

PLANNING COMMISSION AGENDA
Monday, July 26, 2021 at 6:00 p.m.
Caledonia Village Hall – 5043 Chester Lane

- 1. Meeting called to order**
- 2. Roll Call/Introductions**
- 3. Approval of Minutes**
- 4. Citizens' Comments**
- 5. Public Hearing Items**
 - A. CONDITIONAL USE REVIEW – Review a request for a conditional use to allow for the blending of food and flavor additives located on the parcel located at the southwest corner of Quick & Storage Drives submitted by Sam Modder, Applicant, Winklers Masonry Inc., Owner. (Parcel ID No. 104-04-22-27-018-060) **WITHDRAWN**
 - B. CONDITIONAL USE REVIEW – Review a request for a conditional use to allow for the parking of dump trucks associated with the business located at 7931 Douglas Avenue submitted by Nelly Rodriguez, Applicant, Francisco Rodriguez Rubio & Nelly Rodriguez, Owner. (Parcel ID No. 104-04-22-12-009-000)
- 6. Old Business Items**
 - A. ZONING TEXT AMENDMENT – Review an amendment to the Village of Caledonia Zoning Code to create Section 16-1-1(a)(10) relating to residential and commercial parking restrictions.
 - B. ZONING TEXT AMENDMENT – Review an amendment to the Village of Caledonia Zoning Code to create Section 16-1-1(a)(11) relating to accessory structures for residential and non-residential districts.
- 7. Non-Public Hearing Items**
 - A. CERTIFIED SURVEY MAP – Review a certified survey map creating two lots for the parcel located at 8401 Hollander Drive submitted by Nicholas Verhaalen, Applicant, Caledonia Properties II LLC, Owner. (Parcel ID Nos. 104-04-22-34-020-080)
 - B. COOPERATIVE BOUNDARY AGREEMENT REVIEW – Review a conditional use to construct a ±4,500 square-foot metal building and a ±21,600 square-foot masonry building for the purpose of a licensed commercial vehicle storage facility and a food product distribution facility located at USH 41 in the Village of Raymond, submitted by Bridget Weasler, Applicant, Raymond 40 LLC, Owner. (Parcel ID No. 168-04-21-25-004-200)
 - C. SIGN PLAN REVIEW – Review a proposed sign plan to allow for the construction of multiple wall signs, menu board signs, and a monument sign for the proposed commercial building located at 4542 Douglas Avenue, submitted by Lora Maartinson, Applicant, GiGi North LLC, Owner. (Parcel ID No. 104-04-23-29-168-000)
 - D. BUILDING/SITE/OPERATIONS PLAN REVIEW – Review a building, site, and operation plan for the construction and utilization of a ±22,538 square-foot distribution facility located on DeBack Lane, Lot 1 of CSM #3437, submitted by Lindsey Pearson, Applicant, WisPark LLC, Owner. (Parcel ID No. 104-04-22-30-015-210)

- E. BUILDING/SITE/OPERATIONS PLAN REVIEW – Review a building, site, and operation plan for the construction and utilization of a ±443,987 square-foot industrial building located at 13300 Carol Court submitted by Christopher Carlino, Applicant, Scannel Properties #513 LLC, Owner. (Parcel ID No. 104-04-22-30-015-222)
- F. ZONING CODE DISCUSSION – Review draft Chapter 14, Mobile Tower Siting, and Chapter 15, Shoreland Zoning Ordinance of the Village of Caledonia Zoning Code.

8. Adjournment

Dated July 22, 2021

Joslyn Hoeffert
Village Clerk

Only Commission members are expected to attend. However, attendance by all Board members (including non-members of the Plan Commission) is permitted. If additional (non-commission) Board members attend, three or more Board members may be in attendance. Section 19.82(2), Wisconsin Statutes, states as follows:

If one-half or more of the members of a governmental body are present, the meeting is rebuttably presumed to be for the purposes of exercising the responsibilities, authority, power or duties delegated to or vested in the body.

To the extent that three or more members of the Caledonia Village Board actually attend, this meeting may be rebuttably presumed to be a “meeting” within the meaning of Wisconsin’s open meeting law. Nevertheless, only the commission’s agenda will be discussed. Only commission members will vote. Board members who attend the commission meeting do so for the purpose of gathering information and possible discussion regarding the agenda. No votes or other action will be taken by the Village Board at this meeting.

WITHDRAWN

1. Meeting called to order

President Dobbs called the meeting to order at 6:01p.m. at the Village Hall, 5043 Chester Lane, Racine, Wisconsin.

2. Roll Call/Introductions

Members present: President Dobbs, Thomas Knitter, Trustee Weatherston, Tim Just, and Joseph Minorik.

Absent: Bill Folk and Nancy Pierce were excused.

Also Present: Development Director Peter Wagner, Public Works Director Tom Lazcano and Trustee Fran Martin

3. Approval of Minutes

Approval of May 24, 2021 meeting minutes.

Motion by Trustee Weatherston

Seconded by Minorik

4. Citizens' Comments

None.

5. Public Hearing Items

A. ZONING TEXT AMENDMENT – Review an amendment to the Village of Caledonia Zoning Code to create Section 16-1-1(a)(10) relating to residential and commercial parking restrictions.

Peter Wagner read from his report:

In response to the Village Community Development Authority concerns pertaining to parking matters in residential and commercial districts, staff was directed to draft a zoning ordinance addressing the parking of vehicles, recreational vehicles, trailers, and semi-tractors and their trailers. The proposed ordinance is a section of the proposed Zoning Code, Chapter 12: Off-Street Parking.

Staff drafted an ordinance addressing this issue by providing regulations pertaining types, size, and setbacks of vehicles and trailers in residential and commercial districts. Key components to this ordinance are:

- One commercial vehicle not over 10,000 lbs and/or not over nine feet tall and 26 feet in length can be parked routinely in a residential district.
- Recreational vehicles in residential districts must be parked 5 feet from side and rear lot lines.
- Recreational vehicles parked in the street yard must be parked on an improved surface such as stone, asphalt, or concrete.
- Trailers and their contents parked on lots less than one acre cannot exceed 32 feet in length and 13 feet in height. For residential lots greater than one acre, the trailer cannot exceed 37 feet in length and 13 feet in height.
- A parcel's street yard cannot have an improved surface by more than 50% of the street yard.
- Semi tractors, trailers, or dump trucks on commercial property is prohibited unless approved through the conditional use or site plan review process.
- Agricultural equipment in agricultural districts are permitted on site.

**Plan Commission Meeting
Monday, June 28, 2021**

The current parking code does not address parking on front lawns of trailers, boats, cars, and other vehicles. The purpose of the text amendment is to clearly define off-street parking regulations in residential and commercial districts.

If adopted, these regulations will provide better authority to address complaints regarding the parking of vehicles in residential districts. This draft ordinance has gone before the Legislative and Licensing Committee for review with the recommendation that a public hearing be held and be further reviewed by the Plan Commission.

Public hearing opened: 6:14 pm

President Dobbs asked three times if anyone wanted to speak in favor of this proposal.

In favor:

Fran Martin 5630 5 Mile Rd: CDA – spoke some changes are needed in the ordinance to constrain their property. There should not be restrictions on larger or agricultural parcels.

Diana Lesnjak 421 Harvest Ln – agrees with having regulations.

President Dobbs asked three times if anyone wanted to speak against this proposal.

Against:

Wendy McCalvy 4825 Richmond Dr – Village changed the zoning without giving the chance to have a say. Larger parcels should not be restricted.

Howard Stacey 5750 5 Mile Rd – concerned about the equipment that may sit out on an agricultural property.

Closed public hearing: 6:40pm

5A. Commission Deliberation

Plan Commission Members asked Peter Wagner to clarify junk vehicles ordinance, it was believed the property owner needed to prove vehicles were operational and registered. Wagner stated that this ordinance was still in place, but this code will enforce how, where and what vehicles, trailers and recreational vehicles are allowed to park on a residential property. Wagner stated that staff can review and change the verbiage of – “Sub G. operation of specific vehicles used in a farm operation” to accommodate all vehicles used to run all farm types. Commissioners asked what is considered art when using vehicles. Wagner said those situations would need to be reviewed on a case by case and the courts may have to make that decision. Plan Commissioner Members expressed concern for farming and small business owners aren’t driving this change and it is the other portion of the residential community. They stated that the ordinance needs to be reviewed further and that any restrictions are not so broad spread. Wagner said staff would go back to the drawing board and reconsider the size of larger properties and the restrictions.

Motion by Weatherston to table and refer back to staff for review.

Seconded by Knitter.

ROLL CALL

Jim Dobbs	Aye
Thomas Knitter	Aye

Trustee Weatherston	Aye
Tim Just	Aye
Joseph Minorik	Aye

Motion carried unanimously.

B. ZONING TEXT AMENDMENT – Review an amendment to the Village of Caledonia Zoning Code to create Section 16-1-1(a)(11) relating to accessory structures for residential and non-residential districts.

Peter Wagner read from his report:

Background: In response to repealing the administrative policy for oversize garage variances, staff was directed to draft new regulations pertaining to accessory buildings in residential districts. As part of drafting the ordinance, staff discovered that any repeal of the existing administrative policy regarding oversized garages, would result in no regulation for accessory structure size and accessory buildings only be limited by the regulation that no more than 20% of the rear yard can be developed with accessory structures. This would allow for accessory structures to be larger than the principal building on a residential parcel by right.

Staff drafted an ordinance addressing this issue by providing regulations pertaining to size, number, and setbacks as it relates to accessory buildings in residential districts. These regulations are nearly identical to the regulations proposed as part of Chapter 10: Accessory Structures that were reviewed earlier this year as part of the overall Zoning Code update. Since that time, staff has made changes to building size as it relates to lot size.

The current policy states that an accessory structure in a residential zoned district, no matter how large the parcel, could not exceed 1,050 square feet. If constructed of stone or masonry, the building could not exceed 1,200 square feet. Currently, a resident can file a request with the Village Board to approve building a larger accessory building than is allowed by administrative policy.

Staff is proposing to increase the maximum building size based on the size of the residential parcel and a percentage of the living area of the principal structure. If the parcel is less than two acres, the maximum size building would be 1,200 square feet or 75% of the living area of the principal structure, whichever is smaller. If two acres or greater, the maximum size would be 1,600 square feet or 75% of the living area of the principal structure, whichever is smaller. These regulations will encourage accessory buildings be smaller in stature than the principle building on a residential property. If a resident wishes to build a bigger accessory building, the resident would have the opportunity to request a size variance to the Village Board of Appeals.

In addition, this section of code proposes using the same 17-foot height limit as currently exists. Furthermore, buildings would be required to be setback five feet instead of three feet from side and rear lot lines. This better accommodates any overhangs a structure may have as it relates to property lot lines and provide additional space to accommodate snow or stormwater runoff from trespassing on a neighboring property. The ordinance also regulates the total number of accessory structures on a residential lot to two. The resident does have the option to go before the Plan Commission for approval of additional structures. Lastly, the ordinance includes setbacks for other accessory structures and uses such as patios, a/c condensers, electric generators, decks, and basketball/tennis courts in residential districts.

This ordinance also includes regulations for accessory buildings located in non-residential zoned districts. These regulations are the same as what is currently in the zoning code and what was reviewed earlier this year by the Plan Commission.

By the Village adopting this code section, it will provide regulating authority as it pertains to accessory structures and allow the Village to pursue repealing the administrative policy regarding requests for oversized garages in residential districts. This draft ordinance has gone before the Legislative and Licensing Committee for review with the recommendation that a public hearing be held and be further reviewed by the Plan Commission.

**Plan Commission Meeting
Monday, June 28, 2021**

Public hearing opened: 7:07pm

President Dobbs asked three times if anyone wanted to speak in favor of this proposal.

In favor:

None.

President Dobbs asked three times if anyone wanted to speak against this proposal.

Against:

Email responses

Joe Kiriaki 4240 Harvest Ln: These changes will impact properties negatively. While there may be cause to address certain issues, the proposed changes are far to reaching. The limits to residents to make decisions about construction on their property is far too restrictive. Residents should be given more time to review these proposed changes and provide their feedback. Clearly, more information is needed before such drastic changes are acted upon. Caledonia residents are entitled to know the intended needs and purpose of these proposed changes. I'm asking the members of the committee to oppose the proposed ordinance change.

Lisa Seils 7145 West River Rd: It has come to my attention, and to many others via a large horse and farm group here in Caledonia, there are changes in structures pending. According to the information provided, and included in the minutes from previous meeting, this will greatly affect the rural Caledonia farm community. Seems either no one has really done their homework, or we are getting thrown under the bus because of some oversized garage on a small residential property. If anyone on this committee would look at the records of properties listed as R2, or residential....you will find many west of Highway 31 . These are not subdivisions. These are the roads in Caledonia described as rural. However, many like our small farm are described as Residential, guessing because the village can get more tax money that way...rather than Ag property. Many of these properties are over the 2 acre size. And many contain older homes under 2000 square feet. The changes you are looking to set in stone would unfairly punish and limit small farms. Many of us have barns...which in addition to stalls, and other needed space, require hay and feed storage. Example...I own three equines...and typically buy 280 bales of hay each summer. And to stack it, require more than a height of 17'. We have equipment to store, other supplies, a turnout shed, goat shed, duck, geese pen...and we have lived here for over 38 years...25 years ago added 3 plus acres of AG land, and made our small farm. You need to go back and rewrite this new ordinance change to accommodate the rural homeowners here in Caledonia. Limiting the outbuildings to two unless special permission is ridiculous.

Kjell Erlandsson 6208 Hwy 31: The proposed ordinance on accessory buildings ignores the needs of a big part of the local economy, and the lifestyle of a significant part of the Village; horse farms in residential zoning districts. The proposed rules are similar to those in Oak Creek, but Oak Creek is more urban and suburban, whereas Caledonia has more of a rural character with many larger properties where the risk of a property looking cluttered with accessory structures is much lower.

Existing rules for residential zoning districts allow one "unit of livestock"--defined as a 1000 lbs. animal, e.g. one horse--if you have a 5 acre property, and then one unit for each additional acre. So, as an example, if you have 10 acres, you are allowed 6 horses. Ordinances also require that you have adequate shelters against weather if you have livestock. But with the proposal, you will not be allowed adequate shelter and facilities for those 6 horses. You also need structures for equipment needed to farm and maintain these properties.

The horse community is an important part of the quality of life and economy in Caledonia and must not be legislated out of existence. The horse community has a significant investment in infrastructure; according to an informal 2020 survey, we have 30+ indoor riding arenas (averaging somewhere around 6,000 sq ft), 90+ horse properties (21 added the past ten years), 40 miles of riding trails that can be used by the public. Farms provide

**Plan Commission Meeting
Monday, June 28, 2021**

much welcome relief in the form of green space. Caledonia Conservancy has been a driving force behind much of this development that enhances Caledonia both in terms of quality of life and economy.

The Village is trying to promote itself as an attractive place in terms of lifestyle, and horse life is a large part of the attractiveness. To put a stop of any further development for horse life would be counterproductive for this promotion and the quality of life in the village, not to mention stopping those who already live here and wish to further invest in their properties.

Rules affecting horse farms affects not only the people owning the horse farms. It also affects the people that don't own horse farms, but board their horses, or lease horses, at horse farms. Horse farms also provide greenspace in residential areas.

The horse farming community contributes significantly to the local economy. It supports local businesses more than national chains and franchises. The contributions include, but are not limited to, the following activities:

- Hay farming
- Equipment sales and service
- Feed stores
- Building contractors and materials
- Fencing contractors
- Riding instruction and horse training
- Farriers, veterinarians
- Barn help
- Work opportunities for teenagers
- Entertaining events for the entire community

We suggest the proposed rules be amended to allow for the needed structures required to have a horse farm in residential zoning districts. One approach to this would be to switch to a 3% rule for properties over 5 acres, where you would be allowed structures with a total of 3% of the property area, and the number of accessory buildings as needed for the operation of the farm.

Kim Hoover 8220 Foley Rd: I am writing today as a concerned Caledonia resident with regard to the Zoning Text Amendments under the Public Hearing Items for tonight's (6/28/2021) Planning Commission Agenda. I became aware of these amendments just yesterday afternoon, and while I understand the importance of attending the meeting in person to express my concerns and state my opposition to some of the amendments being made, I am unable to attend tonight's meeting on such short notice. As such, I hope that you take the time to read and consider my email before making such important decisions that not only affect me personally, but many within our community that may not be aware of these amendments being considered.

By way of background, my family and I are 16 year residents of the Village of Caledonia, with 14 of these years in our current home on Foley Road. Our children attended and graduated from Racine Unified School District. We were involved parents within the schools while they attended, and although my children have graduated (and now live out of state), I am an elected School Board Representative for Caledonia/Wind Point District 9. We also moved my husband's disabled mother into the Caledonia community (Parkview Senior Apts) 9 years ago to have her closer to us and make it possible for us to assist with her care/needs after my husband's father passed away unexpectedly. I have worked within our community (CNH Capital in Mt Pleasant) for 16 years. We are active and involved community members, supporting and volunteering regularly for our community organizations (Caledonia Conservancy, St Rita's Church, Woof Gang Rescue, Racine's Habitat for Humanity, to name a few). We moved to Caledonia from a Milwaukee suburb with the intention of "planting roots" (raising our family here which we have), as we loved the rural feel of this community, with close proximity to Milwaukee and Racine for our modern conveniences. We are not just residents that pay our annual property taxes to live in our house, nor can we easily replicate our life/home/property elsewhere. We live in, work in, play in and support our local community in any way we can! I say all of this because Caledonia truly is our home!! We are in our early 40s

**Plan Commission Meeting
Monday, June 28, 2021**

and intend on remaining here in our current home for many years, which brings me to the real reason for my email...

I understand based upon my reading of some past meeting agenda and minutes that there may be several reasons for the need to look over the Zoning ordinances and possibly make some changes. From my read, it would appear one continuous concern appears to be over-sized garages in residential neighborhoods. The real issue here is that "residential districts" can (and does) include all R-2 zoned properties.

I believe this would include my specific property and many properties like mine. I live on 8 acres, what I consider a small horse hobby farm, on Foley Road, yet we are zoned R-2 residential (no sewer/water). Your zoning amendments would greatly affect how I live and enjoy my property for the next 20-30 years (and maybe even beyond that). My house is a typical small 1960s ranch home, with 2 outbuildings, 1 shed and 1 stand-alone shelter for my horses. While I know that my buildings are already existing, and we have no current plans to construct any new outbuildings, your amendments would prohibit that since I already have the maximum outbuildings (even assuming my shed and shelter are not included), and my house size would prohibit anything bigger than maybe a large garage. My husband is an avid classic/muscle "car guy" and I am an equestrian. We purchased our specific property because it contained 2 outbuildings, 1 for each of us, to begin enjoying our passions at home. In addition, we are avid ATV/UTV riders and also own equipment for our own personal use/property maintenance (more storage space needed). Should we outgrow our current buildings for storage and/or livestock/horse purposes, your zoning requirements prohibit us from building any more buildings on our property. In addition, as I age, the possibility for an indoor riding arena would be completely restricted as well (for me or anyone similarly zoned). My property is at least 80-90% green space currently, which provides ample opportunity for us to add additional buildings. While our house may be smaller than our outbuildings, the layout of our property and the buildings do not create issues for any neighboring properties or make it visually inappropriate. Adding another building for our own personal use, storage and/or enjoyment is hardly going to disrupt the community or make our property look overrun and/or blighted.

Your restrictions don't take into consideration the needs of community at large! I am not just writing from a concerned "horse person" viewpoint, although I do have to point out that the height restrictions adversely affect hay storage, hay wagons and/or equipment needs, as the current hay provider trends are moving toward large rounds and large squares (think more storage space and more equipment needed). What about those with "green thumbs" that have permanent greenhouses for their gardening needs? What about classic car collectors? ATV/UTV riders? Those that wish to house their large campers inside during the winter months (I know there are a few of these oversized, super tall garages here in Caledonia). I hardly think that your intention of these amendments is to greatly restrict and essentially cut off your residents from overall personal enjoyment of their property. I am not talking about subdivisions here, or even those on 1-2 acres. I understand there may be some restrictions there due to the proximity of neighbors.

Many of us paid a high price tag (money/time/sweat equity) for our current properties (my house wouldn't sell for 1/3 of the price if it was located in the true "residential" area of Caledonia), and did not move here just for a place to lay our heads at night, but to live out our dreams right here at home. I urge you to rethink anything over 2 acres, or at the very least 5 acres, since 5 acres is the village's land requirement for housing livestock (which Caledonia then also require specific shelter/building requirements for their care).

In attendance responses

Fran Martin 5630 5 Mile Rd: said concerned with sending it to the Board of Appeals and feels it may not be the right decision since it being constrained by state statute for what they would consider as hardship. She said to consider categorizing parcels 5 acres or more with the same restrictions as agricultural parcels.

Diana Lesnjak 4421 Harvest Ln: stated to consider changing the math again and was concerned about the size of the horse barn and what if the owner wanted to live in a smaller home.

**Plan Commission Meeting
Monday, June 28, 2021**

Wendy McCalvy 4825 Richmond Dr. – spoke for herself and for another resident on 6 Mile Rd. Consider looking into the ordinances for the care of horses and size of structures that house them and review the multiple types of structures used/needed for running a horse farm.

Sandy Welsher 8804 Foley Rd – Worked on the ordinance for the sheltering and care for animals and number of structures needed to house and care for the animals with a feeding area and the tractors/vehicles for storage. Learn more about how a farm life is.

Martha Hutsick 4502 Harvest Ln – suggested working together to come up with a conclusion.

Greg Berg 6001 6 Mile Rd – feels 3% works currently for the larger properties.

Howard Stacey 5750 5 Mile Rd – worried about giving board of appeals the responsibility over Village Board. He said consider changing from Residential to Agriculture.

Jennifer Berg 6001 Mile Rd – said its costly to rezone properties and 1600 sqft is too small of a number in size for the uses of larger parcels.

Jeff Wilkowski 7141 7 Mile Rd – was against the size limitation on the accessory structure for larger properties.

Suzie Thorton 4310 Washington Ave – spoke for the Conservancy and the residents of Caledonia and said she was against these accessory structure size restrictions.

Public hearing closed: 7:34pm

5B. Commission Deliberation

Plan Commission Members said to consider having a max size percentage overall structures up to two (2) structures. They expressed concern that the number of variance requests would grow.

Motion by Weatherston to table and have staff reconfigure and review the zoning code.

Seconded by Just.

ROLL CALL

Thomas Knitter	Aye
Jim Dobbs	Aye
Trustee Weatherston	Aye
Tim Just	Aye
Joseph Minorik	Aye

Motion carried unanimously.

6. Non-Public Hearing Items

6A. BUILDING, SITE, & OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction and utilization of a ±778 square-foot, storage building located at 6025 Douglas Avenue, submitted by Patrice Sebastian, Applicant, S&P Holdings LLC, Owner. (Parcel ID Nos. 104-04-23-18-175-000, 104-04-23-18-177-000, & 104-04-23-18-181-000)

Peter Wagner read from his report:

**Plan Commission Meeting
Monday, June 28, 2021**

The applicant is requesting approval for the construction and utilization of a ±768 square-foot storage building located at 6025 Douglas Avenue. This building will be built alongside an existing 1-car garage that will be razed upon completion of the new storage building.

The proposed building is designed to be used as a storage facility for equipment and materials for the restaurant business that operates on the site. The building design is to look like a residential garage with a covered porch. The exterior of the building will be residential style siding with asphalt shingles. The west elevation of the building will have a 16'x8' overhead door for main access. The overall height of the building is 19'1". Per code, height is determined by the average of the wall height and peak height, which cannot exceed 17 feet. The calculated height is approximately 14.5 feet and is compliant with code. The building location conforms with setback requirements for an accessory structure. Three exterior decorative lights will be installed on the building. Due to the location of the structure and the limited brightness of the light fixtures, staff did not require a lighting plan. If the applicant were to increase the number or lights or brightness of the lighting on or around the building, the applicant will need to submit a lighting plan for approval.

There will be no requirements to address stormwater runoff as it does not disturb enough land or create enough additional impervious surface on the site. Engineering has reviewed the proposed structure and has no concerns.

If the Plan Commission is comfortable with the proposed storage building, staff has drafted a suggested motion recommending approval of the ±768 square-foot storage building located at 6025 Douglas Avenue with conditions as shown in Exhibit A.

6A. Commission Deliberation

None.

Motion by Weatherston to approve and recommend to the Village Board that the building, site, and operational plan for a ±768 square-foot storage building located at 6025 Douglas Avenue be approved with conditions outlined in Exhibit A for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed use will not adversely affect the surrounding property values.
3. The proposed building is consistent with the existing use on the property.

Seconded by Just.

ROLL CALL

Jim Dobbs	Aye
Thomas Knitter	Aye
Trustee Weatherston	Aye
Tim Just	Aye
Joseph Minorik	Aye

Motion carried unanimously.

6B. SIGN PLAN REVIEW – Review a proposed master sign plan for the construction at 54 square-foot monument sign with an electronic message board for the multi-tenant development located at 1317 4 Mile Road submitted by Stephen Prochaska, Applicant, Kayne & Danny Properties, Owner. (Parcel ID No. 104-04-23-28-052-000)

Peter Wagner read from his report:

**Plan Commission Meeting
Monday, June 28, 2021**

The applicant is requesting approval of a master sign plan for a commercial building located at 1317 4 Mile Road. The applicant is proposing to construct a monument sign that exceeds the size maximum. Per Code Section 16-7-9(a)(5): Monument Signs: a monument sign shall not exceed 48 square feet on one side or 96 square feet on all sides. Section 16-7-3(h)(3) includes regulations for electronic message centers (EMC) which limits EMCs to no more than 30% of the overall sign size. Village sign code also includes a provision that allows an applicant to request modifications to the size, height, and number of signs on a parcel if a master sign plan is submitted and approved by the Plan Commission and Village Board. This provision allows the opportunity for the Village to consider on a case-by-case situation if a sign can exceed the existing 48 square-foot maximum.

Currently the multi-tenant development has one wall sign per tenant which meets sign code. In addition, there is an old-fashioned changeable copy sign located on the corner of Charles and 4 Mile Road. The owner would remove the existing changeable copy sign and replace it with a 54 square-foot monument sign with an EMC.

The proposed sign plan includes all the existing walls signs on the property and a new monument sign with an EMC. The applicant is requesting approval of enlarging the monument sign by one foot which increases the overall sign size by six square feet. By doing this, the applicant is able to to comply with the 30% area cap for an EMC as part of the overall sign. The location of the sign will be situated outside of the vision triangle and the EMC can be dimmable if found to be light nuisance.

Included with this report is a spec sheet for the sign illustrating how the sign will look along with dimensions. Included with this report is the applicant’s rationale for the allowing the oversized monument sign at this location. If approved, the sign will be required to meet all other zoning regulations as outlined in Title 16, Chapter 7: Signs.

6B. Commission Deliberation

Plan Commission Members asked the differences between Casey’s and the Dentist office signage. Wagner stated that Casey’s sign is larger and the Dentist office sign is small. Members expressed concern for the multi-tenant building asking does it limit the other tenants. Wagner said yes and that there is only one (1) monument sign allowed on a property. It was also asked if there is a time limit for the verbiage of the led sign and Wagner’s response was yes it can’t be less than 5 seconds.

Motion by Minorik to approve and recommends that the Village Board approve the sign plan submitted by Stephen Prochaska on behalf of Kayne & Danny Properties as presented for the property located at 1317 4 Mile Road for the following reason:

1. The proposed number, height and size of signs are permissible through the sign plan review process.

Seconded by Knitter

ROLL CALL

Jim Dobbs	Aye
Thomas Knitter	Aye
Trustee Weatherston	Aye
Tim Just	Aye
Joseph Minorik	Aye

Motion carried unanimously.

6C. FINAL PLAT REVIEW – Review a final subdivision plat for the proposed Bluffside Subdivision submitted by Nancy Washburn, Applicant, Charles Kotaas Warren Knuth Trust. (Parcel ID No. 104-04-22-25-029-000, & 104-04-22-02-027-040)

Memorandum:

From: Tom Lazcano P.E. – Public Works Director

Re: Bluffside Final Plat

Parcel ID's: 104-04-22-25-027-040 & 104-04-22-25-029-000

The Engineering Department has received a Final Plat for Bluffside Subdivision from Newport Development, Inc. on behalf of Thomas Antonneau.

Bluffside Subdivision is located south of 4 Mile Road along Bluffside Drive and Park Ridge Drive in the Village of Caledonia. This subdivision is located within the sanitary sewer service area and this Final Plat is for the creation of 19 Lots and 3 Outlots.

As background for the Plan Commission, the owners of the property had previously sold off a few parcels at a time in the past creating an unplatted subdivision without a subdivision plat or Homeowner's Association. This also created several parcels that are disconnected and share the same parcel ID. Village Ordinance now requires a Subdivision Plat to divide the property further. The developer plans to create a Homeowner's Association for the 19 Lots to care for the Outlot and stormwater pond maintenance.

The property currently has a R-2S Zoning Classification on it. R-2S Zoning requires 150 feet of street frontage and 40,000+ square feet size. The Village's 2035 Land Use Plan shows that the property shall be Low Density Residential, 19,000 square feet to 1.49 acres in size. The Final Plat meets or exceeds the requirements of the Land Use Plan.

The layout for Bluffside Subdivision is for 19 units at approximately 1.26 dwelling units per acre. This overall subdivision plan does have approximately 2.9 acres of open space for an overall open space percentage of 12.15%. The Developer is asking for a waiver to the 40% Open Space rule. The Developer stated the owner is looking into ways to make the southern 17.2-acre parcel into Park or Conservancy as it is in the Primary Environmental Corridor. If this land was an Outlot, a waiver would not be required. If the concept plan is acceptable to the Plan Commission and Village Board then the Developer will need to submit for a Final Plat.

The Plan Commission and Village Board will need to approve a waiver modification for a Subdivision with less than 40% Open Space.

6C. Commission Deliberation

None.

Motion by Weatherston to approve the Final Plat subject to the following:

- A Pre-Development agreement needs to be entered into.
- A Developer's Agreement will need to be signed prior to final approval.
- Final Plat is subject to Engineering review comments and technical corrections from Village staff and Racine County staff.
- Approving the Open Space waiver modification.
- All new Lots will need to connect to Sanitary Sewer and Water facilities.
- An approved stormwater management and grading plan will be needed.
- Any Easements required by the Utility District.
- The Bluffside Final Plat must conform to all Ordinances in Titles 9, 14, & 18 as necessary.

Seconded by Knitter

ROLL CALL

Jim Dobbs	Aye
Thomas Knitter	Aye
Trustee Weatherston	Aye
Tim Just	Aye
Joseph Minorik	Aye

Motion carried unanimously.

6D. ZONING CODE DISCUSSION – Review draft Chapters 7, 8, 9, & 17 of the Village of Caledonia Zoning Code.

Peter Wagner read from his report:

Background: When the Town of Caledonia became the Village of Caledonia in 2005, the Village adopted Racine County’s Zoning Code as their own. Since that time, the Village has amended its code several times and has created zoning code Title 16. As a result, staff has had to reference both Title 16 of the Village Code and Racine County’s Zoning Code that was adopted in 2005 when applying the zoning code for development projects and code enforcement. This split in regulations is difficult for developers, residents, and businesses to understand what the rules and regulations are for the Village. Staff has been working on merging the two code sections into one unified Village code Title. This process has been more time consuming than originally anticipated.

Staff has prepared draft Chapters 7, 8, 9, & 17 for review and discussion. Chapter topics for discussion will be:

- Chapter 7: Planned Unit Development Districts
- Chapter 8: Nonconforming Uses, Structures, & Lots
- Chapter 9: Conditional Uses
- Chapter 17: Changes & Amendments

The purpose of this agenda item to review and discuss the content of the chapters and answer questions or take suggestions as to what should be and not be included in these chapters. No action is required at this time. Over the next few Plan Commission meetings, staff will be presenting new chapters for your review and input. It is anticipated that the Title 16 will include eighteen chapters. Some of the chapters have few, if any, changes, and others will have significant changes or reorganization than what currently exists.

6D. Commission Deliberation

Plan Commission Members asked how many Planned Unit Development’s (PUD’s) does the Village have? Wagner said there are approximately 35 PUD’s. Chapter 8 – the only change for additions and rebuilds so that the 50% rebuild rule will change. Chapter 17 (Sec.16-17-2 General Amendment Procedure)– the Plan Commission directed staff to include language that would allow flexibility for the Village to rezone areas of the Village not in line with property boundaries. Consider reviewing near or adjoining municipalities how Conditions of Approval / Special Conditions are provided.

Motion: None needed.

7. - Adjournment

**Plan Commission Meeting
Monday, June 28, 2021**

Motion by to adjourn Trustee Weatherston. Seconded by Just. Motion carried unanimously. Meeting adjourned at 8:35 p.m.

Respectfully submitted,
Erika Waege
Administrative Assistant Building/Engineering



PLAN COMMISSION REPORT

Proposal: Conditional Use

Description: Review of a request to approve a conditional use, allowing the applicant to store four dump trucks as part of their business located at 7931 Douglas Avenue. (Parcel ID No. 104-04-22-12-009-000)

Applicant(s): Nelly Rodriguez

Address(es): 7931 Douglas Avenue

Suggested Motion: That the Plan Commission recommends that the Village Board approves the Conditional Use Permit allowing the outdoor storage of five dump trucks at 7931 Douglas Avenue with conditions outlined in Exhibit A for the following reason:

1. The proposed use is allowed by underlying zoning through the conditional use process.
2. The proposed use will not negatively impact neighboring parcels.

Owner(s): Francisco Rodriguez Rubio & Nelly Rodriguez

Tax Key(s): 104-04-22-12-009-000

Lot Size(s): 4.58 ac

Current Zoning District(s): B-3, Commercial Service District, & A-2, General Farming and Residential District II

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Low Density Residential

Background: The applicant is requesting approval of a conditional use permit for the outdoor storage yard of five dump trucks for the property located at 7931 Douglas Avenue. Between April and October, three trucks will be regularly parked on the site and during the other months, a total of five trucks will be parked on the site. The applicant indicated that their business is seasonal and that only three trucks will be parked on site from April to October and five trucks will be stored

on site from November through March. During their operational season, three trucks will be routinely parked on the site. The trucks typically leave around 7am and return around 4pm. No other business operations will occur on the site which may include, but not limited to dumping or storing of materials on site. During the winter season five dump trucks will be parked and stored outdoors on the site. Their business is conducted off site and the conditional use is for the parking of their business vehicles only. The parcel is split zoned commercial and agriculture. The parking of semi tractors, trailers, and dump trucks are a conditional use in both zoning districts. Per code, vehicles should be a minimum of 100 feet from the nearest residential home. The parking of the vehicles will be located on the southern end of the parcel as indicated on the submitted site plan. The trucks will be parked more than 200 feet away from the nearest home. The trucks will be partially screened by existing vegetation.

The intersection of 7 Mile and Douglas Avenue is zoned commercial with agriculture zoned further away from the intersection. Similar uses such as vehicle storage has been requested elsewhere in the Village and has been approved. The Plan Commission has the authority to apply conditions to mitigate any negative impacts this use may have in the area and can require the applicant to screen the vehicles from the road or neighboring properties.

If the Plan Commission is comfortable with the proposed use, staff drafted conditions of approval included in this report and provided a suggested motion for consideration.

EXHIBIT A: 7931 Douglas Avenue Conditions of Approval


1. **Occupancy Permit.** The applicant must obtain an occupancy permit card from the Village Building Inspection Department and associated fees to occupy a portion of the site with up to five dump trucks for the existing business. The occupancy permit must be displayed in a prominent location at the project site, and a copy of these conditions must be kept at the project site at all times until the project has been completed.
2. **Compliance.** Failure to comply with the terms and conditions stated herein could result in the issuance of citation(s) and/or revocation of this permit.
3. **Binding Effect.** These conditions bind and are applicable to the Property Owner, Applicant, and any other users of the Property Owner with respect to the uses on the Property.
4. **Plans.** The proposed use (parking of five dump trucks) associated with FCO Trucking LLC must be located on the parcel as shown on the plan received by the Village Planning & Zoning Department on June 30, 2021.
5. **Hours of Operation.** The hours of operation of the proposed business operation are from 7:00 a.m. – 5:00 p.m. Monday through Saturday.
6. **Parking.** Parking at the site must be in compliance with the submitted plans. No more than five dump trucks associated with FCO Trucking LLC can be located in the proposed

parking area as outlined on the submitted site plan. Dump Trucks cannot be parked closer than 100 feet to the nearest abutting residential home.

7. **No Accumulation of Refuse and Debris.** Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.
8. **Performance Standards.** The applicant must comply with the provisions of Article VII, Division 4, Performance Standards of Chapter 20, Zoning, Racine County Code of Ordinances (a copy is attached), as adopted by the Village of Caledonia.
9. **Property Maintenance Required.** A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade. All drives shall be paved with asphalt. Parking areas shall be paved or have placed upon them compacted recycled asphalt. All drives and parking areas shall be maintained in a dust free condition.
10. **Expiration.** This approval will expire six (6) months from the date of the Village's final approval unless substantial work has commenced following such grant. If this office determines that no substantial work has commenced, the project may not occur unless the Village of Caledonia Plan Commission and the Village Board grants a written extension. Written extension requests must be submitted to the Village Planning & Zoning Department thirty (30) days before permit/approval expiration.
11. **Compliance with Law.** The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 14, 16 and 18 of the Village of Caledonia Code of Ordinances.
12. **Amendments to Conditional Use Approval.** No additions, deletions, or changes may be made to the project, site plan, or these conditions without the Village of Caledonia's prior approval. All addition, deletion, and/or change requests must be submitted to the Village of Caledonia in writing. A minor change to the conditions of this permit, as deemed by the Zoning Administrator, may be made at a staff level, if authorized by the Zoning Administrator.
13. **Agreement.** Your accepting the conditional use approval/zoning permit and beginning the project means that you have read, understand, and agree to follow all conditions of this approval. Therefore, Nelly Rodriguez, FCO Trucking LLC and their heirs, successors, and assigns, including tenants, are responsible for full compliance with the above conditions.

14. **Subsequent Owners.** It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.
-

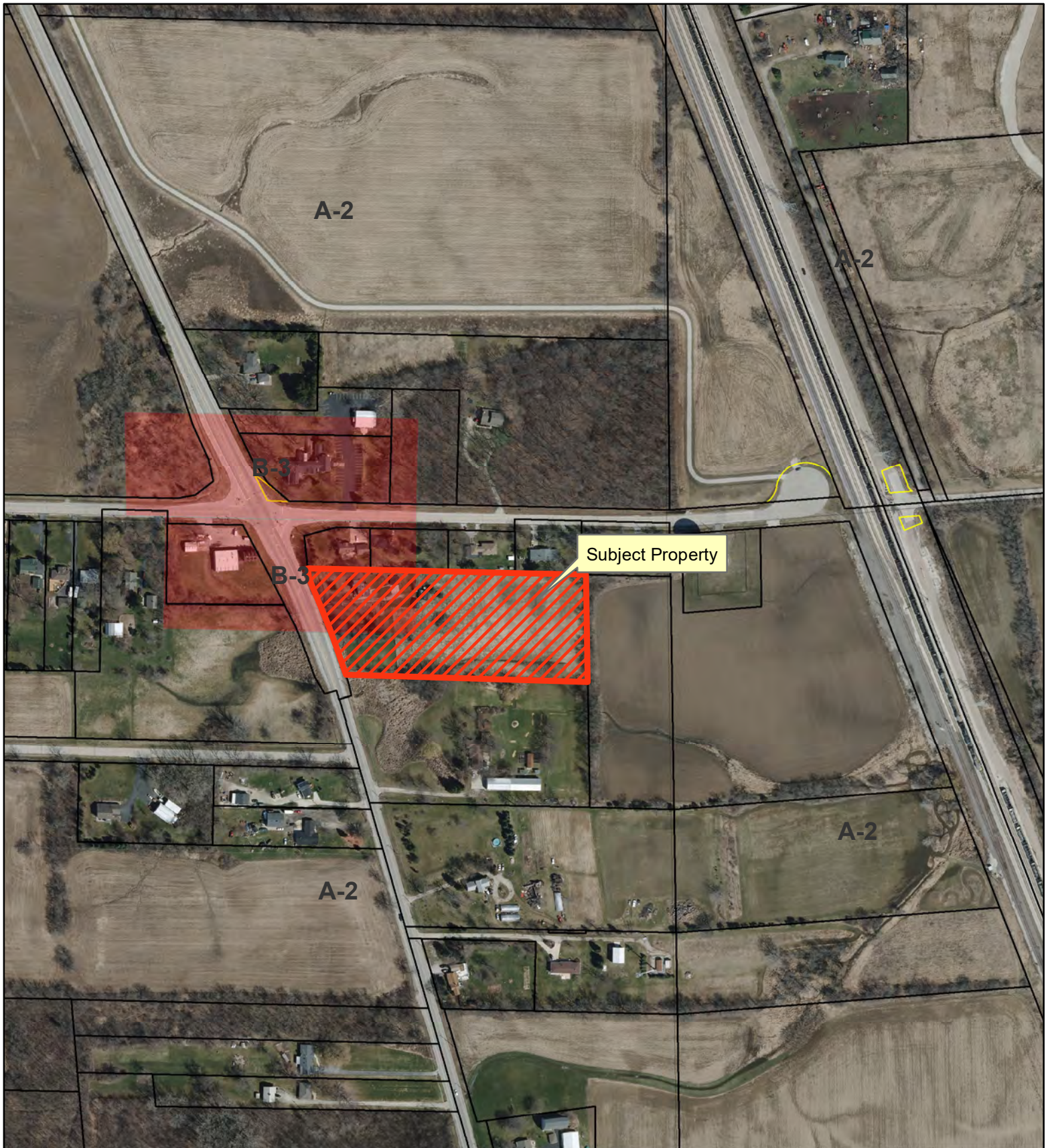
Respectfully submitted:

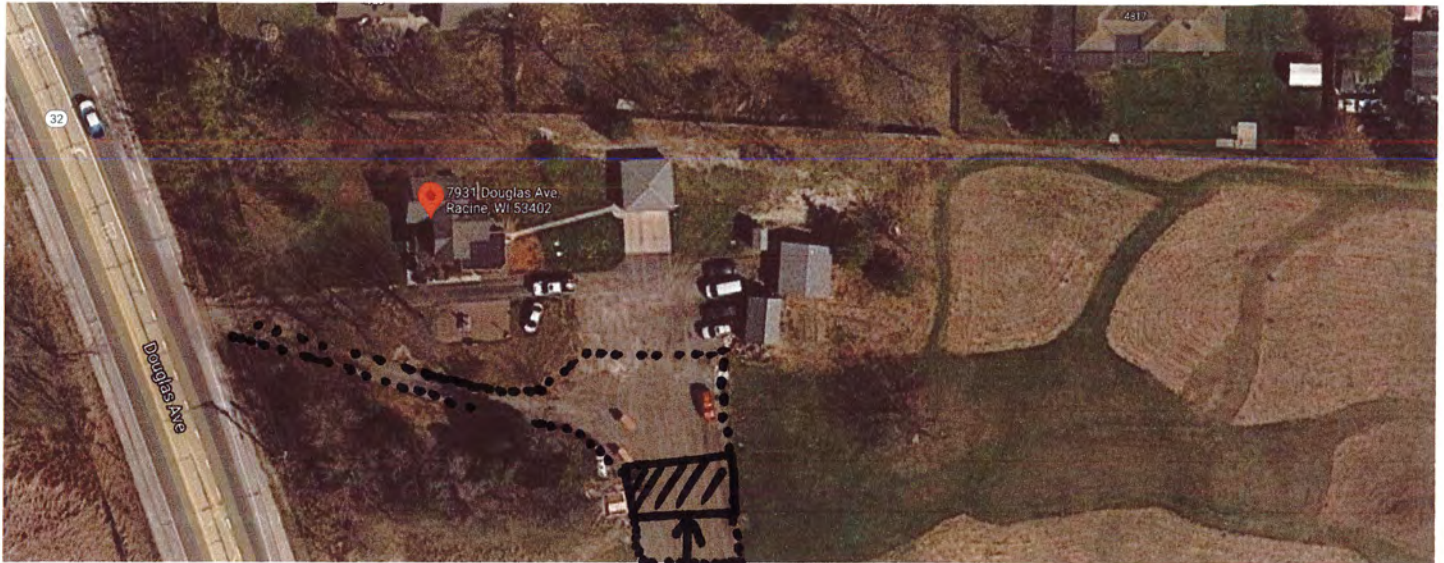
A handwritten signature in cursive script that reads "Peter Wagner".

Peter Wagner, AICP
Development Director


Location Map

7931 Dougals Avenue





.....= Area expanded
w/ gravel for use
of trucks.

= Area where
trucks will be
Parked.

To whom this may concern,

My name is Nelly Rodriguez, owner of the property at 7931 Douglas Ave. along with my husband Francisco. We own FCO Trucking LLC, a seasonal dump truck business. We are applying for permission to use our 4.5+ acre property to park our trucks. We have added a gravel driveway & a gravel parking area which is exclusively used by the dump trucks. We don't work during the winter months, so the trucks would only move during the work months which are usually April-October. We have also installed a metal shed in the parking area. I have submitted a permit for this as well.



PLAN COMMISSION REPORT

Proposal:	Text Amendment
Description:	Review a proposed text amendment repealing creating Section 16-1-1(a)(10) relating to regulations for off-street parking in residential and commercial zoned districts.
Applicant(s):	Village of Caledonia
Address(es):	n/a
Suggested Motion:	That the Plan Commission recommends to the Village Board that Section 16-1-1(a)(10) of the Municipal Code be created regulating residential and commercial parking restrictions.

Background: At the last Plan Commission meeting, the Commission tabled the proposed text amendment and directed staff to modify the proposed ordinance in response to comments given at the public hearing and Commissioners’ concerns. Included in this report is a revised ordinance that has removed any limit on number and size of trailers or commercial vehicles on a residential parcel. The ordinance has been further revised to eliminate the language that trucks parked in agricultural districts must be owned and used by the farmer. The resulting changes will result in the regulation of off-street parking residential districts to parking on an improved surface and limiting utility trailer size for parcels less than one acre.

If the Plan Commission is comfortable with these modifications, the next step would be to make a motion approving the modifications and send it to the Legislation & Licensing Committee for review with final approval going to the Village Board.

June 28, 2021 ~~~~~

In response to the Village Community Development Authority concerns pertaining to parking matters in residential and commercial districts, staff was directed to draft a zoning ordinance addressing the parking of vehicles, recreational vehicles, trailers, and semi-tractors and their trailers. The proposed ordinance is a section of the proposed Zoning Code, Chapter 12: Off-Street Parking.

Staff drafted an ordinance addressing this issue by providing regulations pertaining types, size, and setbacks of vehicles and trailers in residential and commercial districts. Key components to this ordinance are:

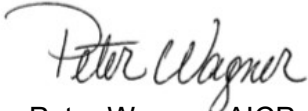
- One commercial vehicle not over 10,000 lbs and/or not over nine feet tall and 26 feet in length can be parked routinely in a residential district.
- Recreational vehicles in residential districts must be parked 5 feet from side and rear lot lines.
- Recreational vehicles parked in the street yard must be parked on an improved surface such as stone, asphalt, or concrete.
- Trailers and their contents parked on lots less than one acre cannot exceed 32 feet in length and 13 feet in height. For residential lots greater than one acre, the trailer cannot exceed 37 feet in length and 13 feet in height.
- A parcel’s street yard cannot have an improved surface by more than 50% of the street yard.
- Semi tractors, trailers, or dump trucks on commercial property is prohibited unless approved through the conditional use or site plan review process.

- Agricultural equipment in agricultural districts are permitted on site.

The current parking code does not address parking on front lawns of trailers, boats, cars, and other vehicles. The purpose of the text amendment is to clearly define off-street parking regulations in residential and commercial districts.

If adopted, these regulations will provide better authority to address complaints regarding the parking of vehicles in residential districts. This draft ordinance has gone before the Legislative and Licensing Committee for review with the recommendation that a public hearing be held and be further reviewed by the Plan Commission.

Respectfully submitted:



Peter Wagner, AICP
Development Director

DRAFT

Ordinance No. 2021-XX

AN ORDINANCE TO CREATE SECTION 16-1-1(a)(10) OF THE CODE OF ORDINANCES OF THE VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN, RELATING TO RESIDENTIAL AND COMMERCIAL PARKING RESTRICTIONS UNDER THE ZONING CODE

The Village Board of the Village of Caledonia, Racine County, Wisconsin, do ordain as follows:

1. That Section 16-1-1(a)(10) of the Code of Ordinances for the Village of Caledonia be, and hereby is, created to read as follows:

"(10) Residential and Commercial Parking Restrictions.

- a) Parking of vehicles accessory to a residential use on private property shall be limited to those actually used by the residents or for temporary parking for guests. Vans or pickup trucks used for private and recreational use, or a motor home (recreational vehicle), or a van or pickup truck used in a business or trade and commercial vehicle used for transportation to and from a place of employment or workplace of the occupant may be parked on a residential property subject to the requirements of this Section.
- b) commercial vehicles of not over one-ton rated capacity may be parked on private property per residential dwelling unit;
- c) Recreational vehicles parked on private property in residential zoned districts must maintain a minimum of a five-foot setback from the rear and side lot lines but are not restricted to a minimum setback to the principal structure. If parked in the street yard, the recreational vehicle must be parked on the driveway or on an improved surface such as asphalt, concrete, or compacted gravel. For the purpose of this section, recreational vehicles shall include boats and trailers, snowmobiles and their trailers, minibikes or trailbikes and their trailers, and unoccupied tent campers and travel trailers, all-terrain vehicles and personal watercraft and their trailers.
 - 1) Utility trailers and recreational vehicles parked on residential parcels less than one acre cannot exceed 32 feet in length and 13 feet in height.
- d) Vehicles, trailers, and recreational vehicles shall be parked either within an enclosed attached garage or detached accessory structure or on an improved surface such as: asphalt; concrete; or compacted gravel. Improved surfaces beyond driveways to cover more than fifty percent (50%) of a residential street yard is prohibited.
- e) No other vehicular equipment of a commercial or industrial nature, except as stated above, shall be parked or stored for more than two (2) consecutive hours and four (4) accumulated hours during any twenty-four-hour period on any lot in any zoning district except business and industrial districts or as permitted by an approved conditional use in the A-1 district.

- f) Outdoor parking of semi-tractors/trailers and/or dump trucks on commercial property (B-districts), that is not a principal use (e.g., truck sales), an accessory use (e.g., delivery vehicles), or which has not been approved through the conditional use or site plan review process is prohibited.
 - g) Agricultural equipment (such as farm tractors, plows, farm plows, seeders, combines, cultivators, trucks , etc.) used in a farm operation are permitted in all agricultural districts."
2. To the extent any provision of this ordinance conflicts with another Section of the Zoning Code under Title 16, this ordinance shall apply.
 3. This ordinance shall take effect upon adoption and publication as required by law.

Adopted by the Village Board of the Village of Caledonia, Racine County, Wisconsin, this ____ day of _____, 2021.

VILLAGE OF CALEDONIA

By: _____
James R. Dobbs, Village President

Attest: _____
Joslyn Hoeffert, Village Clerk



PLAN COMMISSION REPORT

Proposal:	Text Amendment
Description:	Review a proposed text amendment repealing creating Section 16-1-1(a)(11) relating to regulations for accessory structures.
Applicant(s):	Village of Caledonia
Address(es):	n/a
Suggested Motion:	That the Plan Commission recommends to the Village Board that Section 16-1-1(a)(11) of the Municipal Code be created regulating accessory structures.

Background: At the last Plan Commission meeting, the Commission tabled the proposed text amendment and directed staff to modify the proposed ordinance in response to comments given at the public hearing and Commissioners’ concerns. Included in this report is a revised ordinance that has increased the overall size for accessory buildings in residential districts and limits the number of buildings based on a percentage area of the property. The percentage was taken from the existing code that states no more than 20% of the square footage of the rear yard can be built. For parcels over five acres, the percentage is limited to 3% of the area of an entire parcel. Staff has not modified the height as that is the current regulation. Setbacks from side and rear lot lines were not modified from the five feet as there were no concerns regarding this regulation. A common concern brought up at the meeting pertained to horse farming and the building needs to accommodate such a use. The simplest method to address this concern is to rezone large residential parcels to agricultural. The agricultural district accessory building regulations would allow for stables, barns, shelters, and other horse farm related accessory uses.

If the Plan Commission is comfortable with these modifications, the next step would be to make a motion approving the modifications and send it to the Legislation & Licensing Committee for review.

June 28, 2021 ~~~~~
 In response to repealing the administrative policy for oversize garage variances, staff was directed to draft new regulations pertaining to accessory buildings in residential districts. As part of drafting the ordinance, staff discovered that any repeal of the existing administrative policy regarding oversized garages, would result in no regulation for accessory structure size and accessory buildings only be limited by the regulation that no more than 20% of the rear yard can be developed with accessory structures. This would allow for accessory structures to be larger than the principal building on a residential parcel by right.

Staff drafted an ordinance addressing this issue by providing regulations pertaining to size, number, and setbacks as it relates to accessory buildings in residential districts. These regulations are nearly identical to the regulations proposed as part of Chapter 10: Accessory Structures you reviewed earlier this year as part of the overall Zoning Code update. Since that time, staff has made changes to building size as it relates to lot size.

The current policy states that an accessory structure in a residential zoned district, no matter how large the parcel, could not exceed 1,050 square feet. If constructed of stone or masonry, the building could not exceed 1,200 square feet. Currently, a resident can file a request with the Village Board to approve building a larger accessory building than is allowed by administrative policy.

Staff is proposing to increase the maximum building size based on the size of the residential parcel and a percentage of the living area of the principal structure. If the parcel is less than two acres, the maximum size building would be 1,200 square feet or 75% of the living area of the principal structure, whichever is smaller. If two acres or greater, the maximum size would be 1,600 square feet or 75% of the living area of the principal structure, whichever is smaller. These regulations will encourage accessory buildings be smaller in stature than the principle building on a residential property. If a resident wishes to build a bigger accessory building, the resident would have the opportunity to request a size variance to the Village Board of Appeals.

In addition, this section of code proposes using the same 17-foot height limit as currently exists. Furthermore, buildings would be required to be setback five feet instead of three feet from side and rear lot lines. This better accommodates any overhangs a structure may have as it relates to property lot lines and provide additional space to accommodate snow or stormwater runoff from trespassing on a neighboring property. The ordinance also regulates the total number of accessory structures on a residential lot to two. The resident does have the option to go before the Plan Commission for approval of additional structures. Lastly, the ordinance includes setbacks for other accessory structures and uses such as patios, a/c condensers, electric generators, decks, and basketball/tennis courts in residential districts.

This ordinance also includes regulations for accessory buildings located in non-residential zoned districts. These regulations are the same as what is currently in the zoning code and what was reviewed earlier this year by the Plan Commission.

By the Village adopting this code section, it will provide regulating authority as it pertains to accessory structures and allow the Village to pursue repealing the administrative policy regarding requests for over sized garages in residential districts. This draft ordinance has gone before the Legislative and Licensing Committee for review with the recommendation that a public hearing be held and be further reviewed by the Plan Commission.

Respectfully submitted:



Peter Wagner, AICP
Development Director

DRAFT

Ordinance No. 2021-XX

AN ORDINANCE TO CREATE SECTION 16-1-1(a)(11) OF THE CODE OF ORDINANCES OF THE VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN, RELATING TO ACCESSORY STRUCTURES UNDER THE ZONING CODE

The Village Board of the Village of Caledonia, Racine County, Wisconsin, do ordain as follows:

1. That Section 16-1-1(a)(11) of the Code of Ordinances for the Village of Caledonia be, and hereby is, created to read as follows:

"(11) **Accessory Structures.**

- a. **Residential Districts; Other Districts as Specified.** Accessory structures such as detached garages, gazebos, garden or utility sheds in Residential ("R" Districts) shall be subject to the following regulations.

1. **Size.**

- (a) Parcels 5 acres or Less than 2 Acres. The area of an accessory structure shall not exceed 2,000 square and not exceed 20% of the square footage of the rear yard. occupy more than 1,200 square feet or 75% of the square footage of the living area of the principal structure, whichever is smaller.

- (b) Parcels Greater than 2-5 Acres. The area of an accessory structure shall not occupy more than exceed 1,6004,000 square feet and not exceed three (3) percent of the acreage of the parcel or 75% of the square footage of the living area of the principal structure, whichever is smaller.

2. **Height.** Shall not exceed seventeen (17) feet in height.

3. **Location.** Detached structures are permitted in the rear and side yards and shall not be closer than ten (10) feet to a principal structure or five (5) feet to a side or rear lot line. When the street yard setback of a principal structure exceeds the required setback for the particular district in question, a detached accessory structure may be permitted in the street yard provided the street yard setback of the accessory structure is not less than the required setback for the district or the average street yard setback of principal structures on abutting parcels, if any, whichever is greater.

- ~~4. **Number.** The maximum number of accessory buildings in a residential district less than one (1) acre in size shall be two (2). If a parcel is greater than one (1) acre, more than two accessory buildings may be allowed and shall require Plan Commission approval.~~

~~5.4~~ **Patios.** Patios constructed at or below yard grade, may be installed in the rear or side yard adjacent to the principal structure without the issuance of a building permit; and shall not be located closer than five (5) feet to a lot line.

~~65.~~ **Decks.** Decks located adjacent to or attached to a principal structure can project into the required side and rear setback for a principal structure for the district in which they are located by six (6) feet. Freestanding decks surrounding private swimming pools shall be located at least ten (10) feet from the principal structure and shall be located at least five (5) feet from a side or rear lot line. All decks shall require the issuance of a building permit.

~~76.~~ **Residential Air Conditioning Condensers / Power Generators.** Units under this subsection may be located adjacent to a residence in the rear yard and side yard, provided that all condensers and generators shall be located at least five (5) feet from a side or rear lot line. Residential air conditioning condensers and power generators shall not be located in the street yard.

~~87.~~ **Private Swimming Pools. Pools** are permitted as accessory uses in the rear yard in any district; except the C-1 Resource Conservation District; however, the swimming pool shall be located at least eight (8) feet from the principal structure, be located at least three (3) feet from any side or rear lot line, and be installed in accordance with the City building, plumbing, and electrical codes, including the issuance of all required permits.

~~98.~~ **Private Tennis Courts / Basketball Courts.** These courts are permitted as accessory uses in the rear yard in any district, except the C-1 Resource Conservation District. A building permit is required for all tennis/basketball courts and:

- a. All tennis courts shall be surrounded by a fence not less than ten (10) feet in height.
- b. No lighting installed around a tennis court or basketball court shall project onto adjacent properties; and
- c. No private tennis court or basketball court shall be located closer than five (5) feet to a lot line.

b. **Non-Residential District Accessory Structures**

1. **Height.** The height of a structure shall not exceed in height twice their distance from the nearest lot line.

a. **Area.** The aggregate total floor area of all accessory buildings shall not exceed three (3) percent of the total lot area, except that on agriculturally zoned parcels, ten (10) acres or more in area, the accessory building areas may be greater than the three (3) percent limit when used solely for the pursuit of agriculture; in all non-residential and non-

agricultural districts accessory building areas greater than three (3) percent are allowed, when approved by the Planning Commission as part of a Building, Site, and Operation Plan review, and where said buildings are used solely accessory to the principal use on said lot."

