

PLANNING COMMISSION AGENDA
Monday, February 22, 2021 at 6:00 p.m.
Caledonia Village Hall – 5043 Chester Lane

THIS WILL NOT BE AN IN-PERSON MEETING

AUDIO & VIDEO CONFERENCE VIA ZOOM

ACCESS VIA DIAL-IN NUMBER IS: 1-(312) 626-6799; ACCESS CODE IS: 858 0912 3948 OR

ACCESS VIA ONE-TOUCH TELEPHONE IS: +13126266799,, 85809123948#OR

ACCESS VIA INTERNET IS: <https://us02web.zoom.us/j/85809123948>

1. Meeting called to order

2. Roll Call/Introductions

3. Approval of Minutes

4. Citizens' Comments

5. Public Hearing Items

- A. TEXT AMENDMENT – Consider the repeal of Section 20-1339(b) of the Racine County Code of Ordinances as adopted under Section 16-1-1(a) of the Code of Ordinances of the Village of Caledonia pertaining to the conditional use requirement for development within set distances of a freeway, road interchange, State or County Trunk Highways as set forth in that subsection.
- B. CONDITIONAL USE & BUILDING, SITE & OPERATIONS PLAN – Review a request for a conditional use and site plan review for a construction of a quick service restaurant for the property located at 4542 Douglas Avenue submitted by Tom Haman, Applicant, MRUP LLC & JL Storage LLC, Owners. (Parcel ID No. 104-04-23-29-168-000)

6. Non-Public Hearing Items

- A. SIGN PLAN REVIEW – Review a proposed sign plan to allow for the construction of a 10'2" tall and 96.95 square-foot monument sign for the parcel located at 12725 4 Mile Road, submitted by Don Nummerdor, Applicant, Central Storage Warehouse, Owner. (Parcel ID No. 104-04-22-30-015-201)
- B. COOPERATIVE BOUNDARY AGREEMENT REVIEW - Review a conditional use to construct a 50'x120' commercial building and occupy with a utility/cargo trailer accessory business (DBA Anderson Trailers LLC) for the property located at 4365 27th Street submitted by Kay Friesema, Applicant, Anderson Trailers LLC, Owner. (Parcel ID No. 168-04-21-36-005-000)
- C. BUILDING, SITE, & OPERATIONS REVIEW – Review a building, site, and operation plan to construct a 4,000 square-foot maintenance building located at 8425 STH 38 submitted by B Squared Construction, Applicant, Bear Country Holdings LLC, Owner. (Parcel ID No. 104-04-22-04-017-000)
- D. CERTIFIED SURVEY MAP – Review a certified survey map creating seven lots for a parcel located on DeBack Lane submitted by Adam Artz, Applicant, Wispark LLC, Owner. (Parcel ID No. 104-04-2-30-015-202)

- E. BUIDLING, SITE, & OPERATIONS REVIEW – Review a building, site, and operation plan to construct a 320,000 square-foot industrial building located on Lot 2 located east of DeBack Lane submitted by Christopher Carlino, Applicant, WisPark LLC, Owner. (Parcel ID No. 104-04-22-30-015-200)
- F. ZONING CODE DISCUSSION – Review draft Chapters 1-5 of the Village of Caledonia Zoning Code.

7. Adjournment

Dated February 19, 2021

Joslyn Hoeffert
Interim Village Clerk

Only Commission members are expected to attend. However, attendance by all Board members (including non-members of the Plan Commission) is permitted. If additional (non-commission) Board members attend, three or more Board members may be in attendance. Section 19.82(2), Wisconsin Statutes, states as follows:

If one-half or more of the members of a governmental body are present, the meeting is rebuttably presumed to be for the purposes of exercising the responsibilities, authority, power or duties delegated to or vested in the body.

To the extent that three or more members of the Caledonia Village Board actually attend, this meeting may be rebuttably presumed to be a “meeting” within the meaning of Wisconsin’s open meeting law. Nevertheless, only the commission’s agenda will be discussed. Only commission members will vote. Board members who attend the commission meeting do so for the purpose of gathering information and possible discussion regarding the agenda. No votes or other action will be taken by the Village Board at this meeting.

1. Meeting called to order

President Dobbs called the meeting to order at 6:00 p.m. at the Village Hall, 5043 Chester Lane, Racine, Wisconsin via ZOOM.

2. Roll Call/Introductions

Members present: Thomas Knitter, Trustee Wanggaard, President Dobbs, Bill Folk, Joseph Minorik and Tim Just.

Absent: None

Also Present: Development Director Peter Wagner and Trustee Fran Martin.

3. Approval of Minutes

Motion by Folk to approve the minutes from the November 30, 2020. Seconded by Just. Motion carried unanimously.

4. Citizens' Comments

None.

5. Public Hearing Items followed by Commission Recommendations

5A. CONDITIONAL USE REVIEW – Review a request for a conditional use to construct a 165-foot tall cell tower located at 8451 Frontage Road submitted by Verizon Wireless, Applicant, American Transmission Company LLC, Owner. (Parcel ID No. 104-04-22-06-041-000)

Peter Wagner read from his report:

“The applicant is requesting approval of a conditional use and building, site, and operation plans for a wireless communications tower facility located at 8451 Frontage Road. The tower will be 165-foot tall monopole and include a 5-foot lighting rod and located in the western portion of the property. The applicant will utilize the existing equipment shelter located by the American Transmission Company Tower and extend connections to the new monopole as shown on the submitted site plans. This tower is being constructed to replace a nearby telecommunications array located on the nearby American Transmission Tower located on the same parcel. The American Transmission Company is discontinuing the use of their towers as a co-location facility for telecommunications, similar to the case on River Road last year. The applicant supplied a narrative and site plan explaining the project proposal. The proposed tower complies with the Title 16, Chapter 9: Mobile Tower Siting regulations of the Village Municipal Code. Engineering had no concerns or issues with the proposed siting of the facility.”

Public Hearing Opened 6:06 p.m.

President Dobbs asked three times if anyone wanted to speak in favor of this proposal.

In favor:

Pete Schau- As being the applicant, just wanted to go on record that he was in favor.

President Dobbs asked three times if anyone wanted to speak against this proposal.

Against:

None.

Public Hearing Closed: 6:08 p.m.

5A. Commission Deliberation

Plan Commission Members questioned the height of the tower and if there is a light located at the top. Pete Schau responded there are no requirements to add lighting due to the distance it is from the airport and the height doesn't exceed 200 ft. Commission Members expressed gratitude towards the applicant using the existing facilities available instead of building a new structure.

Motion by Knitter to approve and recommend to the Village Board that a conditional use and building, site, and operational plan for the construction of a 165-foot cell tower for the property located at 8451 Frontage Road be approved with conditions in Exhibit A for the following reasons:

1. The proposed use is allowed by underlying zoning through the conditional use review process.
2. The proposed use will not adversely affect the surrounding property values.

Seconded by Just.

ROLL CALL

Thomas Knitter	Aye
Trustee Wanggaard	Aye
Tim Just	Aye
Joseph Minorik	Aye
President Dobbs	Aye
Bill Folk	Aye

Motion carried unanimously.

5B. CONDITIONAL USE AMENDMENT – Review a conditional use amendment for the property located at 1306 4 Mile Road allowing the applicant to expand hours of operation for Casey’s General Store submitted by Mikael Lage, Applicant, Casey’s Marketing Company, Owner. (Parcel ID No. 104-04-23-051-000)

Peter Wagner read from his report:

“The applicant is requesting a change to the conditions of approval pertaining to the hours of operation for Casey’s General Store located at 1306 4 Mile Road. The applicant did not provide a narrative explaining why the request was being made or why there is a need to expand hours of operation. Staff contacted the applicant requesting additional information and was only able to verbally confirm the request. At the time this report was created, staff has not received any additional information explaining the rationale as to why there is a need to expand hours of operation. Included with this report are the conditions of approval with Condition No. 24 highlighted showing the proposed change. There are currently no zoning complaints or violations regarding this business and has received no incident reports from the Police Department as it pertains to the operation of the business. Without an explanation, and only a verbal request to change the hours of operation, staff does not believe changing the condition of approval to accommodate the change in hours of operation will positively impact the neighborhood as it will likely result in additional traffic and noise occurring as late as midnight and as early as 4am.”

Public Hearing Opened 6:18 p.m.

President Dobbs asked three times if anyone wanted to speak in favor of this proposal.

In favor:

None

President Dobbs asked three times if anyone wanted to speak against this proposal.

Against:

Kevin & Christine Barber 4934 Charles St – spoke against the extended hours, the lights are currently an issue with the hours set in place now. It was spoke of the surrounding businesses don’t operate beyond 8 p.m.

Kim Gegare 1307 4 Mile Rd – spoke against the expansion of operating hours, via email, due to lighting and Casey’s repeatedly forgetting to shut them off after business hours.

Natalie Weyers 5036 Charles St – spoke against Casey’s extending their hours, via email, and sees it to be unacceptable. She states the current headlights & building lighting situation is already a problem for this residential area and interrupts sleeping hours for residents.

Public Hearing Closed: 6:23 p.m.

5B. Commission Deliberation

Plan Commission Members spoke of their recollection of prior meetings before construction of Casey’s. That the applicant, Casey’s agreed with Plan Commission Member’s on what the current hours of operation are and that it wouldn’t affect their decision to build in Caledonia. Plan Commission said with nobody from Casey’s here to represent themselves and as stated in Peter Wagner’s report no current complaint lets keep the status quo and keep hours of business the same.

Motion by Just to leave as is the current hours of operation from 5 a.m. to 10 p.m.

Seconded by Minorik.

ROLL CALL

- Thomas Knitter Aye
- Trustee Wanggaard Aye
- Tim Just Aye
- Joseph Minorik Aye
- President Dobbs Aye
- Bill Folk Aye

Motion carried unanimously.

6. Non-Public Hearing Items

6A. PRELIMINARY PLAT EXTENSION – Consider a request to extend the approval for a preliminary plat for the subdivision known as Catlyn Woods located at 6235 Middle Road, submitted by Nance Washburn, Applicant, Middle Road Investments LLC, Owner. (Parcel ID No. 104-04-23-17-072-000)

Peter Wagner read from his report:

Peter Wagner read from his report:

“The applicant is requesting another 3-year extension for the approval of the preliminary plat for Audubon Arboretum, which is located at 6444 Charles Street. The proposed subdivision plat is approximately 69 acres and will consist of 106 residential lots. As stated in the applicant’s narrative, the current housing market and cost to develop these lots are not financially feasible at this time. The applicant has not proposed any changes to the preliminary plat. A similar extension was approved in 2018 with an expiration of May 7, 2021. Included with this report is a copy of the 2018 extension request, which provides additional history regarding the plat. If approved, this extension will be set to expire February 1, 2024. At this time, the applicant does not have a timeline to begin moving this project forward.

Staff does not have opposition to the request but recommends that any extension of the plat require the developer to meet current Village development standards. If the Plan Commission is comfortable with the request, the extension will be set to expire on February 1, 2024 or three years from when the Village Board approves the extension. This subdivision was originally proposed in 2007. Staff cautions the Plan Commission and Village Board, that continued extensions limit the design of the subdivision to what has been previously approved and future revisions to the zoning code, may make future extensions of the plat inconsistent with the zoning requirements. The applicant should be made aware that continued extensions may not be granted, and that the applicant may have to resubmit a full preliminary subdivision plat for review in the future.”

6B. Commission Deliberation

Nancy Washburn said April 2018 through Feb. 2019 they had the wetlands re-delineated and remained unchanged and the farmland had been farmed. The storm water management, sewer, water plans were updated and the whole area around this location was looked at for changes. The Phases of this project are large and the first Phase towards the east is mainly storm water management and includes twenty-six (26) plats but the market just hadn’t been there for this size lot with all the costs needed for the start of this development.

Motion by Knitter recommends to the Village Board to approve the 3-year extension, expiring February 1, 2024, of the approved preliminary plat for Audubon Arboretum with the condition that the development is constructed to Village standards at the time of construction and is in compliance with all applicable Village Ordinances and other applicable Wisconsin Statutes and regulations at the time of submission of the final plat.

Seconded by Just.

ROLL CALL

- Thomas Knitter Aye
- Trustee Wanggaard Aye
- Tim Just Aye
- Joseph Minorik Aye
- President Dobbs Aye
- Bill Folk Aye

Motion carried unanimously

6C. PRELIMINARY PLAT EXTENSION – Consider a request to extend the approval for a preliminary plat for the subdivision known as Homestead Acres located along Northwestern Avenue, east of the railroad tracks

Peter Wagner read from his report:

**Plan Commission Meeting
Monday, January 25, 2020**

“The applicant is requesting another 3-year extension for the approval of the preliminary plat for Homestead Acres, which is located between Dunkelow Road and CTH K, immediately east of the Chicago & Northwestern Railroad. The proposed subdivision plat is approximately 68 acres and will consist of 53 single-family residential lots and 26 two-family lots for a total of 79 lots. As stated in the applicant’s narrative, the applicant intends to start this project later this year, most likely after the May 2021 expiration date of the last extension. Included with this report is a copy of the 2018 extension request, which provides additional history regarding the plat. If approved, this extension will be set to expire February 1, 2024. At this time, the applicant intends to start this project later in 2021, but likely not before the expiration of preliminary plat, which is May 7, 2021. Staff does not have opposition to the request but recommends that any extension of the plat require the developer to meet current Village development standards and be amended to reflect the change due to the attenuation basin parcel. If the Plan Commission is comfortable with the request, the extension will be set to expire on February 1, 2024 or three years from when the Village Board approves the extension.”

6C. Commission Deliberation

Nancy Washburn said December 2018 to the middle of 2019 created the first final plat (21 plats) for the northeast section near Dunkelow Rd. She stated all extensions are improved by the Racine Wastewater. This is getting ready to go out for bid again and hopefully will be brought back out to market by April or May 2021.

Motion by Knitter recommends that the Village Board approves the 3-year extension, expiring February 1, 2024, of the approved preliminary plat for Homestead Acres with the condition that the development is constructed to Village standards at the time of construction; is in compliance with all applicable Village Ordinances and other applicable Wisconsin Statutes and regulations; and is amended to reflect the purchase of land by the Village for an attenuation basin prior to the submission of the final plat.

Seconded by Just.

ROLL CALL

- | | |
|-------------------|-----|
| Thomas Knitter | Aye |
| Trustee Wanggaard | Aye |
| Tim Just | Aye |
| Joseph Minorik | Aye |
| President Dobbs | Aye |
| Bill Folk | Aye |

Motion carried unanimously

7. - Adjournment

Motion by to adjourn Trustee Wanggaard. Seconded by Minorik. Motion carried unanimously. Meeting adjourned at 6:50 p.m.

Respectfully submitted,
Erika Waege
Administrative Assistant Building/Engineering



Meeting Date: February 22, 2021

Item No. 5a

PLAN COMMISSION REPORT

Proposal: Text Amendment

Description: Review a proposed text amendment repealing Section 20-1339(b) removing the requirement for a conditional use for developments based on the criteria of set distances from a freeway, road interchange, state or county trunk highways.

Applicant(s): Village of Caledonia

Address(es): n/a

Suggested Motion: That the Plan Commission recommends to the Village Board that Section 20-1339(b) of the Municipal Code be repealed.

Background: The Village is requesting that Section 20-1339(b) be repealed regarding the requirement for a conditional use for developments based on the criteria of set distances from a freeway, road interchange, state or county trunk highways. This section of code comes from the Racine County Zoning Code. This code section creates an unnecessary review process which includes a public hearing for permitted uses within a zoning district abutting specific roadway types. By removing this section of code, future development and redevelopment of our non-residential areas of the Village will become less time consuming to review.

The repeal of this section will not remove the conditional use review process for those uses considered to be conditional uses, and new permitted uses will still be required to go through the building, site, and operations review prior to submitting building permits.

Staff believes that this section of code is outdated and conflicts with Act 67 as it pertains to conditional uses. Although staff is in the process of updating the zoning code and is proposing to eliminate this requirement, staff felt that proceeding with this text amendment will provide immediate relief from this requirement and provide a streamlined and less time consuming review process for new businesses looking to locate in the Village.

Respectfully submitted:

A handwritten signature in black ink that reads "Peter Wagner". The signature is written in a cursive style.

Peter Wagner, AICP
Development Director

Sec. 20-1339. - Highway-oriented uses.

- (a) The following commercial uses shall be conditional uses and may be permitted as specified:
- (1) Drive-in theaters in the B-5 business district provided that a planting screen at least twenty-five (25) feet wide is created along any side abutting a residential district and no access is permitted to or within one thousand (1,000) feet of an arterial street.
 - (2) Drive-in establishments serving food or beverages for consumption outside the structure in the B-3, B-5 and B-6 business districts.
 - (3) Motels in the B-5 and B-6 business districts.
 - (4) Funeral homes in the B-2 and B-5 business districts, provided all principal structures and uses are not less than twenty-five (25) feet from any lot line.
 - (5) Drive-in banks in the B-2, B-3, B-4 and B-5 business districts.
 - (6) Tourist homes in the B-5 and B-6 business districts provided such district is located on a state trunk or U.S. numbered highway.
 - (7) Truck and bus terminals for the parking, repair and servicing of vehicles, provided no trans-shipment or warehousing facilities are provided, in the B-5 highway business district.
 - (8) Self-service storage facilities including incidental managers office/quarters in the B-3 business district along county trunk highways, state trunk highways and other similar major arterials, the B-5 business district and in the M-2 and M-3 industrial districts. The maximum lot coverage by structures for a self-service storage facility shall not exceed fifty (50) percent, and such facility shall not exceed fifteen (15) feet in height and shall meet the setbacks for the district in which it is located.
 - (9) Vehicle sales, service, washing and repair stations, garages, taxi stands and public parking lots, in all business districts provided all gas pumps are not less than thirty (30) feet from any side or rear lot line and twenty-five (25) feet from any existing or proposed street line.
- (b) Any development within five hundred (500) feet of an existing or mapped right-of-way of a freeway or expressway and within one thousand five hundred (1,500) feet of their existing or mapped centerline of interchange with any other road shall be deemed to be a conditional use. Any development within fifty (50) feet of any existing or mapped state trunk highway or county trunk highway and within one hundred fifty (150) feet of an existing or mapped centerline of intersection with any other road shall be deemed to be a conditional use.

(Code 1975, § 7.047; Ord. No. 86-86, § 7.047, 8-26-86; Ord. No. 87-144, 11-10-87; Ord. No. 88-160, § 7.047, 1-10-89)

Ordinance No. 2021-__

AN ORDINANCE TO REPEAL SEC. 20-1339(b) OF THE RACINE COUNTY CODE OF ORDINANCE AS ADOPTED UNDER SECTION 16-1-1(a) OF THE CODE OF ORDINANCES OF THE VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN, REMOVING THE REQUIREMENT FOR A CONDITIONAL USE FOR DEVELOPMENTS BASED ON THE CRITERIA OF SET DISTANCES FROM A FREEWAY, ROAD INTERCHANGE, STATE OR COUNTY TRUNK HIGHWAYS

The Village Board of the Village of Caledonia, Racine County, Wisconsin, do ordain as follows:

1. That Sec. 20-1339(b) of the Racine County Code of Ordinances as adopted under Sect. 16-1-1(a) of the Code of Ordinances of the Village of Caledonia pursuant to the incorporation of the Village of Caledonia is hereby repealed and shall no longer require conditional uses for development within set distances of a freeway, road interchange, State or County Trunk Highways as set forth in that subsection.

2. This ordinance shall take effect after public hearing and upon adoption and publication as required by law.

Adopted by the Village Board of the Village of Caledonia, Racine County, Wisconsin, this ____ day of _____, 2021.

VILLAGE OF CALEDONIA

By: _____
James R. Dobbs, President

Attest: _____
Joslyn Hoeffert, Deputy Clerk



PLAN COMMISSION REPORT

Proposal: Conditional Use & Building, Site, & Operations (BSO) Plan Review

Description: Review a request for a conditional use and approval of a building, site, and operation plan for a quick-service restaurant with a drive-thru for the property located at 4542 Douglas Avenue.

Applicant(s): Tom Haman, Gigi North LLC

Address(es): 4542 Douglas Avenue

Suggested Motion: That the Plan Commission recommends to the Village Board that a conditional use and a building, site, and operations plan for a quick-service restaurant with drive-thru be approved with conditions outlined in Exhibit A for the property located at 4542 Douglas Avenue for the following reasons:

1. The proposed use is allowed through the conditional use review process and is a permitted use in the B-2 & B-3 Zoning District.
2. This use will not adversely affect the surrounding property values.

Owner(s): JL Storage LLC & MRUP LLC

Tax Key(s): 104-04-23-29-168-000

Lot Size(s): ±1.77 acres

Current Zoning District(s): B-2, Community Business District and B-3, Commercial Service District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Commercial and Industrial

Background: The applicant is proposing to construct a ±4,500 square-foot quick service restaurant on the property located at 4542 Douglas Avenue for the operation of a Culver's restaurant. Per code, any development abutting a State Trunk Highway is required to go through a conditional use review. The proposed use is a permitted use in both the B-2 and B-3 zoning districts. This redevelopment proposal will result in the removal of an existing fueling station that has been closed for several years. The applicant is in the process of recording a lot line adjustment with abutting properties to create a 1.77 acre lot to accommodate the proposed development.

The proposed building will be located in the northern portion of the parcel and will have an exterior consisting of a mix of glass, stone, metal, EFIS, and composite siding. The exterior will also include blue awnings on all elevations of the building. There is an outdoor dining area proposed on the south side of the building that will be bordered by landscaping. The proposed building is in compliance with all setback, building height and size requirements for both the B-2 and B-3 zoning districts. The garbage dumpster will be located in the northwest corner of the site and be clad in similar stone material to match the building. The restaurant will have a two-lane drive-thru north of the building and will que cars north and south along the front of the site. The two-lane drive-thru facility should help mitigate long lines during peak business hours. To further address long que lines, there are two entrances to the site that will accommodate times when a long line is formed for the drive-thru. Landscaping along the eastern portion of the parcel should provide screening to reduce headlight glare from Douglas Avenue and vehicles in the drive-thru lane.

Parking for this development consists of 87 stalls which exceeds the minimum required for the size building. Per code, one stall is required for every 150 square feet of floor area. Parking lots over 25 stalls require handicap parking. This development proposes four ADA compliant parking stalls. Parking stalls are required to be a minimum of 180 square feet in area. All proposed stalls meet this requirement. The parking lot provides cross access easements to the abutting carwash to the south and the self-storage facility to the west are addressed through a separate access easement agreement with abutting property owners.

Landscaping on the site incorporates a combination of deciduous and evergreen vegetation along with some perennials and ornamental grasses. On the east elevation, the plan shows six deciduous trees ever 50' along the frontage of the parcel which is required by code. In between these trees will be low lying vegetation consisting of lilacs and rose bushes. The parking lot islands will include a tree with decorative grasses of other low-lying vegetation. Around the foundation of the building includes a mix of bushes, annuals, and decorative grasses. There will be cedar trees planted around the perimeter of the garbage dumpster. On the west elevation of the site, there will be three evergreens. On the south lot line junipers will be planted to delineate the area between the Culver's and existing car wash. Overall, the plan meets the minimum requirements for landscaping. The Plan Commission does have the discretion to modify the proposed landscape.

The lighting of the site will consist of down-cast, cutoff, LED fixtures throughout the development. The submitted photometric plan has some areas where light spill-over exceeds 0.5 foot-candles at the lot line. Staff will work with the applicant to modify the lighting plan to comply with Village lighting code thresholds at the lot line prior to building permits being submitted.

Included with this report is a site grading plan review from the Water Utility Director explaining what steps that are required prior to building permits being issued. Due to the size of the site, the applicant is proposing underground stormwater storage facility to accommodate stormwater management. The applicant will be required to go before the Water Utility Board for approval of their stormwater management plan prior to building permits being submitted. The Fire Department indicated no concerns regarding the proposed site plan; however, they will work with the applicant to ensure compliance with sprinkling requirements for this building type.

If the Plan Commission is comfortable with the proposed development, staff has drafted a suggested motion to approve the proposed development with conditions.

EXHIBIT A: Conditions of Approval for Gigi North LLC (Culver;s)

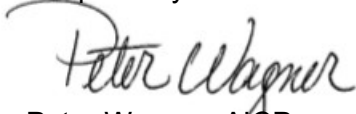
1. **Compliance.** Failure to comply with the terms and conditions stated herein could result in the issuance of citation(s) and/or revocation of this permit.
2. **Binding Effect.** These conditions bind and are applicable to the Property Owner, Agent, and any other users of the Property Owner with respect to the uses on the Property.
3. **Lot Line Adjustment.** The applicant must record the lot line adjustments for 4542 Douglas Avenue Racine County Register of Deeds prior to building permits submitted.
4. **Plans.** The proposed operation shall be located, constructed, and utilized in accordance with the revised plans and documents received by the Village Planning Office on January 25, 2021.
5. **Engineering Department.** The property owner or designated agent must contact the Village of Caledonia Engineering Department and must comply with all regulations and requirements of the Village of Caledonia Engineering Department.
6. **Stormwater.** The property owner or designated agent must contact the Village of Caledonia Stormwater Utility District regarding stormwater regulations for this site. Compliance with all regulations and requirements, as determined by the Village of Caledonia Stormwater Utility District is required. Stormwater management plans shall be submitted for approval and be in compliance with all Village requirements, as determined by the Village Engineer before permits are issued.
7. **Fire Department Approval.** Owner shall obtain approval from the Village of Caledonia Fire Department and meet applicable codes.
8. **Parking.** Parking at the site must be in compliance with the submitted plans. All employee and visitor parking must be conducted in the proposed parking lot as outlined on the submitted site plan. Each parking space shall be a minimum of 180 square feet in area exclusive of the space required for ingress and egress. Handicapped spaces shall be provided in accordance with State requirements. The driveway and all parking areas must be maintained in a hard-surfaced, dust-free condition.
10. **Landscaping.** Landscaping at the site must be in compliance with the submitted Landscaping Plan received on January 25, 2021. The Village may require a letter of credit or bond to be posted to ensure implementation and maintenance. Landscaping shall comply with Title 16. The landscaping plan shall follow the Village of Caledonia planting requirements. Landscaping shall be maintained in a living condition and any landscaping that dies or is otherwise removed shall be immediately replaced.
11. **Lighting.** The lighting plan must be in compliance with the submitted lighting plan January 25, 2021. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway. Following installation, owner shall contact Village for an inspection to ensure that lighting was properly installed.

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12. **Signage.** Proposed signs shown on building plans submitted on January 25, 2021 are approved. Prior to installation of any signs, a sign permit will be required prior to installation and meet all setback requirements. Banners, balloons, flashing or animated signs are prohibited.
 13. **No Accumulation of Refuse and Debris.** Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.
 15. **Performance Standards.** The applicant must comply with the provisions of Article VII, Division 4, Performance Standards of Chapter 20, Zoning, Racine County Code of Ordinances, as adopted by the Village of Caledonia.
 16. **Property Maintenance Required.** A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade.
 17. **Expiration.** This approval will expire twelve (12) months from the date of the Village's final approval unless substantial work has commenced following such grant. If this office determines that no substantial work has commenced, the development will be required to resubmit their application and go through the conditional use process.
 18. **Access.** The applicant must allow any Village employee full and unlimited access to the project site at a reasonable time to investigate the project's construction, operation, or maintenance.
 19. **Compliance with Law.** The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 14, 16 and 18 of the Village of Caledonia Code of Ordinances.
 20. **Reimburse Village Costs.** Applicant shall reimburse to the Village all costs incurred by the Village for review of this conditional use including but not limited to engineering, legal and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.
 21. **Amendments to Conditional Use Permit.** No additions, deletions, or changes may be made to the project, site plan, or these conditions without the Village of Caledonia's prior approval. All addition, deletion, and/or change requests must be submitted to the Village of Caledonia in writing. A minor change to the conditions of this permit, as deemed by the Village Development Director, may be made at a staff level, if authorized by the Village Development Director.
 22. **Caledonia Utility District.** The property owner or designated agent must contact the Caledonia Utility District regarding Utility District regulations for this site. Compliance with all regulations and requirements, as determined by the Caledonia Utility District is required.
 23. **Site Plan and Title 16 Review.** The final site plan and site design and architectural details required under Title 16 of the Village's Code of Ordinances shall be reviewed and approved for compliance by the Village Development Director.

25. **Agreement.** You're accepting the conditional use approval/zoning permit and beginning the project means that you have read, understand, and agree to follow all conditions of this approval. Therefore, Tom Haman, Gigi North LLC, and their heirs, successors, and assigns, including tenants, are responsible for full compliance with the above conditions.

 26. **Subsequent Owners.** It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.
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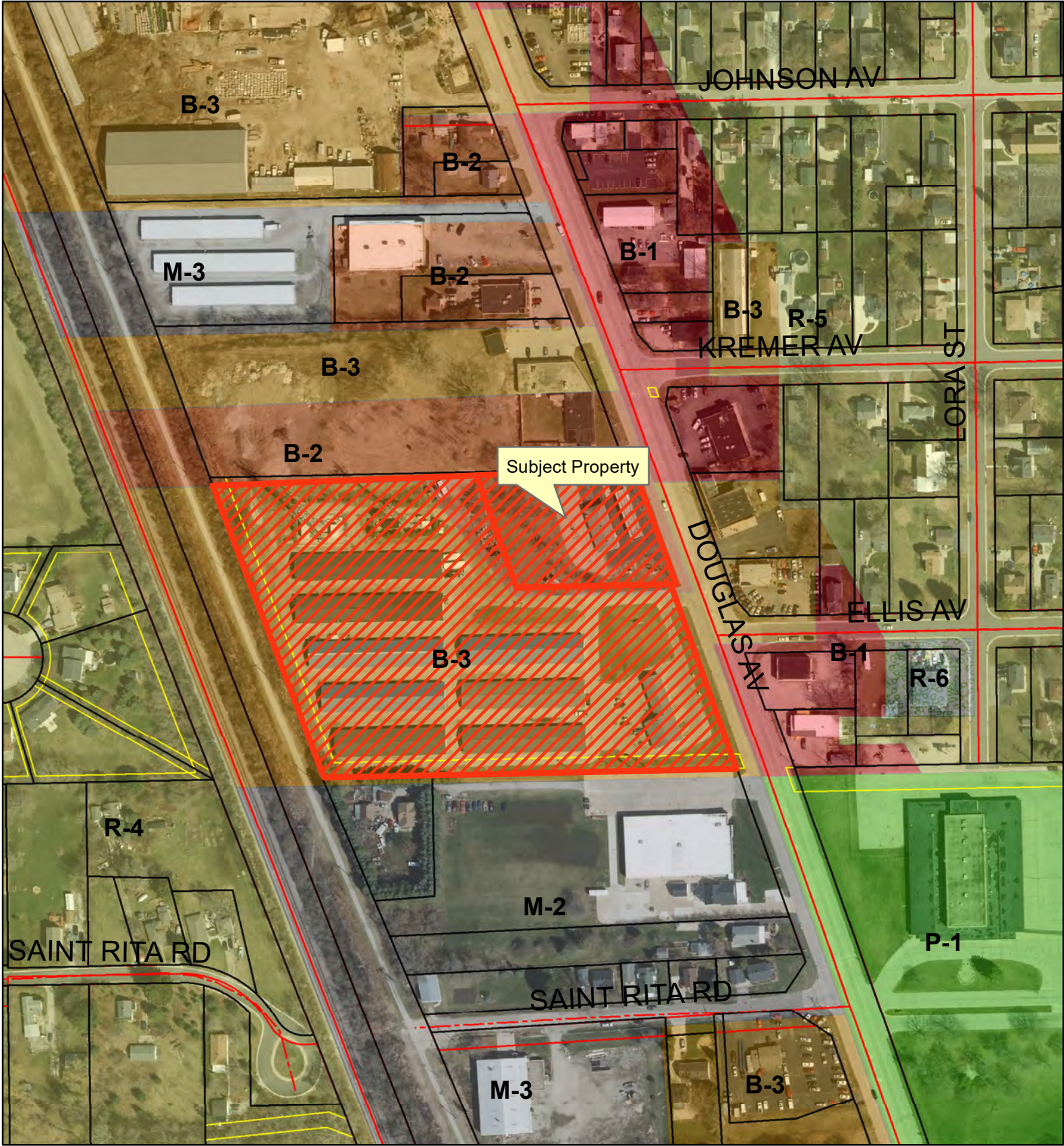
Respectfully submitted:



Peter Wagner, AICP
Development Director


Location Map

4542 Douglas Avenue



Subject Property

Legend

 4542_Douglas

Thursday, February 11, 2021

Nielsen Madsen & Barber, S.C.
c/o Joshua Murray P.E.
1458 Horizon Boulevard Suite 200
Racine, WI 53406

RE: Culver's - Storm Water Management Plan & Site Grading Plan Review

Dear Mr. Murray:

The Caledonia Utility District has performed a review of the Storm Water Management Plan and related Utility Plans for the proposed Culver's Restaurant at 4542 Douglas Avenue. The Storm Water Management Plan and related Utility Plans are dated and submitted January 22, 2021. Below is a summary of the review comments.

- **Storm Water Management Plan**
 - The minimum outlet pipe size is 12" RCP. The primary outlet is currently 10" which is not available in RCP.
 - In the Post Developed Conditions (Storm Sewer Capacity) Analysis change the Links used as the catch basins and replace them with Pond Nodes using Catch Basins with insignificant storage. Use the rim as the flood elevation. See if it is possible to lower the peak elevation in the 100-year storm to be a minimum of 1' below the rim elevation of the catch basin. (This appears to be an issue at Catch Basin 6)
 - To complete this Storm Sewer Capacity analysis to incorporate all of the development, Add a node for the remaining area in DEV-2. Also include the pavement/area that is tributary to Catch Basin 7. Then create another Pond node using Catch Basins with insignificant storage as identified above.
 - Will need to provide a 100-year plugged analysis utilizing the custom weir.
 - Plan set sheets C-15 and C-16 for the Underground Detention System where not provided with this submittal. Please provide these sheets for review of the actual structure and outlets. The proposed underground detention system plans and the HydroCAD model shall match.

- **Site/Utility Plans**
 - **Sanitary Sewer Service**
 - According to televising records for the sanitary sewer main the lateral for the existing gas station is located at approximately 152' North of Sanitary Sewer Manhole 42-133 at the intersection of Ellis Avenue in the Southbound traffic lane of Douglas Avenue. The existing lateral shall be removed from the lot to the

West Right of Way line of Douglas Avenue. When the lateral is disconnected from the existing gas station and removed from the lot, the exposed lateral at the Right of Way line shall be televised to the sanitary sewer main prior to being temporarily capped. A 3rd party will need to televise the lateral to the sanitary sewer main to determine the condition of the lateral. If the condition of the lateral is deemed in good condition by the 3rd party, then the lateral can be re-used. If the lateral is not deemed in good condition by the 3rd party, then the lateral shall be relayed/replaced all the way back to the sanitary sewer main with the Culver's project.

- A sampling manhole shall be installed over the lateral that the West Right of Way line of Douglas Avenue within the lot. An Easement shall be granted for access to the sampling manhole. The proposed plan shows a sampling manhole being installed but it is significantly inside of the lot.
- The sanitary sewer manhole detail in the plans shall be replaced with the Caledonia Utility District sanitary sewer manhole detail.
- With the proposed land split/swap with the abutting property to the South, the existing sewer lateral for the Happy Car Wash will no longer be in front of the property that the Happy Car Wash is on. This will require the sanitary sewer lateral for the Happy Car Wash to be relayed to the sanitary sewer main in front of the lot in which the Happy Car Wash is located. The existing sanitary sewer lateral shall be removed to the property line and capped.
- All Sanitary Sewer laterals shall be installed per Caledonia Utility District Specifications.
- **Water Service**
- The existing water lateral for the gas station is not proposed to be used with the Culver's plan. This water lateral shall be abandoned as part of the Culver's project. This shall include the removal of the corporation for the lateral from the watermain and a repair clamp/sleeve being put in its place. The existing curb stop shall be disconnected and removed.
- With the proposed land split/swap with the abutting property to the South, the existing water lateral for the Happy Car Wash will no longer be in front of the property that the Happy Car Wash is on. This will require the water lateral for the Happy Car Wash to be relayed to the watermain in front of the lot in which the Happy Car Wash is located. The existing water lateral shall have the corporation removed from the watermain, a repair clamp/sleeve put in its place and the curb stop disconnected and removed.
- The Design Engineer shall provide required the water meter size for the proposed building when the interior plumbing plans are completed. The water meter selected must be a Utility District approved water meter. (Badger Meter Displacement & Compound Meters)
- All Water laterals shall be installed to Caledonia Utility District Specifications.
- The development may be subject to the Sewer Connection Fee and the Water Impact Fee based on the water meter size.

- **Storm Water**
- Plan set sheets C-15 and C-16 for the Underground Detention System were not provided with this submittal. Please provide these sheets for review of the actual structure and outlets.
- The 34'-12" Storm Sewer from the Water Quality portion of the Underground System shall be RCP.
- The 57'-10" Storm Sewer from the Water Quality portion of the Underground System shall be RCP.
- Existing Catch Basin 5 has a Neenah R-3530-L casting proposed on it. This casting may not be an acceptable casting for the application. Depending on a field review by staff of the Engineering Department a different casting may be called out.
- Proposed Catch Basin 5 Call out the Neenah Casting for the Beehive Grate in the Detail. Should be R-2561.
- On the 48" Underground System there appear to be manholes/access over the ends and bends on the West leg and North leg of the system. Indicate if these are manholes or if they are castings inserted in a T type structure.
- There are several Junctions that are called out on the plans that have Storm Sewer connected to the Underground system. How are these connections to be made?
- Is the curb section called out in the detail 18" overall or 24" overall to match the castings? There appears there may be a leader missing. It is also recommended that on the detail for the curbs that joint spacing and felt spacing be specified.
- **General Comments**
 - The Utility District retains the right to additional review comments until the plans are approved.
 - Once approved by the Caledonia Utility District, 2 stamped hard copies, 1 stamped electronic (pdf) copy, and the Storm Water Model file are to be submitted for the Storm Water Management Plan. 5 stamped hard copies and 1 stamped electronic (pdf) copy are to be submitted for the Site Grading Plan.
 - A Storm Water Easement/Maintenance Agreement will need to be granted by the Owners to encompass the Underground Storage and Outlet Structures. The Design Engineer shall provide the following: An Exhibit of the entire property, a Legal Description of the entire property, an Exhibit of the Storm Water Easements, a Legal Description of the Storm Water Easements, and a maintenance plan for the facility. (Underground Storage and Outlets).
 - A Sanitary Sewer Easement Agreement will need to be granted by the Owners to encompass a Sanitary Sewer monitoring/sampling manhole. The Design Engineer shall provide the following: An Exhibit of the entire property, a Legal Description of the entire property, an Exhibit of the Sanitary Sewer Easement, and a Legal Description of the Sanitary Sewer Easement.

- A Financial Guarantee (\$10,000.00) will need to be made and a Deposit Agreement will need to be executed by the owners to ensure that the Underground Storage and Outlet structures are installed, asbuilt and certified by the Design Engineer. This is to ensure that the Underground Storage and Outlets are constructed in accordance with the approved plans.

The Village of Caledonia Engineering Department has performed a review of the Site Grading Plan and related plan sheets for the proposed Culver's Restaurant at 4542 Douglas Avenue. The following comments have been provided for the issuance of a building permit. All questions in regard to the comments below shall be directed to Tom Lazcano, Public Works Director.

Sheet C-1

1. Plan set submitted is incomplete – missing Under Ground Detention Plans – Sheets C-15 & C-16.

Sheet C-2

1. No comments

Sheet C-3

1. Prior to performing any demolition work and work in the Village road right of way proper permitting will be required. IE Razing, Land Disturbance / Erosion Control including DNR NOI, and Road Opening Permits. Traffic flows on Douglas Avenue shall not be altered/closed without prior approvals from the Public Works Director. Traffic Control plans must be submitted for review and approvals prior to any lane closures.
2. What is the extent of the contaminated soil removal (any work being proposed in the Village road right of way)?
3. Need to provide plan and geotechnical report for excavated areas/contaminated soils areas. Verification of the fill areas and its compaction shall be provided. Contact the Village Building Inspector @ 262-835-6420 for details of requirements and inspections.
4. Are the overhead wires north of the proposed building high enough for larger vehicles to pass under (IE garbage truck accessing dumpster location)?
5. Are the overhead wires over the south driveway entrance high enough for garbage and delivery truck to pass under?

Sheet C-4

1. What does 1' wide cross hatching/separation between the pass thru lane and the order lane (north and west of the building) indicate? Painted marking, curbing? Concrete swale?
2. Is there going to be an ingress/egress easement over the south driveway access to access the Longo storage site? If so, show easements.

Sheet C-5

1. Recommend irrigation system be shown on plans (per sheet L- 2.0 -12).

2. Is there enough clearance between the proposed storm sewer and “CM” line in the parking lot?

Sheet C-6

1. Will need to use mountable curb casting approved by Public Works Director. Structure shall be rebuilt as needed.
2. Under ‘Utility Conflict Resolution Table’ Top of Pipe elevation is 736.58; should be 636.58. This page and C-7

Sheet C-7

1. Put note on page to see sheets C-9 and C-10 for additional spot elevations.
2. Proposed FFF should be 641.50. Proposed FYG 641.17?
3. Give existing and proposed spot elevations around exterior outside of paved areas.
4. Recommend spoil pile at northwest corner of property be removed. Will need to work with abutting lot owner to achieve. (behind dumpsters)
5. Grading shall not restrict runoff from abutting properties and shall provide a minimum of 8” of positive pitch away from all building FYG’s. Break points shall be a minimum of 8” below FYG’s providing a free board if an inlet is blocked or heavy rain events.
6. Provide FYG’s of buildings on abutting properties shown on the plans.
7. Recommend removing traffic flow arrows and adding arrows showing directions of flow and indicating break points with spot elevations.
8. Recommend swale be installed along the north lot line to direct water to the back of curb. Note: only proposing to direct small drainage area to north. Is there a swale around the existing structure that could be utilized instead to provide proper pitch away from the building?
9. Show proposed topsoil stockpile area(s) and interim grading plans. Should be with the erosion control plans.
10. Base on depth of contaminated soil removals extensive fill on site may be required. Verification of the fill areas and its compaction shall be provided. Suitable material shall be used and installed/compacted conforming to the IBC requirements. A geotechnical report will be required. Contact the Village Building Inspector Scott Seymour @ 262-835-6420 for details of requirements and inspections.
11. Supply Terracon contact information.
12. Proposing to install curb past lot lines. (South west side of lot)

Sheet C-8

1. Show sequencing.
2. Show any proposed construction fencing.
3. Recommend silt fence /silt log be located a minimum of 5’ from back of curb. (need snow storage)

Sheet C-9

1. Recommend renaming sheet to include site grading and paving (because it has existing spot elevations around the exterior of the lot).

2. Recommend adding proposed grading contours (at least out of paved areas) with spot elevations. This will show how water can flow to back of curb. Show swales.
3. What is the emergency overflow path on paved area? Free board from building FYG?
4. Show FYG of existing building to the north. Show Proposed FYG of new Carwash building north wall with finished slab elevation.
5. Recommend swaling along the north lot line to direct drainage to the back of curb rather than onto abutting property unless there is a swale there already around the existing building.
6. Show hill west of dumpster. Recommend it be removed. Work with abutting property owners.
7. In General Notes area add: Repair/replacement of concrete in Village right of way shall be installed per the Conditions of Village Road Opening Permit Plans and specifications. 18" long (epoxy coated) tie bars.
8. Use mountable curb and inlet structure casting for inlet located in the proposed south driveway entrance as approved by Public Works Director. Structure shall be rebuilt as needed.

Sheet C-11

1. Add silt log and track mat details?

Sheet C-12

1. Add mountable curb detail with proper casting (south drive).

Sheet C-13

1. Add Village curb replacement, apron, details, and specifications from the Village road opening application packet.

Sheet C-14

1. No comment.

Sheet C-15

1. Missing sheet.

Sheet C-16

1. Missing sheet.

Sheet L-1.0

1. Do not install landscaping, sprinkler systems, trees, or plantings in Village right of way. (Northeast corner of lot).

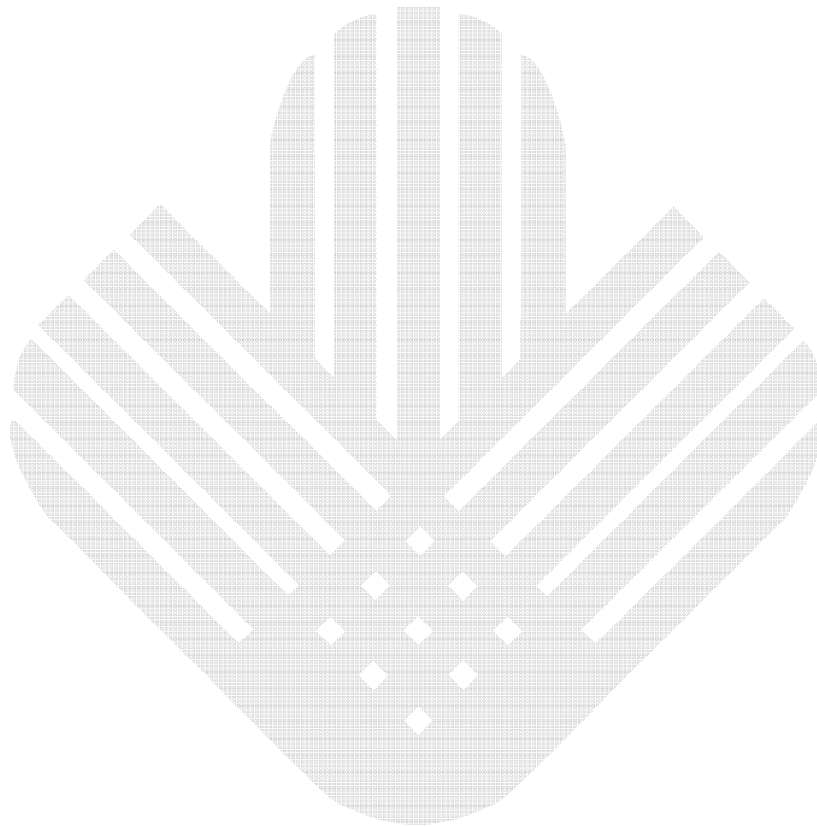
Sheet L-2.0

1. Recommend showing sprinkle system on the plans if installing.

If there are any questions on this review, please contact Tom Lazcano or myself me to discuss.

Sincerely,

Anthony A. Bunkelman P.E.
Utility Director
Village of Caledonia





DRIVE THRU ELEVATION



FRONT ELEVATION

REAR ELEVATION



MAIN ENTRY ELEVATION

REPRESENTATION	MATERIAL	COLOR
	COPING UNA-CLAD	"MEDIUM BRONZE"
	EIFS ACCENT BAND AND WALL	"POPULAR GRAY" SW 6071
	AWNING & BANNER CANVAS (BY OTHERS)	"ROYAL BLUE" 4617
	COMPOSTIE CLADDING NEW TECHWOOD	"BRAZILIAN IPE"
	MFGR'D STONE w/ STONE SILL TRIM (BORAL)	"ECHO RIDGE" COUNTRY LEDGESTONE

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NEW CULVER'S RESTAURANT
4542 Douglas Ave
 Caledonia, WI 53402
 County of RACINE

Culver Franchising System, Inc
 1240 Water Street
 Prairie du Sac, WI 53578
 608-643-7980

OLLMANN ERNEST MARTIN
 ARCHITECTS
 200 South State Street
 Belvidere Illinois 61008
 815-544-7790 Phone

ELEVATIONS
 NOTE: THOUGH THESE IMAGES HAVE PHOTO
 REALISTIC QUALITIES, THE ACTUAL BUILDING
 MATERIALS MAY VARY IN APPEARANCE.
 Date: 1-22-2021
 Revision:

2020-063

A2



REAR LEFT VIEW (NWC)



REAR RIGHT VIEW (NEC)



FRONT RIGHT VIEW (SEC)



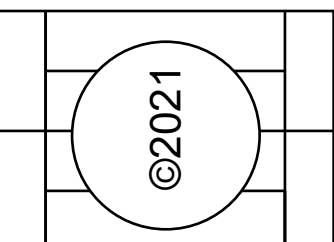
FRONT LEFT (SWC)



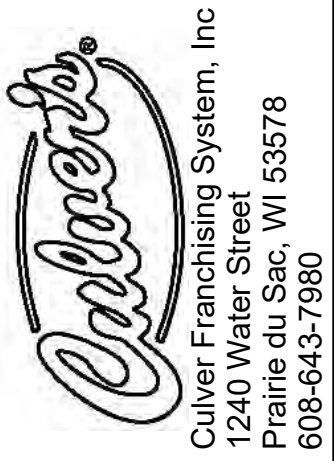
LEFT PERSPECTIVE (WEST VIEW)



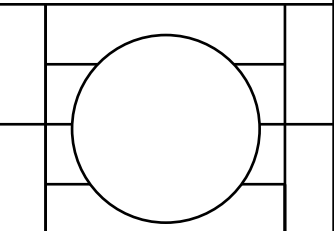
RIGHT PERSPECTIVE (EAST VIEW)



NEW CULVER'S RESTAURANT
4542 Douglas Ave
 Caledonia, WI 53402
 County of RACINE

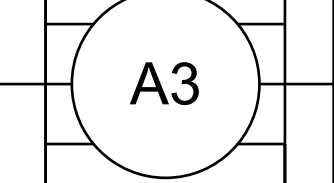


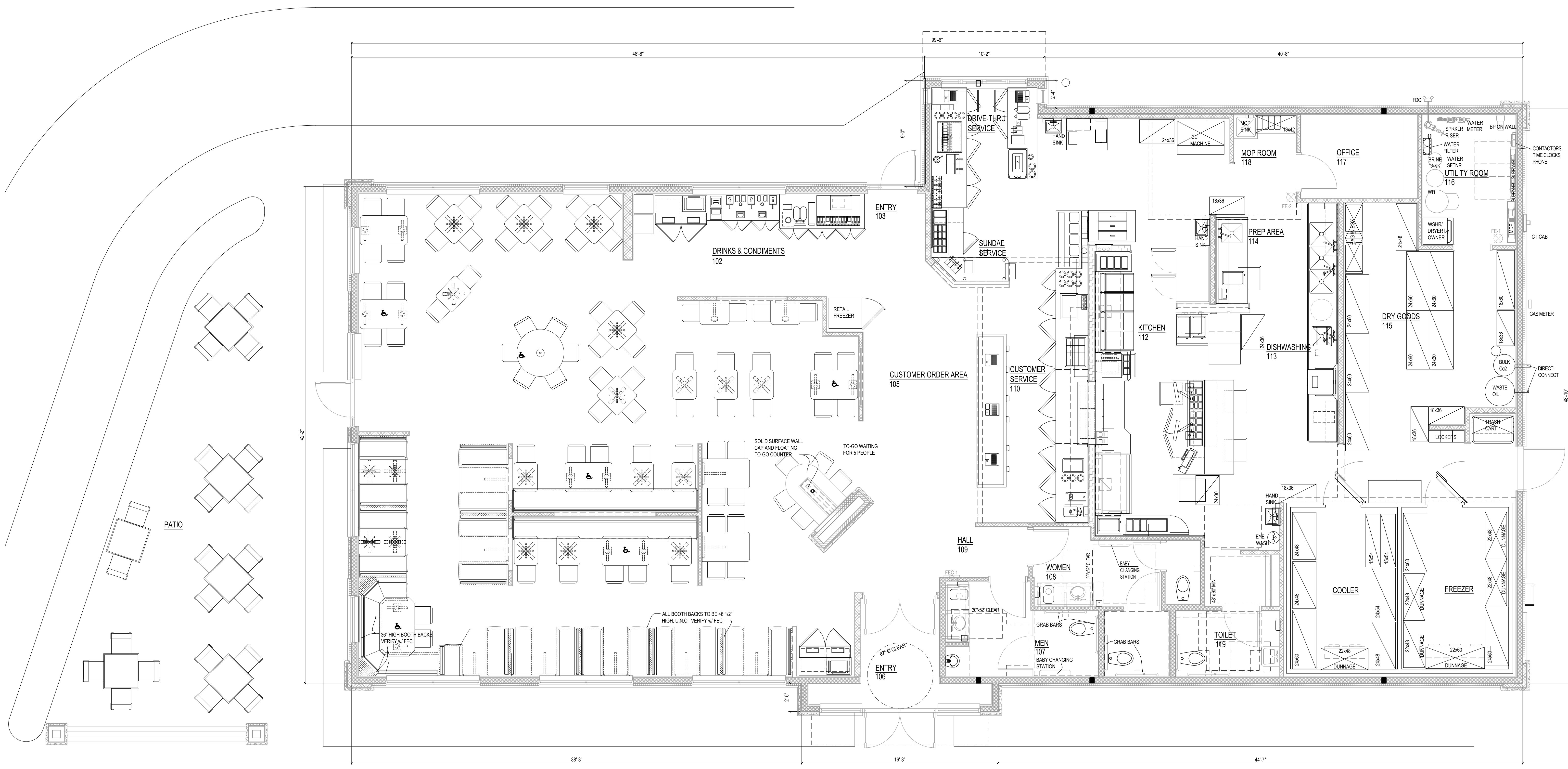
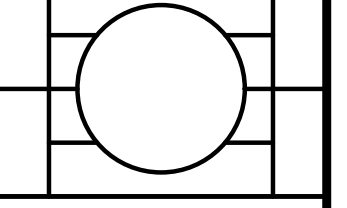
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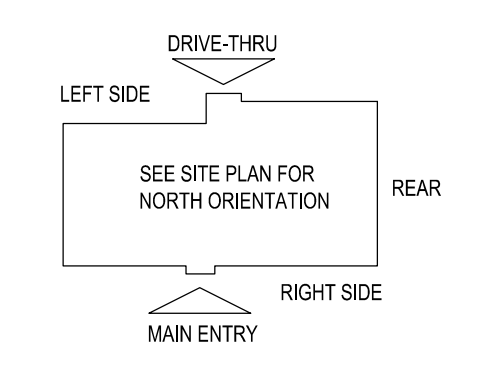




H6 FURNISHINGS PLAN
 SCALE: 1/4" = 1'-0"

SEATING SUMMARY

2 6-PERSON TABLES = 12 SEATS	5 TO-GO / ORDER WAITING
20 4-PERSON TABLES = 80 SEATS	
1 3-PERSON TABLES = 3 SEATS	
12 2-PERSON TABLES = 24 SEATS	
36 TOPS = 119 SEATS	



BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1983 / 2011.
 ALL ELEVATIONS REFER TO NAVD 1988 (12).
LEGEND:
 (M) STORM MANHOLE (W) WATER VALVE (CB) COMMUNICATION BOX (G) GUARD POST
 (C) CATCH BASIN (E) ELECTRIC METER (CM) COMMUNICATION LINE (H) HVAC
 (STM) STORM SEWER (E) ELECTRIC LINE (G) GAS MAIN (C) CARWASH TIMER
 (S) SANITARY MANHOLE (P) POWER POLE (G) GAS METER (L) LIGHT POLE
 (SAN) SANITARY SEWER (GW) GUY WIRE (V) GAS VALVE (X) FENCE
 (CO) CLEAN OUT (OH) OVERHEAD WIRES (S) SIGN (●) SOIL BORING

EXISTING UTILITY DATA

STM 1 RIM 636.74 IE. 60" W 627.69 IE. 60" N 627.74 IE. 12" E	SAN 1 RIM 636.56 IE. 48" W 629.96 IE. 8" N 624.11 IE. 8" S 624.21	CB 1 RIM 638.43 IE. 48" W 629.38 IE. 48" E 629.38	CB 4 RIM 635.90 IE. 6" N 633.45 IE. 12" N 631.35 IE. 6" S 633.60 IE. 12" S 631.40	CB 7 RIM 637.33 IE. 6" N 634.93 IE. 12" E 631.88 IE. 6" S 634.98
STM 2 RIM 637.36 IE. 60" N 628.31 IE. 12" E 630.71 IE. 60" S 628.26 IE. 12" W 631.26	SAN 2 RIM 638.12 IE. 8" S 628.77 IE. 6" W 631.87	CB 2 RIM 636.15 IE. 60" W 627.70 IE. " S 627.75 IE. 60" E 627.65	CB 5 RIM 635.99 IE. 6" N 633.79 IE. 6" S 633.69 IE. 12" S 632.19	CB 8 RIM 636.37 IE.
STM 3 RIM 637.97 IE. 60" N 628.87 IE. 12" E 630.97 IE. 60" S 628.82 IE. 12" W 631.77	SAN 3 RIM 637.52 IE.	CB 3 RIM 636.00 IE. 12" N 630.35 IE. 60" E 627.70 IE. 60" S 627.65	CB 6 RIM 636.64 IE. 6" N 633.89 IE. 12" E 632.49 IE. 6" S 633.99	CB 9 RIM 636.62 IE.

UTILITY NOTE
 EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.

