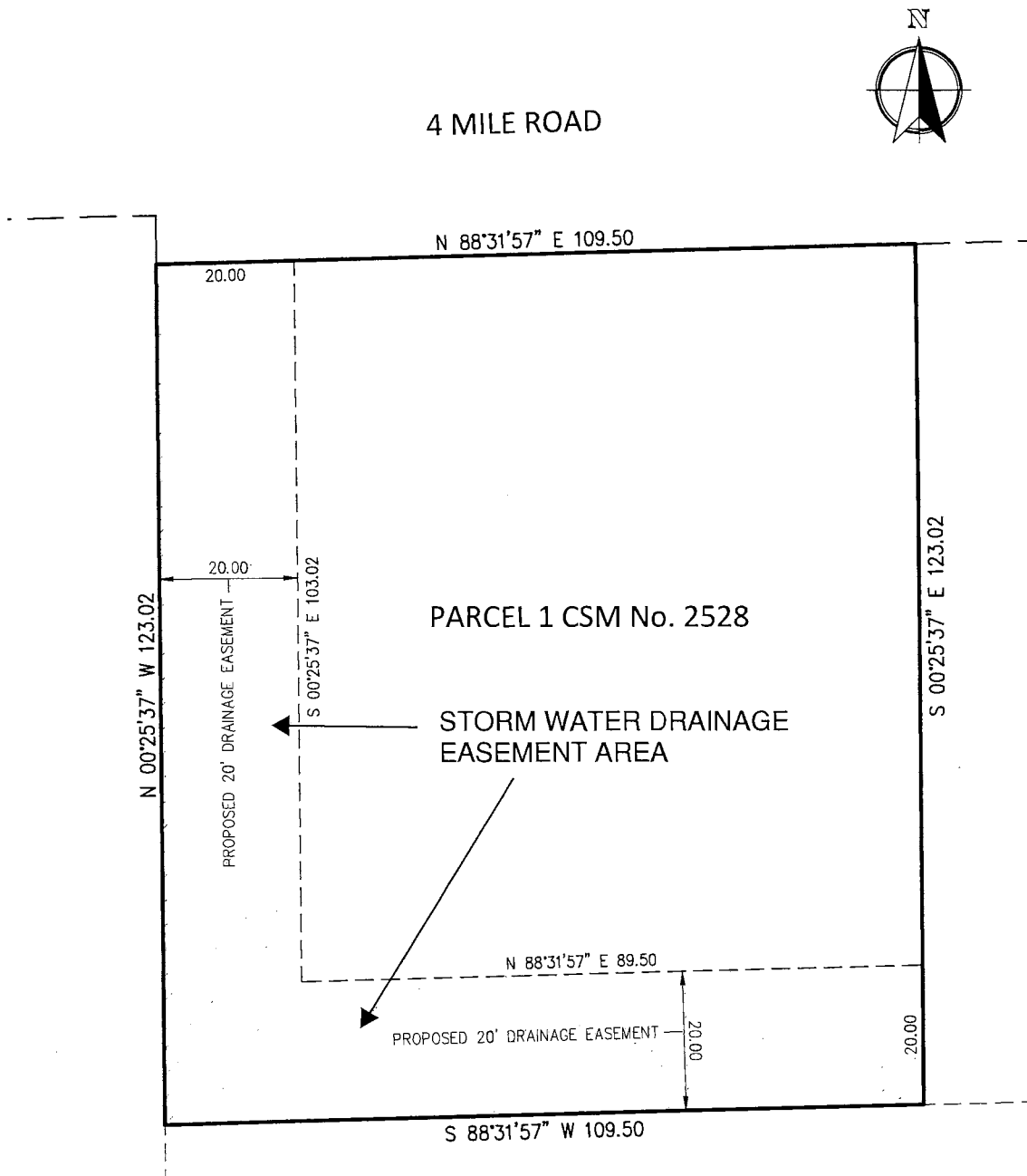
Eric D. Peterson
Authorized Signature or Signatory

419 4 mile Road
Racine, WI 53402

EXHIBIT B

20' WIDE DRAINAGE EASEMENT

The West 20.00 feet and the South 20.00 feet of Parcel 1 of Certified Survey Map No. 2528, recorded in the office of the Register of Deeds for Racine County, Wisconsin on June 20, 2003, in Volume 7 of Certified Survey Maps, page 909 as Document No. 1911674, being a division of a part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 4 North, Range 23 East, in the Village of Caledonia, Racine County, Wisconsin. EXCEPTING THEREFROM land conveyed in Quit Claim Deed recorded April 25, 2006, as Document No. 2082081.