2. To the extent any provision of this ordinance conflicts with another Section of the Zoning Code under Title 16, this ordinance shall apply.
3. This ordinance shall take effect upon adoption and publication as required by law.

Adopted by the Village Board of the Village of Caledonia, Racine County, Wisconsin, this ____ day of _____, 2021.

VILLAGE OF CALEDONIA

By: _____
James R. Dobbs, Village President

Attest: _____
Joslyn Hoeffert, Village Clerk

MEMORANDUM

Date: July 21, 2021

To: Plan Commission
Village Board

From: Tom Lazcano P.E. *Tom Lazcano*
Public Works Director

Re: 8401 Hollander Drive Certified Survey Map
Parcel ID's: 104-04-22-34-020-080

The Engineering Department has received a Certified Survey Map (CSM) from Nicholas Verhaalen of Caledonia Properties II, LLC. The CSM was prepared by NMB Engineering.

The existing parcel is located at 8401 Hollander Drive in the Caledonia Business Park. The parcel contains 2 flat areas that are ideal for building, 3 small ponds, and a wetland area.

This CSM is for the creation of two lots on the parcel. Lot 1 would be 3 acres in size and Lot 2 would be 6.103 acres in size. Both lots would be used for commercial developments. Lot 2 contains a large area of wetlands and some ponds.

The property is located within the Sanitary Sewer & Water Service area. Both lots would need to connect to these utilities.

The property currently has dual zoning consisting of M-2 and R-2. M-2 requires 150 feet of street frontage and R-2 Zoning requires 150 feet of street frontage and 40,000+ square feet size. The Village's 2035 Land Use Plan shows that the property shall be Industrial/Business Park. Lot 1 would have complete M-2 zoning but Lot 2 would have dual zoning and would likely need to be rezoned.

If the Plan Commission and Village Board **are willing** to support the proposed CSM, the following motion is recommended.

Move to approve the CSM subject to the following:

- **The Final CSM is subject to the Land Division per Lot fee.**
- **Final Plat is subject to Engineering review comments and technical corrections from Village staff.**
- **Both Lots will need to connect to Sanitary Sewer and Water facilities.**
- **An approved stormwater management and grading plan will be needed.**
- **Any Easements required by the Utility District.**
- **The Final CSM must conform to all Ordinances in Titles 9, 14, & 18 as necessary.**

CERTIFIED SURVEY MAP NO. _____

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2127, BEING A PART OF THE SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 34, TOWNSHIP 4 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.



150' 0' 150'

SCALE 1"=150'

RECORDING DATA

NOTES:
ZONING OF PARCELS IS M-2

OWNER/LAND SPLITTER:
CALEDONIA PROPERTIES II, LLC.
3017 N. MARIETTA AVE., MILWAUKEE, WI 53211.

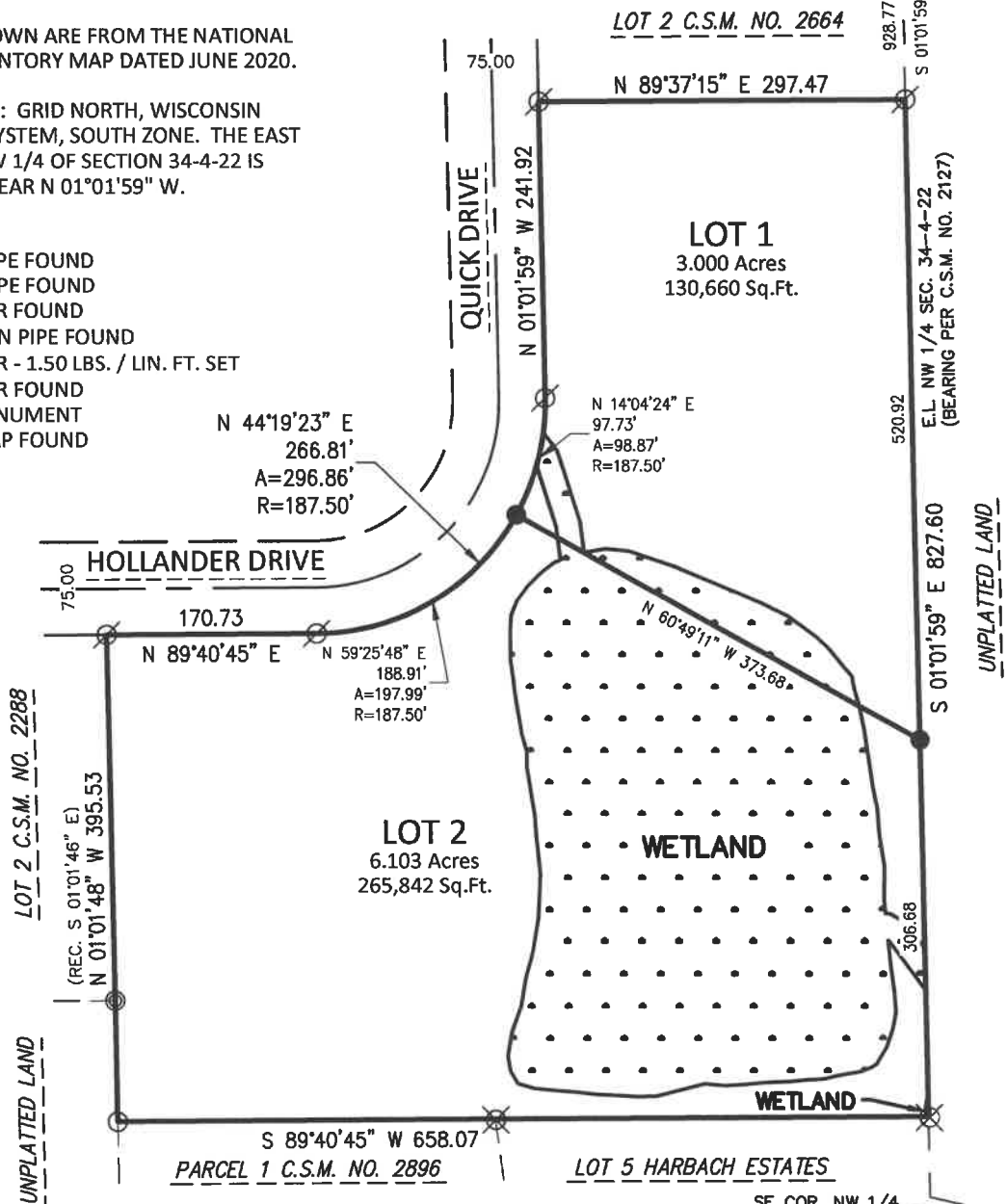
WETLANDS SHOWN ARE FROM THE NATIONAL WETLAND INVENTORY MAP DATED JUNE 2020.

BEARINGS BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. THE EAST LINE OF THE NW 1/4 OF SECTION 34-4-22 IS ASSUMED TO BEAR N 01°01'59" W.

LEGEND:

- 1" O.D. IRON PIPE FOUND
- ⊗ 2" O.D. IRON PIPE FOUND
- ⊗ 3/4" O.D. REBAR FOUND
- ⊗ 1-1/4" O.D. IRON PIPE FOUND
- 3/4" O.D. REBAR - 1.50 LBS. / LIN. FT. SET
- ⊗ 3/4" O.D. REBAR FOUND
- CONCRETE MONUMENT WITH BRASS CAP FOUND

NE COR. NW 1/4
SEC. 34-4-22
N. 288,017.54
E. 2,536,266.58



SE COR. NW 1/4
SEC. 34-4-22
N. 285,369.15
E. 2,536,314.34



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

SEE PAGE 2 FOR
LOCATION MAP

CERTIFIED SURVEY MAP NO. _____

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2127, BEING A PART OF THE SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 34, TOWNSHIP 4 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.



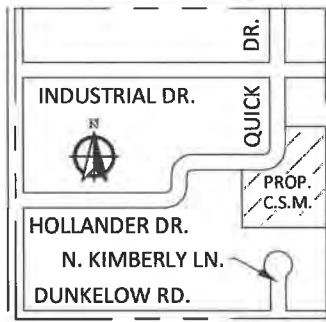
EXISTING EASEMENTS

100' 0' 100'



SCALE 1"=100'

LOCATION MAP



NW 1/4 34-4-22

N 44°19'23" E
266.81'
A=296.86'
R=187.50'

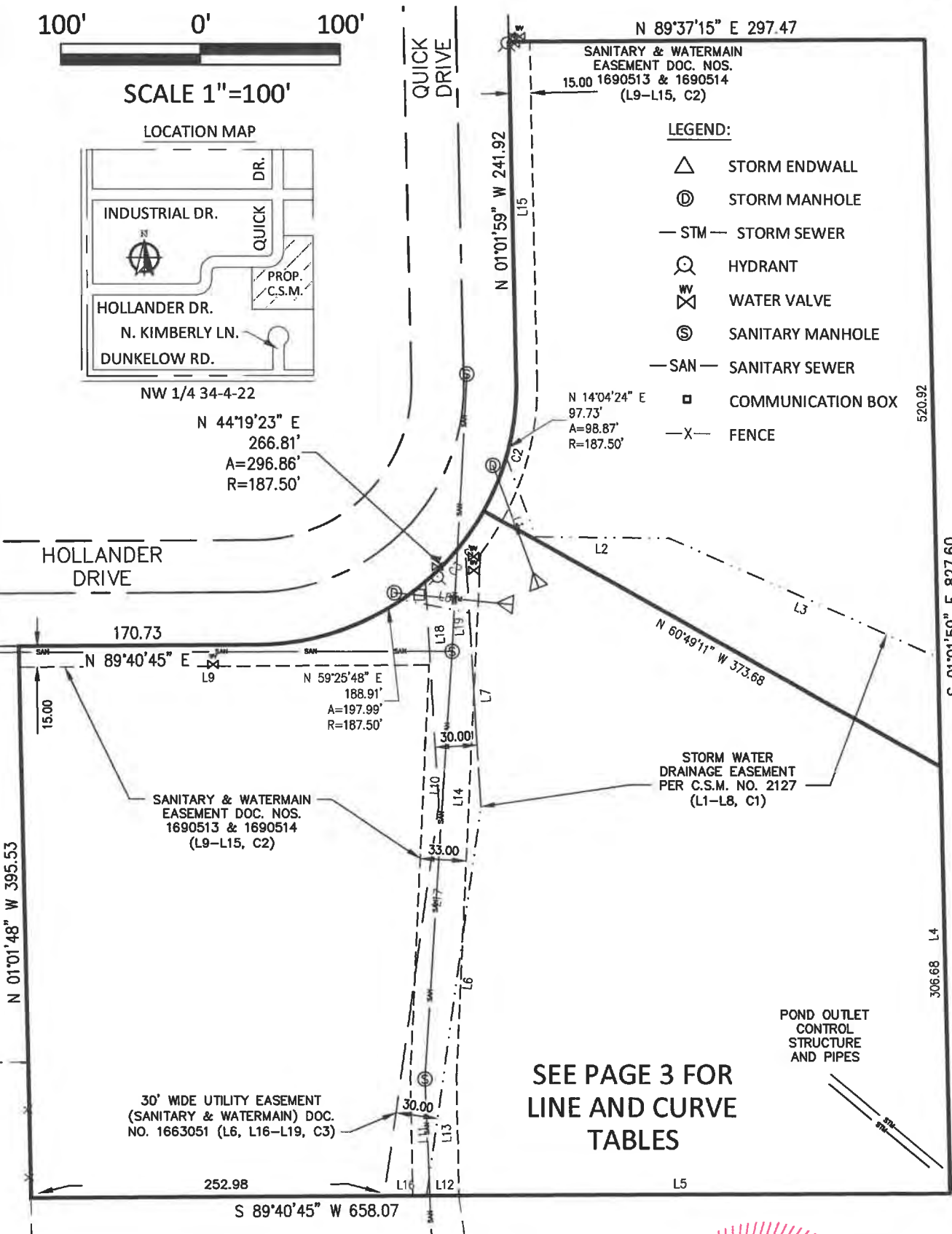
N 89°37'15" E 297.47

SANITARY & WATERMAIN
EASEMENT DOC. NOS.
15.00 1690513 & 1690514
(L9-L15, C2)

LEGEND:

- △ STORM ENDWALL
- ⊙ STORM MANHOLE
- STM — STORM SEWER
- ⊕ HYDRANT
- ⊗ WATER VALVE
- ⊙ SANITARY MANHOLE
- SAN — SANITARY SEWER
- COMMUNICATION BOX
- X — FENCE

N 14°04'24" E
97.73'
A=98.87'
R=187.50'



HOLLANDER DRIVE

170.73

N 89°40'45" E

N 59°25'48" E
188.91'
A=197.99'
R=187.50'

N 60°49'11" W 373.68

SANITARY & WATERMAIN
EASEMENT DOC. NOS.
1690513 & 1690514
(L9-L15, C2)

STORM WATER
DRAINAGE EASEMENT
PER C.S.M. NO. 2127
(L1-L8, C1)

30' WIDE UTILITY EASEMENT
(SANITARY & WATERMAIN) DOC.
NO. 1663051 (L6, L16-L19, C3)

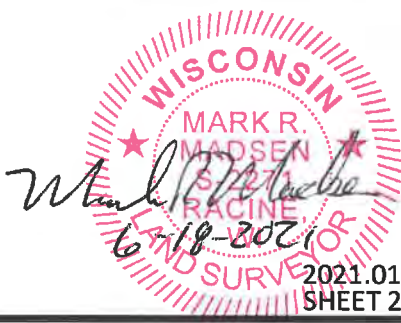
SEE PAGE 3 FOR
LINE AND CURVE
TABLES

POND OUTLET
CONTROL
STRUCTURE
AND PIPES

252.98
S 89°40'45" W 658.07



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbc.net



2021.0155.01.DWG
SHEET 2 OF 4 SHEETS

CERTIFIED SURVEY MAP NO. _____

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2127, BEING A PART OF THE
SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 34,
TOWNSHIP 4 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE
VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

EASEMENT LINE TABLE		
Line #	Length	Direction
L1	61.26	S20° 02' 30"E
L2	95.69	S89° 24' 54"E
L3	209.73	S66° 10' 58"E
L4	384.62	S01° 01' 59"E
L5	374.75	S89° 40' 45"W
L6	281.75	N08° 12' 23"E
L7	138.98	N03° 13' 19"W
L8	49.07	N79° 00' 39"W
L9	293.75	N89° 40' 45"E
L10	295.86	S02° 53' 22"W
L11	85.11	S01° 01' 48"E
L12	33.00	N89° 40' 45"E
L13	84.39	N01° 01' 48"W
L14	376.00	N02° 53' 22"E
L15	241.75	N01° 01' 59"W
L16	30.34	S89° 40' 45"W
L17	283.25	N08° 12' 23"E
L18	159.91	N03° 13' 19"W
L19	191.54	S03° 13' 19"E

EASEMENT CURVE TABLE				
Curve #	Radius	Arc	Chord Direction	Chord Length
C1	187.50	129.93	N36° 05' 56"E	127.34
C2	202.50	134.97	N18° 03' 40"E	132.49
C3	187.50	41.55	N43° 07' 01"E	41.47

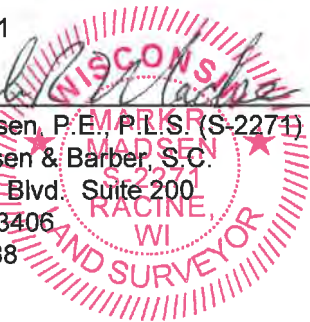
SURVEYOR'S CERTIFICATE

I, Mark R. Madsen, hereby certify: That I have prepared this Certified Survey Map at the direction of Caledonia Properties II, LLC, Owner; That such Map is a correct representation of the exterior boundaries of the land surveyed and are described as: Lot 2 of Certified Survey Map No. 2127, a map recorded in the office of the Register of Deeds for Racine County, Wisconsin on December 23, 1998 as Document No. 1662250, corrected by Affidavit of Correction recorded on September 27, 2001 as Document No. 1791918, being a part of the Southeast 1/4 and Northeast 1/4 of the Northwest 1/4 of Section 34, Township 4 North, Range 22 East of the Fourth Principal Meridian, in the Village of Caledonia, County of Racine and State of Wisconsin. Containing 396,502 square feet or 9.102 acres.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and Title 14 of the Code of General Ordinances for the Village of Caledonia.

June 18, 2021

Mark R. Madsen
 Mark R. Madsen, P.E., P.L.S. (S-2271)
 Nielsen Madsen & Barber, S.C.
 1458 Horizon Blvd, Suite 200
 Racine, WI 53406
 (262)634-5588



Nielsen Madsen + Barber
 CIVIL ENGINEERS AND LAND SURVEYORS
 1458 Horizon Blvd. Suite 200, Racine, WI. 53406
 Tele: (262)634-5588 Website: www.nmbisc.net

This Instrument was drafted by Mark R. Madsen June 18, 2021

2021.0155.01.DWG
 SHEET 3 OF 4 SHEETS

CERTIFIED SURVEY MAP NO. _____

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2127, BEING A PART OF THE
SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 34,
TOWNSHIP 4 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE
VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

OWNER'S CERTIFICATE

Caledonia Properties II, LLC as Owner hereby certifies that it has caused the lands described on this map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map. Caledonia Properties II, LLC also does further certify that this Certified Survey Map is required to be submitted to the the following for approval or objection: Village Board of the Village of Caledonia.

IN WITNESS WHEREOF the said Caledonia Properties II, LLC has caused these presents to be signed as Owner at _____, Wisconsin on this _____ day of _____ 2021.

Print Name and Title

Print Name and Title

Signature
Caledonia Properties II, LLC
3017 N. Marietta Ave.
Milwaukee, WI 53211

Signature

STATE OF WISCONSIN)
COUNTY OF _____)

Personally came before me this _____ day of _____, 2021, _____ and _____, to me known to be the persons who executed the foregoing instrument, and acknowledged that they executed the foregoing.

Notary Public, _____
My commission expires: _____

VILLAGE CERTIFICATE

APPROVED as a Certified Survey Map this _____ day of _____, 2021.

Joslyn M. Hoeffert, Clerk
VILLAGE OF CALEDONIA



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbasc.net





PLAN COMMISSION REPORT

Proposal: Cooperative Boundary Agreement Conditional Use & Site Plan Review

Description: Review a request to construct and utilize a ±4,500 square-foot metal building and a ±21,600 square-foot masonry building for the purpose of a licensed commercial vehicle storage facility and a food product distribution facility located at USH 41 in the Village of Raymond.

Applicant(s): Bridget Weasler

Address(es): USH 41 (Lot 2 of CSM # 3425)

Suggested Motion: That the Plan Commission recommends to the Village Board that the conditional use and site plan for the construction of a ±4,500 square-foot metal building and a ±21,600 square-foot masonry building for the purpose of a licensed commercial vehicle storage facility and a food product distribution facility on the property at 3500 Fourteen Point Lane be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the conditional use review process.
2. Based on other uses in the area, this use appears compatible with current uses in the area.
3. The proposed use meets the intent of the Village of Caledonia development standards and find that the proposed use is a spectacular use for this parcel without connecting to sewer and water in accordance with the Cooperative Boundary Agreement between the Villages of Caledonia and Raymond.
4. Any change of use will require review by the Village of Raymond and the Village of Caledonia.
5. The proposed use will comply with conditions outlined in Exhibit A.

Owner(s): Raymond 40 LLC

Tax Key(s): 168-04-21-25-004-200

Lot Size(s): 39.85 acres

Current Zoning District(s): B-3, Business Service District

Overlay District(s): N/A

Wetlands: Yes No

Floodplain: Yes No

Comprehensive Industrial and Business Park and Isolated Natural Resource Area
Plan:

Background: The applicant is proposing to construct one ±4,500 square-foot metal building and one ±21,600 square-foot masonry building for the purpose of a licensed commercial vehicle storage facility and a food product distribution facility in the Village of Raymond along USH 41. This site will contain 18 regular parking spaces and 594 trailer parking spaces. The proposed parking lot and buildings meet the zoning setback requirements. Any development located within the Village of Raymond cooperative boundary area is reviewed by both the Village of Raymond and Caledonia. The Village of Raymond approved this development last month.

Building 1: 4,500 square feet

The building exterior is primarily metal wall panels and have brick and split-face concrete accents on the entrance elevation which wraps around to the sides of the building. The entrance elevation will include windows that follow along the brick and concrete portion of the building which will be the office portion of the building. The intended purpose of this building to be utilized as an office for a commercial vehicle storage facility. This building is in the central portion of the site with the entrance elevation facing east towards the interstate. This building will be shielded from the interstate by the larger proposed commercial building.

The intent of the Boundary Agreement is to ensure that development occurring along the Interstate has a consistent and high-quality appearance. The following is a review of Building 1 as it relates to the design standards included in Exhibit K of the boundary agreement. It is the Plan Commission's discretion to determine whether the proposed development meets the standards and should be considered a "spectacular" development.

Design Standards

1. Loading Docks/Mechanicals/Shipping Areas Screening & Appearance – Requires overhead door/receiving areas to be screened or designed with high degree of visual appeal. Screening can be completed with fencing, topography, and/or landscaping.
 - a. This building does not have any loading docks but one overhead door on the north and south elevations of the building. The south overhead door will be screened with landscaping and the north overhead door faces interior to the site and will not be visible from the right-of-way. Therefore meets this standard.
2. Street Edge Landscaping Required – Requires street frontage landscaping with trees 50' on center minimum and/or berms for screening.
 - a. This site contains large areas of wetlands on the perimeter of the site that limit the amount of landscaping that can be installed. The proposed plan includes multiple maple and spruces trees on the eastern portion of the site located outside the delineated wetlands with areas reserved for snow loads. The southern portion of the building will keep existing vegetation, providing a heavily vegetative buffer to the existing private road. The western portion of the site contains wetlands and a retention pond that is surrounded by turf grass. The proposed plan meets this standard. In addition, there is landscaping along the entrance elevation of the building.
3. Four-Sided Architecture Required – Requires similar architecture and use of materials throughout all facades of a proposed structure.
 - a. The proposed building provides similar architecture on three sides of the building. The west elevation does not include any brick or split-face concrete block, however, keeps the two-toned gray façade that is incorporated on the remaining elevations of the building. The Plan Commission has the discretion to determine if this is acceptable four-sided architecture.

-
4. Roof Style/Materials – Requires hip, gambrel, gable roofs utilizing cedar, asphalt, or dimensional shingles unless metal roofs compliment neighborhood character of area.
 - a. A gabled roof is being proposed as part of the metal construction of the proposed building. This is similar to adjacent buildings. The Plan Commission has the discretion to determine if this style roof is complimentary to the neighboring sites.
 5. Rooftop Mechanicals Screening– Requires all future rooftop mechanicals to be screened with similar architectural materials.
 - a. No rooftop mechanicals currently shown. A contingency will be added to screen any that may arise in the future.
 6. Building Massing/Height/Form– Requires buildings to have distinct base, middle, top.
 - a. Patterning and colored banding along with window placement break up the metal panels and give the appearance of a base, middle, and top. The form and size of the structure is consistent with other structures approved in the area.
 7. Appropriate Building Materials – Requires the primary façade be finish grade materials (glass, brick, stone, wood, or decorative block as examples).
 - a. The proposed building exterior consists primarily of painted metal wall panels. Patterning and colored bands provide some variation in the elevations. The proposed building has a partial brick façade and split-face concrete beltline at the base of the building on the entrance elevation.
 8. Building Placement – Requires building facades to be parallel or perpendicular to the right-of-way.
 - a. The proposed building is positioned perpendicular to Fourteen Point Lane and parallel to the frontage road. This meets this standard.
 9. Lighting Specifications – Lighting should be proposed at a maximum 0.5 foot-candles at property lines and no lights should exceed 12 foot-candles. Pole lights should be 15-20 feet maximum. All off-street lighting should be down-cast, cutoff fixtures with zero-degree tilt.
 - a. The submitted lighting plan is in compliance with the 0.5 foot-candle requirement and have fixtures that are down-cast, cutoff fixtures. Only wall pack lights on the building are proposed. No pole lighting is proposed at this time. This meets this standard.
 10. Signage – One sign is being proposed at the entrance of the site. No building signs are proposed at this time. Prior to installation, all signs will be required to meet the Village sign code regulations and the sign design standards outlined in the Cooperative Boundary Agreement. No signs are approved this review process.

Building 2: 21,600 square feet

The building exterior is primarily precast concrete panels and have overhead doors on the east and west elevations of the building. Windows along the south elevation provide some relief the long expanses of concrete façade on the south elevation. The intended purpose of this building to be utilized as a cross dock distribution facility for food products. This building is in the central portion of the site with the entrance elevation facing south towards the private road.

The intent of the Boundary Agreement is to ensure that development occurring along the Interstate has a consistent and high-quality appearance. The following is a review of Building 1 as it relates to the design standards included in Exhibit K of the boundary agreement. It is the Plan Commission's discretion to determine whether the proposed development meets the standards and should be considered a "spectacular" development.

Design Standards

1. Loading Docks/Mechanicals/Shipping Areas Screening & Appearance – Requires overhead door/receiving areas to be screened or designed with high degree of visual appeal. Screening can be completed with fencing, topography, and/or landscaping.
 - a. This building does have multiple loading docks but are enclosed and have access through overhead doors. The east elevation is located a considerable distance away from the eastern lot

-
- line and has some landscaping that will break up the view from the interstate. The west overhead doors face interior to the site. This meets this standard.
2. Street Edge Landscaping Required – Requires street frontage landscaping with trees 50’ on center minimum and/or berms for screening.
 - a. This site contains large areas of wetlands on the perimeter of the site that limit the amount of landscaping that can be installed. The proposed plan includes multiple maple and spruces trees on the eastern portion of the site located outside the delineated wetlands with areas reserved for snow loads. The southern portion of the building will keep existing vegetation, providing a heavily vegetative buffer to the existing private road. The western portion of the site contains wetlands and a retention pond that is surrounded by turf grass. The plan includes yew bushes to be installed on the entrance elevation of the building. The proposed plan meets this standard.
 3. Four-Sided Architecture Required – Requires similar architecture and use of materials throughout all facades of a proposed structure.
 - a. The proposed building provides four-sided architecture. The building is rectangular in design but incorporates banded on the top and bottom of the building. The Plan Commission has the discretion to determine if this is acceptable four-sided architecture.
 4. Roof Style/Materials – Requires hip, gambrel, gable roofs utilizing cedar, asphalt, or dimensional shingles unless metal roofs compliment neighborhood character of area.
 - a. A flat roof is being proposed for the building. There exist similar roof style buildings in the area on both sides of the freeway. The Plan Commission has the discretion to determine if this style roof is complimentary to the neighboring sites.
 5. Rooftop Mechanicals Screening– Requires all future rooftop mechanicals to be screened with similar architectural materials.
 - a. No rooftop mechanicals currently shown. A contingency will be added to screen any that may arise in the future.
 6. Building Massing/Height/Form– Requires buildings to have distinct base, middle, top.
 - a. Patterning and colored banding along with window placement for the office portion of the building break up the concrete panels and give the appearance of a base, middle, and top. The form and size of the structure is consistent with other structures approved in the area.
 7. Appropriate Building Materials – Requires the primary façade be finish grade materials (glass, brick, stone, wood, or decorative block as examples).
 - a. The proposed building exterior consists primarily of painted concrete wall panels. Patterning and colored bands provide some variation in the elevations.
 8. Building Placement – Requires building facades to be parallel or perpendicular to the right-of-way.
 - a. The proposed building is positioned parallel to Fourteen Point Lane and perpendicular to the frontage road. This meets this standard.
 9. Lighting Specifications – Lighting should be proposed at a maximum 0.5 foot-candles at property lines and no lights should exceed 12 foot-candles. Pole lights should be 15-20 feet maximum. All off-street lighting should be down-cast, cutoff fixtures with zero-degree tilt.
 - a. The submitted lighting plan is in compliance with the 0.5 foot-candle requirement and have fixtures that are down-cast, cutoff fixtures. Only wall pack lights on the building are proposed. No pole lighting is proposed at this time. This meets this standard.
 10. Signage – One sign is being proposed at the entrance of the site. No building signs are proposed at this time. Prior to installation, all signs will be required to meet the Village sign code regulations and the sign design standards outlined in the Cooperative Boundary Agreement. No signs are approved this review process.

Staff has determined that the proposed development meets the minimum design standards as outlined in Exhibit K of the Boundary Agreement. Furthermore, the proposed use is similar in nature to surrounding uses on both sides of the freeway. If the Plan Commission feels that the proposed development complies with the standards outlined in the Cooperative Boundary Agreement, staff has drafted a suggested motion to approve the proposed development.

Exhibit A: Conditions of Approval
Raymond 40 LLC

1. The approved use of this site shall be for multiple principal uses, to include semi-trailer sales, leasing, and storage, and food product distribution facility. Any use not specifically listed as permitted shall be considered to be prohibited except as may be otherwise specifically provided herein. In case of a question as to the classification of use, the question shall be submitted to the Village Plan Commission for consideration and recommendation and to the Village Board for approval.
2. Hours of operation shall be:
 - a. Tenant 1: Sales, leasing and storage of semi-trailers: 8:00 a.m. to 6:00 p.m. Monday through Friday, with occasional delivery or pick up after those hours (occasional meaning no more than 2 times per week).
 - b. Tenant 2: Food product distribution: 6:00 a.m. to 5:00 p.m.
3. The following plans are hereby approved by the Village Plan Commission and Village Board. All plans shall be implemented and adhered to for the development of the property.
 - a. Site Plan (dated 6/22/21)
 - b. Grading Plan/Erosion Control Plan (dated 6/22/21)
 - c. Lighting Plan (dated 5/8/21)
 - d. Landscape Plan (dated 6/23/21)
 - e. Architectural Elevations, floor plan and building materials (dated 6/21/21)
4. If roof top mechanicals are needed for any building, the units shall be screened. Prior to installation, the proposed screening method shall be shown on the plans and submitted to the Plan Commission and Village Board for approval.

Respectfully submitted:

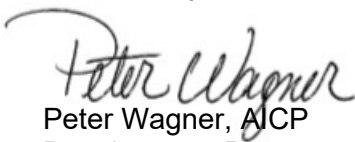

Peter Wagner, AICP
Development Director

EXHIBIT K: DESIGN STANDARDS

The requirements of Title 16 of the Village of Caledonia Code of Ordinances shall apply, as modified by the categories below, in the Raymond Plan Area.

CATEGORY 1 - JOINT REGULATIONS WITHIN THE RAYMOND PLAN AREA

The following regulations are intended to ensure that the appearance of new commercial buildings, landscapes, and signage elements in the Raymond Plan Area match the corresponding elements in the Village of Caledonia.

Guidelines to be based on Caledonia standards

1	Loading dock and shipping/receiving area requirements/screening (16-3-2 (c) (8))	Garage doors, loading areas, service entries and areas, and mechanical equipment shall be screened or designed with a high degree of visual appeal. This treatment can minimize the negative visual impact such necessary functions have and can help enhance and define adjacent spaces. Various techniques should be used to completely screen views into these areas. Densely planted trees, shrubs, opaque fencing, and/or garden walls should be used to screen service areas, loading areas, trash receptacles and ground-floor mechanicals. These elements should be at least seven (7) feet high (plant material should be at least seven (7) feet within 2 years of planting).
2	Street edge landscaping (16-3-3 (b) (1))	Trees no more than 50' on center of the tree trunk. Trees shall be planted parallel to the right-of-way. Trees shall be canopy, deciduous trees from the Village Street Tree List. Trees bordering a parcel shall be of the same species in order to provide visual continuity along the street edge. In addition to rhythmic planting of trees, a secondary landscape layer located behind the tree line should be created using ornamental fences and continuous evergreen hedges that block views of parking areas. Unless otherwise noted these should have a minimum height of 4' above the elevation at the right-of-way. Berms should not be used as a device for visual screening unless specific approval is given by the Village Board. When berms are approved for use, they shall have a minimal slope in contrast to the surrounding landscape. When a berm is intended to screen a building from a public right-of-way, the berm must be configured so that the building is screened at all visual angles from the public right-of-way. Trees, fences, and hedges may be eliminated when there is a planned view of an open landscaped area included as part of a long-term open space management plan.
3	Encourage four-sided architecture	Four-sided architecture, which utilizes similar building materials and design for all sides of a proposed structure, is encouraged.
4	Roof style/material recommendations	Pitched roofs such as hip, gambrel, gable, etc. should be required; utilizing cedar, architectural asphalt or dimensional shingles is preferred. Metal roofs should be considered only where they complement the residential character of the proposed architecture. The use of raised steel seamed panels or other similar materials is generally discouraged and is subject to review and approval of the Plan Commission.
5	Screening rooftop mechanicals	Roof top mechanical installations should be screened so as to block the view from adjacent streets and properties. Screening should match or complement the overall theme of the building. All screening is subject to review and approval by the Plan Commission.
6	Building massing, height, and form (16-3-2 (c) (3))	Buildings shall be comprised of a visually distinct base, middle and top. Buildings shall not exceed two (2) stories except as noted in the standards for specific types of places or as may be allowed for by a conditional use or in a planned unit development. This provides a flexible method of relating the building to the pedestrian (base), to the surrounding architecture (middle), and the opportunity for unique identity where the building meets the sky (top). Expression of the elements should be handled through changes in plane and material, horizontal bands, cornices, and/or varied window openings. Large buildings should be comprised of a series of masses and forms to give the building hierarchy, scale and visual richness. Building massing and components should demonstrate consistent proportional harmonies as indicated in the guideline illustrations.
7	Signage (excluding freeway signage) (16-3-5; 16-7)	Signage shall consist of both freestanding and building signs. Freestanding signage should be of the following types: agriculture, directional, freeway, home occupation, monument, subdivision, off-premises, private property, street banner, governmental, recreational, trail, or temporary. Building signage should be of the following types: awning or canopy, projecting, wall, or window. Prohibited signs include beacons, streamers, pennants, pinwheels, and strings of lights not permanently mounted to a rigid background, and inflatable signs, tethered balloons, and signs affixed to a cart, trailer or other rolling mechanism, unless specifically permitted as a temporary sign but not to exceed 30 days of use in each calendar year. Prohibited signs also include signs that revolve, are animated, have moving parts, or are illuminated by flashing or moving lights. Billboards and pole signs where the bottom of the sign is more than 11 feet from grade, and roof signs that are separated from the rest of the roof by more than 12 inches are also prohibited.
8	Freeway Signage (16-3-5)	Freeway signage shall be defined as a freestanding sign within one-hundred fifty (150) feet of the Interstate 94 right-of-way. The road side edge of such sign should be located as close to the interstate right-of-way as feasible, but shall maintain a minimum of five (5) feet from the public right-of-way. Freeway signs shall be constructed as set forth in the accompanying Freeway Sign Diagram.
9	Appropriate building materials (16-3-2 (c) (4))	The primary facade and sides of the building visible from the public space, public parking, walkways, and rights-of-way shall be clad in finish grade materials unless otherwise allowed under a conditional use or planned unit development. Glass, brick, stone, wood, and decorative block are examples of finish grade materials that are appropriate for use on visible facades. The rear or side of the building shall use the same materials.
10	Building placement guidelines (16-3-2 (c) (2))	<i>Modified from current regulation: Building facades shall be parallel or perpendicular to the right-of-way (or parallel or perpendicular to the tangent to curve taken at the midpoint)</i>

Guidelines to be based on Raymond standards

11	Preserve existing tree lines/Open space, natural resource protection	Landscaping for development sites should be designed to complement the built and natural environment of the subject project and adjacent sites. Existing tree lines should be preserved. If removal of existing tree line is required due to its undesirable nature, new plantings that result in no less of a screening effect shall be required when adjacent to residential uses. Tree species that are native to Wisconsin and the Town of Raymond are encouraged.
12	Lighting specifications	All off-street lighting shall be down-cast, cutoff fixtures with a zero-degree tilt. The total height of fixtures, measured from grade to the highest point of the pole and/or lamp, should be no more than 15 to 20 feet. The base should be no greater than 6" above grade. Low pressure sodium bulbs are strongly discouraged.
13	Lighting position specifications	Lighting should be positioned so as not to cause glare on adjacent properties and streets. A maximum of 0.5 foot candles of light at the property line should be permitted. Require the submittal of a photometric site plan which illustrates the amount of light, measured in foot candles. No lighting should be permitted to exceed 12 foot candles. Consider exceptions to the height of lighting fixtures, provided that the total fixture height is equal or less than the height of adjacent building eaves.
14	Color guidelines	The coloring of all brick, decorative masonry, or stone shall be expressed as integral to the product and not painted on the surface of the product. Neutral colors are preferred over primary colors.

EXHIBIT K: DESIGN STANDARDS

CATEGORY 2 - REGULATIONS IN RAYMOND THAT ARE ENCOURAGED BUT NOT NEEDING SPECIFIC CORRESPONDENCE WITH CALEDONIA

The Town should develop, review, and apply these guidelines independently of Caledonia anywhere within the Raymond Plan Area.

15	Access drive locations
16	Additional façade features
17	Encourage multiple uses for outdoor areas
18	Entrance features
19	Foundation plantings for primary structures
20	Glazing
21	Impermeable surface ratios
22	Non-motorized access/trails/connections to adjacent development
23	Outbuilding location specifications
24	Outbuilding style / material specifications
25	Outdoor events / displays / art
26	Pedestrian access to parking lots
27	Screening adjacent residential neighborhoods
28	Sign landscaping specifications
29	Site planning for future use / redevelopment
30	Size specifications for landscaping
31	Sod installation for yards on public rights-of-way
32	Traffic calming
33	Vehicular cross access between non-residential sites
34	Vehicle entry specifications



July 9, 2021

Village of Caledonia
ATTN: Peter Wagner
5043 Chester Lane
Racine, WI 53402

Re: Tax Key: 168042125004200 - Conditional Use Permit
Plan of Operation

Dear Mr. Wagner,

Frontline Commercial Real Estate, LLC (“Frontline”) respectfully submits the following information as it relates to the Development Plan comments dated June 16, 2021 (sent via email). Frontline’s response and additional comments are provided in **red** below:

Legal Description:

Lot 2 of Certified Survey Map No. 3425, recorded in the office of the Register of Deeds for Racine County, Wisconsin, on December 29, 2020, as Document No. 2576538 and being part of the Northeast ¼, Southeast ¼, Northwest ¼ and Southwest ¼ of the Northeast¼ and the Southeast¼ of the Northwest¼ of Section 25, Township 4 North, Range 21 East, in the Village of Raymond, Racine County, Wisconsin.

General Information:

The attached Conditional Use Permit document was approved by the Village of Raymond at their Plan Commission and Village Board hearings on June 28, 2021. The following plans were also approved at the hearings:

- Site Plan (dated 6/22/21)
- Grading Plan/Erosion Control Plan (dated 6/22/21)
- Storm Water Management Plan (dated 6/23/21)
- Lighting Plan (dated 5/18/21)
- Landscape Plan (dated 6/23/21)
- Architectural Elevations, floor plan and building materials (dated 6/21/21)

Proposed Use:

Multiple principle uses have been approved for the site, to include semi-trailer sales, leasing, and storage; and food product distribution facility.

The proposed project includes two users:

Tenant 1: Storage of licensed commercial vehicles. (None of Tenant 1's vehicles will have reefers that are running.)

Tenant 1 specializes in long-term rentals—often, Tenant 1's rentals are one (1) year in length or multiple years in length.

No more than 25 semi-truck tractors shall be allowed on the site. Storage/parking of tractors used for the operation of the business are allowed to be stored on the site.

Tenant 2: Distribution of a food product. (None of Tenant 2's vehicles will have reefers that are running.) The food products are shelf stable and are non-refrigerated.

Straight trucks will be used for their operations. Tenant 2 will have products delivered to the site, load their trucks on-site, make deliveries, and then return the vehicles.

The site is zoned B-3. The proposed uses are in accordance with the Corridor Land Use Plan, which identifies Business and Industrial uses for site. Access to the site will be via S 27th Street and Trophy Lane. Trophy Lane is a private road and Frontline has obtained a Private Road Easement Agreement from the owner – Top Flight, LLC.

Proposed Buildings

Frontline is proposing the construction of one (1) approximately 4,500 SF metal building with masonry detail and one (1) approximately 21,600 SF masonry building. The proposed buildings are single-story and feature offices and incidental storage.

Please see updated Architectural Plans, which now include dimensioned floor plans as well as color, height, and material details. The proposed buildings have visually distinct base, middle and top. Architectural Plans have been updated to improve the aesthetic of the Project and provide greater architectural interest for the buildings.

Building materials for Tenant 1 include split face dark gray block for wainscot; heritage jumbo brick to top of windows and light gray metal wall paneling with dark gray trim. Building Materials for Tenant 2 include pre-cast concrete wall panels with a dark gray wainscot approximately three feet (3') in height and a dark gray band near the top of the structure. South elevation includes windows in office area.

If roof top mechanicals are needed for either building, Frontline will ensure that roof top mechanicals are adequately screened. The buildings feature metal roofs, which are similar in nature to the neighboring buildings.

The parking lot is gravel surfaced. The Village of Raymond has included a provision in the CUP stating that, "Parking lot shall be dust free. Complaints regarding dust shall be addressed immediately". If there are dust issues, Frontline will use a water truck and/or calcium chloride for dust control. Frontline owns several properties in Oak Creek, with similar parking lots, and there have been *no* complaints of dust. (To Frontline's knowledge, there have been no issues with dust control in the parking lots directly south of the proposed development, which are similar in nature.)

Landscaping:

Per the enclosed landscape plans, landscaping is proposed along the east side of the development and at the building entrances.

Lighting:

Per the enclosed lighting plan, there shall be zero (0) foot candles of light at the property line.

Site Grading:

Frontline intends to accept approximately 70,000 cubic yards of clean, structural fill on the site, which shall be monitored by a geotechnical engineering firm. The fill area shall be gated when the geotechnical engineer is not on-site, to ensure no improper fill is accepted on the property. The fill will be tested for structural strength and compacted properly to increase the values of the parcel, to the benefit of the landowner and the community.

Frontline agrees to repair and/or replace any drain tiles damaged during the course of grading the property.

Signage:

No freeway signage is proposed for this project.

A monument sign shall be located at the cul de sac. The sign shall not exceed thirty-two (32) square feet.

Hours of Operation:

Tenant 1 shall operate Monday through Friday, between the hours of 8 AM and 6 PM.

Tenant 2 shall operate Monday through Saturday, between the hours of 6 AM and 5 PM.

Number of employees:

Tenant 1 shall employ approximately six (6) full-time employees.

Tenant 2 shall employ approximately ten (10) full-time employees.

Number of parking stalls:

The development will include approximately eighteen (18) car parking stalls.

Anticipated Traffic:

Tenant 1: Estimated 7 round trips per day (with 3 employee cars parking on-site).

Tenant 2: Estimated 10 round trips per day (with 12 employee cars parking on-site).

Environmental Impacts:

A Wetland/Waterway Delineation and Agricultural Wetland Determination Report was prepared for the site in November of 2020. There are 14.10 acres of wetland on the site. This development intends to disturb **less than** 1.0 acre of the 14.10 acres of wetlands.

Attached is the USACE Jurisdictional Determination.

Email correspondence from the WDNR (dated May 28, 2021) is enclosed, which states that Frontline can purchase Wetland Conservation Trust credits for the .992 acres of wetland the Project will impact. Frontline has submitted payment for the Wetland Conservation Trust Credits. Per discussions with Thomas Pearce, permit approval is anticipated the week July 12.

Water Supply:

Frontline has discussed the proposed project with the Racine County Development Services Department, as it relates to the proposed holding tank for the development. The County informed Frontline that if the entire site will be disturbed (as is the case with this development) a holding tank is necessary for the project.

Frontline respectfully requests that a Conditional Use be granted for the uses described herein. Thank you for reviewing our request and we look forward to working with the Village of Caledonia on this project.

Sincerely,

Frontline Commercial Real Estate, LLC

Bridget Weasler

Bridget Weasler
Development Director

**VILLAGE OF RAYMOND
ORDER GRANTING CONDITIONAL USE
RAYMOND CROSSROADS**

WHEREAS, Raymond 40, LLC, owner, by John Schlueter, Frontline Commercial Real Estate has petitioned the Village of Raymond to grant a Conditional Use under Section 20-1339 (b) Highway Oriented Uses, to allow for the development of a multi-use site to include a semi-trailer sales, leasing, and storage facility, and a food product distribution facility, and

WHEREAS, the legal description for the subject property is:
Lot 2, Certified Survey Map No. 3425, recorded in the office of the Register of Deeds for Racine County on December 29, 2020, as document No. 2576538 and being part of the Northeast ¼, Southeast ¼, Northwest ¼ and Southwest ¼ of the Northeast ¼ and the Southeast ¼ of the Northwest ¼ of Section 25, Township 4 North, Range 21 East, Village of Raymond, Racine County, Wisconsin.

WHEREAS, the land is currently zoned B-3, Commercial Service District, and

WHEREAS, the owner of the property is Raymond 40, LLC, and

WHEREAS, the owner is requesting a Conditional Use Permit for the operation of a licensed semi-trailer sales, leasing, storage facility, and food service distribution facility, and

WHEREAS, the use of the property for a semi-trailer sales, leasing and storage facility has been determined by the Plan Commission and Village Board, on May 19, 2021, to be an allowed use in the B-3 zoning district subject to a Conditional Use under Section 20-1339 (b) of the Village of Raymond Zoning code, and

WHEREAS, Section 20-1340 (4) allows for any development involving multiple principal use buildings in any business district, and

WHEREAS, the owner has proposed a food product distribution facility for a second business on the site, and

WHEREAS, a public hearing was held on May 19, 2021, to hear all parties regarding this matter, and

WHEREAS, the Village has determined that it is in the interest of the Village to allow this land to be developed as a semi-trailer sales, leasing, and storage facility, and a food distribution facility, and

WHEREAS, the Village of Raymond Village Board has given the matter due consideration, and the Village Board has based its determination on the effect of granting a Conditional Use permit on the

Recording Area

Name and Return Address

Village of Raymond
2255 76th Street
Franksville, WI 53126-9539

1680421-25-004200

Parcel Identification Number (PIN)

health, general welfare, safety and economic prosperity of the Village and specifically of the immediate neighborhood in which said use is located, and has given due consideration as to the effect of the Conditional Use on the established character and quality of the area, the rights of the adjoining owners, the overall appearance, the landscaping, the type of construction, the movement of traffic, parking, the demand for related services, the possible hazardous, harmful, noxious, offensive or nuisance effect on the neighborhood as a result of noise, dust, smoke, odor or other similar factors, and has determined that a Conditional Use would be appropriate provided that the Conditional Use is operated pursuant to the following conditions and in strict compliance with the same.

THIS IS NOT A PERMIT: YOU MUST COMPLY WITH CONDITION NOS. H IN THE CONDITIONS SECTION BELOW BEFORE YOUR CONDITIONAL USE PERMIT WILL BE ISSUED. FAILURE TO OBTAIN PERMIT(S) MAY RESULT IN THE ISSUANCE OF CITATIONS.

FINDINGS OF FACT¹

1. The statements made in the preamble, above, are incorporated herein by reference, and constitute findings of the Village Board.
2. The Village Board finds that the Petitioner has shown by substantial evidence that all standards of the Zoning Ordinance related to the proposed use will be met, and substantial evidence to the contrary has not been provided.
3. In particular, the Village Board finds that the proposed use will not be adverse to public health, safety or welfare. No substantial evidence was provided to the contrary.

CONCLUSIONS OF LAW²

1. The Petitioner has demonstrated by substantial evidence that the standards of the ordinance will be met, and no substantial evidence was provided to the contrary.

The Village Zoning Administrator has proposed numerous conditions upon the use and the Village Board determines that the conditions are reasonable, and are based upon substantial evidence, and the Petitioner has demonstrated that the Petitioner will comply with the conditions required by this Conditional Use Permit.

THEREFORE, IT IS ORDERED AS FOLLOWS:

Commencing upon the date hereof, a Conditional Use permit for the subject premises is hereby granted. The Conditional Use permit herein shall apply only to use of the premises as described above and the Conditional Use permit shall continue in existence only so long as the Conditional Use is operated in compliance with this permit. This Conditional Use permit is subject to initial and continued compliance with each and every one of the following conditions, restrictions, and limitations.

- A. This conditional use permit will expire nine (9) months from the date of the Village Board approval unless substantial work has commenced following said approval. If the Village determines that no

¹ To the extent that findings of fact shown herein represent conclusions of law, these shall be deemed to be conclusions of law. To the extent that conclusions of law shown herein represent findings of fact, these shall be deemed to be findings of fact. The heading under which the statements are made shall not be controlling.

² See footnote 1

substantial work has commenced, the project may not occur unless the Village Board grants a written extension. Written extension requests shall be submitted to the Village Clerk at least 30 days prior to permit/approval expiration.

- B. Applicant must obtain a zoning permit and building permit prior to commencement of any work at the site.
- C. The approved use of this site shall be for multiple principal uses, to include semi-trailer sales, leasing, and storage, and food product distribution facility. Any use not specifically listed as permitted shall be considered to be prohibited except as may be otherwise specifically provided herein. In case of a question as to the classification of use, the question shall be submitted to the Village Plan Commission for consideration and recommendation and to the Village Board for approval.
- D. Hours of operation shall be:
Tenant 1: Sales, leasing and storage of semi-trailers: 8:00 a.m. to 6:00 p.m. Monday through Friday, with occasional delivery or pick up after those hours (occasional meaning no more than 2 times per week).
Tenant 2: Food product distribution: 6:00 a.m. to 5:00 p.m.
- E. The following plans are hereby approved by the Village Plan Commission and Village Board. A zoning permit shall be required prior to any work structure being built at the site:
 - Site Plan (dated 6/22/21)
 - Grading Plan/Erosion Control Plan (dated 6/22/21)
 - Storm Water Management Plan (dated 6/23/21)
 - Lighting Plan (dated 5/8/21)
 - Landscape Plan (dated 6/23/21)
 - Architectural Elevations, floor plan and building materials (dated 6/21/21)

All plans shall be implemented and adhered to for the development of the property.

- F. If roof top mechanicals are needed for any building, the units shall be screened. Prior to installation, the proposed screening method shall be shown on the plans and submitted to the Plan Commission and Village Board for approval.
- G. Raymond 40, LLC shall acquire a septic permit prior to being issued a zoning permit.
- H. Prior to issuance of this permit, Raymond 40, LLC shall contact the adjacent landowner to the north and determine if there is an existing drain tile through the Raymond 40, LLC lands. Written confirmation from the adjacent owner shall be provided to the Village zoning administrator. If drain tile is damaged during construction, owner agrees to make all necessary repairs or replacement of the tile to the satisfaction of the adjacent neighbor. Future drainage related concerns raised by any adjacent neighbor shall be addressed by Raymond 40, LLC, or any subsequent property owner and shall not be the responsibility of the Village of Raymond.
- I. Owner has provided a wetland delineation report to the Village Zoning Administrator. A permit from the WDNR and, if applicable, the US Army Corps of Engineers, for disturbance/filling the wetlands prior to issuance of a zoning permit and any grading work being done in the immediate area of the wetlands or as dictated by the WDNR.
- J. Parking lot shall be dust free. Complaints regarding dust shall be addressed immediately.

- K. Trucks at the site shall not be idling for long periods of time or overnight. Storage or parking of loaded, operating refrigerator trucks are prohibited on the site.
- L. No more than 25 semi-truck tractors shall be allowed on the site. Tractors are to be used for the moving of trailers on site and not for sale, lease or storage. Storage/parking of tractors used for the operation of the business are allowed to be stored on the site.
- M. No junk or non-operating vehicles shall be allowed to be stored at the site.
- N. Applicant shall provide a detailed site plan, site grading plan, landscape and lighting plan for any and all site modifications.
- O. The Village Engineer shall review and approve any changes to the site drainage and storm water management for the site.
- P. Site grading and filling shall be allowed on this site in order to meet the approved grading plan.
- Q. In the management and operation of the project, a reasonable attempt shall be made to alleviate the potential for nuisances and disturbances to surrounding neighbors. Any complaints made by adjacent property owners or affected persons, deemed reasonable by the Village President, shall be reviewed by the Village Plan Commission which will make findings as to whether or not such nuisance exist, and, if so, what provisions ought to be made to abate the nuisances. All complaints regarding nuisances shall be subject to the nuisance provisions of the Village and other appropriate state or county laws. The findings and recommendations of the Village Plan Commission shall be forwarded to the Village Board for action.
- R. No use is hereby authorized unless that use is conducted in a lawful, orderly and peaceful manner. Nothing in this permit shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order or rule of either the Village of Raymond, the County of Racine, the State of Wisconsin, the United States of America or other duly constituted authority. This Conditional Use permit shall not be deemed to constitute a building permit, nor shall this permit constitute any other license or permit required by Village ordinance or other law.
- S. The Conditional Use hereby authorized shall be confined to the premises described, without extension or expansion, and shall not vary from the purposes herein mentioned unless expressly authorized in writing by the Village Board as being in compliance with all pertinent ordinances, after review and recommendation by the Village Plan Commission.
- T. Should any paragraph or phrase of this Conditional Use permit be determined by a court to be unlawful, illegal or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the Conditional Use and the remainder shall continue in full force and effect.
- U. The standard conditions listed below are automatically incorporated into the terms of a Conditional Use Permit issued under this section, unless otherwise stated in the Conditional Use Permit.
 - 1. Owner and operator shall comply with all Village of Raymond Municipal Code requirements.
 - 2. All buildings and grounds shall be maintained in a neat, attractive and orderly way.

3. The property shall comply with all rules and regulations of the Village of Raymond and the Raymond Fire Department, including submission to routine inspections by Village and Fire Department staff.
4. Should the permitted conditional use be abandoned in any manner, or discontinued in use for twelve (12) consecutive months, or eighteen (18) cumulative months in a three (3) year period shall be considered abandoned and any future use thereof will require Village Plan Commission and Village Board review and approval.
5. Any change, addition, modification, alteration and/or amendment of any aspect of this conditional use, including but not limited to an addition, modification, alteration, and/or amendment to the use, premises (including but not limited to any change to the boundary limits of the subject property), structures, lands or owners, other than as specifically authorized herein, shall require a new permit and all procedures in place at the time must be followed.
6. Approval of minor additions, expansions or alterations to the principal or accessory structures, where such structures were previously approved after a conditional use public hearing shall be in accordance with Section 20-1184 of the Village Zoning Code.
7. Unless this conditional use permit expressly states otherwise, plans that are specifically required by this conditional use order may be amended upon the prior recommendation by the Village Plan Commission and approval by the Village Board if the Village Board finds the plan amendment to be minor and consistent with the conditional use permit. Any change in any plan that the Village Plan Commission or Village Board feels, in its sole discretion, to be substantial shall require a new permit, and all procedures in place at the time must be followed.
8. Petitioner and Owner Agreement. As a condition precedent to the issuance of the conditional use permit, the owner of the Subject Property shall approve the issuance of this conditional use permit upon the terms and conditions described herein in writing, and the lessee is required to accept the terms and conditions of the same in its entirety in writing.
9. Professional fees. Petitioner shall, on demand, reimburse the Village for all costs and expenses of any type that the Village incurs in connection with this application, including the cost of professional services incurred by the Village (including engineering, legal, planning and other consulting fees) for the review and preparation of the necessary documents or attendance at meetings or other related professional services for this application, as well as for any actions the Village is required to take to enforce the conditions in this conditional approval due to a violation of these conditions.
10. Payment of charges. Any unpaid bills owed to the Village by the Subject Property Owner or his or her tenants, operators or occupants, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees owed to the Village; shall be placed upon the tax roll for the Subject Property if not paid within thirty (30) days of billing by the Village, pursuant to section 66.0627, Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional approval that is subject to all remedies available to the village, including possible cause for termination of this approval.
11. Current Address. The owner and lessee are obligated to file with the Village Clerk a current mailing address and current phone number at which the owner and lessee can be reached, which must be continually updated by the owner or lessee if such contact information should change, for the duration of this conditional use. If the owner or lessee fails to maintain such current contact information, the owner or lessee thereby automatically waives notice of any proceedings that may be commenced under this conditional approval, including proceedings to terminate this conditional use.

12. Conditions Shown in Minutes Incorporated. All conditions of approval imposed by duly adopted motion of the Village Board in its consideration of the owner's application, as noted in the Minutes of the Village Board meeting at which approval was granted, are specifically incorporated herein by reference.
13. If any aspect of this conditional use permit or any aspect of any plan contemplated and approved under this conditional use is in conflict with any other aspect of the conditional use or any aspect of any plan of the conditional use, the more restrictive provision shall be controlling as determined by the Village Plan Commission.