DIGGERS HOTLINE
 Call 811 or (800) 242-8511
 www.DiggersHotline.com

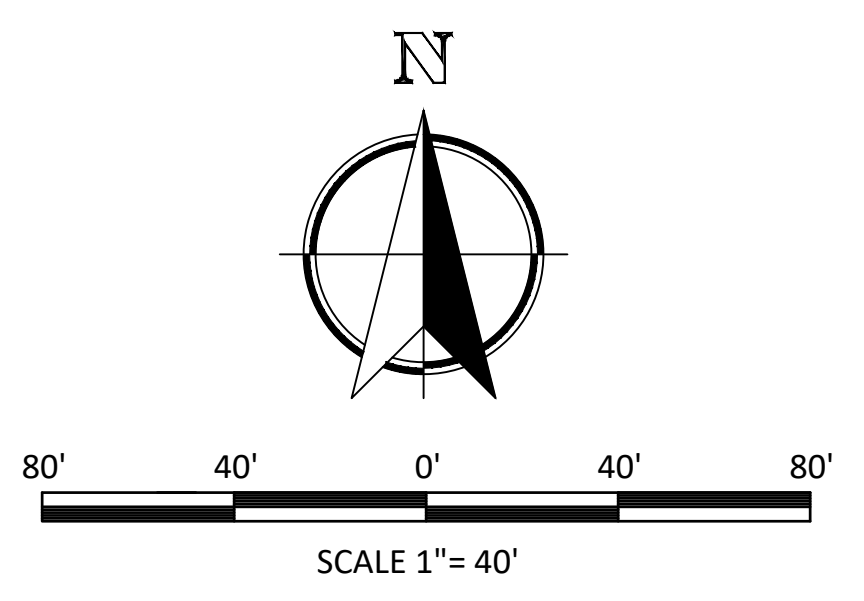
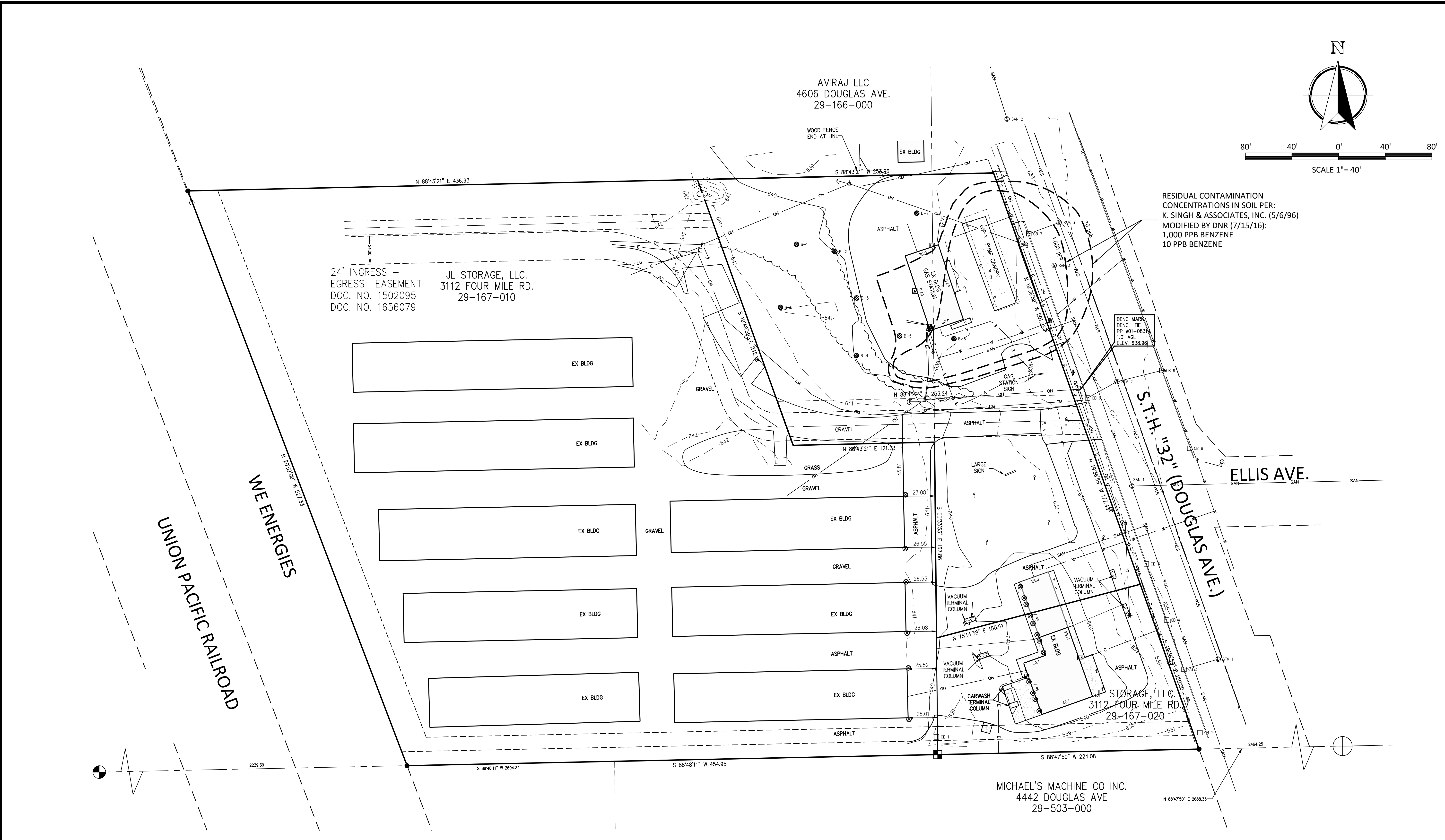
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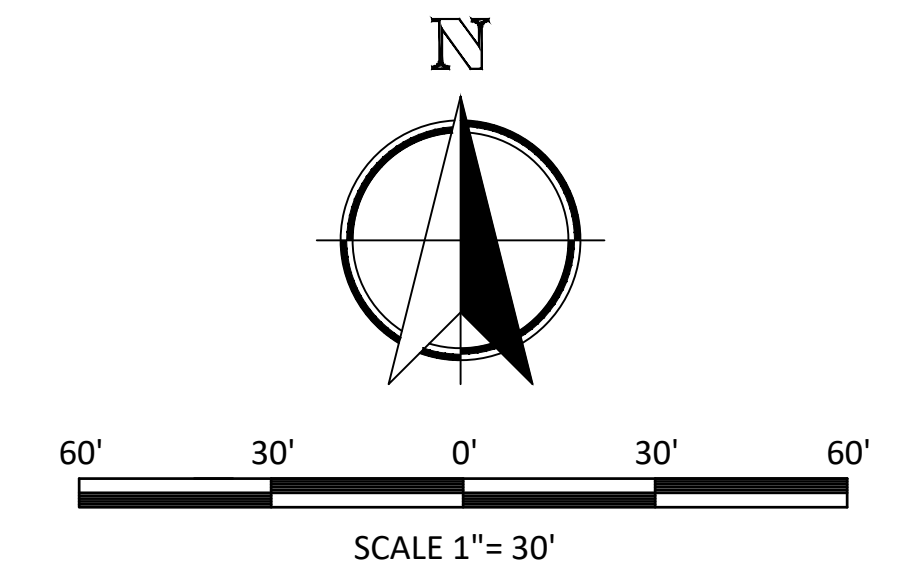
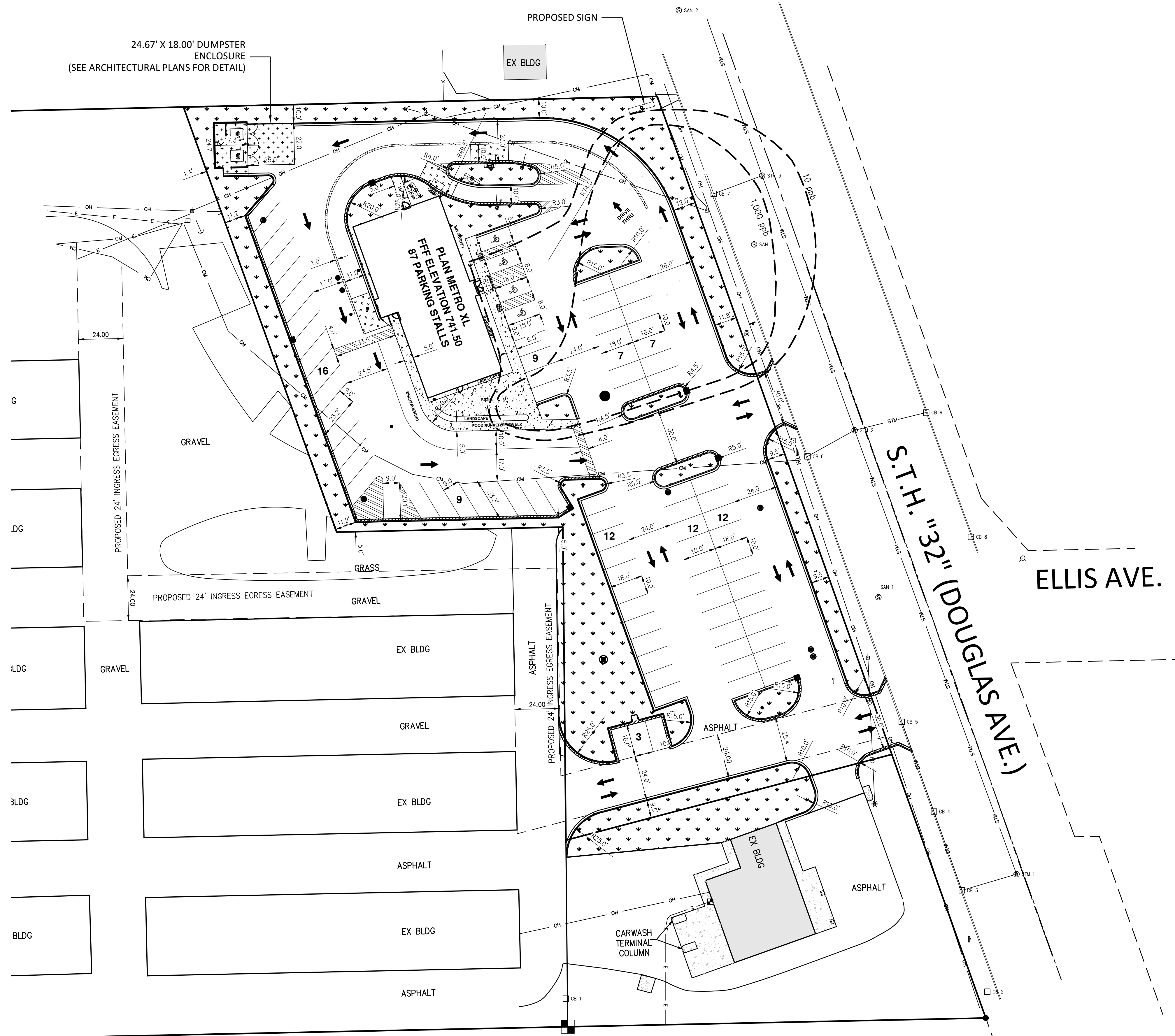
PROJ. MGR: _____ MRM
 DRAFTED: _____ SCB/DMB
 DATE: 1-22-2021
 CHECKED: _____ ALJ
 DATE: 1-22-2021

2020.0264.01
 SHEET
C-2

CULVERS
 EXISTING CONDITIONS
 FOR
CULVERS RACINE
 VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

Nielsen Madsen + Barber
 CIVIL ENGINEERS AND LAND SURVEYORS
 1458 Horizon Blvd. Suite 200, Racine, WI. 53406
 Tele: (262)634-5588 Website: www.nmbssc.net





CULVERS
 SITE PLAN
 FOR
CULVERS RACINE
 VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

PARKING INFORMATION

PROPOSED:

ADA PARKING STALLS	4
STANDARD PARKING STALLS	83
TOTAL PROPOSED PARKING STALLS	87

UTILITY NOTE

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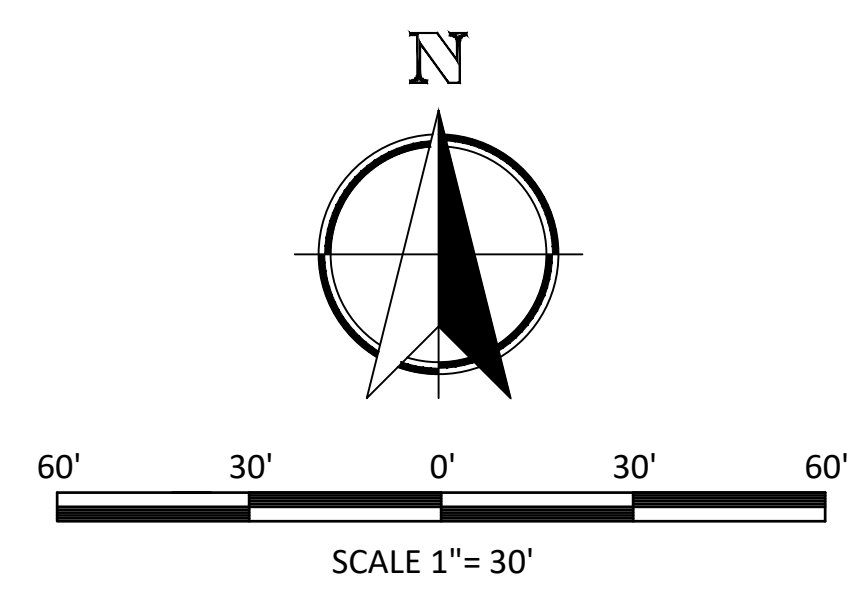
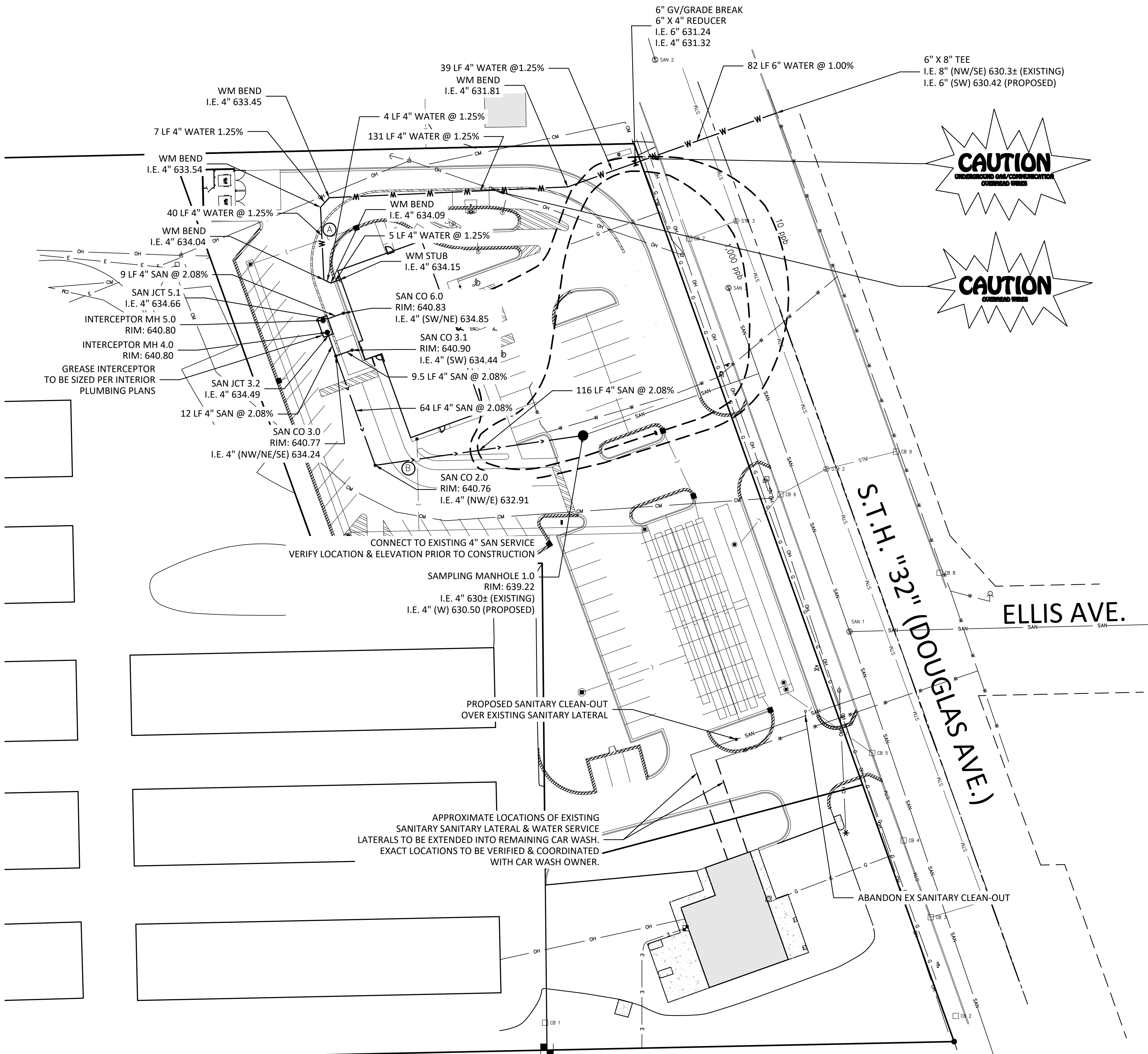
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2020.0264.01
 SHEET
C-4

ISSUE FOR REVIEW - 1-25-2021

Friday, January 22, 2021 2:37:23 PM



REFERENCES

ANY OR ALL OF THE FOLLOWING REFERENCE DOCUMENTS THAT ARE APPLICABLE TO THE PROPOSED ITEMS OF WORK ARE INCLUDED IN THIS CONTRACT:

STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION, DECEMBER 22, 2003 WITH ADDENDA NO. 1 AND NO. 2, HEREIN REFERRED TO AS "STANDARD SPECIFICATIONS."

STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS." THE CURRENT VERSION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WISDOT WEBSITE AT <http://roadwaysstandards.dot.wi.gov/standards/stndspec/index.htm>

GENERAL UTILITY NOTES

ALL APPLICATIONS AND CONNECTION FEES FOR WATER SERVICES MUST BE SUBMITTED AND PAID PRIOR TO CONNECTION TO THE PUBLIC SYSTEMS.

THE CONTRACTOR SHALL PROVIDE 7 DAYS NOTICE TO THE VILLAGE OF CALEDONIA BEFORE COMMENCING CONSTRUCTION ON ANY WATER IMPROVEMENTS.

THE CONTRACTOR SHALL CONTACT THE VILLAGE OF CALEDONIA 3 DAYS PRIOR TO PROPOSED WATERMAIN SHUTDOWNS OR ANY WORK THAT MAY INTERFERE WITH EXISTING WATER SERVICE. ALL EXISTING VALVES, HYDRANTS, AND OTHER WATER INFRASTRUCTURE SHALL BE MAINTAINED AND OPERATED BY THE VILLAGE OF CALEDONIA.

WATER MAIN / SEWER SPECIFICATIONS

ALL APPLICATIONS AND CONNECTION FEES FOR SANITARY SEWER SERVICES MUST BE SUBMITTED AND PAID PRIOR TO CONNECTION TO THE PUBLIC SYSTEMS.

ANY UTILITY WORK IN THE PUBLIC RIGHT-OF-WAY (OR EASEMENTS) AND ALL SANITARY SEWER CONSTRUCTION TO BE INSPECTED BY THE VILLAGE OF CALEDONIA. NOTIFY THE VILLAGE OF CALEDONIA 48 HOURS IN ADVANCE OF CONNECTING TO SEWER.

CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS AND SIZES OF EXISTING SANITARY AND STORM SEWER, WATER MAINS, GAS & ELECTRIC LINES AND OTHER ADJACENT UTILITIES PRIOR TO COMMENCING CONSTRUCTION. AS-BUILT (FIELD) DATA SHALL BE USED TO CHECK ALL PROPOSED UTILITY CROSSINGS FOR CONFLICTS.

THE EXACT LOCATION OF THE SANITARY SEWER LATERAL, DOMESTIC WATER LINE, FIRE PROTECTION LEAD, NATURAL GAS SERVICE, ELECTRIC, PHONE AND CABLE LINES (AS THEY ENTER THE BUILDING) SHALL BE PER THE ARCHITECTURAL OR MECHANICAL DRAWINGS.

MATERIALS FOR WATERMAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (SPS) AND THE VILLAGE OF CALEDONIA SPECIFICATIONS.

A BLUE 12-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE WATER LATERALS PER SPS 332.40(9)(k). THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS (FOR EACH SYSTEM INSTALLED) AND ENCLOSED IN A RISER BOX WITH "WATER" ON THE COVER.

SANITARY SEWER LATERALS SHALL HAVE A GREEN 12 GAUGE TRACER WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE AT THE EDGE OF THE BUILDING WITHIN THE CLEANOUT RISER FROST SLEEVE.

WATER SERVICE SHALL BE FOUR INCH (4") MINIMUM COPPER TYPE "K". WATER SERVICE CONNECTION SHALL BE CONSTRUCTED WITH MUELLER MODEL NUMBER H-15000 CORPORATIONS, MUELLER "ORI SEAL" MODEL NUMBER H-15201 CURB VALVES, AND MUELLER 1-1/4" ARCH PATTERN CURB BOX (MODEL NUMBER H-10385).

SANITARY SEWER LATERAL PIPE MATERIAL SHALL BE 4" PVC CLASS SDR-26, CONFORMING TO THE REQUIREMENTS OF ASTM D3034 AND F-789/P546 WITH RUBBER GASKETS. CLEAN-OUT RISERS SHALL BE 6" DIAMETER WITH 8" DIAMETER FROST SLEEVE CONSTRUCTED OF THE SAME MATERIAL.

ALL SEWER AND WATER LINES INSTALLED IN PROPOSED PRIVATE PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

ALL SEWER AND WATER LINES INSTALLED IN EXISTING PUBLIC ROADS SHALL BE BACKFILLED WITH SLURRY MATERIAL IN ACCORDANCE WITH CHAPTER 8.43.8 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS.

PROVIDE FIVE FEET (5') OF COVER OVER ALL SANITARY SEWERS AND FIVE AND ONE HALF FEET (5-1/2') OF COVER OVER ALL WATER MAINS. MINIMUM HORIZONTAL SEPARATION OF UTILITY MAINS IS EIGHT FEET (8'). PROVIDE VERTICAL SEPARATION OF UTILITIES PER CODE.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

UTILITY LEGEND

- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER MAIN

UTILITY CONFLICT RESOLUTION TABLE

LOCATION	UTILITY	BOTTOM OF PIPE	TOP OF PIPE	CLEARANCE
A	6" STM	636.00	736.58	1.86'
	8" WTR	633.73	634.14	
B	6" STM	635.86	636.44	3.07'
	4" SAN	632.38	632.79	



UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.



Nielsen Madsen + Barber
 CIVIL ENGINEERS AND LAND SURVEYORS
 1458 Horizon Blvd. Suite 200, Racine, WI. 53406
 Tele: (262)634-5588 Website: www.nmbssc.net

CULVERS
 SITE UTILITY PLAN
 FOR
CULVERS RACINE
 VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: _____ MRM
 DRAFTED: _____ TRV
 DATE: 1-22-2021
 CHECKED: _____ ALJ
 DATE: 1-22-2021

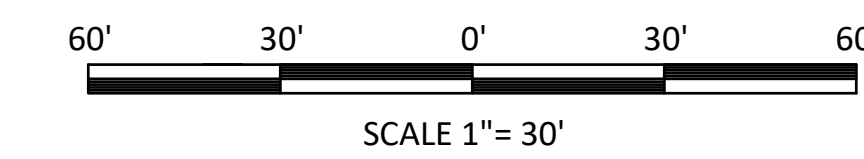
2020.0264.01
 SHEET
C-5

ISSUE FOR REVIEW - 1-25-2021

Friday, January 22, 2021 2:37:28 PM

UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.



STORM SEWER SPECIFICATIONS

MATERIAL FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) AND THE VILLAGE OF CALEDONIA SPECIFICATIONS.

STORM SEWER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN", 6TH EDITION, DECEMBER 22, 2003 WITH ADDENDA NO. 1 AND NO. 2, HEREIN REFERRED TO AS THE "STANDARD SPECIFICATIONS".

THE STORM SEWER SYSTEM WAS SIZED ACCORDING TO SPS TABLE 382.36-4 "MAXIMUM CAPACITY OF STORM WATER HORIZONTAL CONVEYANCE PIPING FOR CONCRETE, ASTM C76 AND ASTM C14". ANY MATERIAL APPROVED BY THE VILLAGE OF CALEDONIA AND THE WISCONSIN DEPARTMENT OF COMMERCE MAY BE USED AT THE SLOPES AND SIZES DESIGNED.

STORM SEWER, ROOF DRAIN AND STORM BUILDING SEWER PIPE AND TUBING MATERIALS SHALL CONFORM TO SPS 384.30 OF THE WISCONSIN ADMINISTRATIVE CODE. REINFORCED CONCRETE PIPE (RCP) AND POLYVINYL CHLORIDE (PVC) MATERIALS SHALL BE SELECTED FROM TABLE 384.30-6. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE MATERIAL (IF SELECTED) SHALL MEET THE REQUIREMENTS OF AASHTO M-252 FOR 4"-10" DIAMETER SIZES AND AASHTO M294 FOR 12"-48" DIAMETER SIZES.

BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".

ALL STORM SEWERS INSTALLED IN EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

A BROWN 12 GAUGE LOCATOR WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE STORM SEWERS, ROOF DRAINS AND STORM BUILDING SEWER LATERALS PER SPS 382.36(7)(j)10. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE WITHIN THE STRUCTURES AND ROOF DRAIN RISERS.

STORM SEWER MANHOLES (MH) SHALL BE 48" REINFORCED CONCRETE, UNLESS OTHERWISE STATED ON THE PLANS. STORM SEWER DRAIN BASIN (DB) SHALL BE 18" DIAMETER NYLOPLAST STRUCTURES, OR APPROVED EQUAL.

ALL MANHOLES INSTALLED IN PAVED SURFACES AND NOT ACCEPTING RUNOFF SHALL BE FURNISHED WITH A NEENAH R-1580, TYPE "B" FRAME & GRATE. ALL MANHOLES AND CATCH BASINS INSTALLED IN PAVED SURFACES AND ACCEPTING RUNOFF SHALL BE FURNISHED WITH A NEENAH R-2080, TYPE "B" FRAME & GRATE.

ALL MANHOLES AND CATCH BASINS INSTALLED WITHIN CURB & GUTTER SECTIONS SHALL BE FURNISHED WITH A NEENAH R-3067 TYPE "R" FOR VERTICAL FACE CURB & GUTTER.

EXISTING CATCH BASIN 5 FRAME & GRATE TO BE REPLACED WITH NEENAH R-3530, "TYPE L" FRAME & GRATE OR VILLAGE APPROVED EQUAL.

STORM SEWER CATCH BASINS SHALL BE 24x36" RECTANGULAR REINFORCED CONCRETE STRUCTURES UNLESS OTHERWISE STATED ON THE PLANS.

ALL STRUCTURES SHALL BE FURNISHED WITH A MINIMUM 12" SUMP.

ALL STORM SEWERS, CATCH BASINS AND MANHOLES SHALL BE CONSTRUCTED WITH WATER AND GAS TIGHT JOINTS IN CONFORMANCE WITH SPS 384.40.

ALL ROOF DRAIN RISERS AND CLEANOUT STRUCTURES SHALL BE 6" DIAMETER AND INSTALLED WITH A 8" FROST SLEEVE. THE SITE UTILITY CONTRACTOR SHALL EXTEND ALL ROOF DRAIN RISERS AND FROST SLEEVES SUFFICIENTLY ABOVE FINISHED YARD GRADE AND CONNECT DOWNSPOUTS PER THE TYPICAL DETAIL SHOWN ON THE PLANS.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STANDARD SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

STORM WATER MAINTENANCE PLAN

THE STORM WATER DRAINAGE / WATER QUALITY SYSTEM BEING INSTALLED AS PART OF THIS DEVELOPMENT SHALL BE INSPECTED ON A SEMI-ANNUAL BASIS.

AS PART OF THE INSPECTION, ANY SILT, SEDIMENT OR DEBRIS BUILT UP IN THE BOTTOM OF THE STRUCTURE SHALL BE REMOVED AND DISPOSED OF.

IF EXCESSIVE AMOUNTS OF SEDIMENT ARE PRESENT, THE MAINTENANCE SCHEDULE SHALL BE ADJUSTED ACCORDINGLY OR A PAVEMENT SWEEPING PROGRAM ESTABLISHED TO MINIMIZE THE SEDIMENT LOADING ENTERING THE STORM WATER DRAINAGE/WATER QUALITY SYSTEM.

1. THE PROPERTY OWNER IS ULTIMATELY RESPONSIBLE FOR ENSURING THAT THE STORM WATER LEAVING THE SITE IS AS CLEAN AS PRACTICABLE.

UTILITY LEGEND

- >— PROPOSED SANITARY SEWER
- >— PROPOSED STORM SEWER
- W— PROPOSED WATER MAIN

LOCATION	UTILITY	BOTTOM OF PIPE	TOP OF PIPE	CLEARANCE
(A)	8" STM	636.00	736.58	1.86'
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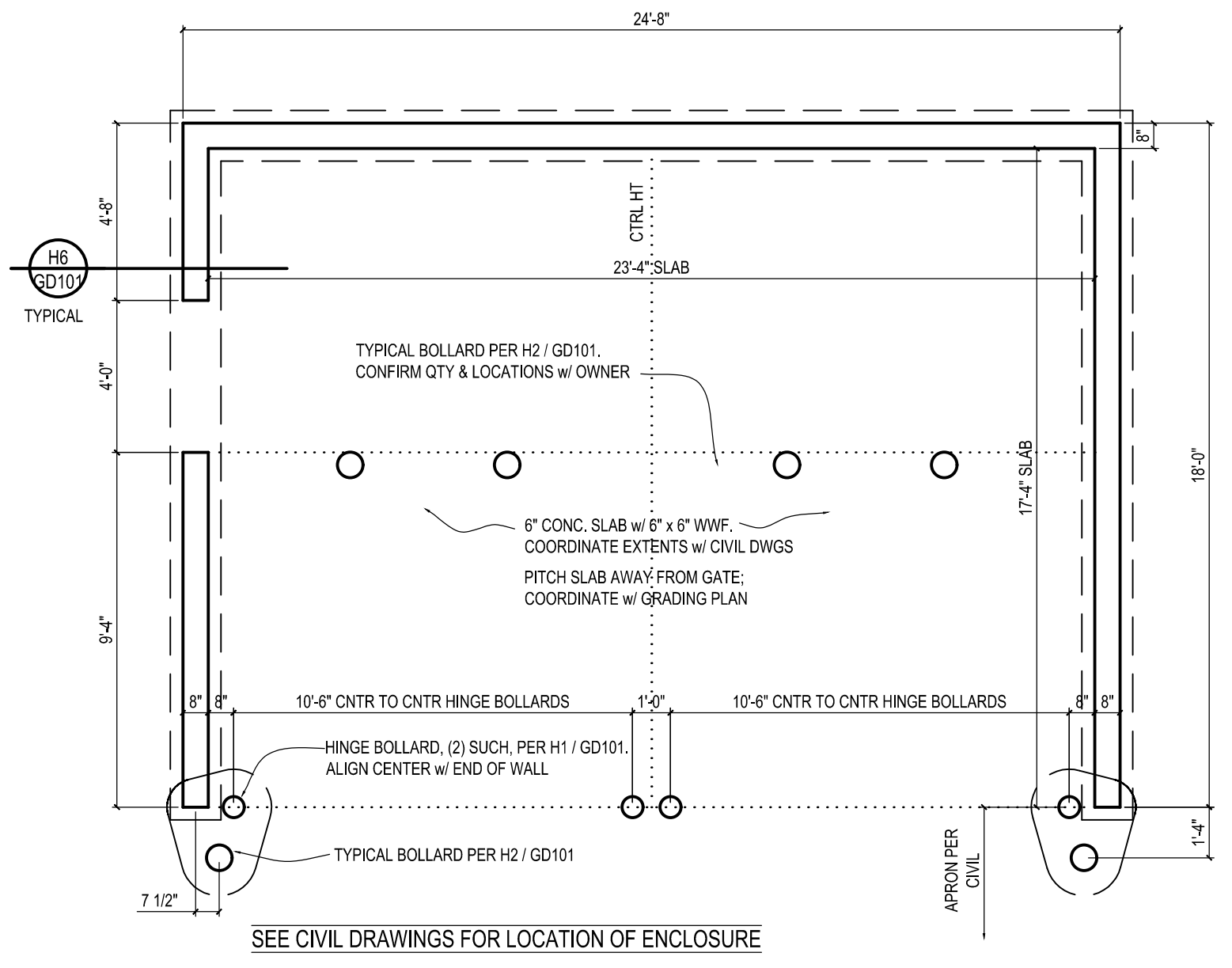
CULVERS
STORM SEWER PLAN
 FOR
CULVERS RACINE
 VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

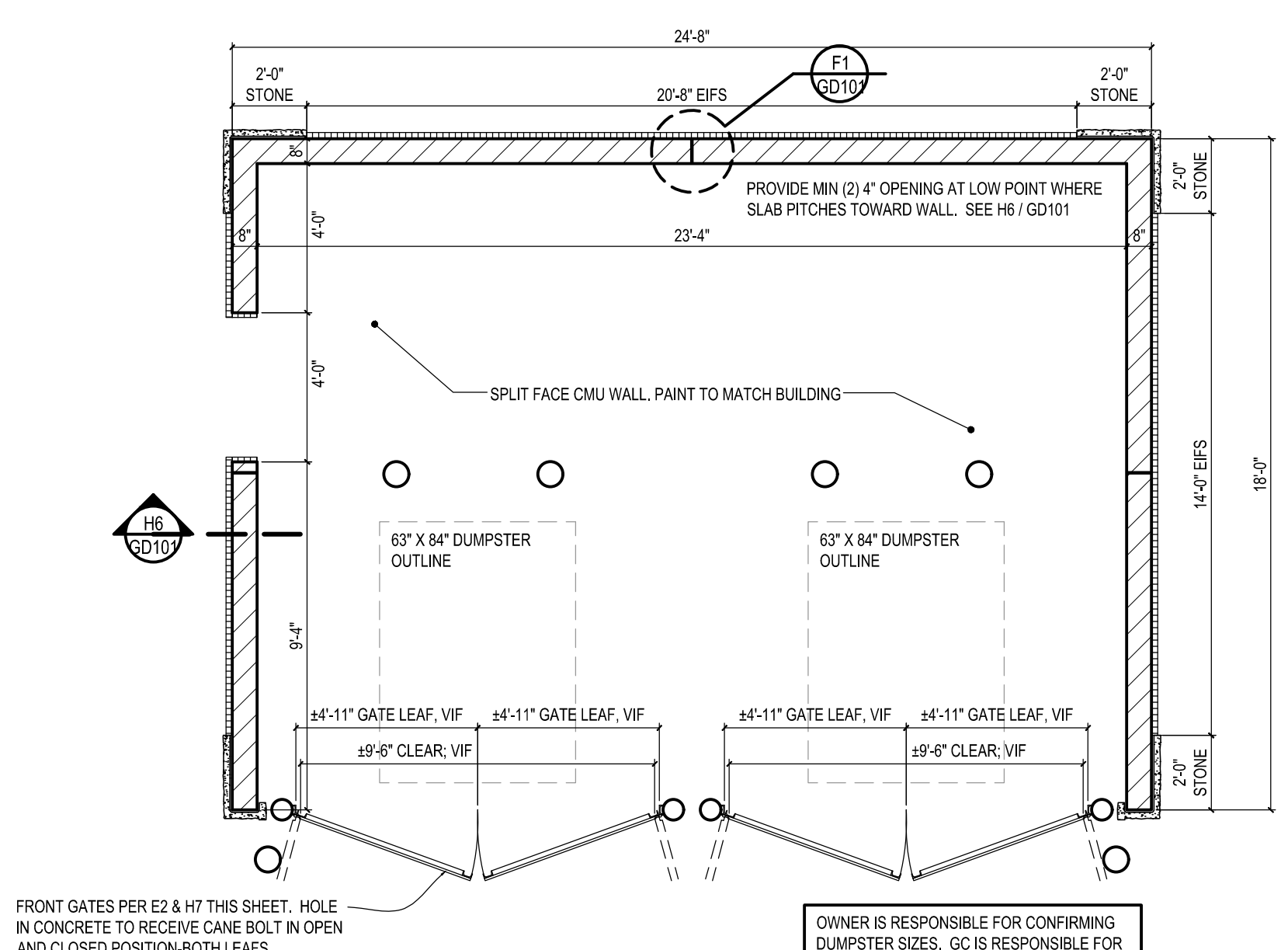
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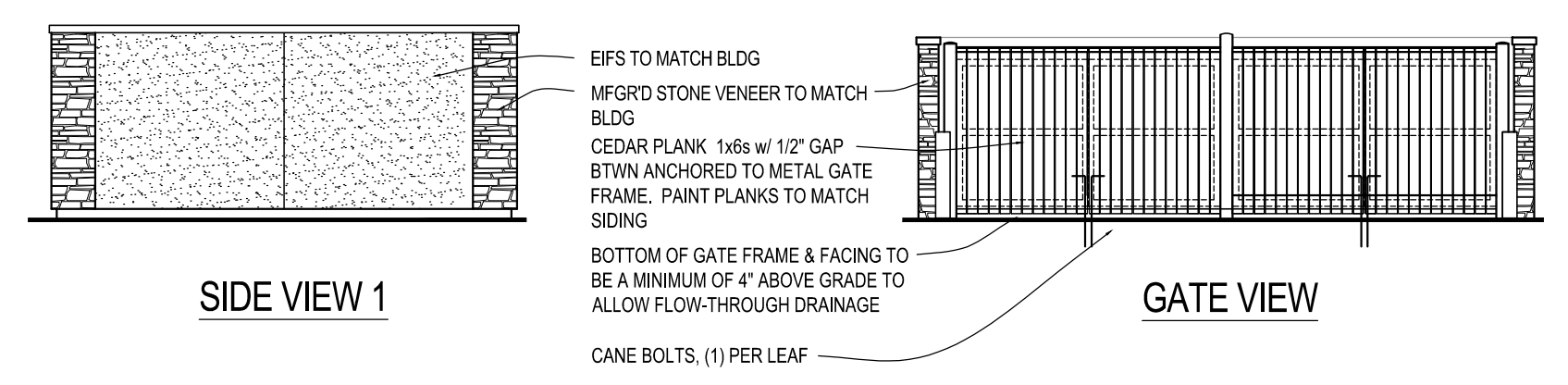
ISSUE FOR REVIEW - 1-25-2021



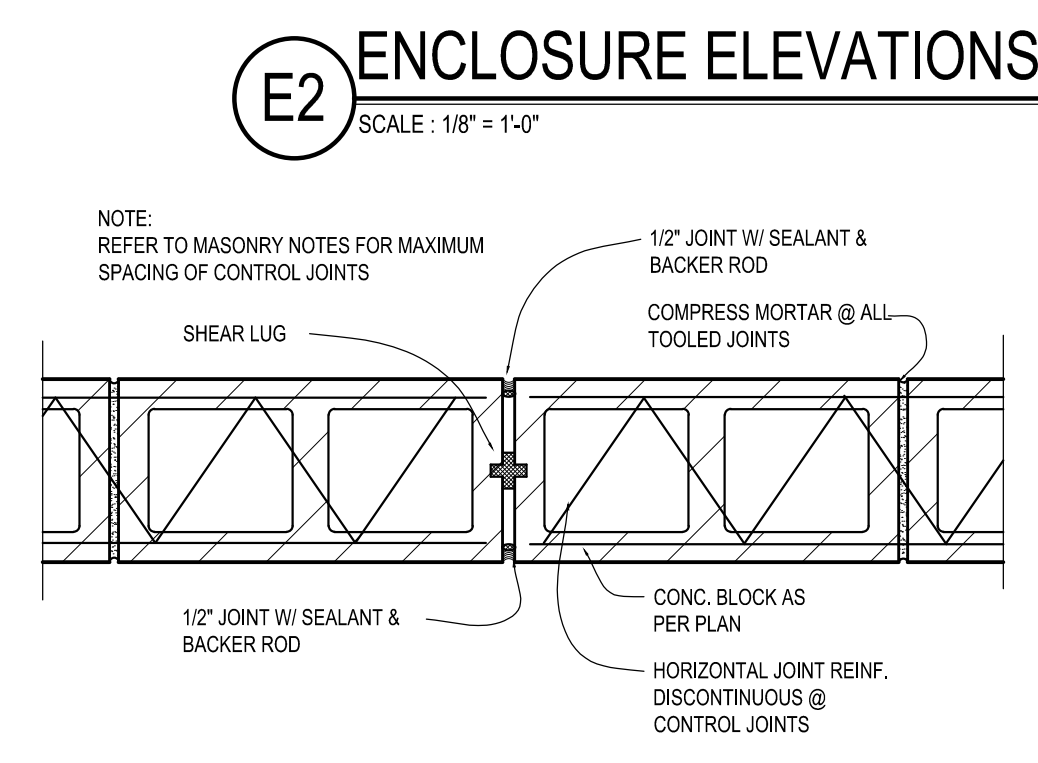
C2 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



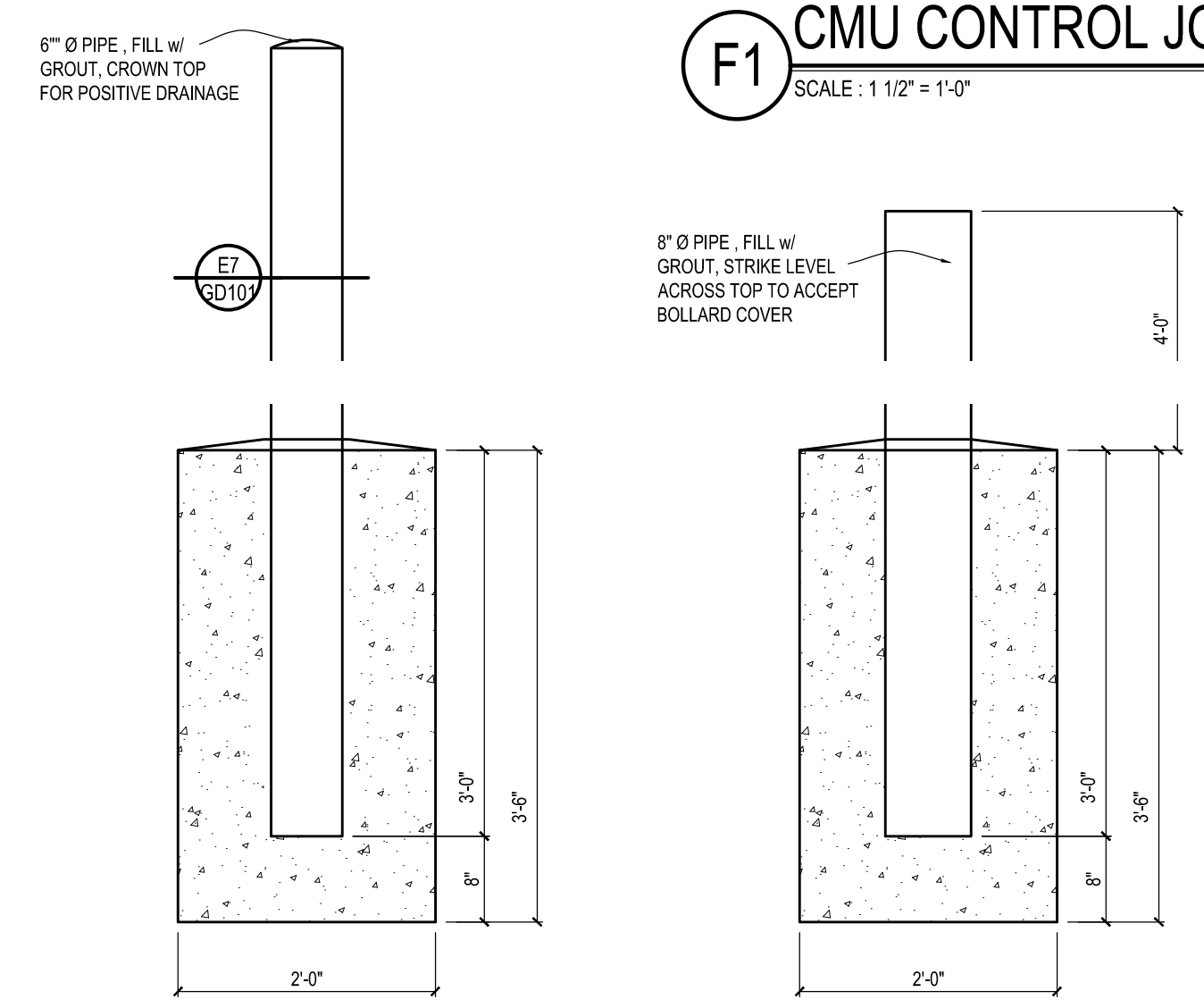
C3 FLOOR PLAN
SCALE: 1/4" = 1'-0"



SIDE VIEW 1 **GATE VIEW**



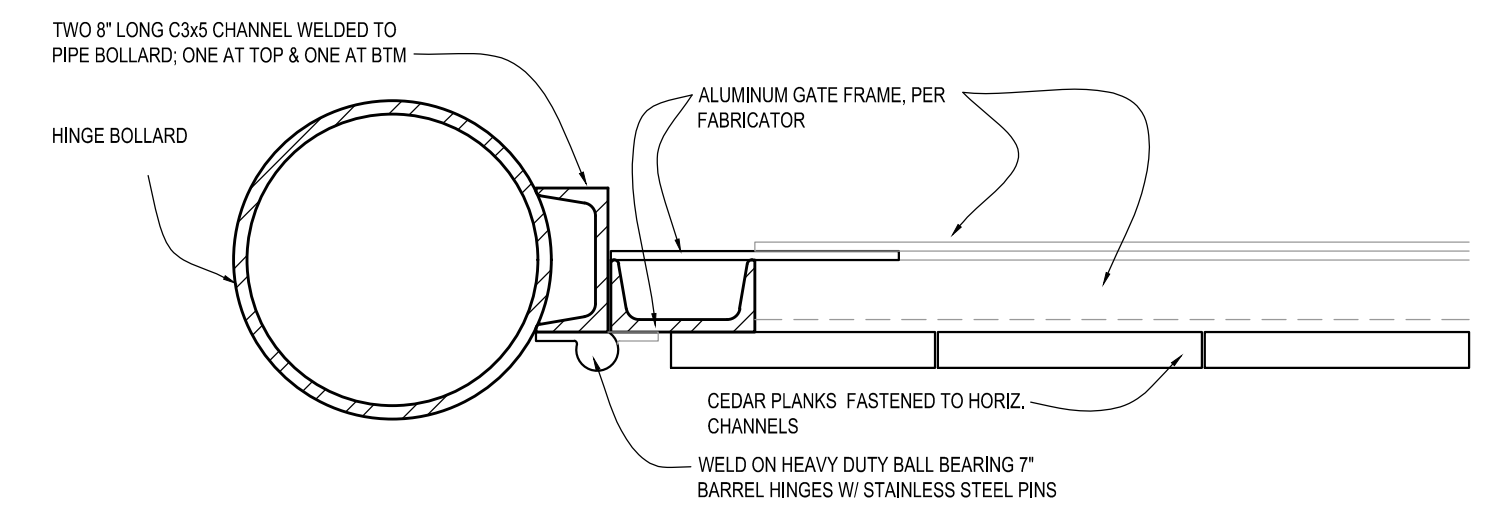
E2 ENCLOSURE ELEVATIONS
SCALE: 1/8" = 1'-0"



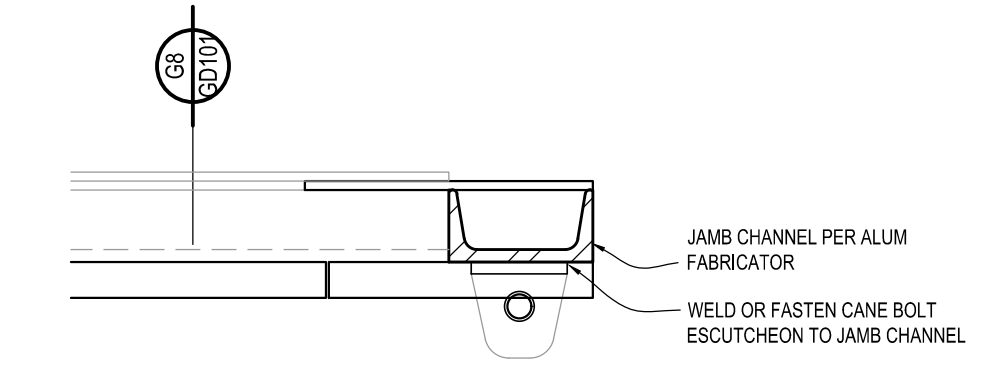
F1 CMU CONTROL JOINT
SCALE: 1 1/2" = 1'-0"

H1 HINGE BOLLARD
SCALE: 3/4" = 1'-0"

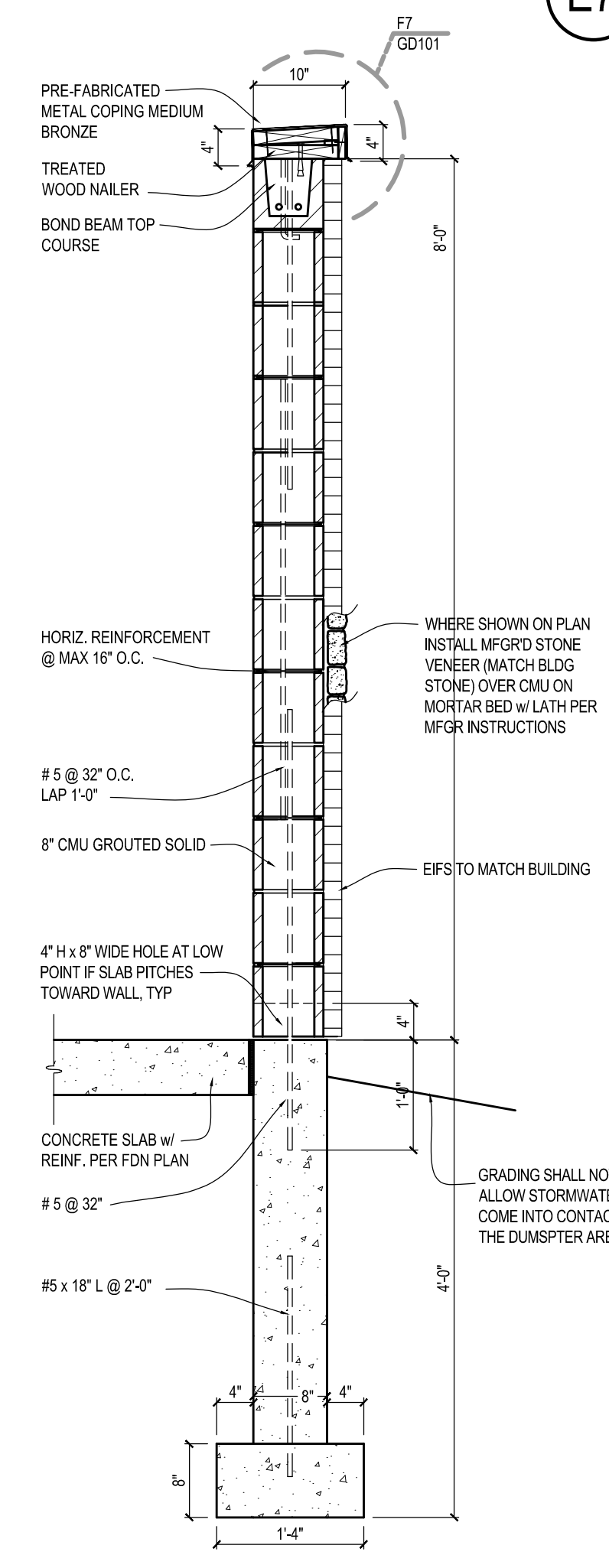
H2 BOLLARD
SCALE: 3/4" = 1'-0"



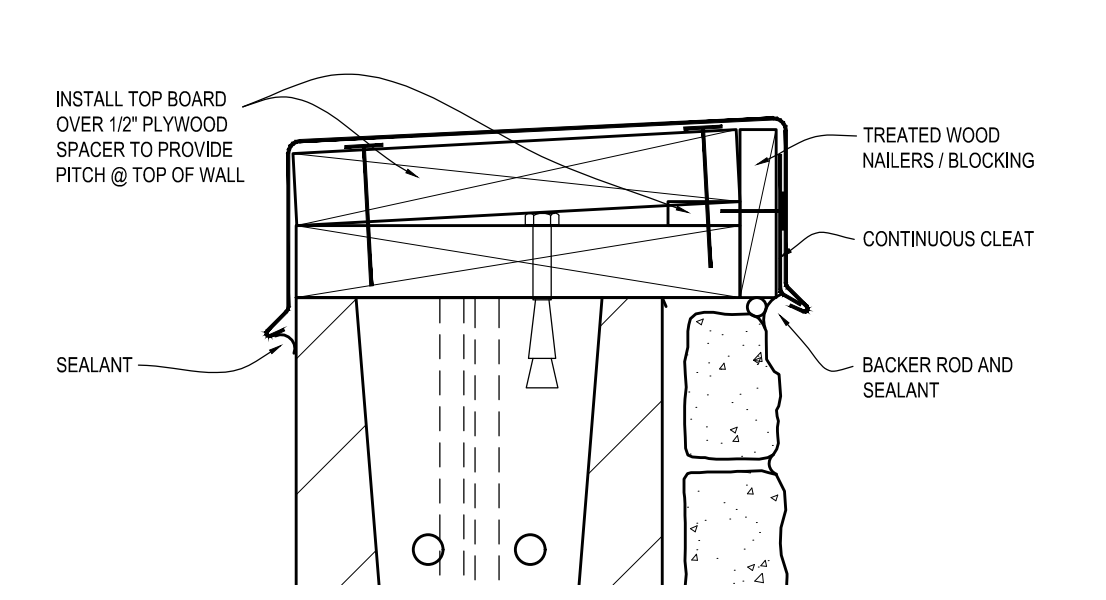
E7 HINGE DETAIL
SCALE: 3" = 1'-0"



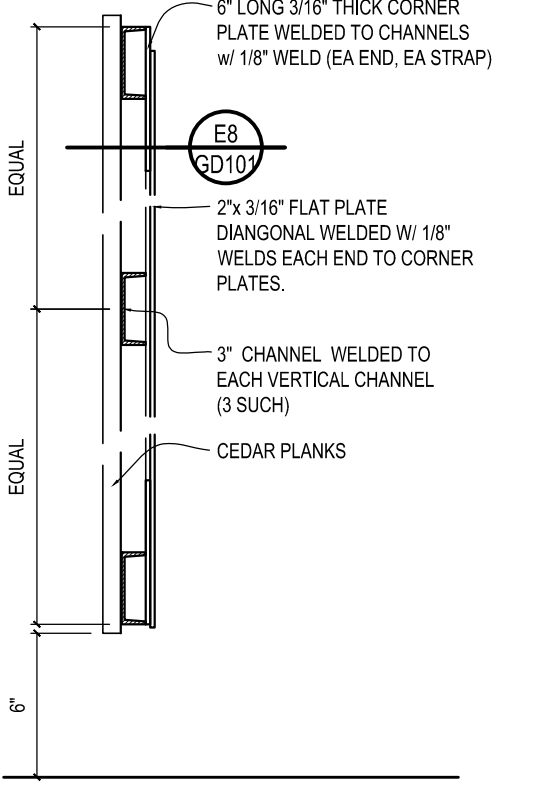
E8 SECT @ GATE MTG STILES
SCALE: 3" = 1'-0"



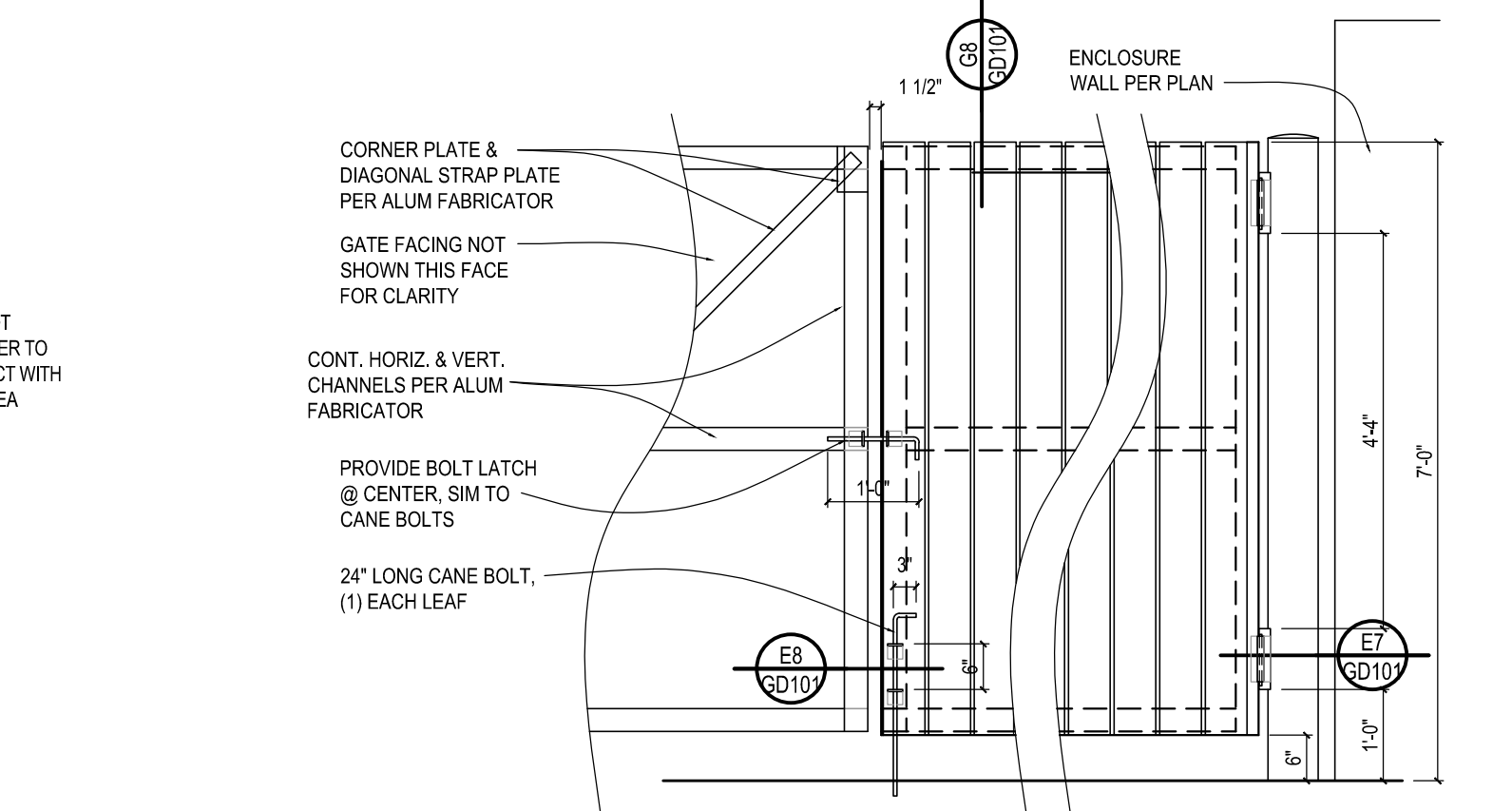
H6 ENCLOSURE WALL
SCALE: 3/4" = 1'-0"



F7 DETAIL
SCALE: 3" = 1'-0"



G8 DETAIL
SCALE: 1 1/2" = 1'-0"



H7 ENCLOSURE GATE ELEV
SCALE: 1/2" = 1'-0"

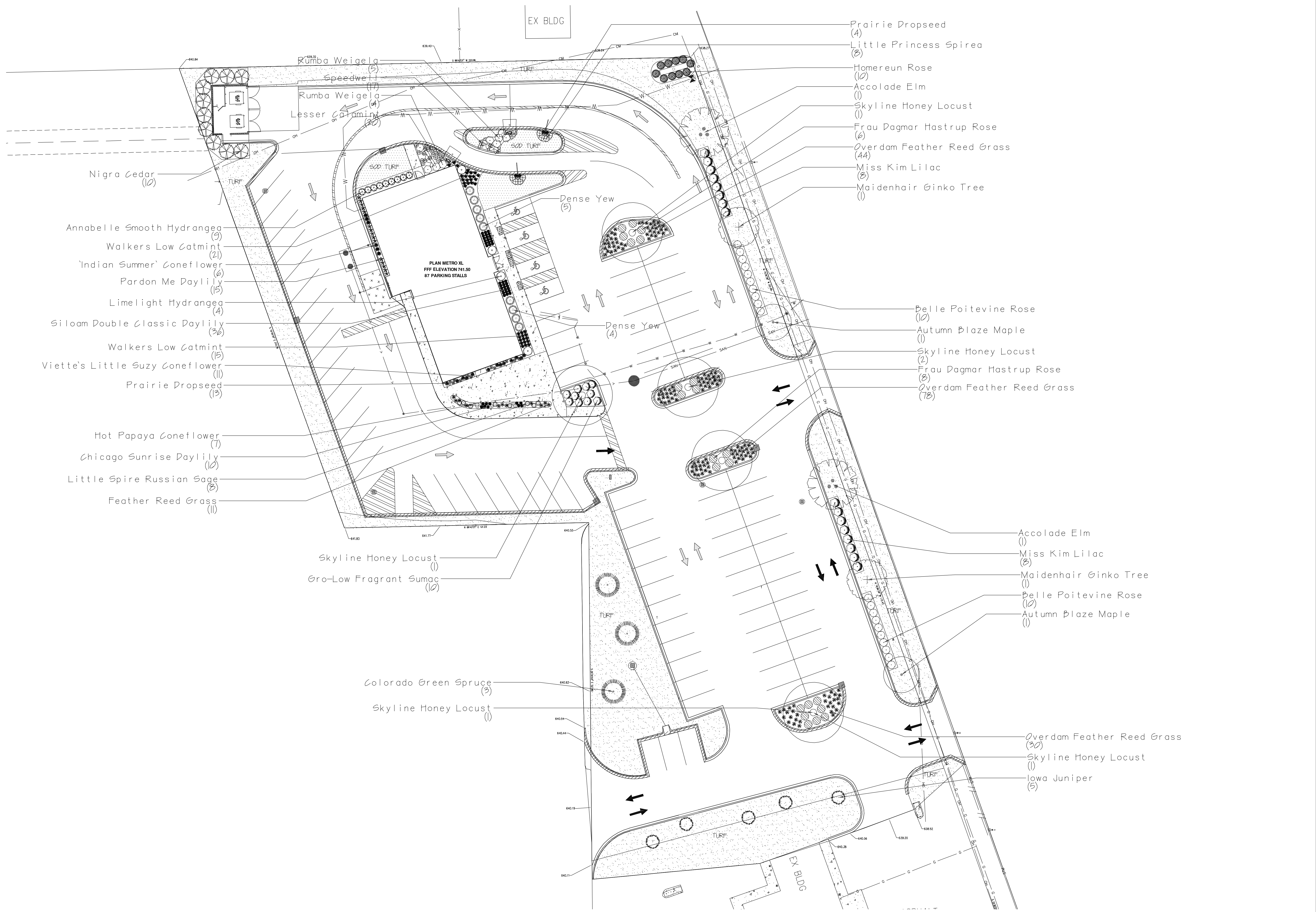


No.	Revision/Issue	Date
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2		
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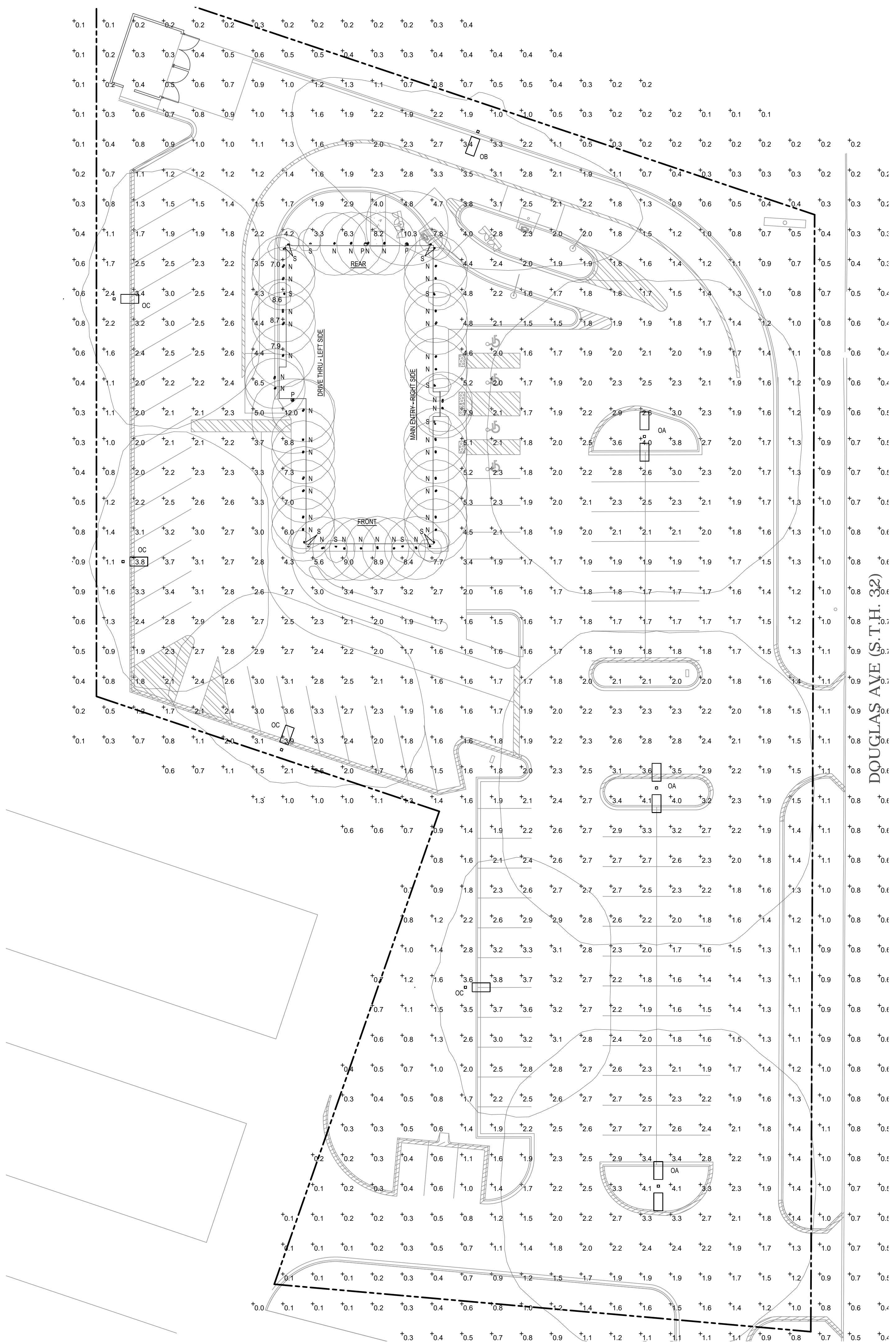
CULVERS
STH 32, DOUGLAS AVE
RACINE, WISCONSIN

Thomas H. Nordloh
 Landscape Architect
 Reg. # 097-000624

Project **20210122**
 Date **1-25-21**
 Scale



LANDSCAPE PLAN



H3 SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

LUMINAIRE SCHEDULE - SITE LIGHTING

SYMBOL	LABEL	CATALOGUE NUMBER	LAMP	WATTS
□ ○	OA	(2) DSX1 LED P6 40K TSW MVOLT 25' POLE; POLE BASE @ 6' ABOVE GRADE	LED	326
□ ○	OB	DSX1 LED P6 40K T2M MVOLT 25' POLE; POLE BASE @ 6' ABOVE GRADE	LED	163
□ ○	OC	DSX1 LED P6 40K T2M MVOLT 25' POLE; POLE BASE @ 6' ABOVE GRADE	LED	163

LUMINAIRE SCHEDULE - BUILDING MOUNT

SYMBOL	LABEL	CATALOGUE NUMBER	LAMP	WATTS
○	N	LDN6 40/15 LOGAR LS MVOLT G210 WL LITHONIA	LED	19
□	P	SLIM18N RAB LIGHTING	LED	18
○	S	OLLWU LED P1 40K 120 DDB LITHONIA	LED	11

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NEW CULVER'S RESTAURANT
4542 Douglas Ave
CALEDONIA, WI 53402
 County of RACINE

Culver's
 Culver Franchising System, Inc.
 1240 Water Street
 Prairie du Sac, WI 53578
 608-943-7980

OWNER:
 HAMAN LEGACY, LLC
 4542 Douglas Ave
 Caledonia, WI 53402
 Jake Haman
 262-980-9485

ARCHITECTS:
 OLLMANN ERNEST MARTIN ARCHITECTS
 200 South State Street
 Belvidere Illinois 61008
 815-544-7790 Phone

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Revision:
 Date: 1-22-2021

SITE ELECTRICAL PLAN

2020-063

SE
101

PRELIMINARY



PLAN COMMISSION REPORT

Proposal: Sign Plan Review

Description: Review a sign plan for installation of a 10'2" tall, 97 square-foot, monument sign for the commercial building located at 12725 4 Mile.