NOTE

BEARING BASE: GRID NORTH, WISCONSIN
COORDINATE SYSTEM, SOUTH ZONE.
BASED UPON NAD 1983 / 2011

DRAWN 9-12-2022 BY SCB
SCALE 1" = 20'
SHEET 1 OF 1 SHEETS
JOB NO. 2022.0183.01



Nielsen Madsen + Barber

CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

RESOLUTION NO. 2022-XXX

**RESOLUTION IMPOSING A SPECIAL CHARGE ON THE 2022 TAX ROLL
REPRESENTING THE ANNUAL STORM WATER MANAGEMENT FEE AGAINST
PROPERTY IN THE VILLAGE OF CALEDONIA UTILITY DISTRICT AND
ESTABLISHING THE STORM WATER MANAGEMENT RATE FOR EACH
EQUIVALENT RESIDENTIAL UNIT IN ACCORDANCE WITH SECTIONS 9-2-12(G)
AND (H) OF THE VILLAGE OF CALEDONIA CODE OF ORDINANCES FOR THE
TIME PERIOD OF 12/1/2022 TO 11/30/2023**

The Village Board of the Village of Caledonia, Racine County, Wisconsin, resolves as follows:

RECITALS

1. Section 9-2-12 entitled Storm Water Management Fees provides that the Village Board shall establish by Resolution the rate for an Equivalent Residential Unit (“ERU”) that shall be imposed to recover all or a portion of the costs incurred by the Village for storm water management purposes.

2. That in accordance with Section 9-2-12(h) of the Ordinance, the Village Board shall levy and collect the storm water management fees as a special charge against property in the District, under Wis. Stat. Sec. 66.0627.

4. On October 12, 2022 the Village of Caledonia Utility District recommended to the Village Board that it adopt the Caledonia Utility District Storm Water 2023 Budget based on a total of 15,978.69 ERU’s in the Village-Wide Storm Water Utility District and an overall budget of \$1,041,542.16 for the Village of Caledonia Storm Water Utility District for the time period beginning December 1, 2022 through November 30, 2023.

NOW THEREFORE, BE IT RESOLVED, that the sum of \$65.25 per ERU be levied and assessed as part of the 2022 tax roll in accordance with the methodology set forth in the Ordinance and report that being:

<u>Customer Class</u>	<u>Storm Water Charge</u>
Single Family Residential	1 ERU
Non-Residential	1 ERU for each 5,230 sq. ft. of Impervious Area
Vacant	0.25 ERU

BE IT FURTHER RESOLVED, that all qualifying properties that are entitled to a credit in accordance with the policy adopted Resolution No. 2014-74 shall be granted such credit in accordance with the policy prior to placement of the storm water management fee on the 2022 tax roll.

BE IT FURTHER RESOLVED, that all properties which are exempt from property taxes on the tax roll shall be subject to such special charge.

BE IT FURTHER RESOLVED, that said special charges shall be paid in full on or before January 31, 2023. If not paid, such delinquent special charge shall become a lien as provided in Section 66.0627 (4), Wisconsin Statutes.

BE IT FURTHER RESOLVED that the following storm water management rate be, and hereby is, adopted for the time-period beginning December 1, 2022 through November 30, 2023:

- Rate of \$65.25 per ERU

Adopted by the Village Board of the Village of Caledonia, Racine County, Wisconsin, this ____ day of November 2022.

VILLAGE OF CALEDONIA

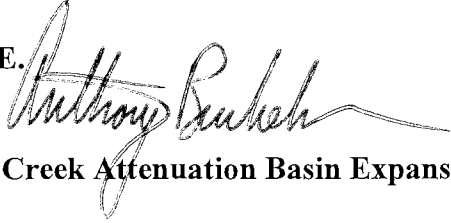
By: _____
James R. Dobbs
Village President

Attest: _____
Joslyn Hoeffert
Village Clerk

MEMORANDUM

DATE: Tuesday, November 29, 2022

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director 

RE: Change Order #4 – Hoods Creek Attenuation Basin Expansion

BACKGROUND INFORMATION

This Change Order is for additional concrete to be installed near the control building. Installing concrete in this area will eliminate the rough landscaping and provide better access to the equipment.