CONDITIONAL USE PLANS

for

RAYMOND CROSSROADS

SITE GRADING, DRAINAGE, PAVEMENT, UTILITY,
& EROSION CONTROL IMPROVEMENTS

for

RAYMOND 40, LLC

Village of Raymond, Racine County, Wisconsin



RACINE

LEGEND

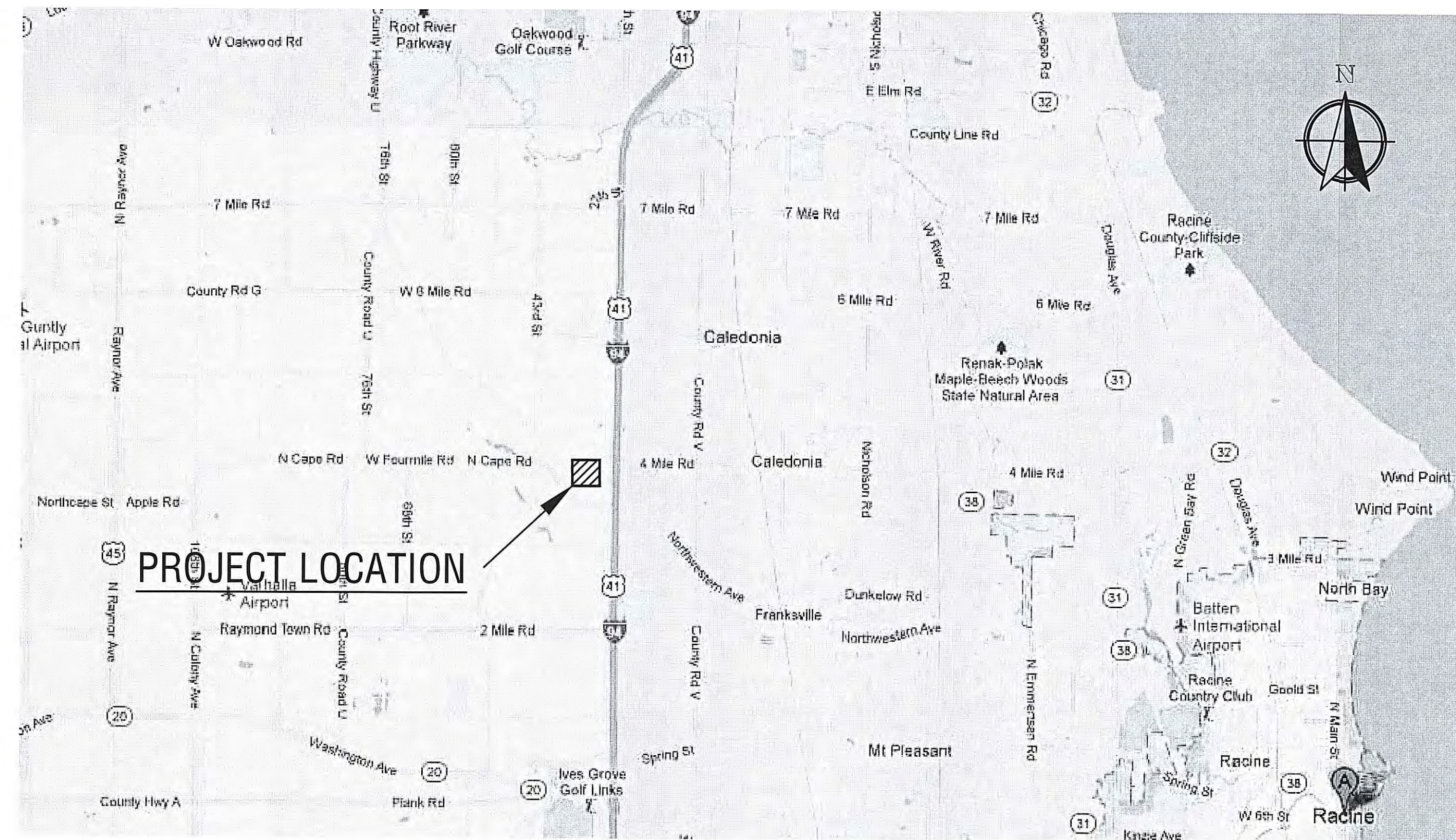
Description	Existing	Description	Existing	Proposed
EDGE OF WOODS		WATER SHUT OFF		
DECIDUOUS TREE		WATER MAIN VALVE		
DECIDUOUS TREE REMOVAL		HYDRANT		
CONIFEROUS TREE		WATER MAIN REDUCER		
CONIFEROUS TREE REMOVAL		SANITARY MANHOLE		
BUSH		SANITARY CLEAN OUT		
SOIL BORING		STORM MANHOLE		
TELEPHONE BOX		CATCH BASIN		
GUY WIRE		LIGHT POLE		
UTILITY POLE		ENDWALL		
GAS VALVE		STORM SEWER		
GAS METER		SANITARY SEWER		
SEPTIC VENT		WATERMAIN		
ELECTRIC MANHOLE		CONTOURS		
COMMUNICATION MANHOLE		FIRE PROTECTION		
WATER MANHOLE		UTILITY CROSSING		
HVAC UNIT		DITCH OR SWALE		
UNDERGROUND VAULT		CULVERT		
SECTION CORNER		RAILROAD TRACKS		
MAIL BOX		FENCE		
GUARD POST		NO VEHICULAR ACCESS		
STREET SIGN		UNDERGROUND ELECTRIC		
ELECTRIC PEDESTAL		UNDERGROUND GAS MAIN		
ELECTRIC METER		UNDERGROUND COMMUNICATIONS		
PAD MOUNT TRANSFORMER		SILT FENCE		
FOUND IRON PIPE		OVERHEAD WIRES (ELECTRIC)		
SET IRON PIPE		FORCE MAIN		

ABBREVIATIONS

BASE LINE	BL	INVERT ELEVATION	IE
LONG CORD OF CURVE	CHD	LENGTH OF CURVE	ARC
CURB AND GUTTER	C&G	MANHOLE	MH
CATCH BASIN	CB	NORMAL WATER LEVEL	NWL
CENTERLINE	CL	POINT OF CURVATURE	PC
EDGE OF PAVEMENT	EOP	POINT OF TANGENCY	PT
FINISHED FIRST FLOOR	FFF	TANGENCY OF CURVE	TAN
FINISHED GRADE	FG	POINT OF VERTICAL INTERSECTION	PVI
FLOW LINE	F/L	RADIUS	R
FLOODPLAIN	FP	RIGHT OF WAY	ROW
HIGH WATER LEVEL	HWL	SANITARY SEWER	SAN
ORDINARY HIGH WATER MARK	OHWM	STORM SEWER	STM
TOP OF BANK	TOB	TOP OF FOUNDATION	TOF
TOP OF CURB	TOC	WATER MAIN	WM
TOP OF WALK	TOW		

UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL DIGGERS HOTLINE AT LEAST 3 DAYS PRIOR TO ANY CONSTRUCTION.



SHEET INDEX

PLAN SHEET	SHEET NO.
TITLE SHEET	C-1
EXISTING CONDITIONS	C-2
DIMENSIONED SITE PLAN	C-3
SITE DEMOLITION PLAN	C-4
MASTER SITE GRADING & EROSION CONTROL PLAN	C-5
GRADING DETAILS	C-6 - C-8
TYPICAL SECTIONS & CONSTRUCTION DETAILS	C-9 & C-10

OWNER

RAYMOND 40, LLC
C/O: JOHN SCHLUETER
PO BOX 170107
MILWAUKEE, WI 53217
EMAIL: jks@frontlincre.com

GOVERNMENT CONTACTS

VILLAGE OF RAYMOND
LINDA TERRY
VILLAGE CLERK
OFFICE: 262-835-4426
EMAIL: Clerk@raymondwi.com

CHRIS STAMBORSKI
VILLAGE ENGINEER
OFFICE: 262-317-3377
EMAIL: Chris.Stamborski@rasmithnational.com

TIM BARBEAU
VILLAGE ZONING ADMINISTRATOR
OFFICE: 262-317-3377
EMAIL: Tim.Barbeau@rasmithnational.com

DEPARTMENT OF NATURAL RESOURCES
PETER WOOD, PE
WATER RESOURCE ENGINEER
OFFICE: 262-884-2360
EMAIL: peterwood@wisconsin.gov

UTILITY CONTACTS

TIME WARNER CABLE
STEVE CRAMER
UTILITY COORDINATOR
OFFICE: 414-277-4045
EMAIL: steve.cramer@twcable.com
EMERGENCY NUMBER: (800) 627-2288

AT&T
MIKE TOYOK
OFFICE: 262-636-0549
EMAIL: mt1734@att.com

TDS TELECOM
SOUTHEAST WISCONSIN
OFFICE: 877-483-7142

WE-ENERGIES
TOM SCHULTZ
TOWN OF RAYMOND
OFFICE: (262) 552-3223
EMAIL: Tom.Schultz@we-energies.com

NATURAL GAS EMERGENCY: (800) 261-5325
ELECTRICAL EMERGENCY: (800) 662-4797

AMERICAN TRANSMISSION COMPANY
BRIAN MCGEE
OFFICE: 262-506-68955
EMAIL: bmcgee@atcll.com
EMERGENCY NUMBER: (800) 972-5341



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbcsc.net

RAYMOND CROSSROADS
CONDITIONAL USE PLANS
FOR
RAYMOND 40, LLC
VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

NO.	REVISION	DATE

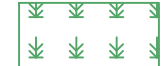

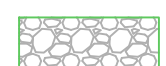
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DRAFTED: JRT
DATE: 05-28-2021
CHECKED: ALI
DATE: 06-22-2021

2013.0019.12

SHEET
C-1

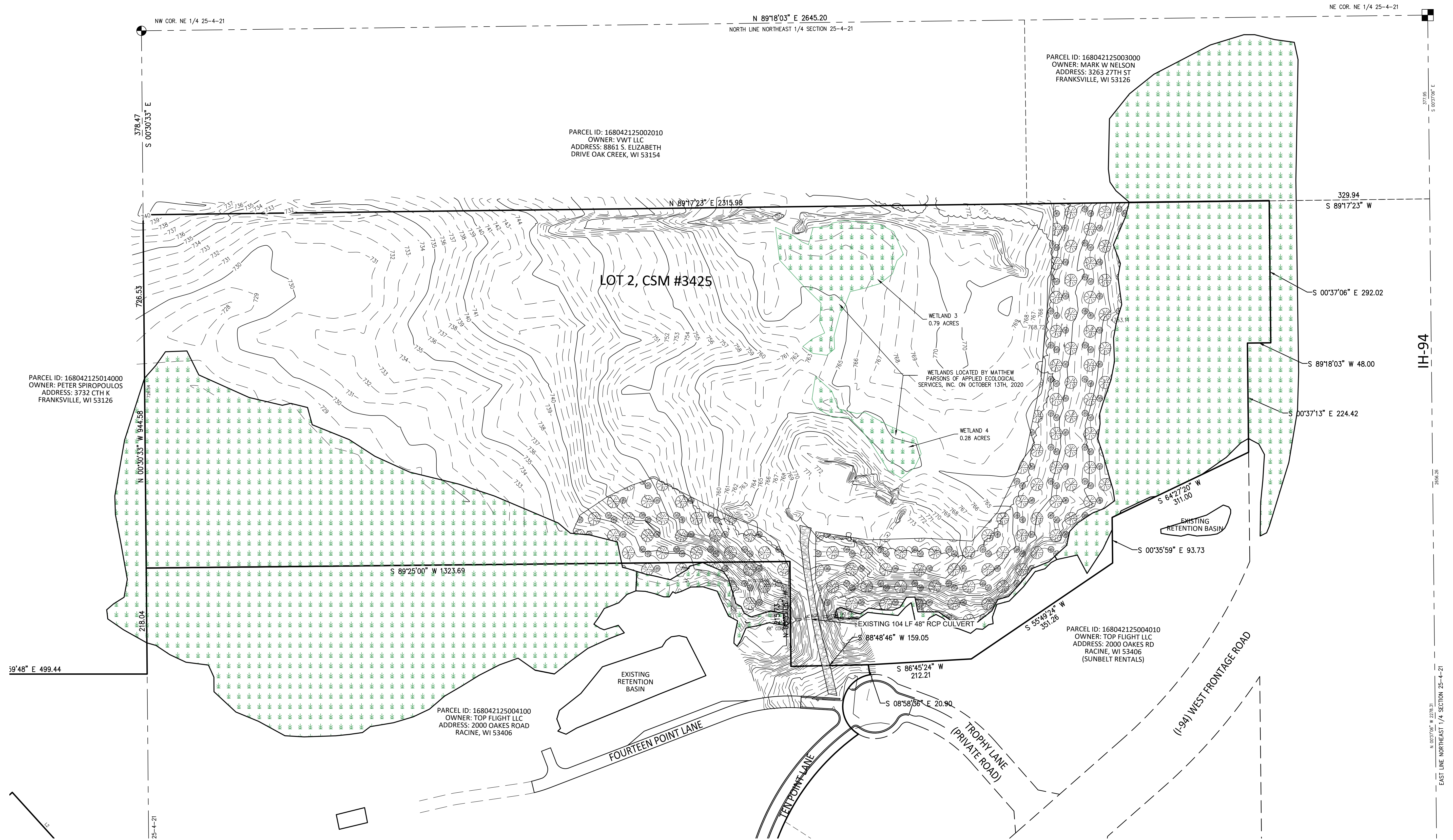
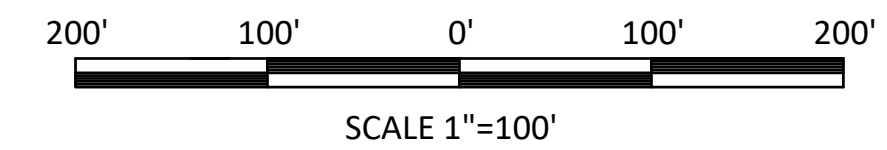
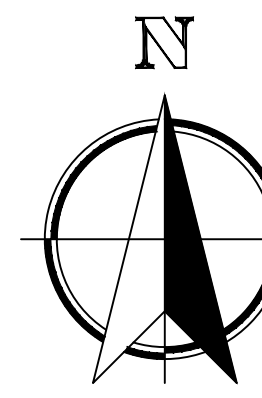
ISSUE FOR APPROVAL: 06-23-2021

LEGEND

-  WETLAND
-  ENVIRONMENTAL CORRIDOR
-  EXISTING GRAVEL DRIVEWAY

LEGAL DESCRIPTION

LOT 2 OF CSM # 3425, BEING A PART OF THE NORTHEAST ¼, SOUTHEAST ¼, NORTHWEST ¼ AND SOUTHWEST ¼ OF THE NORTHEAST ¼ AND THE SOUTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 25, TOWNSHIP 4 NORTH, RANGE 21 EAST IN THE VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN



Nielsen Madsen + Barber
 CIVIL ENGINEERS AND LAND SURVEYORS
 1458 Horizon Blvd. Suite 200, Racine, WI. 53406
 Tele: (262)634-5588 Website: www.nmbssc.net

RAYMOND CROSSROADS
 EXISTING CONDITIONS
 FOR
RAYMOND 40, LLC
 VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN






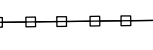
NO.	REVISION	BY	DATE

PROJ. MGR: _____ MRM
 DRAFTED: _____ JRT
 DATE: 05-28-2021
 CHECKED: _____ ALI
 DATE: 06-22-2021

2013.0019.12
 SHEET
C-2

ISSUE FOR APPROVAL: 06-23-2021

LEGEND

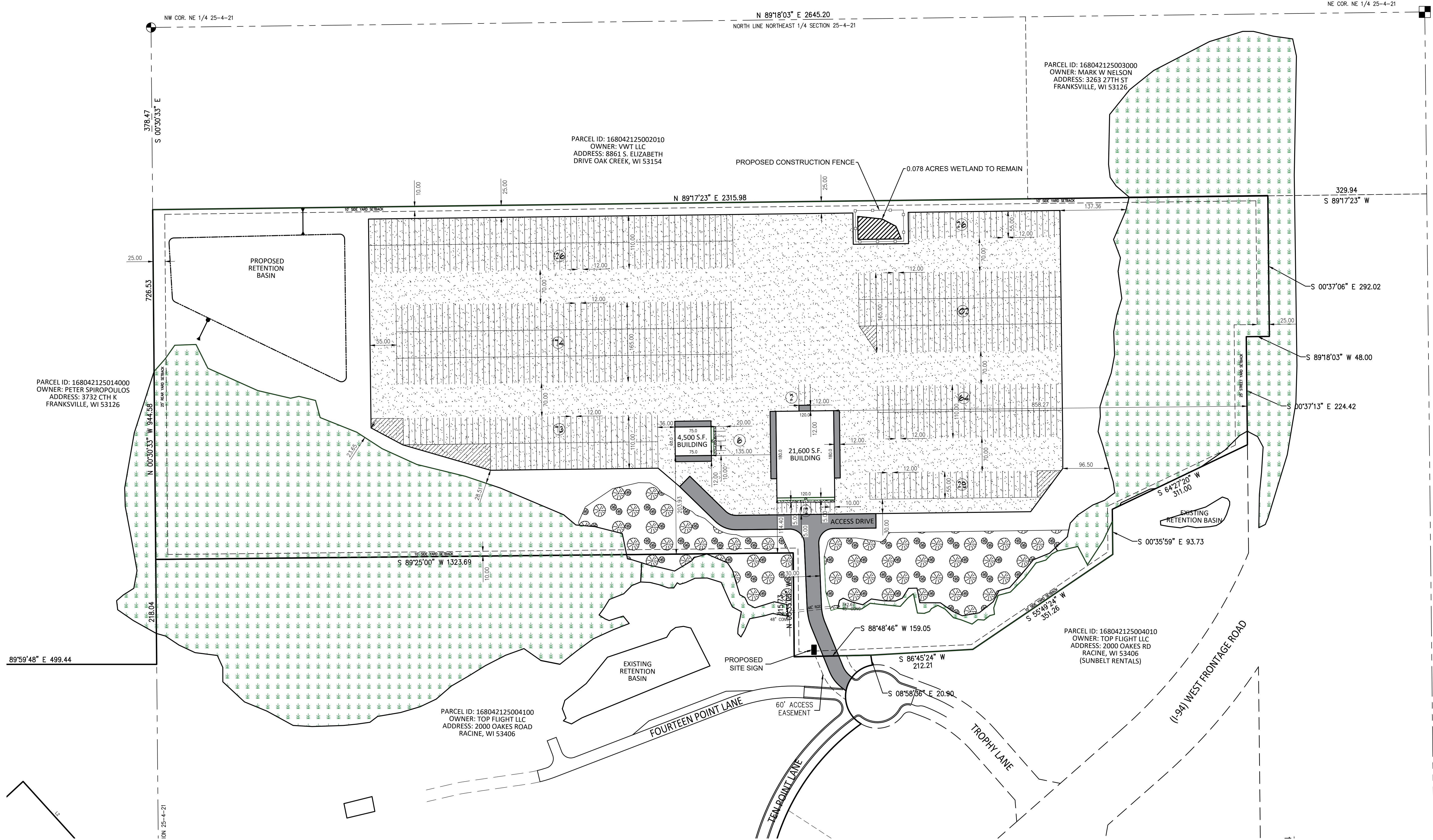
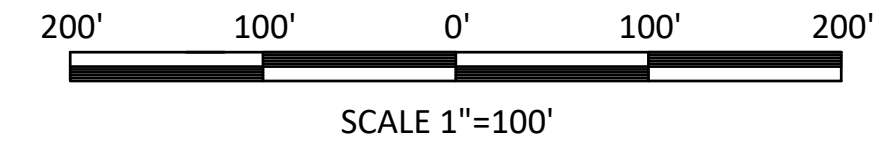
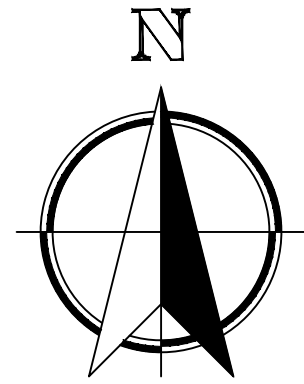
-  WETLAND
-  ENVIRONMENTAL CORRIDOR
-  PROPOSED CONCRETE
-  PROPOSED GRAVEL
-  HEAVY DUTY ASPHALT PAVEMENT
-  6' CONSTRUCTION FENCE

PARKING STALL DATA

REGULAR PARKING SPACES	18
TRAILER PARKING SPACES	594
LOADING DOCK SPACES	2
TOTAL PARKING SPACE	611

B-3 ZONING SETBACKS

STREET YARD	25'
SIDE YARD	10'
REAR YARD	25'
SHORE YARD	75'



IH-94

EAST LINE NORTHEAST 1/4 SECTION 25-4-21

RAYMOND CROSSROADS
DIMENSIONED SITE PLAN
FOR
RAYMOND 40, LLC
VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

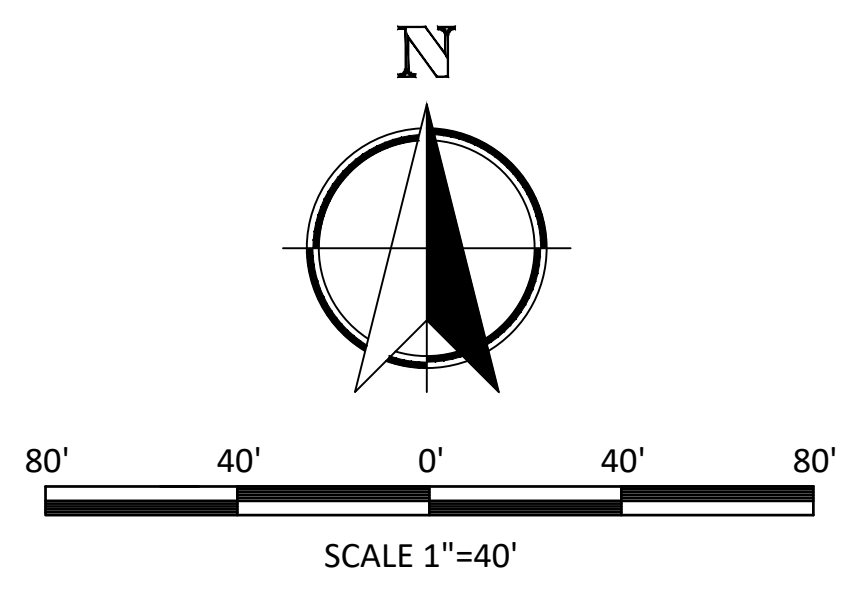
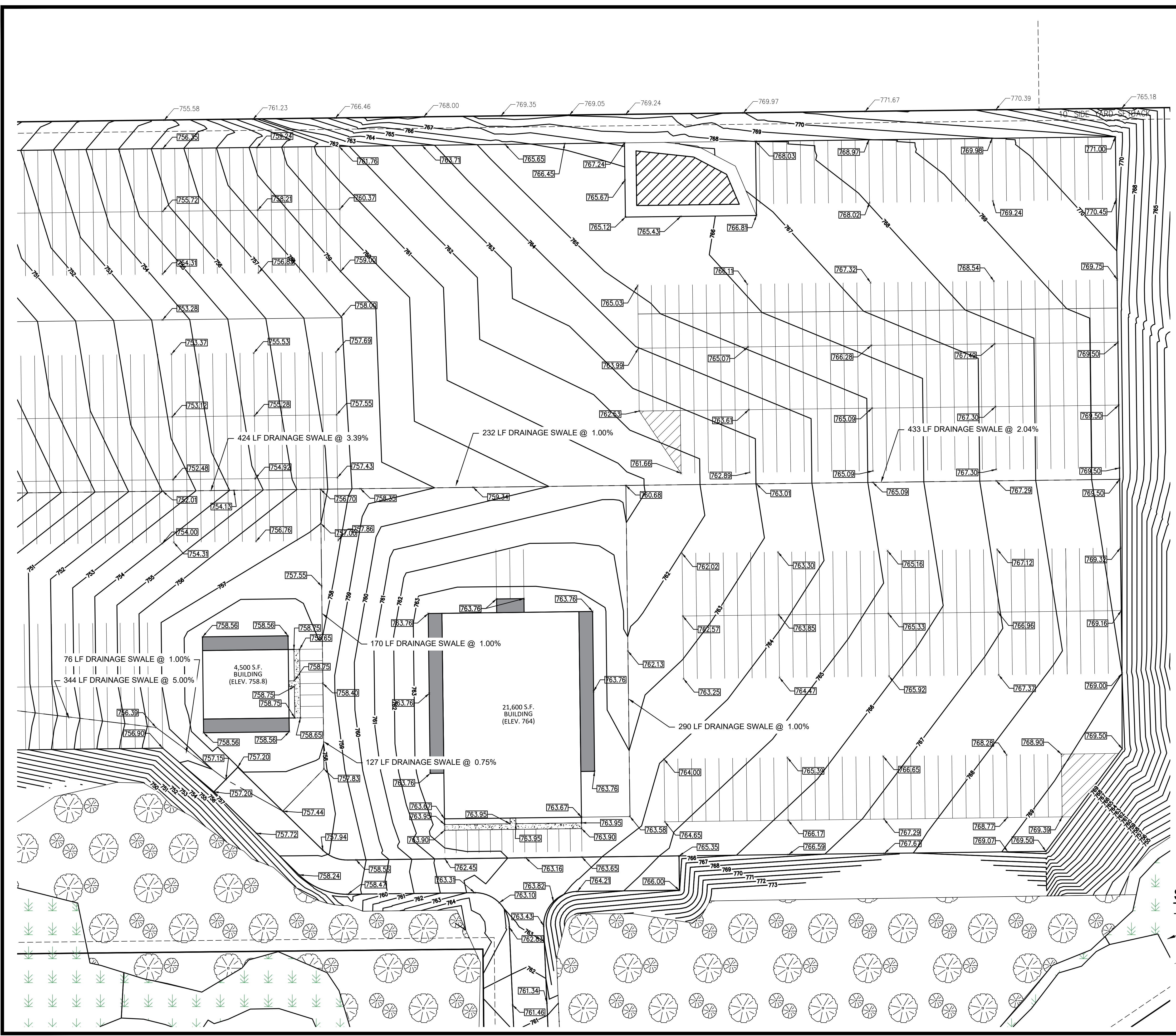
PROJ. MGR: MRM
DRAFTED: JRT
DATE: 05-28-2021
CHECKED: ALI
DATE: 06-22-2021

2013.0019.12

SHEET
C-3

Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

Wednesday, June 23, 2021 11:12:18 AM



SITE GRADING LEGEND
 —702— PROPOSED CONTOURS
 [804.85] PROPOSED SPOT GRADE
 [604.88] EXISTING SPOT GRADE

mb
 Nielsen Madsen + Barber
 CIVIL ENGINEERS AND LAND SURVEYORS
 1458 Horizon Blvd., Suite 200, Racine, WI. 53406
 Tele: (262)634-5588 Website: www.nmbssc.net

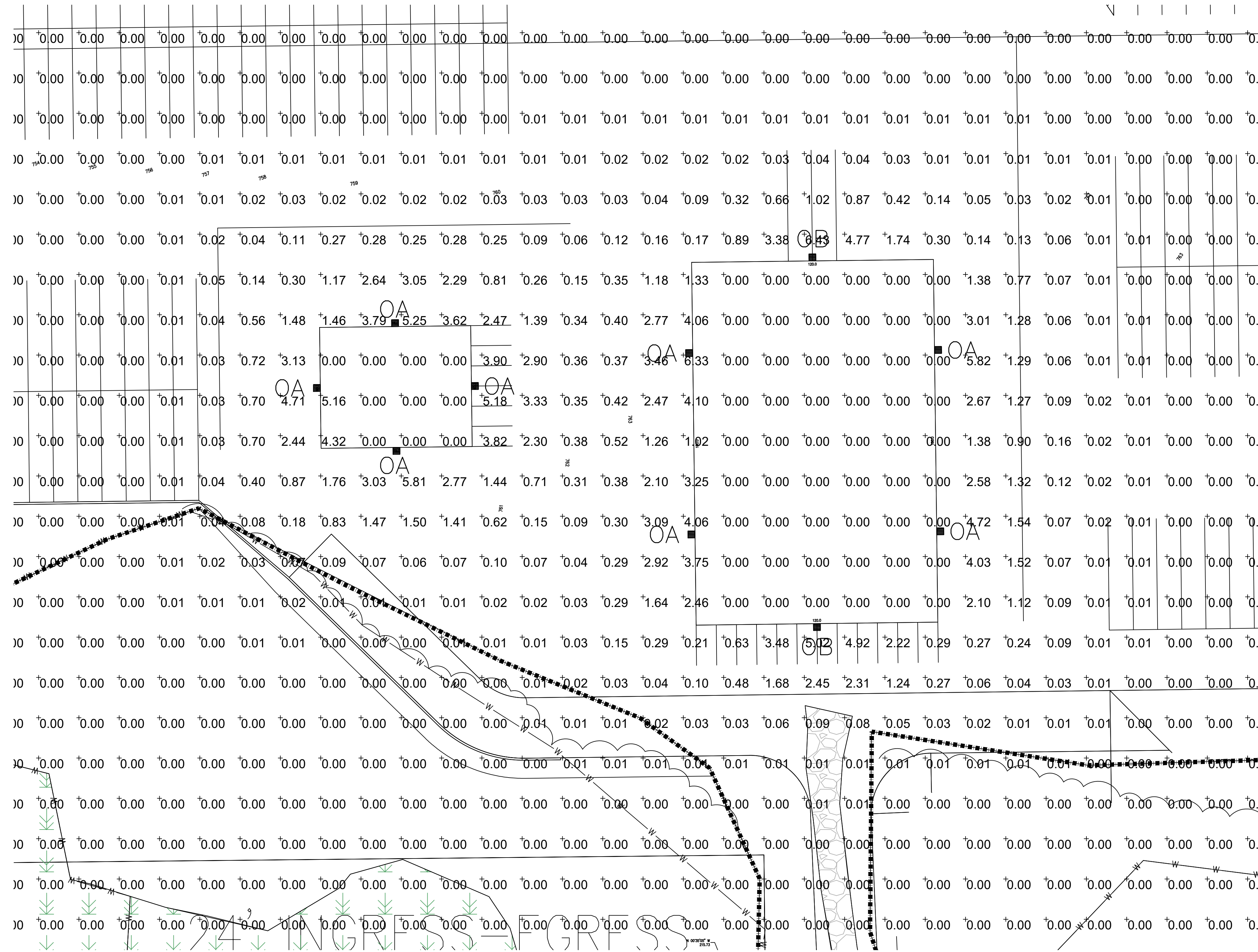
RAYMOND CROSSROADS
 BUILDING & TRAILER PARKING AREA
 GRADING PLAN
 FOR
 RAYMOND 40, LLC
 VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: MRM
 DRAFTED: JRT
 DATE: 05-28-2021
 CHECKED: ALI
 DATE: 06-22-2021

2013.0019.12
 SHEET
C-7

ISSUE FOR APPROVAL: 06-23-2021



1 ENLARGED SITE PHOTOMETRICS AROUND BUILDINGS
 1" = 30'
 0 30'

LIGHTING FIXTURE SCHEDULE															
TYPE	DESCRIPTION	MFG.	CATALOG NO.	VOLTAGE	NO.	LAMP	BALLAST/DRIVER	TOTAL FIXTURE LBS	POLE (MAX. FIXTURE LBS @ 90 MPH)	TOTAL FIXTURE EPA	MAX POLE EPA (90MPH WIND)	LINE AMPS	WATTS	MOUNT	NOTES
OA	TYPE IV CUT OFF WALL PACK WITH HOUSE SHIELD	McGRAW-EDISON	GWC-SA2-C-730-U-T4W-BZ WITH LS/HSS HOUSE SHIELD	120-277	1	LED, 3,000K, 11,648 LUMENS, 103 LPW	1050mA LED	-	-	-	-	1.02/56/48/42	113	SURFACE	1,2
OB	TYPE III CUT OFF WALL PACK WITH HOUSE SHIELD	McGRAW-EDISON	GWC-SA2-C-730-U-T3-BZ WITH LS/HSS HOUSE SHIELD	120-277	1	LED, 3,000K, 11,732 LUMENS, 104 LPW	1050mA LED	-	-	-	-	1.02/56/48/42	113	SURFACE	1,2

- 1. DARK BRONZE.
- 2. INCLUDE FIELD INSTALLED HOUSE SIDE SHIELD (TWO REQUIRED).

SHEET INDEX
 E1 SITE LIGHTING PLAN
 E2 LIGHT FIXTURE SCHEDULE, ENLARGED PHOTOMETRIC VIEW
 E3 LIGHT FIXTURE CUT SHEETS, ENERGY CALCULATIONS

REV	DATE	DESCRIPTION

DAVID L. HANSON AND ASSOCIATES, INC.
 6402 32ND AVE.
 KENOSHA, WI 53142
 (262) 654-2010

DATE: 5/18/21

BY: DLH

PROJECT: RAYMOND CROSSINGS
 LIGHT FIXTURE SCHEDULE, ENERGY CALCULATIONS
 FOR
 RAYMOND 40, LLC
 VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

SHEET
E2
 OF 3

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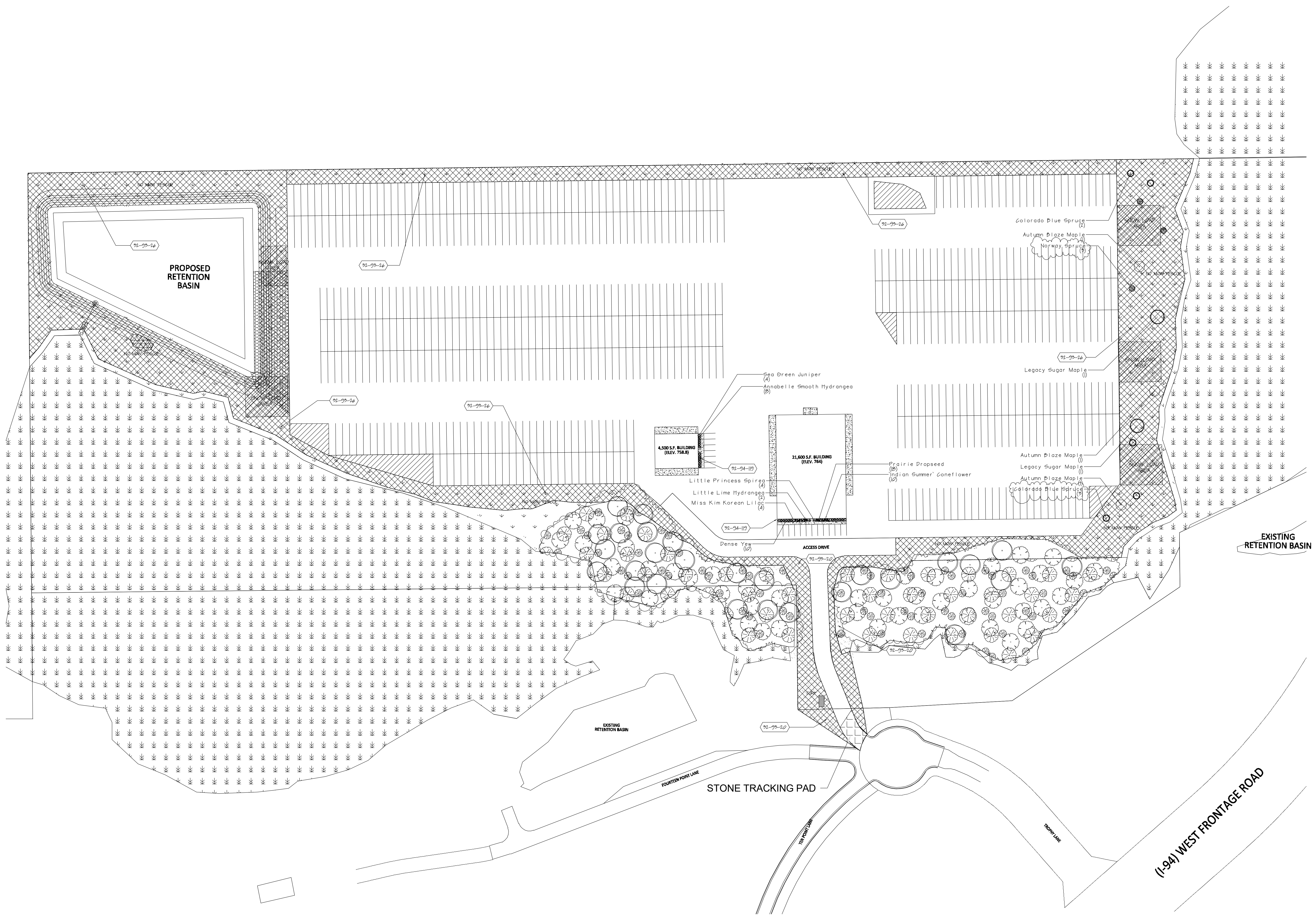
No.	Revision/Issue	Date
1		
2		
3		
4		

RAYMOND CROSSROADS
 LANDSCAPE PLAN
 FOR
RAYMOND 40, LLC
 VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

Thomas H. Nordloh
 Landscape Architect
 Reg. # 057-000624

Project **20210514**
 Date **6-23-21**

Scale
 Sheet
L-1.0



OVERALL LANDSCAPE PLAN
 NO SCALE

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No.	Revision/Issue	Date
1		
2		
3		
4		

RAYMOND CROSSROADS
 LANDSCAPE PLAN
 FOR
 RAYMOND 40, LLC
 VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

Thomas H. Nordloh
 Landscape Architect
 Reg. # 097-000624

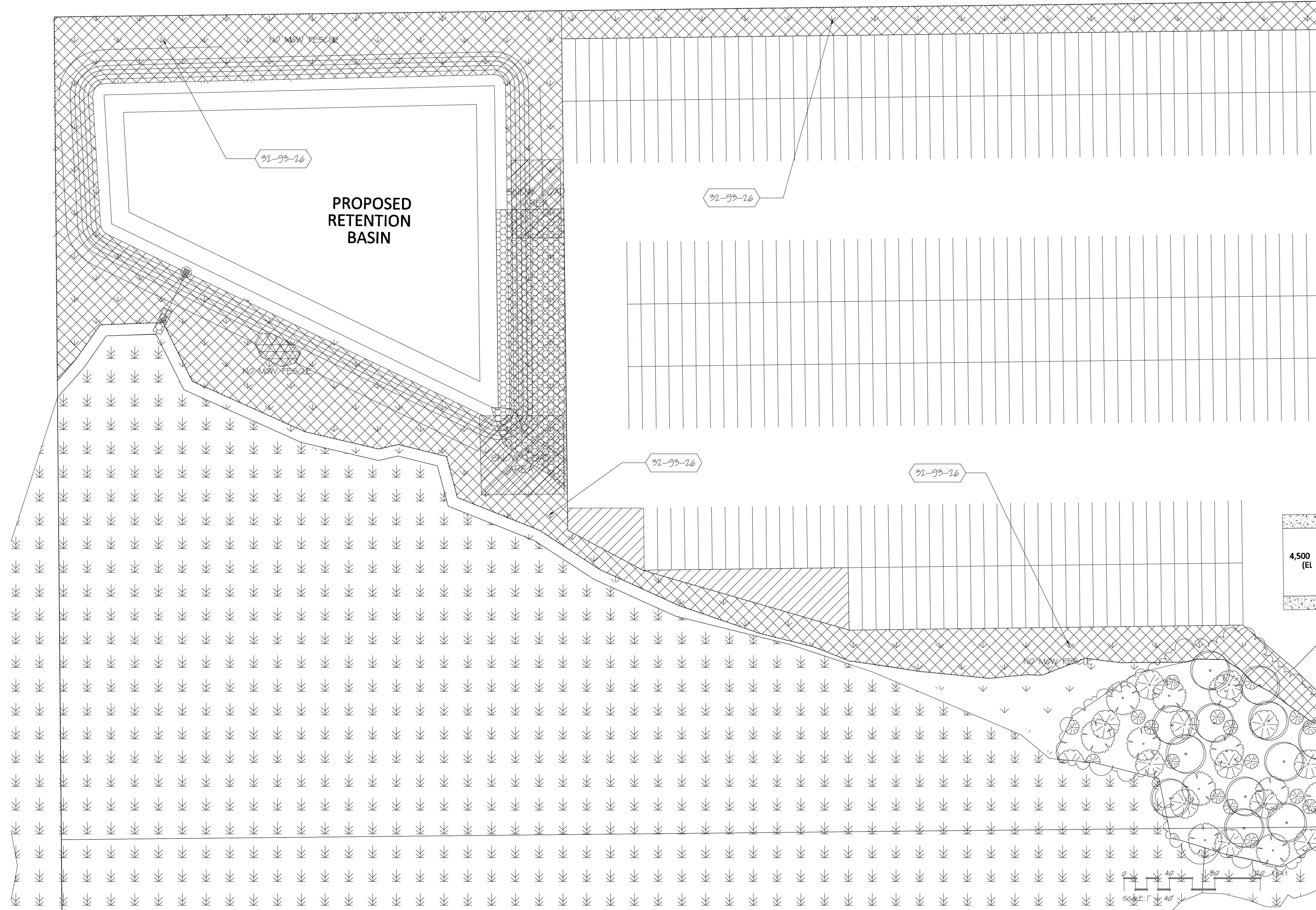
Project: 20210514

Date: 6-23-21

Scale:

Sheet

L-2.0



WEST AREA LANDSCAPE PLAN

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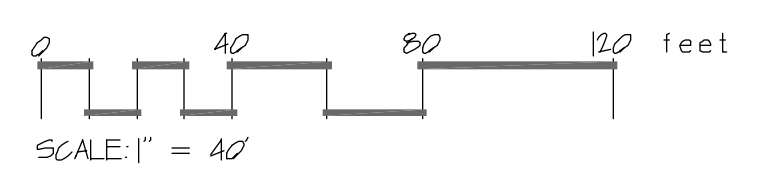
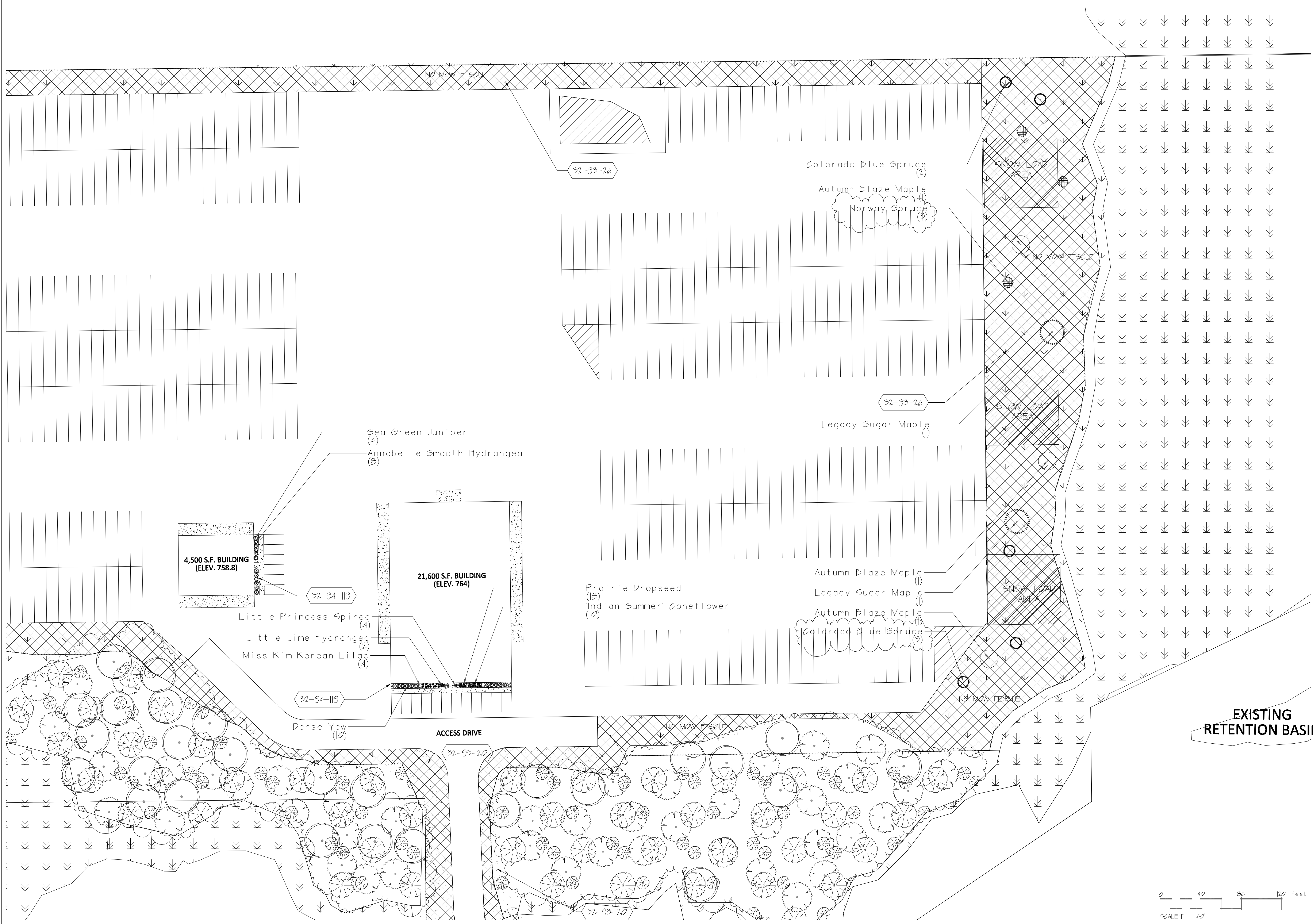


No.	Revision/Issue	Date
1		
2		
3		
4		

RAYMOND CROSSROADS
 LANDSCAPE PLAN
 FOR
 RAYMOND 40, LLC
 VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

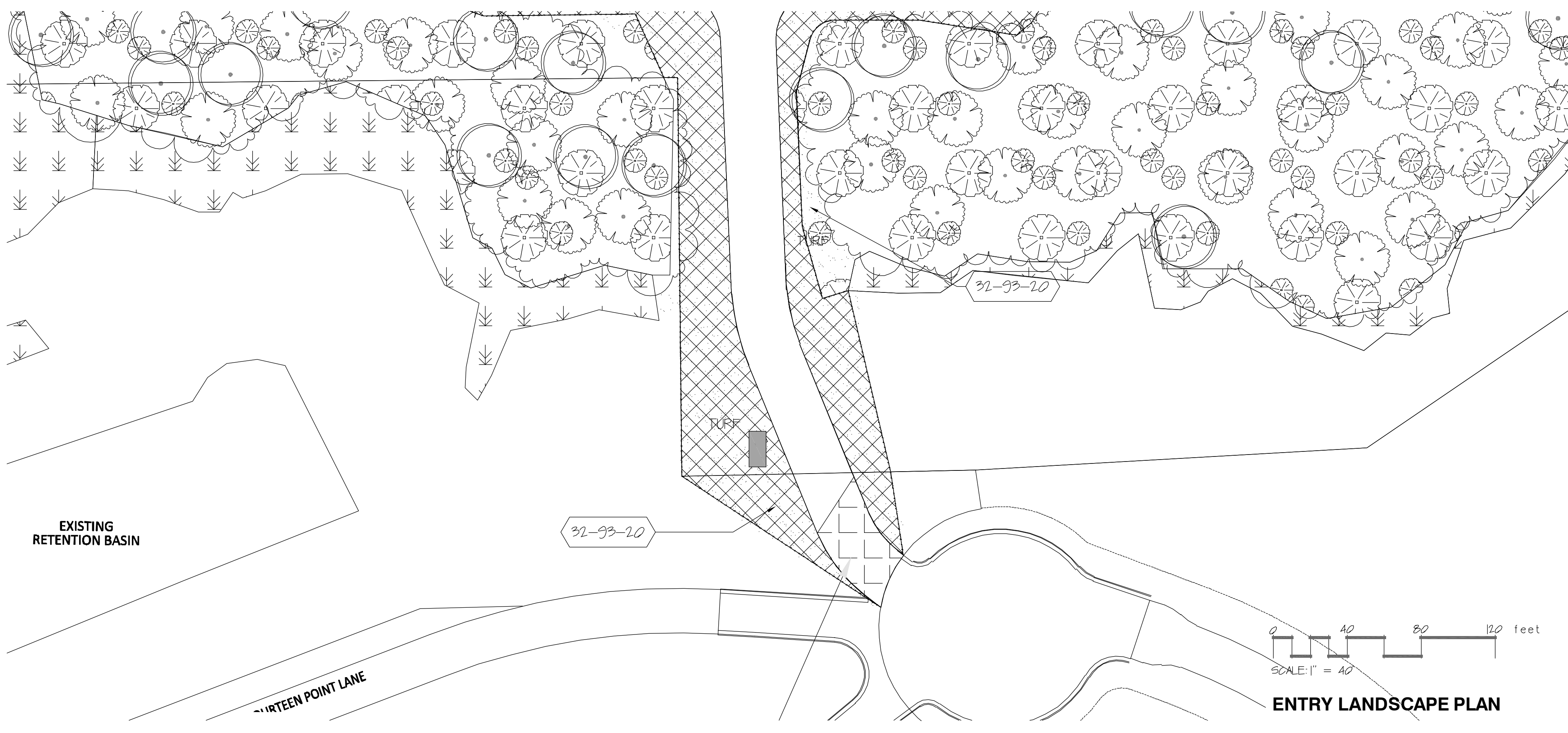
Thomas H. Nordloh
 Landscape Architect
 Reg. # 087-000624
 Project: 20210514
 Date: 6-23-21
 Scale:

Sheet
L-3.0



EAST AREA LANDSCAPE PLAN

Date	
Revision/Issue	
No.	1 2 3 4



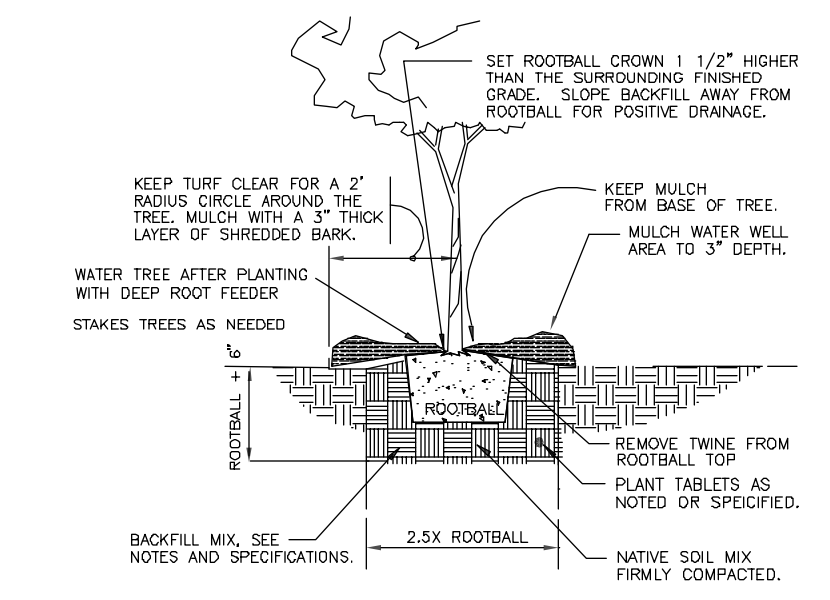
- GENERAL LANDSCAPE NOTES:**
1. Topsoil return to depth of 4" minimum is by excavating contractor. Perms (if applicable) are by others. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.
 2. Always contact Diggers Hotline (800-242-8511) or JILLIE Bill (or 1-800-891-0123) before proceeding with any work.
 3. Landscape contractor is required to visit the site and review all civil plans related to the project. The civil plans take precedence over the landscape plans.
 4. Plant material to be of the highest quality available and should not include #2 grade trees, evergreens or shrubs. Landscape contractor is to verify plant quantities due to changes in the overall phase I landscape plan.
 5. Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by city forester.
 6. Planting beds shall receive a 3" layer of high quality non-dyed shredded hardwood mulch. 3" diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive between a 1-2" layer of shredded bark mulch.
 7. Spade cut plant beds and tree rings with a 4" deep shovel cut.
 8. Perennial and annual beds to have a 2" layer of compost mulch incorporated 6" deep into the planting bed before installation of plants.
 9. Seeded lawn areas to have high quality Bluegrass seed blend for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on fertilizer application rates.
 10. Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade. Peat sod is not acceptable.
 11. Erosion blanket shall be installed on seeded slopes with a grade of 3:1 or less. 90 day single net, double net or Turf Reinforcement Mats shall be installed per the required use. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1st) or mid-summer installations or where ever applicable to promote healthy turf establishment.
 12. Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth of the landscape.
 13. If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. Seed areas may require additional time for proper establishment.
 14. Warranty of plants, trees, evergreens, shrubs shall be for a period of 18 months from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.