Applicant(s): Don Nummerdor

Address(es): 12725 4 Mile Road

Suggested Motion: That the Plan Commission recommends that the Village Board approve the sign plan submitted by Don Nummerdor on behalf of CSW Company as presented for the property located at 12725 4 Mile Road for the following reason:
 1. The proposed height and size are permissible through the sign plan review process.

Owner(s): Central Storage & Warehouse Company

Tax Key(s): 104-04-22-30-015-201

Lot Size(s): 8.278 acres

Current Zoning District(s): M-3, Heavy Industrial District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Industrial/Business Park

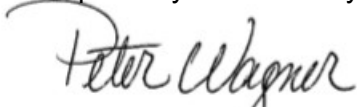
Background: The applicant is requesting approval of a master sign plan for a commercial building located at 12725 4 Mile Road. The applicant is proposing to construct a monument sign that exceeds both the sign height and size maximums. Per Code Section 16-7-8(c): Measuring Signs, a monument sign may exceed 100 square feet if recommended by the Plan Commission and approved by the Village Board. This provision allows the opportunity for the Village to consider on a case-by-case situation if a sign can exceed the existing 48 square-foot maximum.

The proposed sign plan contains only one monument sign that is to be located on the northwest corner of the site. No other signs are being proposed at this time. The proposed sign will be 10'2" tall and 97 square feet in area and located five feet from the north property line.

Included with this report is a spec sheet for the sign illustrating how the sign will look along with dimensions. Included with this report is the applicant's rationale for the allowing the oversized monument sign at this location. If approved, the sign will be required to meet all other zoning regulations as outlined in Title 16, Chapter 7: Signs.

The proposed sign plan intends to improve the visibility of the business by increasing size and height of the monument sign, with the result that trucks looking for the business does not miss the entrance. If the Plan Commission is comfortable with the proposed sign plan, a suggested motion has been prepared at the beginning of this report.

Respectfully submitted by:



Peter Wagner, AICP
Development Director



ARCHITECTURAL SIGNAGE

... evolve to higher standards

January 21st, 2021

Village of Caledonia / Planning and Zoning
5043 Chester Lane
Racine, WI 53402

RE: Central Storage & Warehouse, 12725 4 Mile Road, Variance request.

Dear Plan Commission,

Sign Effectz, Inc., acting as an agent for Central Storage & Warehouse, is requesting the Plan Commission's consideration of our Variance request.

As per the Sign Code, *SEC. 16-7-9, (a)(5) Monument Signs, such signs should not exceed eight (8) feet in height, and shall not exceed forty-eight (48) square feet on one side and ninety-six (96) square feet on all sides.* We are requesting a Single faced monument sign, 10'-2" tall and 96.95 Square feet. Of the 96.95 sq. ft. we are requesting, 36 sq. ft. is the "Polar Bear" with the remaining 60.95 sq. ft. dedicated to the copy area.

These size requirements cause Central Storage & Warehouse undue hardship for the following reasons:

1. The entrance to the site is in a recessed stretch of 4 Mile Road. This causes the entrance to be concealed until the driver has reached the crest of the hill. This is true when traveling East or the West on 4 Mile Road.
2. The proposed sign location is lower than the driveway entrance grade and the road grade which will further conceal the sign when traveling West on 4 Mile Road.
3. Central Storage and Warehouse possesses the unique characteristic of being visited by many over the road drivers for what amounts to the first and last time.
4. If a driver traveling West on 4 Mile Road misses the entrance on the first pass, the only options afforded the driver are to attempt backing up continuing to the East Frontage Road on I-94 and turning around.

We believe granting this variance will be a positive influence on the public interest in the area.

- A well labeled entrance will make it safer for all vehicles in the area, whether looking for the site or traveling through to other destinations.
- Central Storage and Warehouse's intent is always to be a good neighbor. The sign will be well maintained and will be complimented with landscaping like the other landscaping on the property.
- The Polar Bear logo has become a "landmark" at the other Central Storage locations. Members of the community embrace the Polar Bear and applaud the tasteful holiday decorations Central Storage regularly puts on display each season.

Thank You for your consideration.

Sincerely,



Don Nummerdor
Account Manager
Sign Effectz, Inc.

414-312-6985
donn@signeffectz.com

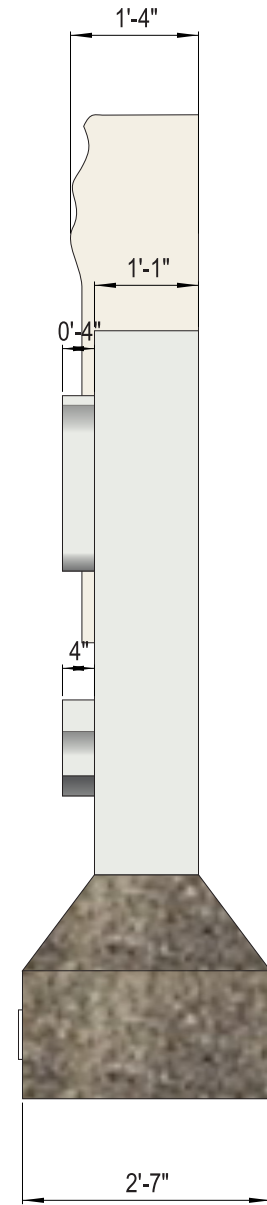
NORTH ELEVATION

1/2" = 1' - 0" Scale



SIDE VIEW - W. ELEV

1/2" = 1' - 0" Scale



[13283-01] CENTRAL STORAGE MONUMENT 1:

(1) Req'd 1/2" = 1' - 0" Scale

Fab/ install (1)new monument sign to closely match customers existing monument. This is an all foam sign.Price includes base, poles, no illumination, new footing. Same approx size as existing.

Address Numerals Proud of base surface approx 1/2" - painted same color as sign background.

Coordinate Details Req'd from Peachtree for Fabricating Foam Base.

Color Schedule/ Finishes:

- Stucco Textured Foam Cabinet Painted Sw7007 'Ceiling Bright White'
- Textured Foam Polar Bear Painted Sw7102 'White Flour'
- Pebble Textured Foam Base to Closely Match Existing
- Foam Letters Painted to Match Pantone 288 C 'Blue'

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THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NEC AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

Central Storage & Warehouse

[13283-01] CENTRAL STORAGE MONUMENT 1:
 Fab/ install (1)new monument sign to closely match customers existing monument. This is an all foam sign. Price includes base, poles, no illumination, new footing. Same approx size as existing. 102" x 193" x 20"

[13283-02] CENTRAL STORAGE SURVEY: - Survey of existing monument for new one to match.

[13283-03] PERMIT PROCUREMENT:
 This is a standard permit procurement process. Does not include Plan Commission, Board Meetings which would be billed at an additional hourly rate of \$75.00 Permits will be invoiced at cost.

Project Address:
 Central Storage & Warehouse
 12725 4 Mile Rd.
 Caledonia WI 53108

Billing Address (if different):
 Central Storage & Warehouse
 4309 Cottage Grove Rd.
 Madison, WI 53716

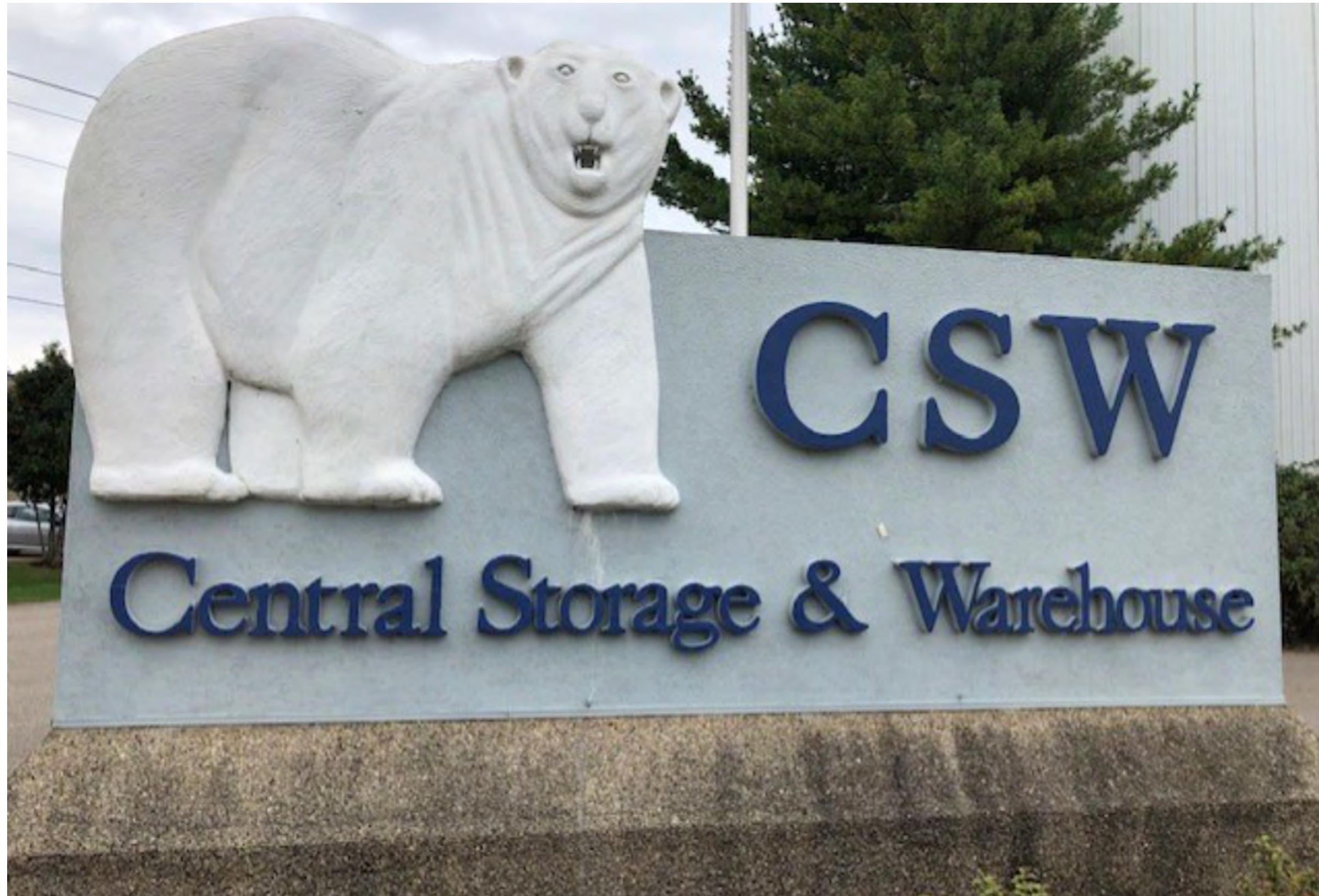
Rev.	Description	Date	Init
01	update color specs	12/17/20	AE
02	address added to base	02/12/21	AE
03			
04			
05			
06			
07			
08			
09			
10			

Project Notes:
 Customer has no existing branding on polar bear. We do not know who created the existing one.

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DRAWN BY: AAE	CHECK BY: EWR	MGR: DLN
DATE: 12/15/20	SCALE: 1/2" = 1' - 0"	
B	27422429	P_01 02
SIZE.	PROJECT NO.	SHEET NO. REV.
PRODUCTION RELEASE NO. 01		VERSION. 03
13287	13283	- 01
ESTIMATE NO.	WORK ORDER NO.	MODEL NO.

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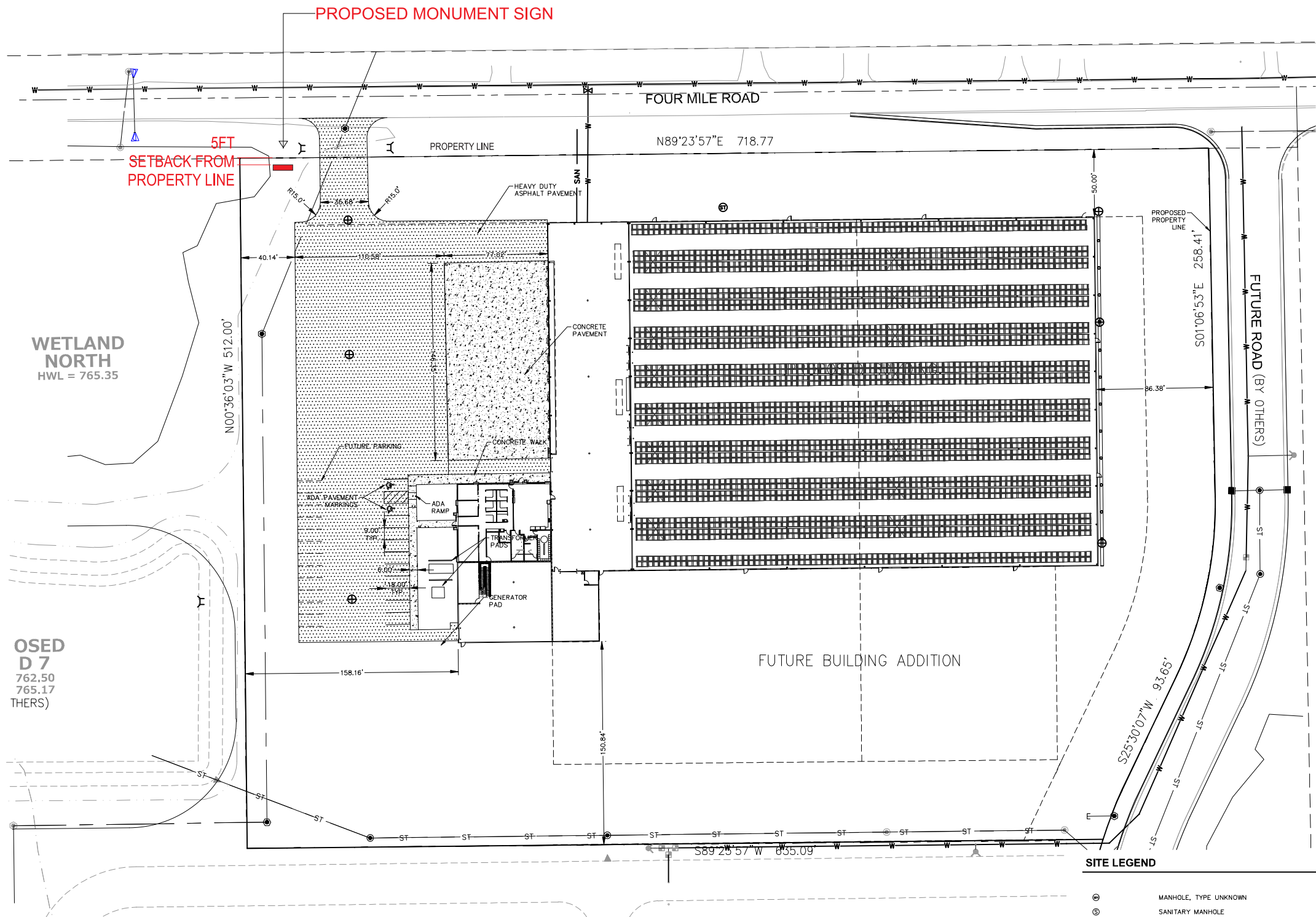
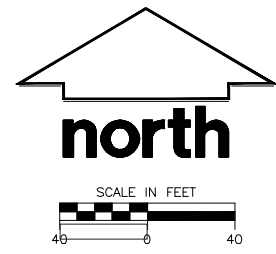
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Rev.	Description	Date	Init
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DRAWN BY:	AAE	CHECK BY:	EWR	MGR:	DLN
DATE:	12/15/20	SCALE:	NOT to SCALE		
B	27422429	P_	04	00	
SIZE:	PROJECT NO.	SHEET NO.	REV.		
PRODUCTION RELEASE NO.			01	VERSION.	02
13287	13283	-	01		
ESTIMATE NO.	WORK ORDER NO.	MODEL NO.			



SITE LEGEND

⊙	MANHOLE, TYPE UNKNOWN	+	WATER VALVE
⊚	SANITARY MANHOLE	⊕	FIRE HYDRANT

SignEffectz Inc.
 1827 W. Glendale Ave. Milwaukee, WI 53209
 414.264.5504
 414.262.5564
 www.signeffectz.com

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[13283-02] CENTRAL STORAGE SURVEY: - Survey of existing monument for new one to match.

[13283-03] PERMIT PROCUREMENT:
 This is a standard permit procurement process. Does not include Plan Commission, Board Meetings which would be billed at an additional hourly rate of \$75.00 Permits will be invoiced at cost.

Project Address:
 Central Storage & Warehouse
 12725 4 Mile Rd.
 Caledonia WI 53108

Billing Address (if different):
 Central Storage & Warehouse
 4309 Cottage Grove Rd.
 Madison, WI 53716

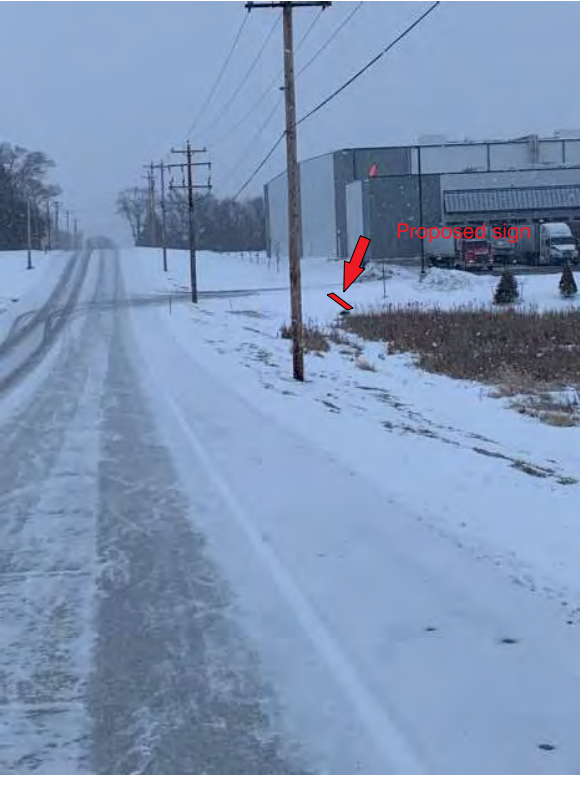
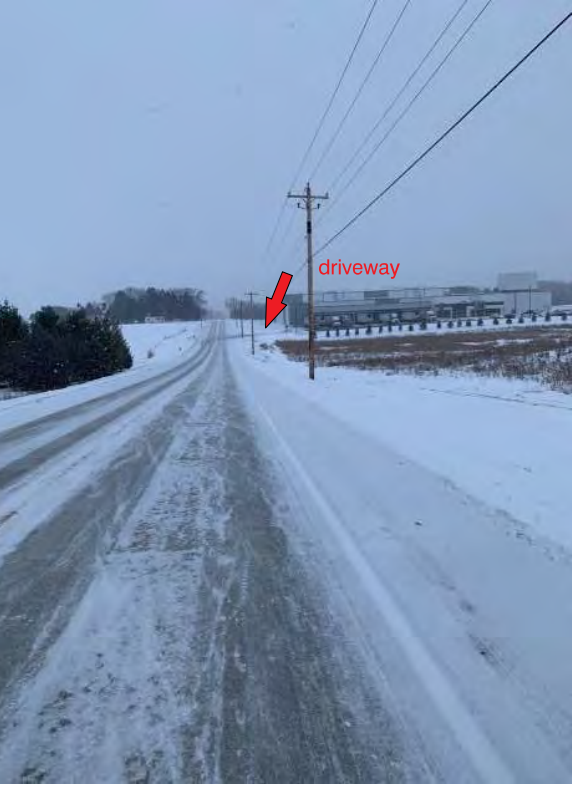
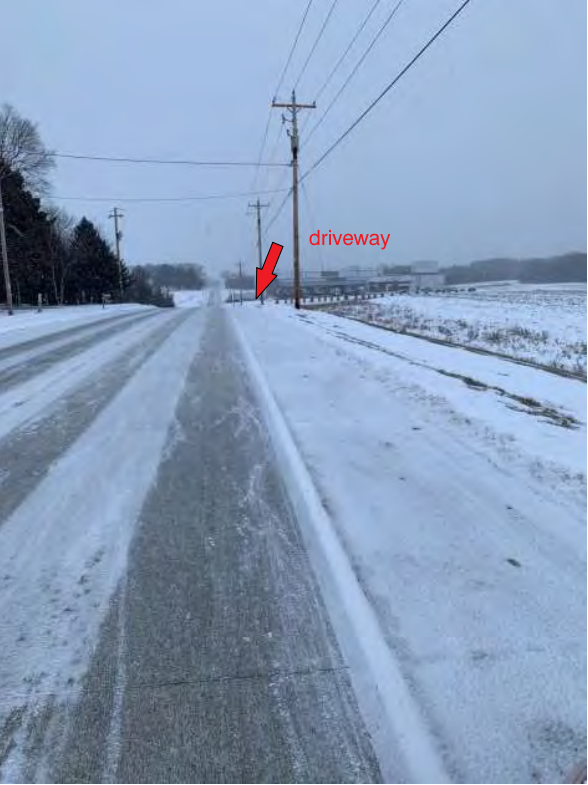
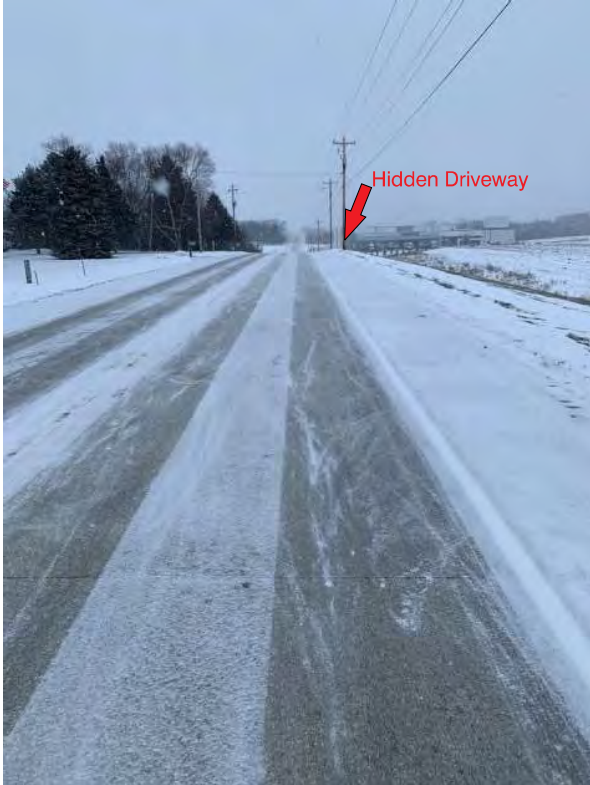
Rev.	Description	Date	Init
01	update site map	12/17/20	AE
02	adjusted w 5ft setback from property line	02/12/21	AE
03			
04			
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06			
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Project Notes:
 Customer has no existing branding on polar bear. We do not know who created the existing one.

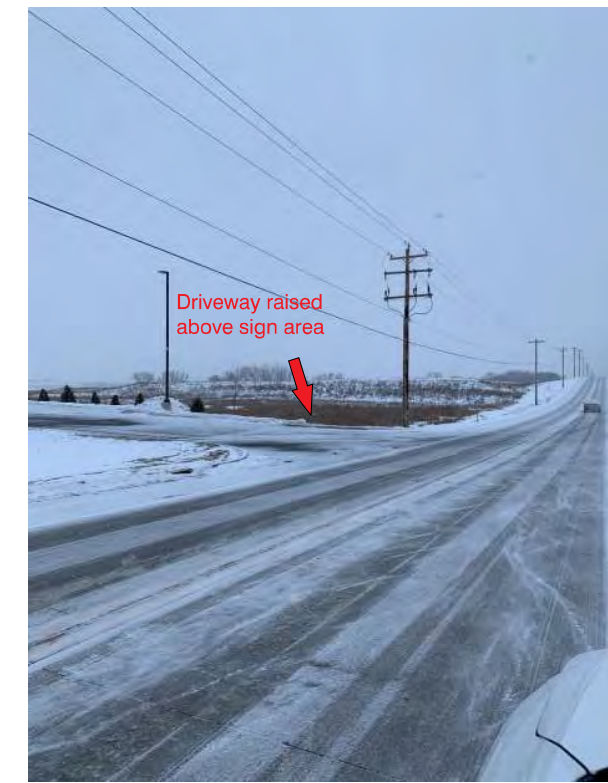
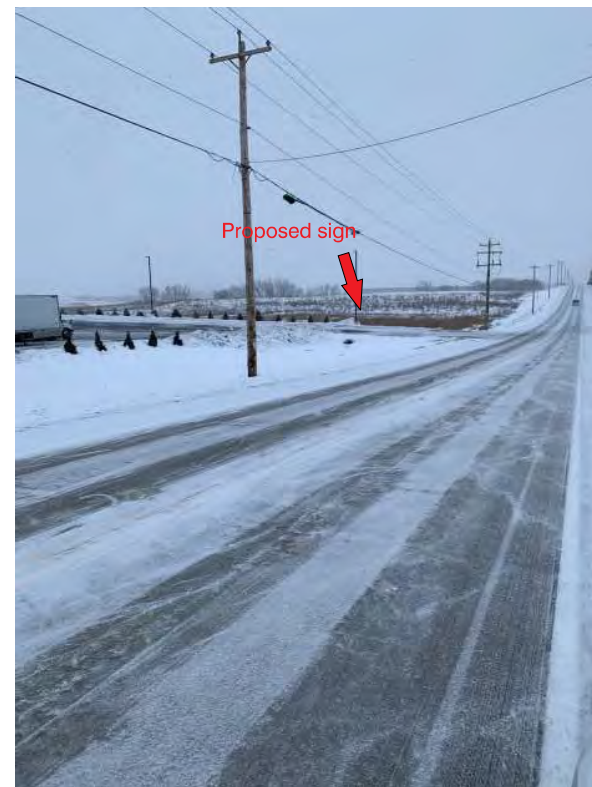
Copyright © 2020 Sign Effectz Inc. All Rights Reserved

DRAWN BY: AAE		CHECK BY: EWR		MGR: DLN	
DATE: 12/15/20		SCALE: AS NOTED			
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SIZE:	PROJECT NO.	SHEET NO.	REV.		
PRODUCTION RELEASE NO. 01			VERSION. 03		
13287	13283	- 01			
ESTIMATE NO.	WORK ORDER NO.	MODEL NO.			

Approaching site from West traveling East



Approaching site from East traveling West



PLAN COMMISSION REPORT

Proposal: Cooperative Boundary Agreement Review

Description: Review a request to construct and utilize a 6,000 square-foot commercial building with outdoor display of trailers on the property located at 4365 27th Street, Village of Raymond.

Applicant(s): Kay Friesma, Bower Design & Construction (Anderson Trailers)

Address(es): 4365 27th Street

Suggested Motion: That the Plan Commission recommends to the Village Board that the conditional use and building, site, and operational plan for the construction of a 6,000 square-foot commercial building with outdoor display or merchandise located at 4365 27th Street be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the Cooperative Boundary Agreement review process.
2. The proposed use will not adversely affect the surrounding property values.
3. The proposed use meets the intent of the Village of Caledonia development standards and find that the proposed use is a spectacular use for this parcel without connecting to sewer and water in accordance with the Cooperative Boundary Agreement between the Villages of Caledonia and Raymond.
4. The applicant is required to comply with all applicable local, state, and federal regulations, including the Cooperative Plan between the Village of Caledonia and the Village of Raymond which incorporates various design requirements from Title 16 of the Village of Caledonia Code of Ordinances, including but not limited to requirements for signage, layout, design, building materials, screening, outside storage/display of equipment and landscaping on the property.
5. The proposed use will comply with conditions outlined in Exhibit A.

Owner(s): Anderson Trailers LLC

Tax Key(s): 104-04-21-36-005-000

Lot Size(s): 1.33 acres

Current Zoning District(s): B-3, Commercial Service District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Industrial/Business Park
Plan:

Background: The applicant has received approval for a proposed commercial development in 2018 and in 2019. Since that time, the applicant has not completed significant work within six months of approval, resulting in the applicant reapplying for review and approval of the same commercial development. Included with this report is a review conducted by FOTH regarding the proposal. Since the last time, the applicant has made one change to the building, increasing the length of the building from 104' to 120'. Another minor modification is decorative dock doors on the north side of the building. This increase is still in compliance with the standards outlined in Exhibit K. Any required modifications to the stormwater management will be reviewed and approved by the Village of Raymond.

If the Plan Commission is comfortable with the proposed building and site plan, staff has drafted a suggested motion recommending approval of the 6,000 square-foot commercial building with outdoor display of merchandise located at 4356 27th Street.

EXHIBIT A - CONDITIONS **Anderson Trailers, 4356 27th Street**

1. Compliance. Failure to comply with the terms and conditions stated herein could result in the issuance of citation(s) and/or revocation of this permit.
3. Binding Effect. These conditions bind and are applicable to the Property Owner, Agent, and any other users of the Property Owner with respect to the uses on the Property.
4. Plans. The proposed 6,000 square-foot commercial building shall be located, constructed, and utilized in accordance with the plans and documents received by the Village Planning Department on February 18, 2021.
5. Parking. Parking at the site must be in compliance with the submitted plans. All employee and visitor parking must be conducted in the proposed parking lot as outlined on the submitted site plan. Each parking space shall be a minimum of nine feet wide and 180 square feet in area exclusive of the space required for ingress and egress. Handicapped spaces shall be provided in accordance with State requirements. All parking spaces shall be clearly marked. The driveway and all parking areas must be maintained in an all-weather, dust-controlled condition.
6. Landscaping. The applicant must submit a landscape plan that meets the minimum landscaping standards as outlined in Title 16 to the Planning Department and be approved by the Development Director prior to building permit application submittal.
7. Lighting. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway.
8. Signage. The Village's signage requirements are set forth in Title 16 of the Village's Code of Ordinances. Any proposed advertising sign at the site will require a separate sign permit prior to installation. Banners, balloons, flashing or animated signs are prohibited.

9. No Accumulation of Refuse and Debris. Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.
 10. Property Maintenance Required. A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade. All drives shall be paved with asphalt. Parking areas shall be paved or have placed upon them compacted recycled asphalt. All drives and parking areas shall be maintained in a dust free condition.
 11. Performance Standards. The applicant must comply with the provisions of Article VII, Division 4, Performance Standards of Chapter 20, Zoning, Racine County Code of Ordinances, as adopted by the Village of Caledonia.
 12. Expiration. This approval will expire twelve (12) months from the date of the Village's final approval unless substantial work has commenced following such grant. If this office determines that no substantial work has commenced, the project may not occur and will require the applicant to resubmit their plans for approval and incur all costs associated with the review.
 13. Access. The applicant must allow any Village employee full and unlimited access to the project site at a reasonable time to investigate the project's construction, operation, or maintenance.
 14. Compliance with Law. The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 9, 14, 16 and 18 of the Village of Caledonia Code of Ordinances.
 15. Reimburse Village Costs. Applicant shall reimburse the Village all costs incurred by the Village for review of this conditional use including but not limited to engineering, legal and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.
 16. Agreement. Your accepting the site plan approval and beginning the project means that you have read, understand, and agree to follow all conditions of this approval. Therefore, Anderson Trailers LLC and their heirs, successors, and assigns, including tenants, are responsible for full compliance with the above conditions.
 17. Subsequent Owners. It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.
-

Respectfully submitted:

A handwritten signature in black ink that reads "Peter Wagner". The signature is written in a cursive style with a large initial "P" and "W".

Peter Wagner, AICP
Development Director



TO: Village of Caledonia Planning Commission
CC: Tom Christensen, Elaine Ekes, Jarmen Czuta
FROM: Jeff Muenkel AICP
RPT DATE: April 18, 2019
MTG DATE: April 29, 2019
RE: "Anderson Trailers" – Town of Raymond Coop Boundary Request

BACKGROUND:

1. Petitioner/Agent: Jean and Kevin Anderson (dba Anderson Trailers LLC)
2. Tax Key Number: 012042136005000
3. Address of Petitioned Parcel: 4365 S 27th St
4. Area: 1.33 acres
5. Existing Zoning: B-3, Commercial Service District (Racine County)
6. Future Land Use: Business and Industrial (Cooperative Plan)

OVERVIEW:

The "Anderson Trailers" conditional use application development is within the Town of Raymond and requires review under the adopted Village of Caledonia and Town of Raymond Cooperative Plan Design Standards (Exhibit K-Attached), which are based on standards within Title 16 of the Village of Caledonia Code of Ordinances.

BACKGROUND:

Anderson Trailers received approval from the Village Plan Commission and Board back in November 2018 to convert and occupy a single-family residence (OR construct a 50' x 100 commercial building) and occupy with a utility/cargo trailer accessory business (DBA Anderson Trailers LLC) at 4365 27th Street in the Town of Raymond. Plan Commission may remember that the approval was contingent that the developer come back before Caledonia for review of design guidelines in the event they elected to construct the commercial building in lieu of utilizing the single-family residence for their business purposes. Anderson Trailers has since determined that they wish to build a new commercial structure and have submitted the architectural and site plans for a new Caledonia design guide and conditional use review.

PLANNER COMMENTS:

The newly proposed commercial structure building elevations are found attached and depict a 5,200 square foot barn-type architecture structure that will house Anderson Trailers needed office and warehouse space. The structure is proposed to be constructed with metal siding with a red color on the sides and a grey color for the roof. A 3-foot band of brick wainscoting is to be found along the entire base elevation of the structure. An overhang and multiple windows are found on the "left end" elevation. The "front" side elevation has two (2) smaller overhead doors with a couple windows and access doors. The "right side" elevation will have two large overhead doors occupying most of the façade and the "back" elevation will not have any features.

The site plan is updated since the utilization of the former residential structure is now removed. The site plan shows a frontage driveway that accesses off of 27th Street to the new structure on the south side of the property. The northern rear portion of the property will still be used for storage and the frontage of the property will be used for employee/patron parking.

The following Caledonia/Raymond design guidelines apply to the newly proposed structure.

1. Loading Docks/Mechanicals/Shipping Areas Screening – Requires overhead door/receiving areas to be screened or designed with high degree of visual appeal. Screening can be completed with fencing, topography, and/or landscaping.



Staff Review

- a. The smaller two (2) overhead doors along the north elevation will be internal to the fenced in storage yard. The two (2) large overhead doors on the west elevation will be totally out of view from the roadway and will also be internal to the fenced in storage yard.
2. Four Sided Architecture Required – Requires similar architecture and use of materials throughout all facades of a proposed structure.
 - a. The proposed utilizes four-sided architecture subject to any Plan Commission discussion on types of materials being used per sub section 5 below.
3. Roof Style/Materials – Requires hip, gambrel, gable roofs utilizing cedar, asphalt, or dimensional shingles unless metal roofs compliment neighborhood character of area.
 - a. A standing seam metal roof is proposed. These types of buildings are commonly found along the 27th St frontage road here. Given that the building will be new and next to residential structures the proposed should be fine and appropriate but subject to Plan Commission discussion.
4. Rooftop Mechanicals Screening– Requires all future rooftop mechanicals to be screened with similar architectural materials.
 - a. No rooftop mechanicals currently shown. A contingency will be added to screen any that may arise in the future structure construction.
5. Appropriate Building Materials – Requires the primary façade be finish grade materials (glass, brick, stone, wood, or decorative block as examples).
 - a. A metal façade with a 3-foot band of wainscoat brick is found throughout the structure. As previously noted, commercial metal buildings are common along the 27th St frontage road here. Given that the building will be new and next to residential structures the proposed materials may work well in the area. However this is subject to Plan Commission discussion and changes since the proposed does not technically meet this requirement outright at this time.
6. Building Placement – Requires building facades to be parallel or perpendicular to the right-of-way.
 - a. The proposed new structure is perpendicular.

RECOMMENDATIONS:

Overall, staff recommends approval of the new structure and site plan subject to the contingencies below along with any Plan Commission added items.

Structure contingencies per the Caledonia/Raymond design guidelines:

1. All rooftop mechanicals shall be screened upon construction with similar architectural materials found on the principal structure.

Past site plan contingencies that are still valid per the Caledonia/Raymond design guidelines:

1. A landscape plan shall be approved as part of a future zoning permit that incorporates street edge landscaping with mature trees planted at least every 50' on center parallel to the right-of-way. Such trees shall be planted in front of the fence enclosure along the 27th Street right-of-way.
2. Any required ground mechanical equipment, misc. outdoor storage, or refuse containers shall be screened by landscaping or fencing.
3. Any future outdoor lighting shall be down-cast cut-off fixtures. Any pole lights shall not exceed 20 feet and shall have a concrete base of no more than 6" above ground. Lights should produce no more than 0.5 foot candles at the property line with no lighting to exceed 12 foot candles.
4. The patron/employee parking and driveway shall be hard surfaced while the enclosed trailer space can be gravel as shown.

EXHIBIT K: DESIGN STANDARDS

The requirements of Title 16 of the Village of Caledonia Code of Ordinances shall apply, as modified by the categories below, in the Raymond Plan Area.

CATEGORY 1 - JOINT REGULATIONS WITHIN THE RAYMOND PLAN AREA

The following regulations are intended to ensure that the appearance of new commercial buildings, landscapes, and signage elements in the Raymond Plan Area match the corresponding elements in the Village of Caledonia.

Guidelines to be based on Caledonia standards

1	Loading dock and shipping/receiving area requirements/screening (16-3-2 (c) (8))	Garage doors, loading areas, service entries and areas, and mechanical equipment shall be screened or designed with a high degree of visual appeal. This treatment can minimize the negative visual impact such necessary functions have and can help enhance and define adjacent spaces. Various techniques should be used to completely screen views into these areas. Densely planted trees, shrubs, opaque fencing, and/or garden walls should be used to screen service areas, loading areas, trash receptacles and ground-floor mechanicals. These elements should be at least seven (7) feet high (plant material should be at least seven (7) feet within 2 years of planting).
2	Street edge landscaping (16-3-3 (b) (1))	Trees no more than 50' on center of the tree trunk. Trees shall be planted parallel to the right-of-way. Trees shall be canopy, deciduous trees from the Village Street Tree List. Trees bordering a parcel shall be of the same species in order to provide visual continuity along the street edge. In addition to rhythmic planting of trees, a secondary landscape layer located behind the tree line should be created using ornamental fences and continuous evergreen hedges that block views of parking areas. Unless otherwise noted these should have a minimum height of 4' above the elevation at the right-of-way. Berms should not be used as a device for visual screening unless specific approval is given by the Village Board. When berms are approved for use, they shall have a minimal slope in contrast to the surrounding landscape. When a berm is intended to screen a building from a public right-of-way, the berm must be configured so that the building is screened at all visual angles from the public right-of-way. Trees, fences, and hedges may be eliminated when there is a planned view of an open landscaped area included as part of a long-term open space management plan.
3	Encourage four-sided architecture	Four-sided architecture, which utilizes similar building materials and design for all sides of a proposed structure, is encouraged.
4	Roof style/material recommendations	Pitched roofs such as hip, gambrel, gable, etc. should be required; utilizing cedar, architectural asphalt or dimensional shingles is preferred. Metal roofs should be considered only where they complement the residential character of the proposed architecture. The use of raised steel seamed panels or other similar materials is generally discouraged and is subject to review and approval of the Plan Commission.
5	Screening rooftop mechanicals	Roof top mechanical installations should be screened so as to block the view from adjacent streets and properties. Screening should match or complement the overall theme of the building. All screening is subject to review and approval by the Plan Commission.
6	Building massing, height, and form (16-3-2 (c) (3))	Buildings shall be comprised of a visually distinct base, middle and top. Buildings shall not exceed two (2) stories except as noted in the standards for specific types of places or as may be allowed for by a conditional use or in a planned unit development. This provides a flexible method of relating the building to the pedestrian (base), to the surrounding architecture (middle), and the opportunity for unique identity where the building meets the sky (top). Expression of the elements should be handled through changes in plane and material, horizontal bands, cornices, and/or varied window openings. Large buildings should be comprised of a series of masses and forms to give the building hierarchy, scale and visual richness. Building massing and components should demonstrate consistent proportional harmonies as indicated in the guideline illustrations.
7	Signage (excluding freeway signage) (16-3-5; 16-7)	Signage shall consist of both freestanding and building signs. Freestanding signage should be of the following types: agriculture, directional, freeway, home occupation, monument, subdivision, off-premises, private property, street banner, governmental, recreational, trail, or temporary. Building signage should be of the following types: awning or canopy, projecting, wall, or window. Prohibited signs include beacons, streamers, pennants, pinwheels, and strings of lights not permanently mounted to a rigid background, and inflatable signs, tethered balloons, and signs affixed to a cart, trailer or other rolling mechanism, unless specifically permitted as a temporary sign but not to exceed 30 days of use in each calendar year. Prohibited signs also include signs that revolve, are animated, have moving parts, or are illuminated by flashing or moving lights. Billboards and pole signs where the bottom of the sign is more than 11 feet from grade, and roof signs that are separated from the rest of the roof by more than 12 inches are also prohibited.
8	Freeway Signage (16-3-5)	Freeway signage shall be defined as a freestanding sign within one-hundred fifty (150) feet of the Interstate 94 right-of-way. The road side edge of such sign should be located as close to the interstate right-of-way as feasible, but shall maintain a minimum of five (5) feet from the public right-of-way. Freeway signs shall be constructed as set forth in the accompanying Freeway Sign Diagram.
9	Appropriate building materials (16-3-2 (c) (4))	The primary facade and sides of the building visible from the public space, public parking, walkways, and rights-of-way shall be clad in finish grade materials unless otherwise allowed under a conditional use or planned unit development. Glass, brick, stone, wood, and decorative block are examples of finish grade materials that are appropriate for use on visible facades. The rear or side of the building shall use the same materials.
10	Building placement guidelines (16-3-2 (c) (2))	<i>Modified from current regulation: Building facades shall be parallel or perpendicular to the right-of-way (or parallel or perpendicular to the tangent to curve taken at the midpoint)</i>

Guidelines to be based on Raymond standards

11	Preserve existing tree lines/Open space, natural resource protection	Landscaping for development sites should be designed to complement the built and natural environment of the subject project and adjacent sites. Existing tree lines should be preserved. If removal of existing tree line is required due to its undesirable nature, new plantings that result in no less of a screening effect shall be required when adjacent to residential uses. Tree species that are native to Wisconsin and the Town of Raymond are encouraged.
12	Lighting specifications	All off-street lighting shall be down-cast, cutoff fixtures with a zero-degree tilt. The total height of fixtures, measured from grade to the highest point of the pole and/or lamp, should be no more than 15 to 20 feet. The base should be no greater than 6" above grade. Low pressure sodium bulbs are strongly discouraged.
13	Lighting position specifications	Lighting should be positioned so as not to cause glare on adjacent properties and streets. A maximum of 0.5 foot candles of light at the property line should be permitted. Require the submittal of a photometric site plan which illustrates the amount of light, measured in foot candles. No lighting should be permitted to exceed 12 foot candles. Consider exceptions to the height of lighting fixtures, provided that the total fixture height is equal or less than the height of adjacent building eaves.
14	Color guidelines	The coloring of all brick, decorative masonry, or stone shall be expressed as integral to the product and not painted on the surface of the product. Neutral colors are preferred over primary colors.