This Change Order has a cost of \$8,210.32 and adjusts the contract by 0.08%. Overall Change Orders have adjusted the contract by \$68,997.38 or 0.68%.

This Change Order has been reviewed and accepted.

It is recommended that Change Order #4 be approved.

RECOMMENDATION

Move to approve Change Order #4 for the Hoods Creek Attenuation Basin Expansion Project with a contract increase of \$8,210.32.

SECTION 00 63 62
CHANGE ORDER

No. 4

Date of Issuance: November 16, 2022	Effective Date: November 16, 2022
Owner: Caledonia Utility District	Owner's Contract No.:
Contractor: Miron Construction Co., Inc	Contractor's Project No.:
Engineer: Foth Infrastructure & Environment, LLC	Engineer's Project No.: 20C030.09
Project: Hoods Creek Attenuation Basin Expansion	Contract Name: HCAB Expansion

The Contract is modified as follows upon execution of this Change Order:

Description: This change order documents the costs associated with additional concrete at the site. This concrete is between the building and the MAU concrete pad and eliminates concerns of rough landscaping and access to equipment.

Attachments: *Cost revisions as provided by Miron*

All increases to contract price shall include costs for bonding and insurance.

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES <i>[note changes in Milestones if applicable]</i>
Original Contract Price: \$ <u>10,209,403.20</u>	Original Contract Times: Substantial Completion: <u>September 15, 2023</u> Ready for Final Payment: <u>October 13, 2023</u> days or dates
[Increase] [Decrease] from previously approved Change Orders No. <u>1</u> to No. <u>3</u> : \$ <u>60,787.06</u>	[Increase] [Decrease] from previously approved Change Orders No. <u>1</u> to No. <u>3</u> : Substantial Completion: <u>NA</u> Ready for Final Payment: <u>NA</u> days
Contract Price prior to this Change Order: \$ <u>10,270,190.26</u>	Contract Times prior to this Change Order: Substantial Completion: <u>September 15, 2023</u> Ready for Final Payment: <u>October 13, 2023</u> days or dates
[Increase] [Decrease] of this Change Order: \$ <u>8,210.32</u>	[Increase] [Decrease] of this Change Order: Substantial Completion: <u>NA</u> Ready for Final Payment: <u>NA</u> days or dates
Contract Price incorporating this Change Order: \$ <u>10,278,400.58</u> ✓	Contract Times with all approved Change Orders: Substantial Completion: <u>September 15, 2023</u> Ready for Final Payment: <u>October 13, 2023</u> days or dates

RECOMMENDED:

ACCEPTED:

ACCEPTED:

By: <u>Eve Schnell</u>	By: _____	By: <u>David G. Voss Jr.</u>
Engineer (if required)	Owner (Authorized Signature)	Contractor (Authorized Signature)
Title: <u>Project Manager</u>	Title: _____	Title: <u>David G. Voss Jr., President</u>
Date: <u>November 16, 2022</u>	Date: _____	Date: <u>11/18/2022</u>

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____



Change Order Request

Date: 09/12/2022

To: Tony Bunkleman
Caledonia Utility District
333 4 1/2 Mile Road
Racine, WI 53402

Re: Hoods Creek Attenuation Basin Expansion
Franksville, WI 53126
Project: 220430
State/Federal Job: N/A

Reference Document: PCI0005

Change Description: Additional Site Concrete :

Cost associated with removing existing landscaping, installing new 6" stone subgrade, doweling into new slab, 12" SOG adjacent to new HVAC equipment pad. New slab will not have rebar, unless requested by design team.

Contractor	Description	Amount
Willkomm Excavating & Grading	EARTHWORK	\$2,000.00
Miron Construction Co., Inc.	GENERAL TRADES	\$5,816.85
* SUB-TOTAL *		\$7,816.85
Management Fee - Subcontractor		\$328.31
* SUB-TOTAL *		\$8,145.16
Bond		\$65.16
** TOTAL **		\$8,210.32

Impacted Calendar Days: 0

All terms of our agreement apply and preclude Miron Construction Co., Inc. from performing any extra work without approval. Please provide your approval by signing this request.