PLANT SCHEDULE

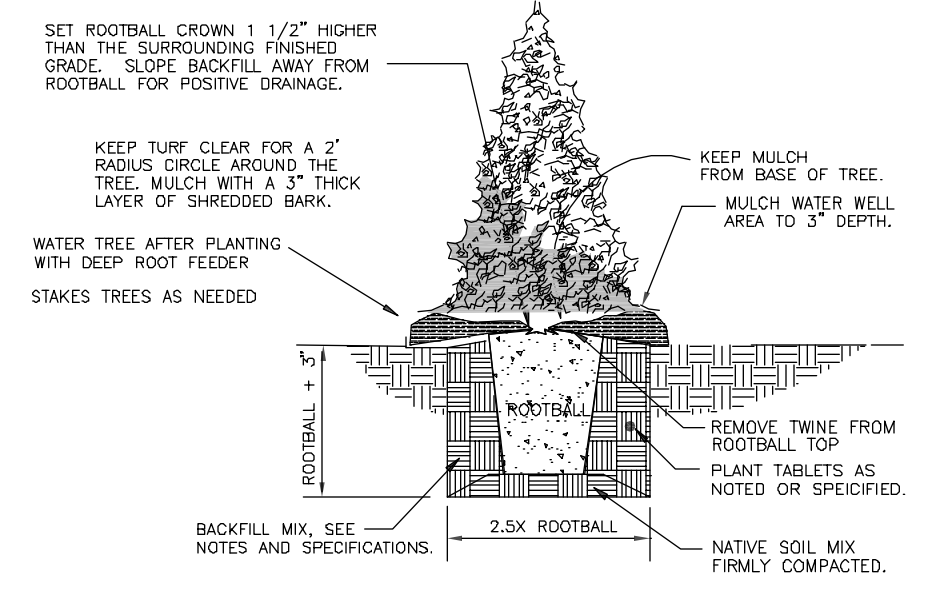
TREES	COMMON NAME	SIZE	CONTAINER	QTY
Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5" Cal.	B&B	3
Acer saccharum 'Legacy'	Legacy Sugar Maple	2.5" Cal.	B&B	2
EVERGREEN TREES	COMMON NAME	SIZE	CONTAINER	QTY
Picea abies	Norway Spruce	6'	B&B	3
Picea pungens glauca	Colorado Blue Spruce	6'	B&B	5
SHRUBS	COMMON NAME	SIZE	CONTAINER	QTY
Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	5 gal		3
Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	3 gal		2
Spiraea x bumalda 'Little Princess'	Little Princess Spirea	5 gal		4
Syringa pubescens 'Miss Kim'	Miss Kim Korean Lilac	5 gal		4
ANNUALS/PERENNIALS	COMMON NAME	SIZE	CONTAINER	QTY
Rudbeckia fulgida 'Indian Summer'	'Indian Summer' Coneflower	1 gal		10
GRASSES	COMMON NAME	SIZE	CONTAINER	QTY
Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 gal		18
SHRUB EVERGREENS	COMMON NAME	SIZE	CONTAINER	QTY
Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal		4
Taxus x media 'Densiformis'	Dense Yew	24"	B&B	10

REFERENCE NOTES SCHEDULE

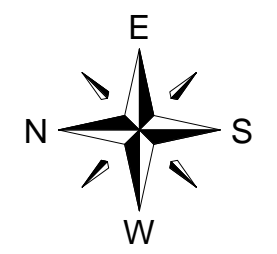
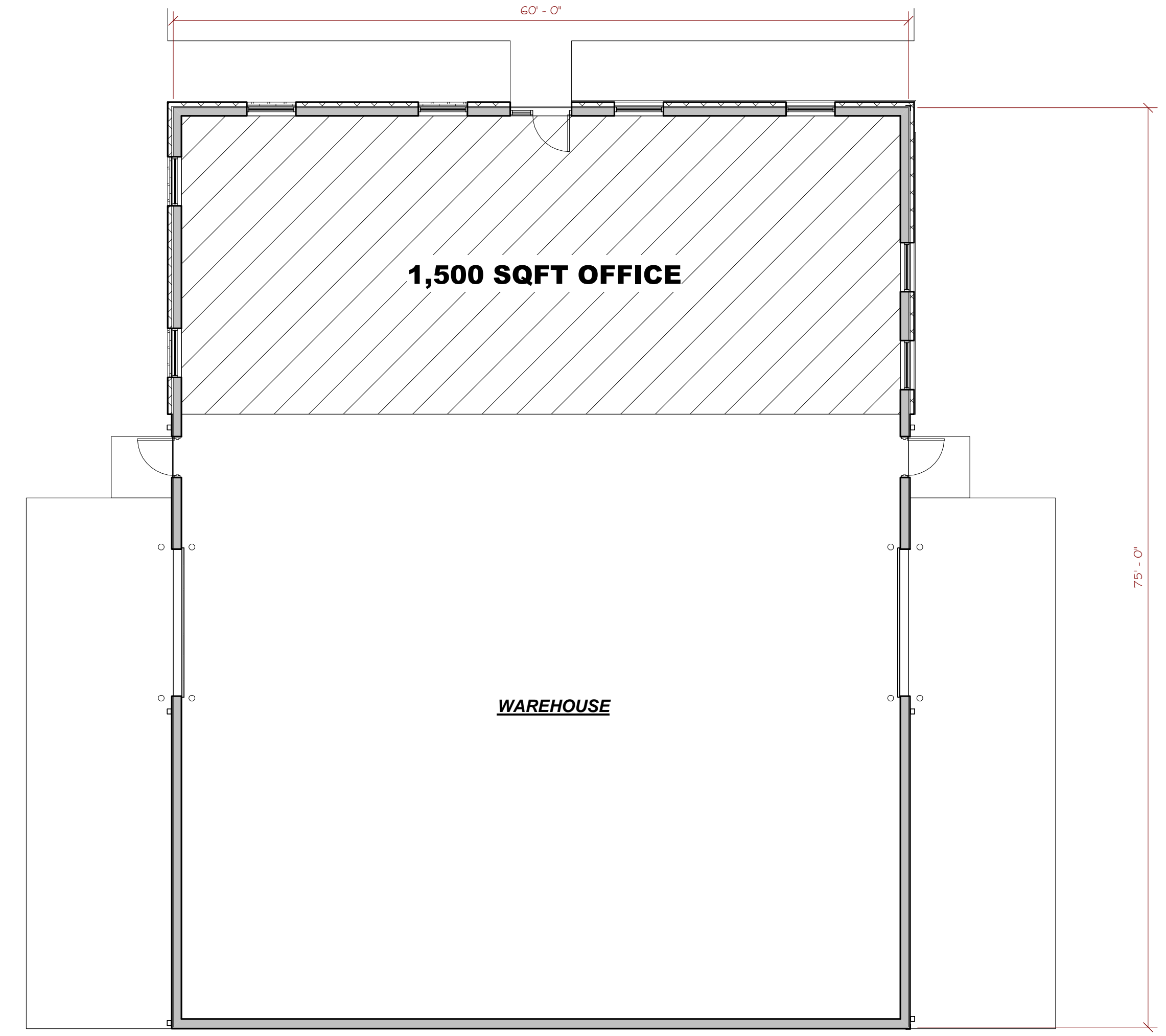
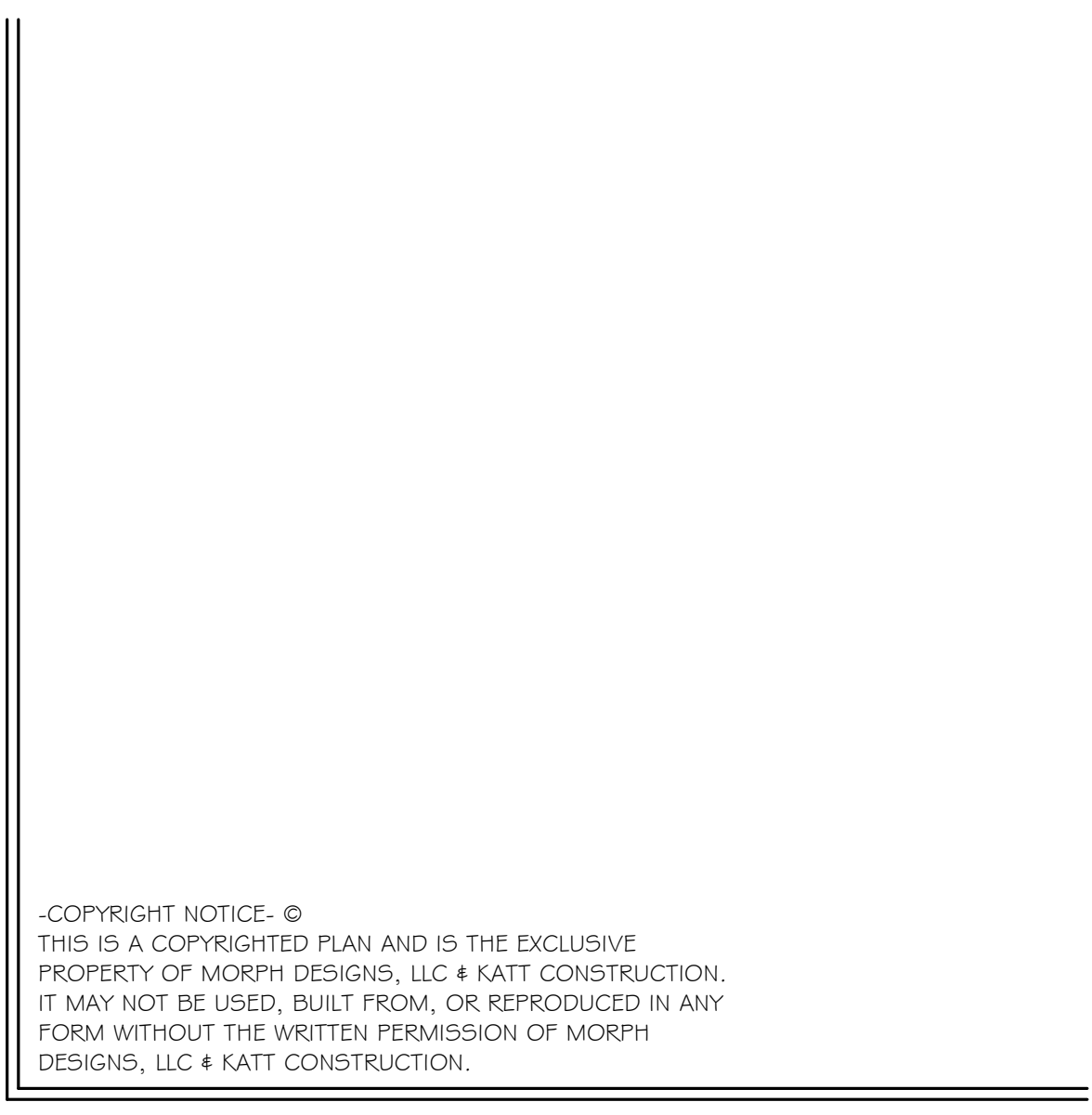
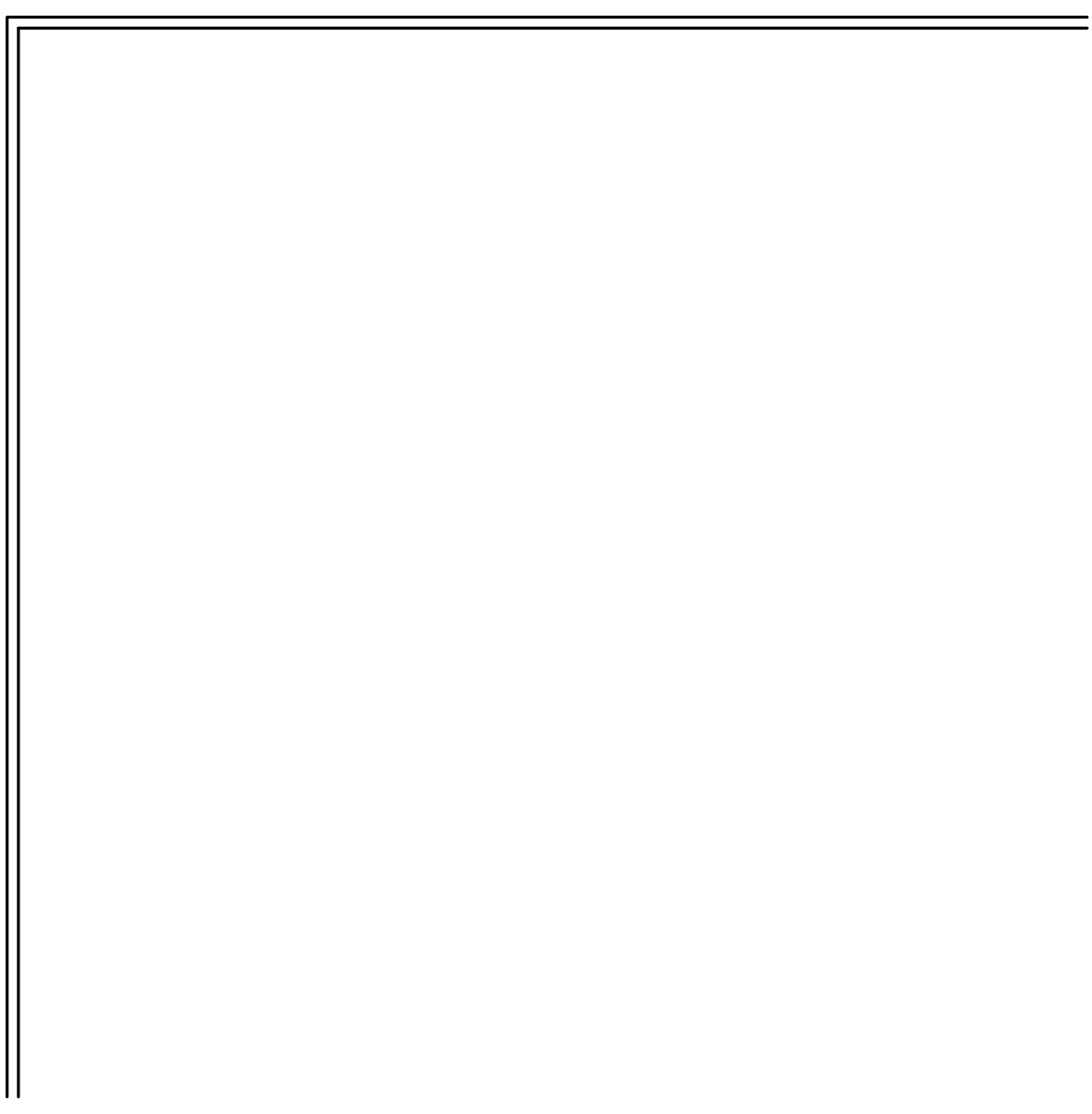
SYMBOL	PLANTING DESCRIPTION	QTY
32-93-20	REINDARS PREMIUM 60 TURF-SEED AND DN EROSION BLANKET	21,011 sf
32-93-26	NO-MOW FESCUE AND DN EROSION BLANKET	236,986 sf



100 TREE PLANTING DETAIL



102 EVERGREEN PLANTING DETAIL



FLOOR PLAN - BUILDING #1
SCALE: 1/8" = 1'-0"

MORPH DESIGNS, LLC
Commercial & Residential
Building & Structural
Design Services
Phone: 920-948-7975
email: morphdesigns@sbcglobal.net

KATT CONSTRUCTION
436 FOUR MILE ROAD
RACINE, WI 53402
262-320-7700

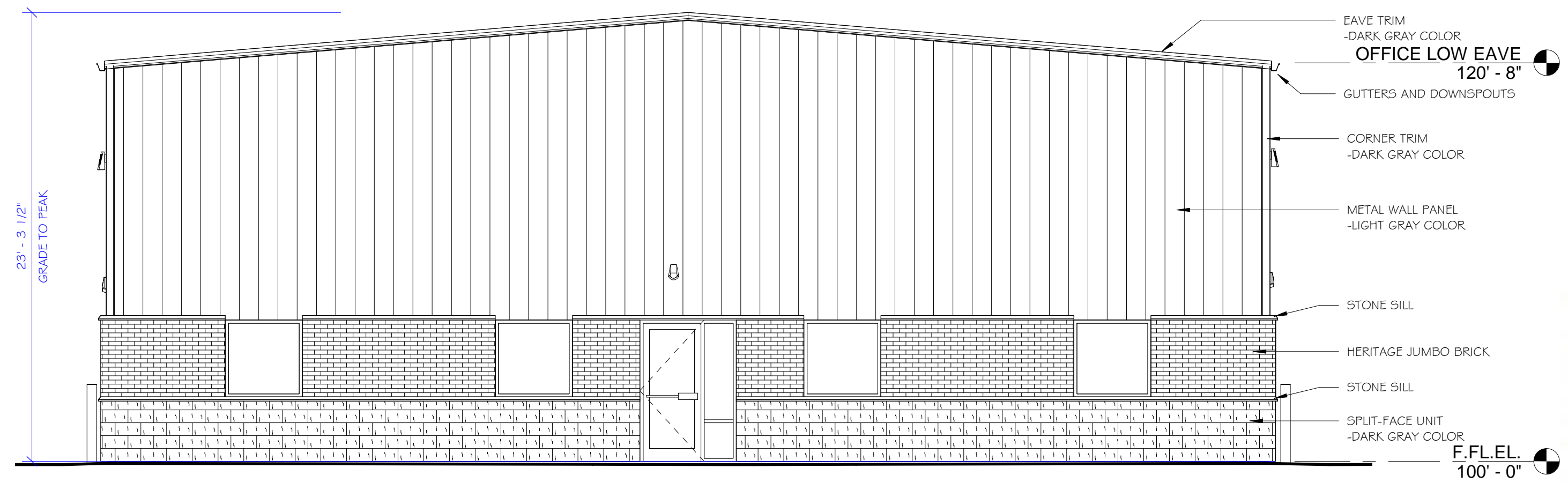
PRELIMINARY
PC 6-21-2021

RAYMOND 40, LLC
RAYMOND CROSSROADS
I-94 & HIGHWAY K
VILLAGE OF RAYMOND, WISCONSIN

PROJECT DATA
DATE:
JOB NUMBER:
SHEET NUMBER:

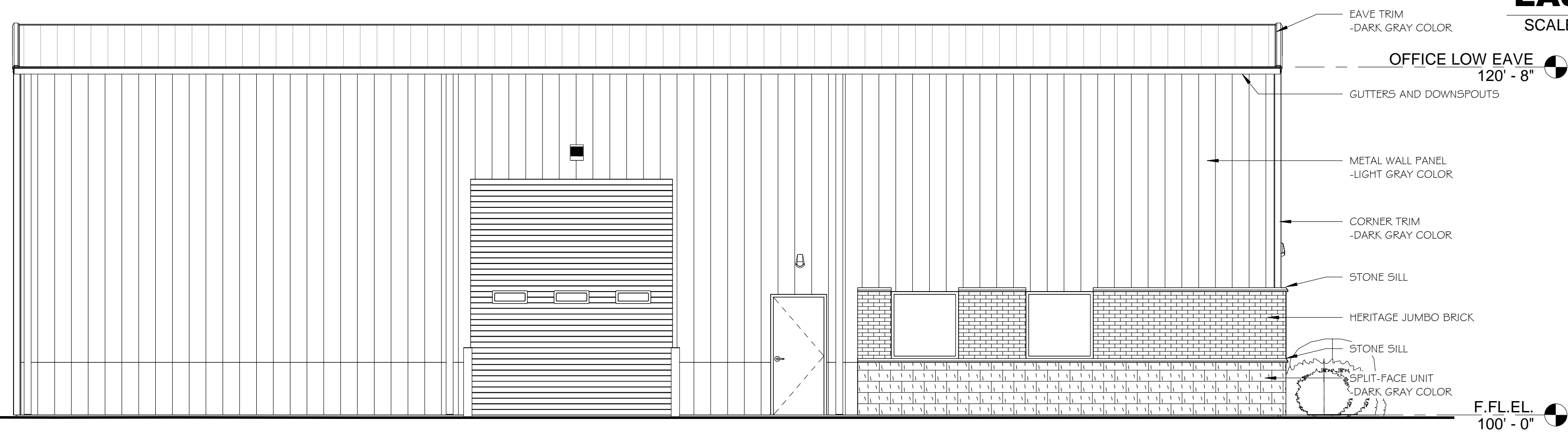
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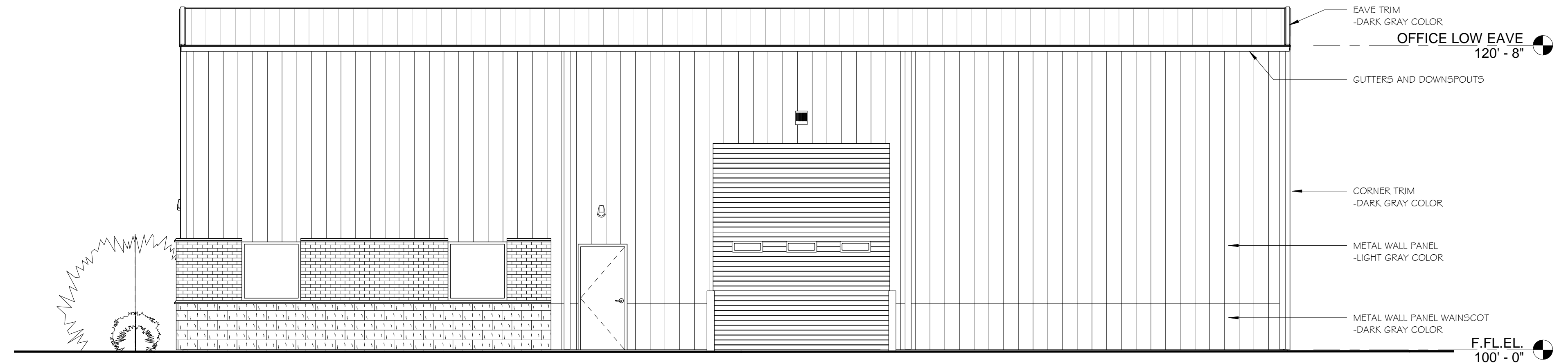
EAST BUILDING ELEVATION - BUILDING #1

SCALE: 3/16" = 1'-0"



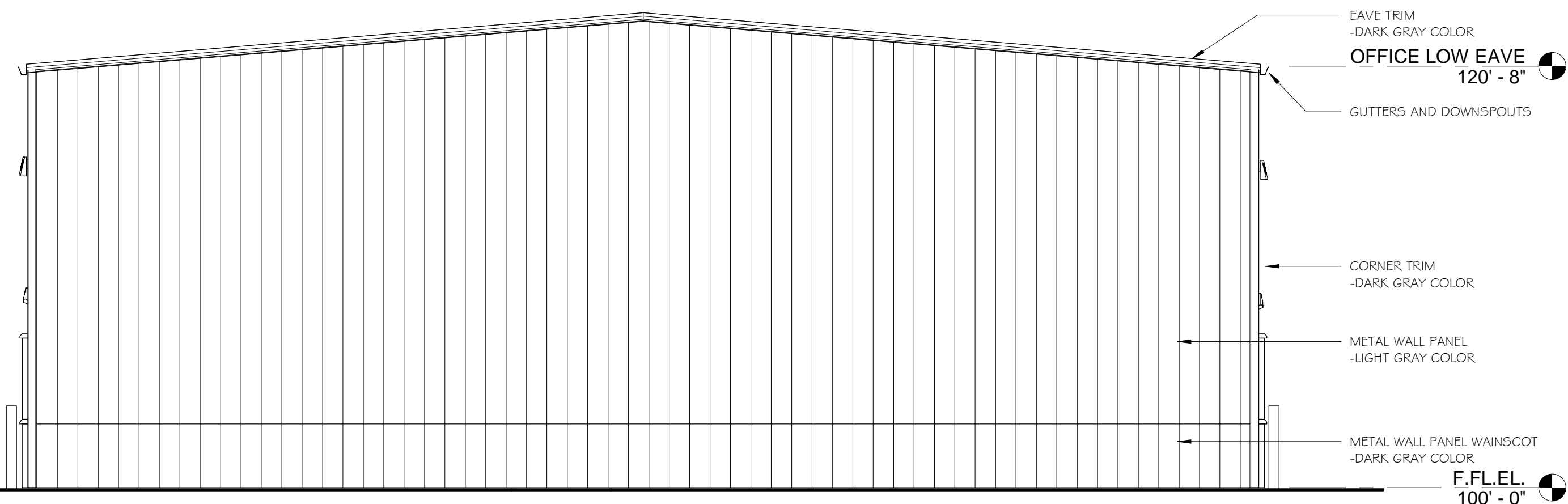
SOUTH BUILDING ELEVATION - BUILDING #1

SCALE: 3/16" = 1'-0"



NORTH BUILDING ELEVATION - BUILDING #1

SCALE: 3/16" = 1'-0"



WEST BUILDING ELEVATION - BUILDING #1

SCALE: 3/16" = 1'-0"

MORPH DESIGNS, LLC
Commercial & Residential
Building & Structural
Design Services
Phone: 920-948-7975
email: morphdesigns@sbcglobal.net

KATT CONSTRUCTION
436 FOUR MILE ROAD
RACINE, WI 53402
262-320-7700

PRELIMINARY

PC 6-21-2021

RAYMOND 40, LLC
RAYMOND CROSSROADS
I-94 & HIGHWAY K
VILLAGE OF RAYMOND, WISCONSIN

PROJECT DATA

DATE:

JOB NUMBER:

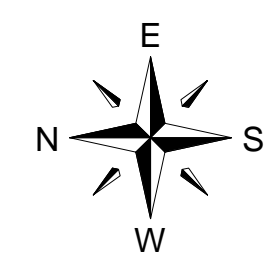
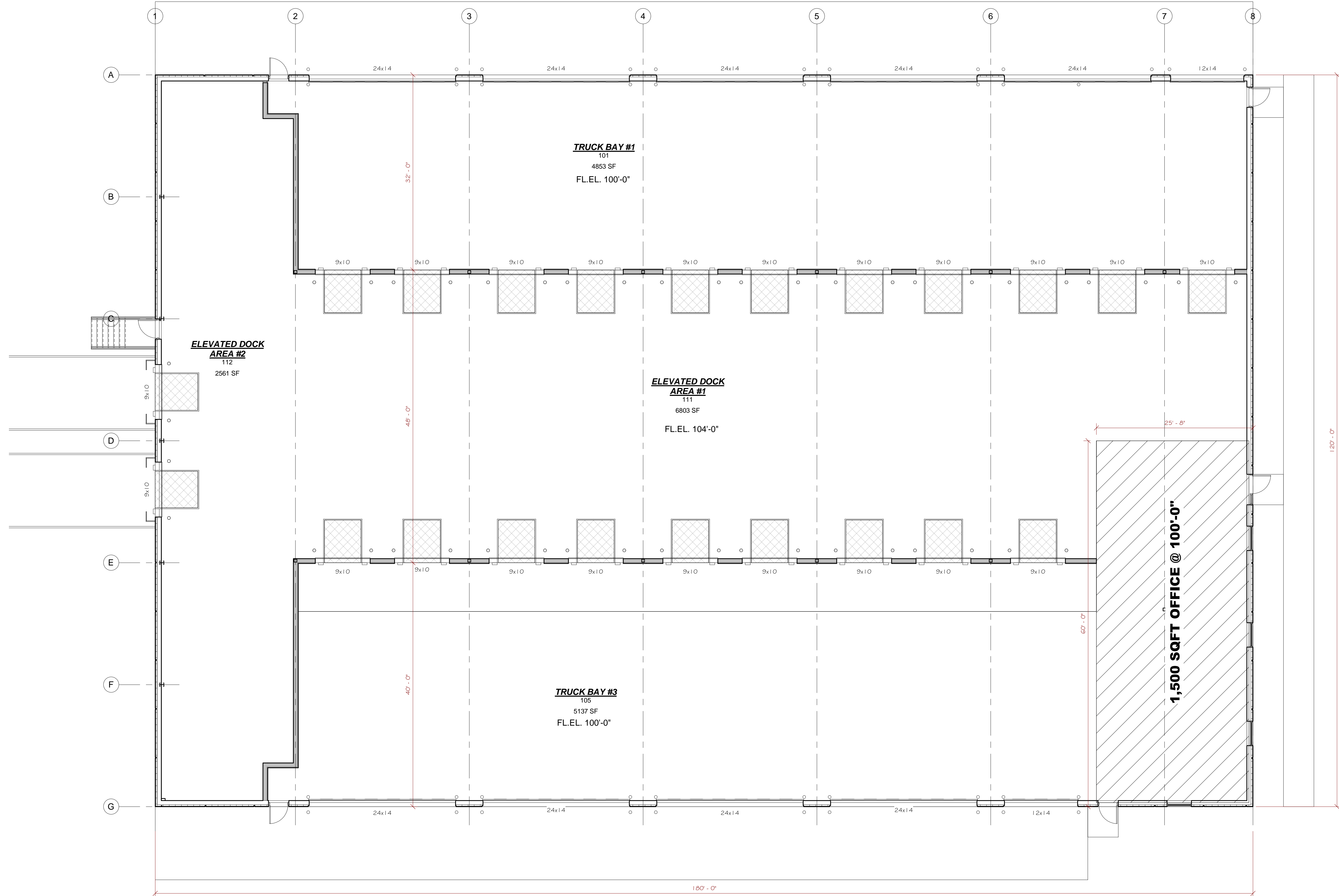
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A-201

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6/21/2021 4:50:37 PM



FLOOR PLAN - BUILDING #2

SCALE: 1/8" = 1'-0"

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Phone: 920-948-7975
email: morphdesigns@sbcglobal.net

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436 FOUR MILE ROAD
RACINE, WI 53402
262-320-7700

PRELIMINARY

PC 6-21-2021

RAYMOND 40, LLC
RAYMOND CROSSROADS
I-94 & HIGHWAY K
VILLAGE OF RAYMOND, WISCONSIN

PROJECT DATA

DATE:

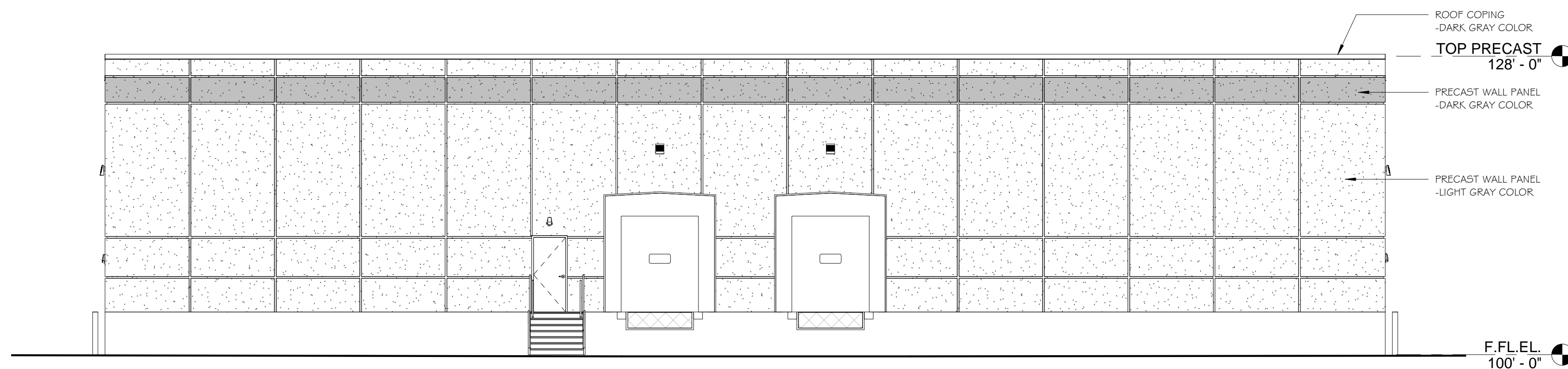
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SHEET NUMBER:

NOT FOR CONSTRUCTION

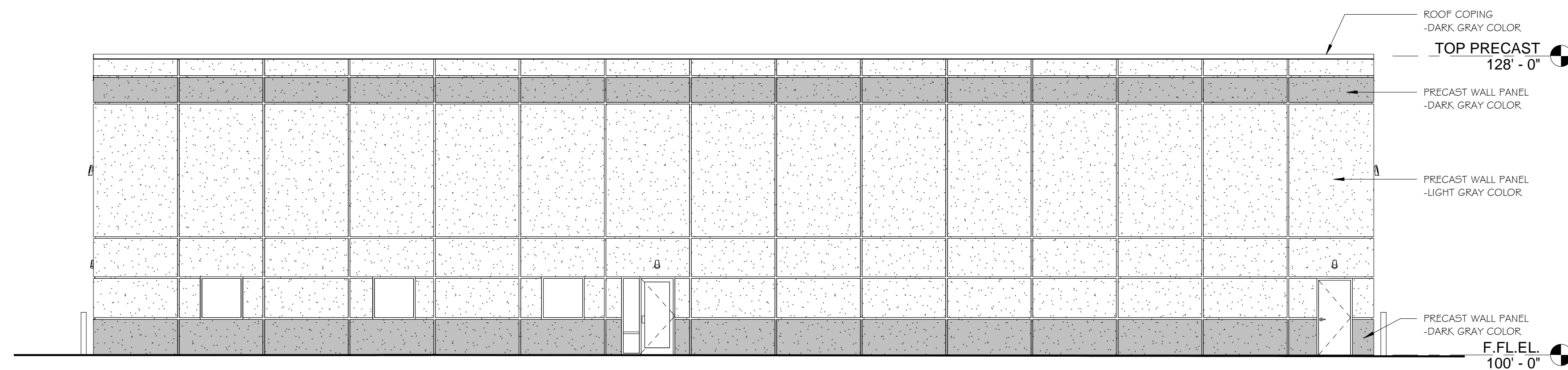
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6/21/2021 1:50:35 PM



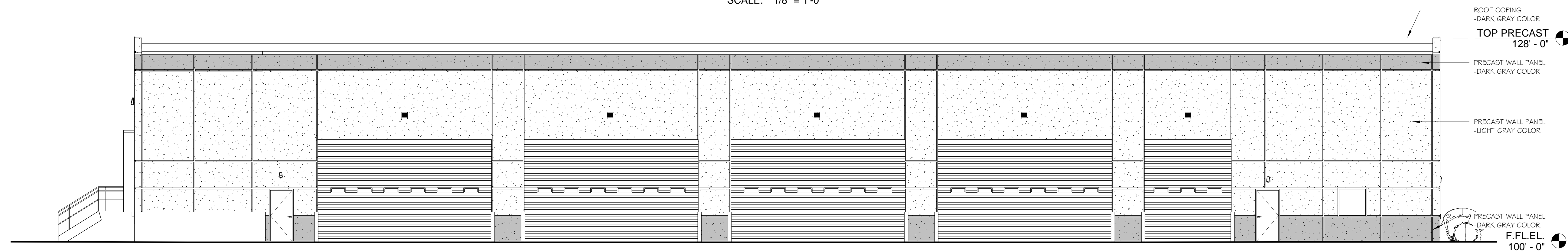
NORTH BUILDING ELEVATION - BUILDING #2

SCALE: 1/8" = 1'-0"



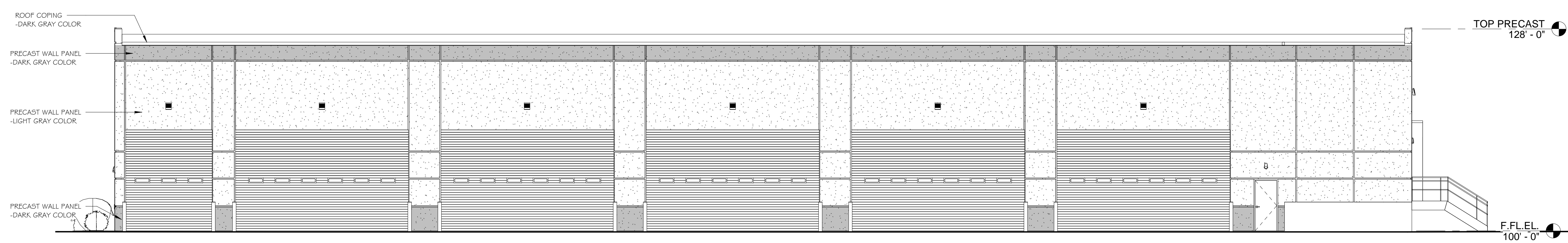
SOUTH BUILDING ELEVATION - BUILDING #2

SCALE: 1/8" = 1'-0"



WEST BUILDING ELEVATION - BUILDING #2

SCALE: 1/8" = 1'-0"



EAST BUILDING ELEVATION - BUILDING #2

SCALE: 1/8" = 1'-0"

MORPH DESIGNS, LLC
Commercial & Residential
Building & Structural
Design Services
Phone: 920-948-7975
email: morphdesigns@sbcglobal.net

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CONSTRUCTION
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RACINE, WI 53402
262-320-7700

PRELIMINARY
PC 6-21-2021

RAYMOND 40, LLC
RAYMOND CROSSROADS
I-94 & HIGHWAY K
VILLAGE OF RAYMOND, WISCONSIN

PROJECT DATA
DATE:
JOB NUMBER:
SHEET NUMBER:

A-202

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Bridget Weasler <bridget@frontlinecre.com>

Mitigation Requirements: Frontline Development - Raymond Crossroads: EXE-SE-2021-52-02062

Dillenburg, Marty R - DNR <marty.dillenburg@wisconsin.gov>
To: Bridget Weasler <bridget@frontlinecre.com>
Cc: "Pearce, Thomas K - DNR" <Thomas.Pearce@wisconsin.gov>

Fri, May 28, 2021 at 12:26 PM

Dear Ms. Weasler,

DNR has completed its review of the proposed Frontline Development - Raymond Crossroads project impacting wetlands located in Section 25, Township 04N, Range 21E, Village of Raymond, Racine County. The project will result in the impact to a total of 0.992 acres of wetlands. Wisconsin DNR has determined that mitigation for the above mentioned wetland impacts will be accomplished through the purchase of Wetland Conservation Trust credits (ILF Program), as there are no private mitigation banks available in the SW Lake Michigan Service Area.

If mitigation credits are not purchased within 100 days from the date of this email the exemption request will be dismissed.

Wetland Conservation Trust Credits:

Contact Wisconsin DNR Wetland Conservation Trust Program (Tom Pearce, 608-264-8554, Thomas.Pearce@wisconsin.gov)

Purchase the following credits:

(0.762 impact acres X 1.45 credits per acre = **1.105 credits**)*

To help facilitate these purchases, Tom Pearce (DNR Wetland Conservation Trust Program) has been copied on this email.

Once you receive an affidavit of purchase from the ILF Program, please forward that information to Tom Nedland (Thomas.nedland@wisconsin.gov) and I. Please note that DNR cannot issue our permit approval until we receive the affidavit of credit purchases.

Please let me know if you have any questions about this email.

Sincerely,
Marty Dillenburg

We are committed to service excellence.

Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

Marty Dillenburg

Water Management Specialist – Waterways and Wetlands
Wisconsin Department of Natural Resources

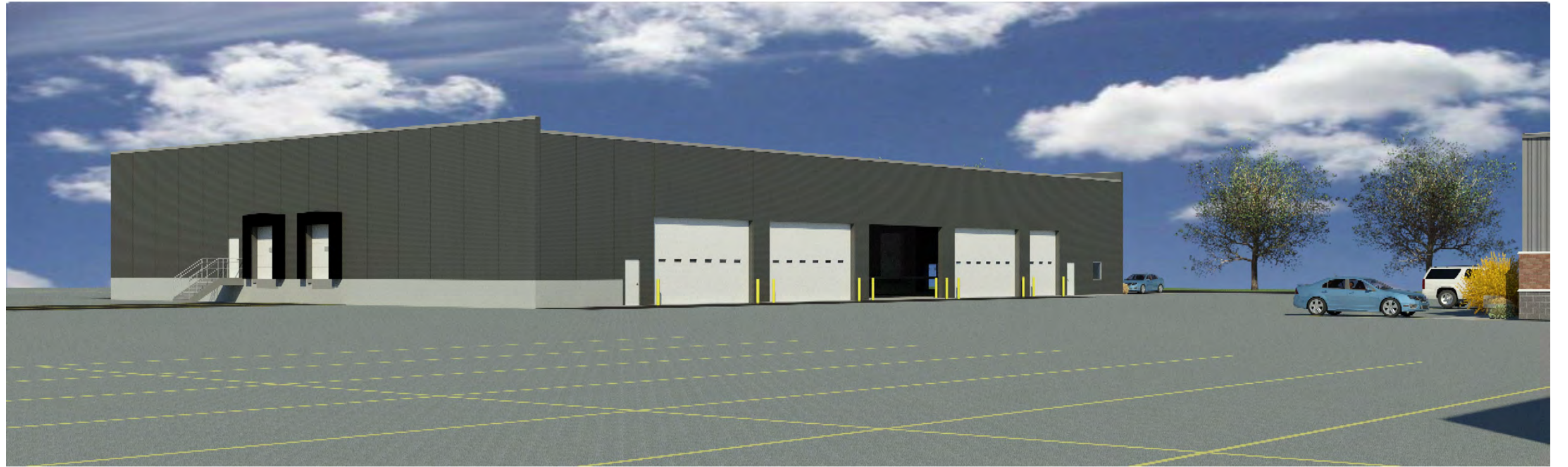
7725 Highway 28

Horicon, WI 53032

Phone: (920) 296-6507

marty.dillenburg@wisconsin.gov













PLAN COMMISSION REPORT

Proposal: Sign Plan Review

Description: Review a sign plan for installation of a multiple wall signs, menu board signs, and a monument sign with an electronic message center for the proposed commercial building located at 4542 Douglas Avenue.

Applicant(s): Lora Martinson

Address(es): 4542 Douglas Avenue

Suggested Motion: That the Plan Commission recommends that the Village Board approve the sign plan submitted by Lora Martinson on behalf of GiGi North LLC as presented for the property located at 4542 Douglas Avenue for the following reason:
1. The proposed number, height and size of signs are permissible through the sign plan review process.

Owner(s): GiGi North LLC

Tax Key(s): 104-04-23-29-168-000

Lot Size(s): 1.89 acres

Current Zoning District(s): B-2, Community Business District, B-3 Commercial Service District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Commercial and Industrial

Background: The applicant is requesting approval of a master sign plan for the Culver’s restaurant located at 4542 Douglas Avenue. The applicant is proposing to construct a monument sign, two menu boards for the drive through facility, and four wall signs. Sign code limits the number of signs for a single tenant building to two signs per street frontage not including window signs or directional signs. The applicant is seeking a total of seven signs. The zoning code allows modifications to the sign regulations sign size and number if a master sign plan is submitted and approved by the Village.

Monument Sign:

The proposed sign will be 45.75 square feet in area and contain an electronic message board that is 12 square feet in area and be 8 feet in height. Monument signs cannot exceed 48 square feet in area and no more than 30% of the overall sign can be an electronic message board and cannot exceed 8 feet in height. This sign complies with code. The sign will be located in the northeast corner of the parcel meeting minimum setback requirements.

Menu Board Signs:

There are two proposed menu boards. Each will be 46.3 square feet in area and be 6'3" in height and have changeable copy panels. These signs comply with height and size regulations. These signs are located on the northeast portion of the building.

Wall Signs:

There are four proposed wall signs. On the east elevation of the building there will be one wall sign that is 29.12 square feet in area. On the west elevation of the building there will be a 29.15 and 3.42 square-foot wall sign. On the south elevation there will be a 46.67 square-foot wall sign. The south elevation sign exceeds the 32 square-foot maximum. The other signs meet this requirement.

Directional Signs:

There are two proposed directional signs. These signs will be located internally to show where the drive thru entrance is located. The signs are 1'4" in height and 3.24 square feet in area. These dimensions comply with directional sign regulations. These types of signs do not count towards the two sign per street frontage regulation.

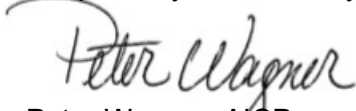
Window Signs:

There are multiple windows signs proposed on the entry signs. These signs do not cover more than 20% of the window area and complies with code. These types of signs do not count towards the two sign per street frontage regulation.

The proposed sign plan includes the proposed walls signs, monument sign, directional signs, window signs, and menu board signs. This plan does not include interior signs. The applicant is requesting approval of installing a wall sign exceeding the maximum size on the south elevation and for more than two signs per street frontage. Staff recommends approval of the proposed sign plan as it does not create confusion or clutter along the road landscape with signs.

If the Plan Commission is comfortable with the proposed sign plan, a suggested motion has been prepared at the beginning of this report.

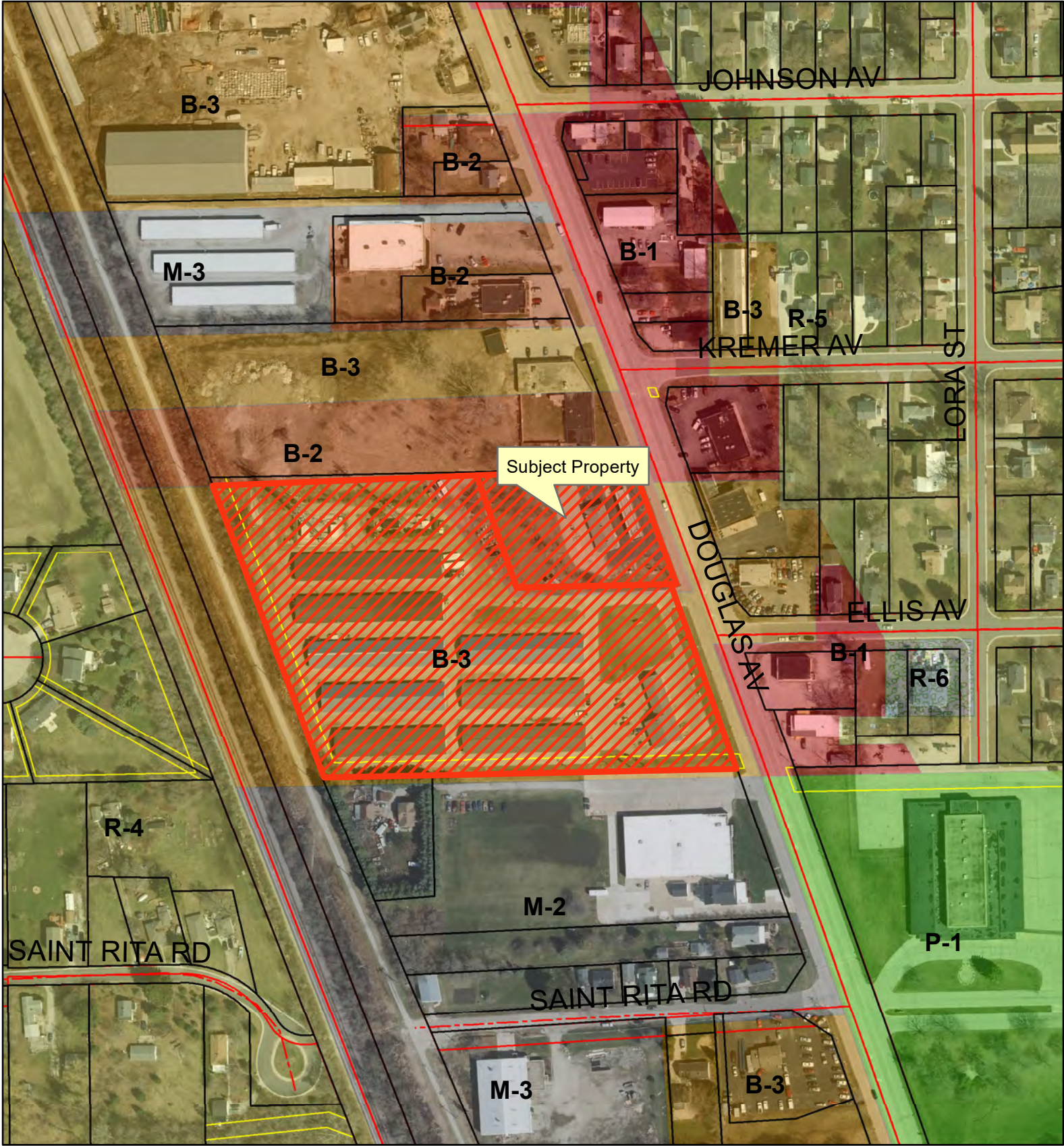
Respectfully submitted by:




Peter Wagner, AICP
Development Director

Location Map

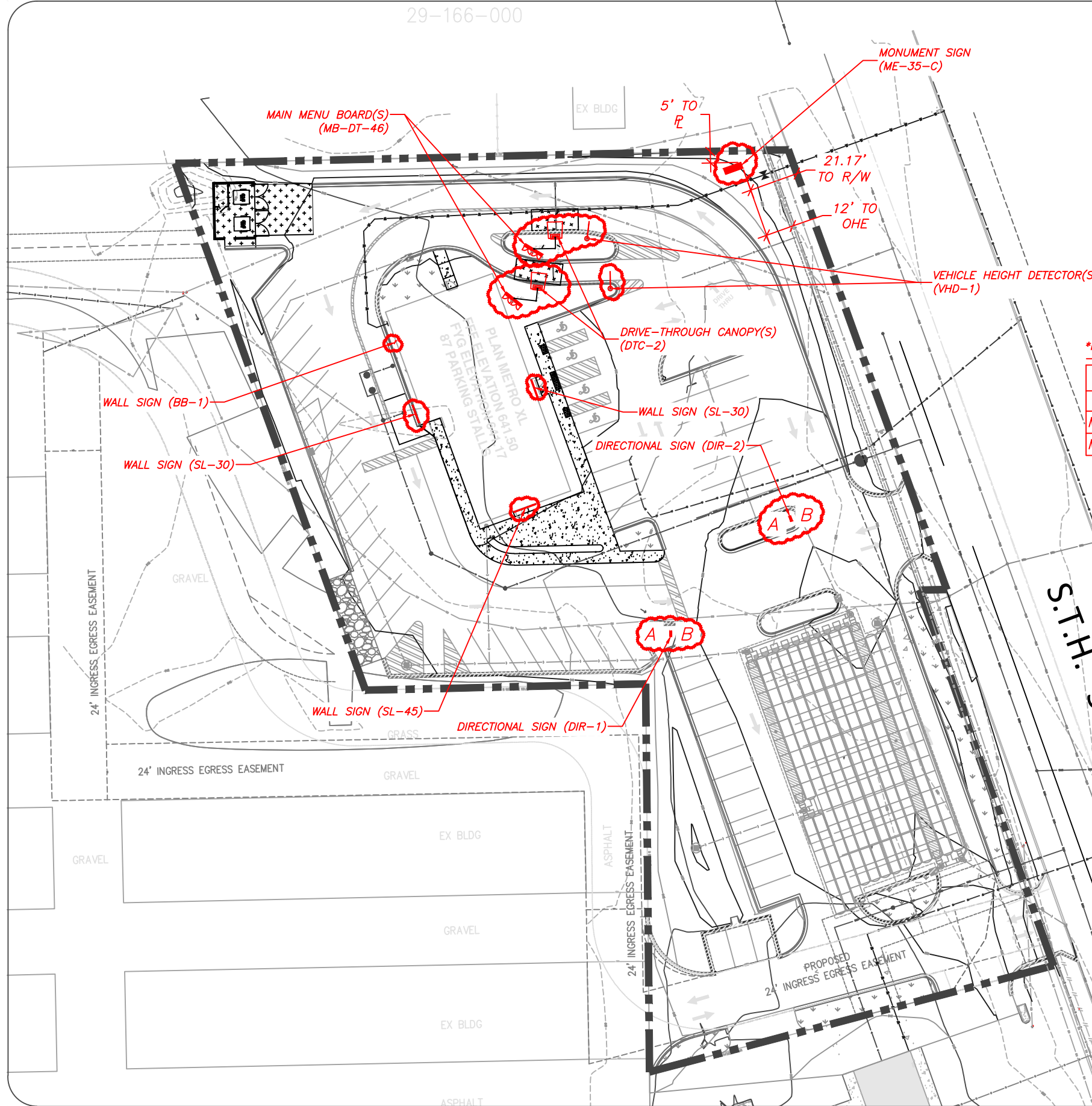
4542 Douglas Avenue



Legend

 4542_Douglas

29-166-000



*MONUMENT SIGN AREA IS AREA OF RECTANGLE ENCLOSEING OVAL SIGN + RECTANGULAR AREA OF EMC VISUAL OPENING -SEE ARTWORK

MONUMENT SIGN AREA CALCULATIONS		
SIGN	SIZE (APPROX.)	*AREA
ME-20	(7'-6" (W) x 4'-6" (H)) + (6'-0" (W) x 2'-0" (H))	*45.75 S.F.

MONUMENT SIGN TOTAL = *45.75 S.F.

WALL SIGN AREA CALCULATIONS		
SIGN	SIZE (APPROX.)	AREA
SL-45	10'-0" (W) x 4'-8" (H)	46.67 S.F.
SL-30	7'-10 1/2" (W) x 3'-8 3/8" (H)	29.12 S.F.
SL-30	7'-10 1/2" (W) x 3'-8 3/8" (H)	29.12 S.F.
BB-1	17.665" (W) x 27.875" (H)	3.42 S.F.

WALL SIGN TOTAL = 108.33 S.F.

*MENU BOARD SIGN AREA IS SUM OF INDIVIDUAL AREA'S OF VISUAL OPENINGS -SEE ARTWORK

MENU BOARD AREA CALCULATIONS		
SIGN	SIZE (APPROX.)	AREA
MB-DT-46	8'-10 1/4" (W) x 5'-2 3/4" (H)	46.30 S.F.
MB-DT-46	8'-10 1/4" (W) x 5'-2 3/4" (H)	46.30 S.F.

MENU BOARD TOTAL = 92.60 S.F.

DIRECTIONAL SIGN AREA CALCULATIONS		
SIGN	SIZE (APPROX.)	AREA
DIR-1	2'-3 7/8" (W) x 1'-4 3/4" (H)	3.24 S.F.
DIR-2	2'-3 7/8" (W) x 1'-4 3/4" (H)	3.24 S.F.

DIRECTIONAL SIGN TOTAL = 6.48 S.F.

OVERALL SIGN AREA TOTAL = 253.16 S.F.

LOCATION: RACINE, WI

Client: **SPRINGFIELD SIGN**
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client: Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

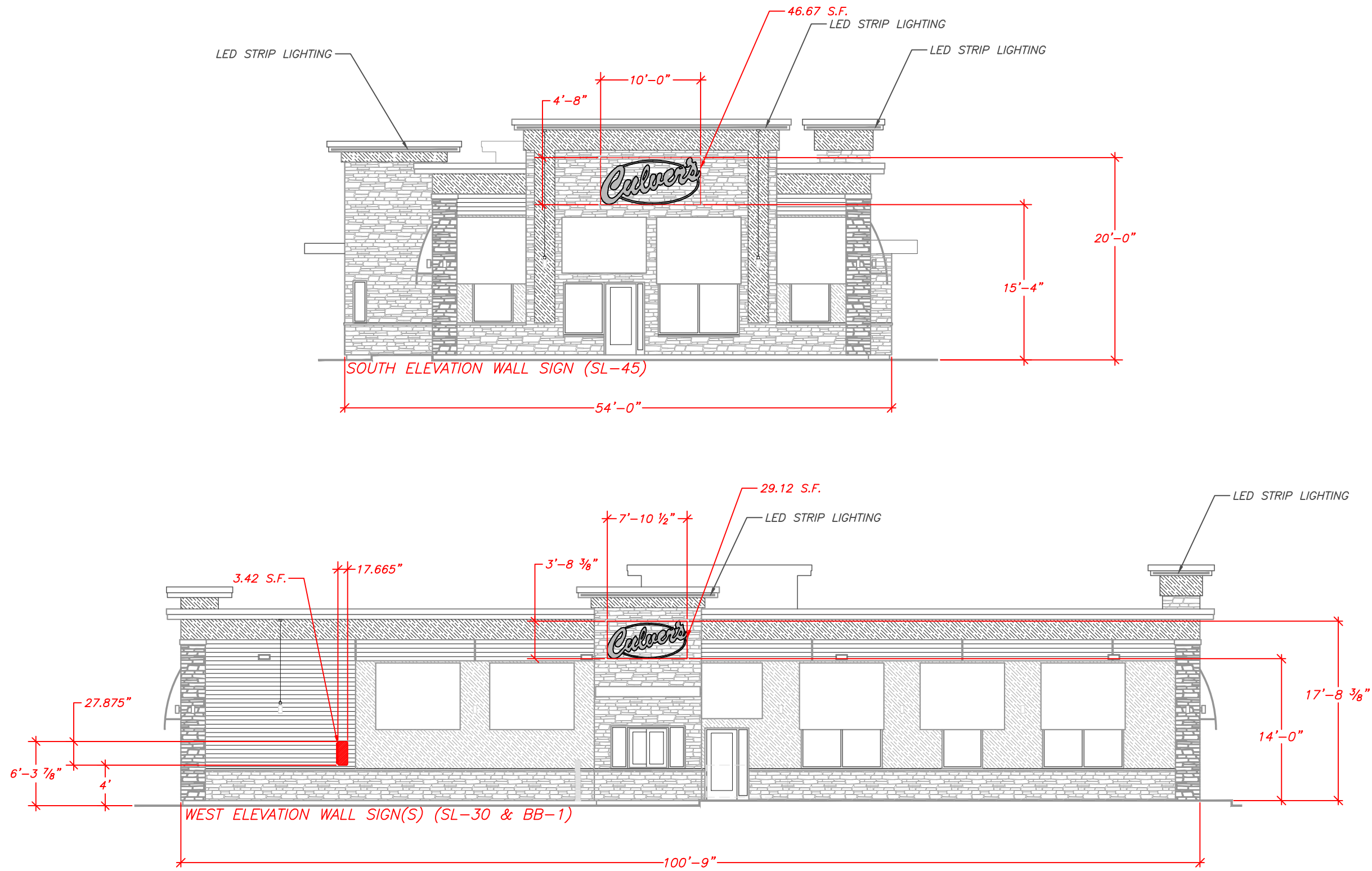
CULVER FRANCHISING SYSTEM, INC.
NEW CULVER'S-SIGNAGE
4542 DOUGLAS AVE.
RACINE, WI 53402
SIGN PLACEMENT PLAN



SCALE 1" = 50'

Project No.: 27980
Drawn By: DEN
Reviewed By: MW
Date: 7-14-21

Sheet Number: **1 OF 1**



SCALE 3/32" = 1"

LOCATION: RACINE, WI

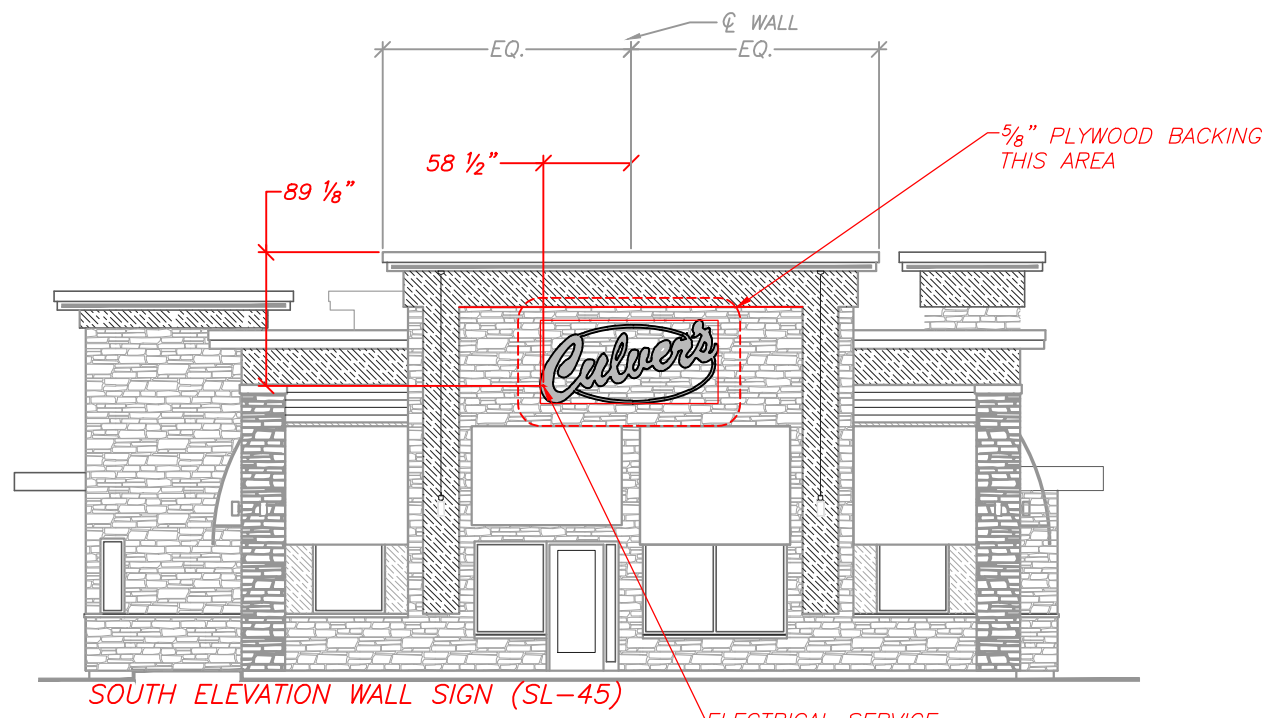
SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
NEW CULVER'S-SIGNAGE
ELEVATIONS SHOWING PROPOSED
WALL SIGNS

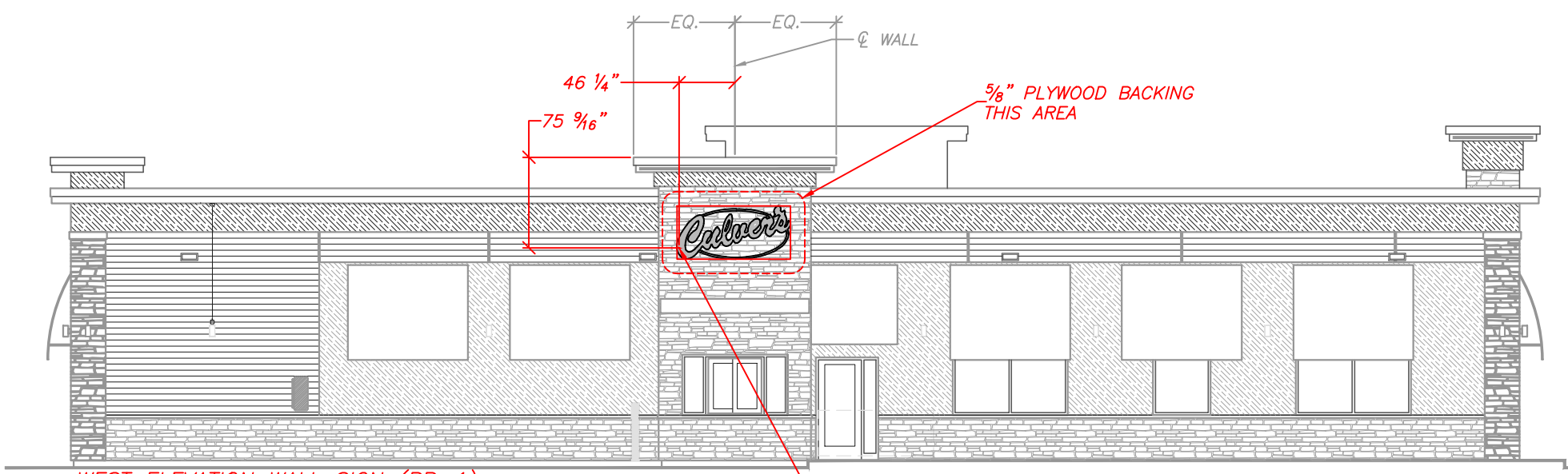
Project No.: 27980
Drawn By: DEN
Reviewed By: MW
Date: 5-17-21
Sheet Number:

2 OF 2



SOUTH ELEVATION WALL SIGN (SL-45)

ELECTRICAL SERVICE
 -PROVIDE CHASEWAY FOR
 LOW VOLTAGE SECONDARY



WEST ELEVATION WALL SIGN (BB-1)

ELECTRICAL
 SERVICE

SCALE 3/32" = 1"

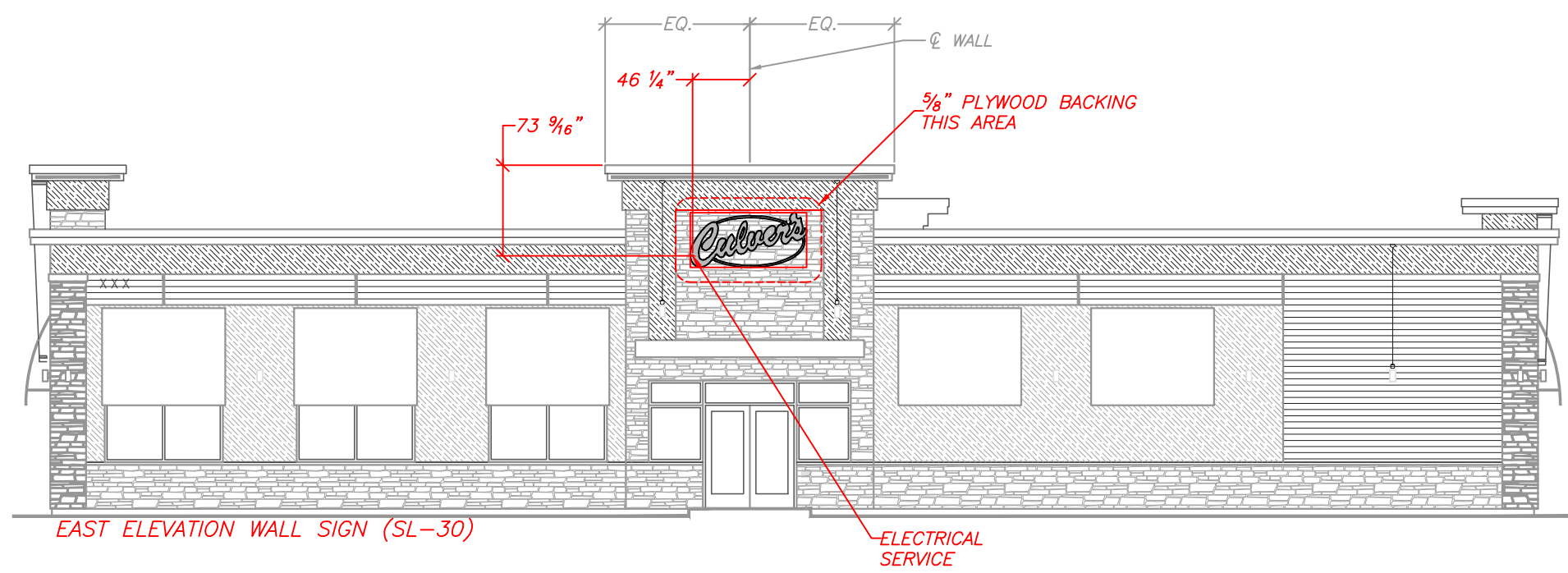
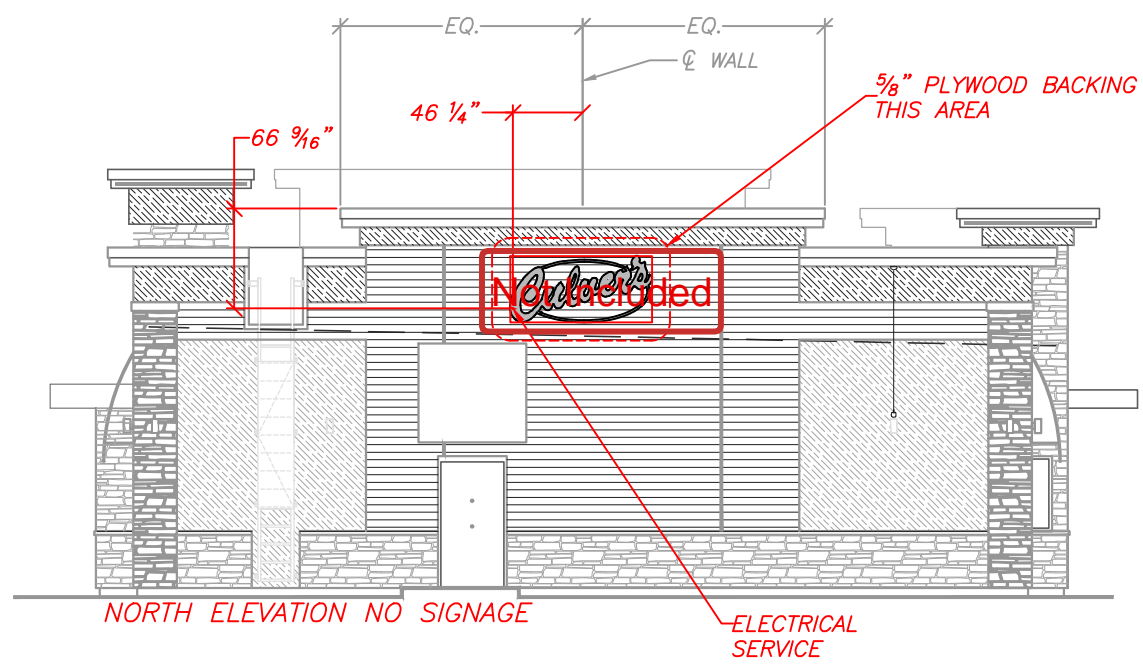
LOCATION:
RACINE, WI

