
VILLAGE OF CALEDONIA UTILITY DISTRICT MEETING AGENDA

**Wednesday, August 18, 2021 at 6:00 p.m.
Caledonia Village Hall - 5043 Chester Lane**

THIS WILL BE AN IN-PERSON MEETING

- 1. Meeting Called to Order**
- 2. Roll Call**
- 3. Approval of Minutes**
 - a. Utility District Regular Meeting – July 7, 2021
- 4. Citizen Comments**
- 5. Communications and Announcements**
 - a. Racine Water Utility Agenda & Minutes
 - b. Racine Wastewater Utility Agenda & Minutes
 - c. Operator, Operator Apprentice, & Utility Technician Position Update
 - d. Correspondence from Racine Wastewater Utility – Mount Pleasant Unplanned Expanded Sewer Service Facility Project Request & Unplanned Upgraded Sewer Service Facility Project Request
 - e. 2020 Annual CMOM Report
- 6. Approval of O&M Bills**
 - a. O&M Bills related to the Sewer Utility District
 - b. O&M Bills related to the Water Utility District
 - c. O&M Bills related to the Storm Water Utility District
- 7. Project Updates**
 - a. Construction Contract Status
 - b. Riverbend Drive Lift Station Safety Site
 - c. Riverbend Lift Station & Forcemain Upgrade
 - d. DeBack Industrial Park Phase 3 Improvements
 - e. Annual Televising Program – Sanitary Sewer
 - f. Water Impact Fee / Sewer Connection Fee Update
 - g. EPA Risk & Resilience Assessment and Emergency Response Plan
 - h. Hoods Creek Attenuation Basin Expansion
 - i. Central Lift Station Safety Site & Attenuation Basin
 - j. North Kremer Watermain Project
 - k. Dominican Lift Station Rehab Project
 - l. Concord Apartments Meter Vault
 - m. Hoods Creek – Aldebaran Brushing Project
 - n. Tanglewood Avenue Storm Sewer Replacement Project
 - o. Wind Point West Subdivision Project
 - p. GIS Updates
 - q. Alcyn Drive
 - r. Douglas Avenue OMG Ditch Project
 - s. Turtle Creek Restoration
- 8. Action Items**
 - a. Smoke Testing Discussion/Presentation
 - b. Badger Liquor South – Utility Plan – Conditional Approval
 - c. Water Impact Fee / Sewer Connection Fee Update
 - d. Caledonia Mitigation Plan Update
 - e. Turtle Creek Restoration Project – Drainage Easements
 - f. Auburn Hills Phase 3B – Subdivision System Acceptance
- 9. Adjournment**

**Village of Caledonia Utility District Meeting
July 7, 2021**

1. Meeting Called to Order – The Regular Meeting of the Village of Caledonia Utility District was held on Wednesday, July 7, 2021. The meeting was called to order by President Howard Stacey at 6:00 pm.

2. Roll Call – Those present were President Howard Stacey, Commissioners Tony Minto, Dave Ruffalo, John Strack, and Trustee Lee Wishau. Commissioner Michael Pirk arrived at 6:25pm. Commissioner Nick Sullivan was excused. Also, present were Human Resources Manager Michelle Tucker, Utility Manager Robert Lui, and Utility Director Anthony Bunkelman.

3. Approval of Minutes

a. Upon a motion by Minto and seconded by Wishau, the Commission approved the minutes from the Utility District’s previous regular meeting held June 2, 2021. A copy of the minutes has been furnished to each Commissioner. **Motion carried.**

4. Citizen Comments – None.

DRAFT

5. Communications and Announcements

a. Racine Water Utility Agenda & Minutes

The Commission looked over the May 18th Minutes for the Racine Water Utility.

b. Racine Wastewater Utility Agenda & Minutes

The Commission looked over the May 18th and June 1st Minutes, and the June 1st Agenda for the Racine Wastewater Utility.

c. Operator, Operator Apprentice & Utility Technician Position Discussion – Michelle Tucker

Human Resources Manager Michelle Tucker was present and discussed the Utility Hiring Updates Memo provided in the Utility District Packet. Trustee Wishau had concerns with salary issues being addressed outside of budget review, Commissioner Minto stated that the Utility Technician position needs to get posted. Commissioner Ruffalo discussed a shortage of trades people. Commissioner Strack suggested reaching out to Academy of Racine for operations training. The Commission was supportive of taking the Operator’s wage increase to the Personnel Committee.

d. Thank You from North Shore Animal Hospital

The Village Administrator and Utility Director received the email in the Utility District Packet about Blaise Michna providing quick service and great advice on a sewer backup at the North Shore Animal Hospital. This information was shared with Mr. Michna.