Samuel Orcholski
Miron Construction Co., Inc.

09/12/2022

Date:

Owner Representative
Caledonia Utility District

Date:

This quote expires on: 09/26/2022

Sam Orcholski

From: Tracy Carlson <tcarlson@willkommexcavating.com>
Sent: Friday, September 9, 2022 10:10 AM
To: Sam Orcholski
Cc: Lisa Morton; Evelyn Kortendick
Subject: [E] RE: Hoods Creek Extra Work

CAUTION: External Email

Sam,

Figure \$2000 to excavate 18" of soils, stockpile on existing stockpile (west of laydown area), and install 6" of 1 ¼" base course.

Thank you,
Tracy Carlson
Estimator

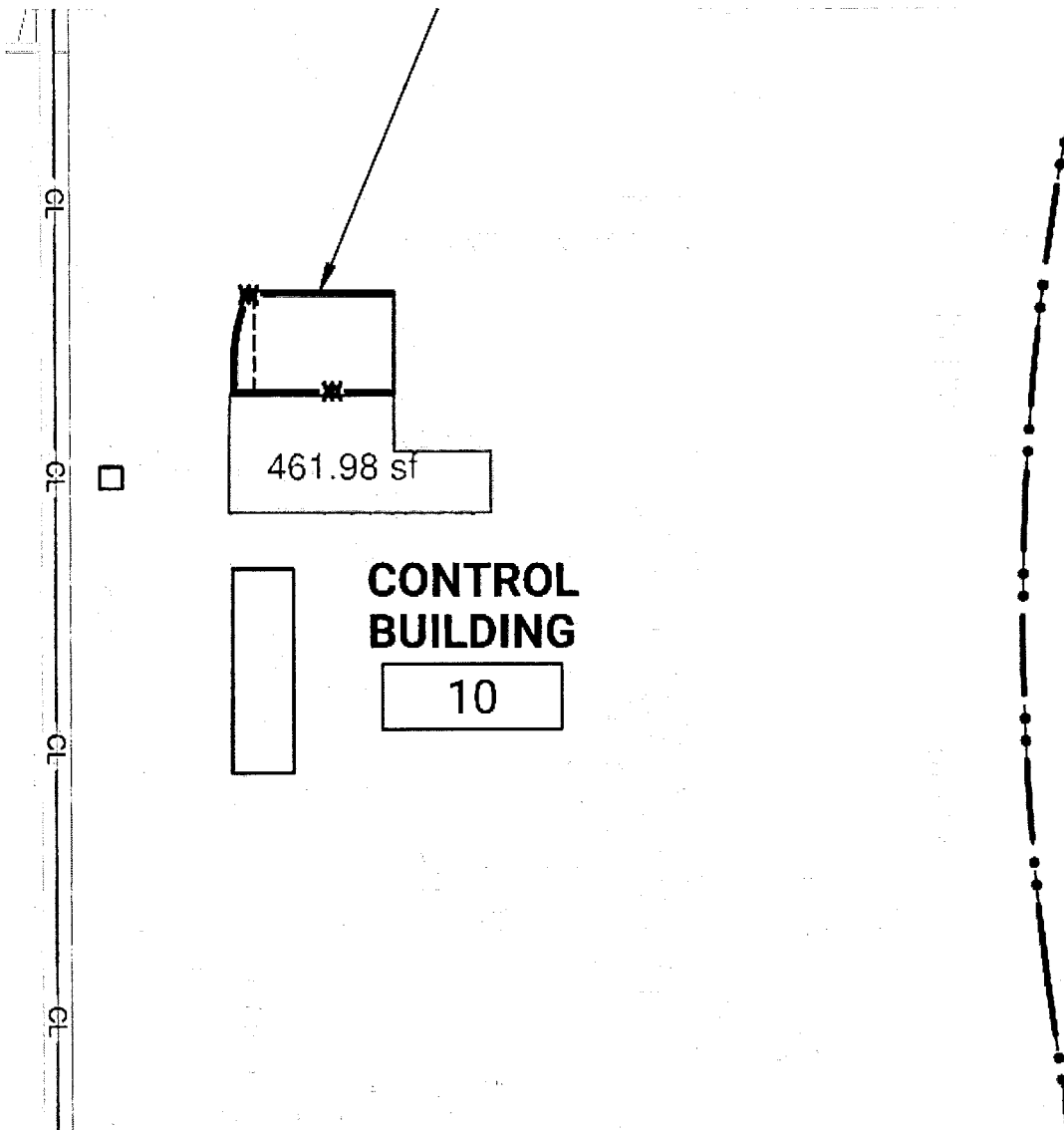


Willkomm Excavating & Grading, Inc.
17108 County Line Road
Union Grove, WI 53182
Office: (262) 878-0877 Ext. 513
Fax: (262) 878-1337
www.Willkommexcavating.com

From: Sam Orcholski <Sam.Orcholski@miron-construction.com>
Sent: Friday, September 09, 2022 8:39 AM
To: Tracy Carlson <tcarlson@willkommexcavating.com>
Subject: Hoods Creek Extra Work

Tracy,

Can you shoot over a price today to excavate 18" and put back 6" of stone for us to put 12" of concrete on the highlighted area? It is adjacent to the equipment pad you excavated for



Sam Orcholski
Project Manager
 sam.orcholski@miron-construction.com

Miron Construction Co., Inc.
 PH 414.308.1550 | FX 414.431.0933
 1400 N Water St, Suite 200 | Milwaukee, WI 53202
 MIRON-CONSTRUCTION.COM



Miron Construction Co., Inc. is proud to be an Equal Opportunity / Affirmative Action Employer. We welcome and encourage ALL qualified applicants to apply for our open career opportunities. This email and attachment(s) may contain privileged and confidential information and are intended for the addressee(s) only. If you have received this email in error, please notify the sender immediately and delete the message. Any other use, printing, copying, forwarding or retention of this email, is strictly prohibited.



Miron Self-Perform General Trades Quote Detail

Date: 09/12/2022