SPRINGFIELD SIGN
 4825 E. Kearney St.
 Springfield, MO 65803
 (417) 862-2454

Client:
 Culver Franchising System, Inc.
 540 Water Street
 Prairie du Sac, WI 53578
 p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
 NEW CULVER'S-SIGNAGE
 ELEVATIONS SHOWING PROPOSED
 WALL SIGNS-ELECTRICAL CONNECTIONS

Project No.: 27980
 Drawn By: DEN
 Reviewed By: MW
 Date: 5-11-21
 SHEET NUMBER:
2 OF 2



SCALE 3/32" = 1"

LOCATION:
RACINE, WI

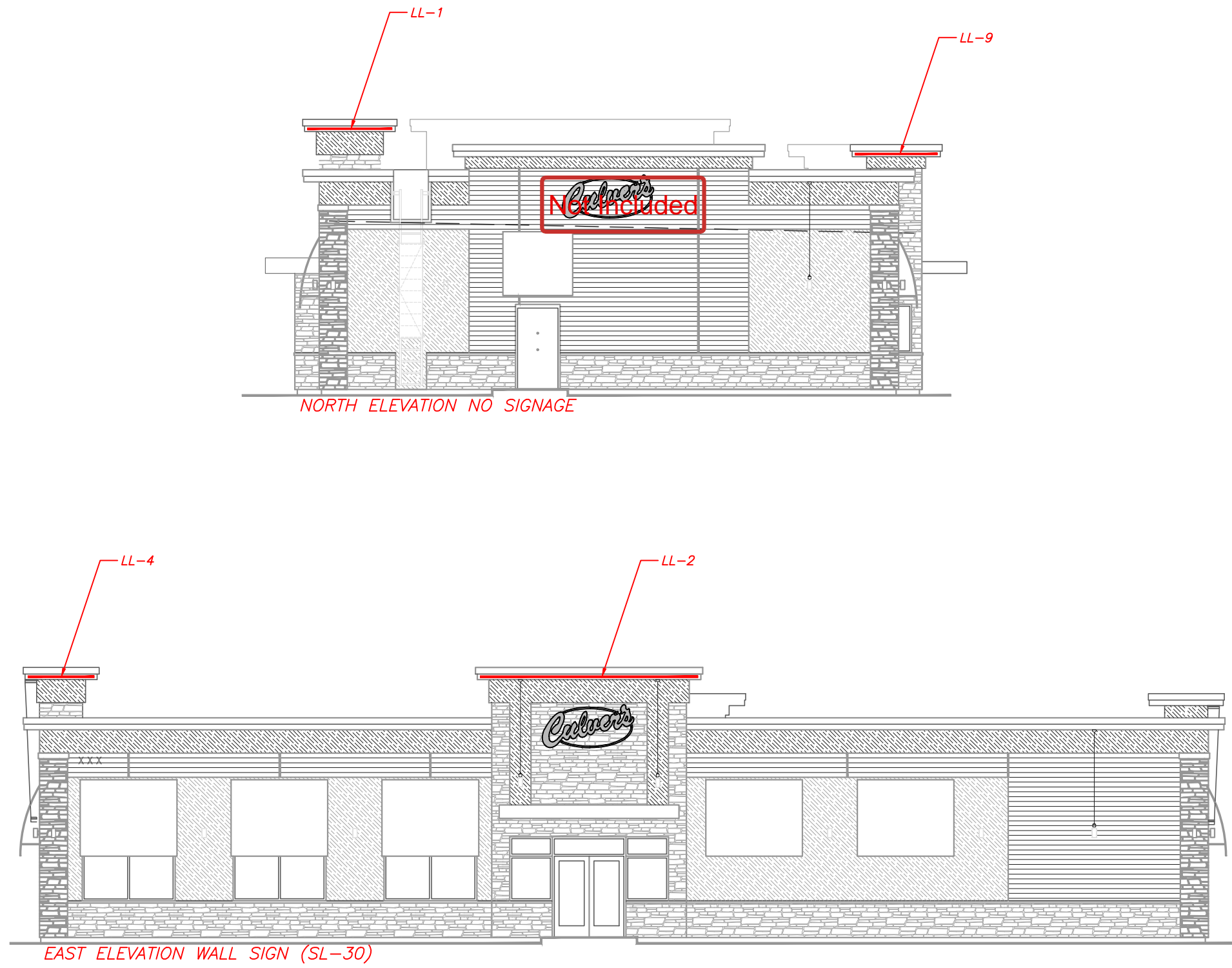
SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
NEW CULVER'S-SIGNAGE
ELEVATIONS SHOWING PROPOSED
WALL SIGNS-ELECTRICAL CONNECTIONS

Project No.: 27980
Drawn By: DEN
Reviewed By: MW
Date: 5-11-21

SHEET NUMBER:
1 OF 2



NORTH ELEVATION NO SIGNAGE

EAST ELEVATION WALL SIGN (SL-30)

SCALE 3/32" = 1"

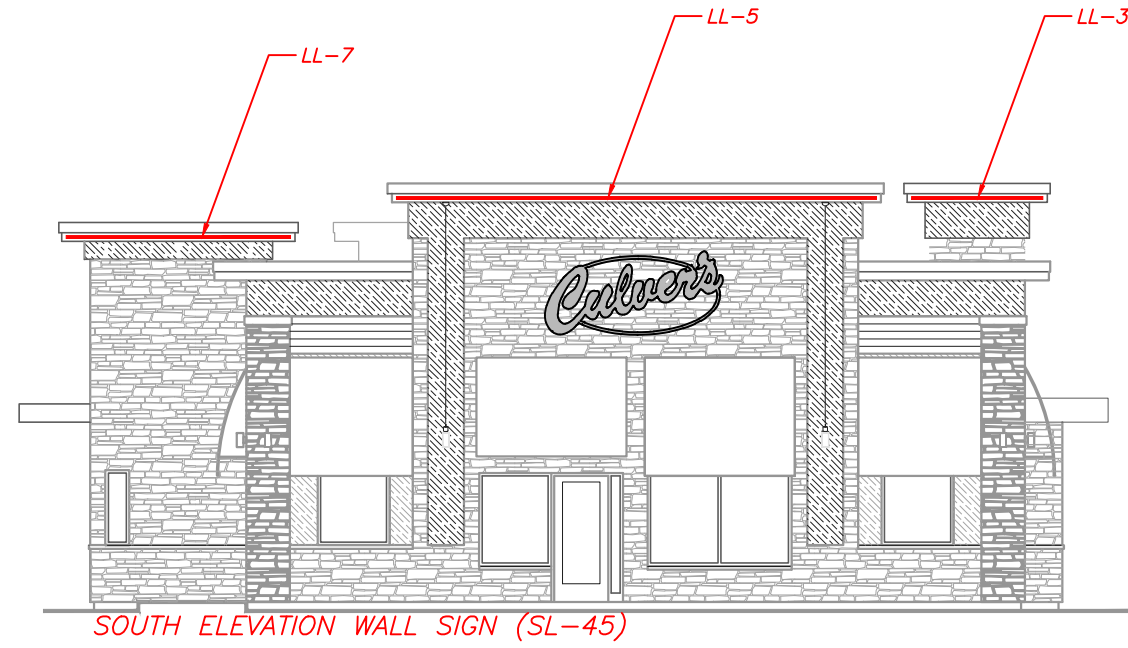
LOCATION:
RACINE, WI

CLIENT:
Culver Franchising System, Inc.
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

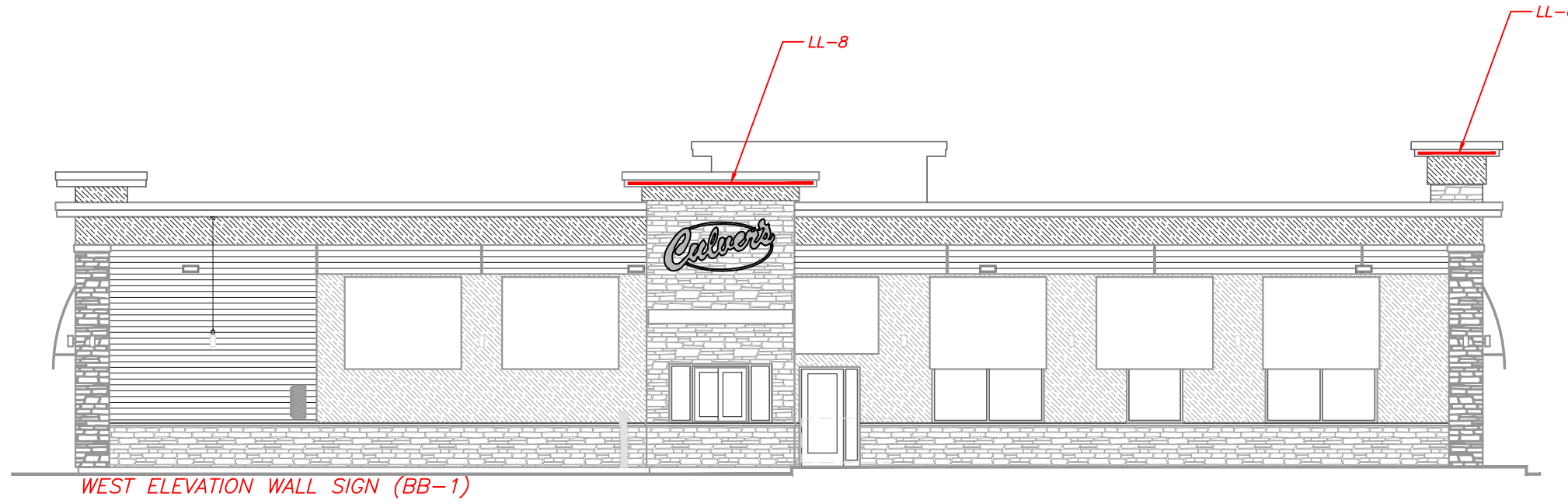
PROJECT:
CULVER FRANCHISING SYSTEM, INC.
NEW CULVER'S-SIGNAGE
ELEVATIONS SHOWING PROPOSED
LED STRIP LIGHTING

Project No.: 27980
Drawn By: DEN
Reviewed By: MW
Date: 5-11-21

SHEET NUMBER:
2 OF 4



SOUTH ELEVATION WALL SIGN (SL-45)



WEST ELEVATION WALL SIGN (BB-1)

SCALE 3/32" = 1"

LOCATION: RACINE, WI

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
NEW CULVER'S-SIGNAGE
ELEVATIONS SHOWING PROPOSED
LED STRIP LIGHTING

Project No.: 27980
Drawn By: DEN
Reviewed By: NW
Date: 5-11-21

Sheet Number:
3 OF 4

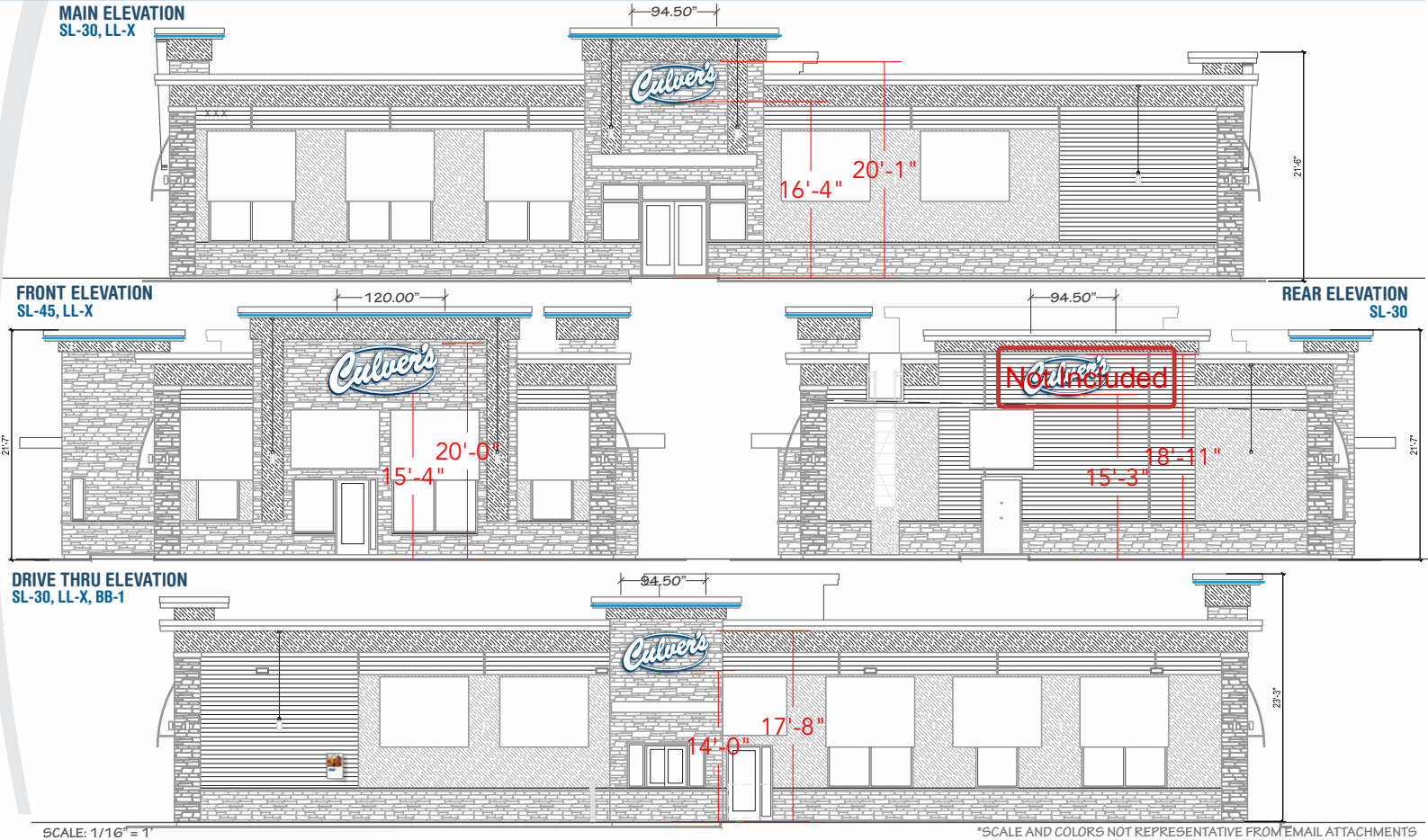
ELEVATION WALL SIGNS

RACINE, WI

SL-45 & SL-30 Illuminated White Script Channel Letters

SL-SERIES

- Channel letter construction
- One piece (saddle capped sections)
- LED internal illumination
- Typical application for new construction
- Embedded power supplies
- UL marked product
- No install pattern needed, level line scribed in back of sign



SIGN SQUARE FOOTAGE

MAIN ELEVATION: QTY-1 SL-30 (44.37" X 94.50") = 29.12 SF
 FRONT ELEVATION: QTY-1 SL-45 (56.00" X 120.00") = 46.67 SF
 REAR ELEVATION: QTY-1 SL-30 (44.37" X 94.50") = 29.12 SF
 DRIVE THRU ELEVATION: QTY-1 SL-30 (44.37" X 94.50") = 29.12 SF
 QTY-1 BB-1 (17.67" X 27.88") = 3.42 SF

ELEVATION RENDERINGS RECEIVED 11/2/20

NOTES

LL-X LED accent strip lighting typical placements:
 MAIN: (3) places - FRONT: (3) Places - REAR: NA,
 DRIVE THRU: (3) places
 BB-1 typical Drive-Thru placement: DRIVE THRU



MFG: T.B.D.
 STYLE: T.B.D.
 COLOR: T.B.D.



MFG: T.B.D.
 STYLE: T.B.D.
 COLOR: T.B.D.

DATE CREATED / REVISION HISTORY

10/27/20 - NEW
 05/05/21 - UPDATED ELEVATIONS

SALES PERSON:
 MARK WESSELL

DESIGNED BY:
 NICHOLAS K. TARR

AO:
 27980

FILE PATH: T:\Cyrinus\Doc\Order\27980

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SPRINGFIELD SIGN
 www.springfieldsign.com

BB-1 BUTTERBURGER PANEL

RACINE, WI

ButterBurger Outdoor Panel Wall Sign

BB-1

All aluminum 0.080" thick panel -
backside is blank (white)

Baked on aluminum white enamel
finish

Digital print overlay with
overlaminated

Rounded corners are to be 1.25"
radius

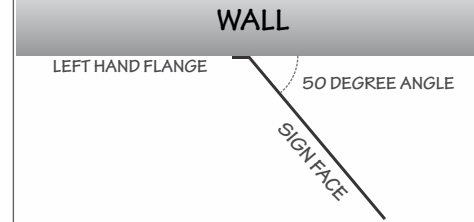
Sign is to be mounted at 50 degree
angle (set by flange)



SCALE: 1-1/2" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

TYPICAL INSTALLATION - TOP VIEW



SCALE: N.T.S.

HOLE PATTERN

HOLES ARE .250" DIAMETER
.737" IN FROM SIDE & 1.488" IN FROM TOP & BOTTOM
TAB IS TO BE BENT 50 DEGREES UP AT LINE

NOTES

SALES PERSON: MARK WESSELL	DESIGNED BY: NICHOLAS K. TARR	AO: 27980
--------------------------------------	-----------------------------------------	---------------------

DATE CREATED / REVISION HISTORY	
10/27/20 - NEW	

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DIR DIRECTIONAL SIGNS

RACINE, WI

Illuminated Directional Signs

DIR

- All aluminum construction
- LED internal illumination
- Totally self contained lighting
- Polycarbonate thermoformed faces
- Face removal for service
- Site plans show placement & field orientation
- UL marked product

**NOT FOR
PRELIMINARY
CONSTRUCTION**

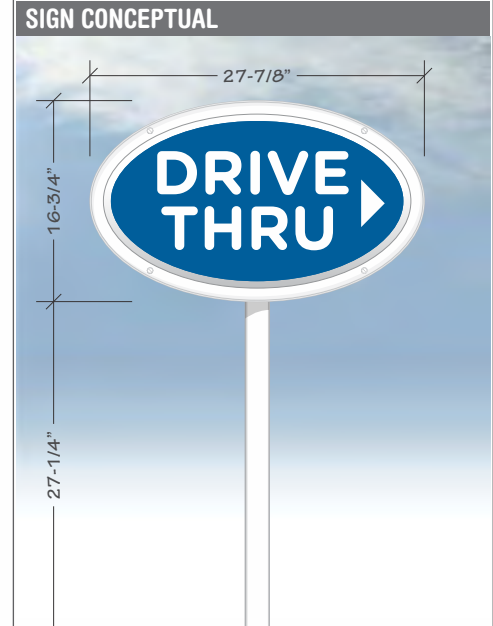
DIRECTIONAL SIGN 1 DIR-D8-D9



SIDE: A



SIDE: B



NOTES

SQUARE FOOTAGE CALCULATIONS:
 MATHEMATICAL: 2.55 SF
 RECTANGULAR: 3.24 SF

12 SF PER DIRECTIONAL MAX
5ft MAX HEIGHT

SALES PERSON: MARK WESSELL	DESIGNED BY: NICHOLAS K. TARR	AO: 27980
--------------------------------------	-----------------------------------------	---------------------

DATE CREATED / REVISION HISTORY	
10/27/20 - NEW	

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SCALE: 3/4" = 1'

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ME-35C MONUMENT WITH EMC

RACINE, WI

ME-35-L-36X108-16-RGB-PBC

ME-35C

D/F Illuminated Monument Sign with EMC

SIGN DETAILS:

Culver's sign cabinet of aluminum construction and internally illuminated with LED's

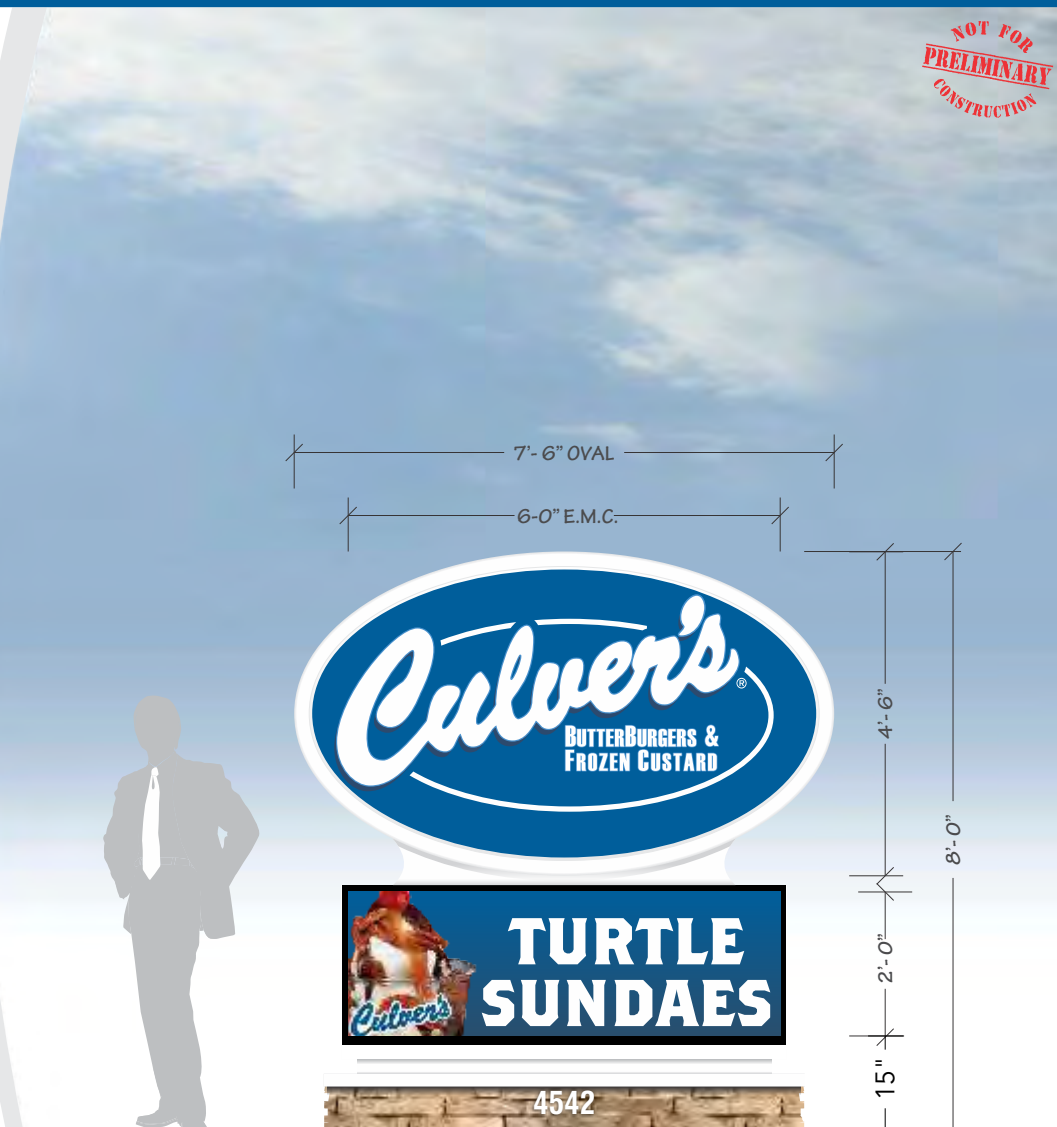
Thermoformed polycarbonate faces, embossed Culver's, 3M¹ HP vinyl decoration

Watchfire³ 36x108 RGB full color 16mm Electronic Message Center (EMC) with RF wireless communication

Amber EMC option available

Broadband communication option available

UL marked product



NOT FOR PRELIMINARY CONSTRUCTION

SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

EMC CHART - KNOWN RESTRICTIONS

COLOR: Y N STATIC: Y N VIDEO: Y N
ANIMATION: Y N MOVEMENT: Y N

HOLD TIME (IF STATIC): 5 Sec

TRANSITION TYPE: no anim or effects

DAYTIME BRIGHTNESS: Brightness if applicable

NIGHTTIME BRIGHTNESS:

ADDITIONAL RESTRICTIONS:

SIGN CODES

Monument = 8ft max height - 48 s/f max
EMC = 30% of signage

NOTES

OVAL (33.75 SF) + EMC (12 SF) = 45.75 SF
45.75 x 30% = 13.75 S/F ALLOWABLE EMC

SALES PERSON: MARK WESSELL	DESIGNED BY: NICHOLAS K. TARR	AO: 27980
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DATE CREATED / REVISION HISTORY	
10/27/20 - NEW	
05/01/21 - REVISED SIZING	

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www.springfieldsign.com

MB-DT-46 EXTERIOR MENU BOARD

RACINE, WI

Blue Outdoor Drive-Thru Menu Board

MB-DT-46

Standard Menu Board for Drive-Thru Lane

LED Internal Illumination

POP Graphic panels must be purchased separately

POPP-Out magnet access panels included for easy in & out of POP panels

"-CS" option for 160mph coastal wind standards available

Locking rear access doors (4)



FRONT



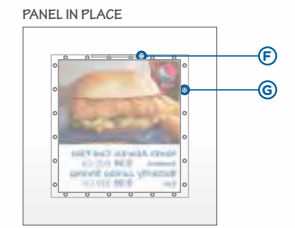
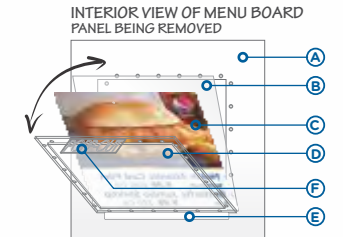
REAR



SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

POPP-Out Point Of Purchase Panel System



- A** - INSIDE BACK OF MENU BOARD FACE (ONLY ONE PANEL SHOWN FOR CLARITY)
- B** - FRONT PANEL IS ANTI-GLARE (CLEAR) FOR INCREASED VISIBILITY
- C** - POP PANEL - PRODUCT GRAPHIC
- D** - REAR PANEL FITTED WITH POPP-Out PANEL
- E** - SUPPORTING "TIP TRAY" FOR PANELS (SELF ALIGNING)
- F** - POPP-Out TAB HANDLE
- G** - PAIRED MAGNETIC "LATCH" (MAGNETS EMBEDDED IN POP-Out PANEL & BACK OF MENU BOARD)

SALES PERSON: MARK WESSELL	DESIGNED BY: NICHOLAS K. TARR	AQ: 27980
--------------------------------------	-----------------------------------------	---------------------

DATE CREATED / REVISION HISTORY	
10/27/20 - NEW	

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MB-DT-46 EXTERIOR MENU BOARD

RACINE, WI

Blue Outdoor Drive-Thru Menu Board

MB-DT-46

Standard Menu Board for Drive-Thru Lane

LED Internal Illumination

POP Graphic panels must be purchased separately

POPP-Out magnet access panels included for easy in & out of POP panels

"-CS" option for 160mph coastal wind standards available

Locking rear access doors (4)



FRONT



NOT FOR PRELIMINARY CONSTRUCTION

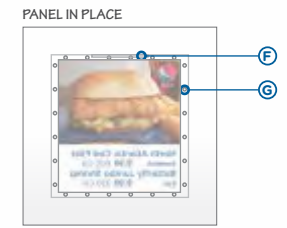
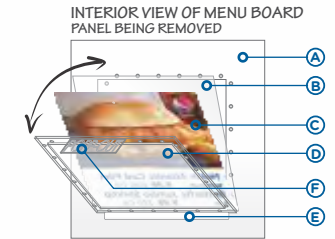
REAR



SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

POPP-Out Point Of Purchase Panel System



- A** - INSIDE BACK OF MENU BOARD FACE (ONLY ONE PANEL SHOWN FOR CLARITY)
- B** - FRONT PANEL IS ANTI-GLARE (CLEAR) FOR INCREASED VISIBILITY
- C** - POP PANEL - PRODUCT GRAPHIC
- D** - REAR PANEL FITTED WITH POPP-Out PANEL
- E** - SUPPORTING "TIP TRAY" FOR PANELS (SELF ALIGNING)
- F** - POPP-Out TAB HANDLE
- G** - PAIRED MAGNETIC "LATCH" (MAGNETS EMBEDDED IN POP-Out PANEL & BACK OF MENU BOARD)

SALES PERSON: MARK WESSELL	DESIGNED BY: NICHOLAS K. TARR	AO: 27980
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DATE CREATED / REVISION HISTORY	
10/27/20 - NEW	

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V-1, V-5, V-6 DOOR & WINDOW VINYL

RACINE, WI

Entry Door & Drive-Thru Vinyl Lettering

V-1-1
V-5-1
V-6

3M¹ HP white vinyl substrate

UV digitally printed image (blue)

Satin gloss over laminate

Contour cut

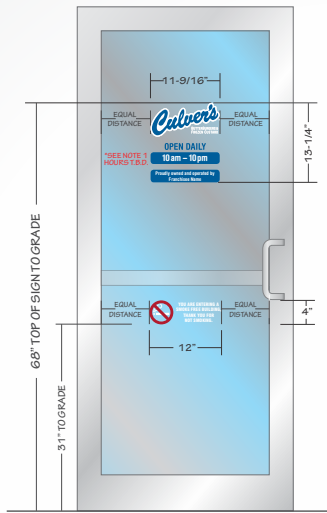
First surface application

NOTE 1: Business hours shown are typical. However, each location may be different than shown.

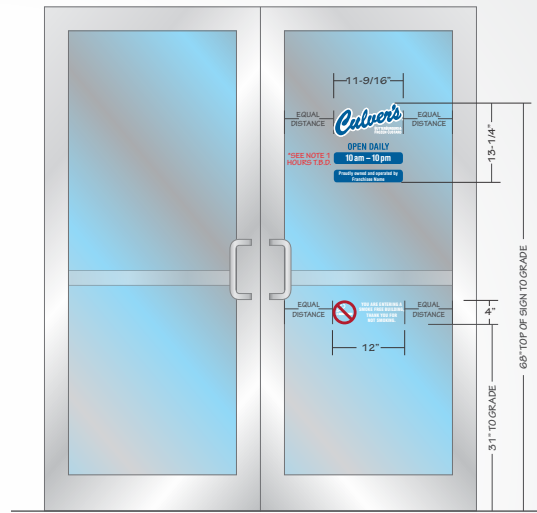
1 - 3M is a registered trademark of Minnesota Mining & Manufacturing



V-1-1 & V-6
TYPICAL SINGLE DOOR LAYOUT

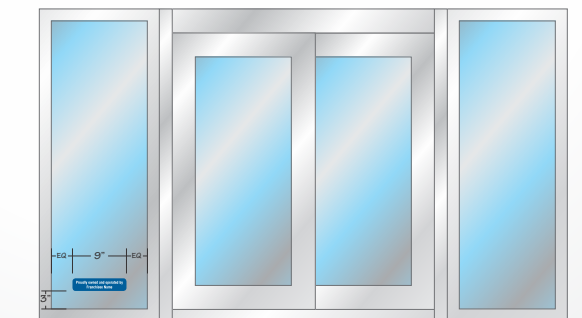


V-1-1 & V-6
TYPICAL DOUBLE DOOR LAYOUT



NOT FOR
PRELIMINARY
CONSTRUCTION

V-5-1
TYPICAL DRIVE-THRU LAYOUT

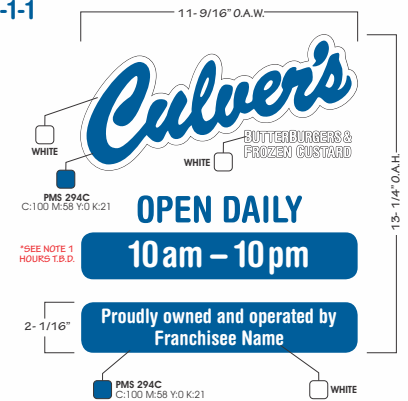


SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

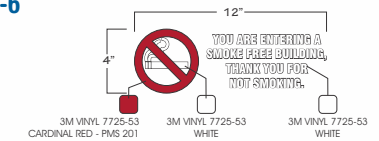
SIGN SPECIFICATIONS

V-1-1



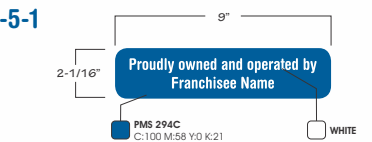
SCALE: 1-1/2" = 1'

V-6



SCALE: 1-1/2" = 1'

V-5-1



SCALE: 1-1/2" = 1'

SALES PERSON: MARK WESSELL	DESIGNED BY: NICHOLAS K. TARR	AO: 27980
-------------------------------	----------------------------------	--------------

DATE CREATED / REVISION HISTORY	
10/27/20 - NEW	

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PLAN COMMISSION REPORT

Proposal: Building, Site, & Operations (BSO) Plan Review

Description: Review a request for approval of a building, site, and operation plan for a ±22,538 square-foot distribution facility located at DeBack Lane in the Deback Business Park.

Applicant(s): Lindsey Pearson

Address(es): DeBack Lane

Suggested Motion: That the Plan Commission recommends to the Village Board that a building, site, and operations plan for a ±22,538 square-foot distribution facility be approved with conditions outlined in Exhibit A for the property located at DeBack Lane for the following reasons:

1. The proposed use is allowed through the building, site, and operation plan review process and is a permitted use in M-3 Zoning District.
2. This use will not adversely affect the surrounding property values.

Owner(s): WisPark LLC

Tax Key(s): 104-04-22-30-015-210

Lot Size(s): ±4.86 acres

Current Zoning District(s): M-3, Heavy Industrial District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Industrial/Business Park

Background: The applicant is proposing to construct a ±22,538 square-foot distribution facility on the Pad A on Deback Lane identified in the DeBack Business Park. This building is intended to be used as a distribution facility for Badger Liquor which is a permitted use in the M-3 District. This development will have three exterior loading docks and 17 interior loading docks as part of their operation.

The building's exterior consists primarily of concrete wall panels that will be painted varying shades of gray with black accents. The entrance portion of the building will incorporate glass and a back canopy to draw focus to the building's entrance. Windows are incorporated on all elevations of the building which helps breakup the expanse of solid walls. The west elevation of the building will have eight interior dock doors and the east will have nine interior dock doors. The south elevation will have three exterior dock doors that do not directly face a public road. No mechanicals are shown on the plans, however, all mechanicals will have to be screened from public view.

A dumpster is proposed on the eastern portion of the lot and will consist of split face CMU block with metal trim. The dumpster gate will be made of metal panels. Colors of the dumpster will be consistent with the colors on the main building.

Parking for this development consists of 25 stalls which include 2 ADA stalls which meets the required number of stalls for this size building. The proposed dimensions of parking stalls meet the minimum of 180 square feet in area. There is no outdoor parking or storage of vehicles or equipment on the site. The most that will be seen is three trucks that utilize the exterior loading docks on the south side of the building. The improved surface surrounding the facility will consist of standard and heavy asphalt, heavy duty concrete, and loading dock concrete, which should provide a dust free surface on the site.

Landscaping on the site incorporates a combination of deciduous trees, evergreen trees, and shrubs. Deciduous trees spread approximately 50 feet apart will be installed along the perimeter of the site abutting a roadway. Additional trees and shrubs are proposed on the northwest corner of the site at the entrance of DeBack Lane. On the northern portion of the site, there will be a mix of deciduous trees and shrubs along the parking lot. Additional shrubs may be needed to be added between the proposed trees to provide better parking lot screening. This is no proposed landscaping except for turf on the entrance of the building. Overall, the plan meets the minimum requirements for landscaping, however additional landscaping should be provided at the entrance of the building and shrubs installed between the trees on the north parking lot. The Plan Commission does have the discretion to modify the proposed landscape plan. If revisions are requested, the applicant can modify the plan prior to going to Village Board for final approval.

The lighting of the site will consist of down-cast, cutoff, LED fixtures throughout the development. In addition to wall pack lights, there will be five pole lights placed on site. Three will be located on the north side of the site and two on the southern edge of the paved lot. The submitted photometric plan complies with the Village code lighting requirements that no more than a 0.5 foot-candle be cast at the lot line.

Prior to any building permits being issued, the applicant will need to get approvals for stormwater management, erosion control, and grading plans from Water Utility Department and Engineering Department. The Fire Department indicated no concerns regarding the proposed site plan; however, they will work with the applicant to ensure compliance with sprinkling requirements for this building type.

The proposed development complies with Village zoning code and the proposed use is a permitted use in the M-3 District. Staff recommends approval of the proposed development located at Deback Lane subject to conditions outlined in Exhibit A. If the Plan Commission is comfortable with the proposed development, staff has drafted a suggested motion to approve the proposed development with conditions.

EXHIBIT A: Conditions of Approval for Badger Liquor Deback Lane

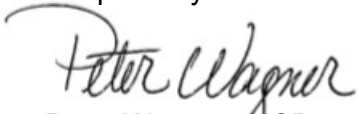
1. **Compliance.** Failure to comply with the terms and conditions stated herein could result in the issuance of citation(s) and/or revocation of this permit.
2. **Binding Effect.** These conditions bind and are applicable to the Property Owner, Agent, and any other users of the Property Owner with respect to the uses on the Property.
3. **Plans.** The proposed operation shall be located, constructed, and utilized in accordance with the revised plans and documents received by the Village Planning Office on July 12, 2021.
4. **Engineering Department.** The property owner or designated agent must contact the Village of Caledonia Engineering Department and must comply with all regulations and requirements of the Village of Caledonia Engineering Department.
5. **Stormwater.** The property owner or designated agent must contact the Village of Caledonia Stormwater Utility District regarding stormwater regulations for this site. Compliance with all regulations and requirements, as determined by the Village of Caledonia Stormwater Utility District is required. Stormwater management plans shall be submitted for approval and be in compliance with all Village requirements, as determined by the Village Engineer before permits are issued.
6. **Fire Department Approval.** Owner shall obtain approval from the Village of Caledonia Fire Department and meet applicable codes.
7. **Parking.** Parking at the site must be in compliance with the submitted plans. All employee and visitor parking must be conducted in the proposed parking lot as outlined on the submitted site plan. Each parking space shall be a minimum of 180 square feet in area exclusive of the space required for ingress and egress. Handicapped spaces shall be provided in accordance with State requirements. The driveway and all parking areas must be maintained in a hard-surfaced, dust-free condition.
8. **Landscaping.** Landscaping at the site must be in compliance with the submitted Landscaping Plan received on July 12, 2021. The Village may require a letter of credit or bond to be posted to ensure implementation and maintenance. Landscaping shall comply with Title 16. The landscaping plan shall follow the Village of Caledonia planting requirements. Landscaping shall be maintained in a living condition and any landscaping that dies or is otherwise removed shall be immediately replaced.
9. **Lighting.** The lighting plan must be in compliance with the submitted lighting plan July 12, 2021. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway. Following installation, owner shall contact Village for an inspection to ensure that lighting was properly installed.
10. **Signage.** No signs are being proposed as part of the review. Prior to installation of any signs, a sign permit will be required prior to installation and meet all sign regulations in Title 16. Banners, balloons, flashing or animated signs are prohibited.

-
11. **Rooftop Mechanicals.** All rooftop mechanicals must be screened.
 12. **No Accumulation of Refuse and Debris.** Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.
 13. **Performance Standards.** The applicant must comply with the provisions of Article VII, Division 4, Performance Standards of Chapter 20, Zoning, Racine County Code of Ordinances, as adopted by the Village of Caledonia.
 14. **Property Maintenance Required.** A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade.
 15. **Expiration.** This approval will expire twelve (12) months from the date of the Village's final approval unless substantial work has commenced following such grant. If this office determines that no substantial work has commenced, the development will be required to resubmit their application and go through the conditional use process.
 16. **Access.** The applicant must allow any Village employee full and unlimited access to the project site at a reasonable time to investigate the project's construction, operation, or maintenance.
 17. **Compliance with Law.** The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 14, 16 and 18 of the Village of Caledonia Code of Ordinances.
 18. **Reimburse Village Costs.** Applicant shall reimburse to the Village all costs incurred by the Village for review of this conditional use including but not limited to engineering, legal and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.
 19. **Amendments to Building, Site & Operations Plan.** No additions, deletions, or changes may be made to the project, site plan, or these conditions without the Village of Caledonia's prior approval. All addition, deletion, and/or change requests must be submitted to the Village of Caledonia in writing. A minor change to the conditions of this permit, as deemed by the Village Development Director, may be made at a staff level, if authorized by the Village Development Director.
 20. **Caledonia Utility District.** The property owner or designated agent must contact the Caledonia Utility District regarding Utility District regulations for this site. Compliance with all regulations and requirements, as determined by the Caledonia Utility District is required.
 21. **Site Plan and Title 16 Review.** The final site plan and site design and architectural details required under Title 16 of the Village's Code of Ordinances shall be reviewed and approved for compliance by the Village Development Director.

22. **Agreement.** You are accepting the conditional use approval/zoning permit and beginning the project means that you have read, understand, and agree to follow all conditions of this approval. Therefore, Lindsey Pearson, Badger Liquor, WisPark, and their heirs, successors, and assigns, including tenants, are responsible for full compliance with the above conditions.

 23. **Subsequent Owners.** It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.
-

Respectfully submitted:



Peter Wagner, AICP
Development Director

Location Map DeBack Lane



July 12, 2021

Project: Badger Liquor South Depot
 Deback Lane
 Village of Caledonia (Franksville WI 53126)

Badger Liquor Company, Inc. is requesting Plan Commission approval for development of a 22,538 square foot distribution facility to be located on an existing vacant parcel of property at the corner of Deback Lane and East Frontage Road. The property is zoned Heavy Industrial (M-3) and the proposed use is permitted.

The proposed project consists of a new distribution center to included three (3) exterior semi-truck/trailer receiving docks on the south side of the proposed facility, 17 interior docks for delivery trucks, and an administrative office in the northwest corner of the facility. Surface parking will be provided on the north side of the facility in compliance with Village code requirements. The property is served by regional stormwater facilities. The total property area is 4.92 acres and total site disturbance for the project will be 4.45 acres. The proposed site data, density and ratios are shown below:

	Area (AC)	Area (SF)	Ratio
Project Site	4.92	214,209	
Building Floor Area	0.52	22,538	10.5%
Pavement (Asphalt & Concrete)	1.91	83,209	38.8%
Total Impervious	2.43	105,747	49.4%
Landscape/Open Space	2.49	108,462	50.6%

Access to the development is proposed from two (2) new driveways off Deback Lane as shown on the site plan. Transfer Drivers (semi-truck/trailer bringing product to the facility for transfer to delivery vehicles) will be entering and leaving the site [two (2) at any given time] Tuesday through Friday between the hours of 7:00 PM and 4:00 AM. The Driver Lead is at the site from 5:00 AM to 3:00 PM Tuesday through Friday to supervise the site and drive on an as-needed basis. There will be fourteen (14) Delivery Drivers and three (3) Driver Helpers Tuesday through Friday from 5:00 AM to 3:00 PM; total employee count for this facility (all shifts is 20). Two (2) to three (3) trucks/trailers per day (Tuesday through Friday) will be washed onsite inside the building.

Landscaping will be provided in accordance with the Village Ordinance, in a fashion which ensures species resiliency and complimentary aesthetics. Site lighting will also be provided to meet Village Ordinance requirements and provide appropriate light intensity levels for safety.

Exterior materials as represented in the attached colored elevations and rendering will consist of the following: Exterior façade of the building consists of insulated precast concrete wall panels

painted in a series of colors to articulate the architectural character of the building. The entrance will be an aluminum store front and aluminum windows will be used to provide daylight to the office area and distribution depot. A canopy constructed of steel will wrap the office area and main entrance to provide weather protection of the accessible ramp. The overhead steel doors will have vision lites in them and will be painted to compliment the building.

Wastewater generated by the proposed use will be normal domestic wastewater, snow melt and/or rainwater runoff from trucks, and truck/trailer wash water; the estimated daily wastewater flow based upon the State Code (DSPS 383.43) is approximately 610 gallons of wastewater per day. Water consumption is anticipated to be more during the summer months due to exterior water usage for landscape watering.

Sanitary sewer is currently available to the property via a 12-inch PVC sewer main in Deback Lane and a 36-inch sanitary sewer in the utility easement along the east side of the property; there is an eight-inch (8") PVC sanitary sewer service lateral stub to the property from each of the sewer mains. Municipal water is available to the property via an existing 12-inch diameter PVC water service lateral from the 16-inch PVC water main located in the utility easement along the east side of the property. The entire building will be sprinkled, and site hydrants will be provided in compliance with applicable fire protection codes.

No environmental or operational hazards or nuisances to nearby neighbors are anticipated.

The Petitioner/Owner and developer for the project is:

Badger Liquor Company, Inc.

850 Morris Street
Fond du Lac, WI 54935

Lindsey Pearson, Chief Operating Officer

lpearson@badgerliquor.com

920-923-8160

Jerry Pruitt, Senior Project Manager

jpruitt@badgerliquor.com

920-322-6571

The Engineering & Surveying Consultant for this project is:

Excel Engineering, Inc.

100 Camelot Drive
Fond du Lac, WI 54935

Jason Daye, PE-Civil Principal

jason.d@excelengineer.com

920-322-1687

The Architectual Consultant for this project is:

Excel Engineering, Inc.

100 Camelot Drive
Fond du Lac, WI 54935

Tom Schermerhorn, NCARB, PE-Principal

tom.s@excelengineer.com

920-322-1751

PROJECT INFORMATION

PROPOSED TRANSFER BUILDING FOR:
BADGER LIQUOR SOUTH DEPOT
DEBACK FARM BUSINESS PARK • CALEDONIA, WI 53126

PROFESSIONAL SEAL

PRELIMINARY DATES

JULY 12, 2021

JOB NUMBER
2138480

SHEET NUMBER

C1.1

SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

SITE INFORMATION:

PROPERTY AREA:	AREA = 212,478 S.F. (4.88 ACRES).
EXISTING ZONING:	M-3
PROPOSED ZONING:	M-3
PROPOSED USE:	WAREHOUSE/ DISTRIBUTION
AREA OF SITE DISTURBANCE:	4.45 AC
SETBACKS:	BUILDING: STREET = 50' (COVENANT= 30') SIDE = 20' (COVENANT= 20') REAR = 25' (COVENANT= 20')
	PAVEMENT: STREET = 25' (COVENANT= 30') SIDE = 0' (COVENANT= 5') REAR = 0' (COVENANT= 5')
PROPOSED BUILDING HEIGHT:	33' (MAX. HEIGHT ALLOWED: 60')
PARKING REQUIRED:	1 SPACE PER 2 EMPLOYEES DURING 12 HR PERIOD (10 SPACES REQ.)
PARKING PROVIDED:	25 SPACE (2 H.C. ACCESSIBLE)
HANDICAP STALLS REQUIRED:	1, HANDICAP STALLS PROVIDED: 1

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	4.92	214,209	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONG.)	0.00	0	0.0%
TOTAL IMPERVIOUS	0.00	0	0.0%
LANDSCAPE/ OPEN SPACE	4.92	214,209	100.0%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	4.92	214,209	
BUILDING FLOOR AREA	0.52	22,538	10.5%
PAVEMENT (ASP. & CONG.)	1.91	83,209	38.8%
TOTAL IMPERVIOUS	2.43	105,747	49.4%
LANDSCAPE/ OPEN SPACE	2.49	108,462	50.6%

SITE PLAN KEYNOTES

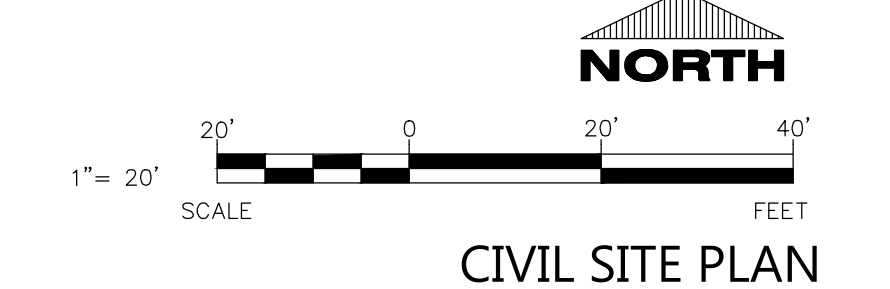
1	STANDARD ASPHALT SECTION (TYP.)
2	HEAVY DUTY ASPHALT SECTION (TYP.)
3	CONCRETE SIDEWALK (TYP.)
4	REMOVE AND REPLACE 2" WIDE STRIP OF PAVEMENT ALONG PROPOSED MOUNTABLE CURB & GUTTER. MATCH EXISTING PAVEMENT
5	HEAVY DUTY CONCRETE (TYP.)
6	LOADING DOCK CONCRETE (TYP.)
8	CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
9	RAISED WALK (TYP.)
10	FLUSH WALK (TYP.)
11	MOUNTABLE CURB & GUTTER PER CITY STANDARDS
12	CURB RAMP (TYP.)
15	CURB TAPER (TYP.)
17	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
18	HANDICAP SIGN (TYP.)
19	HANDICAP STALL & STRIPING PER STATE CODES.
20	COLUMN. (SEE DETAIL ON ARCH. PLANS) (2 TYP.)
21	CONCRETE STAIRS AND RAILING. (SEE DETAIL ON ARCH. PLANS)
22	DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
23	6" CONCRETE BOLLARDS (SEE DETAIL ON ARCH. PLAN)
24	CONCRETE RAMP AND RAILING. (SEE DETAIL ON ARCH. PLANS)
25	STEEL STEPS WITH RAILING (SEE DETAIL ON ARCH. PLANS)
26	CANOPY (SEE DETAIL ON ARCH. PLANS)

PAVEMENT HATCH KEY:

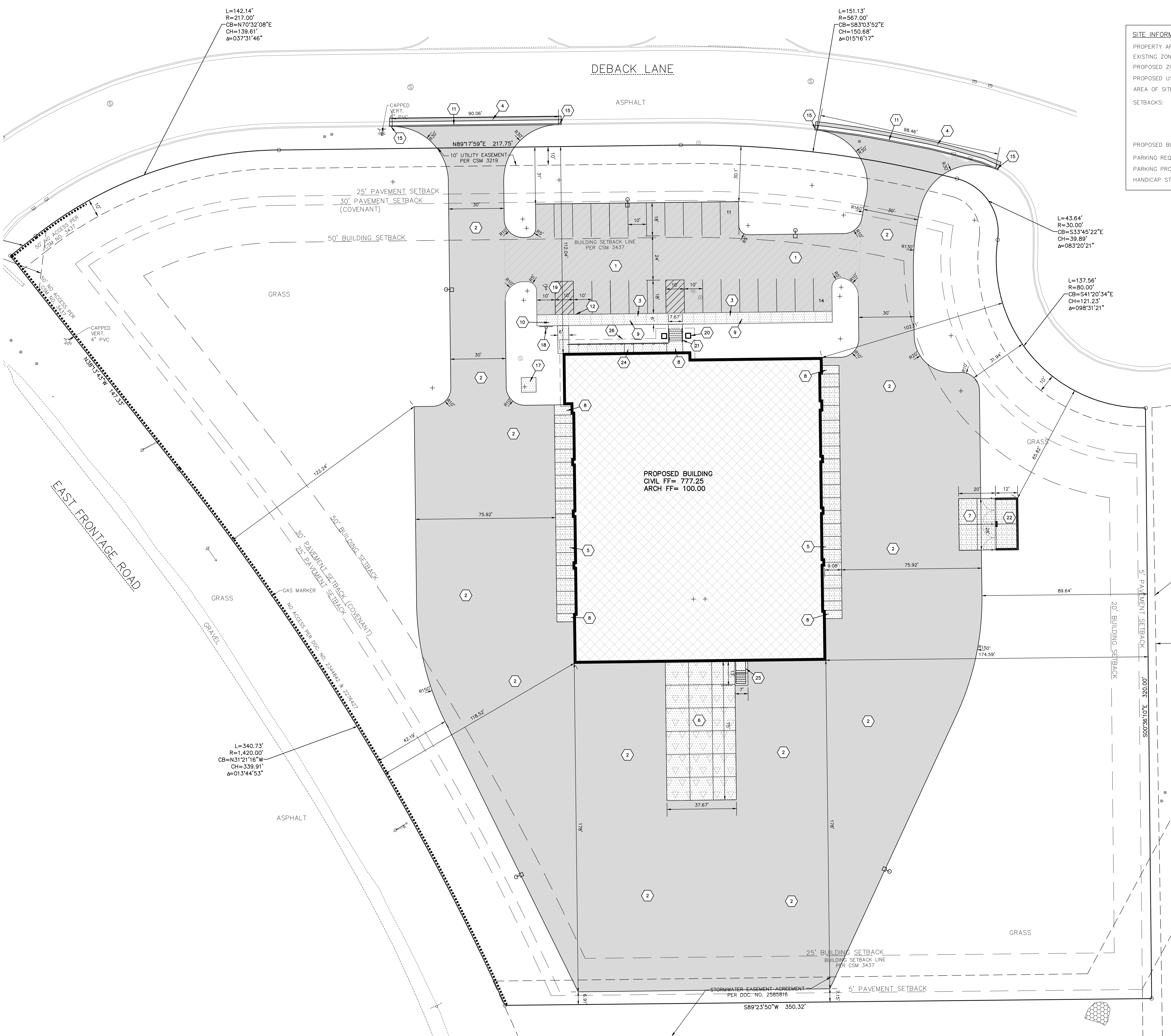
[Hatch Pattern]	STANDARD ASPHALT
[Hatch Pattern]	HEAVY DUTY ASPHALT
[Hatch Pattern]	SIDEWALK CONCRETE
[Hatch Pattern]	HEAVY DUTY CONCRETE
[Hatch Pattern]	LOADING DOCK CONCRETE

CURB & GUTTER MARKING KEY:

[Symbol]	INVERTED CURB & GUTTER
[Symbol]	SHEDDING CURB & GUTTER



CIVIL SITE PLAN



L=142.14'
R=217.00'
CB=N70°32'08"E
CH=139.61'
Δ=037°31'46"

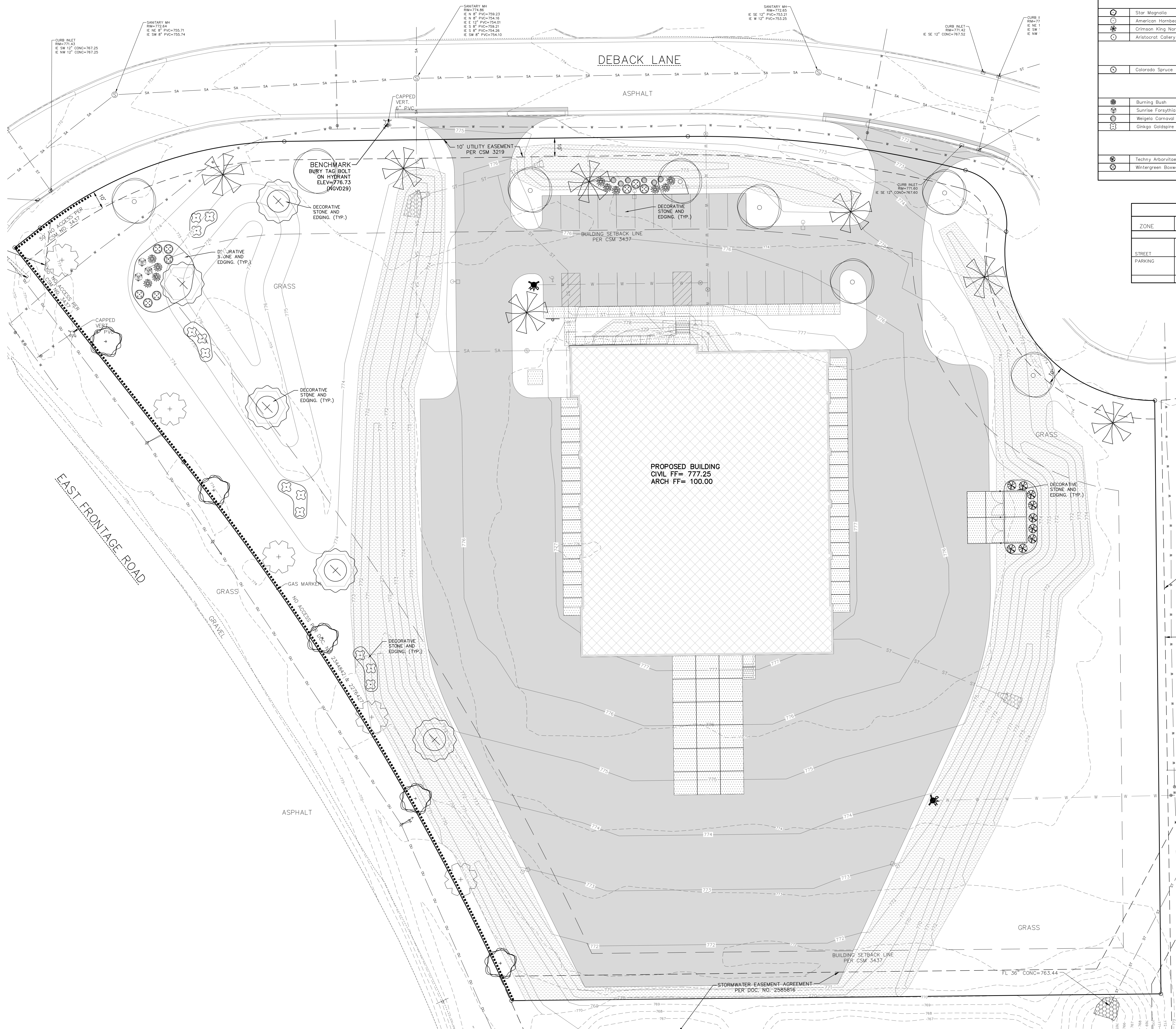
L=151.13'
R=567.00'
CB=S83°03'52"E
CH=150.68'
Δ=015°16'17"