6. Approval of O&M Bills

- a. Upon a motion by Wishau and seconded by Minto, the Commission approved payment of O&M Bills, related to the Sewer Utility District totaling \$302,194.82. **Motion carried.**
- b. Upon a motion by Wishau and seconded by Minto, the Commission approved payment of O&M Bills, related to the Water Utility District totaling \$84,441.96. **Motion carried.**
- c. Upon a motion by Wishau and seconded by Minto, the Commission approved payment of O&M Bills related to the Storm Water Utility District totaling \$23,852.36. **Motion carried.**

7. Project Updates

DRAFT

a. Construction Contract Status

The current contract statuses were shared with the Commissioners.

b. Riverbend Lift Station Safety Site

Meeting with Foth on Project (7/7/2021). Finalizing Facilities Plan. To be completed by July 2021 and submitted to the DNR by September 2021. Preliminary Design to be ready by July 2021. Proposed to be bid in January 2022 with Construction February 2022 – September 2022.

c. Riverbend Lift Station & Forcemain Upgrade

Working on Facilities Plan. To be completed by July 2021 and submitted to the DNR by September 2021.

d. DeBack Industrial Park Phase 3 Improvements

Provided Village Board with alternatives for their approval. Meeting scheduled for July 19th.

e. Annual Televising Program – Sanitary Sewer

Continuing to perform repairs that staff can perform.

f. Water Impact Fee / Sewer Connection Fee Update

Working on various alternatives for discussion with the District.

g. EPA Risk & Resilience Assessment and Emergency Response Plan

Water Utility RRA has been submitted EPA. Began work on Sewer plan.

h. Hoods Creek Attenuation Basin Expansion

Ray Leffler working on locations for excavated material. Proposed to be bid in August 2021 with Construction September 2021 – August 2022. This construction timeframe may be adjusted slightly to have a longer timeframe.

i. Central Lift Station Safety Site & Attenuation Basin

Met with Foth to discuss Facilities Plan. Preparing to send to the DNR soon. Preliminary Design being worked on. Proposed to be bid in April 2023 with Construction May 2023 – July 2024.

j. North Kremer Watermain Project

Plans reviewed and sent out to bid. Bid Opening set for July 1.

k. Dominican Lift Station Rehab Project

Meeting with Foth on Project (7/7/2021). Working with Pinnacle on issues with TID #5 development and retaining wall. Working on preparing information for direct purchase for Finance Committee. Proposed to be bid in July/August 2021 with construction August 2021 – February 2022.

DRAFT

l. Concord Apartments Meter Vault

Relocation Order approved by the Village Board and recorded at the Register of Deeds. Southern Wisconsin Appraisal working on appraisal and obtaining easement form Concord Apartments. If easement obtained prior to North Kremer Project being completed it will be included as an alternate.

m. Hoods Creek – Aldebaran Brushing Project

Working with contractor to have log jams removed.

n. Tanglewood Avenue Storm Sewer Replacement Project

Project completed. Awaiting Final Pay Request. Retainage remains on contract.

o. Wind Point West Subdivision Project

Project completed. Awaiting Final Pay Request. Retainage remains on contract.

p. GIS Updates

Hyperlinking of Easement documents and Storm Sewer Projects ongoing. Will be gathering Subdivision Plats and Subdivision Plans as time allows.

q. Alcyn Drive – Drainage Complaint

Waiting for contractor pricing. Then will respond to owners.

r. Douglas Avenue – OMG Ditch Project

Foth proceeding with plans to get out for bidding and construction in 2021. Looking to bid in August/September 2021 to avoid crop damage.

s. Turtle Creek Restoration

Draft of Easement information has been reviewed and proceeding to Legal Descriptions and Exhibits. Relocation Order should be ready for District and Village Board in August.

8. Action Items

a. 5605 Eagle Point Drive – Water billing concern/complaint

Mr. Frank James II of 5605 Eagle Point Drive was present and gave a small presentation/explanation of his situation. Mr. James would like to see some relief or understanding. He would also like to see allowances for outliers.