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Jack Walters & Sons, Corp.
P.O. Box 388
6600 Midland Ct.
Allenton, WI 53002
1-800-558-7800
www.waltersbuildings.com

REVISIONS:

OWNER:
**KEVIN
ENDERS**

PROJECT:
GAMBREL

LOCATION:
**FRANKSVILLE
WISCONSIN**

SALES REP / DEALER:
CHAD OLSON

DRAWN BY:
TRB ON: 1/7/19

DOUBLE CHECKED BY:
- ON: -

ESTIMATED BY:
- ON: -

DOUBLE CHECKED BY:
- ON: -

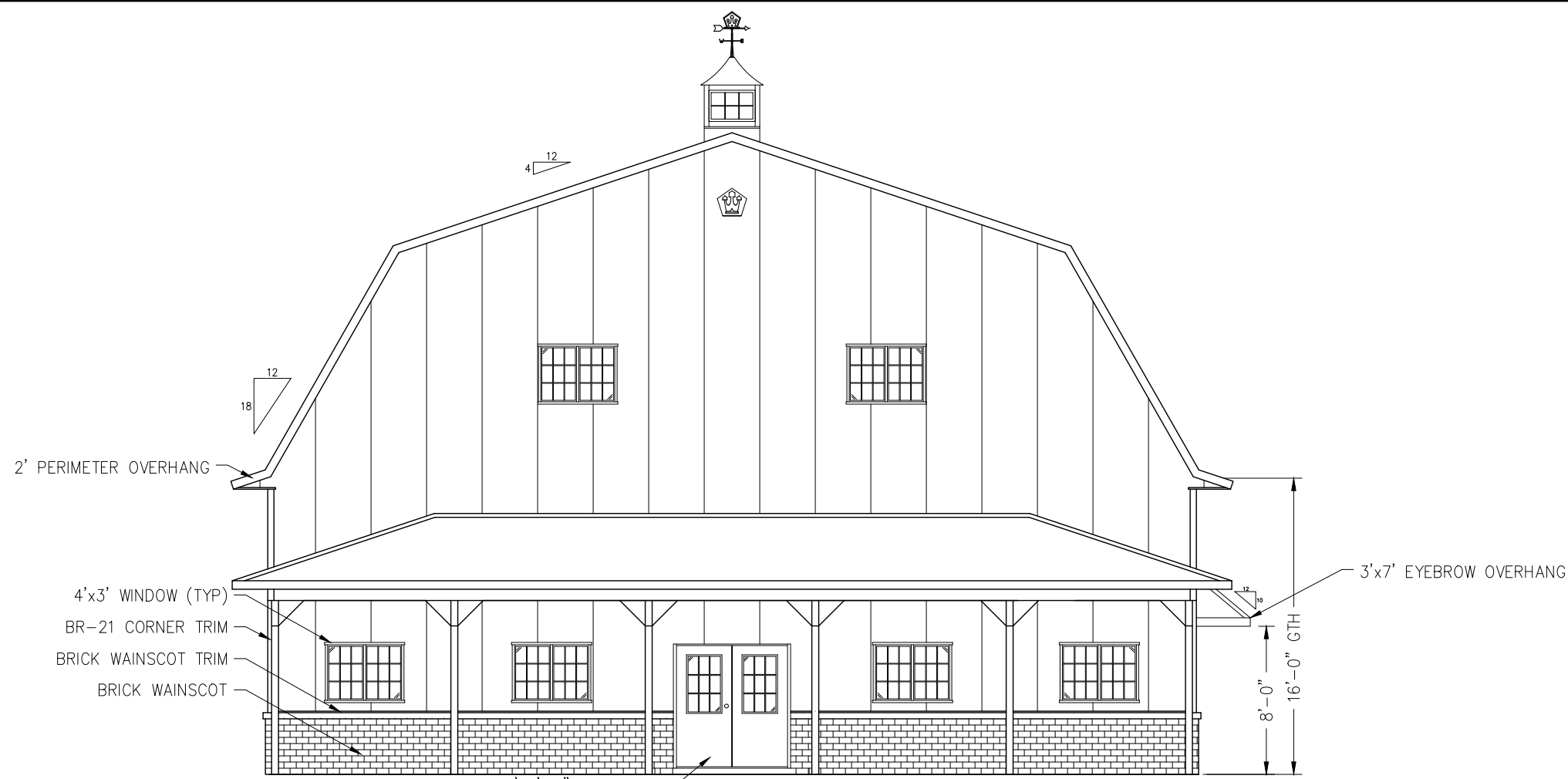
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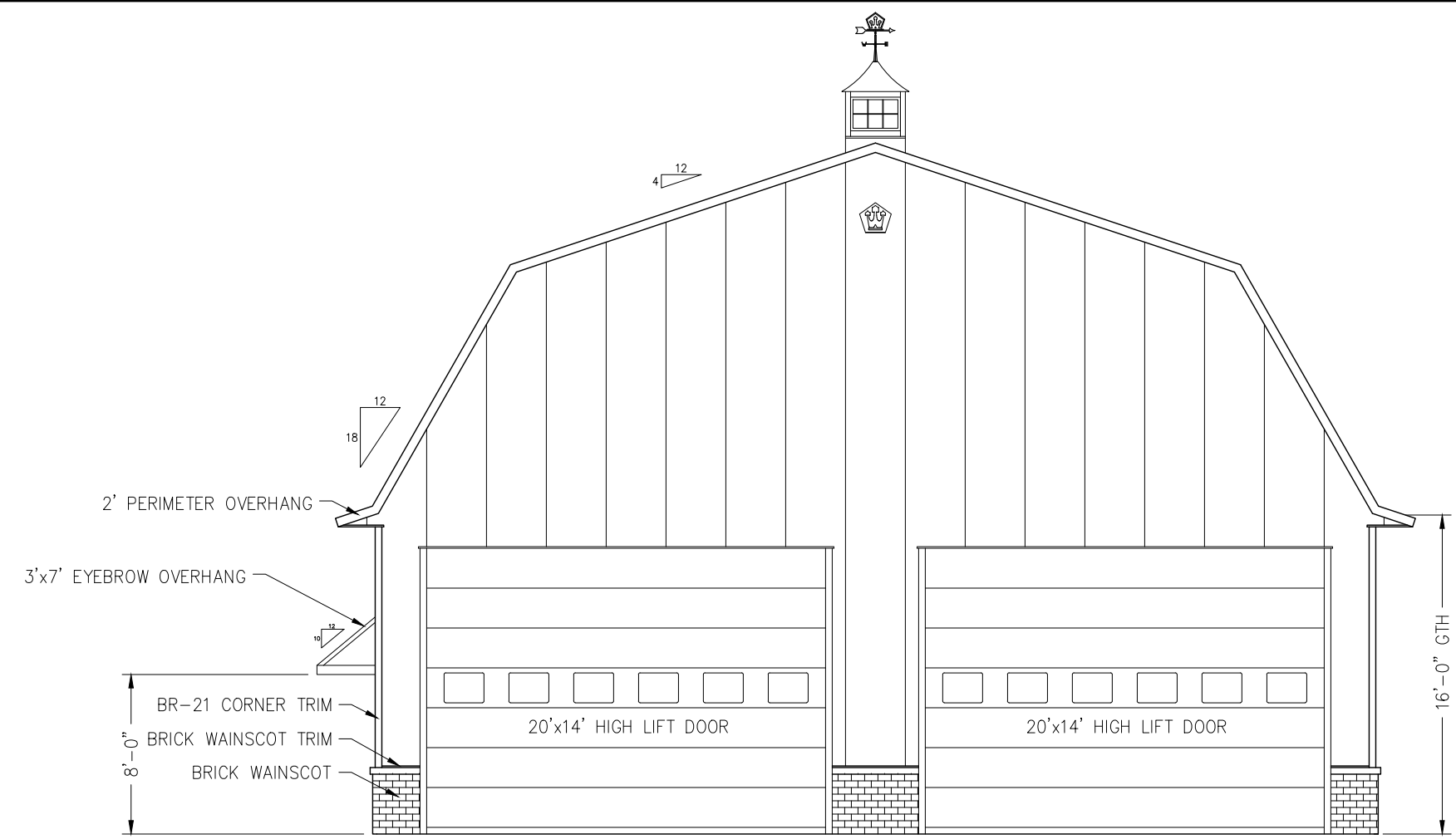
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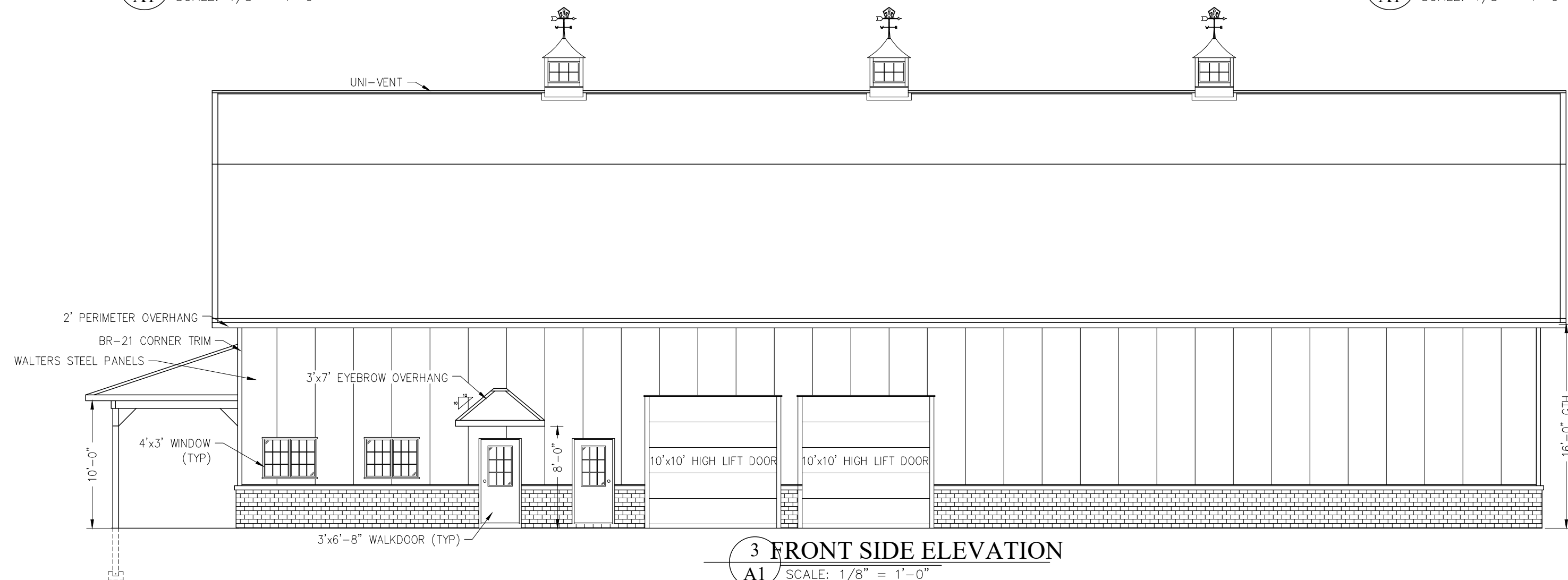
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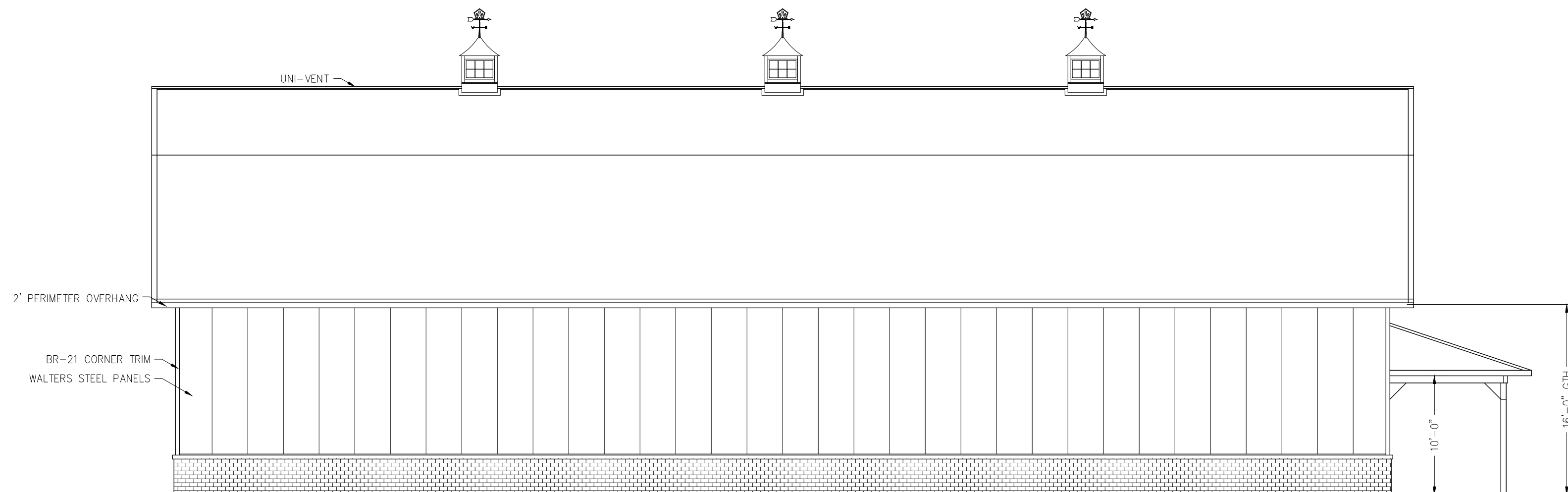
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3 FRONT SIDE ELEVATION
A1 SCALE: 1/8" = 1'-0"



4 BACK SIDE ELEVATION
A1 SCALE: 1/8" = 1'-0"



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DRAWN BY:
TRB ON: 1/7/19

DOUBLE CHECKED BY:
- ON: -

ESTIMATED BY:
- ON: -

DOUBLE CHECKED BY:
- ON: -

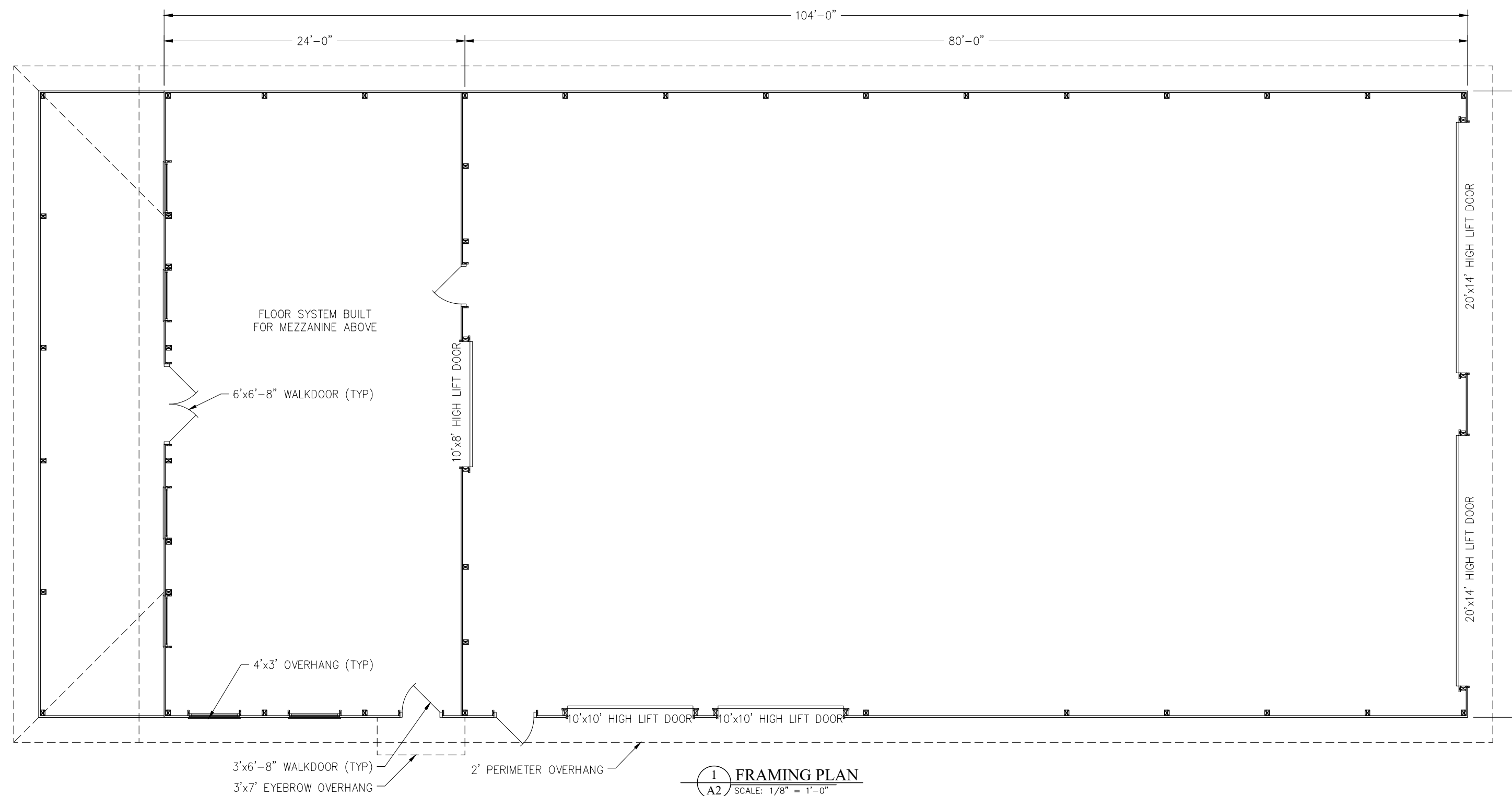
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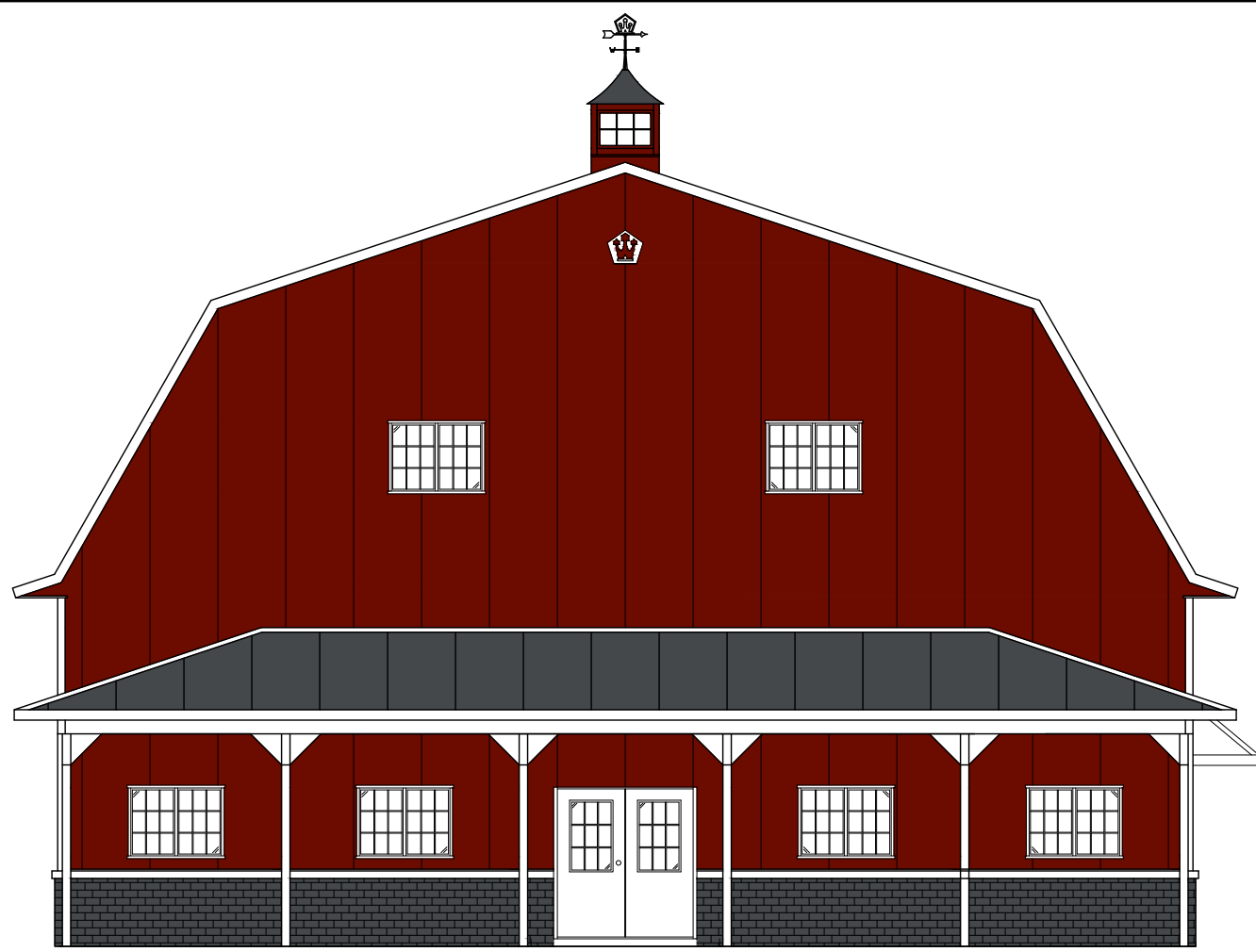
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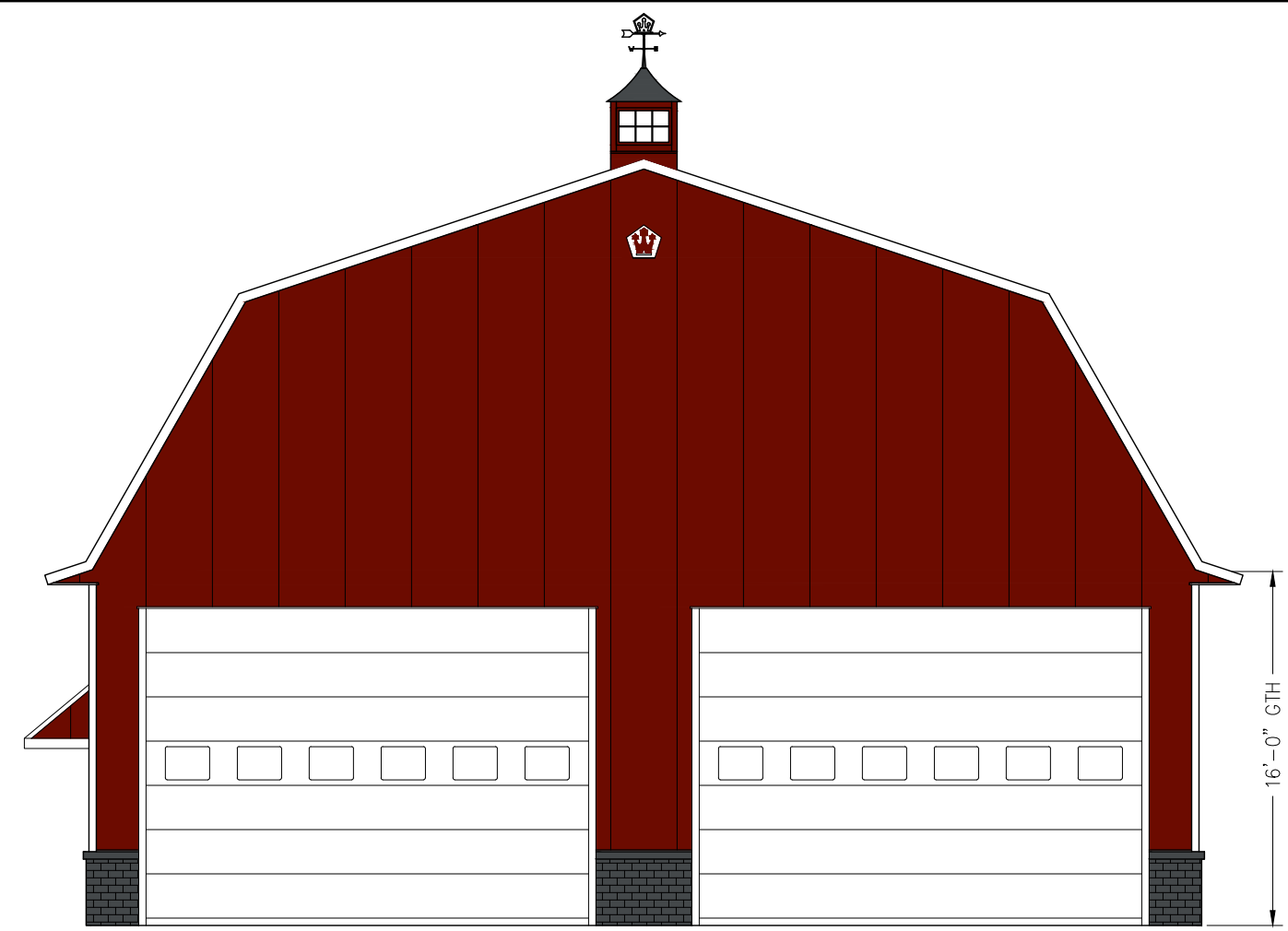
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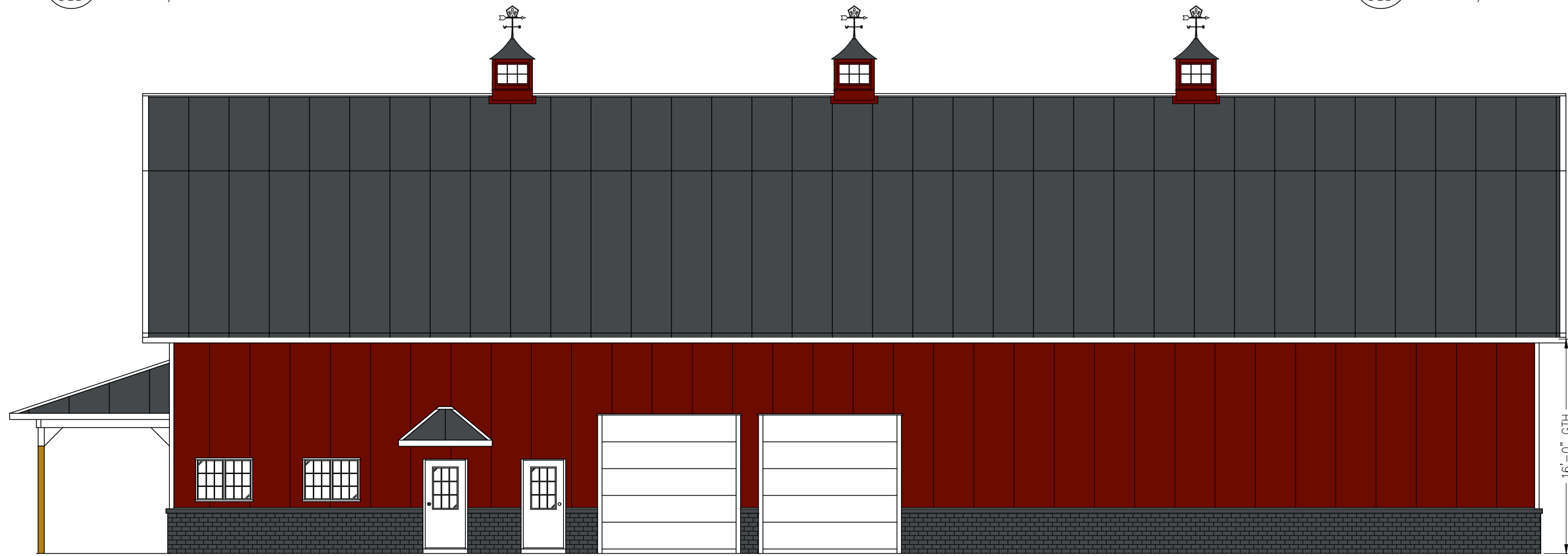




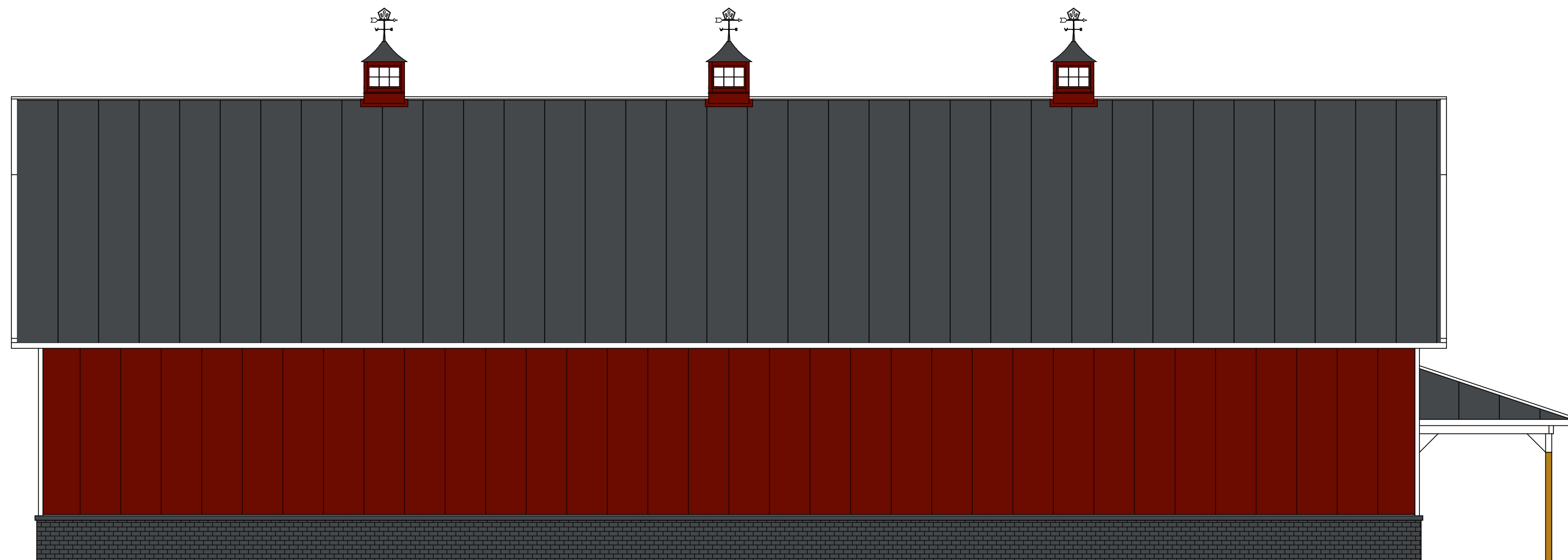
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2 RIGHT END ELEVATION
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3 FRONT SIDE ELEVATION
A1 SCALE: 1/8" = 1'-0"



4 BACK SIDE ELEVATION
A1 SCALE: 1/8" = 1'-0"



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REVISIONS:

OWNER:
KEVIN ENDERS

PROJECT:
GAMBREL

LOCATION:
FRANKSVILLE
WISCONSIN

SALES REP / DEALER:
CHAD OLSON

DRAWN BY:
TRB ON: 1/7/19

DOUBLE CHECKED BY:
- ON: -

ESTIMATED BY:
- ON: -

DOUBLE CHECKED BY:
- ON: -

LAST SAVED BY:
TZEITLER ON: 1/29/2019

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JOB NUMBER:
P94-039C

SHEET NUMBER:

A1 OF A1

Revised 01/11/10
Plan "B"

PLAT OF SURVEY
-OF-

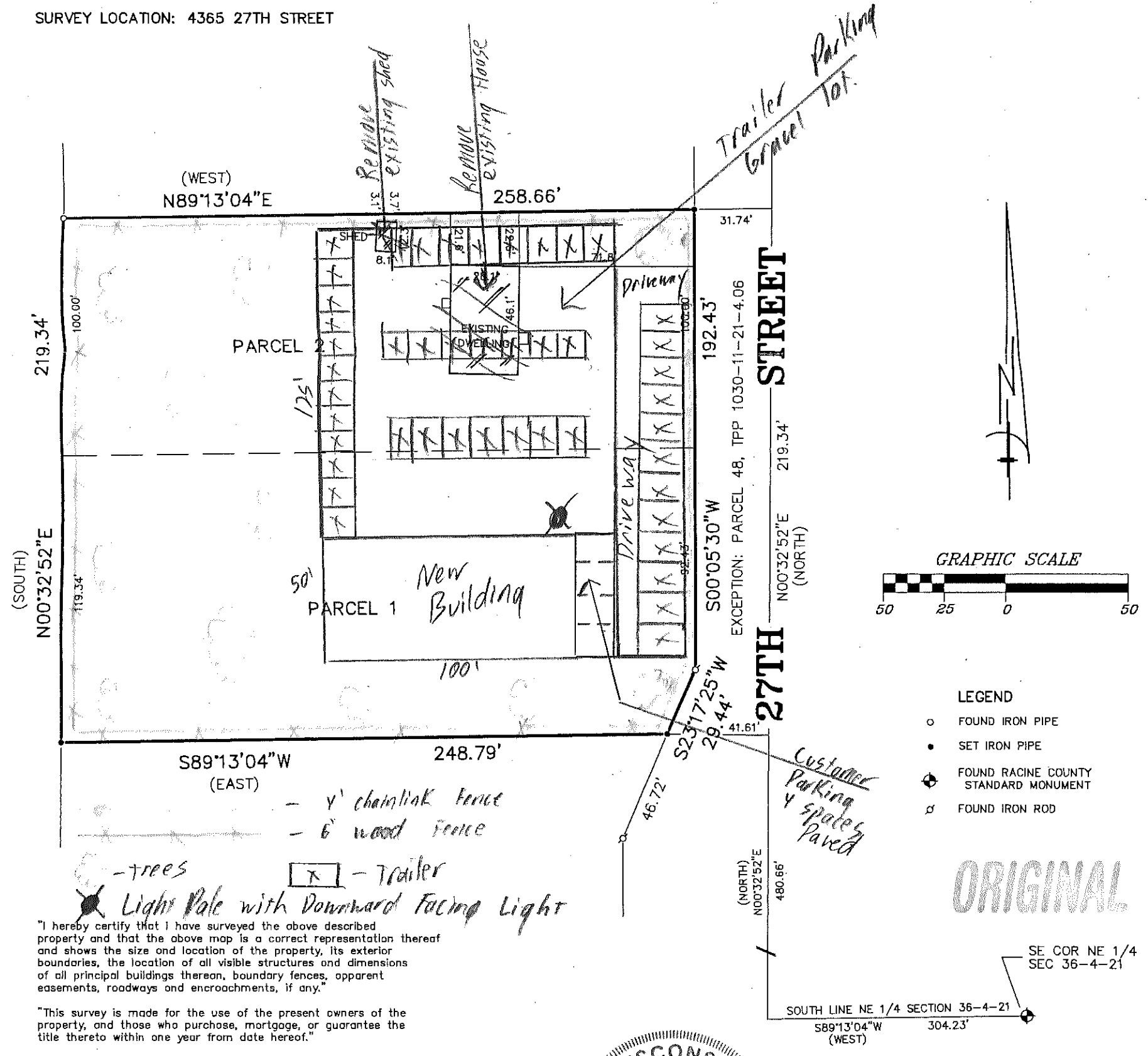
PARCEL 1:
THAT PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 36, IN TOWNSHIP 4 NORTH, RANGE 21 EAST, BOUNDED AS FOLLOWS:
BEGIN AT THE SOUTHEAST CORNER OF SAID 1/4 SECTION; RUN THENCE WEST ALONG THE SOUTH LINE OF SAID 1/4, 304.23 FEET TO THE WEST
LINE OF THE RIGHT-OF-WAY OF HIGHWAY 41; THENCE NORTH ALONG THE WEST LINE OF SAID RIGHT-OF-WAY 480.66 FEET TO THE POINT OF
BEGINNING OF THIS DESCRIPTION; THENCE CONTINUE NORTH ALONG THE WEST LINE OF SAID RIGHT-OF-WAY, 119.34 FEET; THENCE WEST
PARALLEL TO THE SOUTH LINE OF SAID 1/4 SECTION, 290.40 FEET; THENCE SOUTH PARALLEL TO THE WEST LINE OF SAID RIGHT-OF-WAY,
119.34 FEET; THENCE EAST PARALLEL TO THE SOUTH LINE OF SAID 1/4 SECTION, 290.40 FEET TO THE POINT OF BEGINNING OF THIS
DESCRIPTION.

PARCEL 2:
THAT PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 36, IN TOWNSHIP 4 NORTH, RANGE 21 EAST, BOUNDED AS FOLLOWS:
BEGIN AT THE SOUTHEAST CORNER OF SAID 1/4 SECTION; RUN THENCE WEST ALONG THE SOUTH LINE OF SAID 1/4, 304.23 FEET TO THE WEST
LINE OF SAID RIGHT-OF-WAY; THENCE NORTH 600 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUE NORTH ALONG
THE WEST LINE OF SAID RIGHT-OF-WAY, 100 FEET; THENCE WEST PARALLEL TO THE SOUTH LINE OF SAID 1/4 SECTION, 290.40 FEET; THENCE
SOUTH PARALLEL TO THE WEST LINE OF SAID RIGHT-OF-WAY, 100 FEET; THENCE EAST PARALLEL TO THE SOUTH LINE OF SAID 1/4 SECTION,
290.40 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION.

EXCEPTING THEREFROM:
DOCUMENT NO. 2301143, RECORDED ON NOVEMBER 23, 2011 IN THE OFFICE OF THE REGISTER OF DEEDS IN AND FOR RACINE COUNTY,
WISCONSIN, BEING PARCEL 48 OF TRANSPORTATION PROJECT PLAT 1030-11-21-4.06, RECORDED IN VOLUME 1 OF TRANSPORTATION PROJECT
PLATS, PAGE 167, AS DOCUMENT 2281354, RECORDED IN RACINE COUNTY, WISCONSIN.

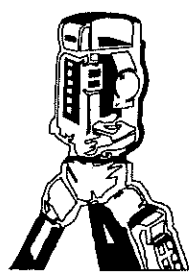
SAID LAND BEING IN THE TOWN OF RAYMOND, RACINE COUNTY, WISCONSIN.

SURVEY FOR: REALTY EXECUTIVES ELITE
SURVEY LOCATION: 4365 27TH STREET

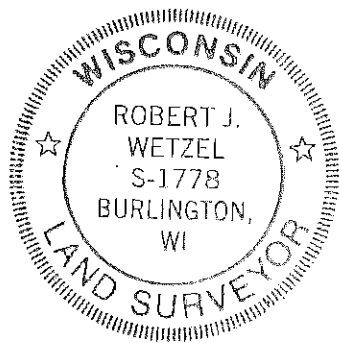


"I hereby certify that I have surveyed the above described property and that the above map is a correct representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadways and encroachments, if any."

"This survey is made for the use of the present owners of the property, and those who purchase, mortgage, or guarantee the title thereto within one year from date hereof."



B.W. SURVEYING, INC.
LAND SURVEYS
MAPPING AND PLANNING
412 N. PINE STREET
BURLINGTON, WI 53105
(262)-767-0225

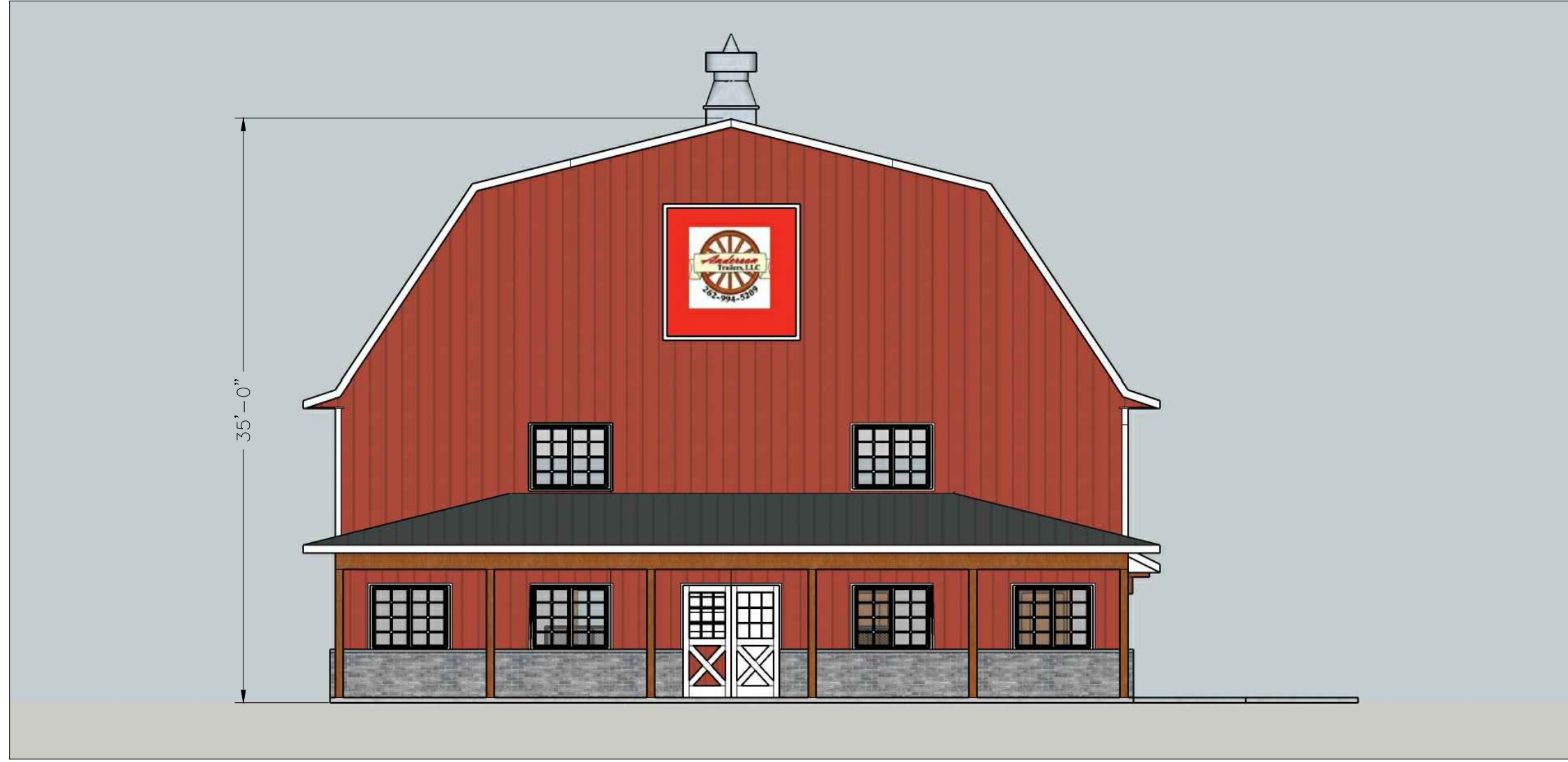


THIS IS NOT AN ORIGINAL PRINT
UNLESS THIS SEAL IS RED.

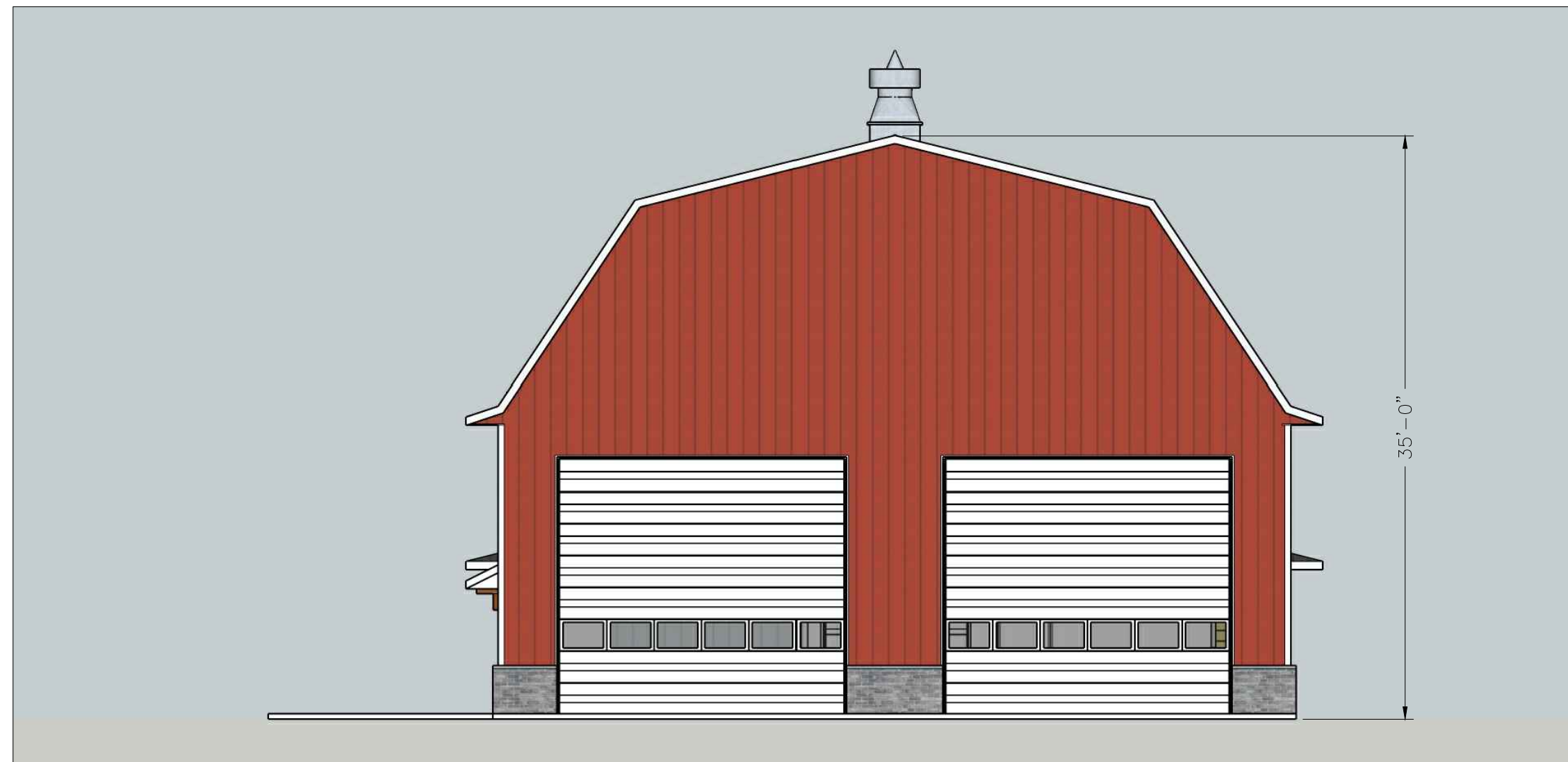
Robert J. Wetzel
ROBERT J. WETZEL S-1778

JUNE 22, 2018
DATE

9650
JOB NUMBER



EAST ELEVATION
Scale: 1/8" = 1'-0"

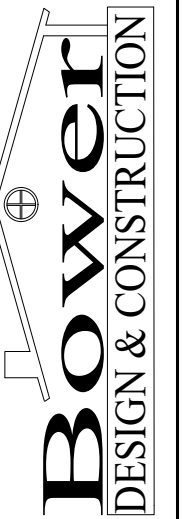


WEST ELEVATION
Scale: 1/8" = 1'-0"

Owner: ANDERSON TRAILER LLC
 Project:
 Location: 4365 S 27th Street
 Project Manager: Chris Bower

Drawn By:
 Date:
 Revised By: Friesema
 Date Revised: 02/18/21

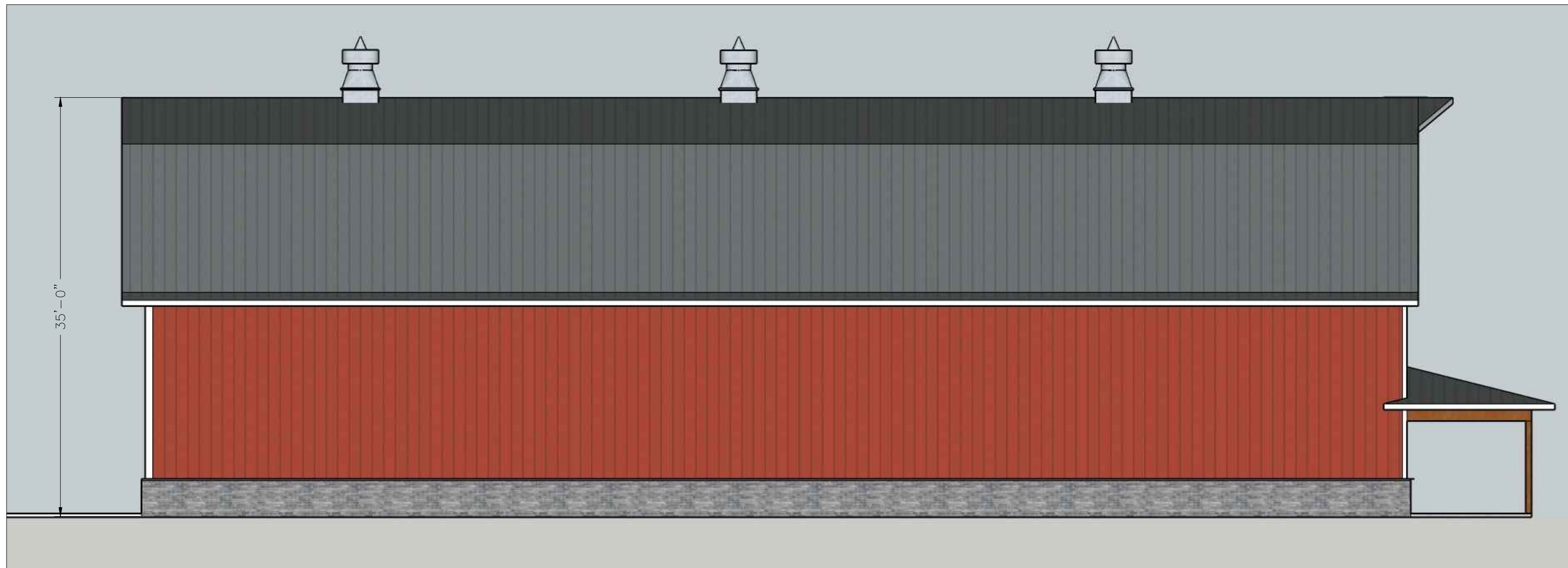
A Tradition of Building Excellence
 1818 S. Colony Ave.
 Union Grove, WI 53182
 262.534.2926
 bowerdesignconst@gmail.com



Job No.:
 Checked By:
 Approved By:
 Sheet No.: 1



NORTH ELEVATION
Scale: 1/8" = 1'-0"

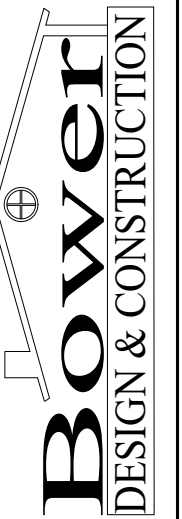


SOUTH ELEVATION
Scale: 1/8" = 1'-0"

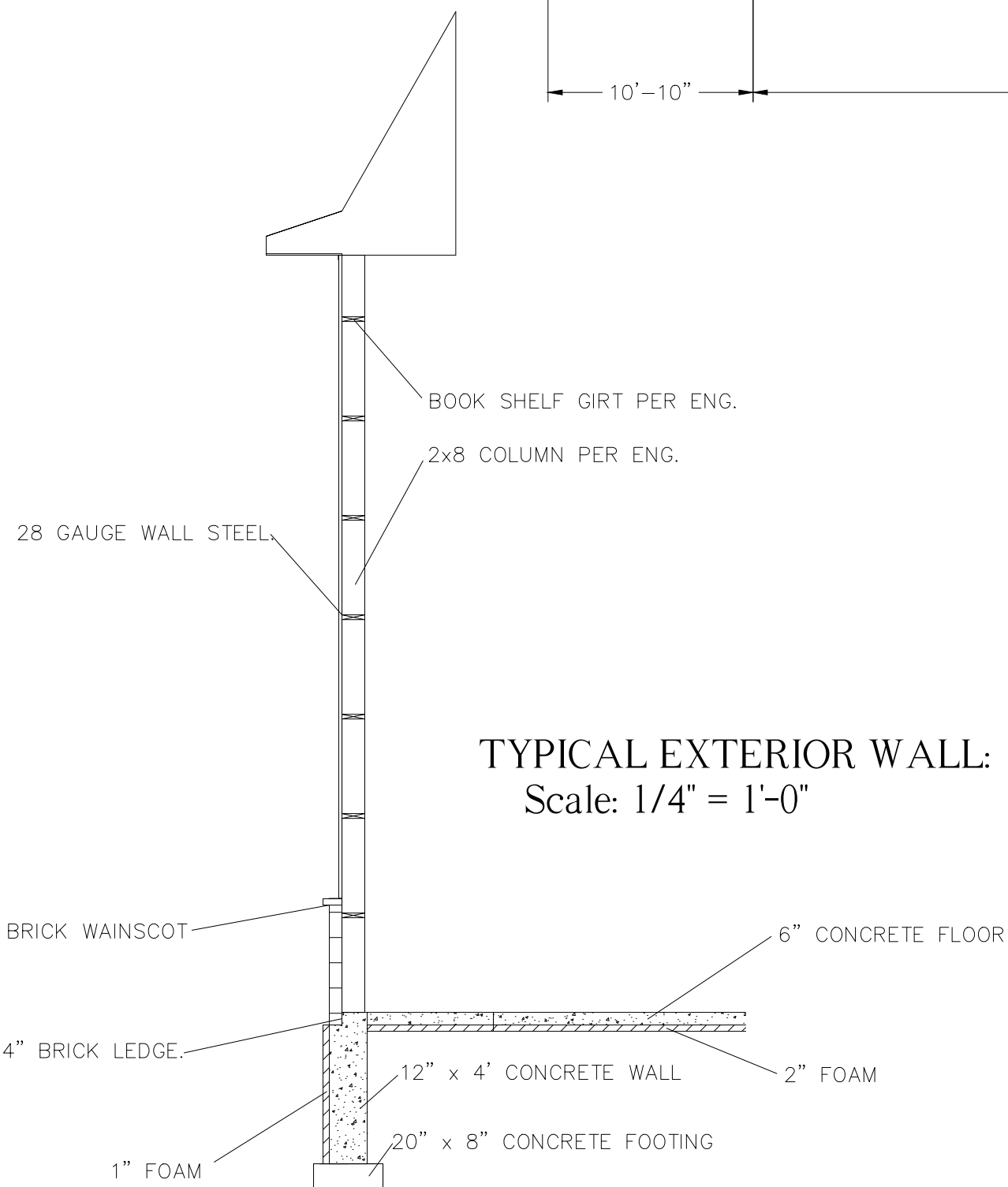
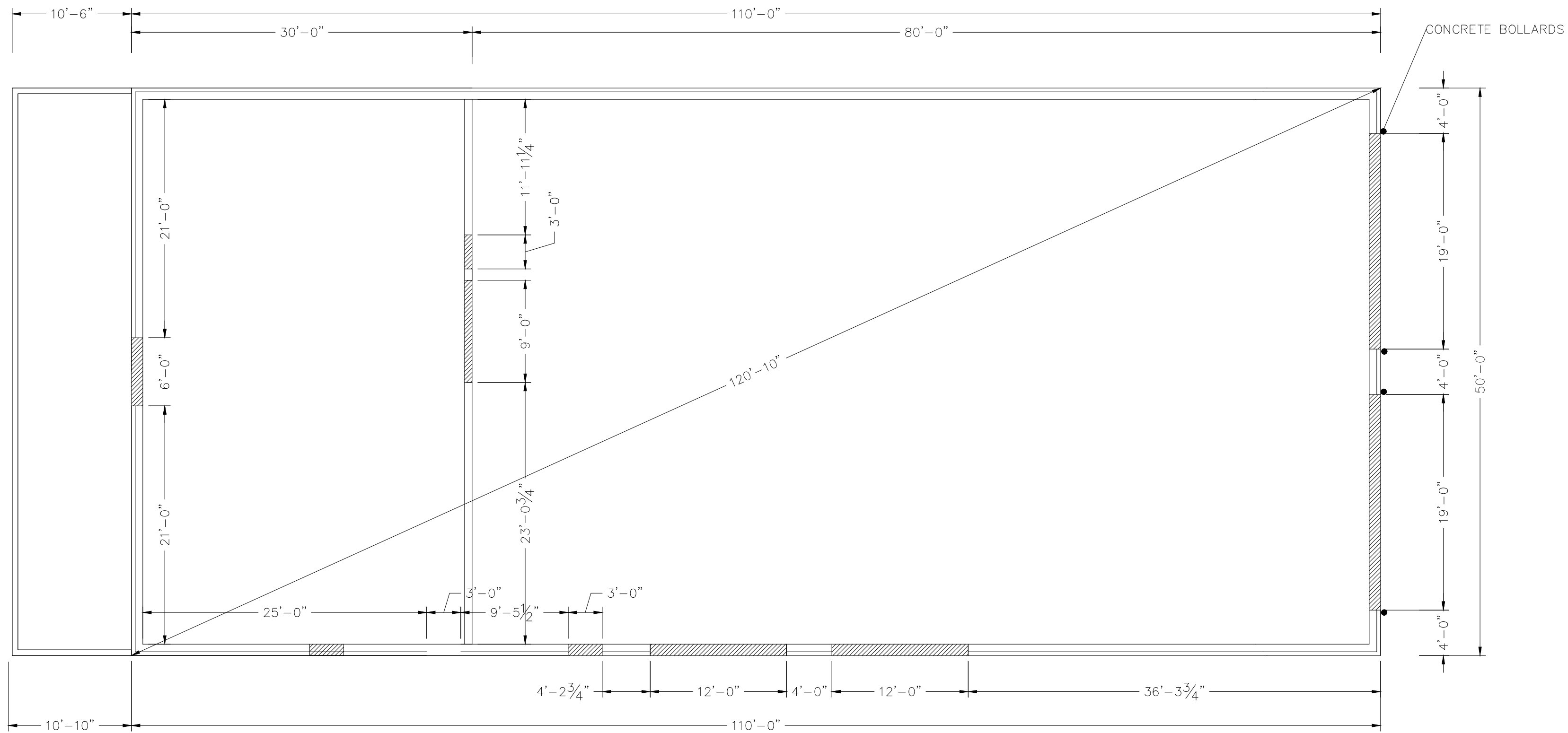
Owner: ANDERSON TRAILER LLC
 Project:
 Location: 4365 S 27th Street
 Project Manager: Chris Bower

Drawn By:
 Date:
 Revised By: Friesema
 Date Revised: 02/18/21

A Tradition of Building Excellence
 1811 Seminole Dr.
 Kansasville, WI 53139
 262.534.2926
 bowerdesignconst@yahoo.com



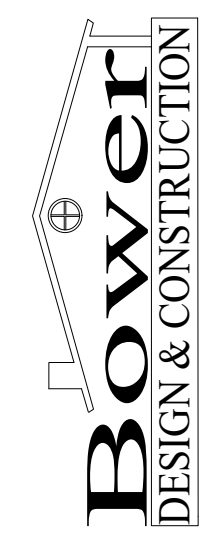
Job No.:
 Checked By:
 Approved By:
 Sheet No.: 2



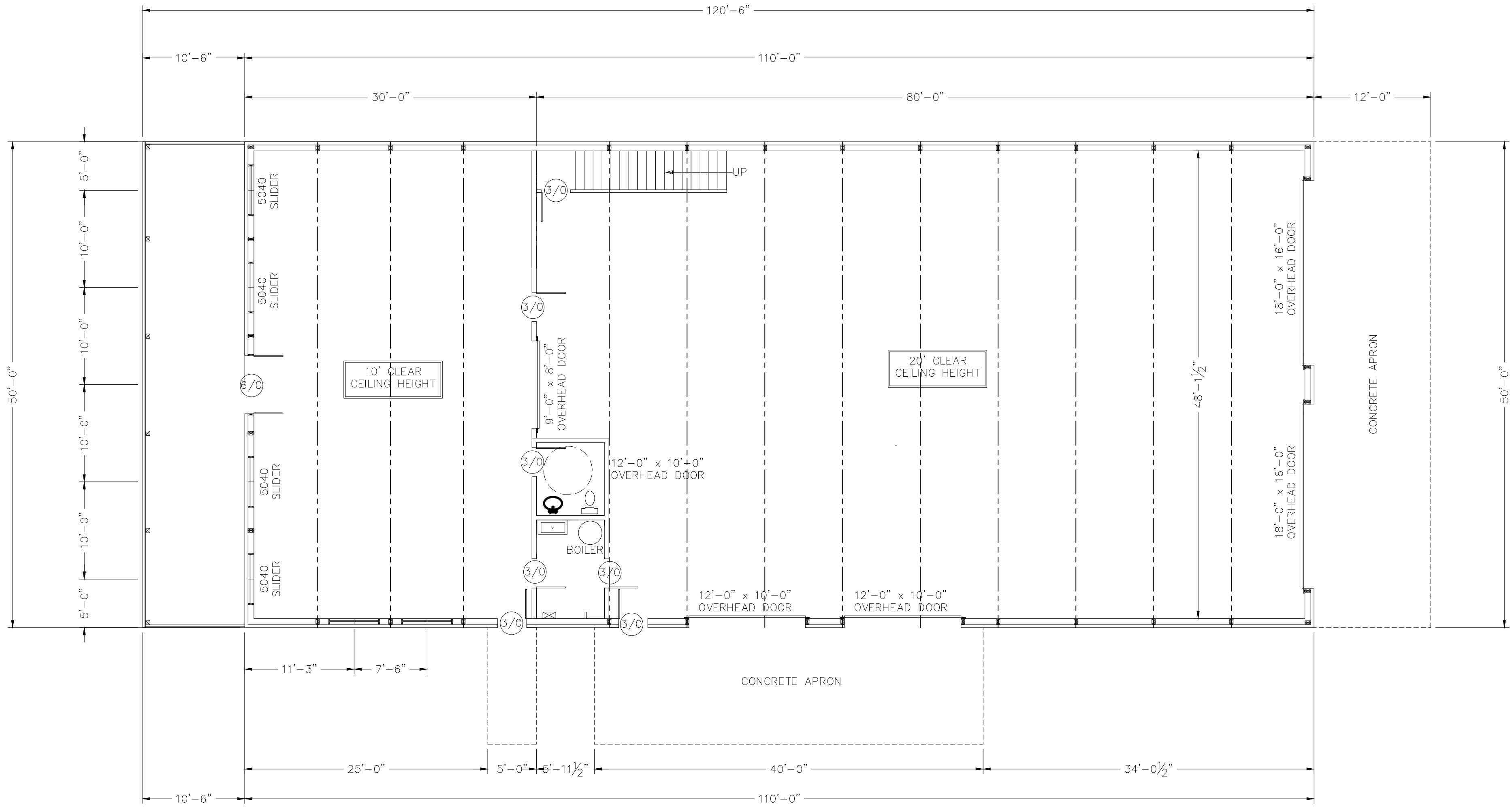
Owner: ANDERSON TRAILER LLC
 Project:
 Location: 4365 S 27th Street
 Project Manager: Chris Bower

Drawn By:
 Date:
 Revised By:
 Date Revised:

A Tradition of Building Excellence
 1811 Seminole Dr.
 Kansasville, WI 53139
 262.534.2926
 bowertdesignconst@yahoo.com

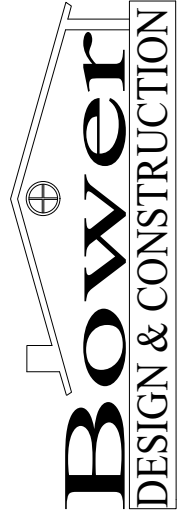


Job No.:
 Checked By:
 Approved By:
 Sheet No.: 3



FLOOR PLAN:
Scale: 1/8" = 1'-0"

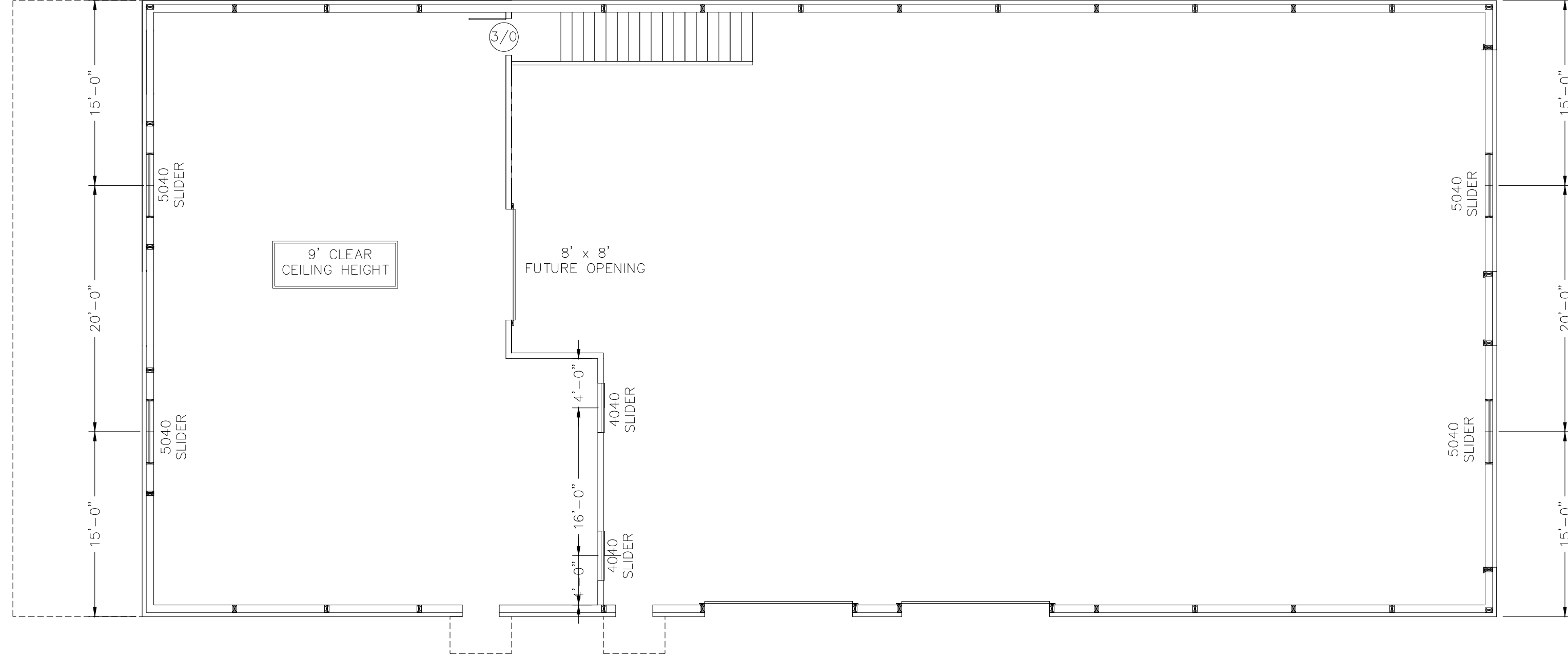
Job No.:
Checked By:
Approved By:
Sheet No.: 4



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Union Grove, WI 53182
262.534.2926
bowerdesignconst@gmail.com

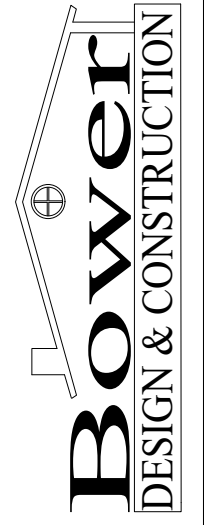
Drawn By:
Date:
Revised By:
Date Revised:

Owner: ANDERSON TRAILER LLC
Project:
Location: 4365 S 27th Street
Project Manager: Chris Bower



SECOND FLOOR PLAN:
Scale: 1/8" = 1'-0"

Job No.:
Checked By:
Approved By:
Sheet No.: 5



A Tradition of Building Excellence
1811 Seminole Dr.
Kansasville, WI 53139
262.534.2926
bowerdesignconst@yahoo.com

Drawn By:
Date:
Revised By:
Date Revised:

Owner: ANDERSON TRAILER LLC
Project:
Location: 4365 S 27th Street
Project Manager: Chris Bower

Anderson Trailer, LLC
4365 27th Street
Franksville, WI 53126

Property site plan drawing.