L=43.64'
R=30.00'
CB=S33°45'22"E
CH=39.89'
Δ=083°20'21"

L=137.56'
R=90.00'
CB=S41°20'34"E
CH=121.23'
Δ=098°31'21"

L=340.73'
R=1,420.00'
CB=N31°21'16"W
CH=339.91'
Δ=013°44'53"

S89°23'50"W 350.32'



LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
☉	Star Magnolia	Magnolia stellata	2"	5
☉	American Hornbeam	Cornus caroliniana	2"	5
☉	Crimson King Norway Maple	Acer platanoides 'Crimson King'	2"	7
☉	Aristocrat Calery Pear	Pyrus calleryana 'Aristocrat'	2"	8
EVERGREEN TREES				
☉	Colorado Spruce	Picea pungens	4"	5
DECIDUOUS SHRUBS				
☉	Burning Bush	Euonymus alatus 'Compactus'	30"-36"	10
☉	Sunrise Forsythia	Forsythia 'Sunrise'	18"-24"	3
☉	Weigela Cornalve	Weigela Florida 'courtalor'	24"	6
☉	Ginkgo Goldspire	Blagayn	3 qt	12
EVERGREEN SHRUBS				
☉	Techny Arborvitae	Thuja occidentalis	42"-48"	9
☉	Wintergreen Boxwood	Buxus sinica var insularis 'Wintergreen'	18"	9

LANDSCAPING CALCULATIONS		
ZONE	REQ. PLANTS	PLANTS PROVIDED
STREET	COVERED BY EXISTING TREES	
PARKING	300 SF PER 20 STALLS 25 STALLS=300 SF / 20 STALLS= 375 SF REQUIRED	545 SF PROVIDED

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

☐ EROSION MATTING LOCATION



PROJECT INFORMATION

PROPOSED TRANSFER BUILDING FOR:
BADGER LIQUOR SOUTH DEPOT
 DEBACK FARMS BUSINESS PARK • CALEDONIA, WI 53126

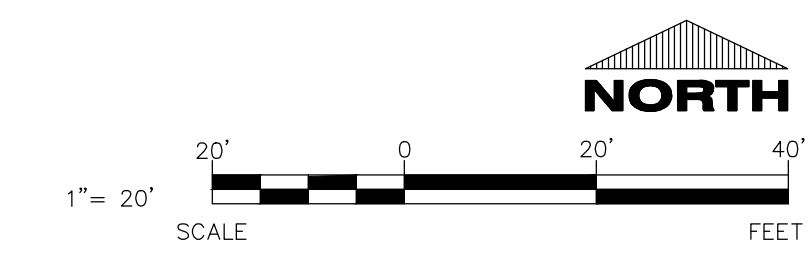
PROFESSIONAL SEAL

PRELIMINARY DATES
 JULY 12, 2021

NOT FOR CONSTRUCTION

JOB NUMBER
 2138480

SHEET NUMBER
C1.4



CIVIL LANDSCAPE AND RESTORATION PLAN

PROJECT INFORMATION

PROPOSED TRANSFER BUILDING FOR:
BADGER LIQUOR SOUTH DEPOT
 DEBACK FARMS BUSINESS PARK • CALEDONIA, WI 53126

PROFESSIONAL SEAL

PRELIMINARY DATES

JUNE 8, 2021
 JUNE 10, 2021
 JUNE 21, 2021
 JULY 12, 2021

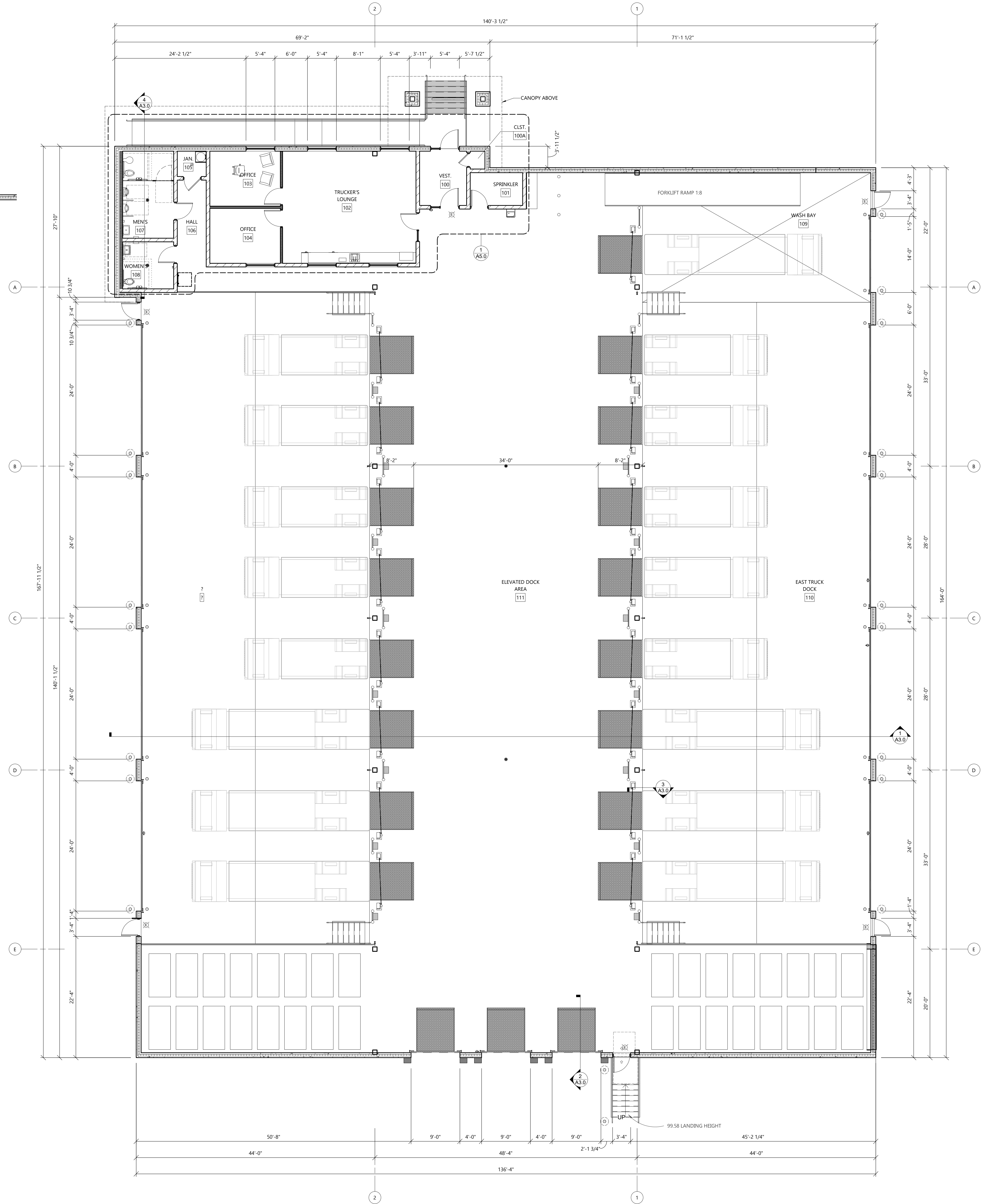
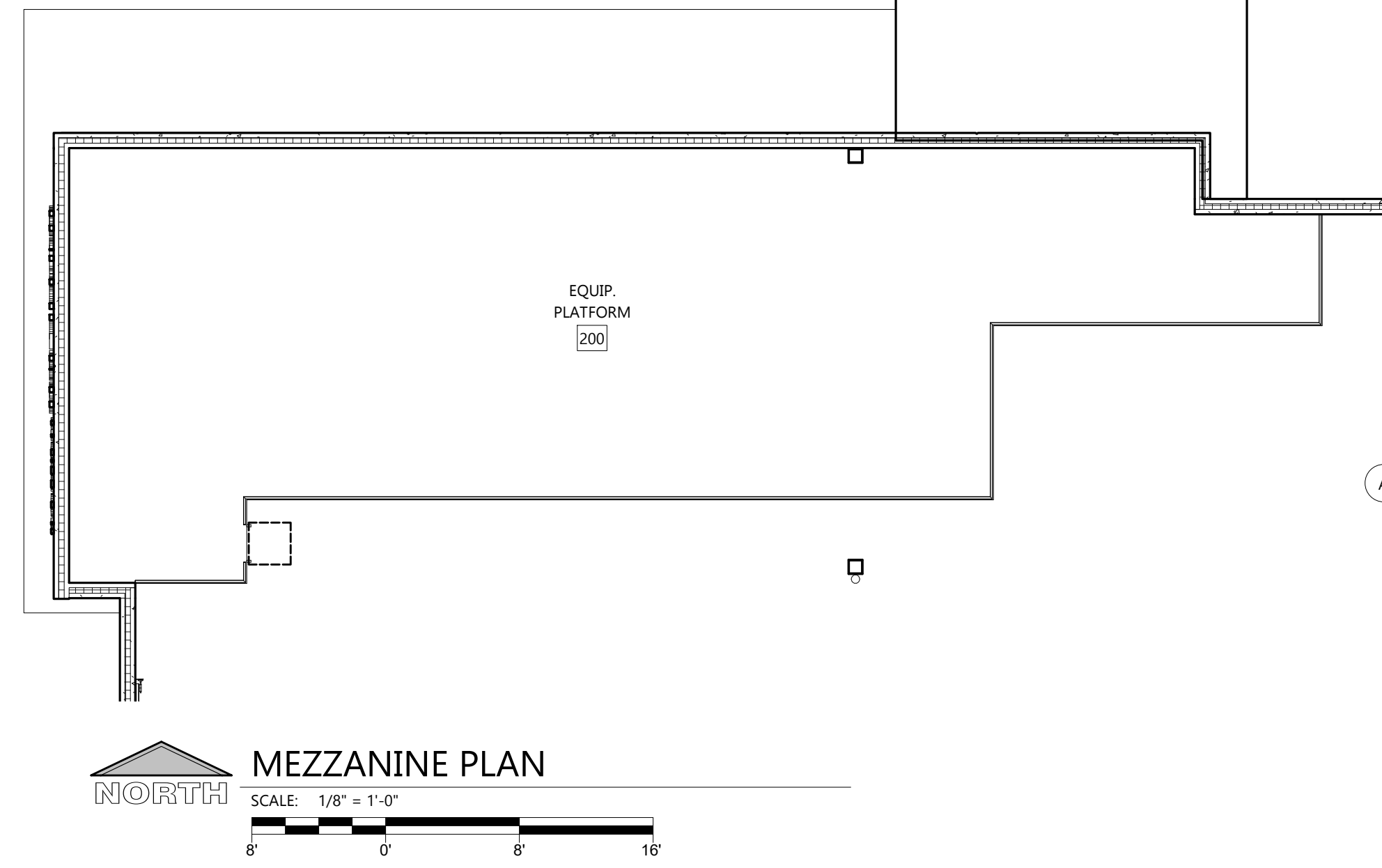
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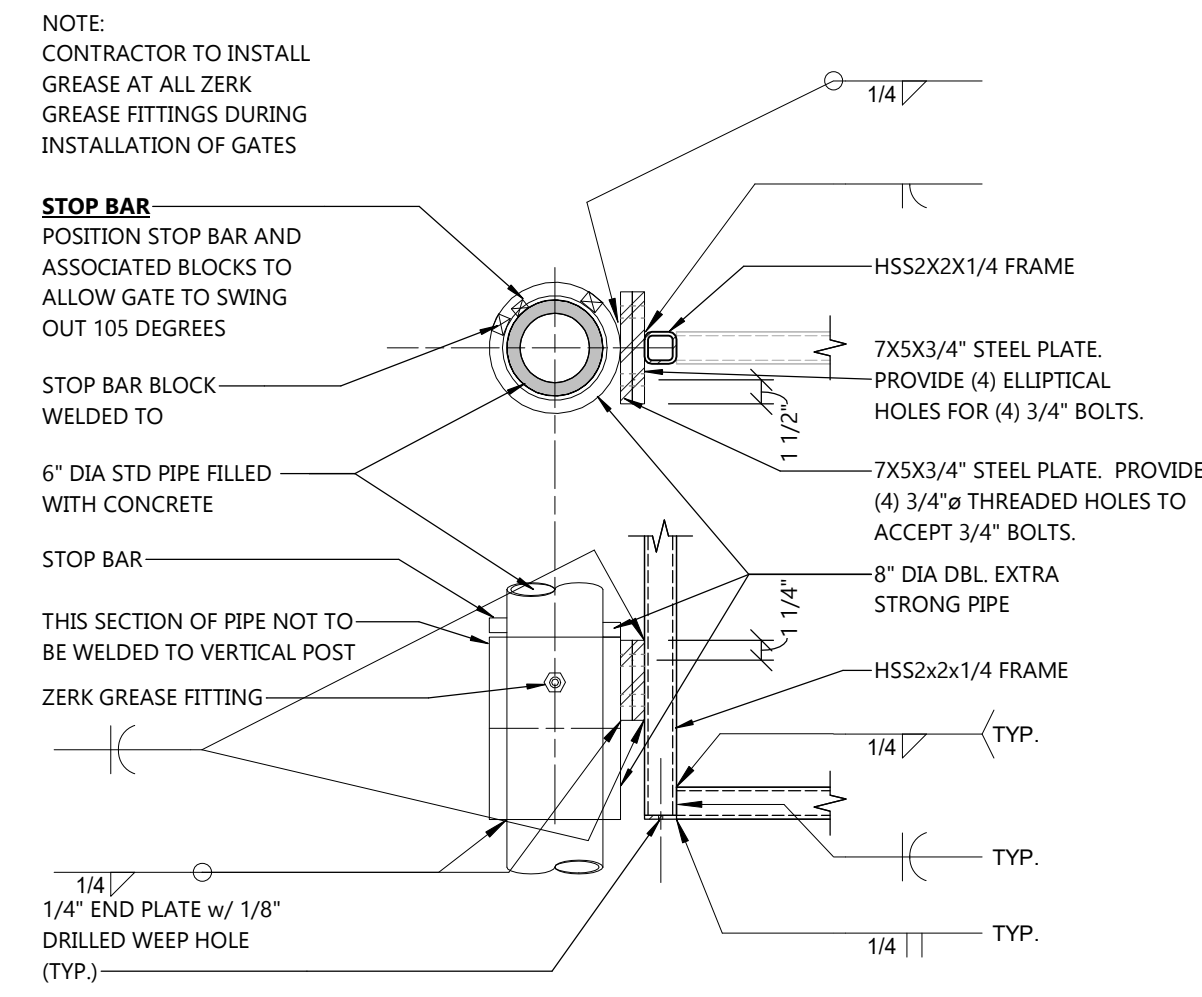
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SHEET NUMBER

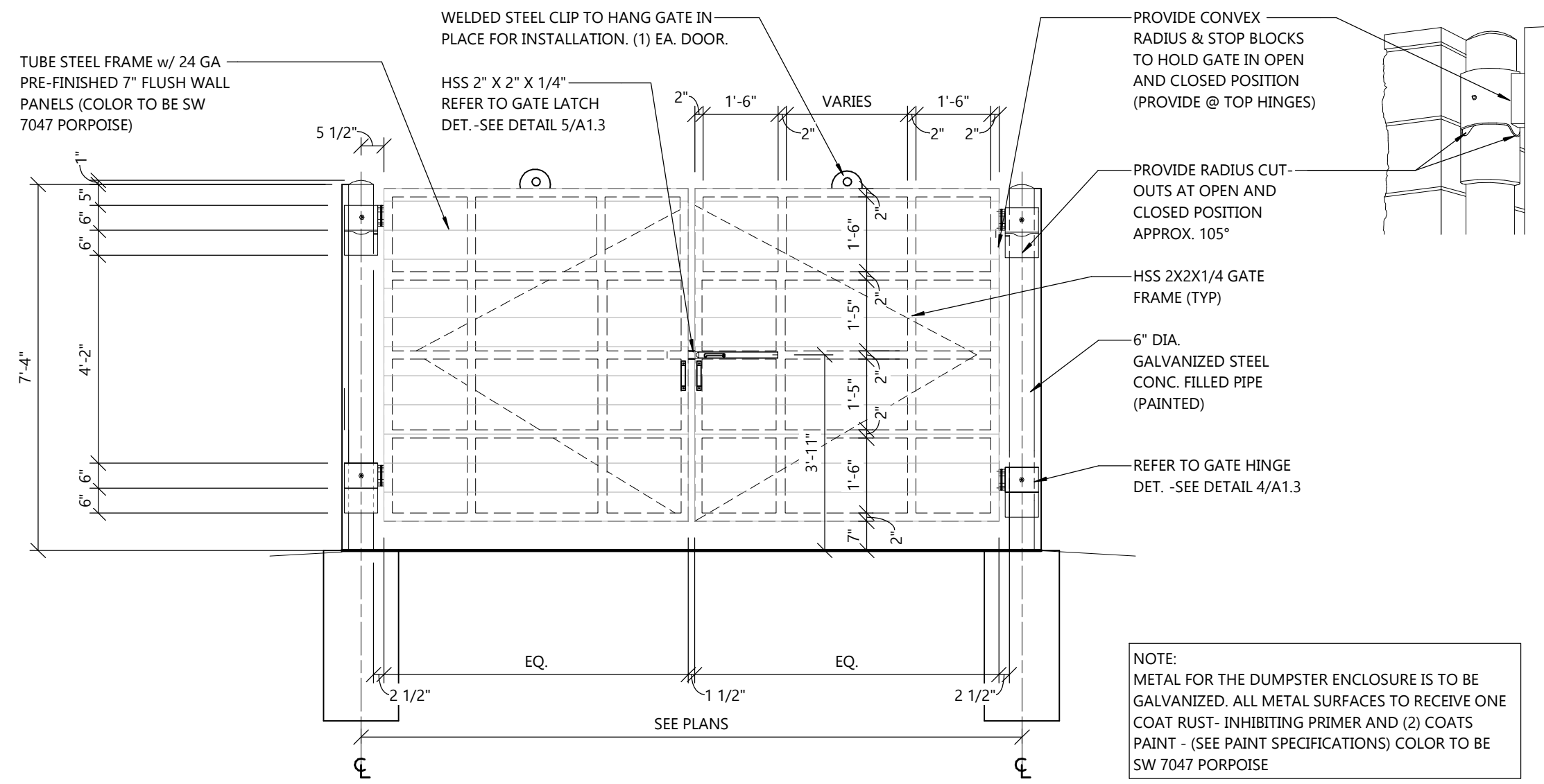
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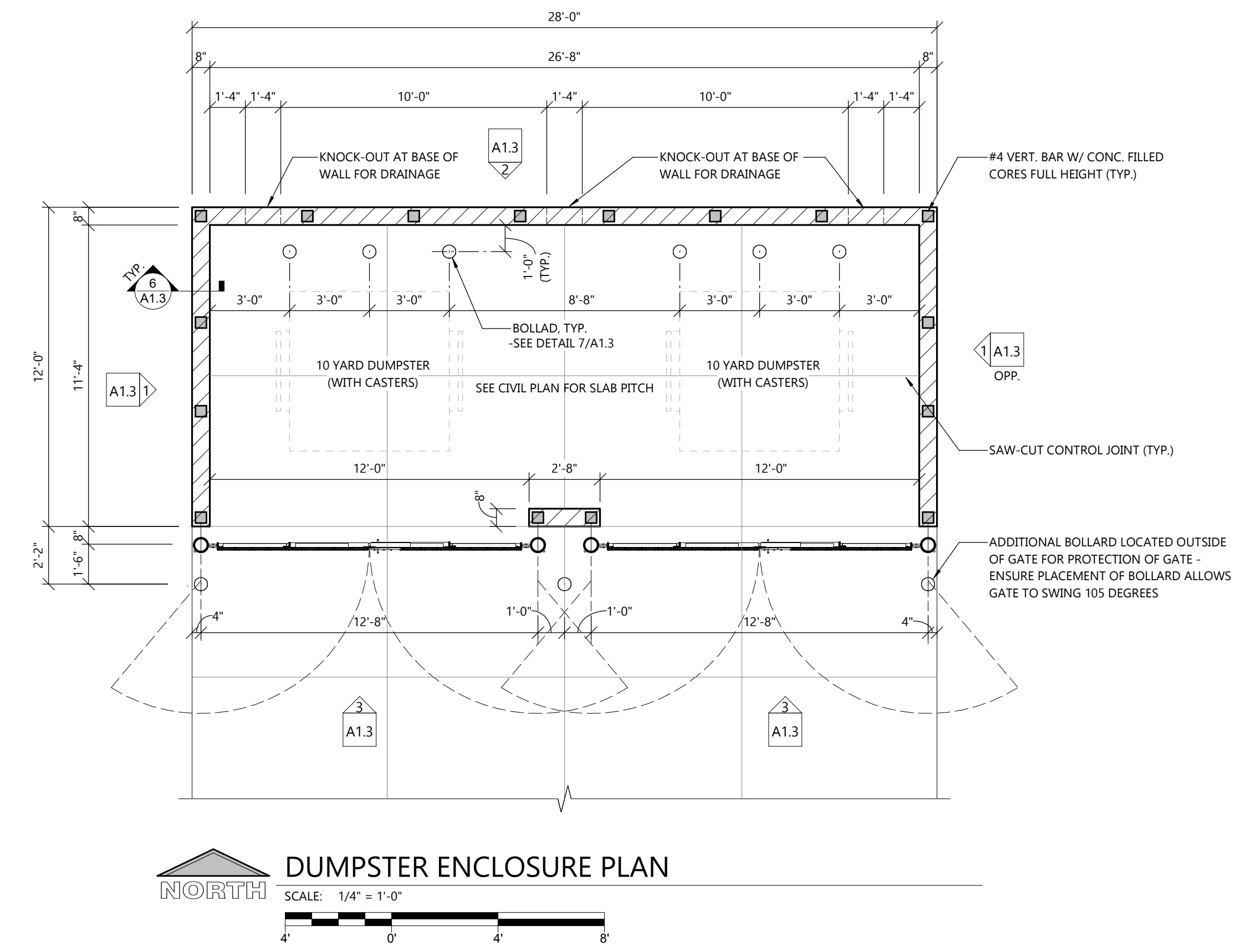
FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 NORTH



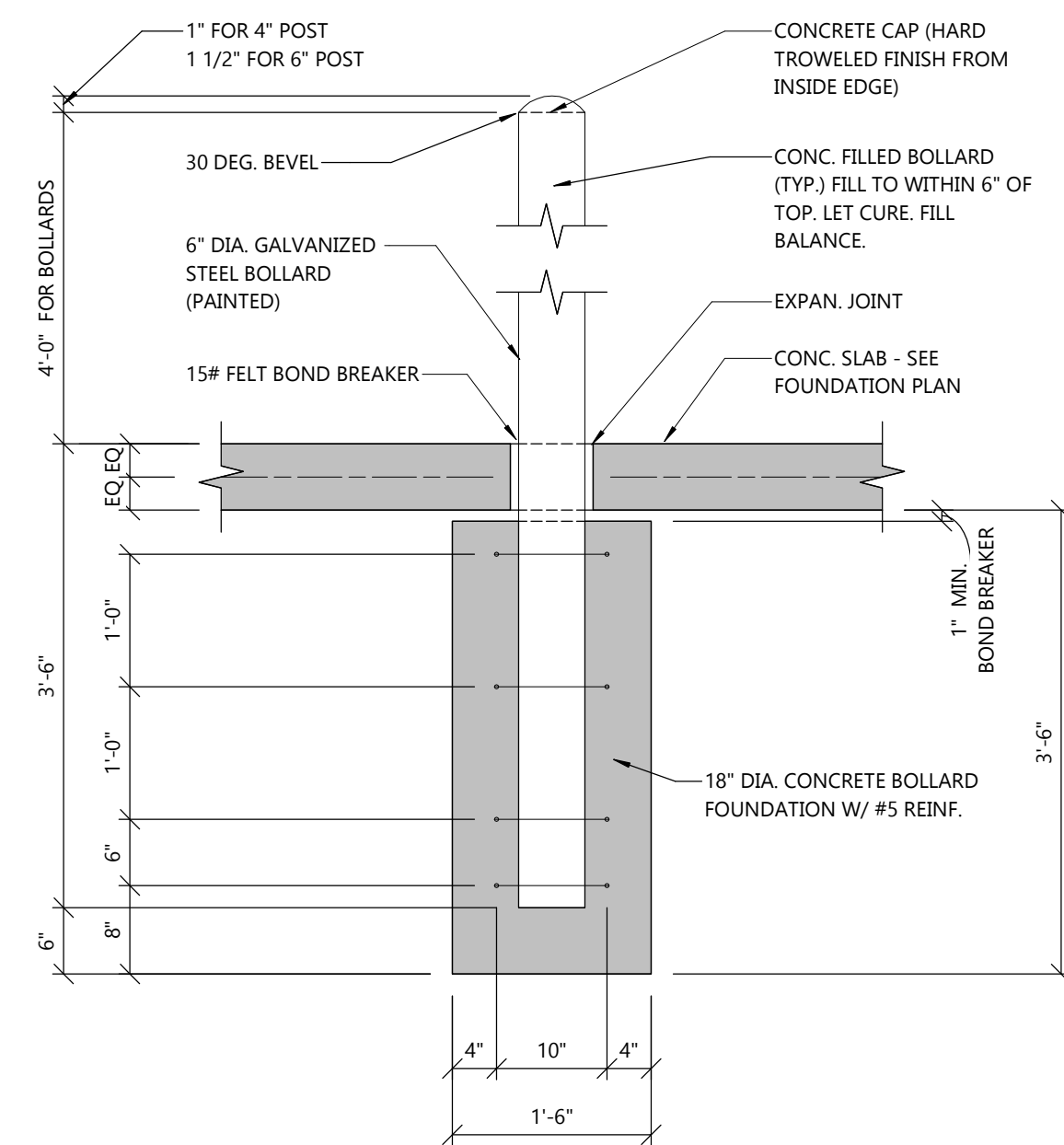
4 GATE HINGE DETAIL
 SCALE: 1" = 1'-0"



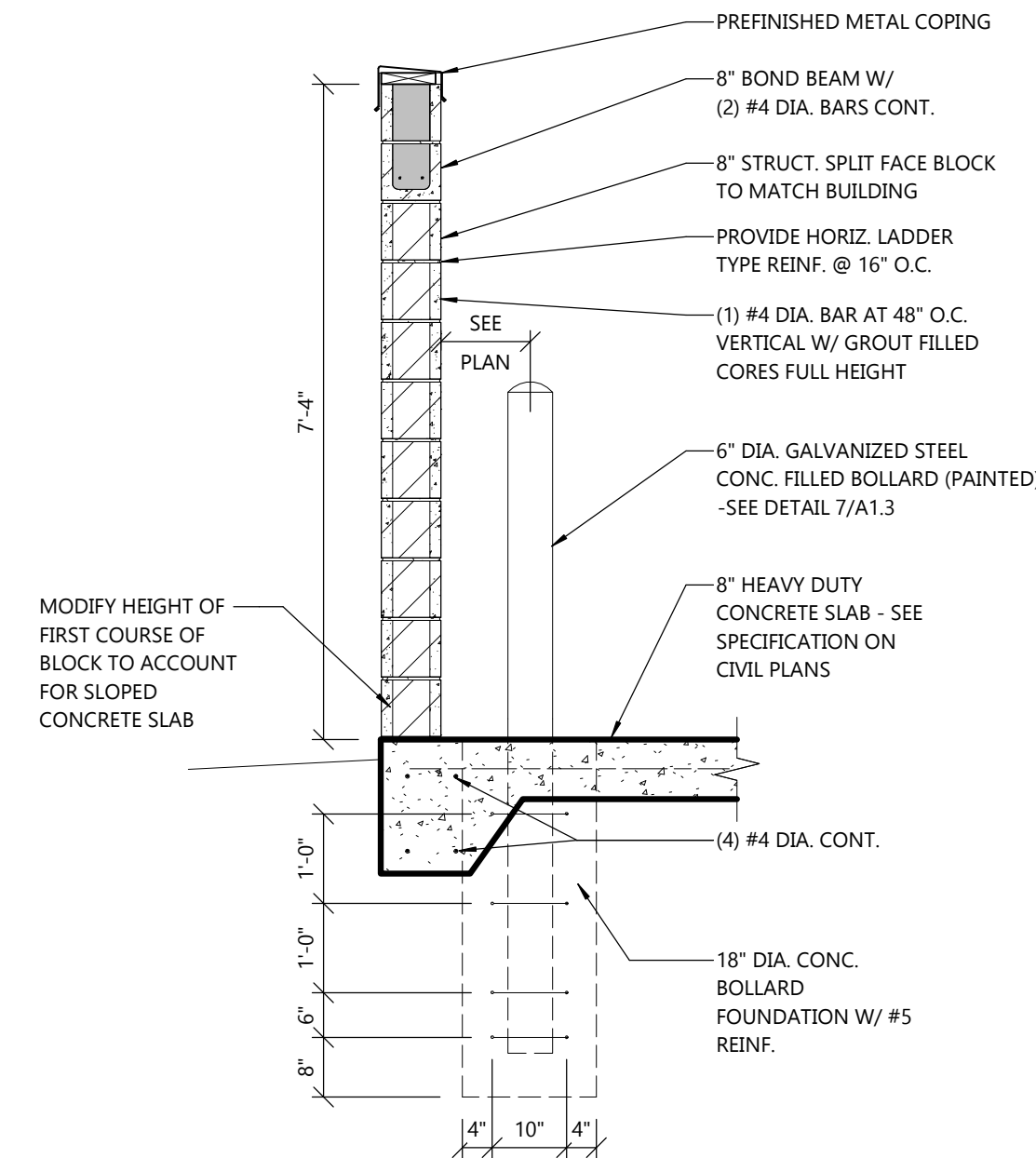
3 GATE ELEVATION
 SCALE: 3/8" = 1'-0"



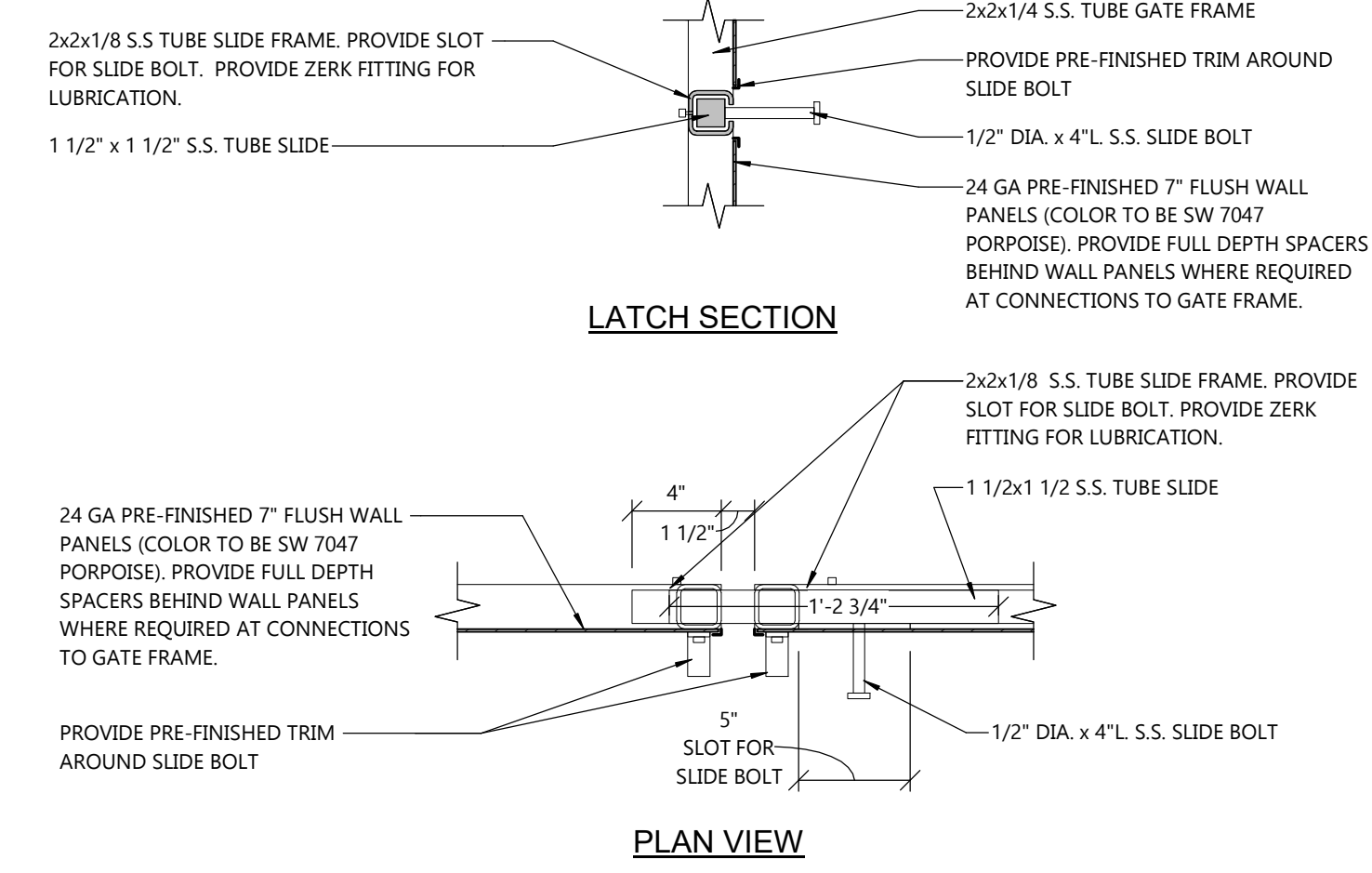
DUMPSTER ENCLOSURE PLAN
 SCALE: 1/4" = 1'-0"



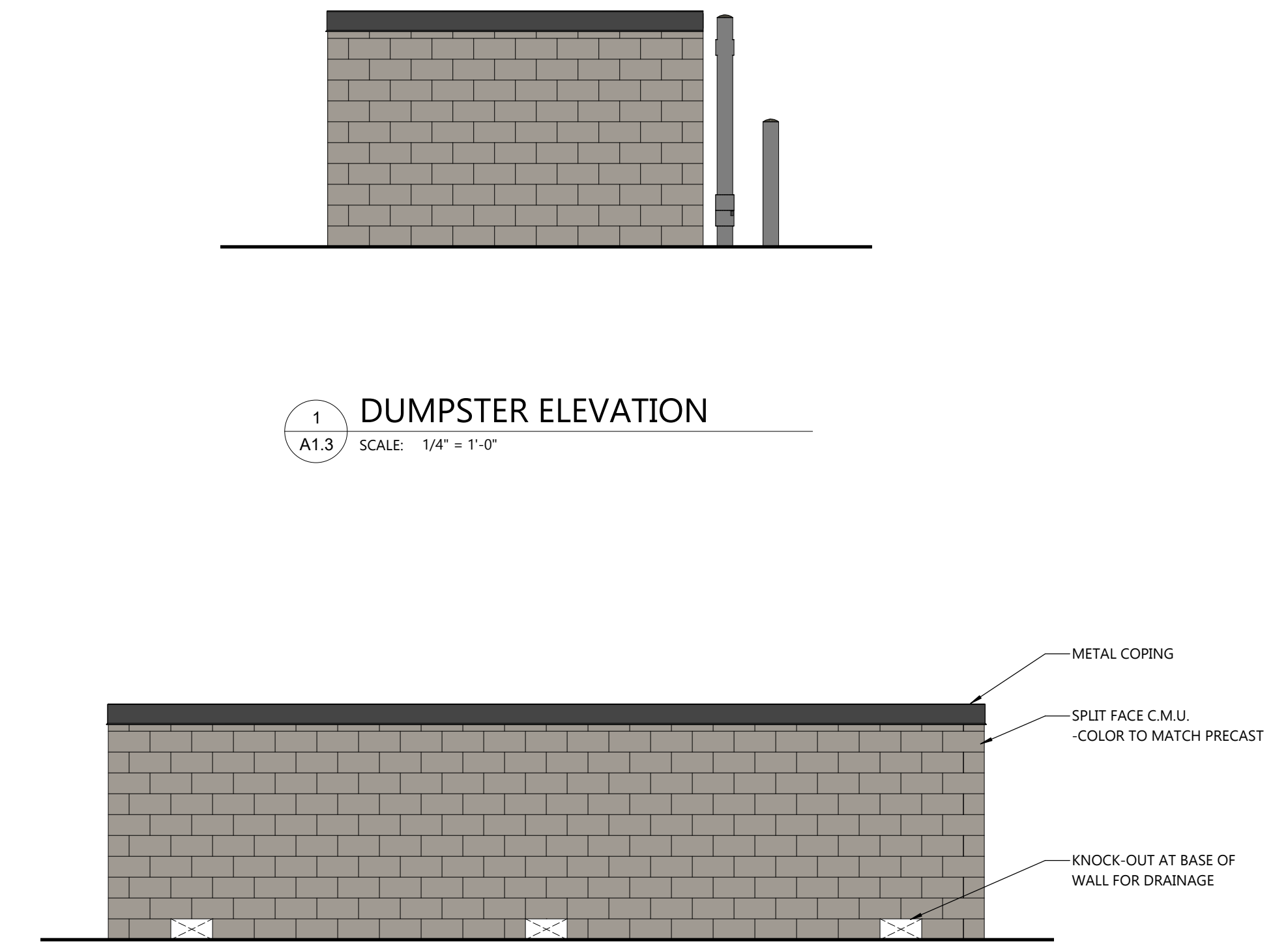
7 BOLLARD DETAIL
 SCALE: 3/4" = 1'-0"



6 DUMPSTER WALL SECTION
 SCALE: 1/2" = 1'-0"



5 LATCH DETAIL
 SCALE: 1 1/2" = 1'-0"

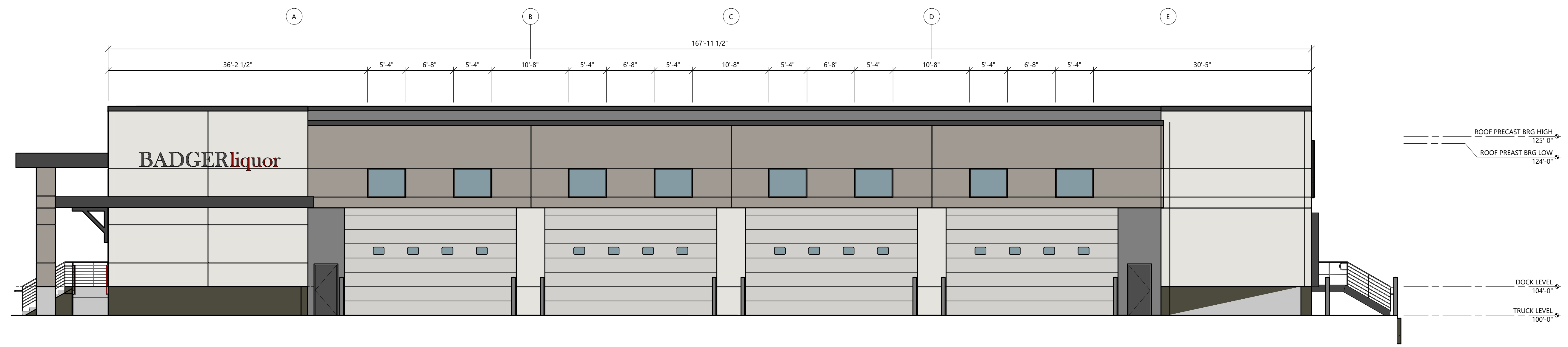


2 DUMPSTER ELEVATION
 SCALE: 1/4" = 1'-0"

1 DUMPSTER ELEVATION
 SCALE: 1/4" = 1'-0"

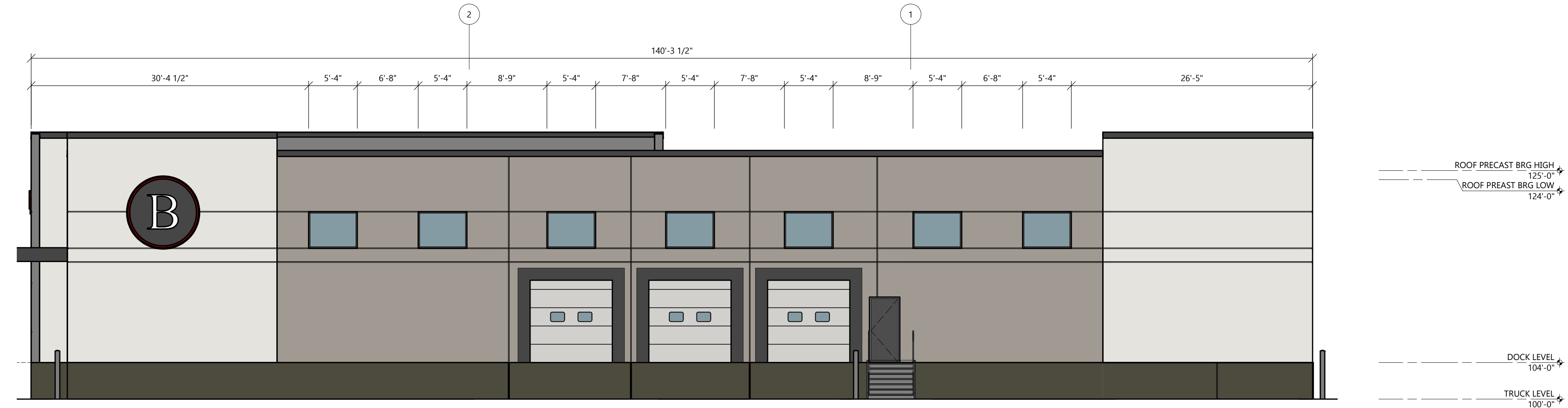
- 1 PRE-FINISHED METAL COPING
- 2 PAINTED PRE-CAST CONCRETE
- 3 PAINTED PRE-CAST CONCRETE
- 4 PAINTED PRE-CAST CONCRETE
- 5 PAINTED POURED-IN CONCRETE

A- EXTERIOR FINISH KEY



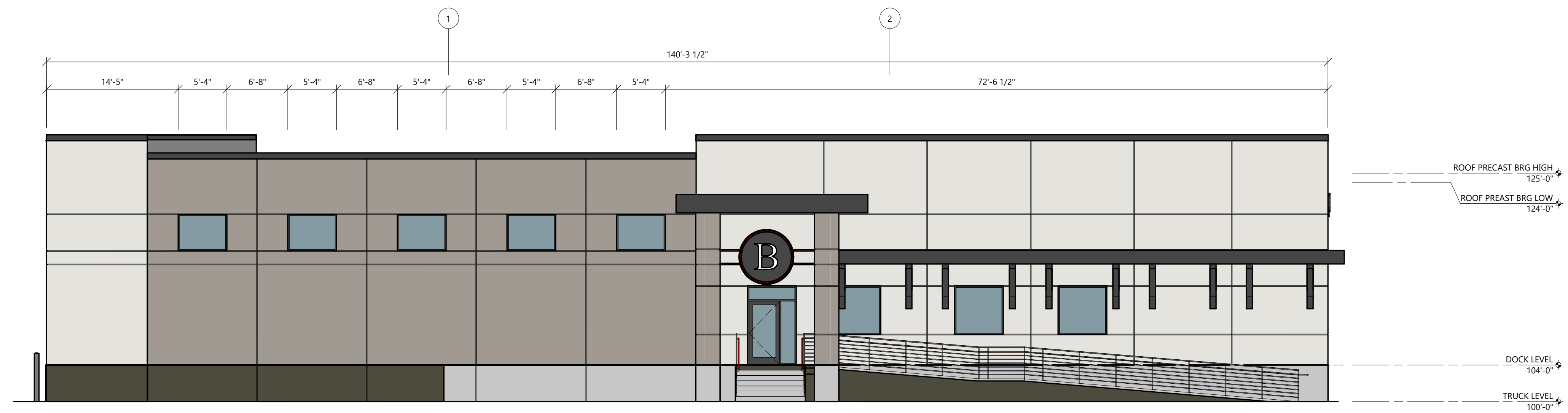
WEST ELEVATION

SCALE: 1/8" = 1'-0"



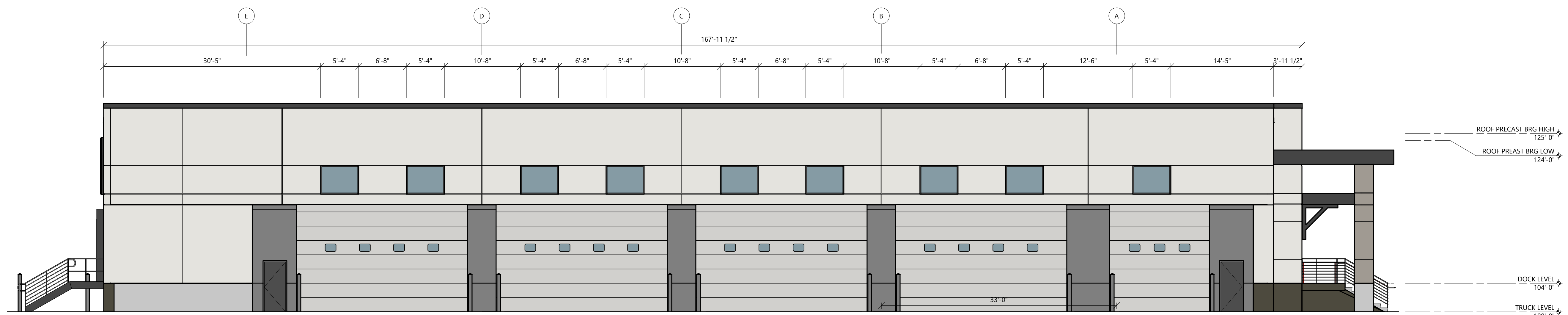
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

PROJECT INFORMATION

PROPOSED TRANSFER BUILDING FOR:
BADGER LIQUOR SOUTH DEPOT
 DEBACK FARMS BUSINESS PARK • CALEDONIA, WI 53126

PROFESSIONAL SEAL

PRELIMINARY DATES

JUNE 21, 2021
 JULY 12, 2021

JOB NUMBER

2138480

SHEET NUMBER

A2.0

NOT FOR CONSTRUCTION

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

PROJECT INFORMATION

PROPOSED TRANSFER BUILDING FOR:
BADGER LIQUOR SOUTH DEPOT
DEBACK LANE BUSINESS PARK • CALEDONIA, WI 53126

PROFESSIONAL SEAL

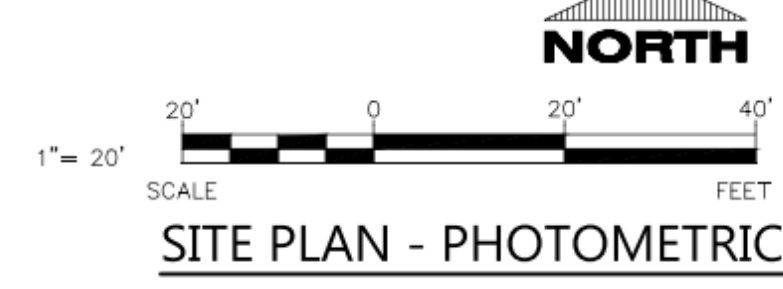
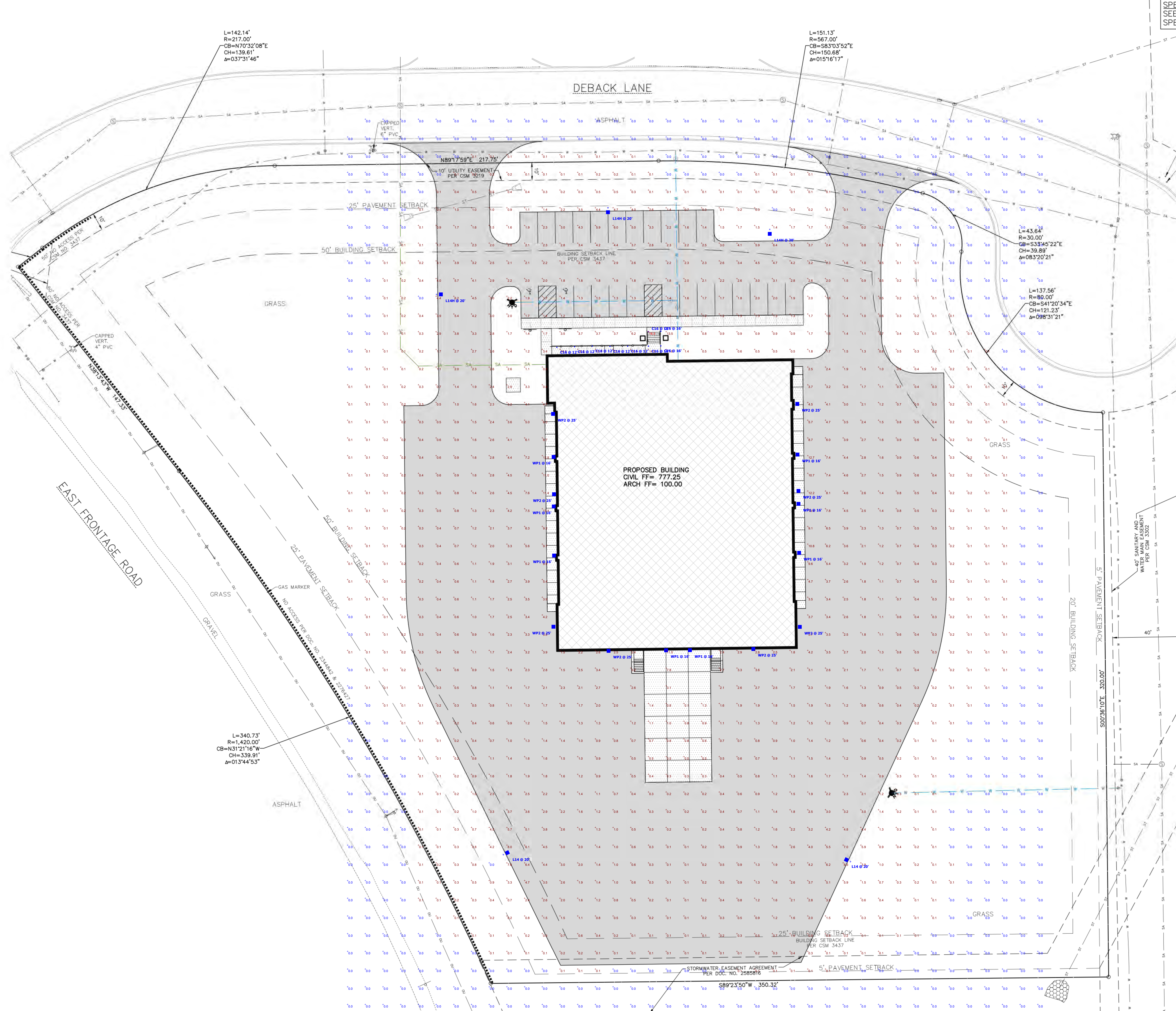
PRELIMINARY DATES
JULY 12, 2021

NOT FOR CONSTRUCTION

JOB NUMBER
2138480

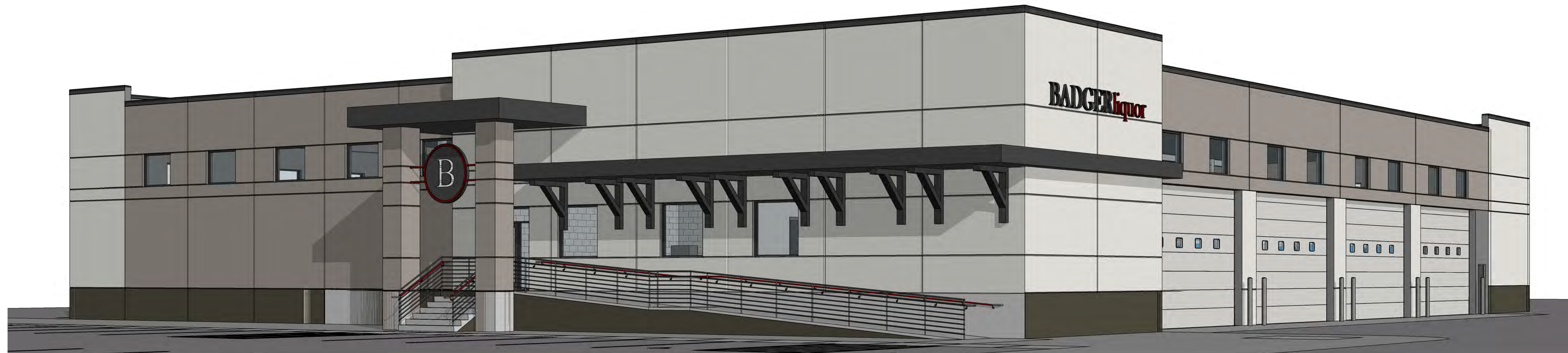
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PXP1

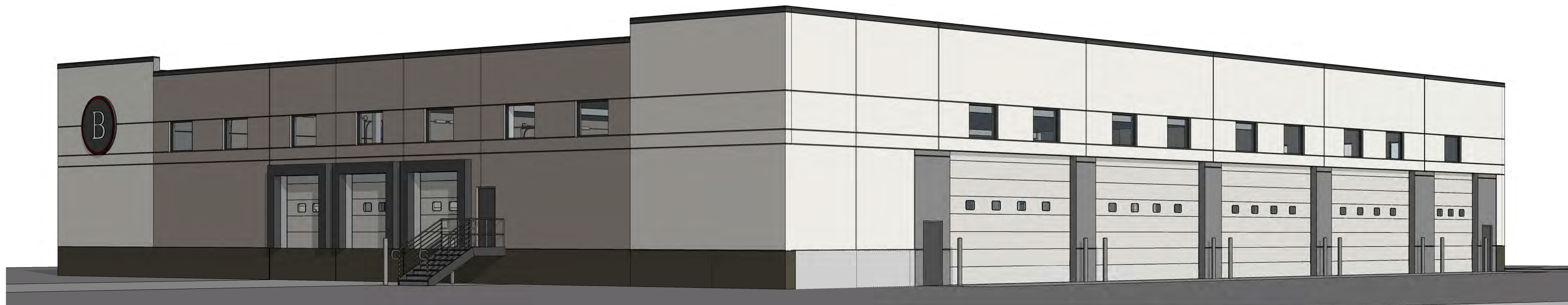




ISOMETRIC VIEW



PERSPECTIVE VIEW FROM N/W



PERSPECTIVE VIEW FROM S/E

PROJECT INFORMATION

PROPOSED TRANSFER BUILDING FOR:
BADGER LIQUOR SOUTH DEPOT
 DEBACK FARMS BUSINESS PARK • CALEDONIA, WI 53126

PROFESSIONAL SEAL

PRELIMINARY DATES

JUNE 10, 2021
 JULY 12, 2021

NOT FOR CONSTRUCTION

JOB NUMBER

2138480

SHEET NUMBER

A2.1

NOTE: ENTIRE SHEET IS FOR REFERENCE ONLY
 ARCHITECTURAL EXTERIOR 3D VIEW



BADGERliquor

B







BADGERliquor





PLAN COMMISSION REPORT

Proposal: Building, Site, & Operations (BSO) Plan Review

Description: Review a request for approval of a building, site, and operation plan for a ±443,987 square-foot industrial building located at 13300 Carol Court in the Deback Business Park.

Applicant(s): Christopher Carlino, Scannell Properties

Address(es): 13300 Carol Court

Suggested Motion: That the Plan Commission recommends to the Village Board that a building, site, and operations plan for a ±443,987 square-foot industrial building be approved with conditions outlined in Exhibit A for the property located at 13300 Carol Court for the following reasons:

1. The proposed use is allowed through the building, site, and operation plan review process and is a permitted use in M-3 Zoning District.
2. This use will not adversely affect the surrounding property values.

Owner(s): WisPark LLC

Tax Key(s): 104-04-22-30-015-222

Lot Size(s): ±34.49 acres

Current Zoning District(s): M-3, Heavy Industrial District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Industrial/Business Park

Background: The applicant is proposing to construct a ±443,987 square-foot industrial building on the central portion of former Pad F identified in the DeBack Business Park. The Plan Commission has reviewed a proposed CSM prior to this review showing Pad F reconfigured into three lots. Lot 2 is the location which this building will be constructed upon. This industrial building is intended to be used as a distribution facility which is a permitted use in the M-3 District. This development will have outdoor parking for semi-tractors and trailers as part of their operation.

The proposed building will be located on Lot 2 of CSM 3438. It and will have an exterior consisting primarily of concrete wall panels that will be painted varying shades of gray with blue accents. The entrance portion of the building will incorporate glass and metal accents to draw focus to the entrance. The north and south portions of the building will consist of 76 dock doors and 4 overhead doors that do not face a public road.

Parking for this development consists of 275 stalls which include 7 ADA stalls which meets the required number of stalls for this size building. The proposed dimensions of parking stalls meet the minimum of 180 square feet in area. There are a total of 114 tractor trailer stalls which are located on the north and south portions of the site.

Landscaping on the site incorporates a combination of deciduous and evergreen vegetation along with perennials, shrubs, and ornamental grasses. This lot does not directly abut upon a public right-of-way, therefore, does not have to meet the same landscaping requirements of parking lots abutting a public road. For any parking lot with over 25 stalls, landscaping is required in the parking lot. The parking lot incorporates bump outs which will include a deciduous tree. Along the north portion of the site, there will be a combination of deciduous trees with a row of shrubs in between. North of this site is a private road which abuts a wetland area, which will not be developed. On the southern portion of the site, there will be a mix of evergreens and deciduous trees installed atop a six-foot berm which will provide a natural looking screen to the south. A regional detention pond abuts this parcel to the south. The eastern portion of the site abuts the parking lot of an existing development and has the least proposed landscaping. This area is predominately turf grass with shrubs, ornamental grasses, and perennials installed along the building. The western area of the site will have deciduous trees installed every 40 feet and include clusters of evergreens. Overall, the plan meets the requirements for landscaping. The Plan Commission does have the discretion to modify the proposed landscape.

The lighting of the site will consist of down-cast, cutoff, LED fixtures throughout the development. The submitted photometric plan complies with the Village code lighting requirements that no more than a 0.5 foot-candle be cast at the lot line.

Prior to any building permits being issued, the applicant will need to get approvals for stormwater management, erosion control, and grading plans from Water Utility Department and Engineering Department. The Fire Department indicated no concerns regarding the proposed site plan; however, they will work with the applicant to ensure compliance with sprinkling requirements for this building type.

The proposed development complies with Village zoning code and the proposed use is a permitted use in the M-3 District. Staff recommends approval of the proposed development located at 13300 Carol Court subject to conditions outlined in Exhibit A. If the Plan Commission is comfortable with the proposed development, staff has drafted a suggested motion to approve the proposed development with conditions.