Director Bunkelman provided the Commissioners with the letter from Mr. James, the homes water usage history and email correspondence from the Public Service Commission. Bunkelman explained that when we see a reading higher than normal, we contact the owner. The owner admitted to having a leaky toilet and has since repaired it. The Utility has also tested the meter and the meter is not defective. Mr. James claims to have received relief from the City of Racine for a similar issue. The Public Service Commission was contacted, and the Utility has been directed that the water that flows through the meter must be billed. The Utility can give relief on the sewer bill but the Utility bills single family homes as a fixed rate for sanitary sewer service.

DRAFT

Upon a motion by Minto and seconded by Wishau, the Commission moved to deny the request from Mr. James and follow the PSC Determination of requiring the customer to pay for the water that has passed through the meter and do not provide relief on the sewer side because the Utility has a fixed charge for sanitary sewer service. **Motion carried.**

b. North Kremer Water Main Improvements – Contract Award

Upon a motion by Minto and seconded by Wishau, the Commission moved to authorize the Caledonia Utility District to issue the Notice of Award to PTS Contractors Inc. for the Kremer Water Main Improvement Project in the amount of \$2,681,000. **Motion carried.**

Upon a motion by Minto and seconded by Pirk, the Commission moved to authorize the Utility District President and Secretary to execute any contract documents as necessary. **Motion carried.**

c. 2021 Pavement Replacement Project – Contract Award

Upon a motion by Wishau and seconded by Minto, the Commission moved to authorize the Caledonia Utility District to issue the Notice of Award to Asphalt Contractors Inc. for the 2021 Pavement Replacement Project in the amount of \$19,400. **Motion carried.**

Upon a motion by Minto and seconded by Strack, the Commission moved to authorize the Utility District President and Secretary to execute any contract documents as necessary. **Motion carried.**

d. T-Mobile/Sprint Lease on Crestview Water Tower

Director Bunkelman explained that T-Mobile has reached out to the Caledonia Utility District to upgrade equipment on the Crestview Water Tower. It was also discovered that the current lease on the Crestview Water Tower had expired on June 6, 2021. Past discussion by the District has indicated that the Crestview Water Tower would be removed when the tower was in need of structural or aesthetical repair/work and/or when the lease for the cellular equipment expired. Staff feels that at this time there may not be a need for aesthetical work for up to 5 years. T-Mobile has requested a 10-year lease at this time. The staff does not recommend a 10-year lease for this location. Staff has recommended that a new lease is pursued at the 7 Mile Road Water Tower. In the interim, a year-to-year lease, up to 3 years could be recommended to keep the equipment in place until new equipment can be designed, permitted, and installed at the new tower.

DRAFT

Upon a motion by Minto and seconded by Pirk, the Commission moved to have the Utility pursue a new, not to exceed 10-year lease for cellular equipment at the 7 Mile Road Water Tower and allow a year-to-year lease for up to 3 years to allow time to install new equipment. **Motion carried.**

e. Lighthouse Drive Lift Station Upgrade – Final Acceptance

Upon a motion by Ruffalo and seconded by Minto, the Commission moved to recommend Final Acceptance of the Lighthouse Drive Lift Station Upgrade Project. **Motion carried.**

f. Rio Vista, Shorewood & Stonebridge Utility Improvements – Change Order #1

Upon a motion by Minto and seconded by Strack, the Commission moved to approve Change Order #1 in the amount of -\$57,239.08 for the Rio Vista, Shorewood & Stonebridge Utility Improvement Project. **Motion carried.**

g. Rio Vista, Shorewood & Stonebridge Utility Improvements – Final Acceptance

Upon a motion by Minto seconded by Wishau, the Commission moved to recommend Final Acceptance of the Rio Vista, Shorewood & Stonebridge Utility Improvement Project. **Motion carried.**

h. Briarwood 1st Amendment to Development Agreement – Authorization of Signatures

Director Bunkelman explained that the Village has worked with the Developer on changes regarding the timing on the release of Building Permits and that there were some unit number changes in the exhibits. There were no changes specific to the Utility District.

Upon a motion by Wishau and seconded by Ruffalo, the Commission moved to authorize the President and Secretary of the Caledonia Utility District to

execute the 1st Amendment to Development Agreement for Briarwood of Caledonia. **Motion carried.**

i. Smoke Testing Discussion

Trustee Wishau had provided a presentation on Smoke Testing that the Commission reviewed at the meeting. The Commission has indicated that they would like to have Director Bunkelman review and update the presentation for the Commission and bring back to the August meeting. The intent at this time is to propose to the Village Board a smoke testing program to locate issues of Infiltration and Inflow on mains and private laterals.