Due to the variation of the current grade, approximately 100 yards of clean fill would be brought in to level the existing land north to south, while maintain drainage to the west. The existing trees/bushes on the property would be removed and a 125' by 150' gravel area would be created to display trailers. The gravel area would display approximately 35-50 trailers parked in rows, ranging in size from 10' to 24'. A paved parking area would be created containing 4 parking spaces for customers, with a separate parking area for employees. A 6' wood stockade fence would be installed along the rear and sides of the property, and a 4' chain-link fence along the front to secure the trailers and provide privacy for existing neighbors. New trees would be planted along the rear and sides of the property, with shrubbery planted around the building and along the front of the property. It should be noted, that on occasion, one semi-truck / trailer that is owned by Anderson Trailer, LLC would be parked on the property.

Written Narrative of intended use:

Anderson Trailer, LLC
4365 S 27th Street

1. Agent: Christopher Bower
Bower Design & Construction
1818 S. Colony Ave.
Union Grove, WI 53182
262-543-2926
bowerdesignconst@gmail.com
2. General Contractor: Bower Design Construction
Architect: Lester Builders
Surveyor: Cardinal Engineering
Landscape: Grassman
3. Existing Zoning District:

Village of Caledonia & Village of Raymond
4. Current land use:

B-3 Commercial Service District
5. Proposed land use:

Occupy with a utility/cargo trailer and trailer accessory business. Anderson Trailers, LLC has been in business since January 2013 and sells new utility/cargo trailers & trailer accessories. At this time, Anderson Trailer, LLC does not repair or sell used trailers.
6. Land use designation(s) as depicted on the adopted Comprehensive Plan:

Complies with B-3 Commercial Service District
7. Description of Existing environmental features:

Vacant land.

8. Projected number of residents, employees, and/or daily customers:

Anderson Trailers, LLC currently has one-full time employee and potentially one part-time employee.

9. Proposed amount of dwelling units, floor area, open space ratios, and landscape area ratios:

NA

10. Resulting site density, floor area ratios, open space ratios, and landscape surface area ratios:

See attached grading plan.

11. Operational items relating to hours of operation, projected normal/peak water usage, sanitary sewer or septic loadings:

Anderson Trailers, LLC currently operates by appointment during the daylight hours afternoon/evenings on weekends and daytime during the weekends. Typical hours will be 8:00 and to 5:00 pm Monday- Saturdays.

12. Traffic generation:

Minimal traffic

13. Operational considerations relating to potential nuisance creation pertaining to the appropriate design of:

- A. Street access:

Street access will remain as it is currently.

- B. Traffic visibility:

Traffic visibility will remain as it is currently.

- C. Parking:

The gravel area would display approximately 35-50 trailers parked in rows, ranging in size from 10' to 24'. A paved parking area would be created containing 4 parking spaces for customers, with a separate parking area for employees.

- D. Loading:

Unloading will happen in the building

- E. Exterior storage:

See Section C above.

F. Exterior lighting:

Front entrance light.

G. Vibration:

None

H. Noise:

None

I. Air pollution:

None

J. Odor:

None

K. Electromagnetic radiation:

None

L. Glare and heat:

None

M. Fire and explosion:

None

N. Toxic or noxious materials:

None

O. Waste materials:

Only that as used as utility/cargo trailer & trailer accessory business

P. Drainage:

Due to the variation of the current grade, approximately 100 yards of clean fill would be brought in to level the existing land north to south, while maintain drainage to the west.

Q. Hazardous materials:

None

14. Exterior building and fencing materials:

Siding – metal; Roofing – metal; Fencing – Chain linked

15. Plans for future expansion:

No additional plans for future expansion.

16. Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

None



PLAN COMMISSION REPORT

Proposal: Building, Site & Operations Plan Review

Description: Review a request to approve a site plan for the construction and utilization of a 4,000 square-foot maintenance and grounds building located at 8425 STH 38.

Applicant(s): Martin Haas, B Squared Construction

Address(es): 8425 STH 38

Suggested Motion: That the Plan Commission recommends to the Village Board that the building, site, and operational plan for the construction of a 4,000 square-foot maintenance building located at 8425 STH 38 be approved with conditions outlined in Exhibit A for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed use will not adversely affect the surrounding property values.
3. The proposed building is consistent with the existing use on the property.

Owner(s): Bear County Holdings, LLC

Tax Key(s): 104-04-22-04-017-000

Lot Size(s): 222.2 acres

Current Zoning District(s): P-2, Recreational Park District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Recreational

Background: The applicant is requesting approval of a 4,000 square foot maintenance pole building located in the central portion of the 222 acres site at 8425 STH 38. Accessory buildings within the P-2 District require a BSO review prior to being issued building permits.

The proposed building is designed to be used as a storage facility for equipment and materials associated with the maintenance of the campground. The building will include heated floors, a bathroom, a mechanical room, and have the potential for the buildout of offices in the future. A 10'x80' portion of the building on the eastern elevation will be open-air as illustrated in your packet. The building exterior will consist of metal panels with a green painted footwall and roof, establishing a bottom, middle and top design which meets the Village design standard for the exterior. Metal panels for accessory buildings are an acceptable exterior material. This building is in the south-central portion of the property (Figure 1) and will not be seen from the road and will be located to the west of existing maintenance buildings on the property. The building will be connected to water and sewer and will need to meet all fire code regulations. The Caledonia Utility District does not have concerns with installation of water to the building as the property has a master meter serving the entire park. Storm water management is addressed by several existing onsite ponds. There will be no requirement for storm water management plan amendments as the result of this building being constructed with the expectation that the building will have gutter and downspouts directing runoff to the north towards the existing storm water ponds. Prior to any building permits being issued, the applicant will need to submit a grading plan and have it approved by the Engineering Department. No lighting is being proposed at this time, however, if lighting were to be installed, it would need to meet the Village standards and is outlined in Condition #8 in Exhibit A. No additional parking is being requested or is required as part of this development as it is a storage building and not being used for retail or commercial use. This site is a campground and has full foliage on site, therefore, no additional landscaping is being proposed.

Figure 1: Maintenance Building Location



If the Plan Commission is comfortable with the proposed, maintenance building, staff has drafted a suggested motion recommending approval of the 4,000 square-foot maintenance building located at 8425 STH 38 with conditions as shown in Exhibit A.

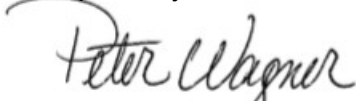
EXHIBIT A - CONDITIONS
Bear Country Holdings LLC Maintenance Building

1. Building Permit. The applicant must obtain a building permit card from the Village after paying all building and zoning fees. This card must be displayed in a prominent location at the project site, and a copy of these conditions must be kept at the project site at all times until the project has been completed.
2. Compliance. Failure to comply with the terms and conditions stated herein could result in the issuance of citation(s) and/or revocation of this permit.
3. Binding Effect. These conditions bind and are applicable to the Property Owner, Agent, and any other users of the Property Owner with respect to the uses on the Property.
4. Plans. The proposed 4,000 square-foot maintenance building shall be located, constructed, and utilized in accordance with the plans and documents received by the Village Planning Department on January 20, 2021.
5. Fire Department Approval. Owner shall obtain approval from the Village of Caledonia Fire Department and meet applicable codes.
6. Caledonia Sewer and Water Utility Districts. The property owner or designated agent must contact the Caledonia Sewer and Water Utility Districts regarding Utility District regulations for this site. Compliance with all regulations and requirements, as determined by the Caledonia Sewer and Water Utility Districts is required.
7. Engineering Department. The property owner or designated agent must contact the Village of Caledonia Engineering Department and must comply with all regulations and requirements of the Village of Caledonia Engineering Department.
8. Lighting. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway.
9. No Accumulation of Refuse and Debris. Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.
10. Property Maintenance Required. A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including

removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade. All drives shall be paved with asphalt. Parking areas shall be paved or have placed upon them compacted recycled asphalt. All drives and parking areas shall be maintained in a dust free condition.

11. Performance Standards. The applicant must comply with the provisions of Article VII, Division 4, Performance Standards of Chapter 20, Zoning, Racine County Code of Ordinances, as adopted by the Village of Caledonia.
12. Expiration. This approval will expire twelve (12) months from the date of the Village’s final approval unless substantial work has commenced following such grant. If this office determines that no substantial work has commenced, the project may not occur and will require the applicant to resubmit their plans for approval and incur all costs associated with the review.
13. Access. The applicant must allow any Village employee full and unlimited access to the project site at a reasonable time to investigate the project’s construction, operation, or maintenance.
14. Compliance with Law. The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 9, 14, 16 and 18 of the Village of Caledonia Code of Ordinances.
15. Agreement. Your accepting the site plan approval and beginning the project means that you have read, understand, and agree to follow all conditions of this approval. Therefore, Bear Country Holdings LLC and their heirs, successors, and assigns, including tenants, are responsible for full compliance with the above conditions.
16. Subsequent Owners. It is the property owner’s responsibility to inform any subsequent owner or operator of these conditions.

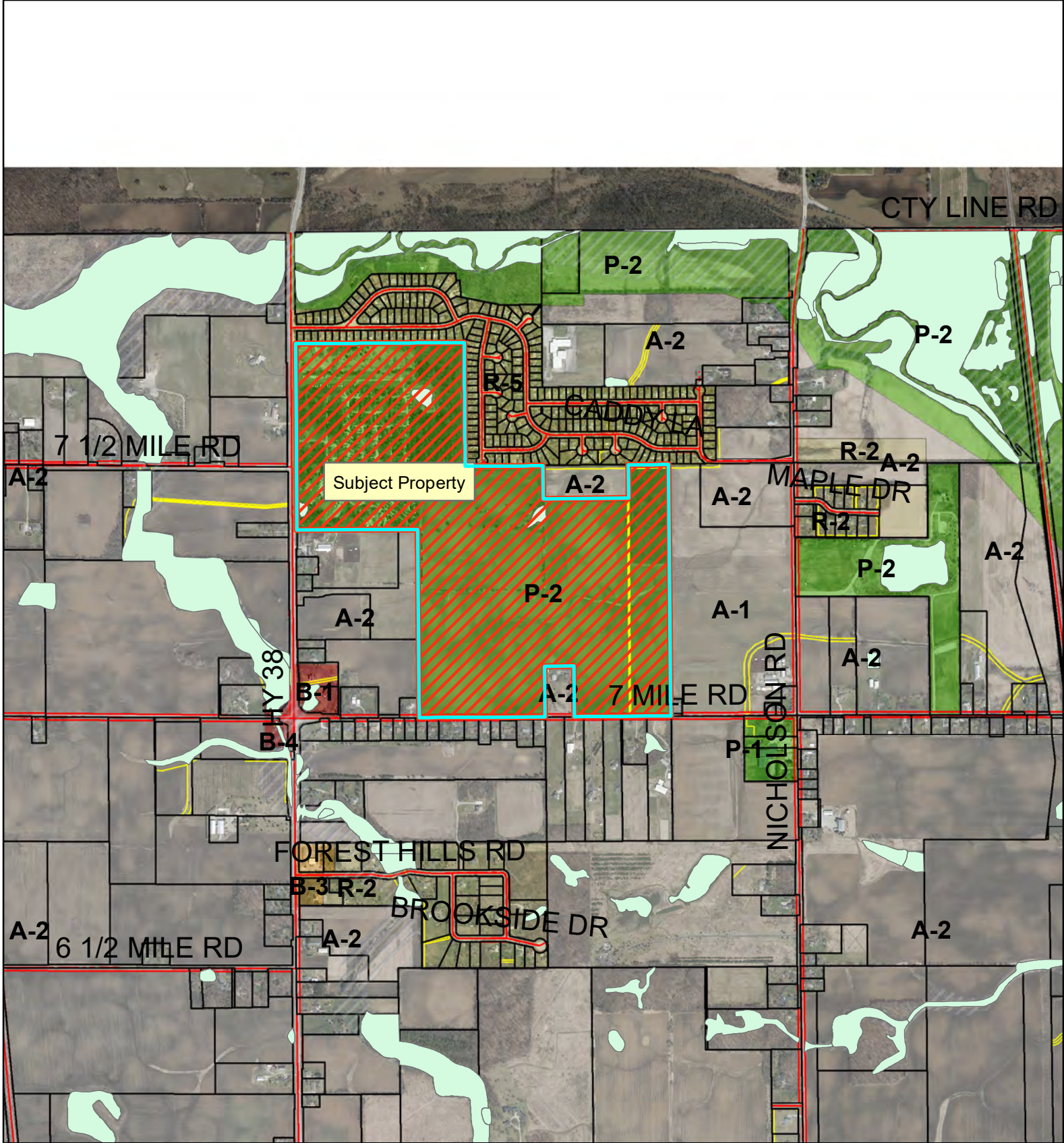
Respectfully submitted:




Peter Wagner, AICP
Development Director

Location Map

8425 STH 38 - Jellystone Campground



Legend

 8425_STH_38

B Squared Construction

Kaleb Haas 262-308-8750
Union Grove, Wi 53182

BSO Submittal Requirements

January 20, 2021

1. Petitioner: B Squared Construction, Martin Haas, MartyHaas.BSquaredConstruction@gmail.com 262-770-1784 Property owner: Bear Country Holdings, LLC, DBA Jelly Stone Park, Randy Isaacson mrsiemt@hotmail.com 715-577-2320
2. Petitioner's; Engineer: Midwest Manufacturing (building)
Surveyor: Nielsen Madsen & Barber, Mark Madsen mmadsen@nmbc.net 262-664-4612
Plumbing/Mechanicals: Northern Mechanicals, LLC, Scott Voge, scott@northernmechanicalusa.com 262-770-0221
Electrical: Lyons Electric, Tim Anderson, timanderson@lyons-electric.com 262-370-1589
3. Zoning District: P-2 (rec park district) – same zoning
4. Current land use long term camping
5. Proposed use: Maintenance and grounds building
6. Land use designation P-2 (rec park district)
7. Environmental features: high point of hill, lightly wooded
8. Projected number of employees: 3 to 10 seasonal
9. N/A
10. Site density: this area has 4 long term campsites and is landscaped with fence, bushes, and trees
11. Operational hours: May thru Sept 7:00 am to dark, 3 to 10 employees, Oct thru Apr 8:00 am to 4:00 pm, 0 to 4 employees
12. No additional traffic generation
13. Operational consideration: light maintenance / storage
14. Exterior building – steel, fencing – wood
15. Possible interior office buildout
16. This would be an expansion to the existing maintenance area. Post frame pole barn with steel outside and inside, heated floor, foam insulation, bathroom, mechanical room, and possible buildout for offices.

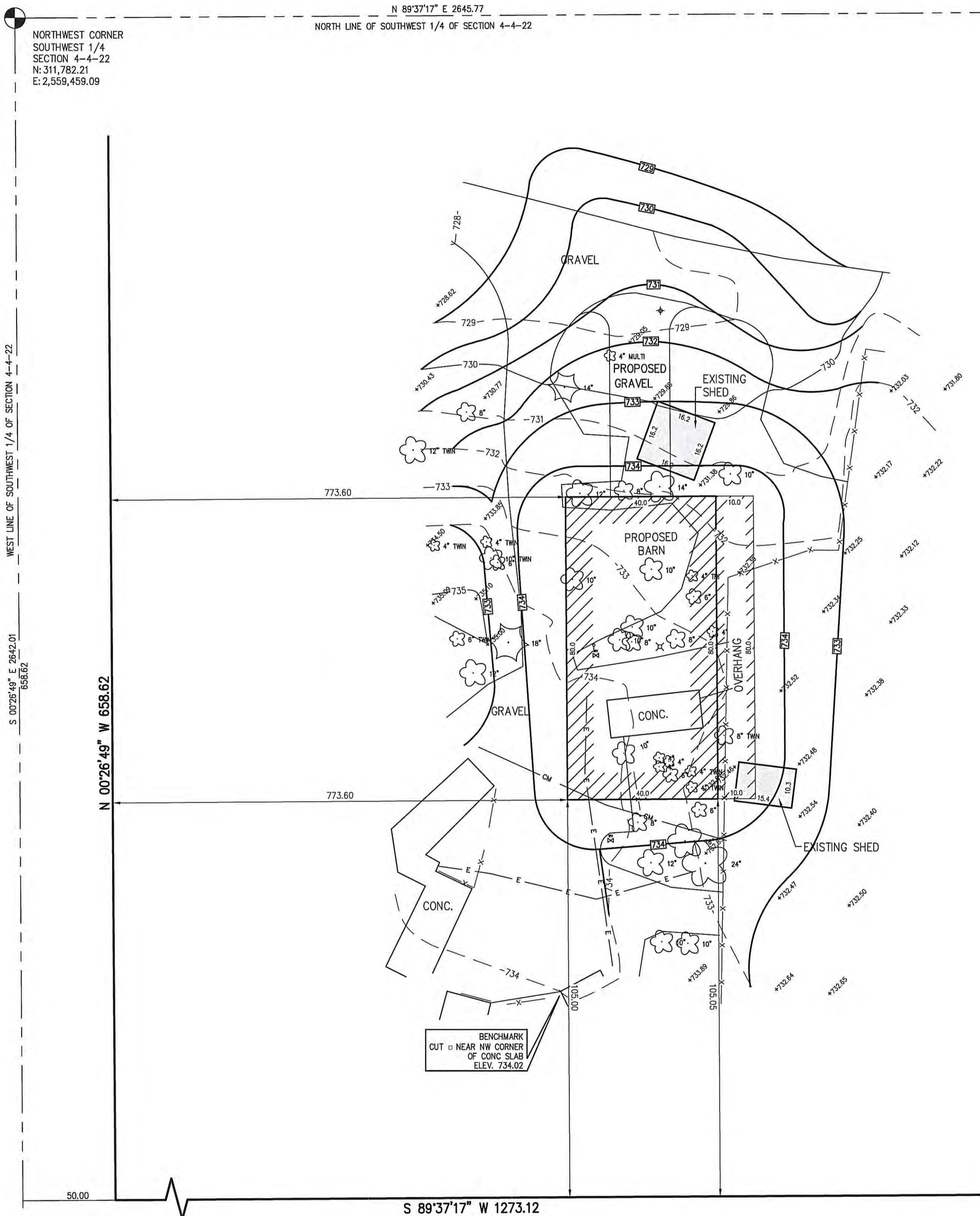
Plat of a survey for Bear Country Holdings LLC and B Squared Construction of Part of Parcel 104-04-22-04-017-000 in the Southwest 1/4 of Section 4-4-22 in the Village of Caledonia, Racine County, Wisconsin.

Certificate
The above-described property has been surveyed under my direction and the map hereon drawn is a correct representation thereof to the best of my knowledge and belief.

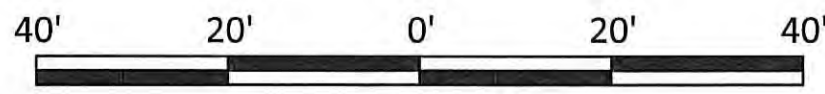
01/06/2021 *Mark R. Madsen*



Proposed Top of Foundation 734.50
Proposed Finished Yard Grade 733.83



S 89°37'17" W 1273.12



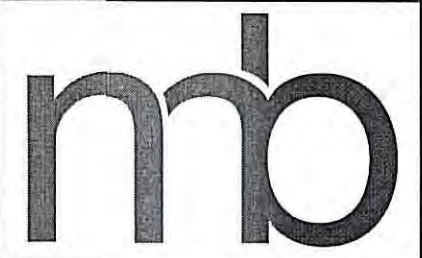
SCALE 1" = 20'

LEGEND

- = CLEAN OUT
- = FLOOD LIGHT
- = ELECTRIC LINE
- = FENCE
- = COMMUNICATION LINE
- = DECIDUOUS TREE
- = CONIFEROUS TREE
- = WATER VALVE

NOTES

- BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED ON NAD 1983 / 2011.
- ALL ELEVATIONS REFER TO NAVD OF 1988 (12)
- BUILDING DIMENSIONS DO NOT INCLUDE BRICK LEDGE, HOWEVER SETBACKS ARE TO BRICK LEDGE (IF ANY)
- ① GRAVEL ACCESS DRIVE REQ'D. MIN 6" DEPTH, 2" TO 3" AGG. 10' WIDE X _____ L.F.
 - ② SILT FENCE, _____ L.F. ±, ALSO REQ'D. AT SPOIL STOCKPILE TOE SLOPE.
- FIELD WORK 12-09-20 BY JWP/CRL



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS

1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

8425 STH 38 - JELLYSTONE
PLAT OF SURVEY WITH TOPOGRAPHY
FOR
B SQUARED CONSTRUCTION
VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

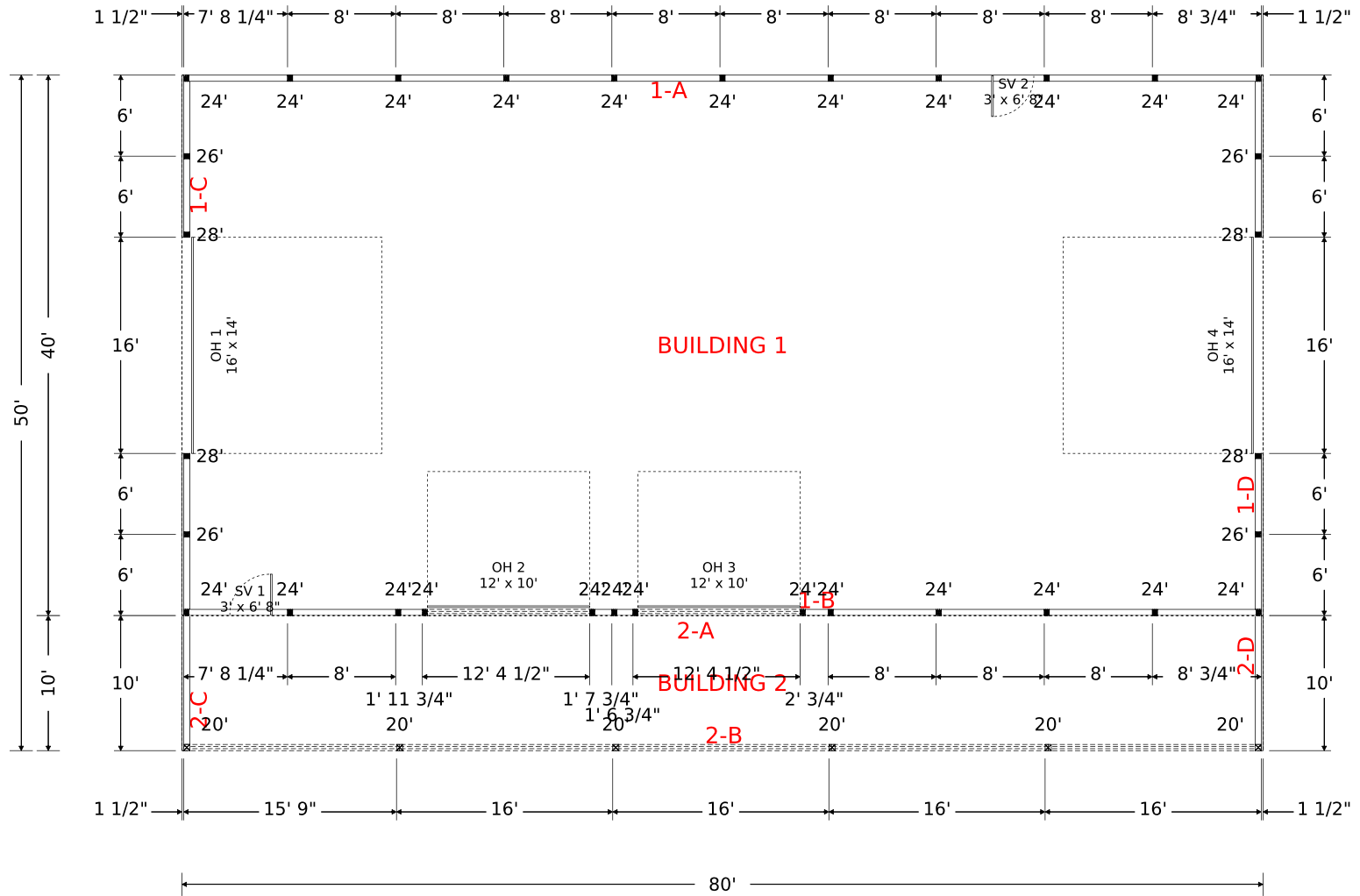
NO.	REVISION	BY	DATE

PROJ. MGR: _____ MRM
DRAFTED: _____ DMB
DATE: _____ 12-23-20
CHECKED: _____ MRM
DATE: _____ 12-23-20

2017.0076.03

SHEET
1 OF **1**

FLOOR PLAN

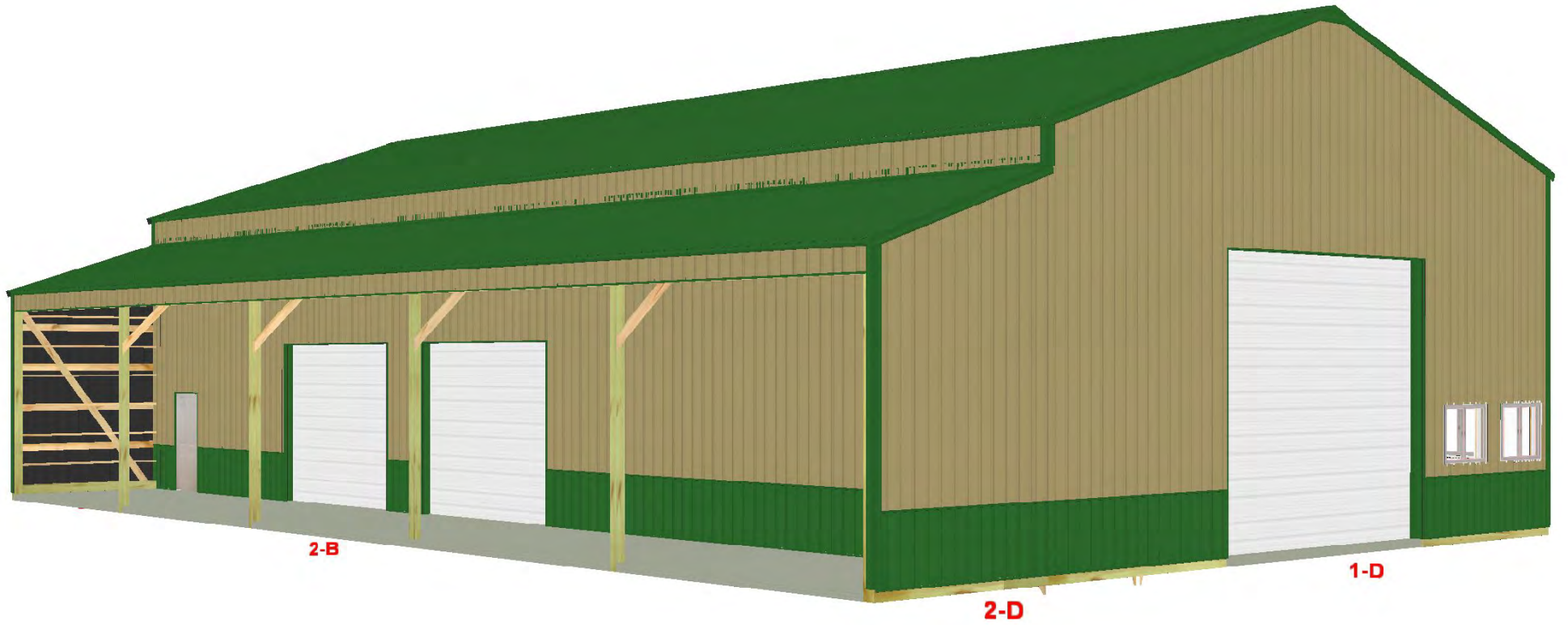




1-A

1-C

2-C



MEMORANDUM

Date: February 17, 2021

To: Plan Commission
Village Board

From: Tom Lazcano P.E. *Tom Lazcano*
Public Works Director

Re: DeBack Farms Business Park Certified Survey Map
Parcel ID 104-04-22-30-015-202

The Engineering Department has received a Certified Survey Map (CSM) from Adam Artz of Pinnacle Engineering Group on behalf of Wispark, LLC. The CSM was prepared by John Konopacki of the Pinnacle Engineering Group.

This is the third CSM for the DeBack Farms Business Park located in TID #4. The property is located between Four Mile Road and Adams Road and also East of the East Frontage Road. The existing parcel is 146.865 acres. The proposed CSM is to split the parcel into multiple Lots and Outlots for future development.

This CSM is for the creation of 4 Lots and 3 Outlots. Lot 2 is for a proposed development that is currently in the process of being reviewed by the Village. This CSM is in conformance with the DeBack Farms Business Park Development Plan that has been submitted and used for the proposed Business Park.

The existing parcel is currently vacant. The parcel is located within the Sanitary Sewer & Water Service Area. All Lots will need to be connected to Sanitary Sewer & Water service. These connections will be the responsibility of the developers and may be subject to connection fees.

The parcel has proposed sanitary sewer, water, and storm sewer easements that need to be signed and recorded to allow for services to future developments on the numbered Lots.

The Village Board has approved a Development Agreement with WisPark LLC for the development of the DeBack Farms Business Park. Any and all requirements of that Development Agreement shall be followed with the review and approval of this CSM.

After reviewing the WisPark LLC / DeBack Farms Business Park CSM, the following motion is recommended.

Move to conditionally approve the WisPark LLC / DeBack Farms Business Park CSM subject to the following:

- 1. Address the Village's comments/changes to the draft CSM prior to recording.**

- 2. The necessary sanitary sewer, water, and storm water easements be executed by WisPark prior to recording of the CSM.**
- 3. All conditions of the Development Agreement and Addenda between WisPark LLC and the Village of Caledonia for the development of the DeBack Farms Business Park shall be incorporated as necessary.**
- 4. There shall be a Conditional Use Review in which all future developments building on Lots 1, 2, 3, 4 and any future Lot divisions shall conform.**
- 5. There shall be a Building Design Standards Review in which all future developments building on Lots 1, 2, 3, 4 and any future Lot divisions shall conform to Title 16 Chapters 3 & 4.**
- 6. The CSM is subject to the Land Division per Lot fee.**
- 7. All development on this CSM must conform to all Ordinances in Titles 9, 14, 15, 16 and 18.**

CERTIFIED SURVEY MAP NO. _____

Being a redivision of all of Lot 2, Certified Survey Map No. 3302, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

- SEE SHEET 9 FOR BOUNDARY CURVE & LINE TABLES
- SEE SHEET 11 FOR NO ACCESS AND VISION CORNERS DETAIL

Subject Property Zoning: M-3: Heavy Industrial District
Tax Key Number: #104-04-22-30-015-202

NW CORNER, NW 1/4 SEC. 30, T4N, R22E (CONC. MON. W/ BRASS CAP)

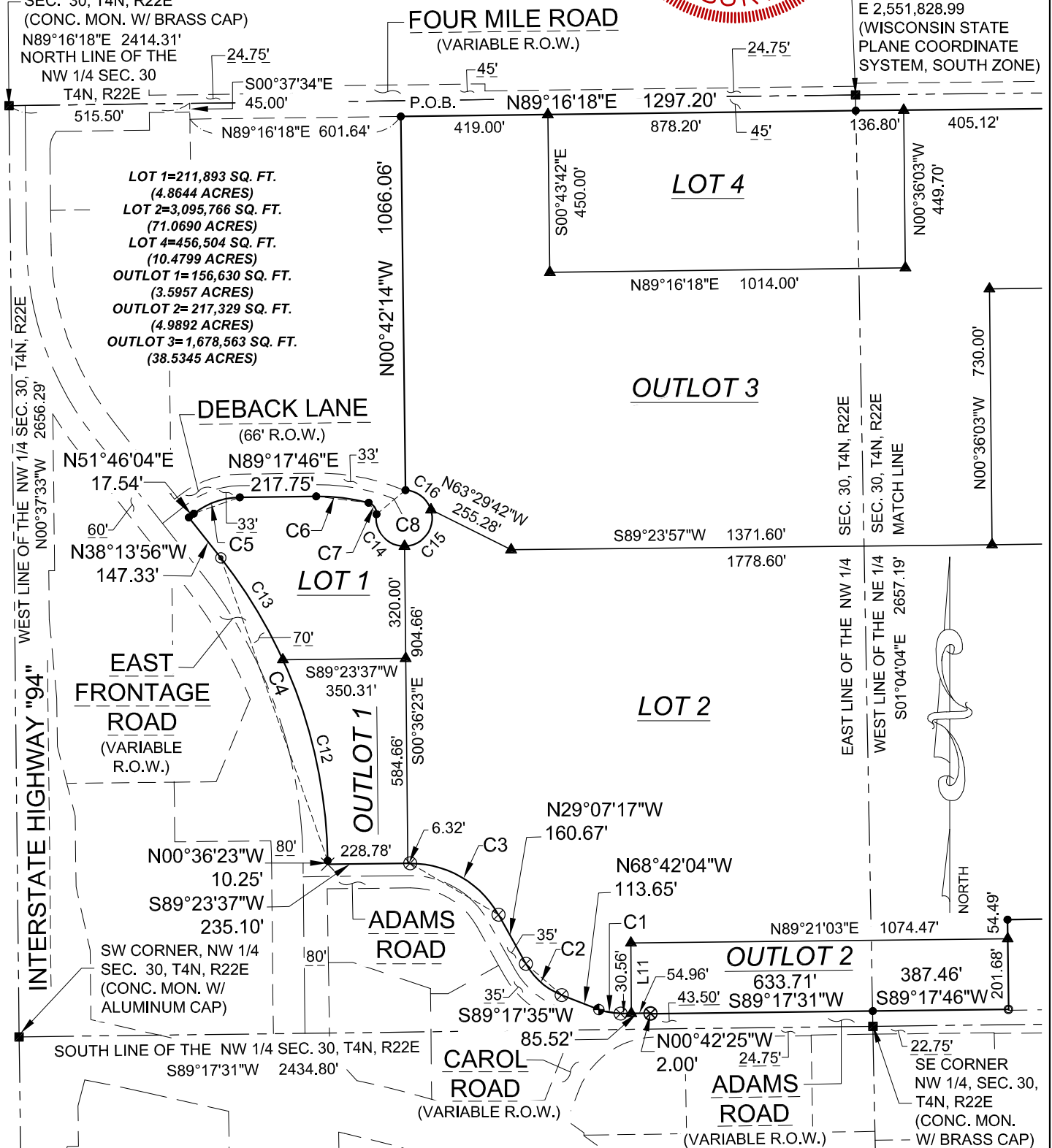
LEGEND:

- - Denotes Found 1" Iron Pipe
- ⊗ - Denotes Found 3/4" Iron Pipe
- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- - Denotes Found 3/4" Iron Rebar
- ▲ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
- ⊕ - Denotes Found Mag Nail
- ⊗ - Denotes Found Chiseled Cross
- ⊙ - Denotes Well
- (R) - Denotes "Recorded As"
- ▨ - Denotes No Access

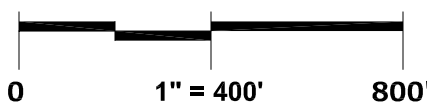


DECEMBER 8, 2020

NE CORNER, NW 1/4 SEC. 30, T4N, R22E (CONC. MON. W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE)



GRAPHICAL SCALE (FEET)



Prepared for: WISPARK LLC
231 W. Michigan Street
Milwaukee, WI 53203

Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

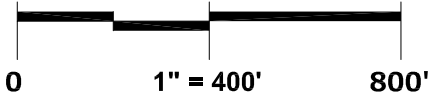
This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 1 OF 12

CERTIFIED SURVEY MAP NO. _____

Being a redivision of all of Lot 2, Certified Survey Map No. 3302, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

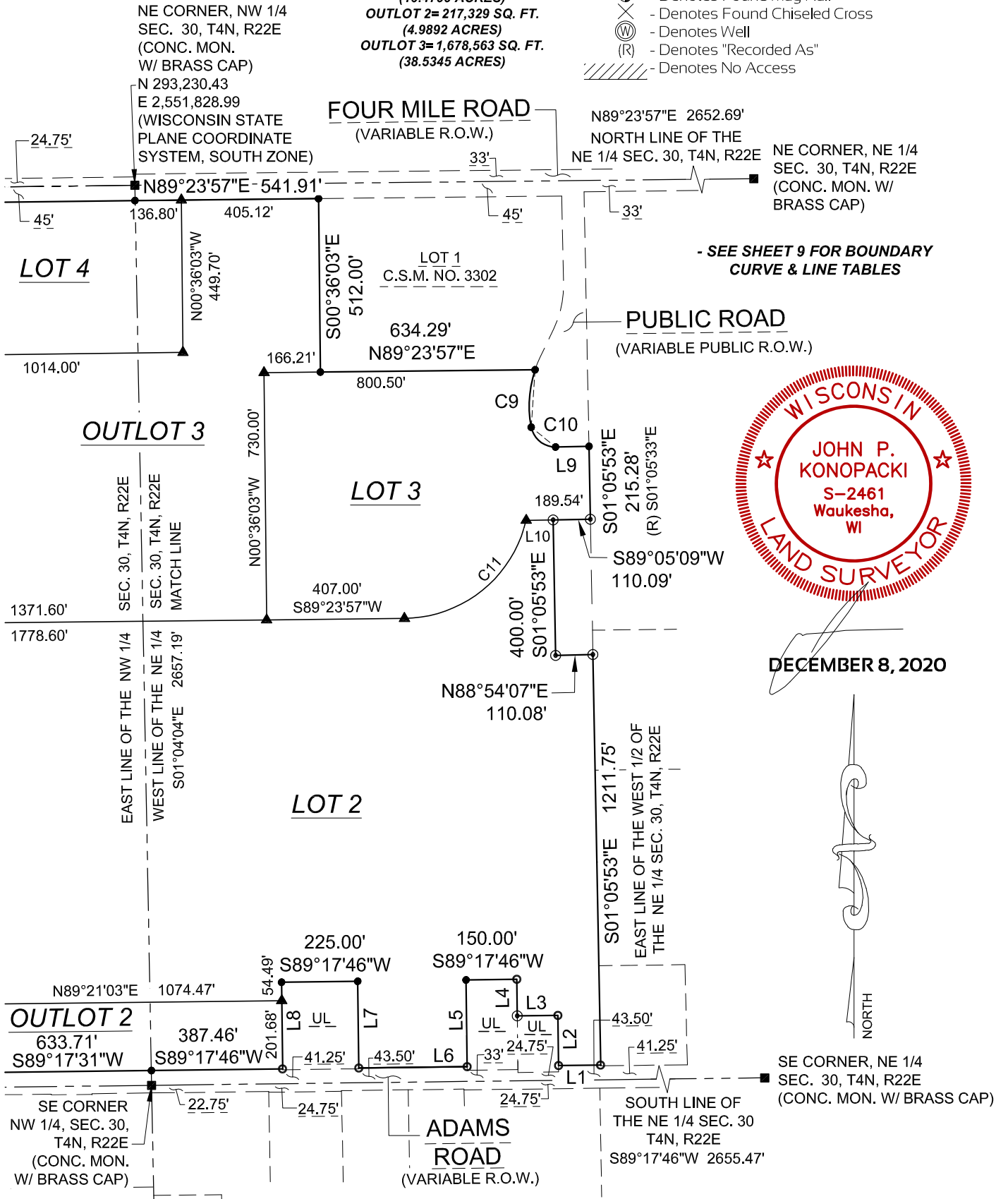
GRAPHICAL SCALE (FEET)



LOT 2=3,095,766 SQ. FT.
(71.0690 ACRES)
LOT 3= 580,771 SQ. FT.
(13.3327 ACRES)
LOT 4=456,504 SQ. FT.
(10.4799 ACRES)
OUTLOT 2= 217,329 SQ. FT.
(4.9892 ACRES)
OUTLOT 3= 1,678,563 SQ. FT.
(38.5345 ACRES)

LEGEND:

- ⊙ - Denotes Found 1" Iron Pipe
- ⊗ - Denotes Found 3/4" Iron Pipe
- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- - Denotes Found 3/4" Iron Rebar
- ▲ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
- ⊕ - Denotes Found Mag Nail
- ⊗ - Denotes Found Chiseled Cross
- ⊙ - Denotes Well
- (R) - Denotes "Recorded As"
- //// - Denotes No Access



DECEMBER 8, 2020



Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD I SUITE 100
BROOKFIELD, WI 53186
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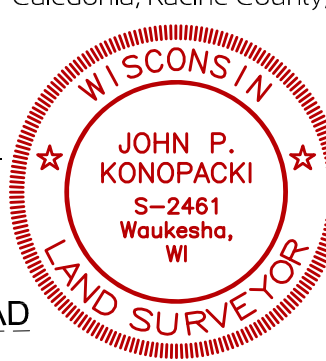
PEG JOB#390.10
SHEET 2 OF 12

CERTIFIED SURVEY MAP NO. _____

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DECEMBER 8, 2020

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE)

NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

FOUR MILE ROAD
(VARIABLE R.O.W.)

NOTES:

- Wetlands delineated by Wetland & Waterway Consulting, LLC. on September 24, 2015.
- Flood Zone Classification: The property lies with in Zone "X" of the Flood Insurance Rate Map Community Panel No. 5510IC0087D with an effective date of MAY 02, 2012. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.

LOT 1
C.S.M. NO. 3219

DEBACK LANE
(66' R.O.W.)

LOT 1

NO ACCESS PER
DOC. 2344842 &
2276427

EAST FRONTAGE ROAD
(VARIABLE R.O.W.)

OUTLOT 1

UNPLATTED LANDS

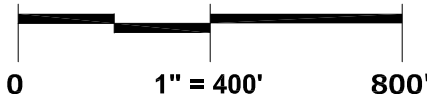
SW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/
ALUMINUM CAP)

SOUTH LINE OF THE NW 1/4 SEC. 30, T4N, R22E
S89°17'31"W 2434.80'

ADAMS ROAD
LOT 1
C.S.M. NO. 3123

CAROL ROAD
(VARIABLE R.O.W.)

GRAPHICAL SCALE (FEET)



Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD I SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 3 OF 12

LOT 4

AREAS OF
12% SLOPES
OR GREATER

WETLAND

POND

OUTLOT 3

100 YEAR HIGH WATER
LIMITS FOR DEPRESSION
ELEVATION = 764.54

POND

10 UTILITY EASEMENT
PER CSM 3219

WETLANDS

LOT 2

POND EASEMENT
AGREEMENT PER
DOC. 2348196.

LOT 1
ADAMS ROAD
C.S.M. NO. 3123

LOT 2

LOT 3

OUTLOT 2

WETLAND

NORTH

EAST LINE OF THE NW 1/4
SEC. 30, T4N, R22E

WEST LINE OF THE NE 1/4
SEC. 30, T4N, R22E

MATCH LINE

EAST LINE OF THE NW 1/4
SEC. 30, T4N, R22E

WEST LINE OF THE NE 1/4
SEC. 30, T4N, R22E

S01°04'04"E 2657.19'

WEST LINE OF THE NW 1/4 SEC. 30, T4N, R22E
N00°37'33"W 2656.29'

LOT 2
C.S.M. NO. 2995

INTERSTATE HIGHWAY "94"

CERTIFIED SURVEY MAP NO. _____

Being a redivision of all of Lot 2, Certified Survey Map No. 3302, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

NOTES:

- All measurements have been made to the nearest one-hundredth of a foot and all angular measurements have been made to the nearest one second.
- Right of Way widths and locations are based on Certified Survey Map No. 3219 & Certified Survey Map No. 3302.
- Bearings refer to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The north line of the Northeast 1/4 of Section 30, Township 4 North, Range 22 East has a reference bearing of N89°23'57"E.
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Reference Benchmark: Concrete monument with brass cap at the North corner Section 30, Town 4 North, Range 22 East, Elevation = 782.82.

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

N89°23'57"E 2652.69'
NORTH LINE OF THE
NE 1/4 SEC. 30, T4N, R22E
NE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/
BRASS CAP)

PARCEL 1
C.S.M. NO. 1155

PUBLIC ROAD
(VARIABLE PUBLIC R.O.W.)

LEGEND:

- - Denotes Found 1" Iron Pipe
- ⊗ - Denotes Found 3/4" Iron Pipe
- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- - Denotes Found 3/4" Iron Rebar
- ▲ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
- ⊕ - Denotes Found Mag Nail
- ⊗ - Denotes Found Chiseled Cross
- ⊙ - Denotes Well
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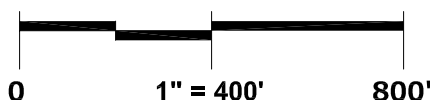


DECEMBER 8, 2020

SE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)

SOUTH LINE OF
THE NE 1/4 SEC. 30
T4N, R22E
S89°17'46"W 2655.47'

GRAPHICAL SCALE (FEET)



Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

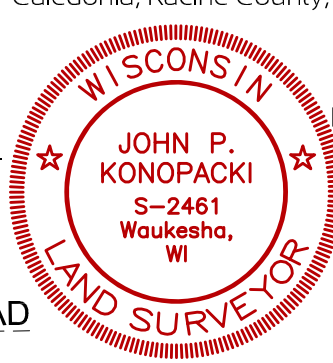
PEG JOB#390.10
SHEET 4 OF 12

CERTIFIED SURVEY MAP NO. _____

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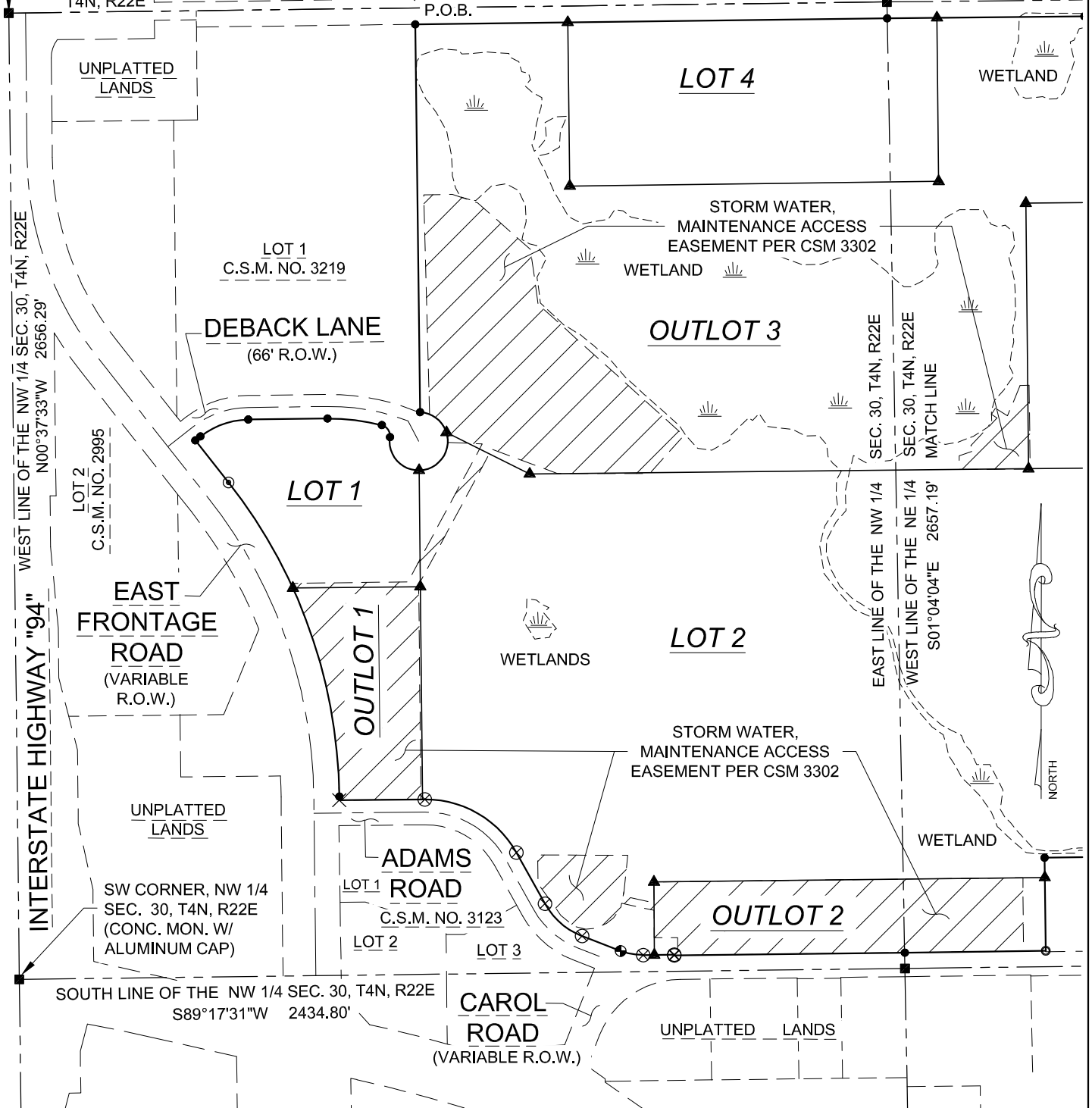


DECEMBER 8, 2020

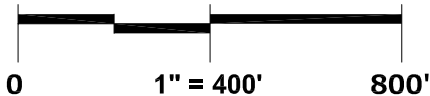
NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE)

NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

FOUR MILE ROAD
(VARIABLE R.O.W.)



GRAPHICAL SCALE (FEET)



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PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
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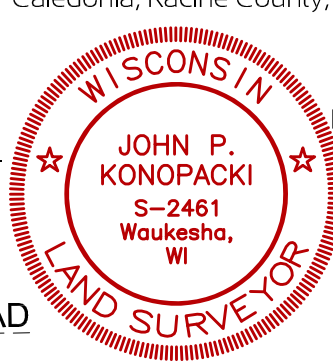
PEG JOB#390.10
SHEET 5 OF 12

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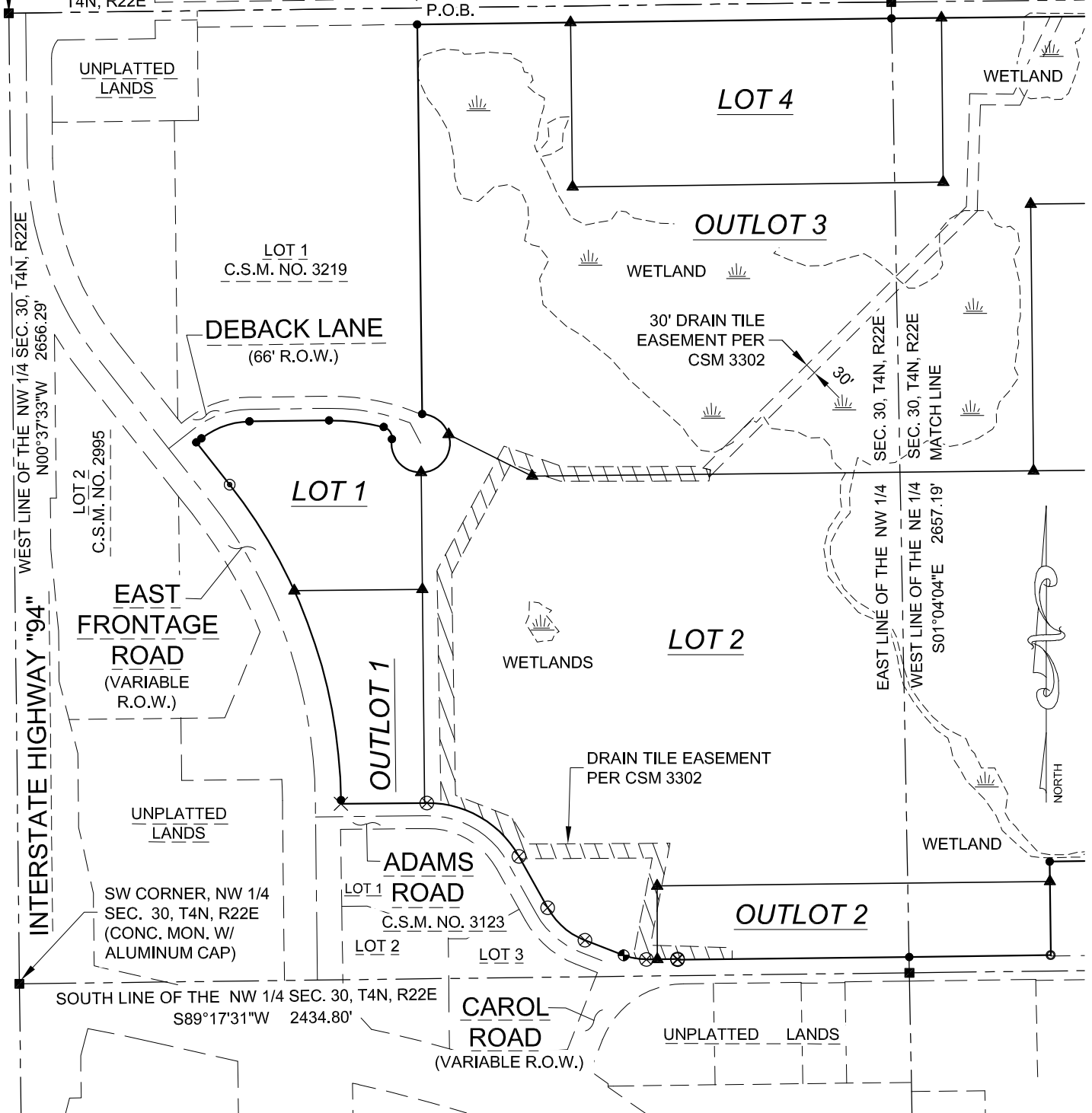


DECEMBER 8, 2020

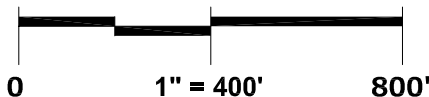
NE CORNER, NW 1/4
SEC. 30, T4N, R22E
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N 293,230.43
E 2,551,828.99
(WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE)

NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

FOUR MILE ROAD
(VARIABLE R.O.W.)



GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD I SUITE 100
BROOKFIELD, WI 53186
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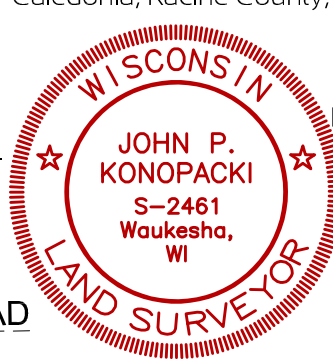
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SHEET 6 OF 12

CERTIFIED SURVEY MAP NO. _____

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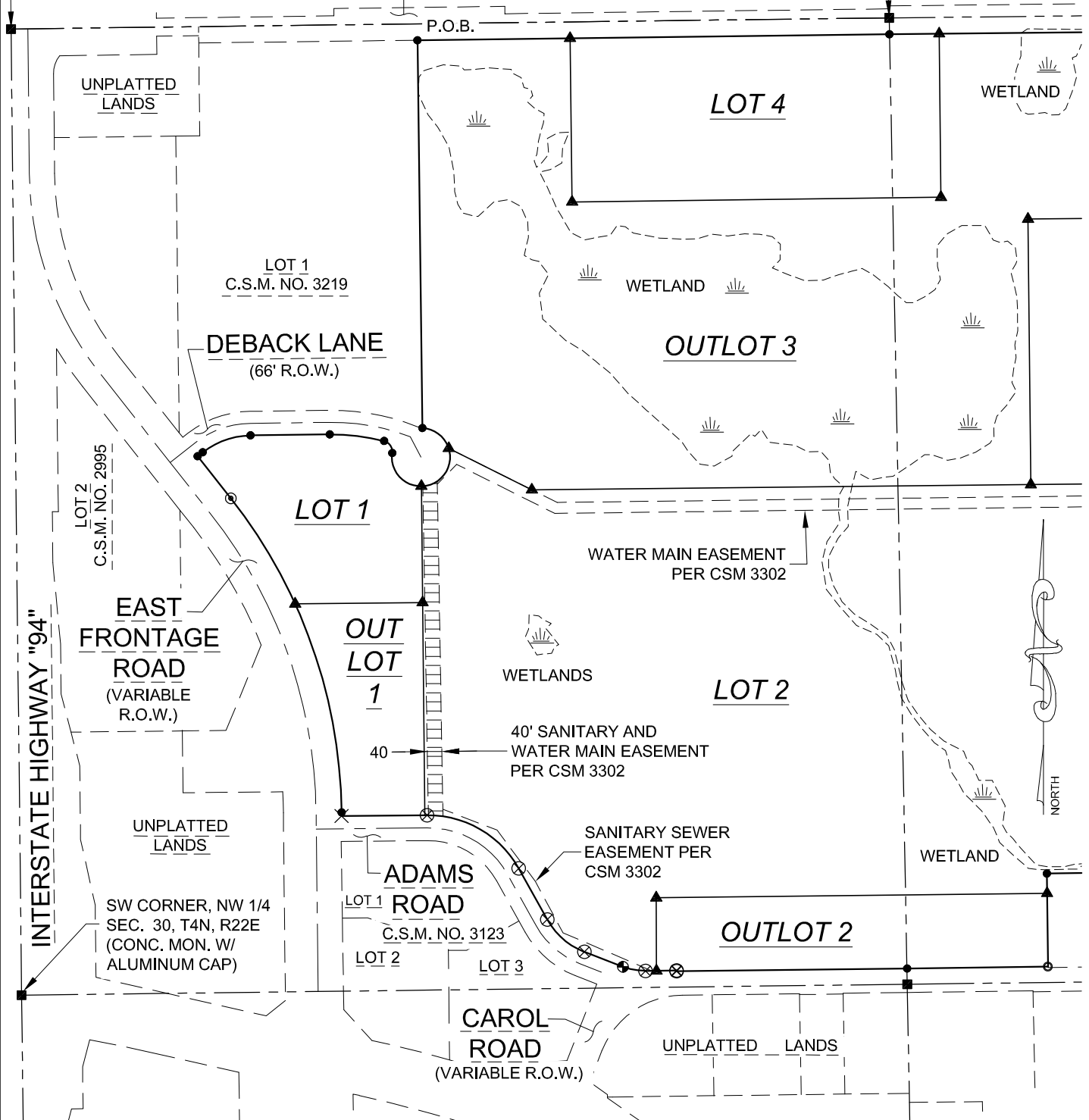


DECEMBER 8, 2020

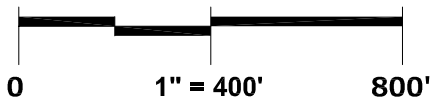
NE CORNER, NW 1/4
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W/ BRASS CAP)
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NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)

FOUR MILE ROAD
(VARIABLE R.O.W.)