EXHIBIT A: Conditions of Approval for Scannell Development Phase 2

1. **Compliance.** Failure to comply with the terms and conditions stated herein could result in the issuance of citation(s) and/or revocation of this permit.
2. **Binding Effect.** These conditions bind and are applicable to the Property Owner, Agent, and any other users of the Property Owner with respect to the uses on the Property.
3. **Plans.** The proposed operation shall be located, constructed, and utilized in accordance with the revised plans and documents received by the Village Planning Office on July 12, 2021.
4. **Engineering Department.** The property owner or designated agent must contact the Village of Caledonia Engineering Department and must comply with all regulations and requirements of the Village of Caledonia Engineering Department.
5. **Stormwater.** The property owner or designated agent must contact the Village of Caledonia Stormwater Utility District regarding stormwater regulations for this site. Compliance with all regulations and requirements, as determined by the Village of Caledonia Stormwater Utility District is required. Stormwater management plans shall be submitted for approval and be in compliance with all Village requirements, as determined by the Village Engineer before permits are issued.
6. **Fire Department Approval.** Owner shall obtain approval from the Village of Caledonia Fire Department and meet applicable codes.
7. **Parking.** Parking at the site must be in compliance with the submitted plans. All employee and visitor parking must be conducted in the proposed parking lot as outlined on the submitted site plan. Each parking space shall be a minimum of 180 square feet in area exclusive of the space required for ingress and egress. Handicapped spaces shall be provided in accordance with State requirements. The driveway and all parking areas must be maintained in a hard-surfaced, dust-free condition.
10. **Landscaping.** Landscaping at the site must be in compliance with the submitted Landscaping Plan received on July 12, 2021. The Village may require a letter of credit or bond to be posted to ensure implementation and maintenance. Landscaping shall comply with Title 16. The landscaping plan shall follow the Village of Caledonia planting requirements. Landscaping shall be maintained in a living condition and any landscaping that dies or is otherwise removed shall be immediately replaced.
11. **Lighting.** The lighting plan must be in compliance with the submitted lighting plan July 12, 2021. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway. Following installation, owner shall contact Village for an inspection to ensure that lighting was properly installed.
12. **Signage.** No signs are being proposed as part of the review. Prior to installation of any signs, a sign permit will be required prior to installation and meet all sign regulations in Title 16. Banners, balloons, flashing or animated signs are prohibited.

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13. **No Accumulation of Refuse and Debris.** Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.
 15. **Performance Standards.** The applicant must comply with the provisions of Article VII, Division 4, Performance Standards of Chapter 20, Zoning, Racine County Code of Ordinances, as adopted by the Village of Caledonia.
 16. **Property Maintenance Required.** A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade.
 17. **Expiration.** This approval will expire twelve (12) months from the date of the Village's final approval unless substantial work has commenced following such grant. If this office determines that no substantial work has commenced, the development will be required to resubmit their application and go through the conditional use process.
 18. **Access.** The applicant must allow any Village employee full and unlimited access to the project site at a reasonable time to investigate the project's construction, operation, or maintenance.
 19. **Compliance with Law.** The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 14, 16 and 18 of the Village of Caledonia Code of Ordinances.
 20. **Reimburse Village Costs.** Applicant shall reimburse to the Village all costs incurred by the Village for review of this conditional use including but not limited to engineering, legal and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.
 21. **Amendments to Building, Site & Operations Plan.** No additions, deletions, or changes may be made to the project, site plan, or these conditions without the Village of Caledonia's prior approval. All addition, deletion, and/or change requests must be submitted to the Village of Caledonia in writing. A minor change to the conditions of this permit, as deemed by the Village Development Director, may be made at a staff level, if authorized by the Village Development Director.
 22. **Caledonia Utility District.** The property owner or designated agent must contact the Caledonia Utility District regarding Utility District regulations for this site. Compliance with all regulations and requirements, as determined by the Caledonia Utility District is required.
 23. **Site Plan and Title 16 Review.** The final site plan and site design and architectural details required under Title 16 of the Village's Code of Ordinances shall be reviewed and approved for compliance by the Village Development Director.
 25. **Agreement.** You are accepting the conditional use approval/zoning permit and beginning the project means that you have read, understand, and agree to follow all conditions of this approval. Therefore, Christopher Carlino, Scannell Properties, WisPark, and their heirs, successors, and assigns, including tenants, are responsible for full compliance with the above conditions.

26. **Subsequent Owners.** It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.
-

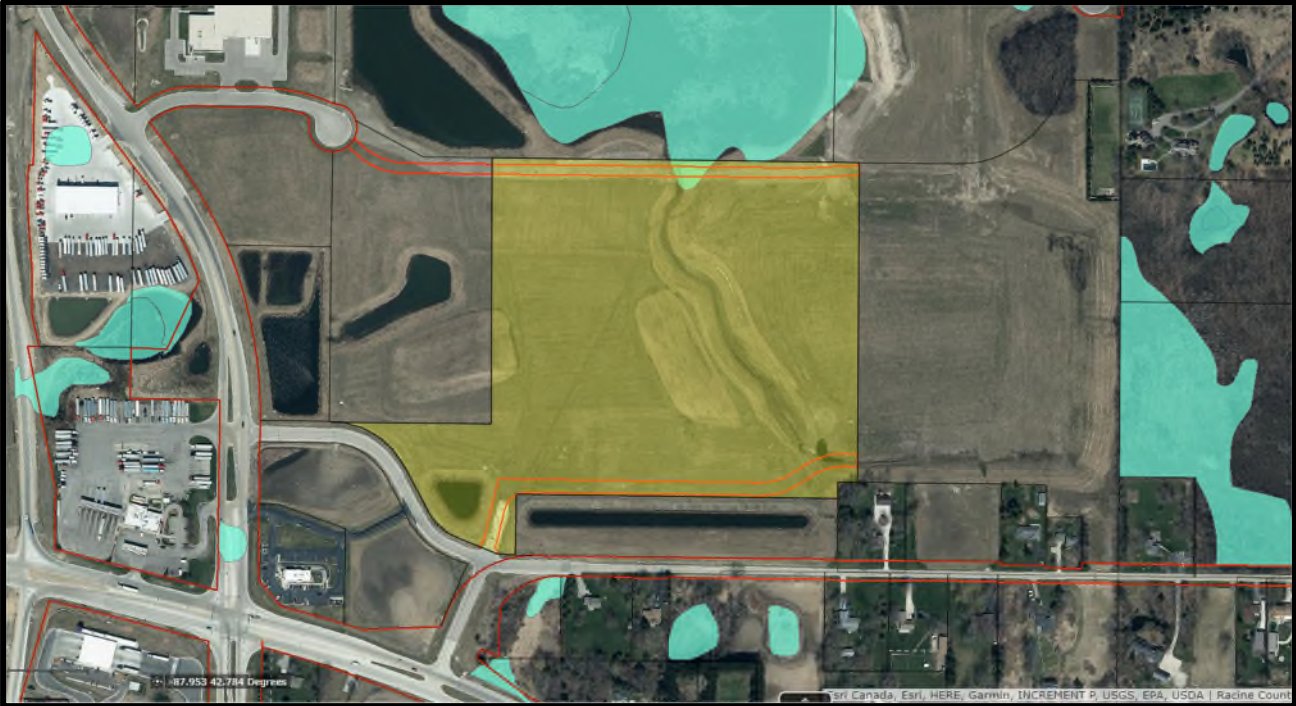
Respectfully submitted:

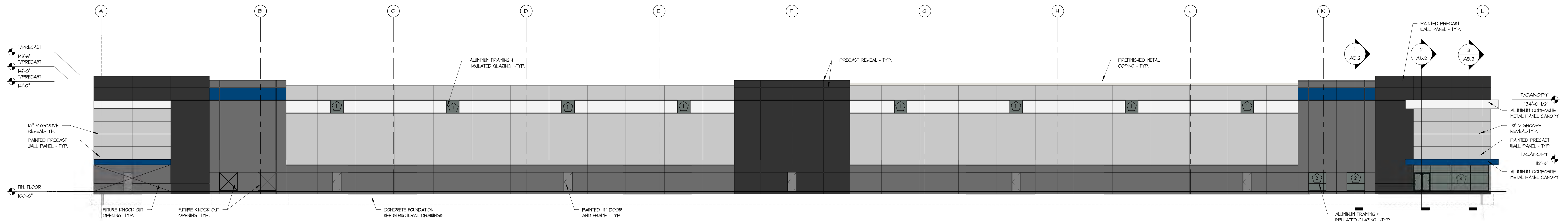
A handwritten signature in cursive script that reads "Peter Wagner".

Peter Wagner, AICP
Development Director

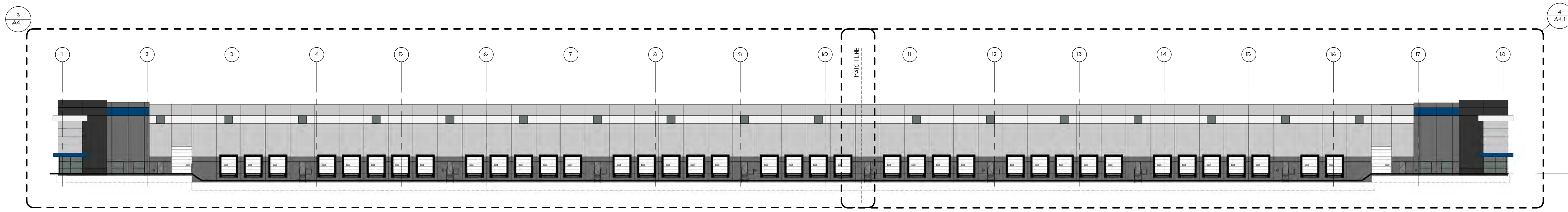
Location Map

13300 Carol Court

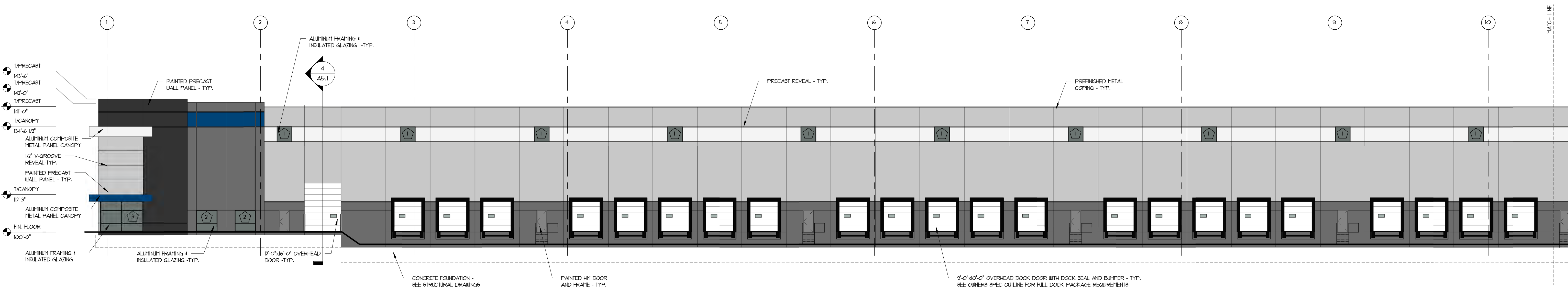




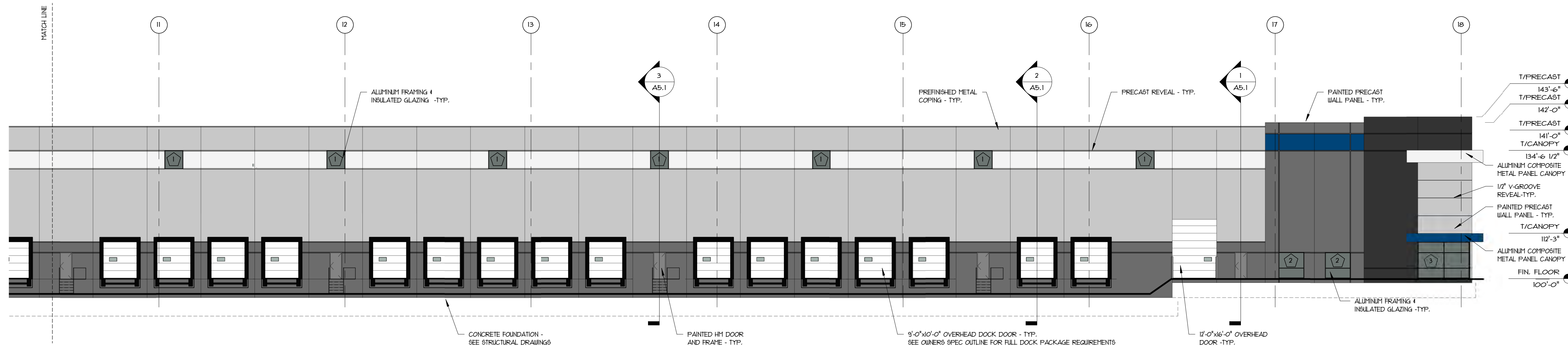
1 WEST ELEVATION
A4.1 1/16" = 1'-0"



2 OVERALL SOUTH ELEVATION
A4.1 1" = 30'-0"



3 PARTIAL SOUTH ELEVATION - WEST
A4.1 1/16" = 1'-0"

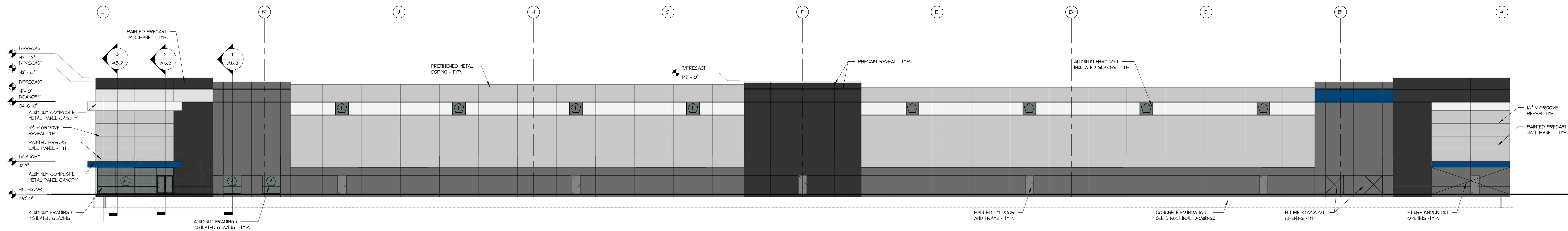


4 PARTIAL SOUTH ELEVATION - EAST
A4.1 1/16" = 1'-0"

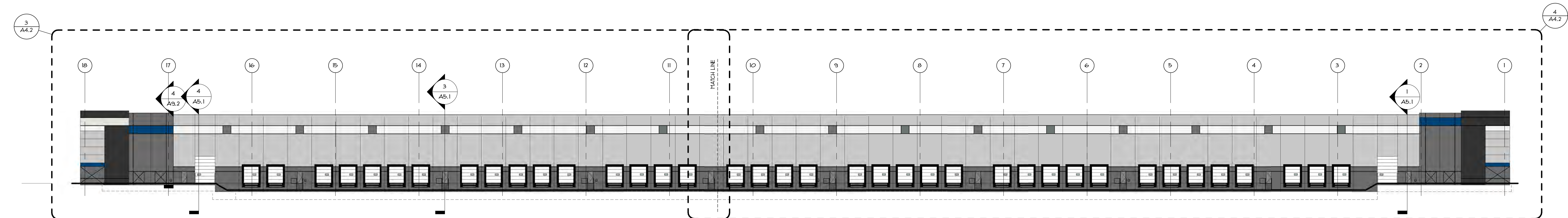
COLOR LEGEND:

[Light Gray Box]	PANT COLOR 1 FIELD COLOR - T.B.D.
[Medium Gray Box]	PANT COLOR 2 ACCENT COLOR - T.B.D.
[Dark Gray Box]	PANT COLOR 3 ACCENT COLOR - T.B.D.
[Blue Box]	METAL PANEL CANOPY MATCH PAC CLAD. T.B.D.
[Black Box]	PANT COLOR 4 ACCENT COLOR - T.B.D.
[White Box]	PANT COLOR 5 ACCENT COLOR - T.B.D.
[White Box]	METAL PANEL CANOPY MATCH PAC CLAD. T.B.D.

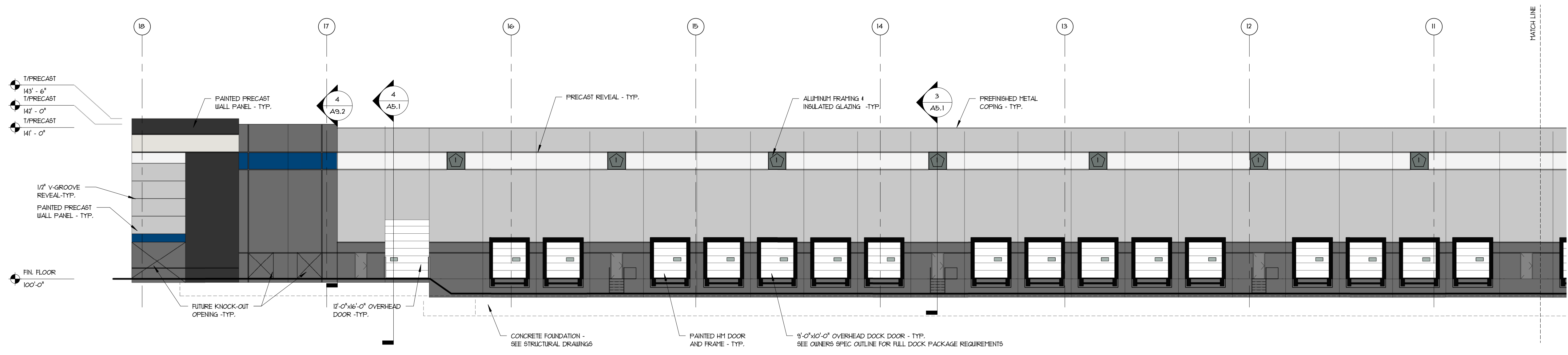




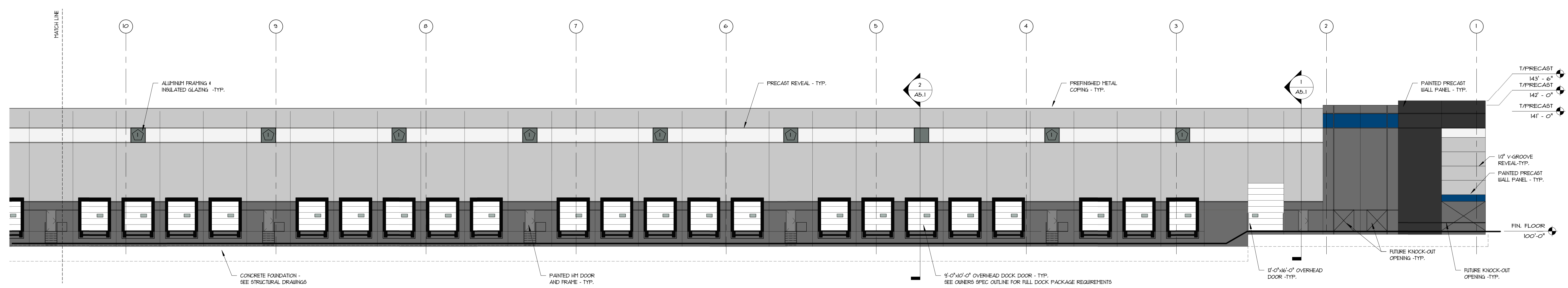
1 EAST ELEVATION
A4.2 1/16" = 1'-0"



2 OVERALL NORTH ELEVATION
A4.2 1" = 30'-0"



3 PARTIAL NORTH ELEVATION - WEST
A4.2 1/16" = 1'-0"

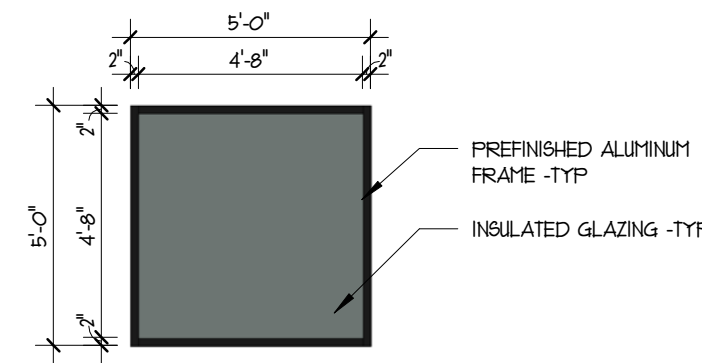


4 PARTIAL NORTH ELEVATION - EAST
A4.2 1/16" = 1'-0"

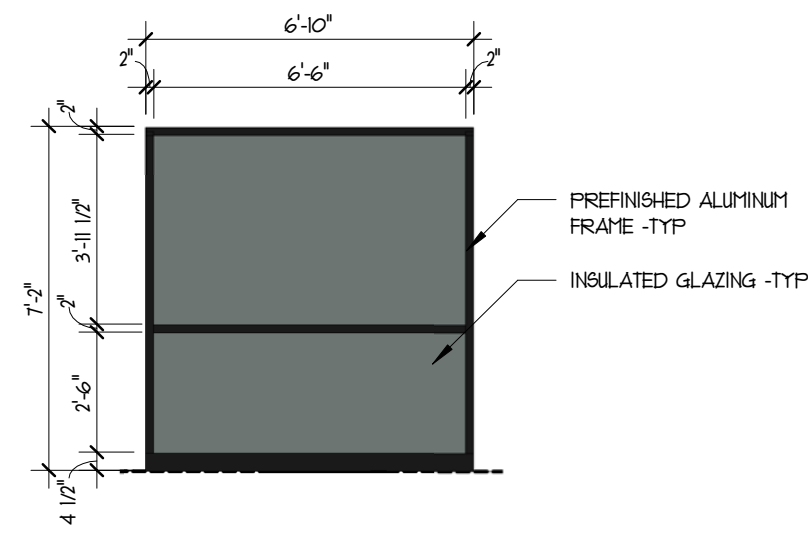
COLOR LEGEND:

[Light Gray Box]	PAINTE COLOR 1 FIELD COLOR - T.B.D.
[Medium Gray Box]	PAINTE COLOR 2 ACCENT COLOR - T.B.D.
[Dark Gray Box]	PAINTE COLOR 3 ACCENT COLOR - T.B.D.
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[Dark Blue Box]	PAINTE COLOR 4 ACCENT COLOR - T.B.D.
[White Box]	PAINTE COLOR 5 ACCENT COLOR - T.B.D.
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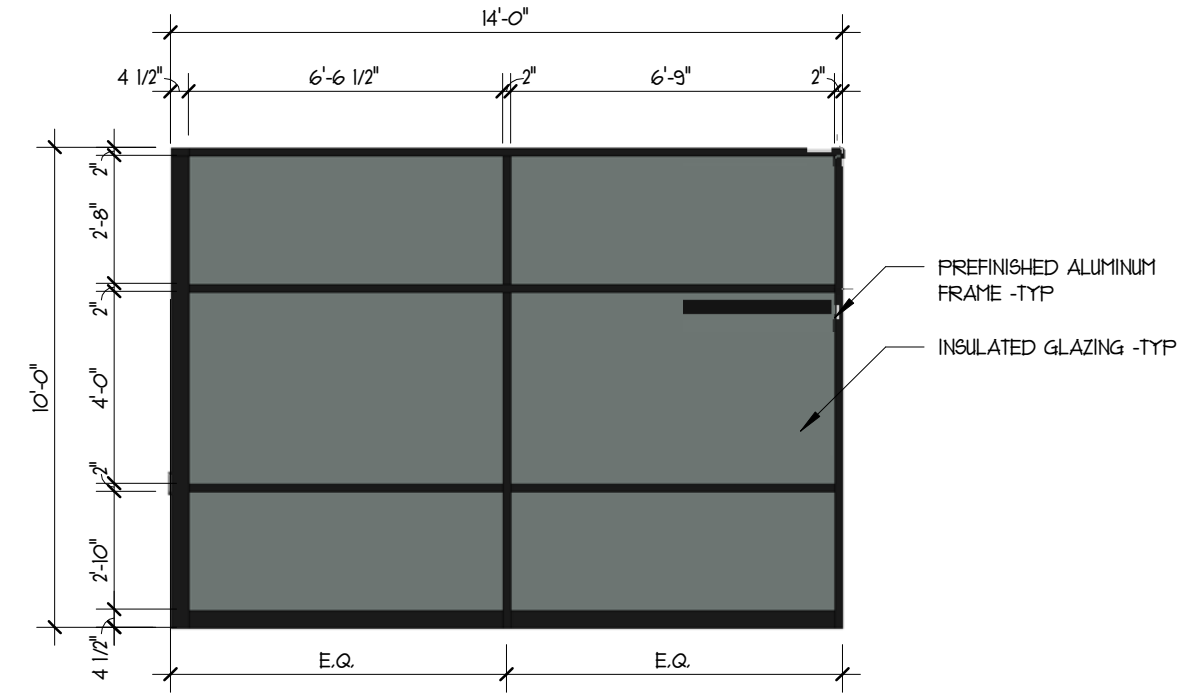




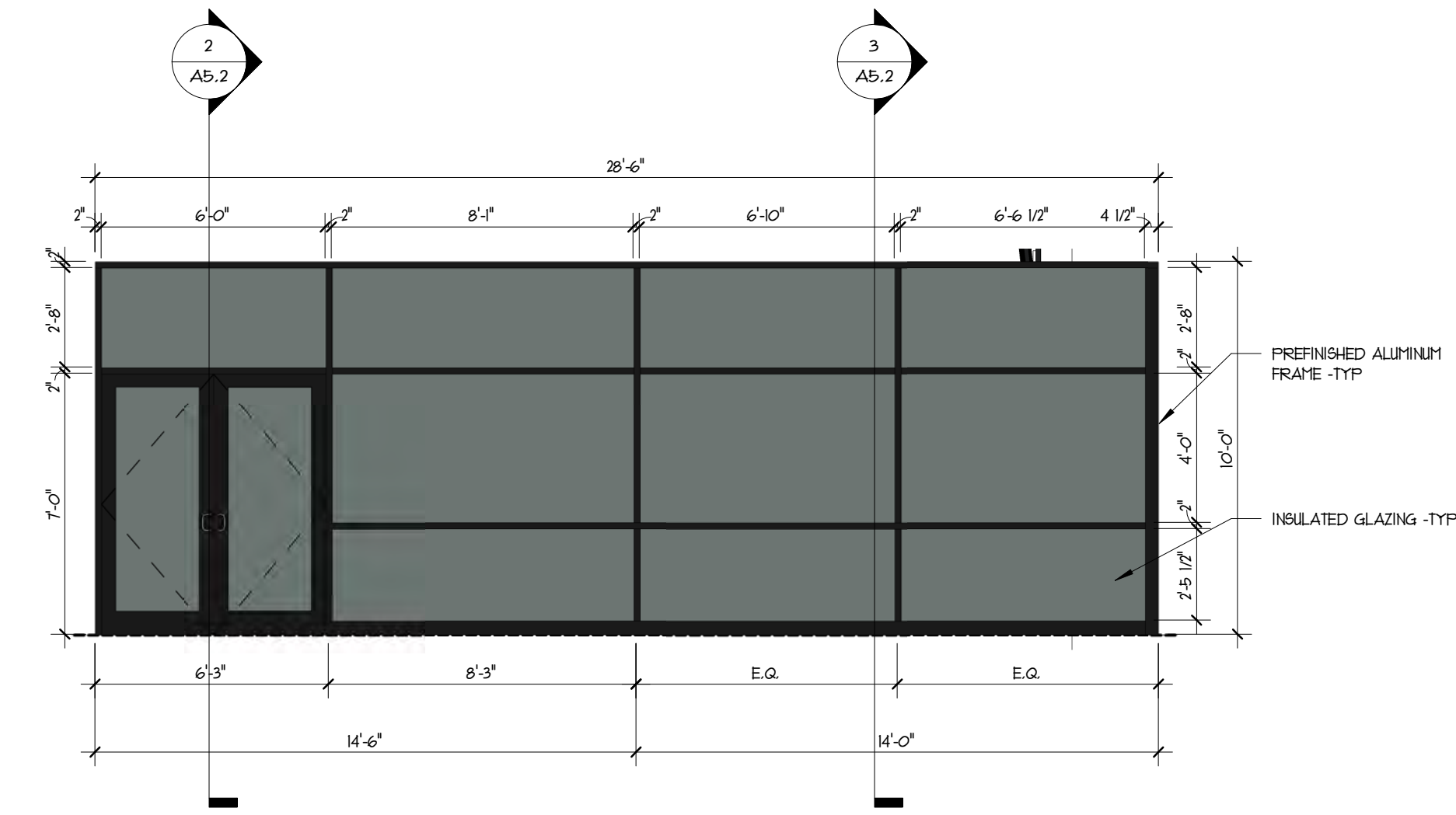
1 FRAME TYPE 1
A4.3 1/4" x 1'-0"



2 FRAME TYPE 2
A4.3 1/4" x 1'-0"



3 FRAME TYPE 3
A4.3 1/4" x 1'-0"



4 FRAME TYPE 4
A4.3 1/4" x 1'-0"

GLAZING NOTES

- PROVIDE TEmPERED GLAZING AT THE FOLLOWING LOCATIONS (AND ANY OTHER LOCATIONS REQUIRED BY CODE):
 - INGRESS AND HEADS OF EGRESS DOORS.
 - FIXED PANELS IN SWINGING DOORS.
 - INDIVIDUAL FIXED PANELS ADJACENT TO DOORS.
 - FIXED PANELS UNLESS BOTTOM EDGE IS LESS THAN 18 INCHES FROM THE FLOOR.
- ALL GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL CODES.
- ALL GLAZING IN OR ADJACENT TO DOORS OR WITHIN 3' OF A WALKING SURFACE SHALL BE TEmPERED. IF GLAZING IS IN AN INSULATED UNIT, BOTH LITES MUST BE TEmPERED, LAmINATED SAFETY GLASS, OR A COMBINATION OF THE TWO.

SPECIFICATIONS

- WINDOWS**
- FRAMING SYSTEM:
 - KABRIER TRI-FAB 451T OR APPROVED EQUAL. 2" x 4-1/2" MILLIONS. MANUFACTURERS STANDARD ANODIZED ALUMINUM, COLOR: TO BE BLACK.
 - INSTALLATION:
 - INSTALLER TO EXAMINE ALL SURFACES TO RECEIVE WINDOWS FOR ROUGHNESS, LOOSE MATERIAL OR LAITANCE. NOTIFY CONTRACTOR OF DEFECTS OBSERVED AND OBTAIN CORRECTION BEFORE STARTING.
 - PROVIDE METAL SHIMS AT PERIMETER FRAME TO MAINTAIN A 3/16-5/16" SEALANT BEAD BETWEEN FRAME AND ADJUTING SURFACE.
 - PROVIDE ALUMINUM END DAMS AT HEAD AND SILL CHANNELS. SEAL JOINTS AROUND DAM AND OVER ATTACHMENT FASTENERS.
 - INSTALL BACKUP ROOF AT PERIMETER SEALANT JOINT. CONTINUOUSLY SEAL JOINT BETWEEN PERIMETER FRAME AND ADJUTING WALL. DO NOT SPREAD SEALANT ONTO ADJACENT WALL OR FRAME FACE. DO NOT PLAG SILL BEEP HOLES.
 - QUALITY ASSURANCE:
 - SUBMIT SHOP DRAWINGS SHOWING ALL REINFORCEMENT ATTACHMENT AND EDGE CONDITIONS FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION.
 - GUARANTEE WATER AND WEATHER TIGHTNESS OF ASSEMBLY INCLUDING FRAMES, EDGE SEALANT AND GLAZING FOR TWO YEARS.
 - IN THE PRESENCE OF THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVES, SPRAY TEST ALL UNITS TO DEMONSTRATE WATER TIGHTNESS OF COMPLETE INSTALLATION. UTILIZE FULL PRESSURE STREAM FROM DOMESTIC WATER HOSE AND NOZZLE DIRECTING STREAM AT HEAD, SILL, JAMB AND MILLION MEMBERS FROM 4 FOOT DISTANCE, PERPENDICULAR TO GLAZING FACE. ALLOW A MINIMUM OF 30 SECOND DURATION FOR EACH 4' SECTION OF WINDOW. MARK ALL OBSERVED LEAKS, CORRECT DEFECT AND SCHEDULE RETEST FOR VERIFICATION OF CORRECTION.
 - GLAZING:
 - TRI-FAB 451T (INTERNAL) TIGHTING SYSTEM. GLASS: CENTER GLAZED. TINT COLOR TO BE GREY.
 - GLAZED ALUMINUM ENTRANCE DOORS.
 - THICKNESS: 1-3/4 INCHES. STYLE AND RAIL DIMENSIONS PER ARCHITECTURAL DRAWINGS. GLAZING STOPS: BEVELED. FINISH: MANUFACTURERS STANDARD ANODIZED ALUMINUM, COLOR: TO BE BLACK; GLASS TINT TO BE GREY.

- PAINT MANUFACTURERS**
- PROVIDE ALL PAINT AND COATING PRODUCTS USED IN ANY INDIVIDUAL SYSTEM FROM THE SAME MANUFACTURER TO THE GREATEST EXTENT POSSIBLE.
 - BASE MANUFACTURER: SHERWIN WILLIAMS
- PAINT SYSTEM - INTERIOR AND EXTERIOR PRECAST**
- LOUDBORN - LOUDBORN VERTICAL CONCRETE STAIN OR APPROVED EQUAL.
 - EXTERIOR (2 COATS)
 - FIRST COAT: LOUDBORN - LOUDBORN VERTICAL CONCRETE STAIN
 - SECOND COAT: ARBOTECH - SUPERPAINT EXTERIOR LATEX ULTRADEEP
 - INTERIOR (ONE COAT)
 - STAIN TO MATCH THE SHERWIN WILLIAMS COLORS INDICATED ON THE ARCHITECTURAL EXTERIOR ELEVATION SHEET PAINT COLOR LEGEND.

- ALUMINUM COMPOSITE METAL PANEL PRODUCTS**
- ACH MANUFACTURERS AND FIELD-FABRICATED BODY ACH PANEL SYSTEM SUPPLIERS
- MANUFACTURERS:**
- OREGALITE MATERIAL MANUFACTURED BY LAMINATORS INC. - [HYPERLINK: "http://www.laminatorsinc.com" www.laminatorsinc.com](http://www.laminatorsinc.com)
 - APPROVED ACH MANUFACTURERS WHO MEETS THE REQUIREMENTS OF THIS SPECIFICATION
- ALUMINUM COMPOSITE MATERIAL FACTORY**
- ACH PANEL SYSTEM TYPE:
 - PROVIDE LAMINATORS INC. CLIP & CALK ACH PANEL SYSTEM THAT ENCAPSULATES PANEL EDGES USING A SET SEAL (CALKED) JOINT STYLE AND IS DESIGNED TO ENHANCE SYSTEM PERFORMANCE THROUGH IMPROVED MOISTURE MANAGEMENT AND INCREASED VENTILATION USING BODY SUB-FRAMING.
 - ACH PANEL DESCRIPTION:
 - CONSTRUCTION: TWO SHEETS OF ALUMINUM BONDED TO A CORE OR EXTRUDED THERMOPLASTIC MANUFACTURED IN A LAmINATED BATCH (I.E. DISCONTINUOUS) PROCESS USING ADHESIVES BETWEEN DISPARILAR MATERIALS. THE CORE MATERIAL SHALL NOT CONTAIN FOAM PLASTIC INSULATION.
 - THICKNESS: 0.26 INCH (6 MM)
 - SHEETS
 - FACE THICKNESS: 0.020 INCH NOMINAL OR THICKER
 - BACKER THICKNESS: 0.016 INCH NOMINAL OR THICKER
 - COVERED FINISH THICKNESS: 0.026 INCH NOMINAL (FACE + BACKER)
- FINISH AND COLOR**
- EXTERIOR FINISHES AS INDICATED ON ARCHITECTURAL DRAWINGS. CHOOSE ONE - IF MULTIPLE FINISHES ARE NEEDED, BE SURE TO PROPERLY LABEL EACH COLOR AND THE LOCATIONS ON ALL APPLICABLE DRAWINGS. REFERRED TO AS LAMINATORS' PVD/ACTYMAR 300.

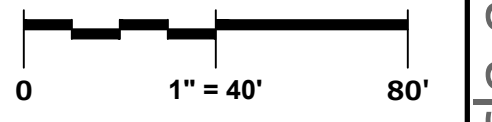


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FUTURE FACILITY



GRAPHICAL SCALE (FEET)



SITE DATA

SITE AREA =	1,402,046 SQ. FT. / 32.19 AC
BUILDING FOOTPRINT =	442,987 SQ. FT. / 10.17 AC
INTERVIOUS AREA =	955,059 SQ. FT. / 22.02 AC / 70.3%
GREEN SPACE =	416,833.21 SQ. FT. / 9.57 AC / 29.7%
PARKING PROVIDED (9'x18')	275 (6 ADA)
ADA REQUIREMENTS:	7 SPACES (2 VAN ACCESSIBLE)
ADA PROVIDED:	7 SPACES (4 VAN ACCESSIBLE)
PARKING RATIO TO FLOOR AREA:	0.36 SPACES PER 1000 S.F. (3.5 PER 1,000 MAX PER VILLAGE CODE)

ALL WORK WITHIN PUBLIC R.O.W. SHALL CONFORM TO VILLAGE OF CALEDONIA STANDARDS. NO WORK SHALL BE PERFORMED IN VILLAGE R.O.W.'S WITHOUT PROPER VILLAGE PERMITS & APPROVALS.

NO DISTURBANCE OF THE EXISTING WETLAND AREA IS ALLOWED PRIOR TO THE APPROVAL OF A WETLAND FILL PERMIT.

EXISTING CONDITIONS SURVEY:

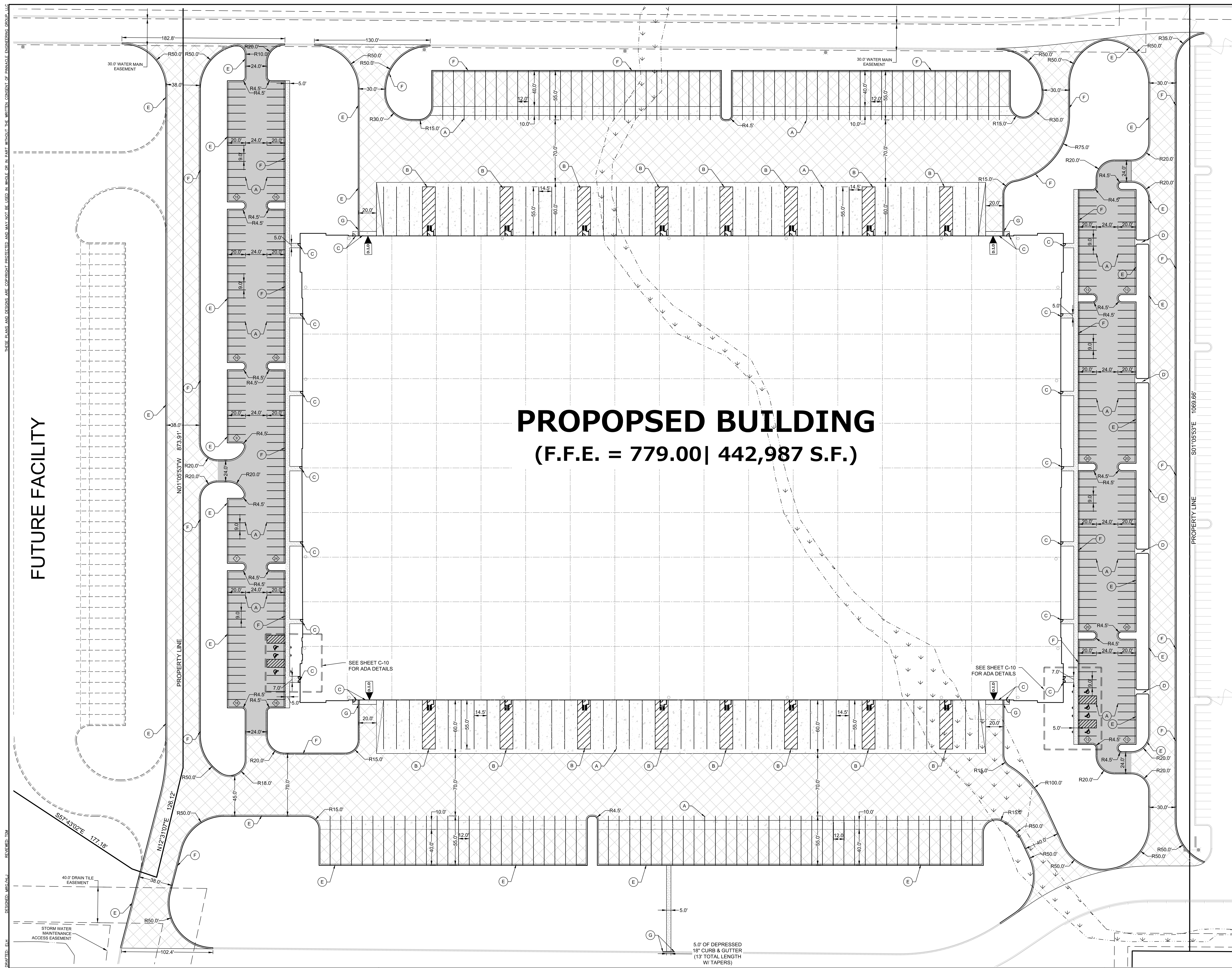
EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP, ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE. PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

LEGEND

	LIGHT DUTY PAVEMENT - 8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED VIRGIN LIMESTONE) - 4" ASPHALTIC CONG. (2" SP7S) - 3" UPPER LAYER (CHP 58-28-5) - 3" LOWER LAYER (CHP 58-28-5)
	HEAVY DUTY PAVEMENT - 12" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED VIRGIN LIMESTONE) - 5.25" ASPHALTIC CONG. (2" SP7S) - 3.75" UPPER LAYER (CHP 58-28-5) - 3.75" LOWER LAYER (CHP 58-28-5)
	CONCRETE PAVEMENT DOLLY PAD - 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED VIRGIN LIMESTONE) - 8" FCC (4000 PSI AIR ENTRAINED CONCRETE)
	CONCRETE SIDEWALK - 4" CRUSHED AGGREGATE BASE COURSE 3/4" DENSE GRADED LIMESTONE - 4" FCC (4000 PSI AIR ENTRAINED CONCRETE)
	4" SOLID WHITE STRIPE
	4" DIAGONAL AT 45° SPACED 2' O.C.
	BUILDING DOOR SLAB (2% MAX SLOPE WITHIN 5-FT OF DRIVE IN OR MAN DOOR)
	CONCRETE FLUME AND INLET (SEE DETAIL)
	18" CURB & GUTTER (SEE DETAIL)
	18" REVERSE CURB & GUTTER (SEE DETAIL)
	TAPER CURB HEAD (SEE DETAIL)
	CURB & GUTTER
	REVERSE PITCH CURB & GUTTER
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	MAN DOOR
	OVERHEAD DOOR

PROPOSED BUILDING

(F.F.E. = 779.00 | 442,987 S.F.)



PROPERTY LINE S01'05.53"E 1069.66'

PROPERTY LINE N01'05.53"W 873.91'

PROPERTY LINE N12°31'07"E 128.12'

PROPERTY LINE S57°43'02"E 177.16'

DEBACK FARMS - PHASE II
CALEDONIA, WISCONSIN

SITE DIMENSIONAL & PAVING PLAN

REVISIONS

1	BSO SUBMITTAL #1	07/12/21
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SHEET **C-4** of **C-11**

FOR REVIEW ONLY

SITE DIMENSIONAL & PAVING PLAN

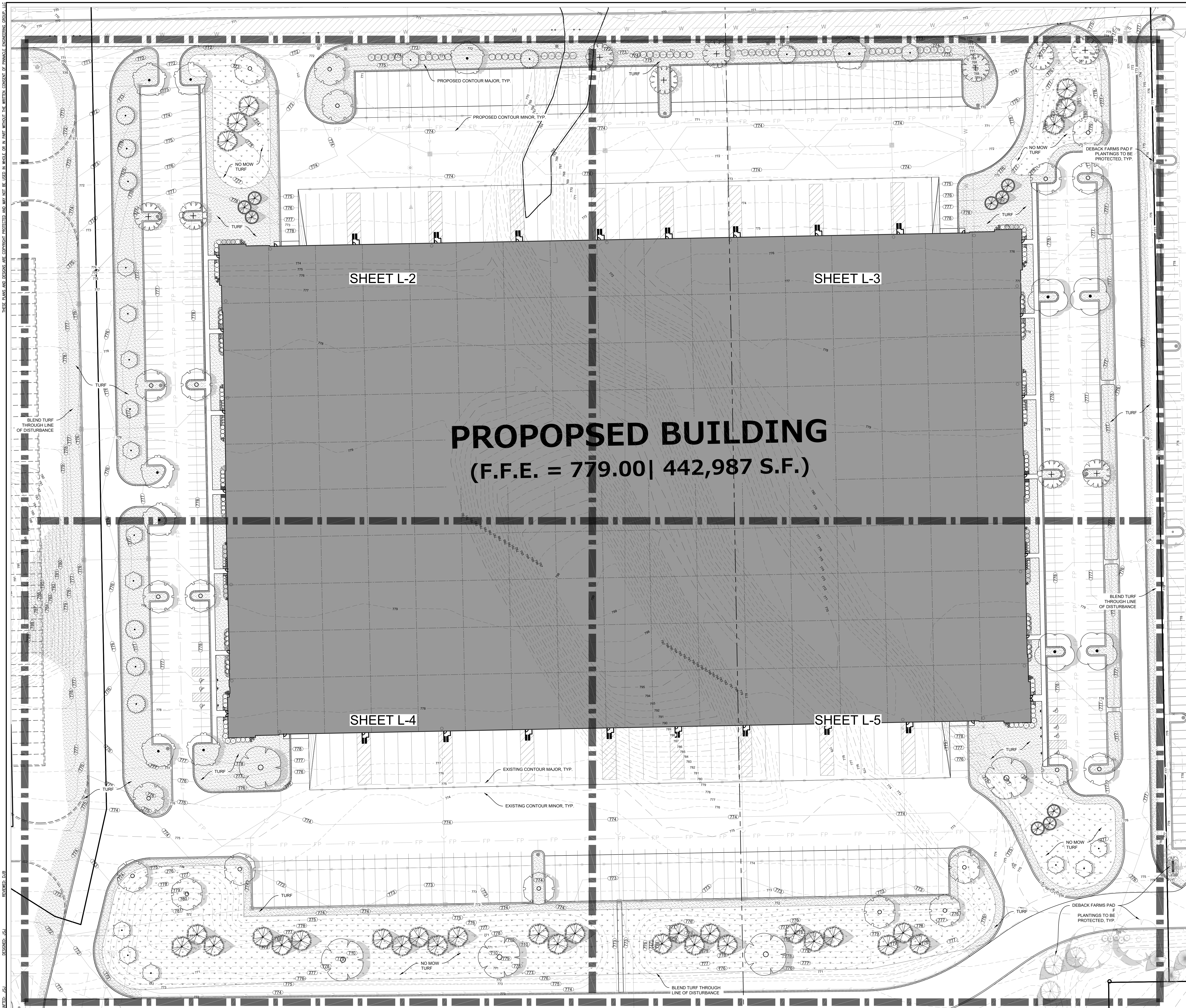
DESIGNED: MRS./A/L/J
REVIEWED: T/M
DATE: 06/11/21

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE: 20725 WATERTOWN ROAD SUITE 100
BROOKFIELD, WI 53106
(262) 754-8888

CHICAGO | MILWAUKEE | NATIONWIDE



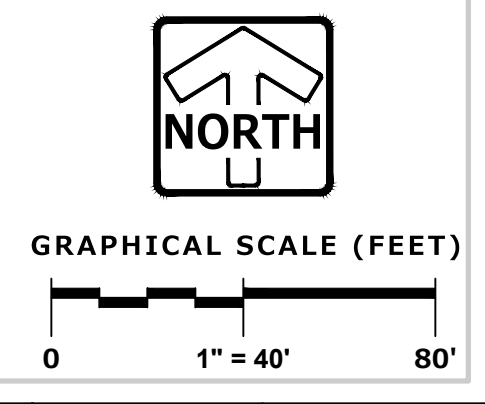
PROPOSED BUILDING
(F.F.E. = 779.00 | 442,987 S.F.)

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
AF4	10	Acer freemanii 'Autumn Fantasy'	2' Cal.
GTS	4	50' T x 40' W Gleditsia triacanthos inermis 'Shademaster'	2' Cal.
GDK	20	60' T x 50' W Gymnocladia dioica Kentucky Coffee Tree	2' Cal.
OXS	5	Quercus x schuetti Swamp Bur Oak	2' Cal.
TSS	8	Tilia tomentosa 'Sterling' Sterling Silver Linden	2' Cal.
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE
PAN	31	Picea abies Norway Spruce	5' Ht.
PGD	9	60' T x 28' W Picea glauca 'Densata' Black Hills Spruce	5' Ht.
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	SIZE
MPM	15	Malus x 'Prairie Maid' Prairie Maid Crabapple	1.5' Cal.
MSU	8	Malus x 'Sugar Tyme' Sugar Tyme Crabapple	1.5' Cal.
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
ABC	8	Aronia melanocarpa 'Elate' Glossy Black Chokeberry	18' Ht.
CPP	10	5' T x 5' W Cephalanthus occidentalis 'Ping Pong'	18' Ht.
HVS	24	8' T x 8' W Hydrangea p 'Vanilla Strawberry' Vanilla Strawberry Hydrangea	18' Ht.
HBO	12	6' T x 5' W Hydrangea paniculata 'Bobo' Bobo Hydrangea	15' Ht.
RPP	4	3' T x 4' W Rosa rugosa 'Purple Pavement' Purple Pavement Rugosa Rose	18' Ht.
SMC	12	5' T x 5' W Spirea japonica 'Magic Carpet' Magic Carpet Spirea	18' Ht.
SMP	24	2' T x 3' W Syringa meyeri 'Pallidin' Dwarf Korean Lilac	18' Ht.
VDB	16	5' T x 6' W Viburnum dentatum 'Blue Muffin' Blue Muffin Arrowwood Viburnum	18' Ht.
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
JSP	23	Juniperus chinensis 'J.N. Select Blue' Star Power Juniper	4' Ht.
JMU	6	16' T x 6' W Juniperus chinensis 'Mint Julep' Mint Julep Juniper	18' Ht.
JOG	12	5' T x 7' W Juniperus chinensis 'Old Gold' Old Gold Juniper	18' Ht.
JGO	12	3' T x 5' W Juniperus virginiana 'Grey Owl' Eastern Redcedar Juniper	2 gal.
PS3	16	3' T x 5' W Pinus mugo 'Stowmound' Stowmound Mugo Pine	15' Ht.
TMT	18	3' T x 3' W Taxus x media 'Tauntonii' Taunton Yew	18' Ht.
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE
AGD	28	Andropogon gerardii 'Dancing Wind' Dancing Wind Big Blue Stem	1 gal.
CKF	12	36" T x 30" W Calamagrostis x a 'Karl Foerster' Karl Foerster Reed Grass	1 gal.
MSO	16	36" T x 24" W Miscanthus sinensis 'Oktoberfest' Oktoberfest Miscanthus	1 gal.
PNW	32	48" T x 36" W Panicum virgatum 'Northwind' Northwind Switch Grass	1 gal.
SLB	12	42" T x 28" W Schizachyrium scoparium 'Blue Heaven' Blue Heaven Little Bluestem Grass	1 gal.
PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE
ASB	28	12" T x 18" W Allium x 'Summer Beauty' Summer Beauty Allium	4.5" Cont.
CAL	20	18" T x 12" W Calamintha nepeta Calamint	4.5" cont.
GBC	44	12" T x 18" W Geranium x cantabrigiense 'Blokovo Carmina' Blokovo Carmina Cranesbill	4.5" Cont.
GMT	40	12" T x 18" W Geum x 'Mai Tai' Mai Tai Geiran Rose	4.5" Cont.
TURF	QTY	BOTANICAL / COMMON NAME	SIZE
	124,487 sf	Turf Hydroseed Reinders - Cadet 70/30 Fescue/Blue Mix	
	101,370 sf	Turf Hydroseed Low Grow Reinders No Mow/Low Grow Mix	

NOTES

- REFER TO INDIVIDUAL SHEETS FOR PLANTING KEY



PLAN | DESIGN | DELIVER
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CHICAGO | MILWAUKEE | NATIONWIDE

DEBACK FARMS INDUSTRIAL FACILITY A

CALEDONIA, WISCONSIN

LANDSCAPE PLAN OVERVIEW

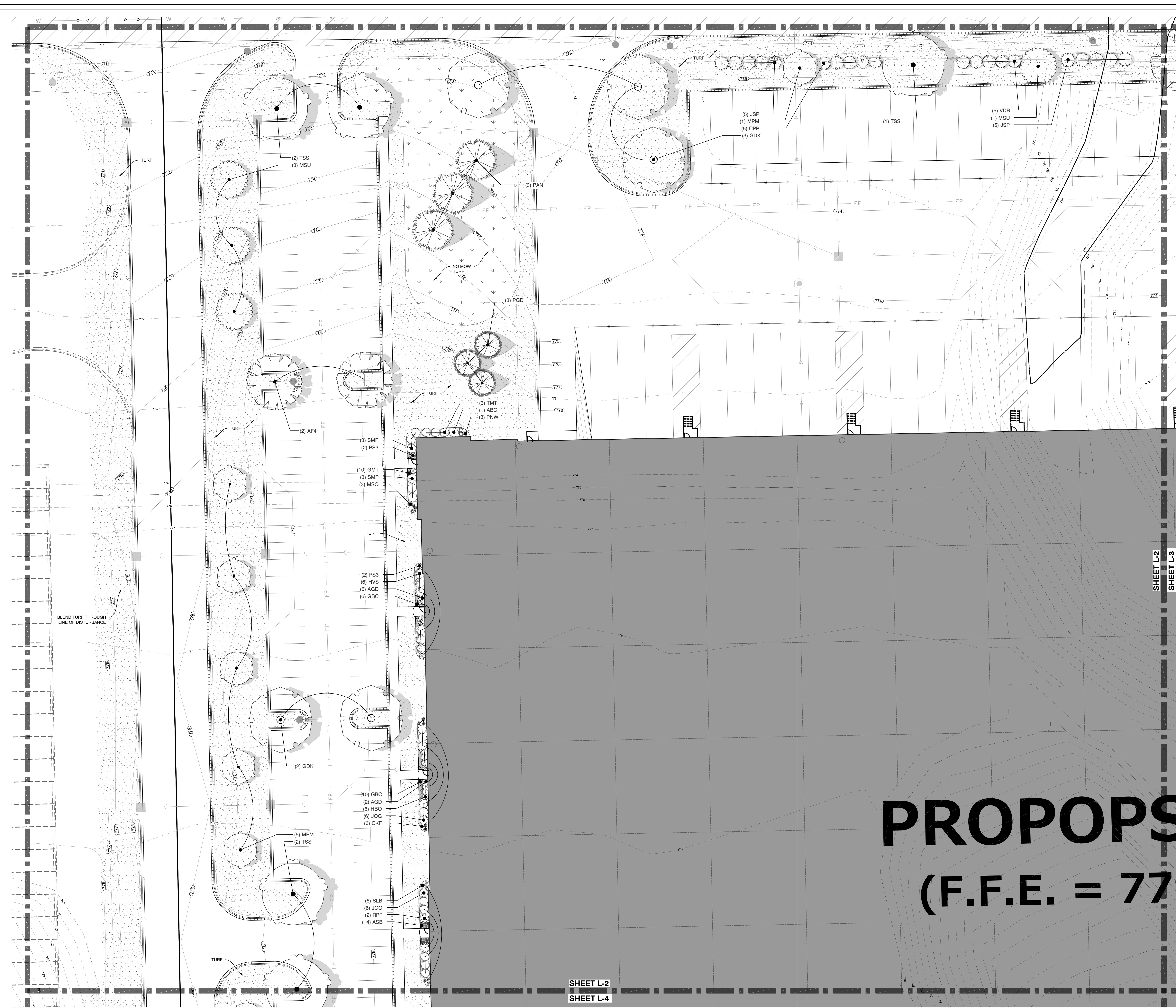
REVISIONS

NO.	DATE	DESCRIPTION

REG. JOB NO. 390.000
AREA
START DATE 07/12/21
SCALE 1" = 40'

SHEET
L-1
OF
L-6

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PROPOPS
(F.F.E. = 77)

PLANT KEY	
TREES	BOTANICAL / COMMON NAME
AF4	Acer freemanii 'Autumn Fantasy' Autumn Fantasy Maple 50' T x 40' W
GTS	Gleditsia triacanthos inermis 'Shademaster' Shademaster Locust 60' T x 50' W
GDK	Gymnocladus dioica Kentucky Coffee Tree 70' T x 45' W
QXS	Quercus x schuetti Swamp Bur Oak 70' T x 65' W
TSS	Tilia tomentosa 'Sterling' Sterling Silver Linden 45' T x 40' W
EVERGREEN TREES	BOTANICAL / COMMON NAME
PAN	Picea abies Norway Spruce 60' T x 28' W
PGD	Picea glauca 'Densata' Black Hills Spruce 30' T x 15' W
ORNAMENTAL TREES	BOTANICAL / COMMON NAME
MPM	Malus x 'Prairie Maid' Prairie Maid Crabapple 20' T x 25' W
MSU	Malus x 'Sugar Tyme' Sugar Tyme Crabapple 25' T x 25' W
SHRUBS	BOTANICAL / COMMON NAME
ABC	Aronia melanocarpa 'Elate' Glossy Black Chokeberry 5' T x 5' W
CPP	Cephalanthus occidentalis 'Ping Pong' Ping Pong Buttonbush 8' T x 8' W
HVS	Hydrangea p 'Vanilla Strawberry' Vanilla Strawberry Hydrangea 6' T x 5' W
HBO	Hydrangea paniculata 'Bobo' Bobo Hydrangea 5' T x 4' W
RPP	Rosa rugosa 'Purple Pavement' Purple Pavement Rugosa Rose 5' T x 5' W
SMC	Spiraea japonica 'Magic Carpet' Magic Carpet Spirea 2' T x 3' W
SMP	Syringa meyeri 'Palibin' Dwarf Korean Lilac 5' T x 6' W
VDB	Viburnum dentatum 'Blue Muffin' Blue Muffin Arrowwood Viburnum 7' T x 7' W
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME
JSP	Juniperus chinensis 'J.N. Select Blue' Star Power Juniper 16' T x 8' W
JMJ	Juniperus chinensis 'Mint Julep' Mint Julep Juniper 5' T x 7' W
JOG	Juniperus chinensis 'Old Gold' Old Gold Juniper 3' T x 5' W
JGO	Juniperus virginiana 'Grey Owl' Eastern Redcedar Juniper 5' T x 5' W
PS3	Pinus mugo 'Slowmound' Slowmound Mugo Pine 3' T x 3' W
TMT	Taxus x media 'Tauntonii' Taunton Yew 4' T x 5' W
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME
AGD	Andropogon gerardii 'Dancing Wind' Dancing Wind Big Blue Stem 36" T x 30" W
CKF	Calamagrostis x a 'Karl Foerster' Karl Foerster Reed Grass 36" T x 24" W
MSO	Miscanthus sinensis 'Oktoberfest' Oktoberfest Miscanthus 48" T x 36" W
PNW	Panicum virgatum 'Northwind' Northwind Switch Grass 42" T x 28" W
SLB	Schizachyrium scoparium 'Blue Heaven' Blue Heaven Little Bluestem Grass 30" T x 28" W
PERENNIALS	BOTANICAL / COMMON NAME
ASB	Allium x 'Summer Beauty' Summer Beauty Allium 18" T x 12" W
CAL	Calamintha nepeta Calaminth 12" T x 18" W
GBC	Geranium x cantabrigiense 'Blokovo Carmina' Blokovo Carmina Cranesbill 12" T x 18" W
GMT	Geum x 'Mai Tai' Mai Tai Grecian Rose 16" T x 12" W
TURF	BOTANICAL / COMMON NAME
	Turf Hydroseed Reinders - Cadet 70/30 Fescue/Blue Mix
	Turf Hydroseed Low Grow Reinders No Mow/Low Grow Mix

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LANDSCAPE ENLARGEMENT



GRAPHICAL SCALE (FEET)
0 1" = 20' 40'

SHEET L-2
SHEET L-4

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CALEDONIA, WISCONSIN

LANDSCAPE ENLARGEMENT

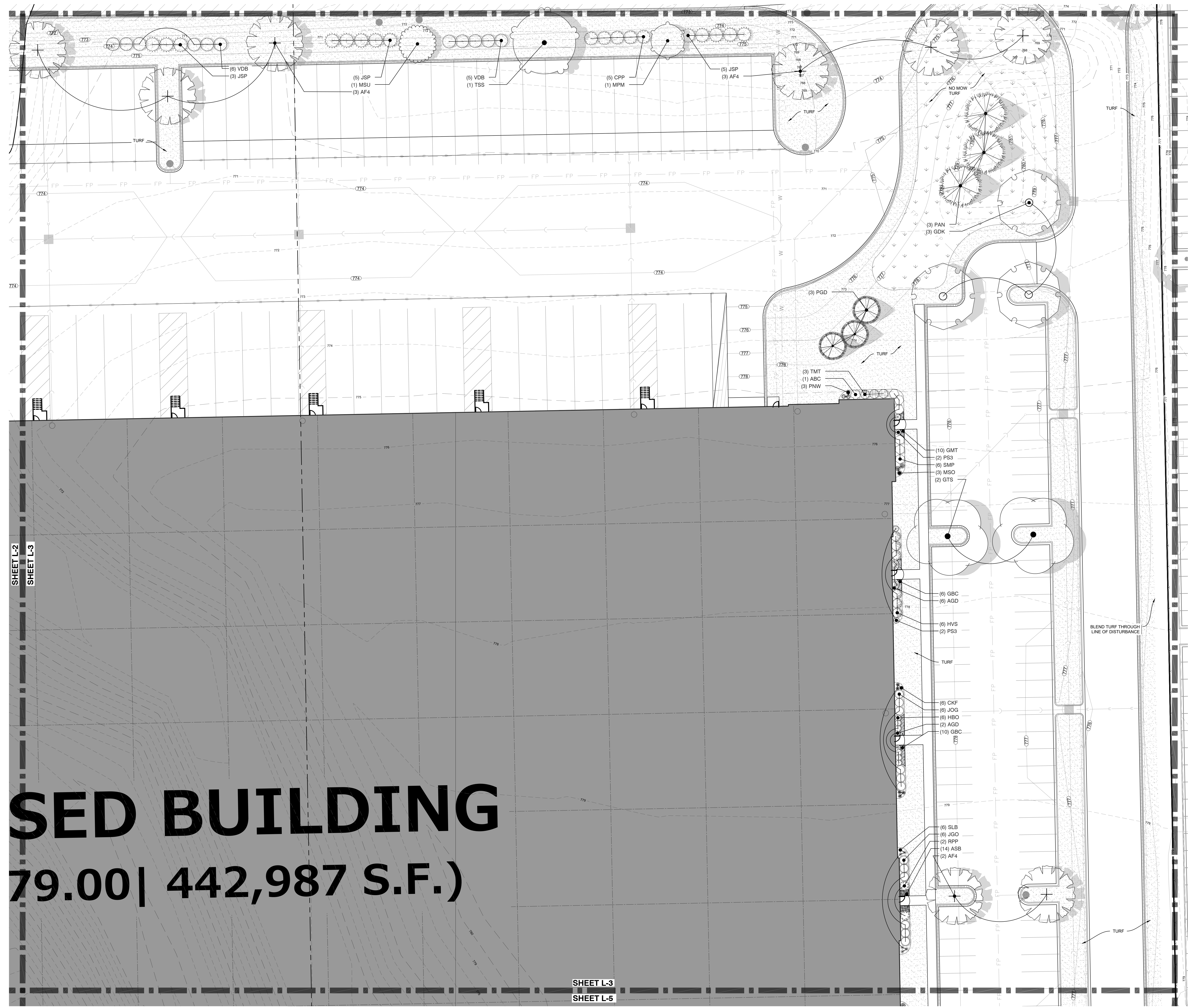
NO.	REVISIONS

REG. JOB NO.: 390.000
REG. PM: ABA
START DATE: 07/12/21
SCALE: 1" = 20'

SHEET
L-2
of
L-6

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SED BUILDING
79.00 | 442,987 S.F.)