To: Miron Construction Co., Inc.
PO Box 509
Neenah, WI 54956

Re: Hoods Creek Attenuation Basin Expansion-General Trades
Franksville, WI 53126
Project: 220436
State/Federal Job: N/A

Reference Document: PCI0005

Change Description: Additional Site Concrete :

Cost associated with removing existing landscaping, installing new 6" stone subgrade, doweling into new slab, 12" SOG adjacent to new HVAC equipment pad. New slab will not have rebar, unless requested by design team.

Contractor	Description	Amount
Self-Perform		
Miron Construction Co., Inc	LABOR	2,008.13
Miron Construction Co., Inc	MATERIAL	3,050.00
* SUB-TOTAL *		5,058.13
Management Fee - Self Perform		758.72
* TOTAL *		5,816.85
** GRAND TOTAL **		5,816.85

Impacted Calendar Days: 0

All terms of our agreement apply and preclude Miron Construction Co., Inc. from performing any extra work without approval. Please provide your approval by signing this request.

Samuel Orcholski
Miron Construction Co., Inc.

09/12/2022

Date:



POTENTIAL CHANGE ITEM (PCI) PROPOSAL REQUEST

Building Excellence

PROJECT NAME:	Hoods Creek Attenuation Basin Expsn
ADDRESS:	
PROJECT NUMBER:	220430
DATE:	9/6/2022
PCI #	

CHANGE DESCRIPTION:

Cost associated with prep, doweling, and pouring additional concrete 12" thick.

SELF-PERFORMED WORK:

TOTAL LABOR: \$ 2,008.13

TOTAL MATERIAL: \$ 3,050.00

SALES TAX @ 0%: \$ -

TOTAL EQUIPMENT: \$ -

SUBTOTAL: \$ 5,058.13

OVERHEAD, PROFIT, & MARKUP \$ -

TOTAL CONTRACTOR COST WITH MARKUP \$ 5,058.13

SUB-TIER SUBCONTRACTORS:

SUBTOTAL: \$ -

SUBCONTRACTOR MARKUP \$ -

TOTAL SUBCONTRACTOR COST WITH MARKUP \$ -

Schedule Impact: Calendar Days

TOTAL \$ 5,058.13

Additional Comments:

--

Project Manager / Project Accountant

Project No.

Project Name:

Desc of C/O:

Scope Description:

Prepared by:

Date:

220430

Hoods Creek Attenuation Basin Expsn

Cost associated with prep, doweling, and pouring additional concrete 12" thick.