9. Adjournment

Upon a motion by Wishau and seconded by Minto, the Commission moved to adjourn the regular meeting at 8:22pm. **Motion carried.**

DRAFT

Respectively submitted,
Anthony A. Bunkelman P.E. Utility Director



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Agenda - Final Waterworks Commission

Tuesday, July 20, 2021

4:00 PM

Virtual - Zoom

Roll Call

[0496-21](#)

Subject: Approval of Minutes for the May 18, 2021 Meeting

Attachments:

[water minutes 05.18.21](#)

[0592-21](#)

Subject: Budget Expenditures for June 2021 Totaling \$1,686,811.24

Recommendation: Receive and File

Attachments:

[water expense statement](#)

[0495-21](#)

Subject: Bid Opening Results on Contract W-21-8, 2021 Water Main Replacement

Recommendation: Approve

Attachments:

[w.21.8 bid results memo](#)

[0545-21](#)

Subject: Developers Agreement for Seasons at Mount Pleasant Subdivision in Mt. Pleasant (FRED-Mount Pleasant HC, LLC)

Recommendation of the Waterworks Commission on July 20, 2021:
Approve and Refer to the Finance and Personnel Committee

Fiscal Note: Estimated cost for the water main construction is \$250,000.00, paid by the developer

Attachments:

[seasons map](#)

[draft Seasons agreement](#)

[0558-21](#)

Subject: Proposal from Pinnacle Engineering Group for Construction Related Services on Seasons at Mt Pleasant Project

Recommendation: Approve

Attachments:

[pinnacle proposal](#)

[0546-21](#)

Subject: Developers Agreement for Coach Hills Addition No. 2 in Mt. Pleasant (TNG 10, LLC)

Recommendation of the Waterworks Commission on July 20, 2021:

Approve and Refer to the Finance and Personnel Committee

Fiscal Note: Estimated cost for the water main construction is \$50,000, paid by the developer

Attachments: [draft coach hills add 2](#)

[0557-21](#)

Subject: Proposal from Nielsen Madsen & Barber for Construction Related Services on Coach Hills Addition #2 Project

Recommendation: Approve

Attachments: [nmb coach hills Add. No. 2 crs](#)

[0547-21](#)

Subject: Developers Agreement for The Villas Coach Hills in Mt. Pleasant (TNG 10, LLC)

Recommendation of the Waterworks Commission on July 20, 2021:
Approve and Refer to the Finance and Personnel Committee

Fiscal Note: Estimated cost for the water main construction is \$120,000.00, paid by the developer

Attachments: [draft villas coach hills](#)

[0556-21](#)

Subject: Proposal from Nielsen Madsen & Barber for construction related services on The Villas of Coach Hills project

Recommendation: Approve

Attachments: [construction related services - coach hills](#)

Adjournment

If you are disabled and have accessibility needs or need information interpreted for you, please contact the office of the General Manager at 262.636.9181 at least 48 hours prior to this meeting.

For virtual access:

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+13017158592,,95182792480#,,,,*370068#**

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City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Minutes - Draft

Waterworks Commission

Tuesday, July 20, 2021

4:00 PM

Virtual - Zoom

Roll Call

PRESENT: 7 - Terry McCarthy, Natalia Taft, John Tate II, Stacy Sheppard, Shannon Powell, Matthew Rejc and Paul Vornholt

EXCUSED: 1 - Cory Mason

[0496-21](#)

Subject: Approval of Minutes for the May 18, 2021 Meeting

A motion was made by McCarthy, seconded by Sheppard, that this file be Approved

[0592-21](#)

Subject: Budget Expenditures for June 2021 Totaling \$1,686,811.24

Recommendation: Receive and File

Highlights of the financial report given by office manager Ken Scolaro.

A motion was made by Powell, seconded by Secretary Taft, that this file be Received and Filed

[0495-21](#)

Subject: Bid Opening Results on Contract W-21-8, 2021 Water Main Replacement

Recommendation: Approve

The Interim General Manager submitted the bid results on Contract W-21-8, in the amount of \$983,196.00 and recommended approval to the lowest responsible bidder, that being Willkomm Excavating & Grading.