SHEET L-2
SHEET L-3

SHEET L-3
SHEET L-5

PLANT KEY	
TREES	BOTANICAL / COMMON NAME
AF4	Acer freemanii 'Autumn Fantasy' Autumn Fantasy Maple 50' T x 40' W
GTS	Gleditsia triacanthos inermis 'Shademaster' Shademaster Locust 60' T x 50' W
GDK	Gymnocladus dioica Kentucky Coffee Tree 70' T x 45' W
QXS	Quercus x schuetti Swamp Bur Oak 70' T x 65' W
TSS	Tilia tomentosa 'Sterling' Sterling Silver Linden 45' T x 40' W
EVERGREEN TREES	BOTANICAL / COMMON NAME
PAN	Picea abies Norway Spruce 60' T x 28' W
PGD	Picea glauca 'Densata' Black Hills Spruce 30' T x 15' W
ORNAMENTAL TREES	BOTANICAL / COMMON NAME
MPM	Malus x 'Prairie Maid' Prairie Maid Crabapple 20' T x 25' W
MSU	Malus x 'Sugar Tyme' Sugar Tyme Crabapple 25' T x 25' W
SHRUBS	BOTANICAL / COMMON NAME
ABC	Aronia melanocarpa 'Elate' Glossy Black Chokeberry 5' T x 5' W
CPP	Cephalanthus occidentalis 'Ping Pong' Ping Pong Buttonbush 8' T x 8' W
HVS	Hydrangea p 'Vanilla Strawberry' Vanilla Strawberry Hydrangea 6' T x 5' W
HBO	Hydrangea paniculata 'Bobo' Bobo Hydrangea 3' T x 4' W
RPP	Rosa rugosa 'Purple Pavement' Purple Pavement Rugosa Rose 5' T x 5' W
SMC	Spiraea japonica 'Magic Carpet' Magic Carpet Spirea 2' T x 3' W
SMP	Syringa meyeri 'Palibin' Dwarf Korean Lilac 5' T x 6' W
VDB	Viburnum dentatum 'Blue Muffin' Blue Muffin Arrowwood Viburnum 7' T x 7' W
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME
JSP	Juniperus chinensis 'J.N. Select Blue' Star Power Juniper 16' T x 8' W
JMJ	Juniperus chinensis 'Mint Julep' Mint Julep Juniper 5' T x 7' W
JOG	Juniperus chinensis 'Old Gold' Old Gold Juniper 3' T x 5' W
JGO	Juniperus virginiana 'Grey Owl' Eastern Redcedar Juniper 3' T x 5' W
PS3	Pinus mugo 'Slowmound' Slowmound Mugo Pine 3' T x 3' W
TMT	Taxus x media 'Tauntonii' Taunton Yew 4' T x 5' W
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME
AGD	Andropogon gerardii 'Dancing Wind' Dancing Wind Big Blue Stem 36" T x 30" W
CKF	Calamagrostis x a 'Karl Foerster' Karl Foerster Reed Grass 36" T x 24" W
MSO	Miscanthus sinensis 'Oktoberfest' Oktoberfest Miscanthus 48" T x 36" W
PNW	Panicum virgatum 'Northwind' Northwind Switch Grass 42" T x 28" W
SLB	Schizachyrium scoparium 'Blue Heaven' Blue Heaven Little Bluestem Grass 30" T x 28" W
PERENNIALS	BOTANICAL / COMMON NAME
ASB	Allium x 'Summer Beauty' Summer Beauty Allium 18" T x 12" W
CAL	Calamintha nepeta Calaminth 12" T x 18" W
GBC	Geranium x cantabrigiense 'Blokovo Carmina' Blokovo Carmina Cranesbill 12" T x 18" W
GMT	Geum x 'Mai Tai' Mai Tai Grecian Rose 16" T x 12" W
TURF	BOTANICAL / COMMON NAME
	Turf Hydroseed Reinders - Cadet 70/30 Fescue/Blue Mix
	Turf Hydroseed Low Grow Reinders No Mow/Low Grow Mix



GRAPHICAL SCALE (FEET)
 0 1" = 20' 40'

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LANDSCAPE ENLARGEMENT

NO.	REVISIONS

REG. JOB NO.: 390.000
 REG. NO.: ABA
 START DATE: 07/12/21
 SCALE: 1" = 20'

SHEET
L-3
 of
L-6

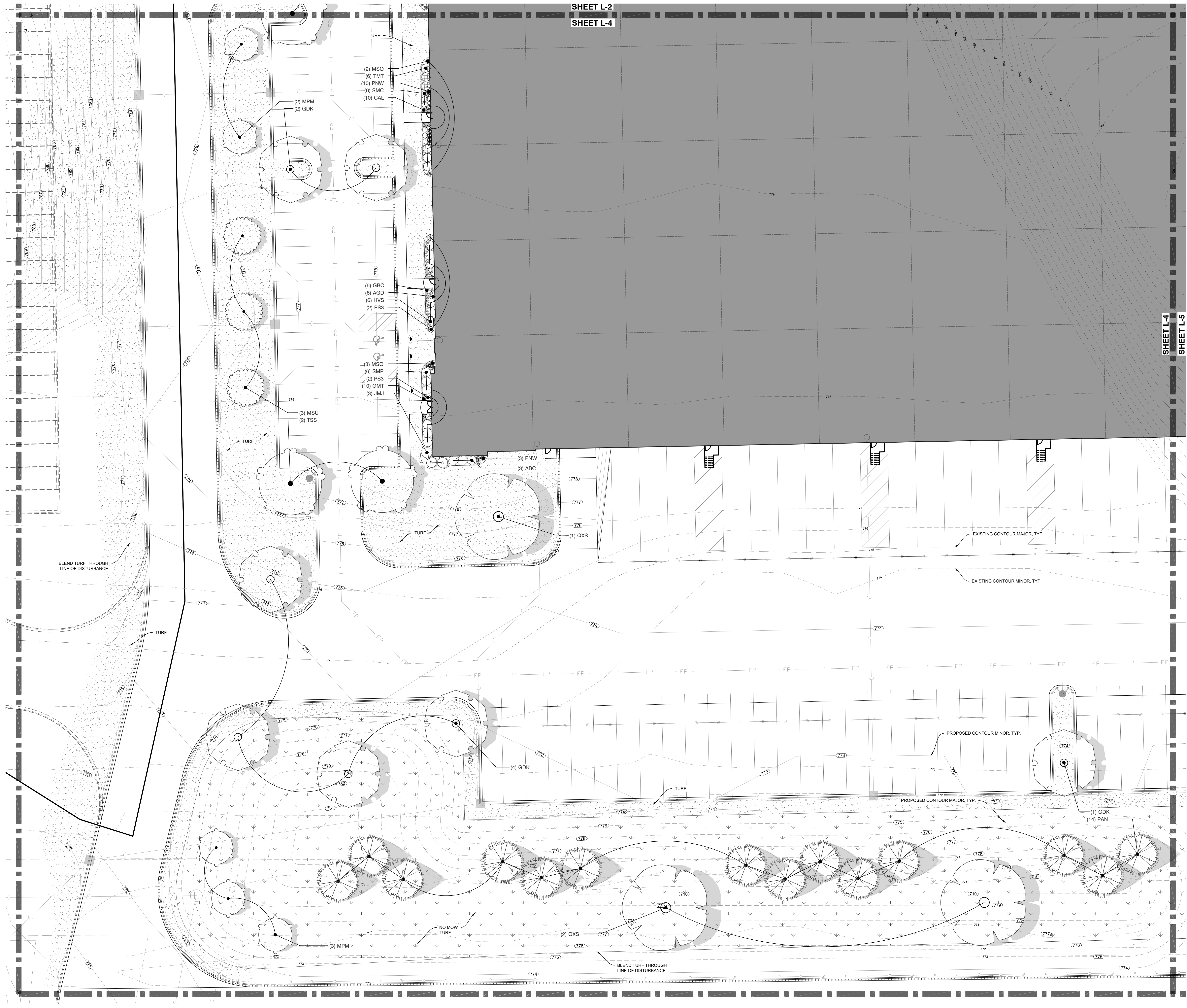
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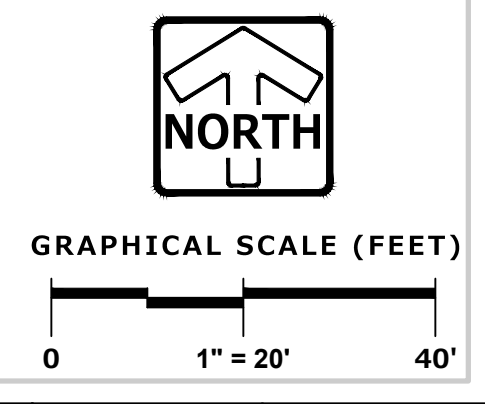
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SHEET L-2
 SHEET L-4

SHEET L-4
 SHEET L-5



PLANT KEY	
TREES	BOTANICAL / COMMON NAME
AF4	Acer freemanii 'Autumn Fantasy' Autumn Fantasy Maple
GTS	50' T x 40' W Gleditsia triacanthos inermis 'Shademaster' Shademaster Locust
GDK	60' T x 50' W Gymnocladus dioica Kentucky Coffee Tree
OXS	70' T x 45' W Quercus x schuetti Swamp Bur Oak
TSS	70' T x 65' W Tilia tomentosa 'Sterling' Sterling Silver Linden
	45' T x 40' W
EVERGREEN TREES	BOTANICAL / COMMON NAME
PAN	Picea abies Norway Spruce
PGD	60' T x 25' W Picea glauca 'Densata' Black Hills Spruce
	30' T x 15' W
ORNAMENTAL TREES	BOTANICAL / COMMON NAME
MPM	Malus x 'Prairie Maid' Prairie Maid Crabapple
MSU	20' T x 25' W Malus x 'Sugar Tyme' Sugar Tyme Crabapple
	25' T x 25' W
SHRUBS	BOTANICAL / COMMON NAME
ABC	Aronia melanocarpa 'Elate' Glossy Black Chokeberry
CPP	5' T x 5' W Cephalanthus occidentalis 'Ping Pong' Ping Pong Buttonbush
HVS	9' T x 8' W Hydrangea p. 'Vanilla Strawberry' Vanilla Strawberry Hydrangea
HBO	8' T x 5' W Hydrangea paniculata 'Bobo' Bobo Hydrangea
RPP	3' T x 4' W Rosa rugosa 'Purple Pavement' Purple Pavement Rugosa Rose
SMC	5' T x 5' W Spiraea japonica 'Magic Carpet' Magic Carpet Spirea
SMP	2' T x 3' W Syringa meyeri 'Palibin' Dwarf Korean Lilac
VDB	5' T x 6' W Viburnum dentatum 'Blue Muffin' Blue Muffin Arrowwood
	7' T x 7' W
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME
JSP	Juniperus chinensis 'J.N. Select Blue' Star Power Juniper
JMU	16' T x 8' W Juniperus chinensis 'Mint Julep' Mint Julep Juniper
JOG	5' T x 7' W Juniperus chinensis 'Old Gold' Old Gold Juniper
JGO	3' T x 5' W Juniperus virginiana 'Grey Owl' Eastern Redcedar Juniper
PS3	3' T x 5' W Pinus mugo 'Slowmound' Slowmound Mugo Pine
TMT	3' T x 3' W Taxus x media 'Tauntonii' Tauntun Yew
	4' T x 5' W
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME
AGD	Andropogon gerardii 'Dancing Wind' Dancing Wind Big Blue Stem
CKF	36" T x 30" W Calamagrostis x a. 'Karl Foerster' Karl Foerster Reed Grass
MSO	36" T x 24" W Miscanthus sinensis 'Oktoberfest' Oktoberfest Miscanthus
PNW	48" T x 36" W Panicum virgatum 'Northwind' Northwind Switch Grass
SLB	42" T x 28" W Schizachyrium scoparium 'Blue Heaven' Blue Heaven Little Bluestem Grass
	30" T x 28" W
PERENNIALS	BOTANICAL / COMMON NAME
ASB	Allium x 'Summer Beauty' Summer Beauty Allium
CAL	18" T x 12" W Calamintha nepeta Calamint
GBC	12" T x 18" W Geranium x cantabrigiense 'Biokovo Carmina' Biokovo Carmina Cranesbill
GMT	12" T x 18" W Geum x 'Mai Tai' Mai Tai Grecian Rose
	16" T x 12" W
TURF	BOTANICAL / COMMON NAME
	Turf Hydroseed Reinders - Cadet 70/30 Fescue/Blue Mix
	Turf Hydroseed Low Grow Reinders No Mow/Low Grow Mix



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LANDSCAPE ENLARGEMENT

NO.	REVISIONS

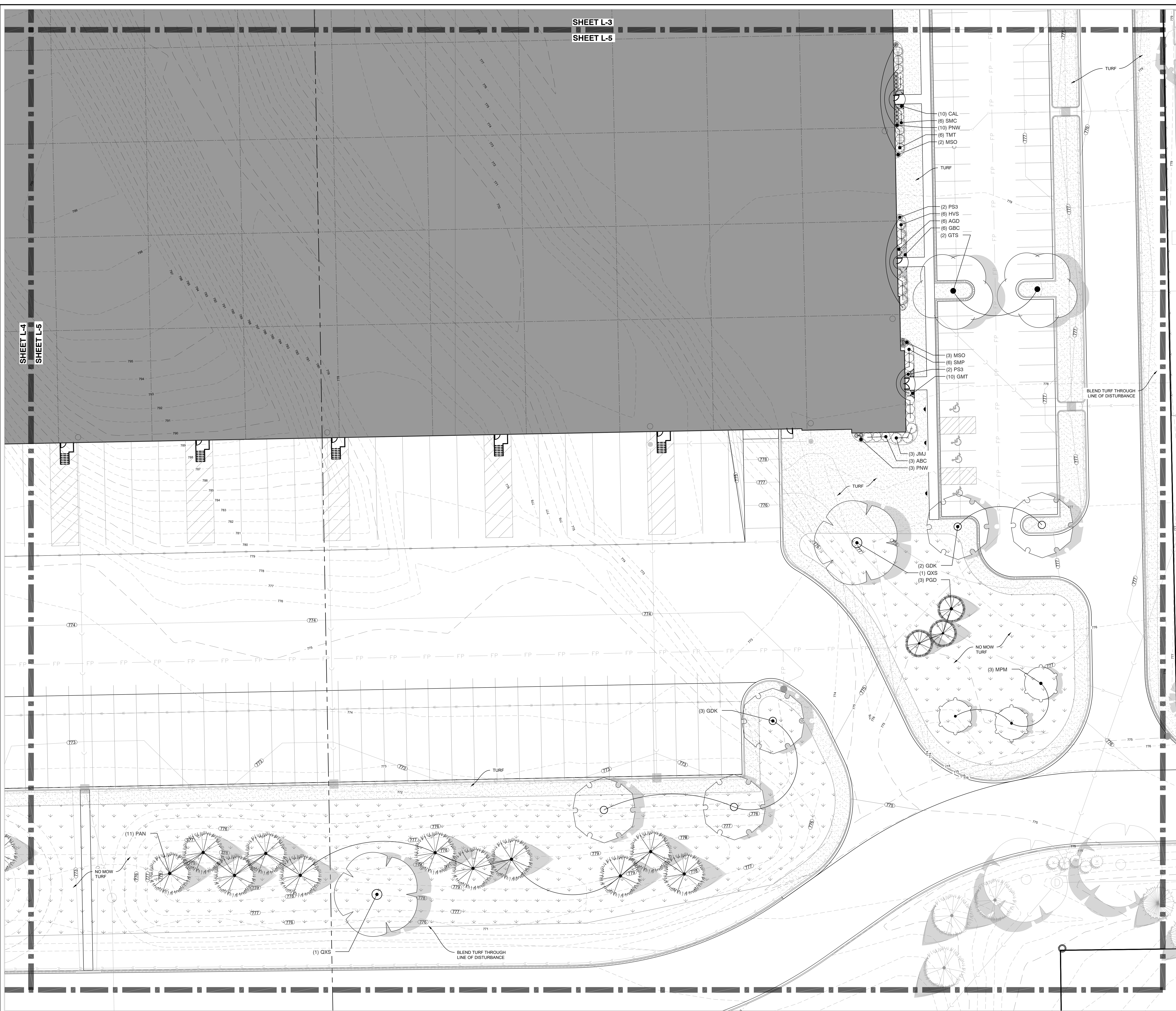
REG. JOB NO.: 390.000
 REG. NO.: ABA
 START DATE: 07/12/21
 SCALE: 1" = 20'
SHEET L-4 of L-6

LANDSCAPE ENLARGEMENT | www.pinnacle-engr.com

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SHEET L-3
SHEET L-5

SHEET L-4
SHEET L-5

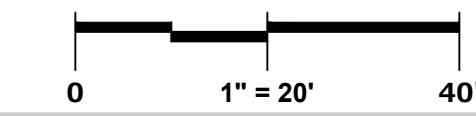


PLANT KEY

TREES	BOTANICAL / COMMON NAME
AF4	Acer freemanii 'Autumn Fantasy' Autumn Fantasy Maple 50' T x 40' W
GTS	Gleditsia triacanthos inermis 'Shademaster' Shademaster Locust 60' T x 50' W
GDK	Gymnocladus dioica Kentucky Coffee Tree 70' T x 45' W
QXS	Quercus x schuetti Swamp Bur Oak 70' T x 65' W
TSS	Tilia tomentosa 'Sterling' Sterling Silver Linden 45' T x 40' W
EVERGREEN TREES	BOTANICAL / COMMON NAME
PAN	Picea abies Norway Spruce 60' T x 25' W
PGD	Picea glauca 'Densata' Black Hills Spruce 30' T x 15' W
ORNAMENTAL TREES	BOTANICAL / COMMON NAME
MPM	Malus x 'Prairie Maid' Prairie Maid Crabapple 20' T x 25' W
MSU	Malus x 'Sugar Tyme' Sugar Tyme Crabapple 25' T x 25' W
SHRUBS	BOTANICAL / COMMON NAME
ABC	Aronia melanocarpa 'Eliata' Glossy Black Chokeberry 5' T x 5' W
CPP	Cephalanthus occidentalis 'Ping Pong' Ping Pong Buttonbush 9' T x 8' W
HVS	Hydrangea p 'Vanilla Strawberry' Vanilla Strawberry Hydrangea 8' T x 5' W
HBO	Hydrangea paniculata 'Bobo' Bobo Hydrangea 3' T x 4' W
RPP	Rosa rugosa 'Purple Pavement' Purple Pavement Rugosa Rose 5' T x 5' W
SMC	Spiraea japonica 'Magic Carpet' Magic Carpet Spirea 2' T x 3' W
SMP	Syringa meyeri 'Palibin' Dwarf Korean Lilac 5' T x 6' W
VDB	Viburnum dentatum 'Blue Muffin' Blue Muffin Arrowwood Viburnum 7' T x 7' W
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME
JSP	Juniperus chinensis 'J.N. Select Blue' Star Power Juniper 16' T x 8' W
JMU	Juniperus chinensis 'Mint Julep' Mint Julep Juniper 5' T x 7' W
JOG	Juniperus chinensis 'Old Gold' Old Gold Juniper 3' T x 5' W
JGO	Juniperus virginiana 'Grey Owl' Eastern Redcedar Juniper 3' T x 5' W
PS3	Pinus mugo 'Slowmound' Slowmound Mugo Pine 3' T x 3' W
TMT	Taxus x media 'Tauntorii' Tauntori Yew 4' T x 5' W
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME
AGD	Andropogon gerardii 'Dancing Wind' Dancing Wind Big Blue Stem 36" T x 30" W
CKF	Calamagrostis x a 'Karl Foerster' Karl Foerster Reed Grass 36" T x 24" W
MSO	Miscanthus sinensis 'Oktoberfest' Oktoberfest Miscanthus 48" T x 36" W
PNW	Panicum virgatum 'Northwind' Northwind Switch Grass 42" T x 28" W
SLB	Schizachyrium scoparium 'Blue Heaven' Blue Heaven Little Bluestem Grass 30" T x 28" W
PERENNIALS	BOTANICAL / COMMON NAME
ASB	Allium x 'Summer Beauty' Summer Beauty Allium 18" T x 12" W
CAL	Calamintha nepeta Calamint 12" T x 18" W
GBC	Geranium x cantabrigiense 'Blokovo Carmina' Blokovo Carmina Cranesbill 12" T x 18" W
GMT	Geum x 'Mai Tai' Mai Tai Grecian Rose 16" T x 12" W
TURF	BOTANICAL / COMMON NAME
	Turf Hydrosed Reinders - Cadet 70/30 Fescue/Blue Mix
	Turf Hydrosed Low Grow Reinders No Mow/Low Grow Mix



GRAPHICAL SCALE (FEET)



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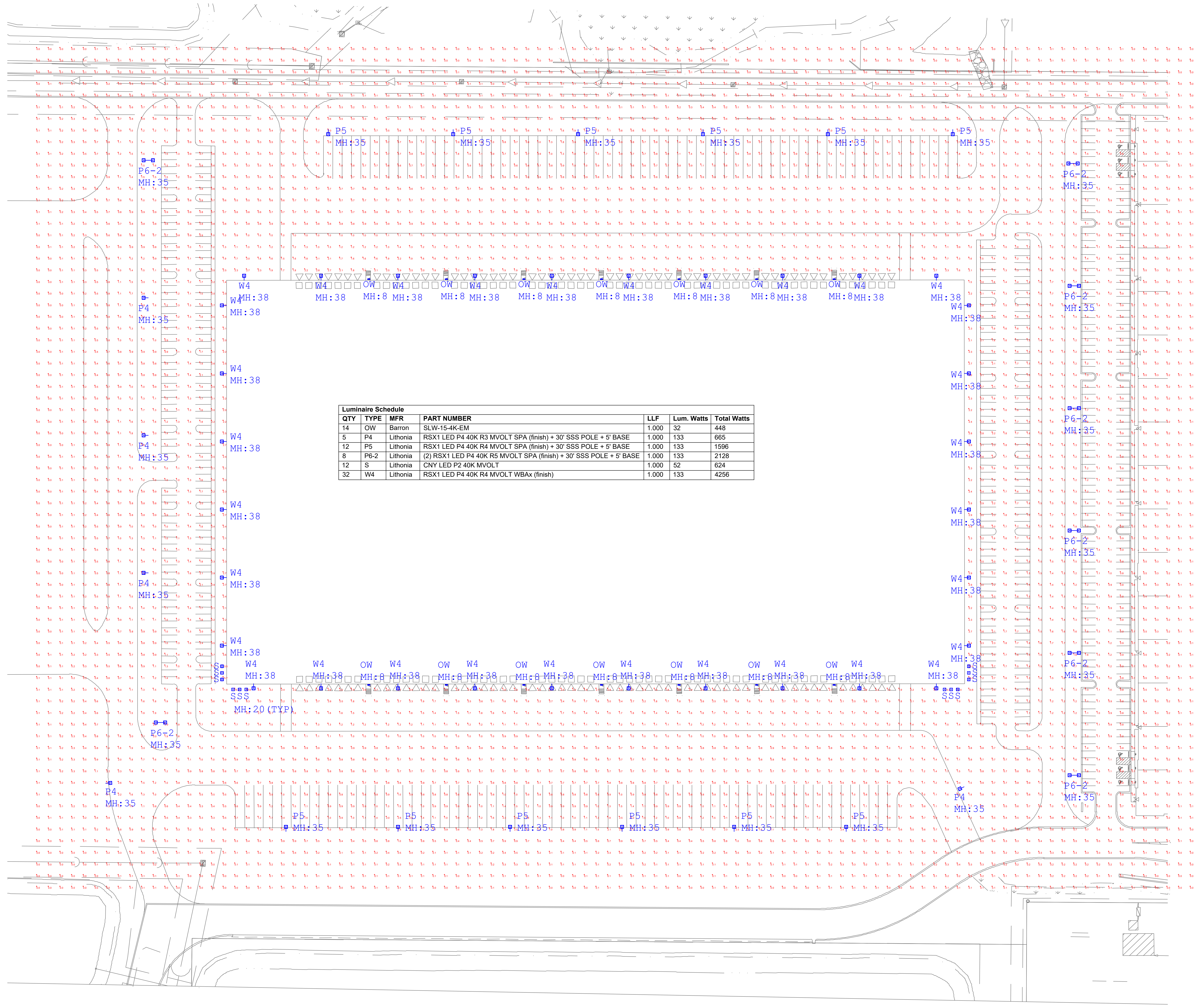
LANDSCAPE ENLARGEMENT

REVISIONS

NO.	DATE	DESCRIPTION

REG. JOB NO. 390.000
AREA
START DATE 07/12/21
SCALE 1" = 20'

SHEET
L-5
of
L-6



Luminaire Schedule			LLF	Lum. Watts	Total Watts
QTY	TYPE	MFR PART NUMBER			
14	OW	Barron SLW-15-4K-EM	1.000	32	448
5	P4	Lithonia RSX1 LED P4 40K R3 MVOLT SPA (finish) + 30' SSS POLE + 5' BASE	1.000	133	665
12	P5	Lithonia RSX1 LED P4 40K R4 MVOLT SPA (finish) + 30' SSS POLE + 5' BASE	1.000	133	1596
8	P6-2	Lithonia (2) RSX1 LED P4 40K R5 MVOLT SPA (finish) + 30' SSS POLE + 5' BASE	1.000	133	2128
12	S	Lithonia CNY LED P2 40K MVOLT	1.000	52	624
32	W4	Lithonia RSX1 LED P4 40K R4 MVOLT WBax (finish)	1.000	133	4256

#	DATE	COMMENTS

DRAWN BY: JS

DATE: 6 / 24 / 2021

SCALE: 1" = 50'-0"

SCANNELL PROPERTIES

CALEDONIA, WI

BUILDING II

SITE LIGHTING PLAN



Meeting Date: July 26, 2021

Item No. 7f

PLAN COMMISSION REPORT

Proposal: Status Review Zoning Code Revisions
Description: Review proposed draft Chapters 14 & 15 of the Village Zoning Code.
Applicant(s): Village of Caledonia
Address(es): n/a
Suggested Motion: No action required.

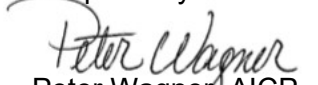
Background: When the Town of Caledonia became the Village of Caledonia in 2005, the Village adopted Racine County's Zoning Code as their own. Since that time, the Village has amended its code several times and has created zoning code Title 16. As a result, staff has had to reference both Title 16 of the Village Code and Racine County's Zoning Code that was adopted in 2005 when applying the zoning code for development projects and code enforcement. This split in regulations is difficult for developers, residents, and businesses to understand what the rules and regulations are for the Village. Staff has been working on merging the two code sections into one unified Village code Title. This process has been more time consuming than originally anticipated.

Staff has prepared draft Chapters 7, 8, 9, & 17 for review and discussion. Chapter topics for discussion will be:

- Chapter 14: Mobile Tower Siting
- Chapter 15: Shoreland Zoning Ordinance

The purpose of this agenda item to review and discuss the content of the chapters and answer questions or take suggestions as to what should be and not be included in these chapters. These chapters were not revised, but rather reformatted to our current Title/Section/Chapter format. No action is required at this time. Over the next few Plan Commission meetings, staff will be presenting new chapters for your review and input. It is anticipated that the Title 16 will include eighteen chapters. Some of the chapters have few, if any, changes, and others will have significant changes or reorganization than what currently exists. The remaining chapters to review include Signs, Floodplain Regulations, and Definitions. Once all the chapters have been reviewed by the Plan Commission, the next step will be to present it to the Legislation and Licensing Committee for review. Once the Legislation and Licensing Committee is comfortable with the revised zoning code, it will come back before the Plan Commission for a public hearing and recommendation to the Village Board. Staff anticipates final adoption of the revised code will be done in December. At that time, staff will work with our software firm that licenses Zoning Hub and bring the zoning code online.

Respectfully submitted:


Peter Wagner, AICP
Development Director

CHAPTER 14

(Ordinance 2014-17; 01/19/15)

(*Overlay in Ordinance Chapter – See Chapter 15 for Shoreland Zoning Ordinance)

MOBILE TOWER SITING

<i>Section Number</i>	<i>Title</i>	<i>Ordinance Number</i>	<i>Date of Ordinance</i>
16-14-1	Definitions.	2014-17*	01/19/15
16-14-2	Purpose.		
16-14-3	Amateur and Citizen Band Towers.		
16-14-4	Application Submittal Requirements – New Mobile Service Support Structures.		
16-14-5	Application Process – New Mobile Service Support Structures.		
16-14-6	Technical Review.		
16-14-7	Abandonment.		
16-14-8	Security for Removal.		
16-14-9	Continued Compliance.		
16-14-10	Use of Existing Structures.		
16-14-11	Application Submittal Requirements – Class 1 Collocations.		
16-14-12	Application Process – Class 1 Collocation.		
16-14-13	Application Submittal Requirements – Class 2 Collocation.		
16-14-14	Application Process – Class 2 Collocation.		
16-14-15	Application Process – Liability.		
16-14-16	Site Specifics.		
16-14-17	Severability.		
16-14-18	Fees.		
16-14-19	Reserved.		

SEC. 16-14-1 DEFINITIONS.

In addition to the definitions under Chapter 18 of Title 16 of the Code, the following definitions shall apply to this Chapter:

- (a) **Class 1 Collocation** means the placement of a new mobile service facility on an existing support structure such that the owner of the facility does not need to construct a free-standing support structure for the facility but does need to engage in substantial modification.
- (b) **Class 2 Collocation** means the placement of a new mobile service facility on an existing support structure such that the owner of the facility does not need to construct a free-standing support structure for the facility but does not need to engage in substantial modification.
- (c) **Mobile Service Facility** means the set of equipment and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and associated equipment, that is necessary to provide mobile service to a discrete geographic area, but does not include the underlying support structure.
- (d) **Mobile Service Provider** means a person who provides mobile service as defined by federal law.
- (e) **Support Structure** means an existing or new structure that supports or can support a mobile service facility, including a mobile service support structure, utility pole, water tower, building, or other structure.
- (f) **Utility Pole** means a structure owned or operated by an alternative telecommunications utility, public utility, telecommunications utility, county, municipality, or cooperative associate, all as defined under current law or under the proposal, and that is specifically for and used to carry lines, cables, or wires for telecommunications service, video service, or for electricity or to provide light.
- (g) **Antenna** means communications equipment that transmits and receives electromagnetic radio signals and is used in the provision of mobile services.
- (h) **Mobile Service Support Structure** means free-standing structure that is designed to support a mobile service facility.
- (i) **Search Ring** means shape drawn on a map to indicate the general area within which a mobile service support structure should be located to meet radio frequency engineering requirements, taking into account other factors including topography and demographics of the service area.
- (j) **Substantial Modification** means the modification of a mobile service support structure, including the mounting of an antenna on such a structure that does any of the following:
 - (1) for structures with an overall height of two hundred (200) feet or less, increases the overall height of the structure by more than twenty (20) feet;
 - (2) for structures with an overall height of more than two hundred (200) feet, increases the overall height of the structure by 10% or more;
 - (3) measured at the level of the appurtenance added to the structure as a result of the modification, increases the width of the support structure by more than twenty (20) feet or more, unless a larger area is needed for collocation;
- (k) **Equipment Compound** means an area surrounding or adjacent to the base of an existing support structure within which is located mobile service facilities.

- (l) **Existing Structure** means a support structure that exists at the time a request for permission to place mobile service facilities on a support structure is filed with a county or municipality.
- (m) **Fall Zone** means the area over which a mobile support structure is designed to collapse.

SEC. 16-14-2. PURPOSE.

The purpose of this section is to regulate by zoning permit, site plan review, or conditional use the siting and construction of any new mobile service support structures and/or facilities.

Mobile service support structures or other supporting buildings or structures that are used to elevate an antenna, or which act as an antenna, and are intended for wireless telecommunications, are subject to the regulations and site development standards set forth in this Chapter.

SEC. 16-14-3. AMATEUR AND CITIZEN BAND TOWERS.

Amateur and citizen band towers and antennas where the structure is fifty (50) feet or more in height are exempt from the provisions of this Chapter except for the following:

- (a) The installation or construction of such structure must require a site plan review and approval in accordance with the procedure set forth in **[Insert New Section No. _____, old Section is 20-1184]**. The Plan Commission may request a hearing following a site plan review if it is determined that such a hearing is in the public interest.
- (b) Such structures must be considered an accessory structure and may only be permitted in the side yard and rear yard. A minimum ten (10) foot side-yard and rear-yard setback must be maintained.

SEC. 16-14-4 APPLICATION SUBMITTAL REQUIREMENTS – NEW MOBILE SERVICE SUPPORT STRUCTURES.

The siting and construction of any new mobile service support structures will require a conditional use permit. All structures should be camouflaged to the greatest extent possible, including compatible building materials, colors, and screening. Per Wisconsin State Statutes 66.0404(4)(g), an application may not be denied based solely on aesthetics concerns. A zoning permit application must be completed by the applicant and submitted to the Development Services Office. In addition to the requirements found in Section 16-9-2, the application must contain the following information:

- (a) Applicant name, business address, and phone number of all known occupants of the proposed mobile service support structure, including contact individual(s) for the applicant(s). The proposed structure must be designed structurally, electronically, and in all respects to accommodate collocation of both the applicant’s antennas and antennas for at least two (2) additional users. The equipment compound must also be able to accommodate multiple users.

- (b) The location of the proposed mobile service support facility.
- (c) If the applicant does not own the site or the tower, the applicant must provide a lease agreement or binding lease memorandum which shows on its face:
 - (1) that it does not preclude the site owner from entering into leases on the site with other provider(s);
 - (2) that it does not preclude the tower owner from entering into leases on the tower with other provider(s);
 - (3) the legal descriptions and amount of property leased;
 - (4) in the event of abandonment, the Village reserves the right to remove the tower at the property owner's expense.
- (d) A scaled site plan which shows property lines, location of mobile service support structure, setback distances, mobile service facility, and fencing.
- (e) A sketch, concept, or rendition of the site as proposed.
- (f) An explanation as to why the applicant chose the proposed location and why the applicant did not choose collocation, including a sworn statement from an individual who is responsible over the placement of the mobile service support structure attesting that collocation within the applicant's search ring would not result in the same mobile service functionality, coverage, and capacity; is not technically feasible; or is economically burdensome to the mobile service provider.
- (g) A construction plan which describes the proposed mobile service support structure and the equipment and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and related equipment to be placed on or around the new mobile service support structure.
- (h) A tabular and/or map inventory of all of the applicant's existing towers and antennas which are located within the county. The inventory must specify the location, antennae height, and structure type of each of the applicant's existing mobile service support facilities. The inventory must also specify whether such towers are currently in operation and indicate the ability of the existing structures to accommodate additional collocation antennas.
- (i) A report by a structural engineer licensed by the State of Wisconsin certifying the structural design and its ability to accommodate additional antennas.
- (j) Evidence that the applicant has informed local airport owners and operators about any permit application for structures above two hundred (200) feet tall or within a three-mile radius of any existing public or private airport, including all landing strips.

SEC. 16-14-5 APPLICATION PROCESS – NEW MOBILE SERVICE SUPPORT STRUCTURES.

- (a) If an applicant submits to the Village an application to engage in an activity described in this section, which contains all of the information required under this Chapter, the Village must consider the application complete. If the Village does not believe that the application is complete, the Village must notify the applicant in writing, within ten (10) days of receiving the application, that the application is not complete. The written notification must specify in detail the required information that was incomplete. The applicant may resubmit an application as often as necessary until it is complete.

- (b) Within ninety (90) days of its receipt of a completed application, the Village must complete all of the following or the applicant may consider the application approved, except that the applicant and the Village may agree in writing to an extension of the ninety (90) day period:
 - (1) Review the application to determine whether it complies with all applicable aspects of the zoning ordinance and limitations of this Chapter;
 - (2) The Village Board must make a final decision whether to approve or deny the application, after receiving a recommendation of the Plan Commission;
 - (3) The Village must notify the applicant in writing of the final decision;
 - (4) If the application is approved, the Zoning Administrator will issue the applicant a zoning permit;
 - (5) If the decision is to deny the application, the Village must include with the written notification substantial evidence which supports that decision.
- (c) The Village may deny an application if an applicant refuses to evaluate the feasibility of collocation within the applicant's search ring and does not provide the sworn statement described in Section 16-14-4(f).
- (d) If an applicant provides the Village with an engineering certification showing that the proposed mobile service support structure is designed to collapse within a smaller area than the setback or fall zone area required in the specified zoning district, that zoning setback does not apply to the proposed structure unless the Village provides the applicant with substantial evidence that the engineering certification is flawed.

SEC. 16-14-6 TECHNICAL REVIEW.

In the event the Plan Commission determines that it is necessary to consult with a third party in considering a permit, all reasonable costs and expenses, excluding travel expenses, associated with such consultation shall be borne by the applicant. Failure to pay such costs and expenses or to provide information requested by the Plan Commission shall be grounds for denial or revocation of a conditional use permit. The applicant may provide to the Plan Commission the names of consultants believed by the applicant to be qualified to assist in resolving the issues before the Plan Commission.

SEC. 16-14-7 ABANDONMENT.

- (a) Any mobile service support structure and facilities not in operation for a continuous period of twelve (12) months shall be considered abandoned. In such circumstances, the owner of the mobile service support structure and facility of the property where the structure and facility are located must remove the support structure and all supporting equipment, buildings, and foundations to a depth of five (5) feet, and must restore the location to its natural condition (except any grading may remain in the after-condition as determined by the zoning administrator) within ninety (90) days of receipt of notice from the zoning administrator. If removal and restoration to the satisfaction of the zoning administrator does not occur within the said ninety (90) days, the zoning administrator may remove and salvage said mobile service support structure and facility and restore the site at the expense of the mobile service provider or property owner.

- (b) The applicant must submit a copy of a signed agreement, which may be the lease agreement, between the property owner and the owner of the mobile service facility detailing requirements for abandonment and subsequent removal based on the provisions of Section 16-14-7(a). Said agreement must also identify that the agreement must be binding on future property owner(s) and future owner(s) of the mobile service support structure and facility.
- (c) The mobile service support structure and facility must be recorded in the Register of Deed's Office and a copy of the deed must be filed with the Zoning Administrator.

SEC. 16-14-8 SECURITY FOR REMOVAL.

The applicant shall provide to the Village, prior to the issuance of the permit, a performance bond in the amount of twenty thousand dollars (\$20,000.00) to guarantee that the tower and all supporting equipment, buildings and foundations will be removed when no longer in operation. The Village must be named as obligee in the bond, and it must approve the bonding company. The face of the bond must reflect that the Village will be given notice if the bonding company cancels the bond. If, prior to the removal of the tower, tower removal rates exceed twenty thousand dollars (\$20,000.00), the Village reserves the right to require a corresponding increase in the bond amount.

SEC. 16-14-9 CONTINUED COMPLIANCE.

Upon written inquiry by the Plan Commission, the permit holder under this section shall have the burden of presenting credible evidence establishing to a reasonable degree of certainty the continued compliance with all conditions placed upon the conditional use permits. Failure to establish compliance with all conditions placed upon the conditional use will be grounds for revocation of the permit.

SEC. 16-14-10 USE OF EXISTING STRUCTURES.

A mobile service facility may locate on alternative support structures, such as clock towers, steeples, silos, light poles, buildings, water towers or similar structures, provided that the placement of the antenna will not extend more than six (6) feet from the structure. Mobile service facilities located on roofs must not occupy more than fifty (50) percent of the roof surface of a building and must be secured from the remaining area to prevent unauthorized access. The mobile service facility must be painted or otherwise treated to match the exterior of the structure. Such mobile service facility installation will be classified as either a class 1 or class 2 collocation and will require a site plan review.

SEC. 16-14-11 APPLICATION SUBMITTAL REQUIREMENTS – CLASS 1 COLLOCATIONS.

A collocation will be classified as a class 1 collocation if the following substantial modifications are added to the exiting mobile service support structure:

- (a) an increase in the overall height of the structure by more than twenty (20) feet, for structures with an overall height of two hundred (200) feet or less;
- (b) an increase in the overall height of the structure by 10% or more, for structures with an overall height of more than two hundred (200) feet;
- (c) an increase in width of the support structure by twenty (20) feet or more, measured at the level of the appurtenance added to the structure as a result of the modification;
- (d) an increase in the square footage of an existing equipment compound to a total area of more than 2,500 square feet.

A zoning application must be completed by the applicant and submitted to the Development Services Office. In addition to the requirements found in Section 16-9-2, the application must contain the following information:

- (a) Applicant name, business address, and phone number of the contact individual(s) for the applicant(s).
- (b) The location of the existing mobile service support structure, including legal description, amount of property leased, and the height of the proposed and existing mounted antennas and/or equipment.
- (c) A construction plan which describes the proposed modifications to the mobile support structure and the equipment and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and related equipment associated with the proposed modifications.
- (d) A report by a structural engineer licensed by the State of Wisconsin certifying the structural design and its ability to accommodate additional antennas.

SEC. 16-14-12 APPLICATION PROCESS – CLASS 1 COLLOCATION.

- (a) If an applicant submits to the Village an application to engage in an activity described in this section, which contains all of the information required under this Chapter, the Village must consider the application complete. If the Village does not believe that the application is complete, the Village must notify the applicant in writing, within ten (10) days of receiving the application, that the application is not complete. The written notification must specify in detail the required information that was incomplete. An applicant may resubmit an application as often as necessary until it is complete.
- (b) Within ninety (90) days of its receipt of a completed application, the Village must complete all of the following or the applicant may consider the application approved, except that the applicant and the Village may agree in writing to an extension of the ninety (90) day period:
 - (1) Review the application to determine whether it complies with all applicable aspects of the zoning ordinance and limitations of this Chapter;
 - (2) The Village Board must make a final decision whether to approve or deny the application, after recommendation of the Plan Commission;

- (3) Notify the applicant in writing of the Village Board's final decision;
- (4) If the application is approved, issue the applicant a zoning permit;
- (5) If the decision is to deny the application, include with the written notification substantial evidence which supports that decision.

SEC. 16-14-13 APPLICATION SUBMITTAL REQUIREMENTS – CLASS 2 COLLOCATION.

A collocation will be classified as a class 2 collocation if the substantial modifications described in Section 16-14-11 are not required for service.

A zoning application must be completed by the applicant and submitted to the Zoning Administrator. In addition to the requirements found in Section 16-9-2, the application must contain the following information:

- (a) Applicant name, business address, and phone number of the contact individual(s) for the applicant(s);
- (b) The location of the existing support structure; including legal description, amount of property leased, and the height of the proposed and existing mounted antennas and/or equipment;
- (c) A report by a structural engineer licensed by the State of Wisconsin certifying the structural design and its ability to accommodate additional antennas.

SEC. 16-14-14 APPLICATION PROCESS – CLASS 2 COLLOCATION.

- (a) If an applicant submits to the Village an application to engage in an activity described in this section, which contains all of the information required under this Chapter, the Village must consider the application complete. If the Village does not believe that the application is complete, the Village must notify the applicant in writing, within five (5) days of receiving the application, that the application is not complete. The written notification must specify in detail the required information that was incomplete. An applicant may resubmit an application as often as necessary until it is complete.
- (b) Within forty-five (45) days of its receipt of a completed application, the Village must complete all of the following or the applicant may consider the application approved, except that the applicant and the Village may agree in writing to an extension of the forty-five (45) day period:
 - (1) Review the application to determine whether it complies with all applicable aspects of the zoning ordinance and limitations of this Chapter;
 - (2) The Village Board must make a final decision whether to approve or deny the application, after recommendation of the Plan Commission;
 - (3) Notify the applicant in writing of the Village Board's final decision;
 - (4) If the application is approved, issue the applicant a zoning permit;
 - (5) If the decision is to deny the application, include with the written notification substantial evidence which supports that decision.

SEC. 16-14-15 APPLICATION PROCESS – LIABILITY.

The Village does not warrant any mobile service support structure against design or structural failure. The Village does not certify that the design is adequate for any tower and the Village hereby accepts no liability through the issuance of a conditional use permit or zoning permit.

SEC. 16-14-16 SITE SPECIFICS.

- (a) As with commercial-scale wind energy facilities, mobile service support structures setbacks must not be less than the height of the tower above grade between the base of the tower and property line. The setback may be reduced if the requirements of Section 16-14-4(i) are met.
- (b) When more than one (1) tower is placed on a site, all setback and design requirements must be met by each tower.
- (c) A site with a guyed mobile support structure must provide:
 - (1) A setback of at least twenty-five (25) feet between a guy anchor and any property line abutting a residential district, public property, or street; and
 - (2) A setback equal to or exceeding the rear setback required for the adjoining property where the adjoining property is not a public property or street, nor in a residential district.
 - (3) A guy anchor may be located on an adjoining property when:
 - a. Written authorization from the adjoining property owner is provided at the time of application for conditional use approval; and
 - b. The guy anchor meets the requirement of subsections (1) and (2) above, as to all other adjoining property lines.
- (d) Mobile service facility accessory structures must be limited to fifteen (15) feet in height.
- (e) Mobile service support structures must not be illuminated except as required by the Wisconsin Division of Aeronautics or the Federal Aviation Administration.

SEC. 16-14-17 SEVERABILITY.

If any provision of this ordinance or its application to any person or circumstance is held invalid, the invalidity does not affect other provisions or applications of this ordinance that can be given effect without the invalid provision or application, and to this end the provisions of this ordinance are severable.

SEC. 16-14-18 FEES.

Application fees for new mobile service support structures, and class 1 and 2 collocations, shall be in accordance with a fee schedule set by resolution of the Village Board from time-to-time.

SEC. 16-14-19 RESERVED.

CHAPTER 15

(Ordinance 2015-04; 06/01/15)

(Note: Overlay in Ordinance Chapter Numbers. This Ordinance references Title 16, Chapter 9)

Shoreland Zoning Ordinance for the Village of Caledonia

<i>Section Number</i>	<i>Title</i>	<i>Ordinance Number</i>	<i>Date of Ordinance</i>
	Article I. Statutory Authorization, Findings of Fact, Statement of Purpose and Title	2015-04	06/01/15
16-15-1	Statutory Authorization.		
16-15-2	Finding of Fact and Purpose.		
	Article II. General Provisions		
16-15-3	Compliance.		
16-15-4	Municipalities And State Agencies Regulated.		
16-15-5	Abrogation And Greater Restrictions.		
16-15-6	Interpretation.		
16-15-7	Severability.		
16-15-8	Applicability of Shoreland District Regulations.		
16-15-9	Setbacks from the Water.		
16-15-10	Vegetative Buffer Zone.		
16-15-11	Definitions.		

ARTICLE I. STATUTORY AUTHORIZATION, FINDINGS OF FACT, STATEMENT OF PURPOSE AND TITLE

SEC. 16-15-1 STATUTORY AUTHORIZATION.

This ordinance is adopted pursuant to the authorization in Wis. Stat. Secs. 61.35 and 61.353.

SEC. 16-15-2 FINDING OF FACT AND PURPOSE.

Uncontrolled use of shorelands and pollution of the navigable waters of the municipality would adversely affect the public health, safety, convenience, and general welfare and impair the tax base. The Legislature of Wisconsin has delegated responsibility to all municipalities to:

- (1) Promote the public health, safety, convenience and general welfare;
- (2) Limit certain land use activities detrimental to shorelands; and
- (3) Preserve shore cover and natural beauty by controlling the location of structures in shoreland areas and restricting the removal of natural shoreland vegetation.

ARTICLE II. GENERAL PROVISIONS

SEC. 16-15-3. COMPLIANCE.

The use of shorelands within the shoreland area of the municipality shall be in full compliance with the terms of this ordinance and other applicable local, state or federal regulations. All permitted development shall require the issuance of a zoning permit unless otherwise expressly excluded by a provision of this ordinance.

SEC. 16-15-4. MUNICIPALITIES AND STATE AGENCIES REGULATED.

Unless specifically exempted by law, all cities, villages, towns, and counties are required to comply with this ordinance and obtain all necessary permits. State agencies are required to comply if Wis. Stat. Sec. 13.48(13) applies.

SEC. 16-15-5. ABROGATION AND GREATER RESTRICTIONS.

- (a) This ordinance supersedes all the provisions of any other applicable municipal ordinance except that where another municipal ordinance is more restrictive than this ordinance, that ordinance shall continue in full force and effect to the extent of the greater restrictions, but not otherwise.
- (b) This ordinance is not intended to repeal, abrogate or impair any existing deed restrictions, covenants or easements. However, where this ordinance imposes greater restrictions, the provisions of this ordinance shall prevail.

SEC. 16-15-6. INTERPRETATION.

In their interpretation and application, the provisions of this ordinance shall be held to be minimum requirements and shall be liberally construed in favor of the municipality and shall not be deemed a limitation or repeal of any other powers granted by the Wisconsin Statutes or Wisconsin Constitution.

SEC. 16-15-7. SEVERABILITY.

Should any portion of this ordinance be declared invalid or unconstitutional by a court of competent jurisdiction, the remainder of this ordinance shall not be affected.

SEC. 16-15-8. APPLICABILITY OF SHORELAND DISTRICT REGULATIONS.

- (a) **The Shoreland Zoning District regulations apply only to the following shorelands:**
 - (1) A shoreland that was annexed by the Village of Caledonia after May 7, 1982, and that prior to annexation was subject to a county shoreland zoning ordinance under Wis. Stat. Sec. 59.692; and

- (2) A shoreland that before incorporation by the Village of Caledonia was part of a town that was subject to a county shoreland zoning ordinance under Wis. Stat. Sec. 59.692 if the date of incorporation was after April 30, 1994.
- (b) **District Boundaries.** The Shoreland District areas regulated by this ordinance shall include all the lands (referred to herein as shorelands) in the Village of Caledonia that are:
- (1) Within 1,000 feet of the ordinary highwater mark of navigable lakes, ponds or flowages. Lakes, ponds or flowages shall be presumed to be navigable if they are listed in the Wisconsin Department of Natural Resources Surface Water Data viewer available on the DNR website, or are shown on United States Geological Survey quadrangle maps or other zoning base maps.
 - (2) Within 300 feet of the ordinary highwater mark of navigable rivers or streams, or to the landward side of the floodplain, whichever distance is greater. Rivers and streams shall be presumed to be navigable if they are designated as continuous waterways or intermittent waterways on United States Geological Survey quadrangle maps. Flood hazard boundary maps, flood insurance rate maps, flood boundary-floodway maps, county soil survey maps or other existing county floodplain zoning maps shall be used to delineate floodplain areas.
 - (3) Determinations of navigability and ordinary highwater mark location shall initially be made by the Zoning Administrator. When questions arise, the Zoning Administrator shall contact the appropriate district office of the Wisconsin Department of Natural Resources for a final determination of navigability or ordinary highwater mark.
 - (4) Pursuant to Wis. Stat. Sec. 61.353, the Shoreland Zoning District does not include lands adjacent to an artificially constructed drainage ditch, pond, or retention basin if the drainage ditch, pond or retention basin is not hydrologically connected to a natural navigable water body.
- (c) **Effect Of Existing Land Division, Sanitary, Zoning And Other Regulations.** The lands within the Shoreland Zoning District are subject to all applicable provisions of the Village of Caledonia Municipal Code. Where the provisions of this ordinance are more restrictive than other regulations in the Municipal Code, the provisions of this ordinance shall apply.

SEC. 16-15-9. SETBACKS FROM THE WATER.

- (a) **Principal Building and Accessory Structures Setbacks.**
- (1) All principal buildings and accessory structures shall be set back at least 75 feet from the ordinary high-water mark.
 - (2) Adjustment of Shore Yards. A setback less than that required by subsection A.1. may be allowed if all of the following apply:

- a. The principal building is constructed or placed on a lot or parcel of land that is immediately adjacent on each side to a lot or parcel of land containing a principal building; and
- b. The principal building is constructed or placed within a distance equal to the average setback of the principal building on the adjacent lots or 35 feet from the ordinary high-water mark, whichever distance is greater.

SEC. 16-15-10. VEGETATIVE BUFFER ZONE.

Pursuant to Wis. Stat. Sec. 61.353(3), a landowner must maintain a vegetative buffer zone, as follows:

- (1) A person who owns shoreland property that contains vegetation must maintain that vegetation in a vegetative buffer zone along the entire shoreline of the property and extending 35 feet inland from the ordinary high-water mark of the navigable water, except as provided in sub. B.
- (2) If the vegetation in a vegetative buffer zone contains invasive species or dead or diseased vegetation, the owner of the shoreland property may remove the vegetation, except that if the owner removes all of the vegetation in the vegetative buffer zone, the owner shall establish a vegetative buffer zone with new vegetation.
- (3) A person who is required to maintain or establish a vegetative buffer zone under sub. A may remove all of the vegetation in a part of that zone in order to establish a viewing or access corridor that is no greater than 30 feet wide for every 100 feet of shoreline frontage and extends no more than 35 feet inland from the ordinary high-water mark.

SEC. 16-15-11. DEFINITIONS.

In this ordinance:

- (1) “Navigable waters” shall mean Lake Michigan, all natural lakes within the state and all streams, ponds, sloughs, flowages and other waters within the territorial limits of the state, which are navigable under the laws of the state. This definition does not include lands adjacent to farm drainage ditches if:
 - (a) Such lands are not adjacent to a navigable stream or river;
 - (b) Those parts of such drainage ditches adjacent to such lands were non-navigable streams before ditching; and
 - (c) Such lands are maintained in nonstructural agricultural use.
- (2) “Principal building” means the main building or structure on a single lot or parcel of land and includes any attached garage or attached porch.
- (3) “Shorelands” has the meaning given in Wis. Stat. Sec. 59.692(1)(b).
- (4) “Shoreland setback area” has the meaning given in Wis. Stat. Sec. 59.692(1)(bn).