Sam Orcholski

9/6/22

Project Modification
Pricing Worksheet

Project Specific	Equip
Labor Rate:	
Equip Rate:	



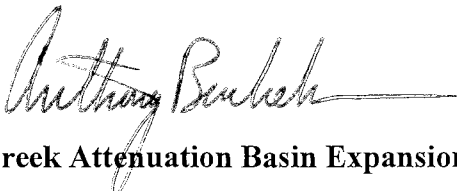
ID	Division	Cost Code	Item Description	Cost Type	Quantity	Unit of Measure	Labor Rate			Labor			Materials			Equipment			Total
							Hours Per Unit	Hour Type	Total Hours	Rate Type	Hourly Rate	Total \$	Unit Cost	Totals	Equipment Type	Billing Usage	Unit Cost	Totals	
1	01	011005		L	23.00	HR	1.00	Reg	23.00	CEMF	87.31	\$ 2,008.13					\$		\$ 2,008.13
2	03	030005	READY MIX CONCRETE MATERIAL	M	1.00	LS					-		\$ 2,565.00	\$ 2,565.00			\$		\$ 2,565.00
3	03	030105	MISCELLANEOUS CONCRETE CONSUMABLES	M	1.00	LS					-		\$ 485.00	\$ 485.00			\$		\$ 485.00
4											-						\$		\$ -
5											-						\$		\$ -
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12											-						\$		\$ -
13											-						\$		\$ -
14											-						\$		\$ -
15											-						\$		\$ -
16											-						\$		\$ -
17											-						\$		\$ -
18											-						\$		\$ -
19											-						\$		\$ -
Total Labor:																			\$ 2,008.13
Labor Inflation 0%																			\$ -
Total Material:																			\$ 3,050.00
Total Purchase Orders:																			\$ -
Sales Tax@ 0.0%																			\$ -
Total Equipment:																			\$ -
Total Miron C/O:																			\$ 5,058.13

Effective June 1, 2022 through May 31, 2023

MEMORANDUM

DATE: Tuesday, November 29, 2022

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Public Services Director 

RE: Change Order #5 – Hoods Creek Attenuation Basin Expansion

BACKGROUND INFORMATION

This Change Order is for costs associated with adding 2 gas regulators to the existing unit heaters to accommodate the upsizing of the gas service (increase in psi).

This Change Order has a cost of \$1,321.33 and adjusts the contract by 0.01%. Overall Change Orders have adjusted the contract by \$70,318.71 or 0.69%.

This Change Order has been reviewed and accepted.

It is recommended that Change Order #5 be approved.

RECOMMENDATION

Move to approve Change Order #5 for the Hoods Creek Attenuation Basin Expansion Project with a contract increase of \$1,321.33.

**SECTION 00 63 62
CHANGE ORDER**

No. 5

Date of Issuance: November 16, 2022	Effective Date: November 16, 2022
Owner: Caledonia Utility District	Owner's Contract No.:
Contractor: Miron Construction Co., Inc	Contractor's Project No.:
Engineer: Foth Infrastructure & Environment, LLC	Engineer's Project No.: 20C030.09
Project: Hoods Creek Attenuation Basin Expansion	Contract Name: HCAB Expansion

The Contract is modified as follows upon execution of this Change Order:

Description: This change order documents the costs associated with adding regulators to the existing unit heaters to accommodate the upsizing of the system.

Attachments: *Cost revisions as provided by Miron*

All increases to contract price shall include costs for bonding and insurance.

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES <i>[note changes in Milestones if applicable]</i>
Original Contract Price: \$ <u>10,209,403.20</u>	Original Contract Times: Substantial Completion: <u>September 15, 2023</u> Ready for Final Payment: <u>October 13, 2023</u> days or dates
[Increase] [Decrease] from previously approved Change Orders No. <u>1</u> to No. <u>4</u> : \$ <u>68,997.38</u>	[Increase] [Decrease] from previously approved Change Orders No. <u>1</u> to No. <u>4</u> : Substantial Completion: <u>NA</u> Ready for Final Payment: <u>NA</u> days
Contract Price prior to this Change Order: \$ <u>10,278,400.58</u>	Contract Times prior to this Change Order: Substantial Completion: <u>September 15, 2023</u> Ready for Final Payment: <u>October 13, 2023</u> days or dates
[Increase] [Decrease] of this Change Order: \$ <u>1,321.33</u>	[Increase] [Decrease] of this Change Order: Substantial Completion: <u>NA</u> Ready for Final Payment: <u>NA</u> days or dates
Contract Price incorporating this Change Order: \$ <u>10,279,721.91</u>	Contract Times with all approved Change Orders: Substantial Completion: <u>September 15, 2023</u> Ready for Final Payment: <u>October 13, 2023</u> days or dates