GRAPHICAL SCALE (FEET)



NOTE: STORM WATER,
SANITARY SEWER AND
WATER MAIN EASEMENTS
TO BE RECORDED VIA
SEPARATE DOCUMENT

Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
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PEG JOB#390.10
SHEET 7 OF 12

CERTIFIED SURVEY MAP NO. _____

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DECEMBER 8, 2020

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
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SYSTEM, SOUTH ZONE)

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SEC. 30, T4N, R22E
(CONC. MON. W/
BRASS CAP)

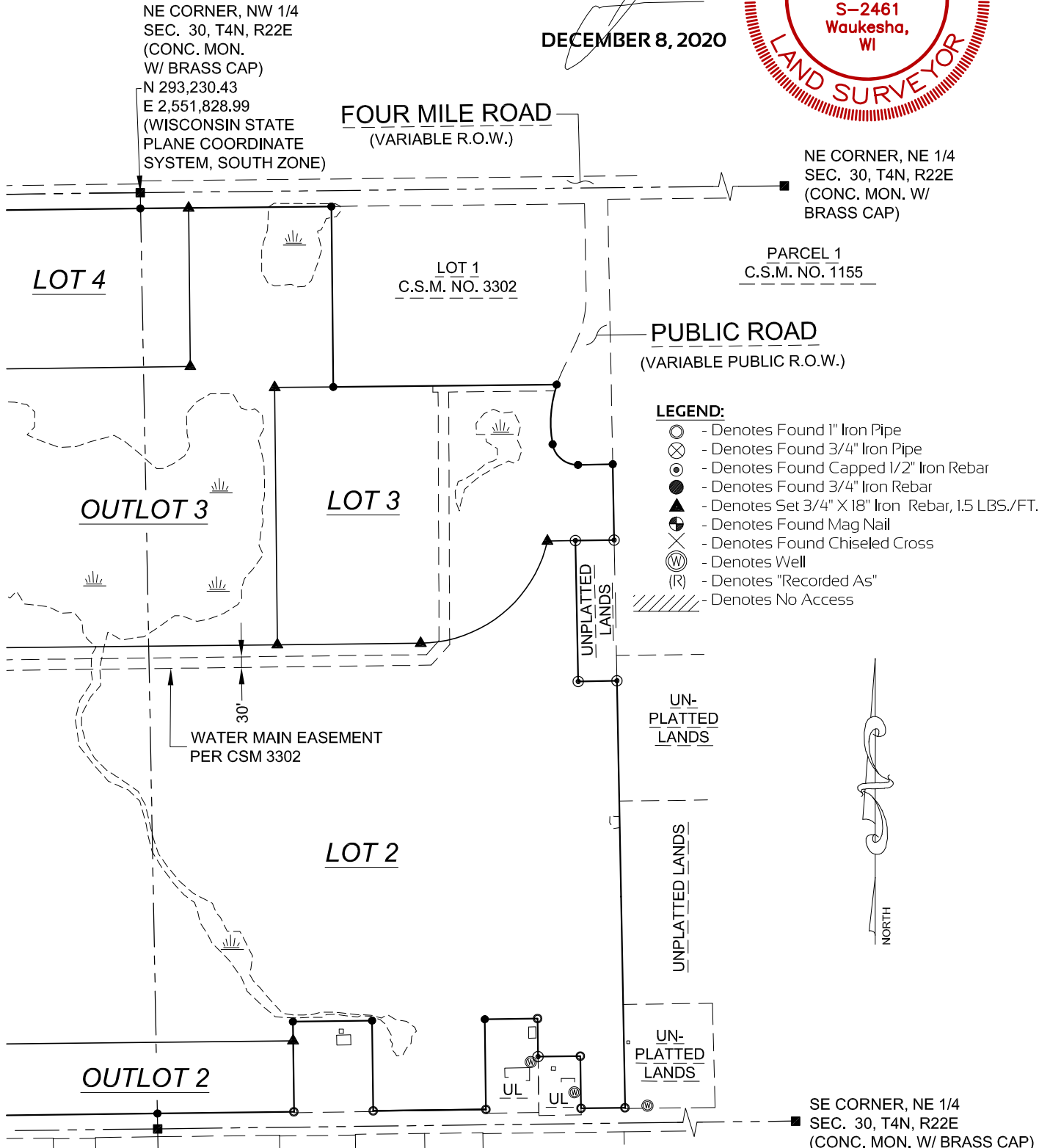
PARCEL 1
C.S.M. NO. 1155

FOUR MILE ROAD
(VARIABLE R.O.W.)

PUBLIC ROAD
(VARIABLE PUBLIC R.O.W.)

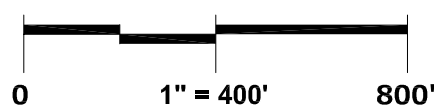
LEGEND:

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- /// - Denotes No Access



30'
WATER MAIN EASEMENT
PER CSM 3302

GRAPHICAL SCALE (FEET)



NOTE: STORM WATER,
SANITARY SEWER AND
WATER MAIN EASEMENTS
TO BE RECORDED VIA
SEPARATE DOCUMENT

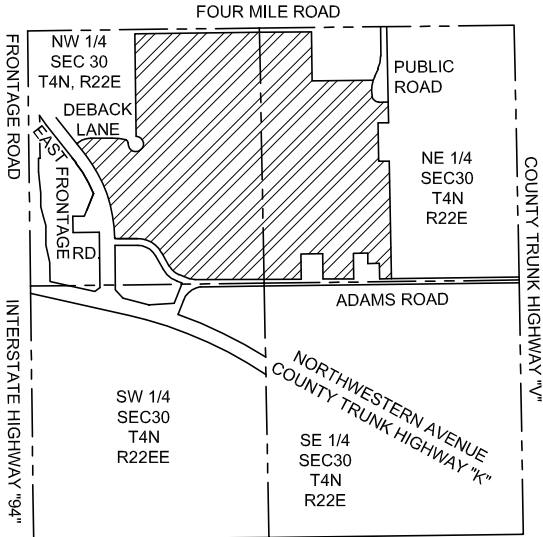
Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
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CERTIFIED SURVEY MAP NO. _____

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VICINITY MAP SCALE 1":2000'

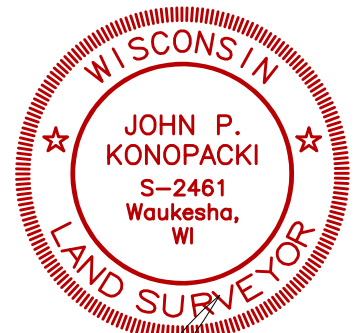


BOUNDARY LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	S89°17'46"W	124.98'
L2	N00°42'14"W	148.00'
L3	S89°17'46"W	120.00'
L4	N00°42'14"W	108.17'
L5	S00°42'14"E	256.17'
L6	S89°17'46"W	320.00'
L7	N00°42'14"W	256.17'
L8	S00°42'14"E	256.17'
L9	N88°54'07"E	98.70'
L10	S89°05'09"W	79.45'
L11	N00°13'48"W	200.76'

BOUNDARY CURVE TABLE							
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT	TANGENT
C1	63.37'	165.00'	022°00'21"	N79°42'15"W	62.98'	N89°17'35"E	S68°42'04"E
C2	138.16'	200.00'	039°34'47"	N48°54'41"W	135.43'	S68°42'04"E	N29°07'17"W
C3	305.84'	285.00'	061°29'06"	N59°51'50"W	291.37'	N29°07'17"W	S89°23'37"W
C4	932.12'	1420.00'	037°36'36"	N19°25'38"W	915.47'	N00°37'19"W	N38°13'56"W
C5	142.13'	217.00'	037°31'42"	N70°31'55"E	139.61'	S89°17'46"W	S51°46'04"W
C6	151.13'	567.00'	015°16'18"	S83°04'05"E	150.68'	N75°25'56"W	S89°17'46"W
C7	43.64'	30.00'	83°20'42"	S33°45'35"E	39.89'	N07°54'47"E	N75°25'56"W
C8	384.45'	80.00'	275°20'23"	N50°14'35"E	107.74'	S87°25'36"E	N07°54'47"E
C9	171.75'	333.00'	029°33'04"	S03°52'45"W	169.85'	S18°39'18"W	S10°53'47"E
C10	100.78'	72.00'	080°12'06"	S50°59'50"E	92.76'	S10°53'47"E	N88°54'07"E
C11	498.18'	373.00'	076°31'29"	S51°08'13"W	461.97'	N89°23'57"E	N12°52'28"E
C12	591.39'	1420.00'	023°51'43"	N12°33'11"W	587.12'	N00°37'19"W	N24°29'02"W
C13	340.73'	1420.00'	013°44'54"	N31°21'29"W	339.91'	N24°29'02"W	N38°13'56"W
C14	137.56'	80.00'	098°31'10"	S41°20'48"E	121.23'	S07°54'47"W	N89°23'37"E
C15	149.13'	80.00'	106°48'19"	N35°59'27"E	128.46'	N89°23'37"E	N17°24'42"W
C16	97.76'	80.00'	070°00'54"	N52°25'09"W	91.79'	N17°24'42"W	N87°25'36"W

WETLAND RESTRICTIONS

- Grading and filling are prohibited, unless specifically authorized by the municipality in which this land is located and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
- The removal of topsoil or other earthen materials is prohibited.
- The removal or destruction of any vegetative cover, ie., trees, shrubs, grasses, etc., is prohibited, with the exception that dead, diseased or dying vegetation may be removed.
- Grazing by domesticated animals, ie., horses, cows, etc., is prohibited.
- The introduction of plant material not indigenous to the existing environment of the Wetland area is prohibited.
- Ponds may be permitted subject to the approval of the municipality and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
- The construction of buildings is prohibited.



DECEMBER 8, 2020

PEG JOB#390.10
SHEET 9 OF 12

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

CERTIFIED SURVEY MAP NO. _____

Being a redivision of all of Lot 2, Certified Survey Map No. 3302, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and redivided all of Lot 2 of Certified Survey Map No. 3302, recorded in the Office of the Register of Deeds for Racine County as Document No. 2498467, located in the in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

Commencing at the northwest corner of the Northwest 1/4 of said Section 30; thence North 89°16'18" East along the north line of said Northwest 1/4, 515.50 feet; thence South 00°37'34" East, 45.00 feet to the south right of way line of Four Mile Road; thence North 89°16'18" East along said south right of way line, 601.64 feet to the point of beginning:

Thence continuing North 89°16'18" East along said south right of way line, 1297.20 feet; thence North 89°23'57" East along said south right of way line, 541.91 feet to the west line of Lot 1 of Certified Survey Map No. 3302; thence South 00°36'03" East along said west line, 512.00 feet to the south line of said Lot 1; thence North 89°23'57" East along said east line, 634.29 feet to the westerly right of way line of a Public Road and a point on a curve; thence southerly 171.75 feet along the arc of said curve to the left and said right of way line, whose radius is 333.00 feet and whose chord bears South 03°52'45" West, 169.85 feet to a point of compound curve; thence southeasterly 100.78 feet along the arc of said compound curve to the left and said right of way line, whose radius is 72.00 feet and whose chord bears South 50°59'50" East, 92.76 feet; thence North 88°54'07" East along said right of way line, 98.70 feet to the east line of the West 1/2 of said Northeast 1/4; thence South 01°05'53" East along said east line, 215.28 feet; thence South 89°05'09" West, 110.09 feet; thence South 01°05'53" East, 400.00 feet; thence North 88°54'07" East, 110.08 feet to the aforesaid east line; thence South 01°05'53" East along said east line, 1211.75 feet to the north right of way line of Adams Road; thence South 89°17'46" West along said north right of way line, 124.98 feet; thence North 00°42'14" West, 148.00 feet; thence South 89°17'46" West, 120.00 feet; thence North 00°42'14" West, 108.17 feet; thence South 89°17'46" West, 150.00 feet; thence South 00°42'14" East, 256.17 feet to the aforesaid north right of way line; thence South 89°17'46" West along said north right of way line, 320.00 feet; thence North 00°42'14" West, 256.17 feet; thence South 89°17'46" West, 225.00 feet; thence South 00°42'14" East, 256.17 feet to the aforesaid north right of way line; thence the following courses along said north right of way line: South 89°17'46" West, 387.46 feet; South 89°17'31" West, 633.71 feet; North 00°42'25" West, 2.00 feet; South 89°17'35" West, 85.52 feet to a point of curvature; Northwesterly 63.37 feet along the arc of said curve to the right, whose radius is 165.00 feet and whose chord bears North 79°42'15" West, 62.98 feet; North 68°42'04" West, 113.65 feet to a point of curvature; Northwesterly 138.16 feet along the arc of said curve to the right, whose radius is 200.00 feet and whose chord bears North 48°54'41" West, 135.43 feet; North 29°07'17" West, 160.67 feet to a point of curvature; Northwesterly 305.84 feet along the arc of said curve to the left, whose radius is 285.00 feet and whose chord bears North 59°51'50" West, 291.37 feet; South 89°23'37" West, 235.10 feet to the east right of way line of East Frontage Road; thence North 00°36'23" West along said east right of way line, 10.25 feet to a point of curvature; thence Northwesterly 932.12 feet along the arc of said curve to the left and said east right of way line, whose radius is 1420.00 feet and whose chord bears North 19°25'38" West, 915.47 feet; thence North 38°13'56" West along said east right of way line, 147.33 feet to south right of way line of Deback Lane; thence the following courses along the south and then north right of way line of said Deback Lane: North 51°46'04" East, 17.54 feet to a point of curvature; Northeasterly 142.13 feet along the arc of said curve to the right, whose radius is 217.00 feet and whose chord bears North 70°31'55" East, 139.61 feet to point of tangency; North 89°17'46" East, 217.75 feet to a point of curvature; Southeasterly 151.13 feet along the arc said curve to the right, whose radius is 567.00 feet and whose chord bears South 83°04'05" East, 150.68 to a point of compound curvature; Southeasterly 43.64 feet along the arc of said curve to the right, whose radius is 30.00 feet and whose chord bears South 33°45'35" East, 39.89 feet of reverse curve; Northeasterly 384.45 feet along the arc of said curve to the left, whose radius is 80.00 feet and whose chord bears North 50°14'35" East, 107.74 feet to the east line of Lot 1 of Certified Survey Map No. 3219; thence North 00°42'14" West along said east line, 1066.06 feet to the Point of Beginning.

Containing 6,397,456 square feet (146.8654 acres) of land, more or less.


That I have made such survey, land division and map by the direction of WISPARK, LLC, owner of said land.

That such plat is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of s.236.34 of the Wisconsin State Statutes and the Village of Caledonia Land Division Ordinance in surveying, mapping and dividing the same.

Date: DECEMBER 8, 2020





John P. Konopacki
Professional Land Surveyor S-2461

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

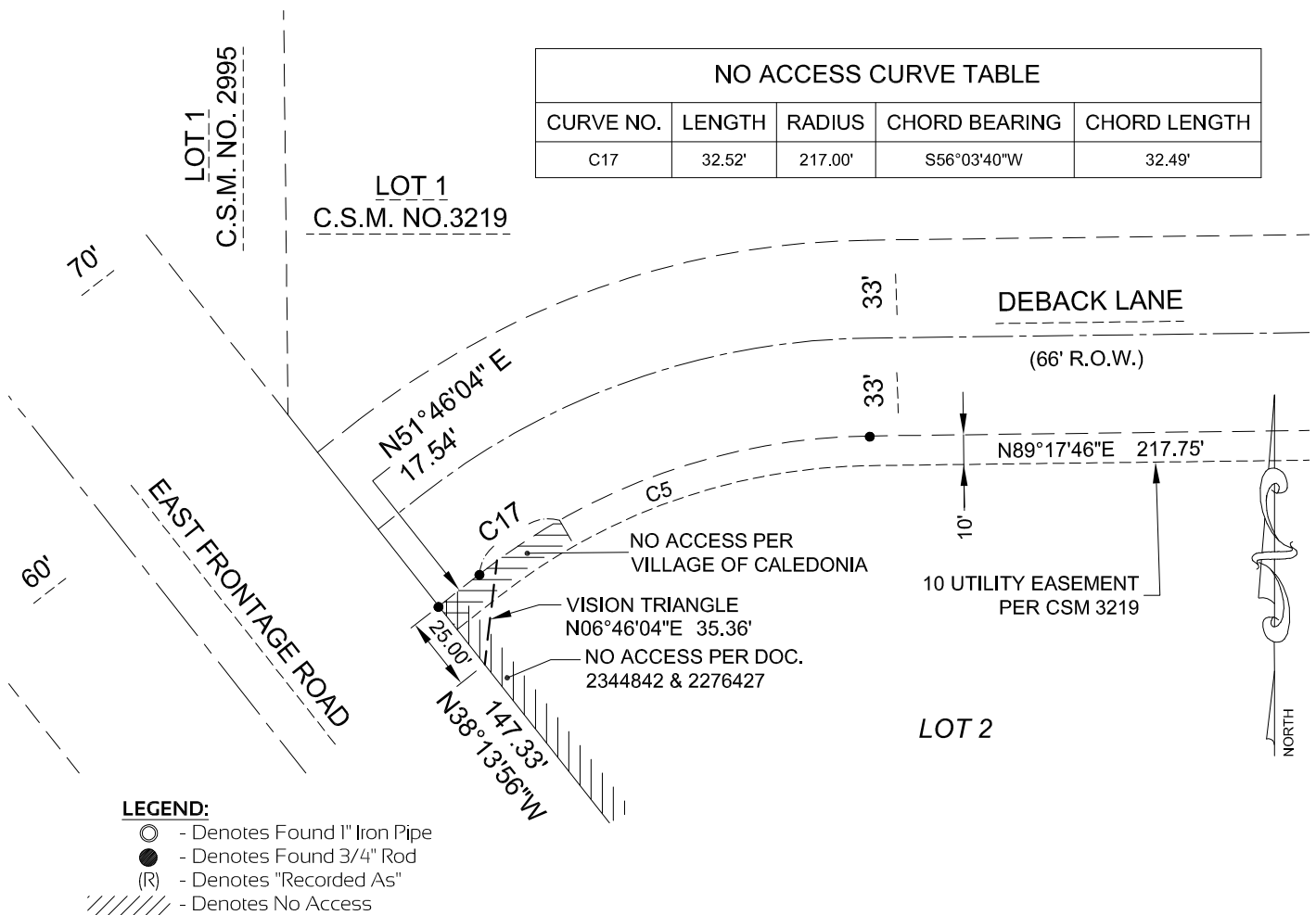
PEG JOB#390.01
SHEET 10 OF 12

CERTIFIED SURVEY MAP NO. _____

Being a redivision of all of Lot 2, Certified Survey Map No. 3302, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

NO ACCESS AND VISION CORNER EASEMENT DETAIL

SCALE=1"=60'

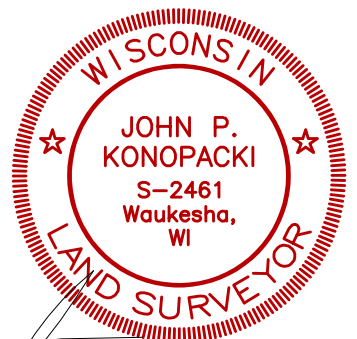


NO ACCESS NOTE:

WISPARK, LLC, as owner, hereby restricts all lots in that no owner possessor, user, nor licensee, nor other person shall have any right of direct vehicular ingress or egress with East Frontage Road, as shown on this certified survey map; it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to s.236.293 of the Wisconsin State Statutes, and shall be enforceable by the Department of Transportation.

VISION CORNER EASEMENT RESTRICTIONS:

No structure or improvements of any kind is permitted within the vision corner.
No vegetation within the vision corner may exceed 30 inches in height.



DECEMBER 8, 2020

Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 11 OF 12

CERTIFIED SURVEY MAP NO. _____

Being a redivision of all of Lot 2, Certified Survey Map No. 3302, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

OWNER'S CERTIFICATE OF DEDICATION

WISPARK, LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this certified survey map to be surveyed, divided, mapped and dedicated as represented on this certified survey map.

I also certify that this certified survey map is required by s.236.10 or s.236.12 of the Wisconsin State Statutes to be submitted to the following for approval or objection:

1. Village of Caledonia

IN WITNESS WHEREOF, the said WISPARK, LLC has caused these presents to be signed by (name) _____, (title) _____, at _____, _____ County, Wisconsin, on this _____ day of _____, 20__.

In the presence of: WISPARK, LLC

signature

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 20__ (name) _____, (title) _____, to me known to be the person who executed the foregoing instrument and acknowledged the same.

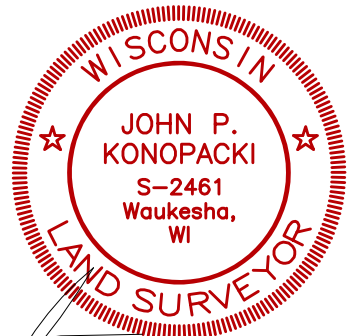
Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____

VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Caledonia on this _____ day of _____, 20__.

Date

Karie Pope, Village Clerk



DECEMBER 8, 2020

PEG JOB#390.10
SHEET 12 OF 12

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461



PLAN COMMISSION REPORT

Proposal: Building, Site, & Operations (BSO) Plan Review

Description: Review a request for approval of a building, site, and operation plan for a 320,000 square-foot industrial building located on Pad F of the Deback Business Park east of DeBack Lane identified as Lot 2.

Applicant(s): Christopher Carlino, Scannell Properties

Address(es): DeBack Lane, Lot 2

Suggested Motion: That the Plan Commission recommends to the Village Board that a building, site, and operations plan for a 320,000 square-foot industrial building be approved with conditions outlined in Exhibit A for the property located at Deback Lane, Lot 2 for the following reasons:

1. The proposed use is allowed through the building, site, and operation plan review process and is a permitted use in M-3 Zoning District.
2. This use will not adversely affect the surrounding property values.

Owner(s): WisPark LLC

Tax Key(s): 104-04-22-30-015-000

Lot Size(s): ±71.1 acres

Current Zoning District(s): M-3, Heavy Industrial District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Industrial/Business Park

Background: The applicant is proposing to construct a ±320,000 square-foot industrial building on the eastern portion of Pad F identified in the DeBack Business Park. The Plan Commission has reviewed a proposed CSM prior to this review identifying seven lots in this business park. Lot 2 is the location which this building will be constructed upon. This industrial building is intended to be used as a distribution facility which is a permitted use in the M-3 District. This development will have outdoor parking for semi-tractors and trailers as part of their operation.

The proposed building will be located in the eastern portion of the parcel and will have an exterior consisting primarily of concrete wall panels that will be painted varying shades of gray with blue accents. The entrance portion of the building will incorporate glass and metal accents to draw focus to the entrance. The eastern portion of the building will consist of 51 dock doors that do not face a public road.

Parking for this development consists of 182 stalls which include 6 ADA stalls which exceeds the minimum required for the size building. Parking stalls are required to be a minimum of 180 square feet in area. Proposed stalls are 9'x18' which does not meet code requirements. Staff will work with the applicant to revise the plans to meet the minimum requirements of 180 square feet per stall. Since the applicant has surplus stalls, any reduction in parking stalls as a result of this modification will likely remain code compliant. There are 181 tractor trailer stalls on the eastern portion of the site. A guardhouse is located on the southern elevation of the building and will be the main access to the dock doors. The perimeter of the trailer parking lot will have a chain link fence.

Landscaping on the site incorporates a combination of deciduous and evergreen vegetation along with some perennials and ornamental grasses. Due to the topography of the site, most of the landscaping is located along the southern lot line with heavy vegetation abutting residential homes. In addition, there will be trees planted alongside the southern building elevation to break up the long elevation of the building. This lot does not directly abut upon a public right-of-way therefore does not have to meet the same landscaping requirements of parking lots abutting a public road. For any parking lot with over 25 stalls, landscaping is required in the parking lot. The parking lot incorporates bump outs that will be heavily vegetated. Since Lot 2 will likely be further developed, any landscaping on the west would likely be removed. Therefore, staff is not requiring additional landscaping on the western portion of the site. On the north portion of the site, there are wetlands, which should not be landscaped. Overall, the plan meets the minimum requirements for landscaping. The Plan Commission does have the discretion to modify the proposed landscape.

The lighting of the site will consist of down-cast, cutoff, LED fixtures throughout the development. The submitted photometric plan complies with the Village code lighting requirements that no more than a 0.5 foot-candle be cast at the lot line.

Prior to any building permits being issued, the applicant will need to get approvals for stormwater management, erosion control, and grading plans from Water Utility Department and Engineering Department. The Fire Department indicated no concerns regarding the proposed site plan; however, they will work with the applicant to ensure compliance with sprinkling requirements for this building type.

If the Plan Commission is comfortable with the proposed development, staff has drafted a suggested motion to approve the proposed development with conditions.

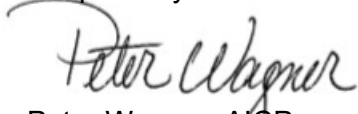
EXHIBIT A: Conditions of Approval for Scannell Development Lot 2

1. **Compliance.** Failure to comply with the terms and conditions stated herein could result in the issuance of citation(s) and/or revocation of this permit.

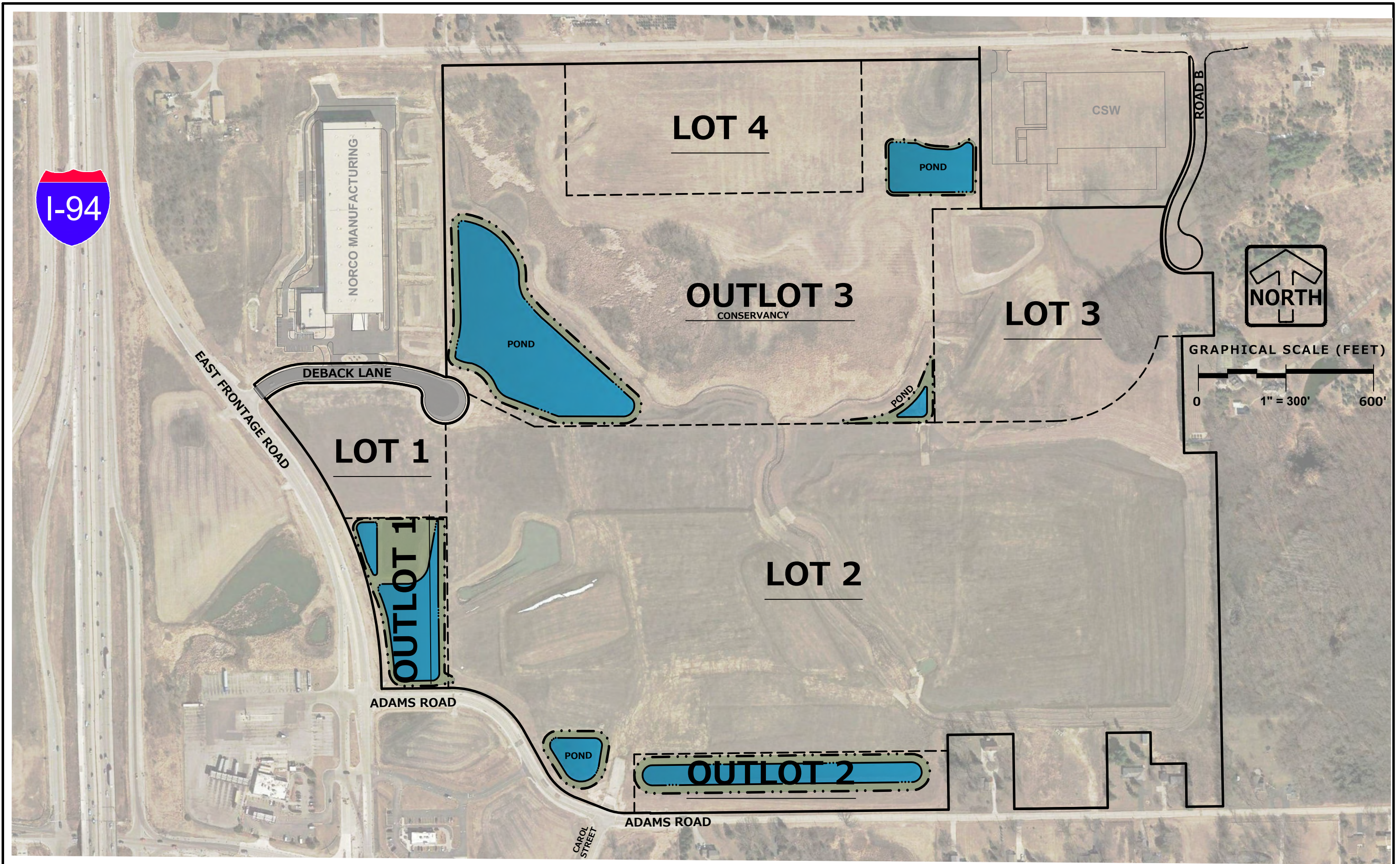
-
2. **Binding Effect.** These conditions bind and are applicable to the Property Owner, Agent, and any other users of the Property Owner with respect to the uses on the Property.
 3. **Subdivided Parcels.** The applicant must record via certified survey map with Racine County Register of Deeds creating Lot 2 for the property located east of DeBack Lane prior to submitting building permits.
 4. **Plans.** The proposed operation shall be located, constructed, and utilized in accordance with the revised plans and documents received by the Village Planning Office on February 8, 2021.
 5. **Engineering Department.** The property owner or designated agent must contact the Village of Caledonia Engineering Department and must comply with all regulations and requirements of the Village of Caledonia Engineering Department.
 6. **Stormwater.** The property owner or designated agent must contact the Village of Caledonia Stormwater Utility District regarding stormwater regulations for this site. Compliance with all regulations and requirements, as determined by the Village of Caledonia Stormwater Utility District is required. Stormwater management plans shall be submitted for approval and be in compliance with all Village requirements, as determined by the Village Engineer before permits are issued.
 7. **Fire Department Approval.** Owner shall obtain approval from the Village of Caledonia Fire Department and meet applicable codes.
 8. **Parking.** Parking at the site must be in compliance with the submitted plans. All employee and visitor parking must be conducted in the proposed parking lot as outlined on the submitted site plan. Each parking space shall be a minimum of 180 square feet in area exclusive of the space required for ingress and egress. Handicapped spaces shall be provided in accordance with State requirements. The driveway and all parking areas must be maintained in a hard-surfaced, dust-free condition.
 10. **Landscaping.** Landscaping at the site must be in compliance with the submitted Landscaping Plan received on February 8, 2021. The Village may require a letter of credit or bond to be posted to ensure implementation and maintenance. Landscaping shall comply with Title 16. The landscaping plan shall follow the Village of Caledonia planting requirements. Landscaping shall be maintained in a living condition and any landscaping that dies or is otherwise removed shall be immediately replaced.
 11. **Lighting.** The lighting plan must be in compliance with the submitted lighting plan February 8, 2021. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway. Following installation, owner shall contact Village for an inspection to ensure that lighting was properly installed.
 12. **Signage.** No signs are being proposed as part of the review. Prior to installation of any signs, a sign permit will be required prior to installation and meet all sign regulations in Title 16. Banners, balloons, flashing or animated signs are prohibited.
 13. **No Accumulation of Refuse and Debris.** Any fence, wall, hedge, yard, space or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.

-
15. **Performance Standards.** The applicant must comply with the provisions of Article VII, Division 4, Performance Standards of Chapter 20, Zoning, Racine County Code of Ordinances, as adopted by the Village of Caledonia.
 16. **Property Maintenance Required.** A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade.
 17. **Expiration.** This approval will expire twelve (12) months from the date of the Village's final approval unless substantial work has commenced following such grant. If this office determines that no substantial work has commenced, the development will be required to resubmit their application and go through the conditional use process.
 18. **Access.** The applicant must allow any Village employee full and unlimited access to the project site at a reasonable time to investigate the project's construction, operation, or maintenance.
 19. **Compliance with Law.** The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 14, 16 and 18 of the Village of Caledonia Code of Ordinances.
 20. **Reimburse Village Costs.** Applicant shall reimburse to the Village all costs incurred by the Village for review of this conditional use including but not limited to engineering, legal and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.
 21. **Amendments to Building, Site & Operations Plan.** No additions, deletions, or changes may be made to the project, site plan, or these conditions without the Village of Caledonia's prior approval. All addition, deletion, and/or change requests must be submitted to the Village of Caledonia in writing. A minor change to the conditions of this permit, as deemed by the Village Development Director, may be made at a staff level, if authorized by the Village Development Director.
 22. **Caledonia Utility District.** The property owner or designated agent must contact the Caledonia Utility District regarding Utility District regulations for this site. Compliance with all regulations and requirements, as determined by the Caledonia Utility District is required.
 23. **Site Plan and Title 16 Review.** The final site plan and site design and architectural details required under Title 16 of the Village's Code of Ordinances shall be reviewed and approved for compliance by the Village Development Director.
 25. **Agreement.** You're accepting the conditional use approval/zoning permit and beginning the project means that you have read, understand, and agree to follow all conditions of this approval. Therefore, Christopher Carlino, Scannell Properties, WisPark, and their heirs, successors, and assigns, including tenants, are responsible for full compliance with the above conditions.
 26. **Subsequent Owners.** It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.

Respectfully submitted:

A handwritten signature in black ink that reads "Peter Wagner". The signature is written in a cursive style with a large, looping initial "P".

Peter Wagner, AICP
Development Director



NORCO MANUFACTURING

LOT 4

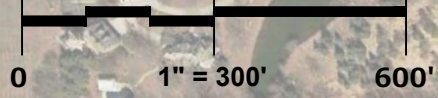
POND

CSW

ROAD B



GRAPHICAL SCALE (FEET)



EAST FRONTAGE ROAD

DEBACK LANE

LOT 1

POND

OUTLOT 3
CONSERVANCY

LOT 3

POND

LOT 2

OUTLOT 1

ADAMS ROAD

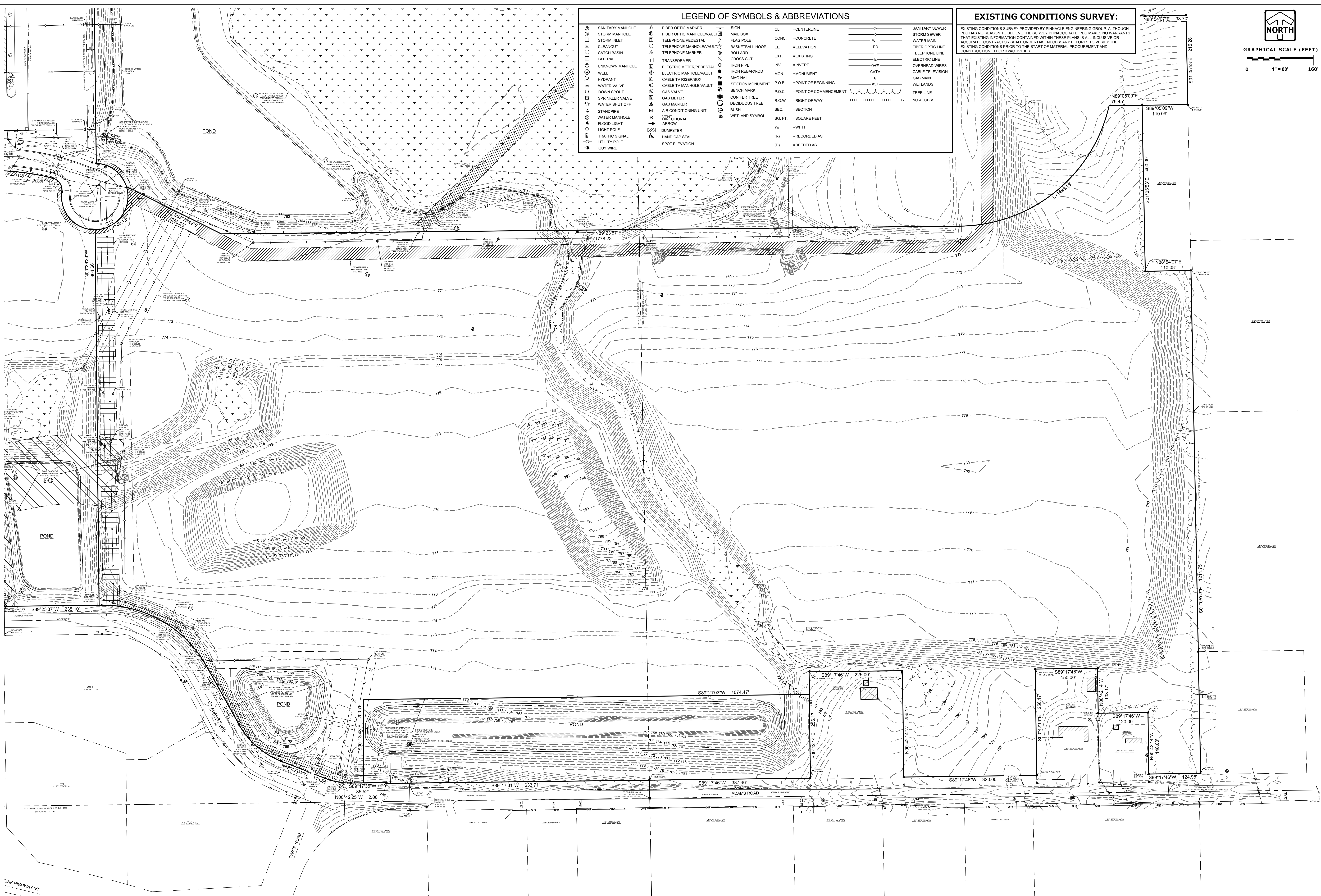
POND

OUTLOT 2

ADAMS ROAD

CAROL STREET

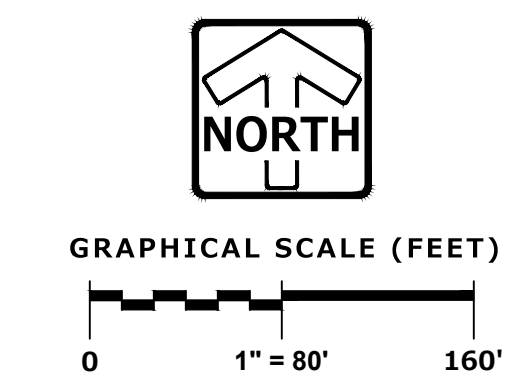
THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC



LEGEND OF SYMBOLS & ABBREVIATIONS

○	SANITARY MANHOLE	△	FIBER OPTIC MARKER	—	SIGN	CL	=CENTERLINE	—	SANITARY SEWER	
⊕	STORM MANHOLE	□	FIBER OPTIC MANHOLE/VAULT	—	MAIL BOX	CONC	=CONCRETE	—	STORM SEWER	
⊖	STORM INLET	⊕	TELEPHONE PEDESTAL	—	FLAG POLE	BASKETBALL HOOP	EL	=ELEVATION	—	WATER MAIN
⊙	CLEANOUT	⊕	TELEPHONE MANHOLE/VAULT	—	BOLLARD	EXT	=EXISTING	—	FIBER OPTIC LINE	
⊗	CATCH BASIN	⊕	TELEPHONE MARKER	—	CROSS CUT	INV	=INVERT	—	TELEPHONE LINE	
⊘	LATERAL	⊕	TRANSFORMER	—	IRON PIPE	MON	=MONUMENT	—	ELECTRIC LINE	
⊙	UNKNOWN MANHOLE	⊕	ELECTRIC METER/PEDESTAL	—	MAG NAIL	P.O.B	=POINT OF BEGINNING	—	OVERHEAD WIRES	
⊕	WELL	⊕	ELECTRIC MANHOLE/VAULT	—	SECTION MONUMENT	P.O.C	=POINT OF COMMENCEMENT	—	CABLE TELEVISION	
⊕	HYDRANT	⊕	CABLE TV RISER/BOX	—	BENCH MARK	R.O.W	=RIGHT OF WAY	—	GAS MAIN	
⊕	WATER VALVE	⊕	CABLE TV MANHOLE/VAULT	—	CONIFER TREE	SEC	=SECTION	—	WETLANDS	
⊕	DRAIN SPOUT	⊕	GAS VALVE	—	DECIDUOUS TREE	SQ. FT.	=SQUARE FEET	—	WETLANDS	
⊕	SPRINKLER VALVE	⊕	GAS METER	—	BUSH	W	=WITH	—	WETLANDS	
⊕	WATER SHUT OFF	⊕	GAS MARKER	—	WETLAND SYMBOL	(R)	=RECORDED AS	—	WETLANDS	
⊕	STANDPIPE	⊕	AIR CONDITIONING UNIT	—	WETLAND SYMBOL	(D)	=DEEDED AS	—	WETLANDS	
⊕	WATER MANHOLE	⊕	DIRECTIONAL ARROW	—	WETLAND SYMBOL			—	WETLANDS	
⊕	FLOOD LIGHT	⊕	DUMPISTER	—	WETLAND SYMBOL			—	WETLANDS	
⊕	LIGHT POLE	⊕	HANDICAP STALL	—	WETLAND SYMBOL			—	WETLANDS	
⊕	TRAFFIC SIGNAL	⊕	SPOT ELEVATION	—	WETLAND SYMBOL			—	WETLANDS	
⊕	UTILITY POLE			—	WETLAND SYMBOL			—	WETLANDS	
⊕	GUY WIRE			—	WETLAND SYMBOL			—	WETLANDS	

EXISTING CONDITIONS SURVEY:
 EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.



PLAN | DESIGN | DELIVER
 www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
 ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE: 20725 WATERTOWN ROAD SUITE 100
 BROOKFIELD, WI 53106
 (262) 754-8888
 CHICAGO | MILWAUKEE | NATIONWIDE

DEBACK FARMS - PAD F
CALEDONIA, WISCONSIN

EXISTING CONDITIONS

REVISIONS

1	BID SET	01/08/21
2	BSO SUBMITTAL #1	02/08/21

REG. JOB NO.: 390.00C
 AREA
 START DATE: 01/06/21
 SCALE: 1" = 80'

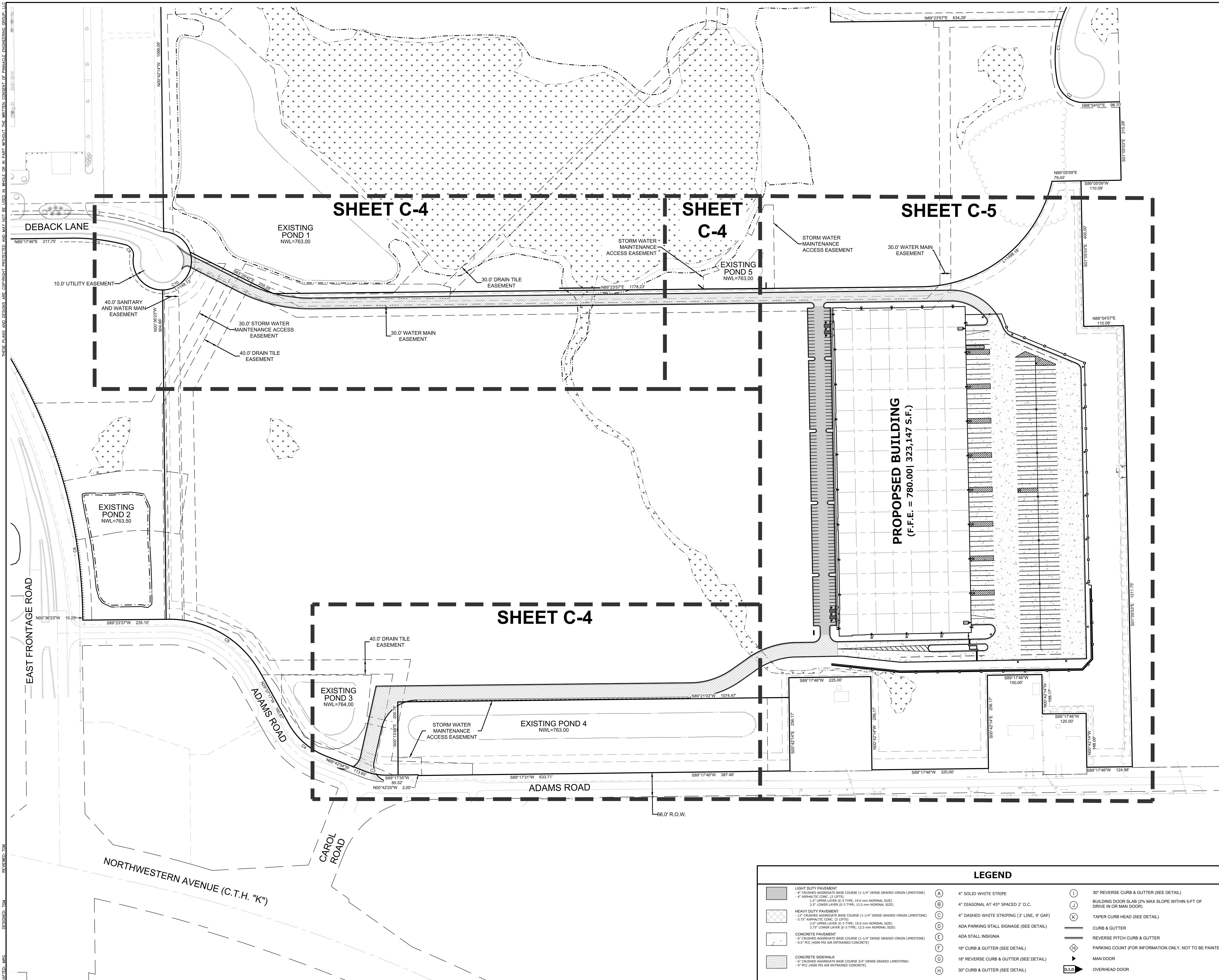
SHEET C-2
C-22

FOR REVIEW ONLY

EXISTING CONDITIONS



GRAPHICAL SCALE (FEET)
0 1" = 100' 200'



ALL WORK WITHIN PUBLIC R.O.W. SHALL CONFORM TO VILLAGE OF CALEDONIA STANDARDS.

NO DISTURBANCE OF THE EXISTING WETLAND AREA IS ALLOWED PRIOR TO THE APPROVAL OF A WETLAND FILL PERMIT.

SITE DATA	
SITE AREA =	3,313.095 SQ. FT / 7.60 AC
BUILDING FOOTPRINT =	323,147 SQ. FT / 7.42 AC
IMPERVIOUS AREA =	811,247 SQ. FT. / 18.63 / 24.5%
GREEN SPACE =	2,501,748 SQ. FT. / 57.42 AC / 75.5%
PARKING PROVIDED (8'x18') =	182 (6 ADA)
ADA REQUIREMENTS =	6 SPACES (1 VAN ACCESSIBLE)
ADA PROVIDED =	6 SPACES (4 VAN ACCESSIBLE)
PARKING RATIO TO FLOOR AREA =	0.56 SPACES PER 1000 S.F. (3.5 PER 1,000 MAX PER VILLAGE CODE)

EXISTING CONDITIONS SURVEY:
EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

SITE AND DIMENSIONAL PLAN NOTES

- ALL DIMENSIONS ARE FACE OF CURB, SHOULDER, OR CENTER OF LANE LINE UNLESS NOTED OTHERWISE.
- ALL PROPOSED CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER (SEE DETAIL) UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.
- BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
- IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBS, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
- REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
- SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.
- ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARDS SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION AND APPLICABLE VILLAGE OF CALEDONIA ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
- CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
- THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT MAY ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
- DO NOT PLACE MARKING OVER UNCONSTRUCTED PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
- LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
- PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
- BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS:
CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, 465 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.
WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (1° C).
GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.
SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.
ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
TRAFFIC CONTROL SHALL BE PER M.U.T.C.D.
PUBLIC CURB & GUTTER REPLACEMENT SHALL BE TIED TO EXISTING CURB & GUTTER WITH #4 TIE BARS. PUBLIC CURB & GUTTER SHALL BE A 6-BAG MIX.

LEGEND			
	8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE)		4" SOLID WHITE STRIPE
	12" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE)		4" DIAGONAL AT 45° SPACED 2' O.C.
	8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE)		4" DASHED WHITE STRIPING (3" LINE, 9" GAP)
	4" CRUSHED AGGREGATE BASE COURSE (3/4" DENSE GRADED LIMESTONE)		ADA PARKING STALL SIGNAGE (SEE DETAIL)
	4" ASPHALTIC CONC. (3.25% FLS)		ADA STALL SIGNAGE
	2.5" LOWER LAYER (E-3 TYPE, 12.5 mm NOMINAL SIZE)		18" CURB & GUTTER (SEE DETAIL)
	2.5" UPPER LAYER (E-3 TYPE, 19.0 mm NOMINAL SIZE)		18" REVERSE CURB & GUTTER (SEE DETAIL)
	2.5" LOWER LAYER (E-3 TYPE, 12.5 mm NOMINAL SIZE)		30" CURB & GUTTER (SEE DETAIL)
	2.5" UPPER LAYER (E-3 TYPE, 19.0 mm NOMINAL SIZE)		30" REVERSE CURB & GUTTER (SEE DETAIL)
	2.5" LOWER LAYER (E-3 TYPE, 12.5 mm NOMINAL SIZE)		BUILDING DOOR SLAB (2% MAX SLOPE WITHIN 5-FT OF DRIVE IN OR MAIN DOOR)
	2.5" UPPER LAYER (E-3 TYPE, 19.0 mm NOMINAL SIZE)		TAPER CURB HEAD (SEE DETAIL)
	2.5" LOWER LAYER (E-3 TYPE, 12.5 mm NOMINAL SIZE)		REVERSE PITCH CURB & GUTTER
	2.5" UPPER LAYER (E-3 TYPE, 19.0 mm NOMINAL SIZE)		PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	2.5" LOWER LAYER (E-3 TYPE, 12.5 mm NOMINAL SIZE)		MAN DOOR
	2.5" UPPER LAYER (E-3 TYPE, 19.0 mm NOMINAL SIZE)		OVERHEAD DOOR

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DEBACK FARMS - PAD F
CALEDONIA, WISCONSIN

SITE DIMENSIONAL OVERVIEW

REVISIONS	
1	BID SET 01/08/21
2	BSO SUBMITTAL #1 02/08/21

PROJECT NO. 390.00C
AREA
START DATE: 01/08/21
SCALE: 1" = 100'

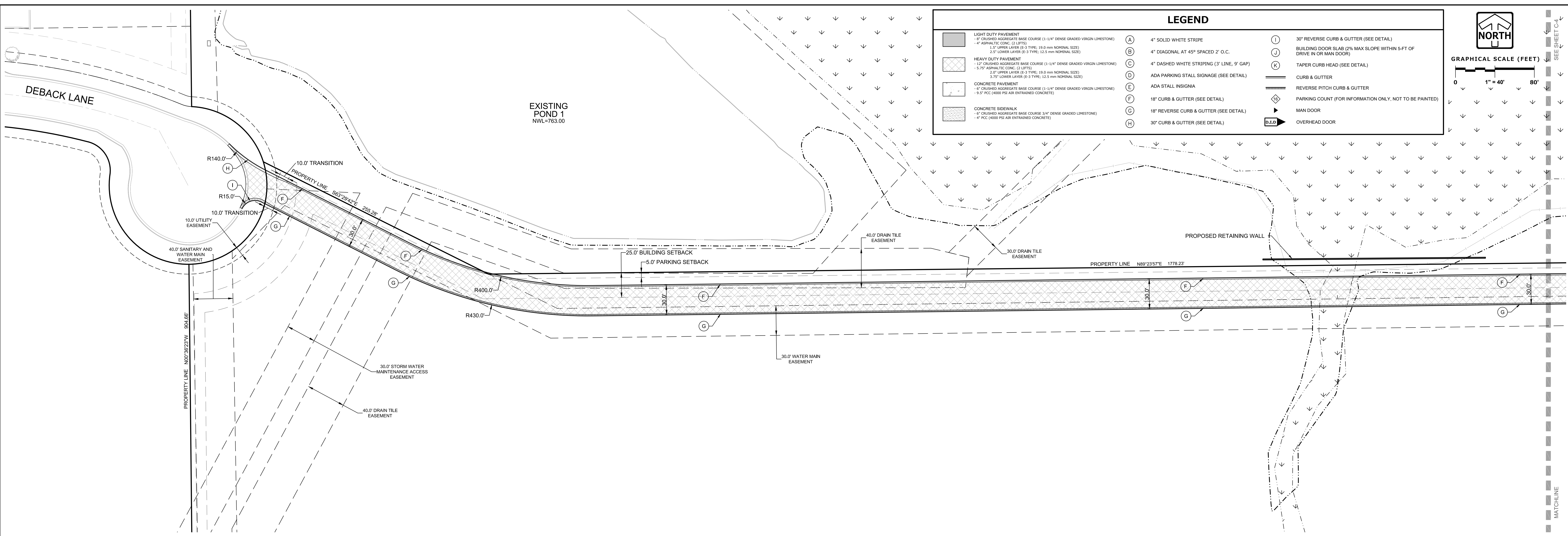
SHEET C-3
of
C-22

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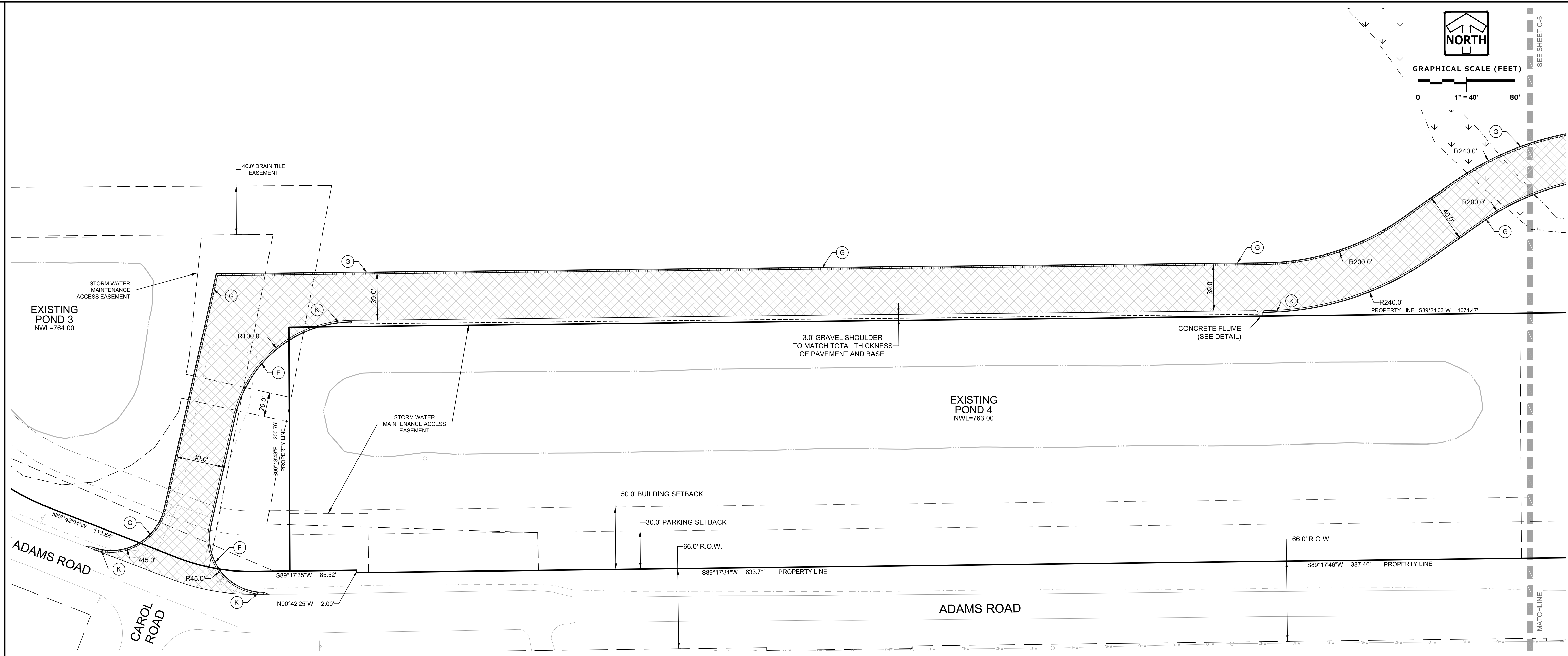
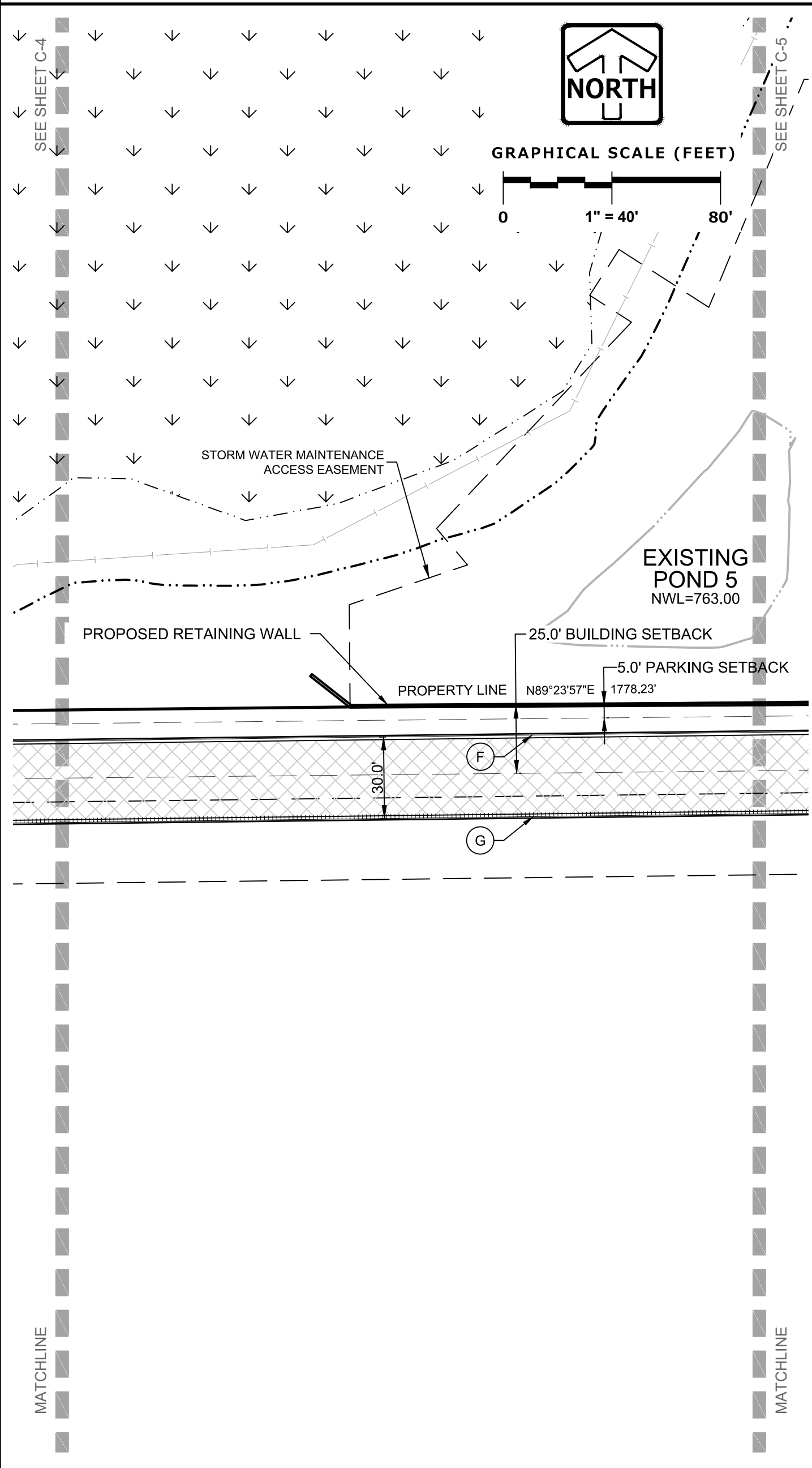
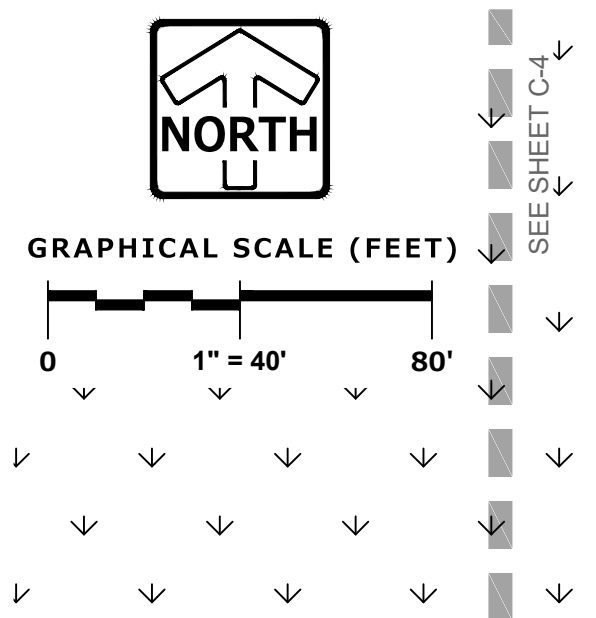
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SITE DIMENSIONAL OVERVIEW

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 DESIGNED: MRS
 DRAFTED: MRS
 REVIEWED: TOM



LEGEND	
	LIGHT DUTY PAVEMENT - 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED VIRGIN LIMESTONE) - 4" ASPHALTIC CONC. (2 LIFTS) - 1.5" UPPER LAYER (E-3 TYPE; 18.0 mm NOMINAL SIZE) - 2.5" LOWER LAYER (E-3 TYPE; 12.5 mm NOMINAL SIZE)
	HEAVY DUTY PAVEMENT - 12" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED VIRGIN LIMESTONE) - 5.75" ASPHALTIC CONC. (2 LIFTS) - 2.47" UPPER LAYER (E-3 TYPE; 18.0 mm NOMINAL SIZE) - 3.75" LOWER LAYER (E-3 TYPE; 12.5 mm NOMINAL SIZE)
	CONCRETE PAVEMENT - 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED VIRGIN LIMESTONE) - 9.5" PCC (4000 PSI AIR ENTRAINMENT CONCRETE)
	CONCRETE SIDEWALK - 6" CRUSHED AGGREGATE BASE COURSE 3/4" DENSE GRADED LIMESTONE - 4" PCC (4000 PSI AIR ENTRAINMENT CONCRETE)
	A 4" SOLID WHITE STRIPE
	B 4" DIAGONAL AT 45° SPACED 2' O.C.
	C 4" DASHED WHITE STRIPING (3" LINE, 9" GAP)
	D ADA PARKING STALL SIGNAGE (SEE DETAIL)
	E ADA STALL INSIGNIA
	F 18" CURB & GUTTER (SEE DETAIL)
	G 18" REVERSE CURB & GUTTER (SEE DETAIL)
	H 30" CURB & GUTTER (SEE DETAIL)
	I 30" REVERSE CURB & GUTTER (SEE DETAIL)
	J BUILDING DOOR SLAB (2% MAX SLOPE WITHIN 5-FT OF DRIVE IN OR MAN DOOR)
	K TAPER CURB HEAD (SEE DETAIL)
	L CURB & GUTTER
	M REVERSE PITCH CURB & GUTTER
	N PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	O MAN DOOR
	P OVERHEAD DOOR



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CALEDONIA, WISCONSIN

SITE DIMENSIONAL PLAN

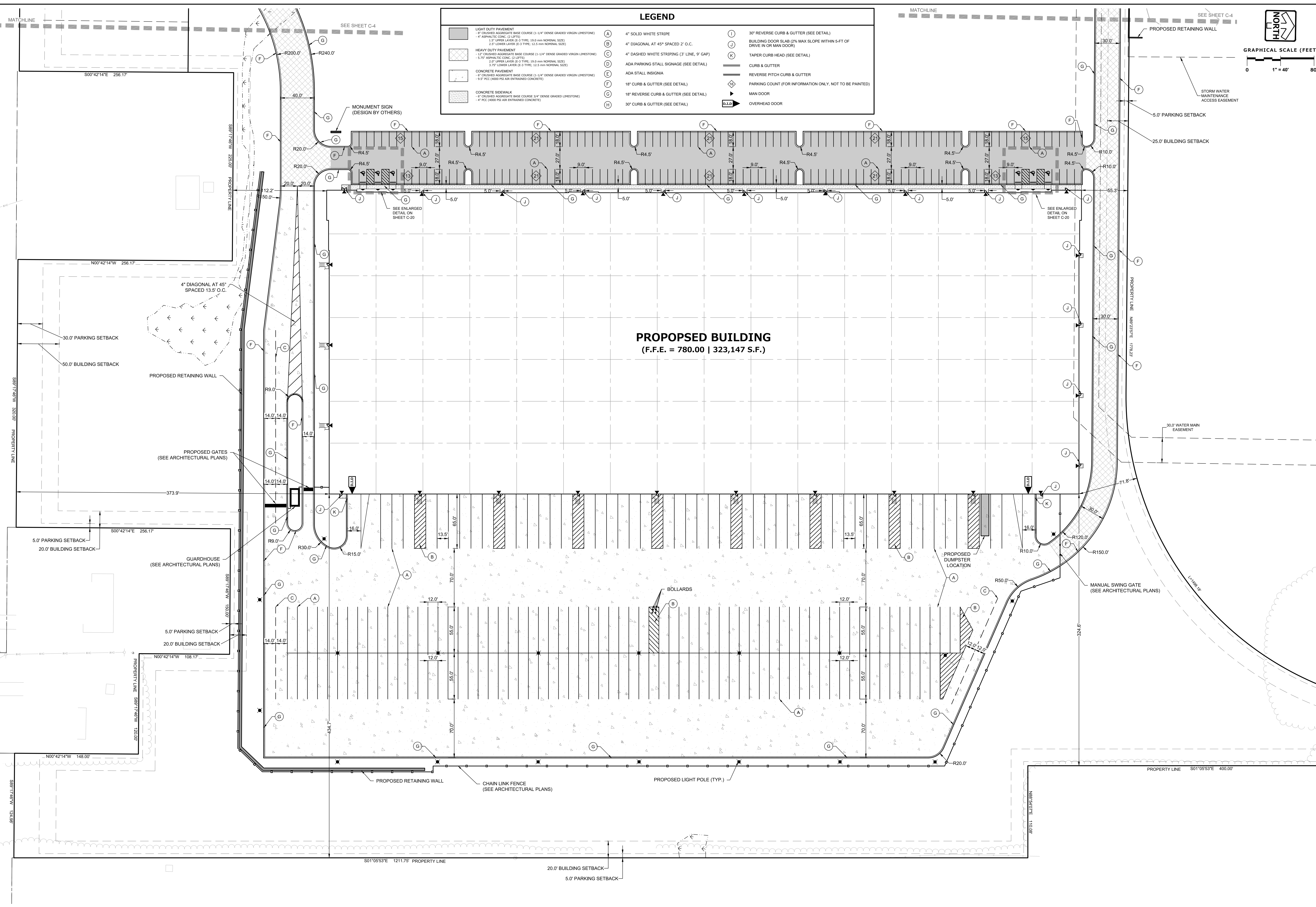
REVISIONS	
1	BID SET 01/08/21
2	BSO SUBMITTAL #1 02/08/21

REG. JOB NO. 390.00C
 AREA
 START DATE 01/06/21
 SCALE 1" = 40'
SHEET C-4
8 OF C-22

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 SITE DIMENSIONAL PLAN

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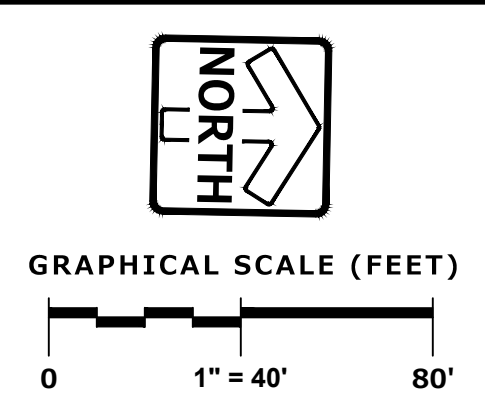
DESIGNED: MMS
DRAWN: TDM
REVIEWED: TDM



PROPOSED BUILDING
(F.F.E. = 780.00 | 323,147 S.F.)

LEGEND

- | | | |
|---|--|--|
| <ul style="list-style-type: none"> LIGHT DUTY PAVEMENT
4" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED VIRGIN LIMESTONE)
4" ASPHALTIC CONC. (2 LPTS)
3" UPPER LAYER (E-3 TYPE; 19.5 mm NOMINAL SIZE)
3" LOWER LAYER (E-3 TYPE; 12.5 mm NOMINAL SIZE) HEAVY DUTY PAVEMENT
1-1/2" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED VIRGIN LIMESTONE)
5.75" ASPHALTIC CONC. (2 LPTS)
3.75" UPPER LAYER (E-3 TYPE; 19.5 mm NOMINAL SIZE)
3.75" LOWER LAYER (E-3 TYPE; 12.5 mm NOMINAL SIZE) CONCRETE PAVEMENT
6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED VIRGIN LIMESTONE)
9.5" PCC (4000 PSI AIR ENTRAINED CONCRETE) CONCRETE SIDEWALK
6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED VIRGIN LIMESTONE)
4" PCC (4000 PSI AIR ENTRAINED CONCRETE) | <ul style="list-style-type: none"> (A) 4" SOLID WHITE STRIPE (B) 4" DIAGONAL AT 45° SPACED 2' O.C. (C) 4" DASHED WHITE STRIPING (3' LINE, 9' GAP) (D) ADA PARKING STALL SIGNAGE (SEE DETAIL) (E) ADA STALL INSIGNIA (F) 18" CURB & GUTTER (SEE DETAIL) (G) 18" REVERSE CURB & GUTTER (SEE DETAIL) (H) 30" CURB & GUTTER (SEE DETAIL) | <ul style="list-style-type: none"> (I) 30" REVERSE CURB & GUTTER (SEE DETAIL) (J) BUILDING DOOR SLAB (2% MAX SLOPE WITHIN 5-FT OF DRIVE IN OR MAIN DOOR) (K) TAPER CURB HEAD (SEE DETAIL) (L) CURB & GUTTER (M) REVERSE PITCH CURB & GUTTER (N) PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED) (O) MAN DOOR (P) OVERHEAD DOOR |
|---|--|--|



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SITE DIMENSIONAL PLAN

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**DEBACK FARMS -
PAD F
CALEDONIA, WISCONSIN**

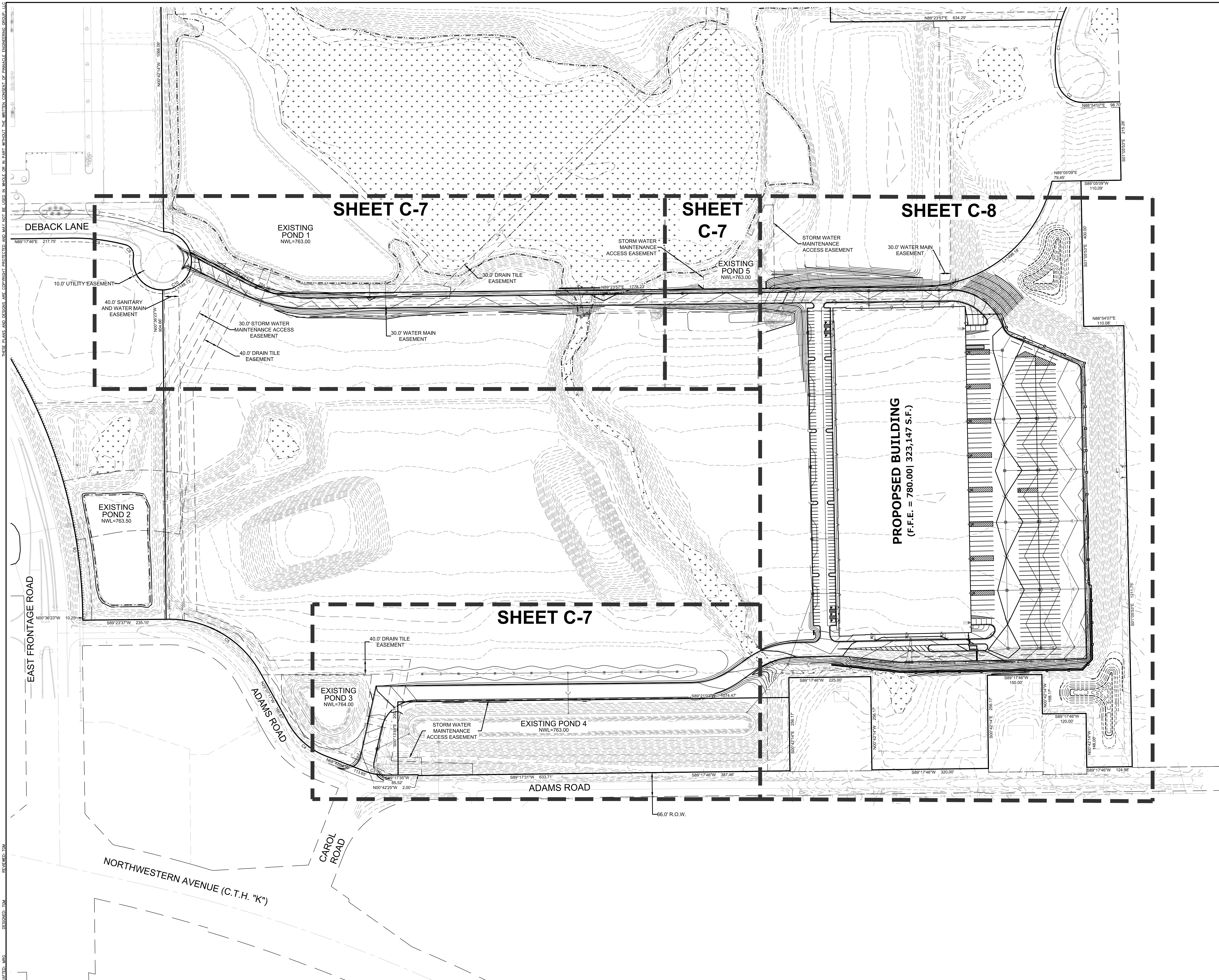
SITE DIMENSIONAL PLAN

REVISIONS	
1	BID SET 01/08/21
2	BSO SUBMITTAL #1 02/08/21

REG. JOB No. 390.00C	AREA
REG. No.	
START DATE 01/06/21	SCALE 1" = 40'
SHEET C-5	
C-22	



GRAPHICAL SCALE (FEET)
0 1" = 100' 200'



LEGEND	
	PROPOSED FLARED END SECTION
	STORM CATCH BASIN
	CURB CATCH BASIN
	PROPOSED TOPSOIL CONTOUR
	SPOT ELEVATION
	TOP OF WALL
	BOTTOM OF WALL
	DIRECTION OF SURFACE FLOW
	OVERFLOW RELIEF ROUTING
	DITCH OR SWALE
	NORMAL WATER LEVEL (NWL)
	HIGH WATER LEVEL (HWL)

EXISTING CONDITIONS SURVEY:
EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP, ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

GRADING NOTES

- CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
- SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE CURB AND GUTTER FLOWLINE UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE. THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
- GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PIPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
- IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
- WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CIRCUMSTANCES SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
- THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
- CONTRACTOR SHALL COMPLY WITH ALL VILLAGE OF CALEDONIA AND RACINE COUNTY CONSTRUCTION STANDARDS/ORDINANCES.
- LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 6-INCH TOPSOIL REPLACEMENT.
- TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3% (+) OPTIMUM MOISTURE CONTENT.

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**DEBACK FARMS -
PAD F
CALEDONIA, WISCONSIN**

GRADING PLAN OVERVIEW

REVISIONS		AREA	DATE	BY
NO.	DESCRIPTION			
1	BID SET		01/08/21	
2	BSO SUBMITTAL #1		02/08/21	

REG. JOB NO. 390.00C
PEG NO. 1000
START DATE 01/08/21
SCALE 1"=100'

SHEET C-6 of C-22

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DESIGNED: MRS

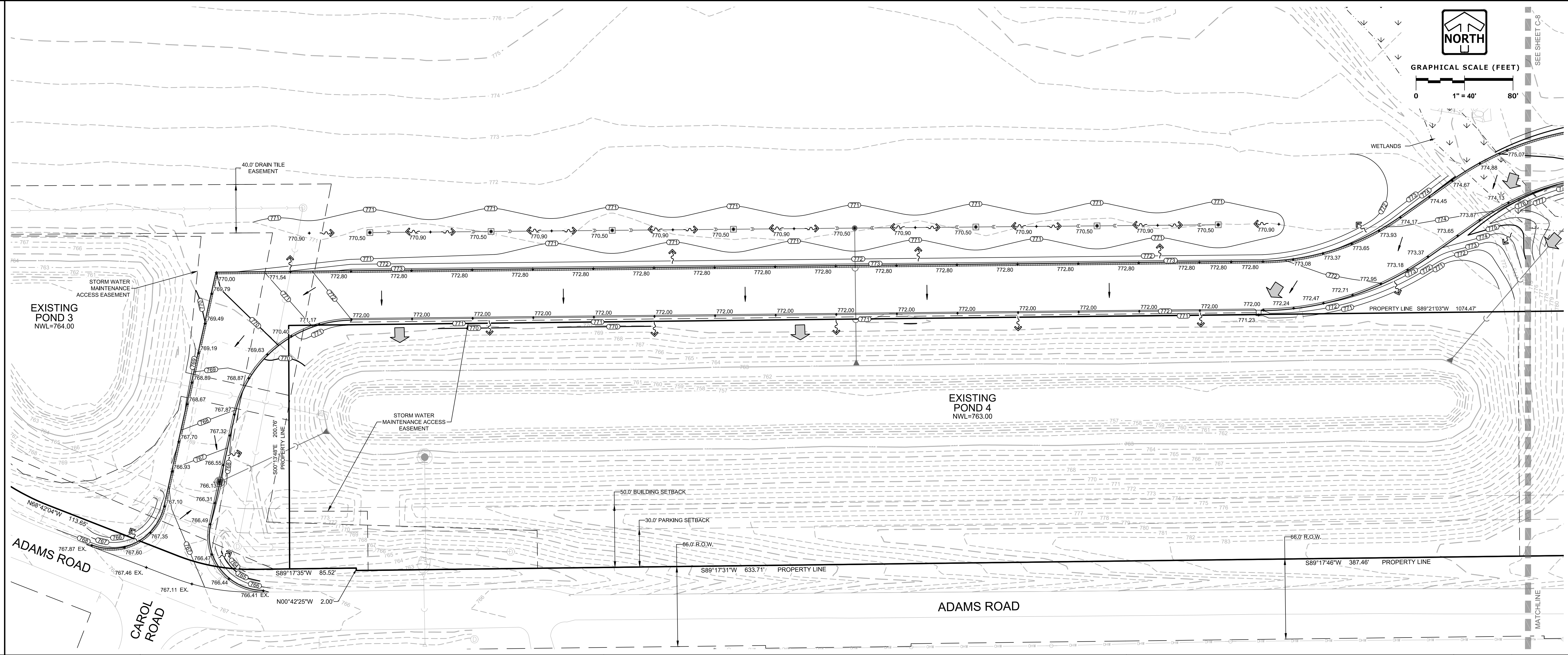
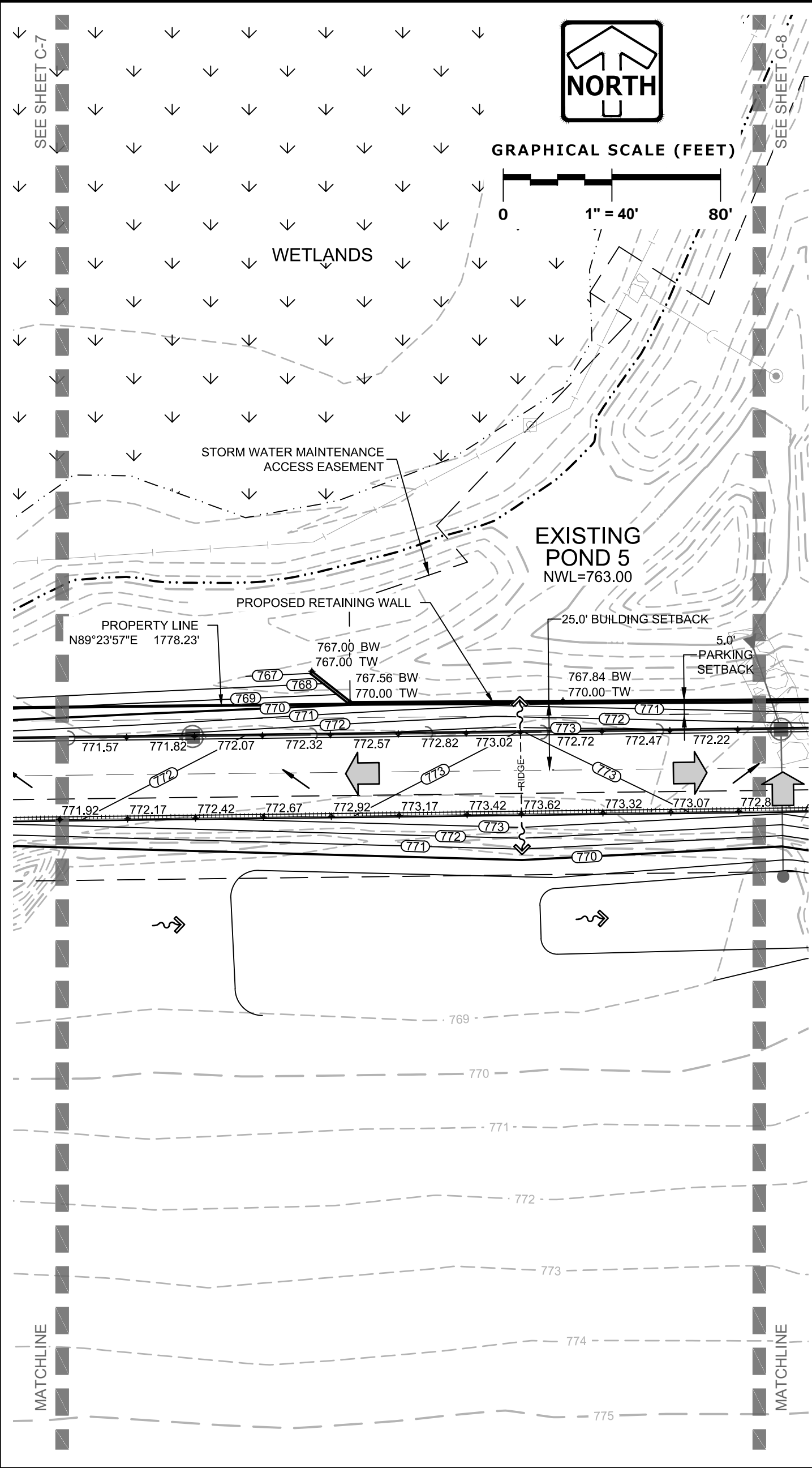
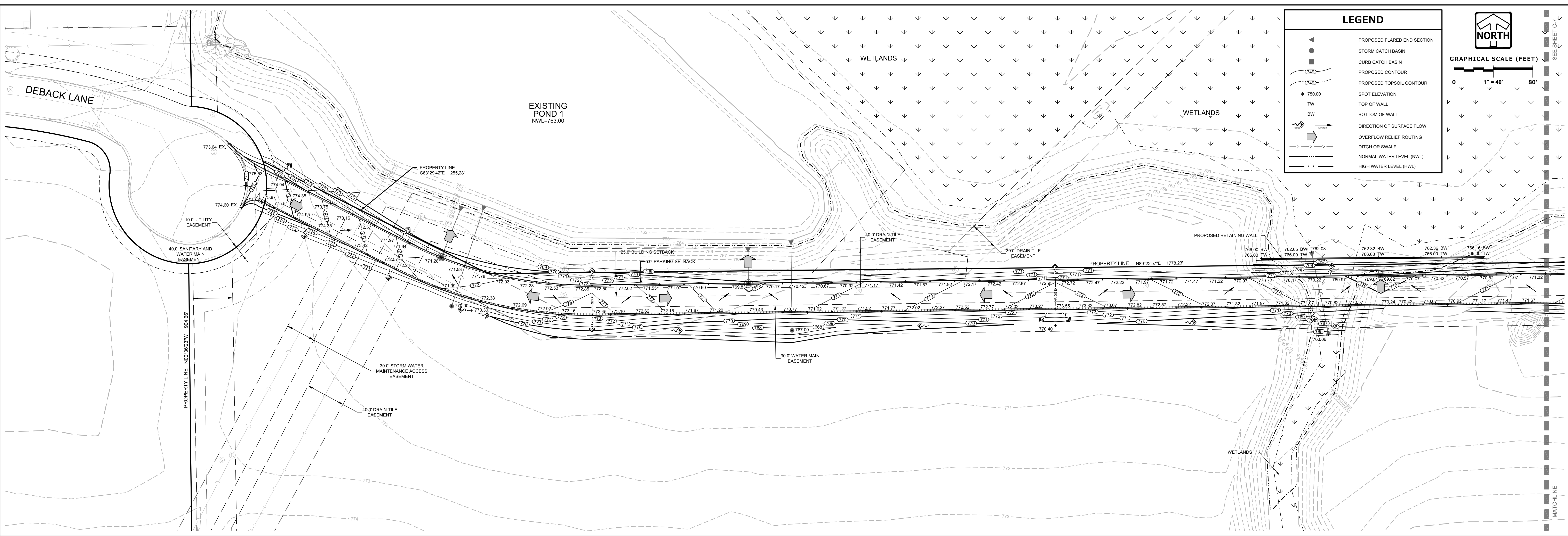
DRAWN: MRS

REVIEWED: TOM

DATE: 02/08/21

PROJECT: 2014\390.00C-WI\CAD\SHEETS\390.00C-WI GRADING PLAN.DWG

PROJECT: 2014\390.00C-WI\CAD\SHEETS\390.00C-WI GRADING PLAN.DWG



LEGEND

- ▲ PROPOSED FLARED END SECTION
- STORM CATCH BASIN
- CURB CATCH BASIN
- PROPOSED CONTOUR
- - - PROPOSED TOPSOIL CONTOUR
- SPOT ELEVATION
- TW TOP OF WALL
- BW BOTTOM OF WALL
- DIRECTION OF SURFACE FLOW
- ~ OVERFLOW RELIEF ROUTING
- - - DITCH OR SWALE
- - - NORMAL WATER LEVEL (NWL)
- - - HIGH WATER LEVEL (HWL)

GRAPHICAL SCALE (FEET)

0 1" = 40' 80'

NORTH

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DEBACK FARMS - PAD F
CALEDONIA, WISCONSIN

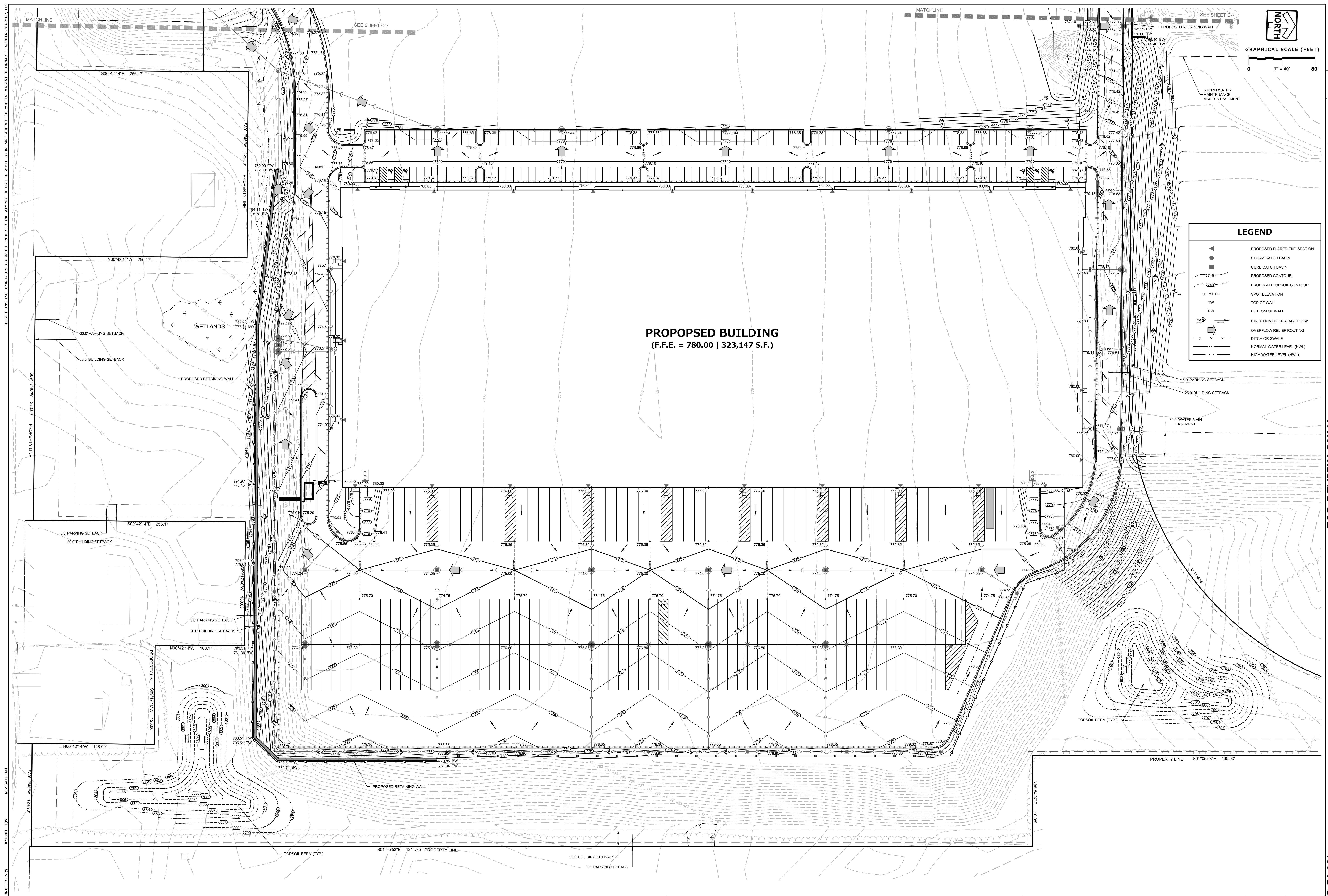
GRADING PLAN

REVISIONS	
1	BID SET 01/08/21
2	BSO SUBMITTAL #1 02/08/21

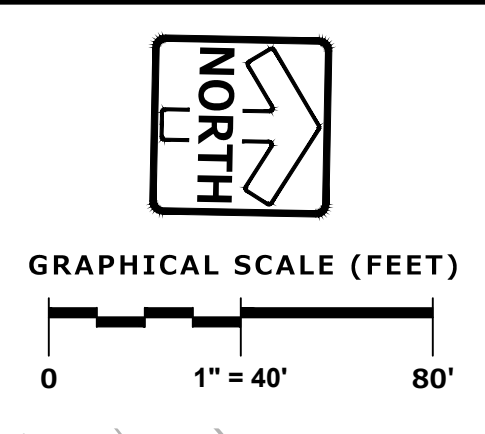
REG. JOB NO.: 390.00C
AREA
START DATE: 01/08/21
SCALE: 1" = 40'

SHEET C-7
C-22

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PROPOSED BUILDING
(F.F.E. = 780.00 | 323,147 S.F.)



LEGEND	
	PROPOSED FLARED END SECTION
	STORM CATCH BASIN
	CURB CATCH BASIN
	PROPOSED CONTOUR
	SPOT ELEVATION
	TOP OF WALL
	BOTTOM OF WALL
	DIRECTION OF SURFACE FLOW
	OVERFLOW RELIEF ROUTING
	DITCH OR SWALE
	NORMAL WATER LEVEL (NWL)
	HIGH WATER LEVEL (HWL)

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BROOKFIELD, WI 53106
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

**DEBACK FARMS -
PAD F
CALEDONIA, WISCONSIN**

GRADING PLAN

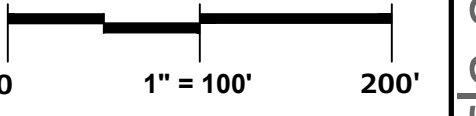
REVISIONS	
1	BID SET 01/08/21
2	BSO SUBMITTAL #1 02/08/21

REG. JOB NO.	390.00C
AREA	
START DATE	01/05/21
SCALE	1" = 40'

SHEET
C-8
C-22



GRAPHICAL SCALE (FEET)

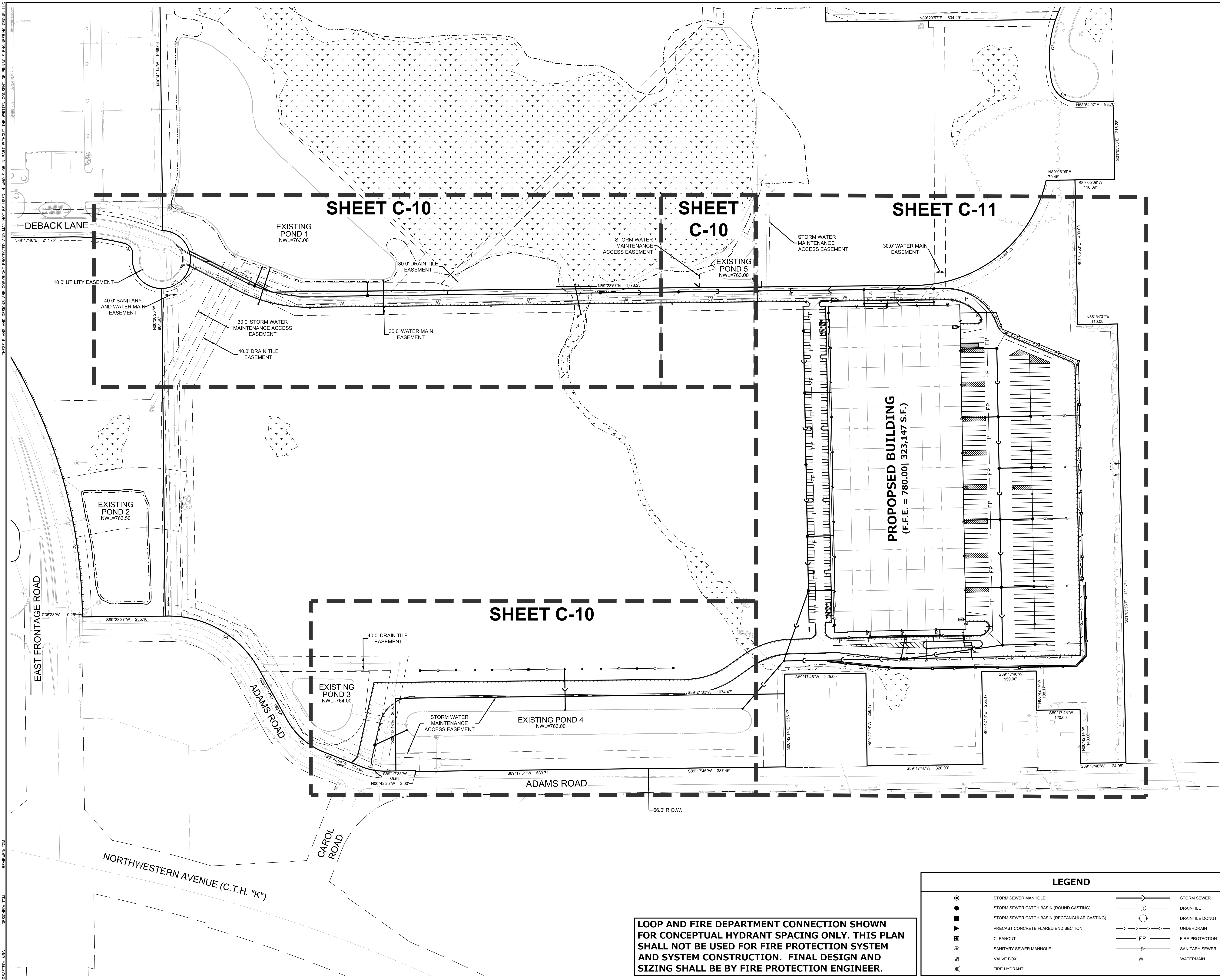


EXISTING CONDITIONS SURVEY:

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NOTES

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF CALEDONIA SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES COM 92.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
- ALL NEW ON-SITE STORM SEWER SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
- THE CONTRACTOR SHALL CONTACT THE VILLAGE OF CALEDONIA PUBLIC WORKS DEPARTMENT 48 HOURS IN ADVANCE OF STORM SEWER CONNECTIONS TO THE CITY-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
- ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
- FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICES FOR STORM SEWER. TILE LINES GROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- STORM SEWER SPECIFICATIONS -
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
HEIGHT OF COVER (FEET): 0-2 2-3 3-6 6-15 15-25 25+
MINIMUM CONCRETE PIPE CLASSIFICATION: IV III II III IV ENGINEER TO SPECIFY
HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-29 TYPE "B" OR POLYVINYL CHLORIDE (PVC) CLASS PS46 MEETING AASHTO M278, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLE FRAMES AND COVERS - SEE STANDARD DETAILS ON SHEET C-20 FOR SPECIFICATIONS ON STORM SEWER FRAMES AND GRATES/COVERS.
IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
- SEE STORM SEWER PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.



LOOP AND FIRE DEPARTMENT CONNECTION SHOWN FOR CONCEPTUAL HYDRANT SPACING ONLY. THIS PLAN SHALL NOT BE USED FOR FIRE PROTECTION SYSTEM AND SYSTEM CONSTRUCTION. FINAL DESIGN AND SIZING SHALL BE BY FIRE PROTECTION ENGINEER.

LEGEND	
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	SANITARY SEWER MANHOLE
	VALVE BOX
	FIRE HYDRANT
	STORM SEWER
	DRAIN TILE
	DRAIN TILE DONUT
	UNDERDRAIN
	FIRE PROTECTION
	SANITARY SEWER
	WATERMAIN

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DEBACK FARMS - PAD F
CALEDONIA, WISCONSIN

STORM SEWER PLAN OVERVIEW

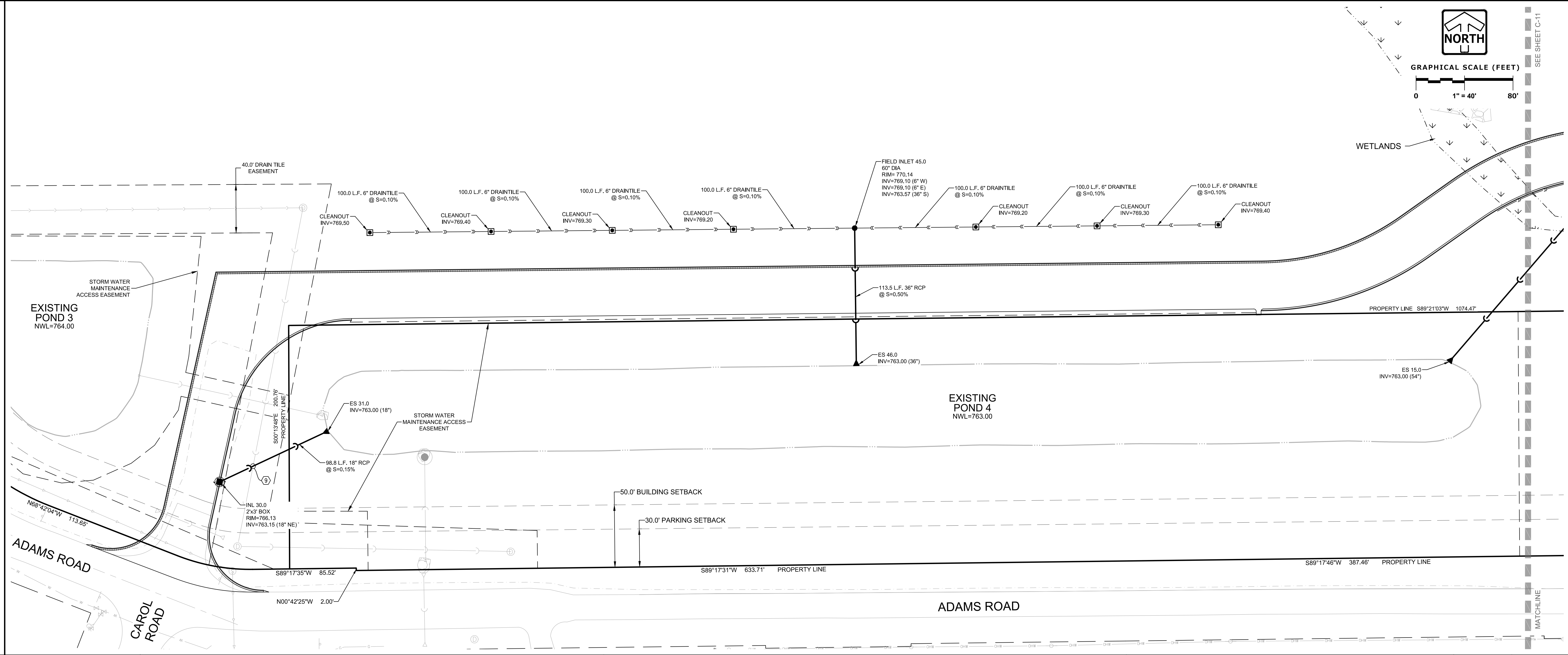
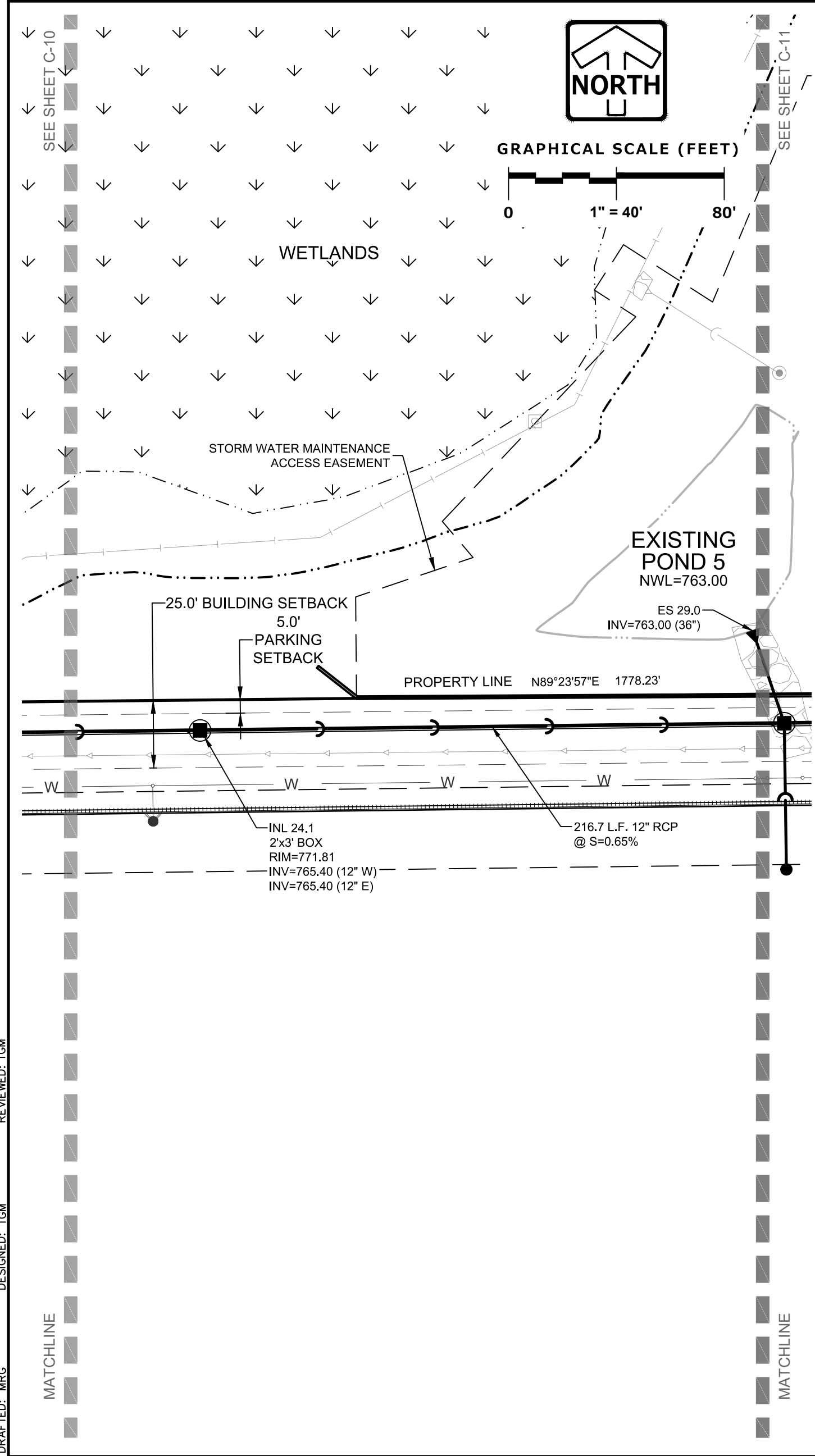
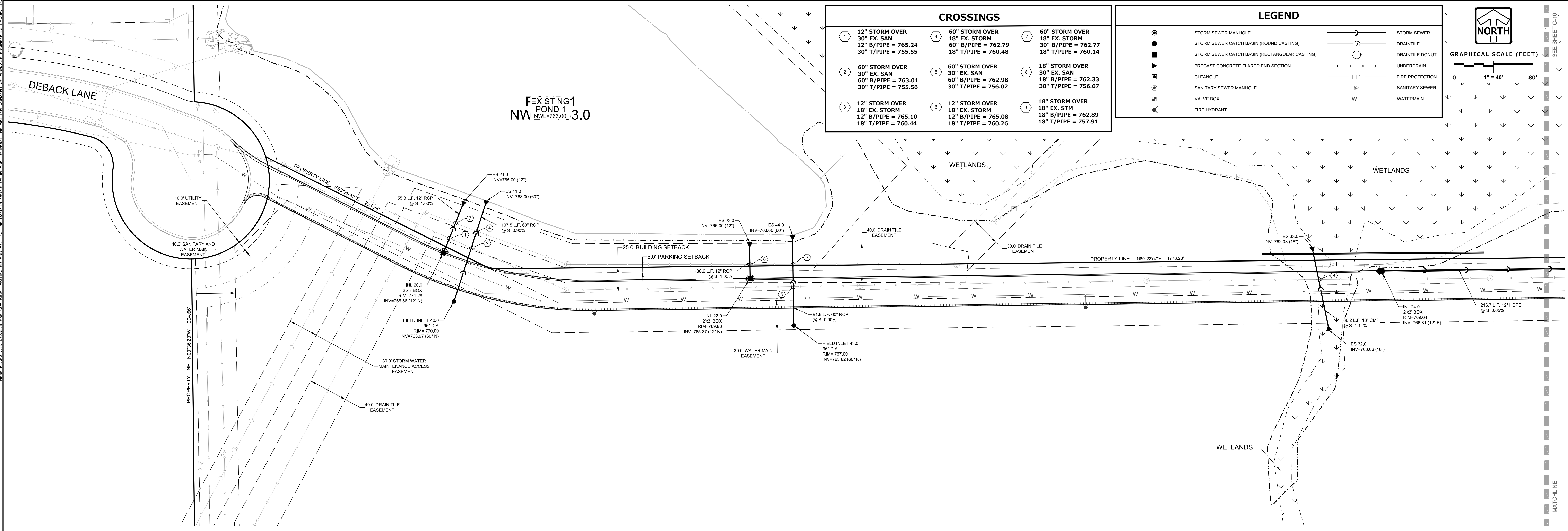
REVISIONS	
1	BID SET 01/08/21
2	BSO SUBMITTAL #1 02/08/21

REG. JOB NO. 390.00C
AREA
SHEET C-9
C-22

START DATE: 01/08/21
SCALE: 1"=100'

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CROSSINGS		
1	12" STORM OVER 30" EX. SAN 12" B/PIPE = 765.24 30" T/PIPE = 755.55	60" STORM OVER 18" EX. STORM 60" B/PIPE = 762.79 18" T/PIPE = 760.48
2	60" STORM OVER 30" EX. SAN 60" B/PIPE = 763.01 30" T/PIPE = 755.56	60" STORM OVER 30" EX. SAN 60" B/PIPE = 762.98 30" T/PIPE = 756.02
3	12" STORM OVER 18" EX. STORM 12" B/PIPE = 765.10 18" T/PIPE = 760.44	12" STORM OVER 18" EX. STORM 12" B/PIPE = 765.08 18" T/PIPE = 760.26
4	60" STORM OVER 18" EX. STORM 60" B/PIPE = 762.77 18" T/PIPE = 760.14	18" STORM OVER 30" EX. SAN 18" B/PIPE = 762.33 30" T/PIPE = 756.67
5	12" STORM OVER 18" EX. STORM 12" B/PIPE = 765.10 18" T/PIPE = 760.44	18" STORM OVER 18" EX. STM 18" B/PIPE = 762.89 18" T/PIPE = 757.91

LEGEND	
○	STORM SEWER MANHOLE
●	STORM SEWER CATCH BASIN (ROUND CASTING)
■	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
▭	PRECAST CONCRETE FLARED END SECTION
○	CLEANOUT
○	SANITARY SEWER MANHOLE
■	VALVE BOX
■	FIRE HYDRANT
—	STORM SEWER
—	DRAIN TILE
—	DRAIN TILE DONUT
—	UNDERDRAIN
—	FIRE PROTECTION
—	SANITARY SEWER
—	WATERMAIN

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CHICAGO ILLINOIS OFFICE: NATIONWIDE

**DEBACK FARMS -
PAD F
CALEDONIA, WISCONSIN**

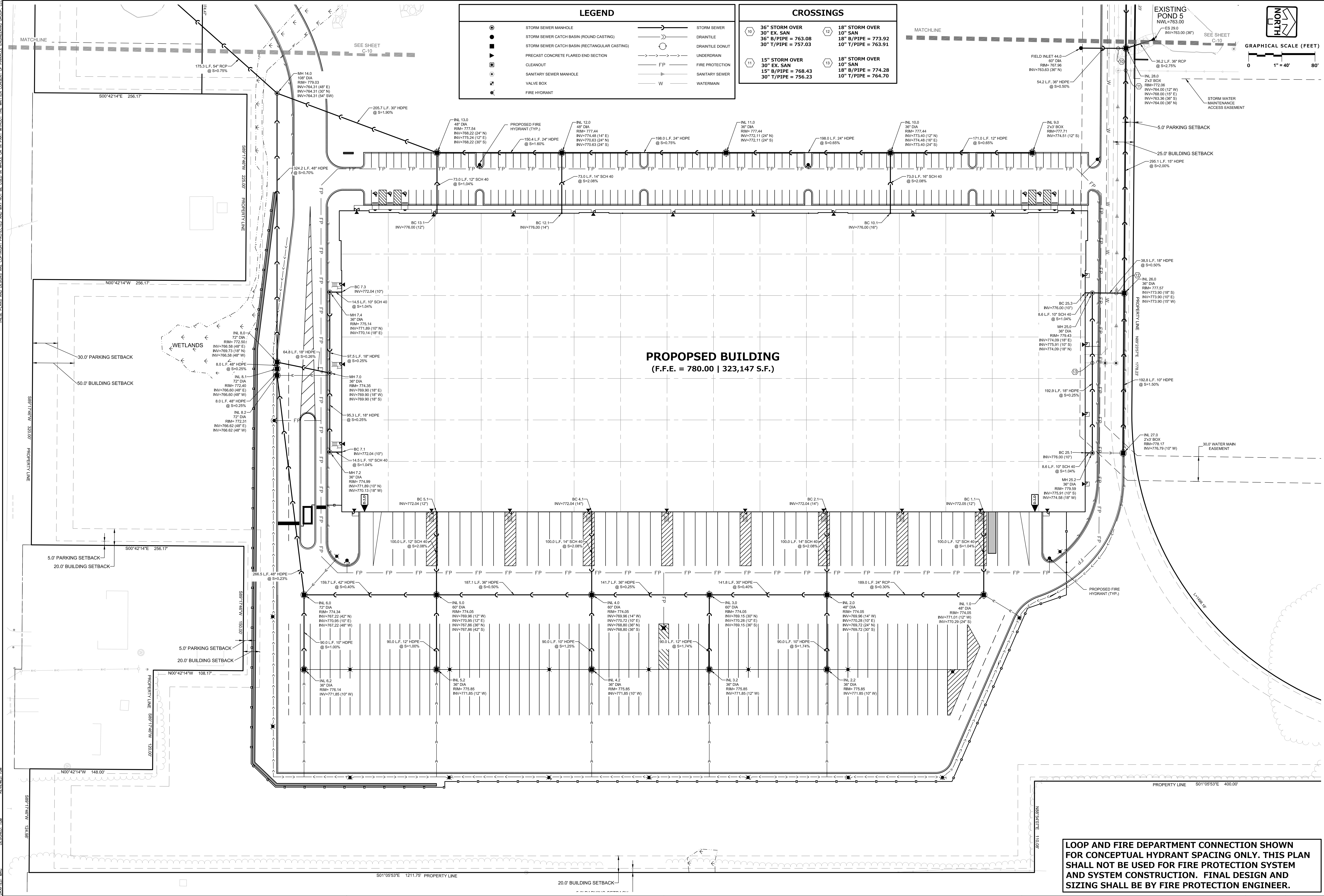
STORM SEWER PLAN

REVISIONS	
1	BID SET 01/08/21
2	BSO SUBMITTAL #1 02/08/21

REG. JOB NO. 390.00C
AREA
START DATE 01/06/21
SCALE 1" = 40'

SHEET
C-10
C-22

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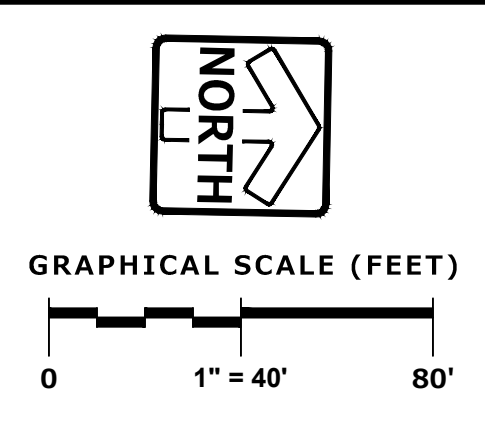


LEGEND

●	STORM SEWER MANHOLE	—	STORM SEWER
■	STORM SEWER CATCH BASIN (ROUND CASTING)	—	DRAIN TILE
■	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	—	DRAIN TILE DONUT
▬	PRECAST CONCRETE FLARED END SECTION	—	UNDERDRAIN
□	CLEANOUT	—	FIRE PROTECTION
○	SANITARY SEWER MANHOLE	—	SANITARY SEWER
□	VALVE BOX	—	WATERMAIN
●	FIRE HYDRANT		

CROSSINGS

10	36" STORM OVER 30" EX. SAN 30" B/PIPE = 763.08 30" T/PIPE = 757.03	12	18" STORM OVER 10" SAN 18" B/PIPE = 773.92 10" T/PIPE = 763.91
11	15" STORM OVER 30" EX. SAN 15" B/PIPE = 768.43 30" T/PIPE = 756.23	13	18" STORM OVER 10" SAN 18" B/PIPE = 774.28 10" T/PIPE = 764.70



PROPOSED BUILDING
(F.F.E. = 780.00 | 323,147 S.F.)