RECOMMENDED:

ACCEPTED:

ACCEPTED:

By: <u>Eve Schnell</u> Engineer (if required)	By: _____ Owner (Authorized Signature)	By: <u>David G. Voss Jr.</u> Contractor (Authorized Signature)
Title: <u>Project Manager</u>	Title: _____	Title: <u>David G. Voss Jr., President</u>
Date: <u>November 16, 2022</u>	Date: _____	Date: <u>11/18/2022</u>

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____



Change Order Request

Date: 10/17/2022

To: Tony Bunkleman
Caledonia Utility District
333 4 1/2 Mile Road
Racine, WI 53402

Re: Hoods Creek Attenuation Basin Expansion
Franksville, WI 53126
Project: 220430
State/Federal Job: N/A

Reference Document: PCI0006

Change Description: Gas Utility Heater Regulators: Cost associated with adding regulators to the existing unit heaters once the gas line is up sized. This was not shown on the plans, but is required by code.

Contractor	Description	Amount
Lee Mechanical Inc	ATTENUATION BASIN EXPANSION	\$1,258.00
* SUB-TOTAL *		<u>\$1,258.00</u>
Management Fee - Subcontractor		\$52.84
* SUB-TOTAL *		<u>\$1,310.84</u>
Bond		\$10.49
** TOTAL **		<u>\$1,321.33</u>

Impacted Calendar Days: 0

All terms of our agreement apply and preclude Miron Construction Co., Inc. from performing any extra work without approval. Please provide your approval by signing this request.

Samuel Orcholski
Miron Construction Co., Inc.

10/17/2022

Date:

Owner Representative
Caledonia Utility District

Date:

This quote expires on: 10/31/2022

001



October 14, 2022

Sam Orcholski
Miron Construction

Reference: Hoods Creek Attenuation Basin Expansion

Subject: Change Order Request - Furnish and Install (2) Regulators for the Existing Gas Unit

Sam Orcholski,

Description of work: Furnish and install (2) Gas Regulators for the existing Gas Unit Heaters due to the increase in incoming Gas Pressure from We Energies

Our price for the scope of work as described above is \$1,258.00. Please issue a signed change order to our contract or sign below and return this document to us as acknowledgement of this change in our scope of work.

Schedule Impact:

If you have any questions regarding this issue, please do not hesitate to contact me at your earliest convenience. This pricing expires after 15 working days.

Sincerely,

LEE Mechanical Inc.