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DEBACK FARMS - PAD F
CALEDONIA, WISCONSIN

STORM SEWER PLAN

REVISIONS

1	BID SET	01/08/21
2	BSO SUBMITTAL #1	02/08/21

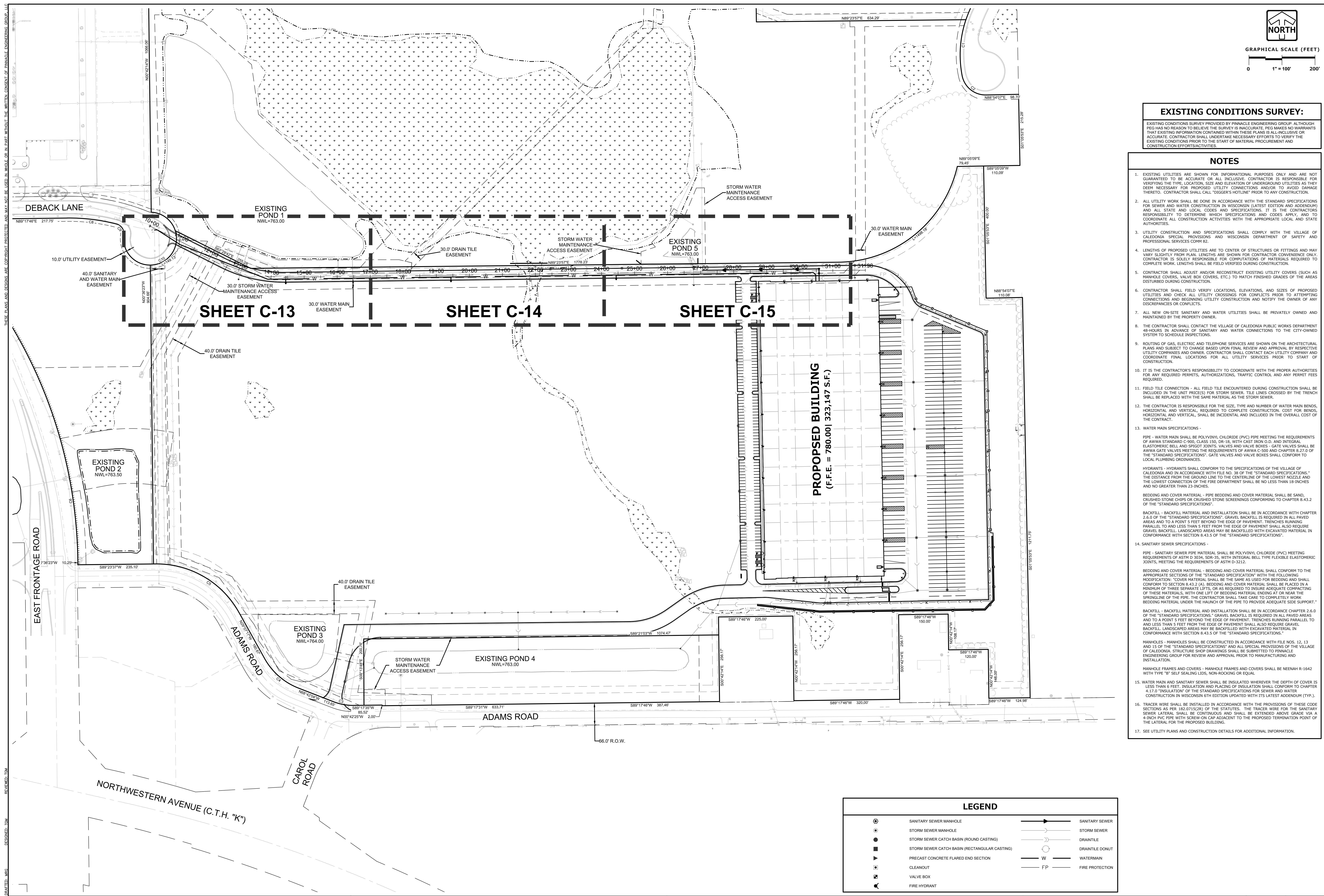
REG. JOB NO.: 390.00C
AREA: _____
START DATE: 03/09/21
SCALE: 1" = 40'

SHEET C-11
C-22

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STORM SEWER PLAN



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 - FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICES FOR STORM SEWER. TILE LINES GROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS. HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
 - WATER MAIN SPECIFICATIONS -
 PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.2 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE VILLAGE OF CALEDONIA AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS." THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES.
 BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
 BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
 - SANITARY SEWER SPECIFICATIONS -
 PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
 BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
 BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
 MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF CALEDONIA. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
 MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEMAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
 - WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
 - TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2)(c) OF THE STATUTES. THE TRACER WIRE FOR THE SANITARY SEWER LATERAL SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
 - SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

LEGEND

⊙	SANITARY SEWER MANHOLE	→	SANITARY SEWER
⊙	STORM SEWER MANHOLE	→	STORM SEWER
●	STORM SEWER CATCH BASIN (ROUND CASTING)	○	DRAIN TILE
■	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	○	DRAIN TILE DONUT
▼	PRECAST CONCRETE FLARED END SECTION	— W —	WATER MAIN
□	CLEANOUT	— FP —	FIRE PROTECTION
■	VALVE BOX		
▲	FIRE HYDRANT		

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**DEBACK FARMS -
 PAD F
 CALEDONIA, WISCONSIN**

UTILITY PLAN & PROFILE OVERVIEW

REVISIONS		DATE	BY	CHECKED	SCALE	SHEET
NO.	DESCRIPTION					
1	BID SET	01/08/21			1"=100'	C-12 C-22
2	BSO SUBMITTAL #1	02/08/21				

REG. JOB NO.: 390.00C
 AREA: _____
 START DATE: 01/06/21
 SCALE: 1"=100'



GRAPHICAL SCALE (FEET)
0 1" = 100' 200'

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT (TYPE II) PERMIT NO. W-000831-A) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMPs). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMPs PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMPs. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AUTHORITIES. PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS PRIOR TO CONSTRUCTION. CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEPED AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
- ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMPs PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT ON-SITE DISCHARGE OF UNFILTERED RUNOFF.
- ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.
- MAINTAIN SOIL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
- GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S758N EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C1258N (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HISHER EXPENSE.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
- QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF EVERY SEVEN (7) CALENDAR DAYS. THE PRESENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT, REPORTING SHALL BE IN ACCORDANCE WITH THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
- SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.

CONSTRUCTION SITE SEQUENCING

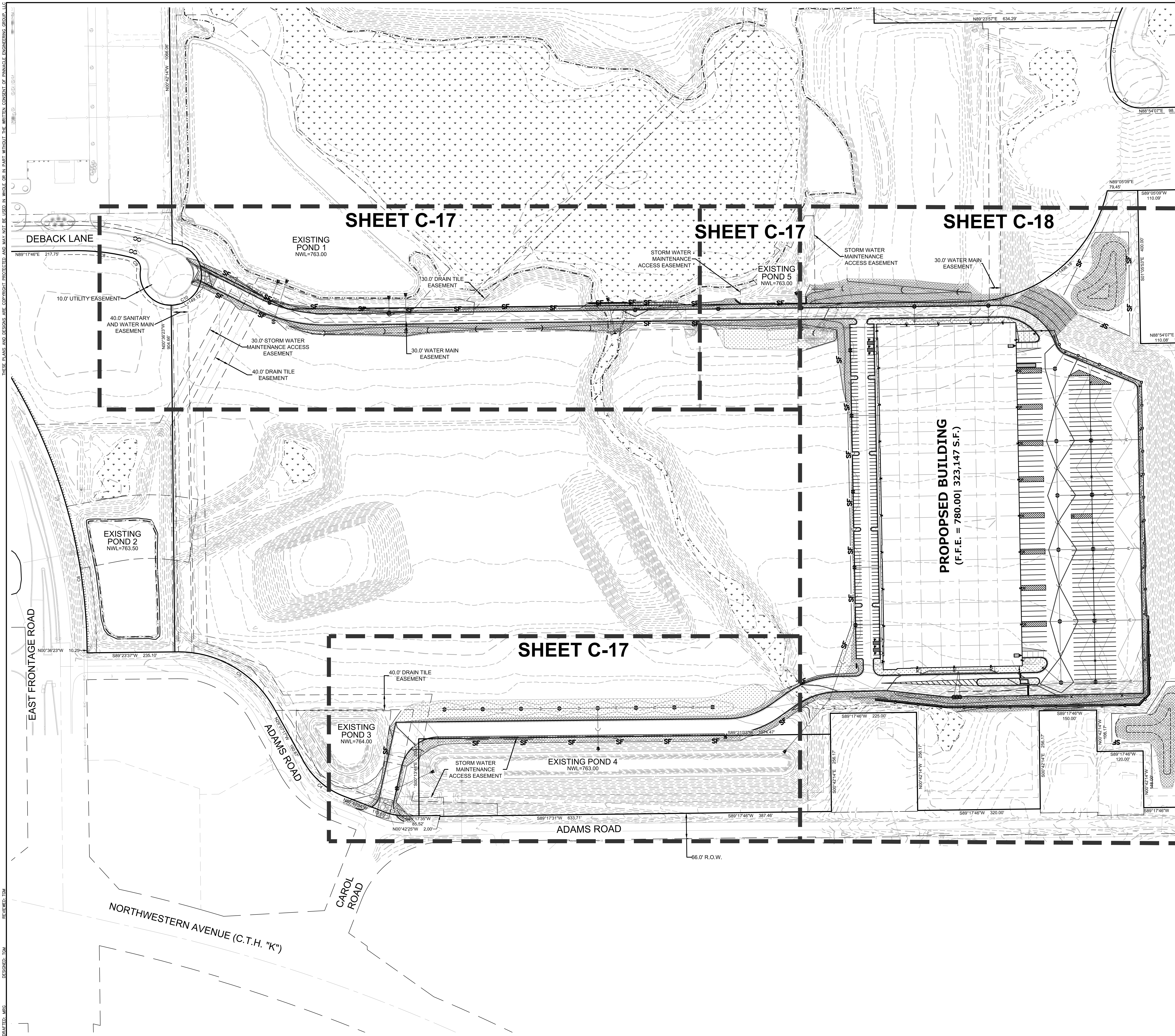
- INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
- STRIP AND STOCKPILE TOPSOIL. INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAPS/BASINS AS NEEDED.
- INSTALL UTILITY PIPING AND STRUCTURES. IMMEDIATELY INSTALL INLET PROTECTION, CURBS, PAVEMENTS, WALKS, ETC.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

LEGEND

	STORM SEWER MANHOLE		SILT FENCE
	STORM CATCH BASIN (ROUND CASTING)		STRAW WATTLE DITCH CHECK
	STORM CATCH BASIN (RECTANGULAR CASTING)		INLET PROTECTION
	PRECAST FLARED END SECTION		PIPE INLET PROTECTION - STRAW WATTLE
	CLEANOUT		CONSTRUCTION ENTRANCE
	PROPOSED CONTOUR		HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
	WETLANDS		EROSION CONTROL BLANKET
	HIGH WATER LEVEL (HWL)		
	NORMAL WATER LEVEL (NWL)		
	DIVERSION SWALE		
	DIVERSION DITCH		



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PINNACLE ENGINEERING GROUP

**DEBACK FARMS -
PAD F
CALEDONIA, WISCONSIN**

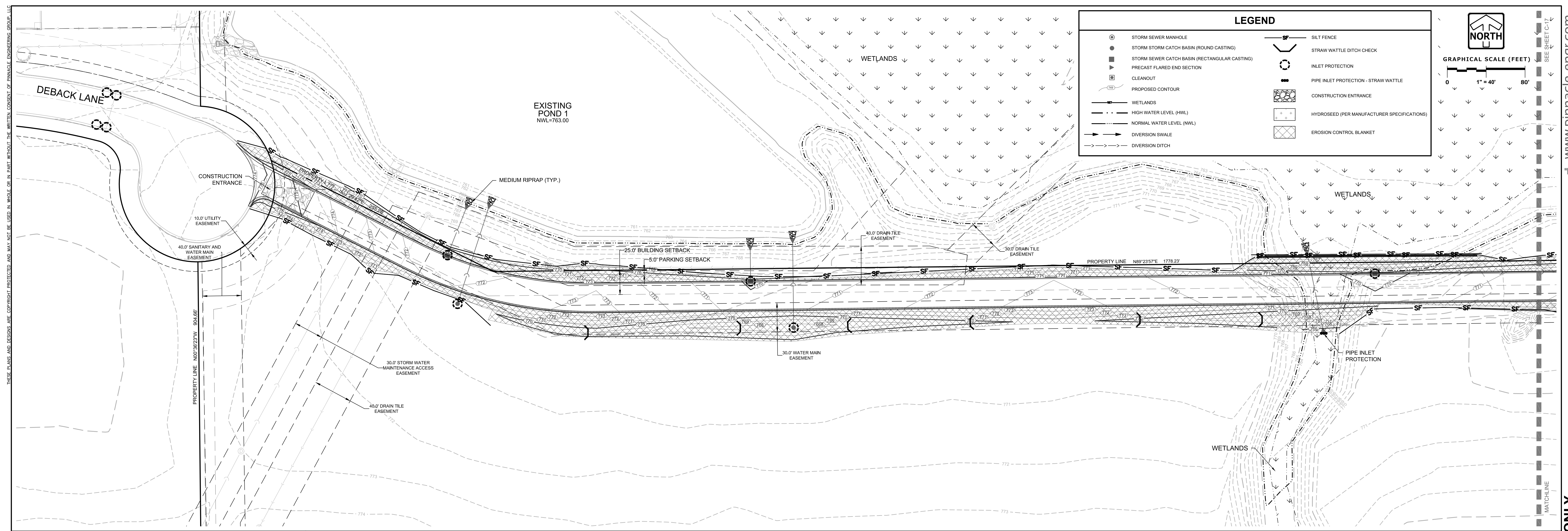
EROSION CONTROL PLAN OVERVIEW

REVISIONS

NO.	DESCRIPTION	DATE
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2	BSO SUBMITTAL #1	02/08/21

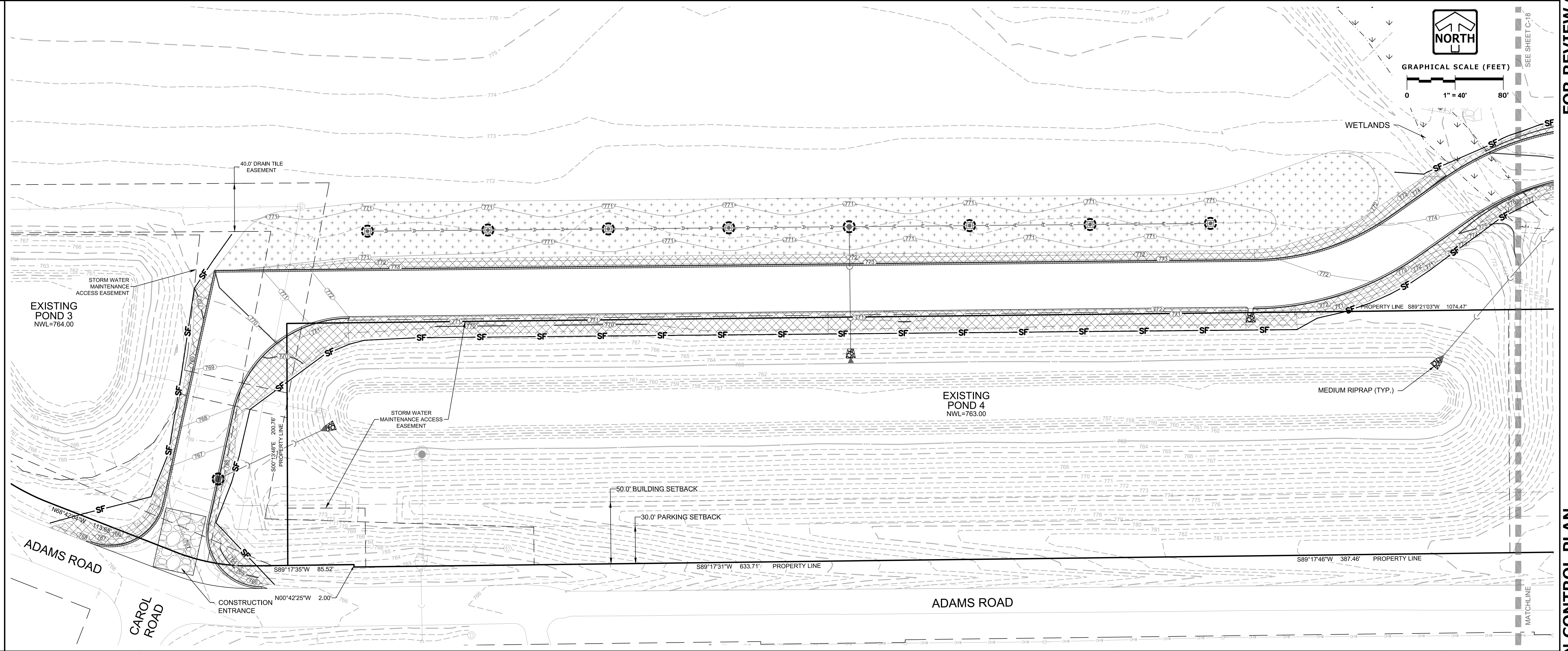
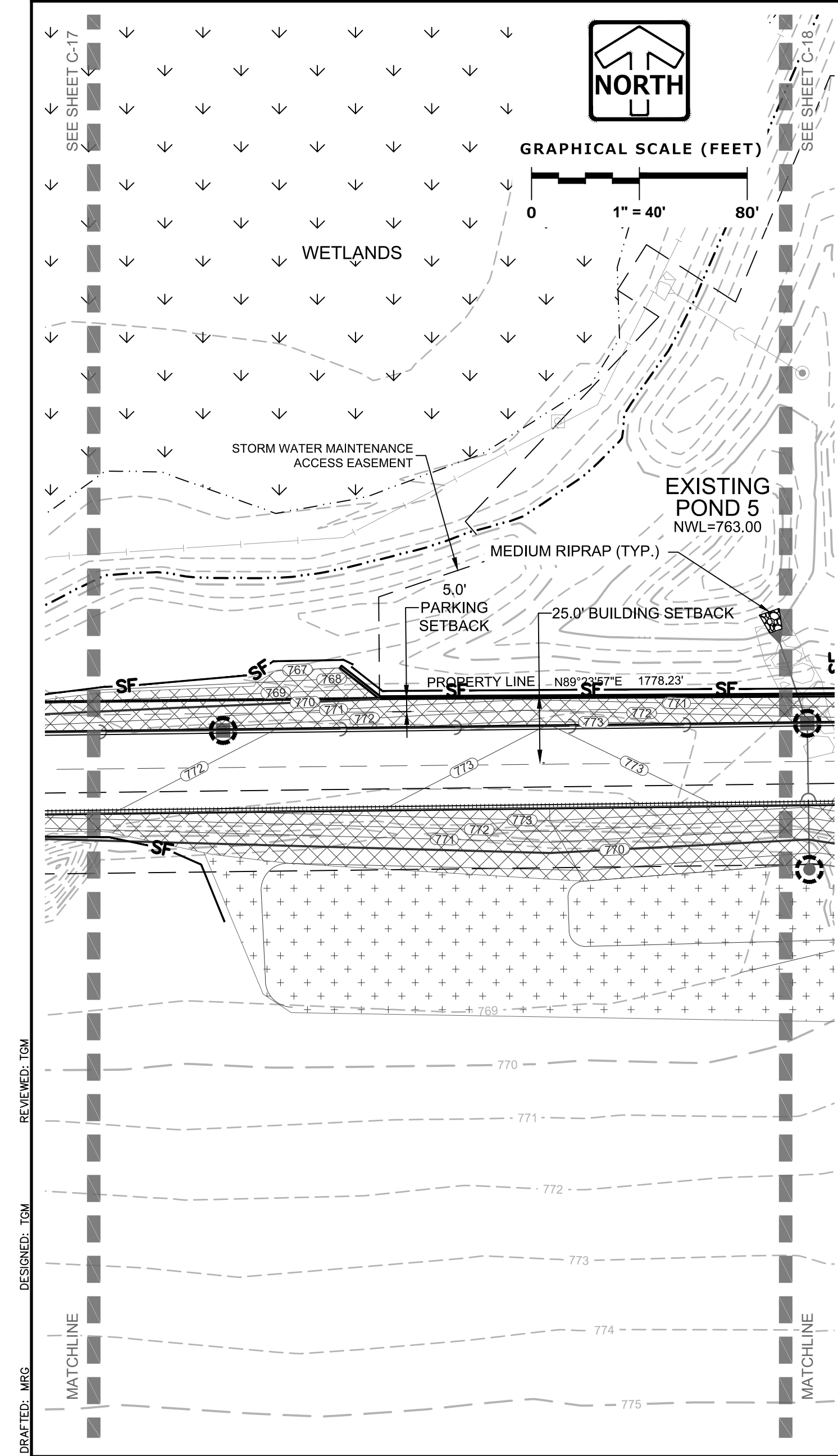
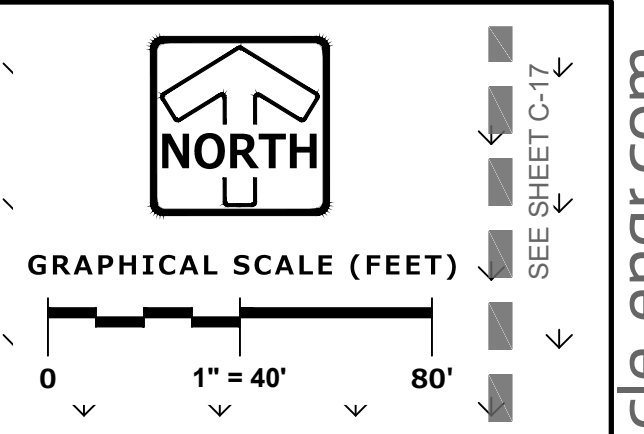
REG. JOB No. 390.00C
AREA
START DATE: 03/06/21
SCALE: 1"=100'

SHEET
C-16
of
C-22



LEGEND

	STORM SEWER MANHOLE		SILT FENCE
	STORM SEWER CATCH BASIN (ROUND CASTING)		STRAW WATTLE DITCH CHECK
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)		INLET PROTECTION
	PRECAST FLARED END SECTION		PIPE INLET PROTECTION - STRAW WATTLE
	CLEANOUT		CONSTRUCTION ENTRANCE
	PROPOSED CONTOUR		HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
	WETLANDS		EROSION CONTROL BLANKET
	HIGH WATER LEVEL (HWL)		
	NORMAL WATER LEVEL (NWL)		
	DIVERSION SWALE		
	DIVERSION DITCH		



DESIGNED: TDM
DRAWN: MRS
REVIEWED: TDM

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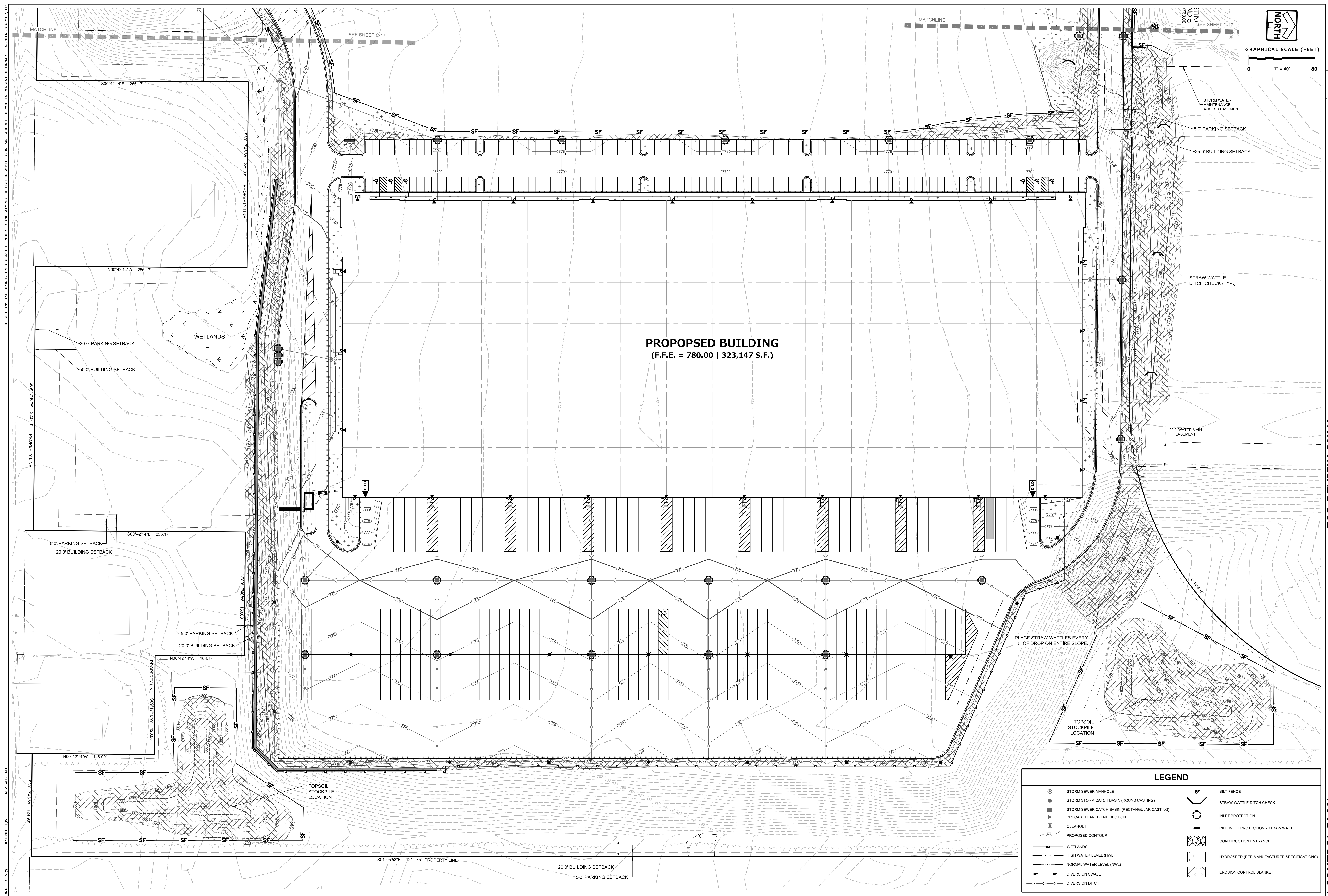
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**DEBACK FARMS -
PAD F
CALEDONIA, WISCONSIN**

EROSION CONTROL PLAN

REVISIONS		SHEET C-17 of C-22
NO.	DESCRIPTION	
1	BID SET	01/08/21
2	BSO SUBMITTAL #1	02/08/21

REG. JOB NO.: 390.00C
AREA
START DATE: 01/06/21
SCALE: 1" = 40'



PROPOSED BUILDING
(F.F.E. = 780.00 | 323,147 S.F.)

LEGEND	
●	STORM SEWER MANHOLE
○	STORM STORM CATCH BASIN (ROUND CASTING)
■	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
▣	PRECAST FLARED END SECTION
□	CLEANOUT
—	PROPOSED CONTOUR
—	WETLANDS
—	HIGH WATER LEVEL (HWL)
—	NORMAL WATER LEVEL (NWL)
→	DIVERSION SWALE
→	DIVERSION DITCH
—	SILT FENCE
—	STRAW WATTLE DITCH CHECK
○	INLET PROTECTION
—	PIPE INLET PROTECTION - STRAW WATTLE
—	CONSTRUCTION ENTRANCE
+	HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
—	EROSION CONTROL BLANKET

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**DEBACK FARMS -
PAD F
CALEDONIA, WISCONSIN**

EROSION CONTROL PLAN

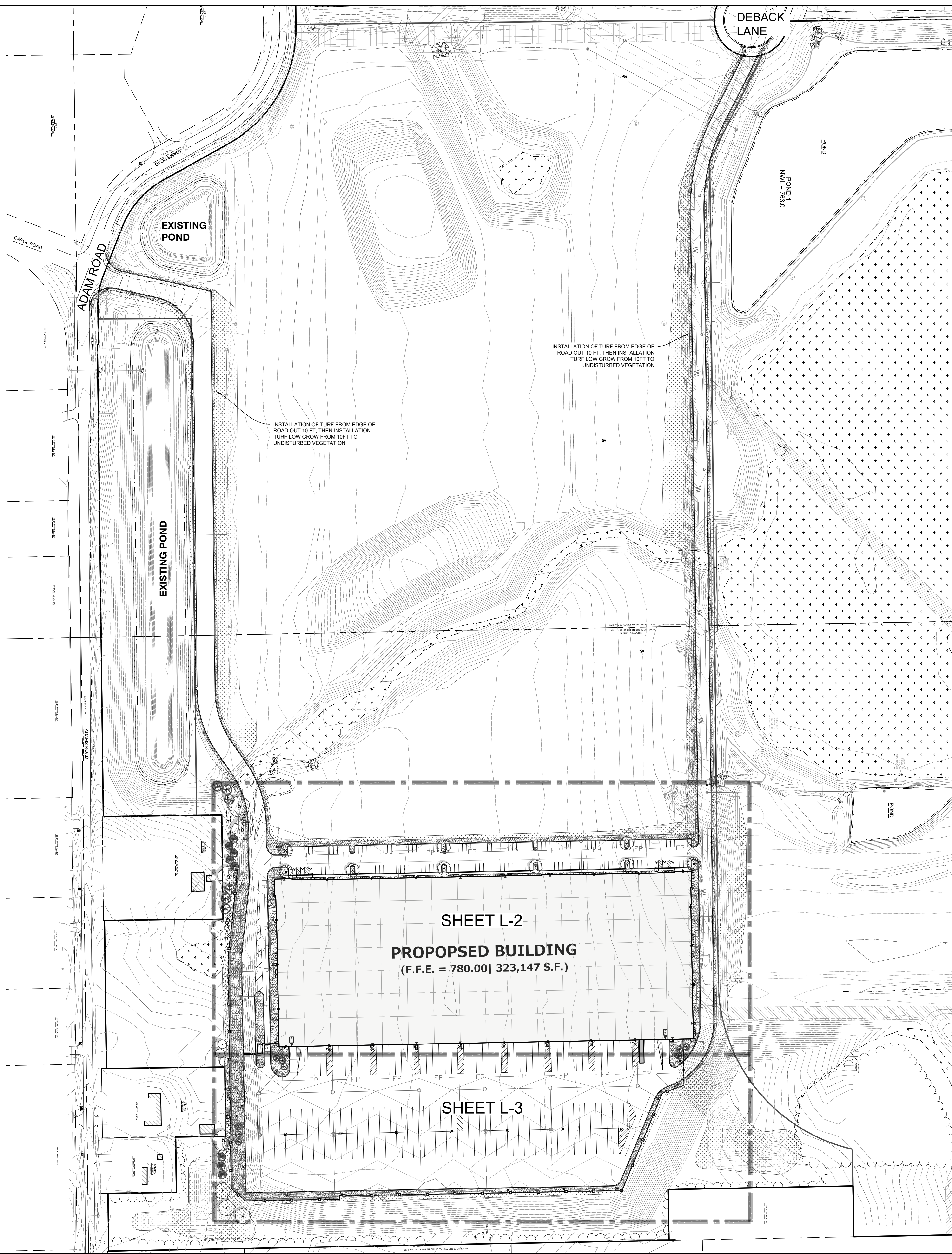
REVISIONS	
1	BID SET 01/08/21
2	BSO SUBMITTAL #1 02/08/21

REG. JOB NO.	390.00C
REG. NO.	AREA
START DATE	01/06/21
SCALE	1" = 40'

SHEET **C-18** of **C-22**

Z:\PROJECTS\2014\390.00C-WI\CAD\SHEETS\390.00C-WI EROSION CONTROL PLAN.DWG

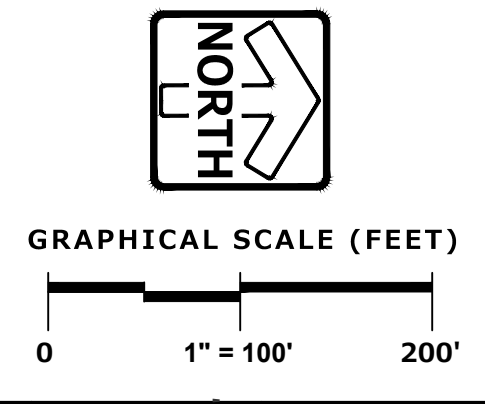
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PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	QTY	MATURE SIZE
AF4	Acer freemanii 'Autumn Fantasy' / Autumn Fantasy Maple	2" Cal.	4	50' T x 40' W
AMT	Acer saccharum 'Flax Mill Majesty' / Flax Mill Majesty Maple	2" Cal.	6	55' T x 45' W
GTS	Gleditsia triacanthos inermis 'Shademaster' / Shademaster Locust	2" Cal.	4	60' T x 50' W
OXS	Quercus x schuetti / Swamp Bur Oak	2" Cal.	4	70' T x 65' W
TSS	Tilia tomentosa 'Sterling' / Sterling Silver Linden	2" Cal.	3	45' T x 40' W
EVERGREEN TREES	BOTANICAL / COMMON NAME	SIZE	QTY	MATURE SIZE
ACF	Abies concolor / White Fir	5" Ht.	3	40' T x 23' W
PAN	Picea abies / Norway Spruce	5" Ht.	9	60' T x 28' W
PGD	Picea glauca 'Densata' / Black Hills Spruce	5" Ht.	9	30' T x 15' W
PSW	Pinus strobus / White Pine	5" Ht.	8	65' T x 30' W
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	SIZE	QTY	MATURE SIZE
MPM	Malus x 'Prairie Maid' / Prairie Maid Crabapple	1.5" Cal.	2	20' T x 25' W
MSU	Malus x 'Sugar Tyme' / Sugar Tyme Crabapple	1.5" Cal.	2	25' T x 25' W
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY	MATURE SIZE
ACB	Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry	18" Ht.	7	7' T x 6' W
ABC	Aronia melanocarpa 'Elatea' / Glossy Black Chokeberry	18" Ht.	12	5' T x 5' W
CPP	Cephalanthus occidentalis 'Ping Pong' / Ping Pong Buttonbush	18" Ht.	8	8' T x 8' W
CAF	Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood	15" Ht.	12	3' T x 3' W
HVS	Hydrangea p 'Vanilla Strawberry' / Vanilla Strawberry Hydrangea	18" Ht.	14	6' T x 5' W
HBO	Hydrangea paniculata 'Bobo' / Bobo Hydrangea	15" Ht.	4	3' T x 4' W
IVJ	Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry	18" Ht.	2	5' T x 5' W
IVR	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	15" Ht.	10	5' T x 5' W
IVH	Itea virginica 'Little Henry' / Little Henry Sweetspire	18" Ht.	6	3' T x 3' W
SMP	Syringa meyeri 'Palibin' / Dwarf Korean Lilac	18" Ht.	8	5' T x 6' W
VPB	Viburnum prunifolium 'Blackhaw' / Blackhaw Viburnum	18" Ht.	10	10' T x 10' W
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY	MATURE SIZE
JSP	Juniperus chinensis 'J.N. Select Blue' / Star Power Juniper	4" Ht.	17	16' T x 8' W
JM3	Juniperus chinensis 'Mountbatten' / Mountbatten Juniper	4" Ht.	8	15' T x 7' W
JOG	Juniperus chinensis 'Old Gold' / Old Gold Juniper	18" Ht.	12	3' T x 5' W
JCS	Juniperus chinensis 'Sea Green' / Sea Green Juniper	18" Ht.	12	5' T x 7' W
PN2	Picea abies 'Nidiformis' / Nest Spruce	18" Ht.	4	3' T x 5' W
PS3	Pinus mugo 'Slowmound' / Slowmound Mugo Pine	18" Ht.	4	3' T x 3' W
TMT	Taxus x media 'Tauntonii' / Tauntou Yew	18" Ht.	12	4' T x 5' W
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	SIZE	QTY	MATURE SIZE
AGD	Andropogon gerardii 'Dancing Wind' / Dancing Wind Big Blue Stem	1 gal.	6	36" T x 30" W
CKF	Calamagrostis x a 'Karl Foerster' / Karl Foerster Reed Grass	1 gal.	6	36" T x 24" W
CFO	Calamagrostis x a 'Overdam' / Overdam Reed Grass	1 gal.	14	24" T x 24" W
ESP	Eragrostis spectabilis / Purple Love Grass	1 gal.	6	24" T x 18" W
MSC	Miscanthus sinensis 'Octoberfest' / Octoberfest Miscanthus	1 gal.	4	48" T x 36" W
PNW	Panicum virgatum 'Northwind' / Northwind Switch Grass	1 gal.	20	42" T x 28" W
SLB	Schizachyrium scoparium 'Blue Heaven' / Blue Heaven Little Bluestem Grass	1 gal.	24	30" T x 28" W
STD	Sporobolus heterolepis 'Tara' / Prairie Dropseed	1 gal.	3	15" T x 20" W
PERENNIALS	BOTANICAL / COMMON NAME	SIZE	QTY	MATURE SIZE
ASB	Allium x 'Summer Beauty' / Summer Beauty Allium	4.5" Cont.	12	18" T x 12" W
ARD	Astilbe x 'Rhineland' / Rhineland Astilbe	4.5" Cont.	12	12" T x 18" W
CAL	Calamintha nepeta / Calamint	4.5" Cont.	28	12" T x 18" W
CVZ	Coreopsis verticillata 'Zagreb' / Zagreb Coreopsis	4.5" Cont.	18	20" T x 16" W
GBC	Geranium x cantabrigiense 'Biokovo Carmina' / Biokovo Carmina Cranesbill	4.5" Cont.	6	12" T x 18" W
GMT	Geum x 'Mai Tai' / Mai Tai Grecian Rose	4.5" Cont.	20	16" T x 12" W
HFP	Heuchera m 'Palace Purple' / Palace Purple Coral Bells	4.5" Cont.	12	18" T x 18" W
SMN	Salvia nemorosa 'May Night' / May Night Sage	4.5" Cont.	14	18" T x 18" W
SAJ	Sedum 'Autumn Joy' / Autumn Joy Sedum	4.5" Cont.	20	12" T x 24" W
TURF	BOTANICAL / COMMON NAME	QTY		
	Turf Hydroseed / Reinders - Cadet 70/30 Fescue/Blue Mix	95,692 sf		
	Turf Hydroseed Low Grow / Reinders No Mow/Low Grow Mix	193,561 sf		

- NOTES - INTERNAL ROADWAYS:**
- INSTALL TURF FROM EDGE OF ROAD OUT 10 FT
 - INSTALL TURF LOW GROW FROM 10FT THROUGH AREA OF DISTURBANCE



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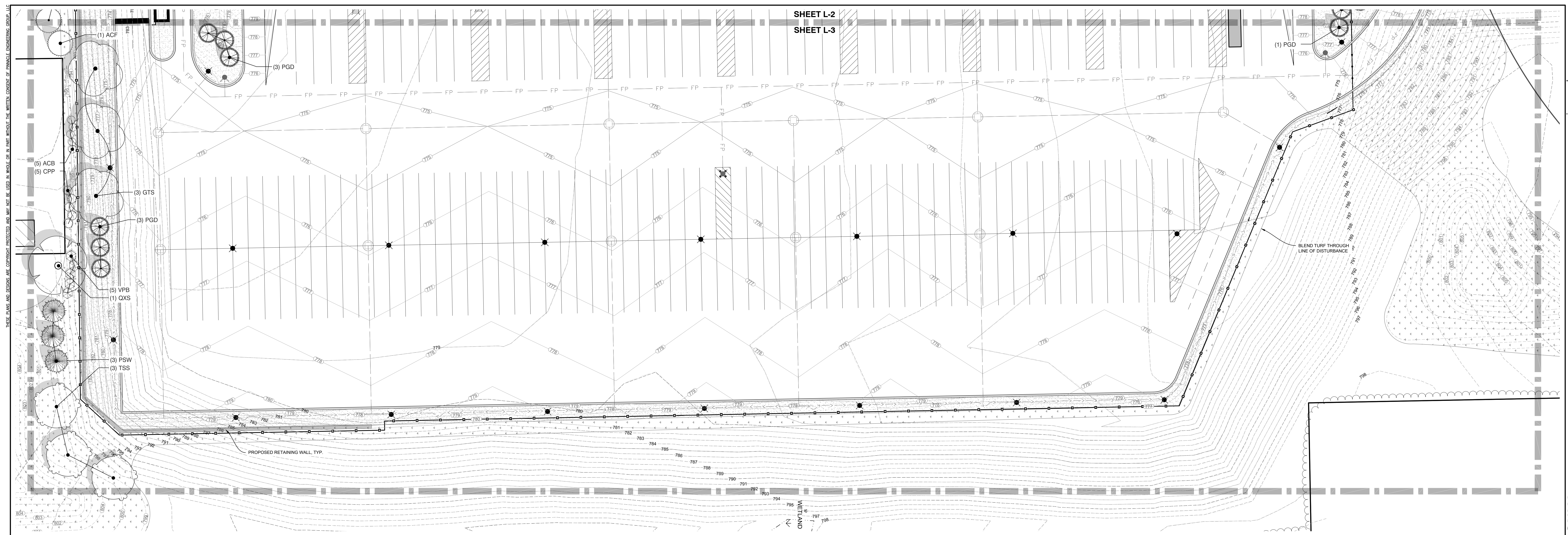
DEBACK FARMS - PAD F
CALEDONIA, WISCONSIN

LANDSCAPE OVERVIEW

REVISIONS	
1. BID SET	01/08/21
2. BSO SUBMITTAL #1	02/08/21

REG. NO. 390.00C
 AREA
 START DATE 03/06/21
 SCALE 1" = 100'
 SHEET L-1 OF L-4

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 FOR REVIEW ONLY
 LANDSCAPE OVERVIEW

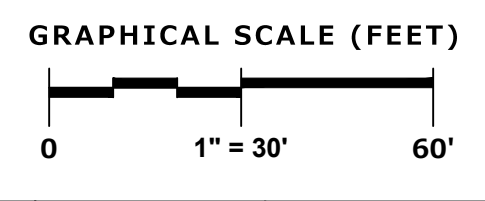
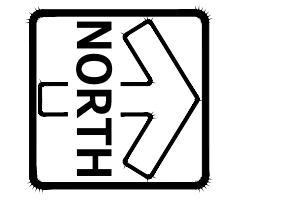


PLANT KEY

TREES	BOTANICAL / COMMON NAME
AF4	Acer freemanii / Autumn Fantasy / Autumn Fantasy Maple
AM7	Acer saccharum 'Flax Mill Majesty' / Flax Mill Majesty Maple
GTS	Gleditsia triacanthos inermis 'Shademaster' / Shademaster Locust
OXS	Quercus x schuetti / Swamp Bur Oak
TSS	Tilia tomentosa 'Sterling' / Sterling Silver Linden
EVERGREEN TREES	BOTANICAL / COMMON NAME
ACF	Abies concolor / White Fir
PAN	Picea abies / Norway Spruce
PGD	Picea glauca 'Densata' / Black Hills Spruce
PSW	Pinus strobus / White Pine
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MSU	Malus x 'Sugar Tyme' / Sugar Tyme Crabapple
SHRUBS	BOTANICAL / COMMON NAME
ACB	Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry
ABC	Aronia melanocarpa 'Eleta' / Glossy Black Chokeberry
CPP	Cephalanthus occidentalis 'Ping Pong' / Ping Pong Buttonbush
CAF	Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood
HVS	Hydrangea p 'Vanilla Strawberry' / Vanilla Strawberry Hydrangea
HBO	Hydrangea paniculata 'Bobo' / Bobo Hydrangea
IVJ	Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry
IVR	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry
IVH	Itea virginica 'Little Henry' / Little Henry Sweetpire
SMP	Syringa meyeri 'Palibin' / Dwarf Korean Lilac
VPB	Viburnum prunifolium 'Blackhaw' / Blackhaw Viburnum

EVERGREEN SHRUBS	BOTANICAL / COMMON NAME
JSP	Juniperus chinensis 'J.N. Select Blue' / Star Power Juniper
JM3	Juniperus chinensis 'Mountbatten' / Mountbatten Juniper
JOG	Juniperus chinensis 'Old Gold' / Old Gold Juniper
JCS	Juniperus chinensis 'Sea Green' / Sea Green Juniper
PN2	Picea abies 'Nidiformis' / Nest Spruce
PS3	Pinus mugo 'Stowmound' / Stowmound Mugo Pine
TMT	Taxus x media 'Tautonii' / Tauton Yew
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CFO	Calamagrostis x a 'Overdam' / Overdam Reed Grass
ESP	Eragrostis spectabilis / Purple Love Grass
MSO	Miscanthus sinensis 'Oktoberfest' / Oktoberfest Miscanthus
PNW	Panicum virgatum 'Northwind' / Northwind Switch Grass
SLB	Schizachyrium scoparium 'Blue Heaven' / Blue Heaven Little Bluestem Grass
STD	Sporobolus heterolepis 'Tara' / Prairie Dropseed
PERENNIALS	BOTANICAL / COMMON NAME
ASB	Allium x 'Summer Beauty' / Summer Beauty Allium
ARD	Astilbe x 'Rhineland' / Rhineland Astilbe
CAL	Calamintha nepeta / Calamint
CVZ	Coreopsis verticillata 'Zagreb' / Zagreb Coreopsis
GBC	Geranium x cantabrigiense 'Blokovo Carmina' / Blokovo Carmina Cranesbill
GMT	Geum x 'Mai Tai' / Mai Tai Grecian Rose
HRP	Heuchera m 'Palace Purple' / Palace Purple Coral Bells
SMN	Salvia nemorosa 'May Night' / May Night Sage
SAJ	Sedum 'Autumn Joy' / Autumn Joy Sedum

TURF	BOTANICAL / COMMON NAME
	Turf Hydroseed / Reinders - Cadet 70/30 Fescue/Blue Mix
	Turf Hydroseed Low Grow / Reinders No Mow/Low Grow Mix



PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
20725 WATERTOWN ROAD SUITE 100
BROOKFIELD, WI 53005
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

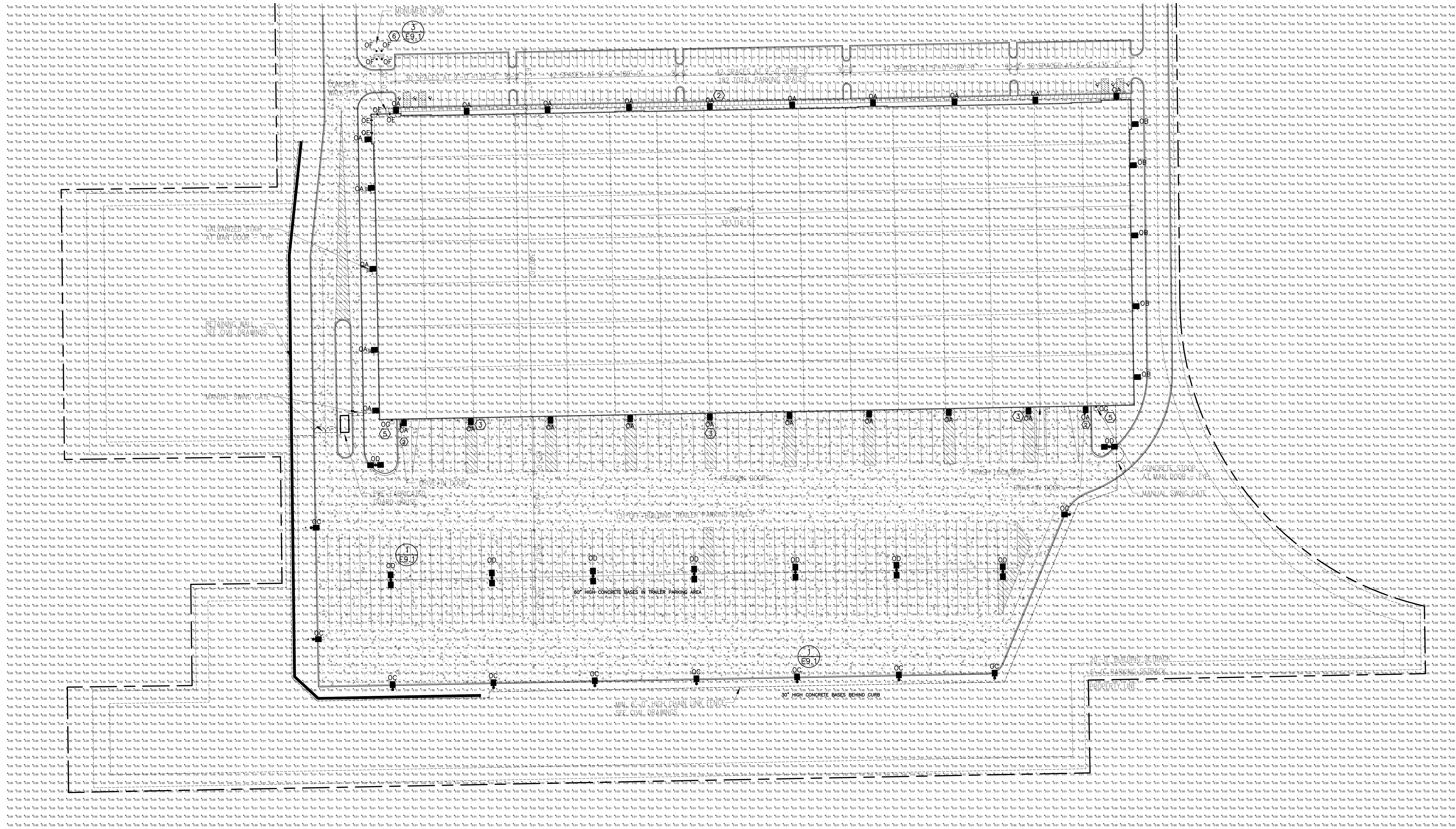
**DEBACK FARMS -
PAD F
CALEDONIA, WISCONSIN**

LANDSCAPE ENLARGEMENT

REVISIONS	
1. BID SET	01/08/21
2. BSO SUBMITTAL #1	02/08/21

REG. OR. NO. 390.00C
REG. OR. AREA
START DATE 01/09/21
SCALE 1" = 30'

SHEET
L-3
OF
L-4



- SHEET NOTES**
- ① GENERAL NOTE: FOOT CANDLES SHOWN WITH 1.00 LIGHT LUMEN DEPRECIATION FACTOR.
 - ② TYPICAL MOUNT TYPE OA AND OB LIGHT FIXTURES CENTERED AT 30' 6" AFG AT ALL LOCATIONS EXCEPT TRUCK DOCK.
 - ③ MOUNT TYPE OA FIXTURES CENTERED AT 33' 6" AFG AT TRUCK DOCK AREA. GRADE AT TRUCK DOCK AREA IS 3' LOWER THAN THE REST OF THE BUILDING. TYPE OA LIGHTS ARE AT THE SAME ELEVATION AROUND THE BUILDING.
 - ④ GENERAL NOTE: EXTERIOR LIGHTS SHALL BE CONTROLLED PER STATE AND 2015 INTERNATIONAL ENERGY CONSERVATION CODE ON BUILDING LIGHTS MONITORED BY PHOTOCELL, TIME CLOCK AND LIGHTING CONTACTORS, ASTRONOMICAL TIME CLOCK OR LIGHTING CONTROL PANEL WITH PHOTOCELL INPUT. ALL LIGHTS SHALL BE CONTROLLED FOR DUSK TO DAWN OPENING AND CLOSING TIMES PER CODE. ASTRONOMICAL TIME CLOCKS OR LIGHTING CONTROL PANEL SHALL HAVE A TEN HOUR MINIMUM BATTERY BACK UP. INSTALL PER ALL APPLICABLE ELECTRICAL CODES.
 - ⑤ TYPICAL MOUNT TYPE OG LIGHT 12' AFG.
 - ⑥ SIGN LIGHTS SHALL HAVE SEPARATE CONTROL. SIGN FLOOD LIGHTS SHALL BE SETBACK 3/4 OF THE SIGN HEIGHT AND DOUBLE THE SETBACK APART.

1 SITE LIGHTING PLAN
E1.1 1" = 50'

LIGHTING DISTRIBUTION (FOOT-CANDLES)

AREA	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN	NOTES
WEST PARKING	1.46	5.47	.71	7.71	2.11	
NORTH DRIVE	1.46	5.47	.71	7.71	2.11	1
SOUTH DRIVE	1.62	5.73	.72	5.21	2.31	
TRUCK TRAILER PARKING/DRIVE AREA	2.02	6.37	.84	7.61	2.41	

1. SOME POINTS ON THE NORTH SIDE OF THE NORTH DRIVE ARE BELOW OR REQUESTED .5 FC MINIMUM. A HIGHER LUMEN LIGHT CANNOT BE USED AS INCREASING LIGHT FIXTURE LUMENS WILL CAUSE THE LIGHT LEVELS TO EXCEED .5 FC AT THE PROPERTY LINE.

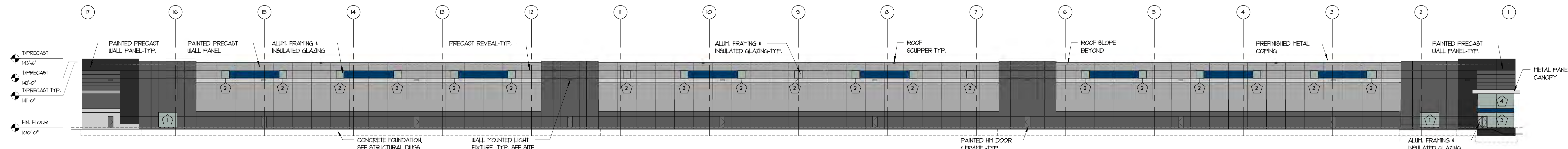
2016 LINE BOOK
 SUBJ: 280
 REVISIONS: 11.0015
 PH: (847) 940-0000
 FAX: (847) 940-0045

Partners in Design
ARCHITECTS

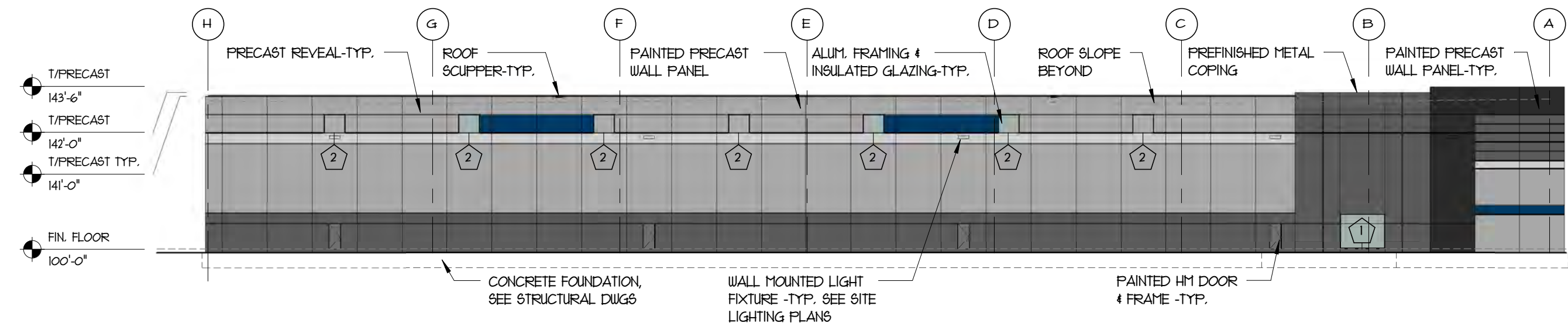
CALEDONIA - DEBACK FARMS PAD F
 DeBack Farms Business Park, Caledonia, WI 53126
PROPOSED SITE LIGHTING PLAN

PROJECT NO: 875.21.001
 DRAWN BY: DLH
 CHECKED BY: DLH
 DATE: 02.08.21
 SHEET NO: E1.1

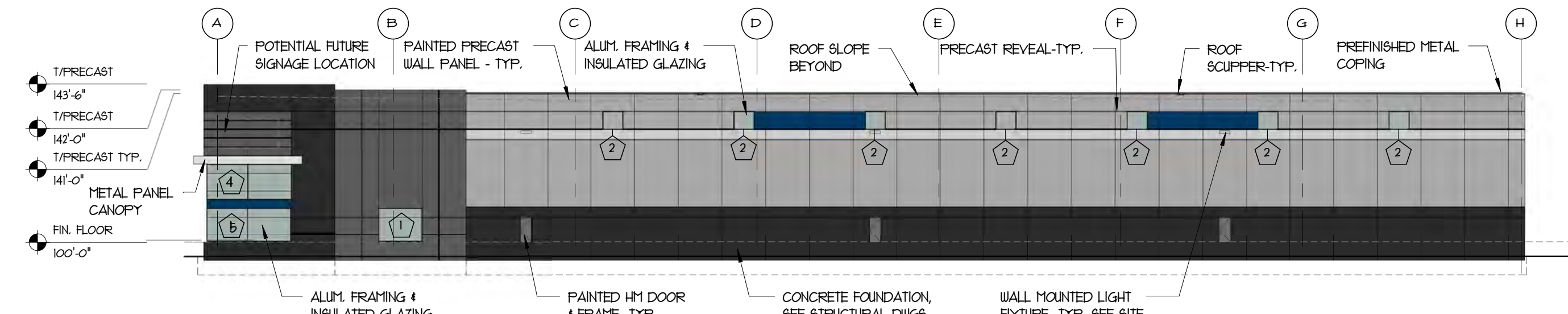
WISCONSIN
 DAVID HANSON
 E-27325
 KENOSHA WI
 PROFESSIONAL ENGINEER



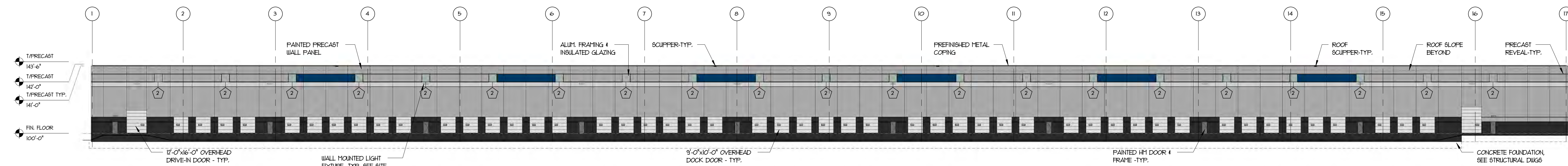
1 WEST ELEVATION
A4.1
1" = 30'-0"



2 NORTH ELEVATION
A4.1
1" = 30'-0"



3 SOUTH ELEVATION
A4.1
1" = 30'-0"



4 EAST ELEVATION
A4.1
1" = 30'-0"



COLOR LEGEND:

- PAINT COLOR 1
FIELD COLOR - T.B.D.
- PAINT COLOR 2
ACCENT COLOR - T.B.D.
- PAINT COLOR 3
ACCENT COLOR - T.B.D.
- PAINT COLOR 4
ACCENT COLOR - T.B.D.
- PAINT COLOR 5
ACCENT COLOR - T.B.D.
- METAL PANEL CANOPY
MATCH FAC CLAD-T.B.D.





Meeting Date: February 22, 2021

Item No. 6f

PLAN COMMISSION REPORT

Proposal: Status Review Zoning Code Revisions

Description: Review proposed draft Chapters 1-5 of the Village Zoning Code.

Applicant(s): Village of Caledonia

Address(es): n/a

Suggested Motion: No action required.

Background: When the Town of Caledonia became the Village of Caledonia in 2005, the Village adopted Racine County's Zoning Code as their own. Since that time, the Village has amended its code several times and has created zoning code Title 16. As a result, staff has had to reference both Title 16 of the Village Code and Racine County's Zoning Code that was adopted in 2005 when applying the zoning code for development projects and code enforcement. This split in regulations is difficult for developers, residents, and businesses to understand what the rules and regulations are for the Village. Staff has been working on merging the two code sections into one unified Village code Title. This process has been more time consuming than originally anticipated.

Staff has prepared the first five chapters for review and discussion. A binder has been prepared with the first five chapters and will be available at Village Hall on Monday morning, February 22nd. Chapters for discussion will be:

- Chapter 1: Introduction; Authority and Adoption
- Chapter 2: Administration & Enforcement
- Chapter 3: Board of Appeals
- Chapter 4: Required Plans and Design Guidelines
- Chapter 5: General Provisions and Requirements

The purpose of this agenda item to review and discuss the content of the chapter and answer questions or take suggestions as to what should be and not be included in these chapters.

No action is required at this time. Over the next few Plan Commission meetings, staff will be presenting new chapters for your review and input. It's anticipated that the Title 16 will include eighteen chapters. Some of the chapters have few, if any, changes and others will have significant changes or reorganization than what currently exists. Staff is choosing this approach as not to overwhelm the Commission with lots of information at one time. Staff hopes to complete this review with the Plan Commission and have the final review complete by June 2021.

Respectfully submitted:

A handwritten signature in black ink that reads "Peter Wagner". The signature is written in a cursive, flowing style.

Peter Wagner, AICP
Development Director