ACCEPTED: _____

COMPANY: _____

DATE: _____

Kody M. Azarian
Assitant Project Manager

Lee Mechanical

Project: Hoods Creek Attenuation Basin Expansion

Date: 10/14/22

LEE Change Order #: 001

Subject: Furnish and Install (2) Regulators for the Existing Gas Unit Heaters

Labor						
Sheet Metal Journeyman	0.0	Hours	@	\$98.00	=	\$0.00
Sheet Metal Journeyman (OT)	0.0	Hours	@	\$120.16	=	\$0.00
Sheet Metal Foreman	0.0	Hours	@	\$100.05	=	\$0.00
Sheet Metal Foreman (OT)	0.0	Hours	@	\$132.18	=	\$0.00
Sheet Metal General Foreman	0.0	Hours	@	\$0.00	=	\$0.00
Sheet Metal General Foreman (OT)	0.0	Hours	@	\$0.00	=	\$0.00
Sheet Metal Delivery (OT) 1,500#/Truck @ 4 Hrs/Truck	0.0	Hours	@	\$90.00	=	\$0.00
Pipe Fitter Journeyman	0.0	Hours	@	\$92.80	=	\$0.00
Pipe Fitter Journeyman (OT)	0.0	Hours	@	\$122.62	=	\$0.00
Pipe Fitter Foreman	8.0	Hours	@	\$102.40	=	\$819.20
Pipe Fitter Foreman (OT)	0.0	Hours	@	\$134.88	=	\$0.00
Piping General Foreman	0.0	Hours	@	\$0.00	=	\$0.00
Piping General Foreman (OT)	0.0	Hours	@	\$0.00	=	\$0.00
Pipe Delivery (OT)	0.0	Hours	@	\$0.00	=	\$0.00
Engineering	0.0	Hours	@	\$115.00	=	\$0.00
Virtual Designer	0.0	Hours	@	\$0.00	=	\$0.00
Service Technician	0.0	Hours	@	\$125.00	=	\$0.00
Labor Total						\$819.20
Materials						
Sheet Metal Ductwork Fabrication		Weight =		0 Lbs		\$0.00
Sheet Metal Supplies & Accessories						\$0.00
Pipe, Valve, Fitting & Hanger Material & Supplies		Cost from Estimate =		\$ -		\$0.00
Materials Total						\$0.00
Equipment						
Vent Equipment					\$	-
Piping Equipment					\$	325
Equipment Total						\$325.00
Sales and Use Tax				0.00%		\$0.00
Warranty				0.0%		\$0.00
Other Cost						
Project Management	0.00	Hours	@	\$0.00		\$0.00
Power Tools						\$0.00
Equipment Rental (Lifts)						\$0.00
Forklift						\$0.00
Blueprints		Qty=	@	\$1.15		\$0.00
Permits						\$0.00
Other Cost Total						\$0.00
Contractor Subtotal						\$1,144.20
Overhead + Profit @	10%					\$114.42
Subcontractors						
Temperature Controls						\$0.00
Insulation						\$0.00
Test & Balance						\$0.00
Crane						\$0.00
Electrical						\$0.00
Firesafing						\$0.00
Mechanical						\$0.00
Chemical Treatment						\$0.00
Start-Up (LEE Mechanical Services)						\$0.00
TOTAL SUBCONTRACTOR COSTS						\$0.00
Subcontractor Profit @	5%					\$0.00
Change Order Subtotal						\$1,144.20
SUBTOTAL						\$1,258.62
Bond						\$0.00
TOTAL						\$1,258.62

Hoods Creek Attenuation Basin Expansion - Furnish and Install (2) Regulators for the Existing Gas Unit Heaters

Date: 10/14/2022

001

Equipment/Subcontractors

Vent Equipment / Misc Items	Cost	Field Hrs	Lbs Duct
			0 LBS
<i>Total</i>	\$ -	0	0 LBS

Piping Equipment / Misc Items	Cost	Field Hrs	Material
			\$ -
(2) Regulators for GUHs	\$ 225		
(2) 3/4" Unions	\$ 50		
2 Packs of 3/4" Nipples	\$ 50		
<i>Total</i>	\$ 325	0	\$ -

Subcontractors	Cost
<i>Total</i>	\$ -

10%

Utility District Operator – On Call Policy

A Utility District Operator shall be on call for one week from 6:30am on Friday to 6:30am the following Friday. While the Utility District Operator is on call, the operator shall carry the designated Utility District on call phone. The on call phone is expected to be answered/acknowledged each time that a call or alarm is received. If a call happens to go to voicemail, the Operator shall return said call within 10 minutes of being received.

If a call or alarm requires the Operator to appear on-site, the Operator is required to arrive at the Utility District office, gather all necessary information and equipment, and drive to the site of the call or alarm using an equipped Utility District vehicle. Arrival at site shall be one (1) hour from the time the call or alarm is received.

An Operator on call shall receive 6 hours of straight time per week for being on call. The Operator shall have the option to receive pay or earn compensatory time for the 6 hours of straight time. In addition to on-call time, an Operator that is required to appear on-site for a call or alarm, shall receive a minimum of 2 hours of overtime pay or compensatory time (1 ½ times the operator's hourly rate). If the Operator works/responds to a call or alarm that takes more than 2 hours of time, the Operator shall be compensated for time worked at 1 ½ times the Operator's hourly rate.

There will not be prorated time for on-call duty for less than one week. Should the on-call Operator need time off for any reason, then it is the on call Operator's responsibility to find a replacement to cover the time missed.