A motion was made by Powell, seconded by Sheppard, that this file be Approved

[0545-21](#)

Subject: Developers Agreement for Seasons at Mount Pleasant Subdivision in Mt. Pleasant (FRED-Mount Pleasant HC, LLC)

Recommendation of the Waterworks Commission on July 20, 2021: Approve and Refer to the Finance and Personnel Committee

Fiscal Note: Estimated cost for the water main construction is \$250,000.00, paid by the developer

The Interim General Manager presented the Developers Agreement for the Seasons in

Mt. Pleasant project that will service about 280 condo units. The Agreement requires the water main to be built to utility specifications with a 2-year warranty, as-built drawings provided to the Utility, and the asset turned over to the Utility for future maintenance.

A motion was made by Secretary Taft, seconded by Sheppard, that this file be Referred Finance and Personnel Committee

[0558-21](#)

Subject: Proposal from Pinnacle Engineering Group for Construction Related Services on Seasons at Mt Pleasant Project

Recommendation: Approve

The Interim General Manager presented the proposal from Pinnacle Engineering for construction related services at a cost of \$29,200.00. The cost is to be paid by the project developer.

A motion was made by McCarthy, seconded by Secretary Taft, that this file be Approved

[0546-21](#)

Subject: Developers Agreement for Coach Hills Addition No. 2 in Mt. Pleasant (TNG 10, LLC)

Recommendation of the Waterworks Commission on July 20, 2021: Approve and Refer to the Finance and Personnel Committee

Fiscal Note: Estimated cost for the water main construction is \$50,000, paid by the developer

The Interim General Manager presented the Developers Agreement for the Coach Hills Addition No.2 project in Mt.Pleasant that will service about 10 lots. The Agreement requires the water main to be built to utility specifications with a 2-year warranty, as-built drawings provided to the Utility, and the asset turned over to the Utility for future maintenance.

A motion was made by Secretary Taft, seconded by Powell, that this file be Referred Finance and Personnel Committee

[0557-21](#)

Subject: Proposal from Nielsen Madsen & Barber for Construction Related Services on Coach Hills Addition #2 Project

Recommendation: Approve

The Interim General Manager presented the proposal from NMB for construction related services at a cost of \$6,980.00. The cost is to be paid by the project developer.

A motion was made by Secretary Taft, seconded by Powell, that this file be Approved

[0547-21](#)

Subject: Developers Agreement for The Villas Coach Hills in Mt. Pleasant (TNG 10, LLC)

Recommendation of the Waterworks Commission on July 20,

2021: Approve and Refer to the Finance and Personnel Committee

Fiscal Note: Estimated cost for the water main construction is \$120,000.00, paid by the developer

The Interim General Manager presented the Developers Agreement for The Villas at Coach Hills project in Mt. Pleasant that will service about 21 condo units. The Agreement requires the water main to be built to utility specifications with a 2-year warranty, as-built drawings provided to the Utility, and the asset turned over to the Utility for future maintenance

A motion was made by Secretary Taft, seconded by Sheppard, that this file be Referred Finance and Personnel Committee

[0556-21](#)

Subject: Proposal from Nielsen Madsen & Barber for construction related services on The Villas of Coach Hills project

Recommendation: Approve

The Interim General Manager presented the proposal from NMB for construction related services at a cost of \$9,640.00. The cost is to be paid by the developer.

A motion was made by McCarthy, seconded by Powell, that this file be Approved

Adjournment

There being no further business, the meeting was adjourned at 4:28 p.m.



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Agenda - Final Wastewater Commission

Tuesday, July 20, 2021

4:30 PM

Virtual - Zoom

Roll Call

[0498-21](#)

Subject: Approval of Minutes for the May 18, 2021 and Special Wastewater Meeting on June 01, 2021

Attachments:

[wastewater minutes 05.18.21](#)

[wastewater minutes 06.01.21](#)

[0591-21](#)

Subject: Budget Expenditures for June 2021 Totaling \$1,186,083.48

Attachments:

[wastewater expense statement](#)

[0596-21](#)

Subject: Consideration of City Committee Meeting Attendance Policy

Attachments:

[attendance](#)

[0542-21](#)

Subject: Request from Village of Mt. Pleasant for a Sanitary Sewer Extension for Carriage Hills Drive

Attachments:

[carriage hills sewer extension](#)

[0412-21](#)

Subject: Proposal from Short Elliot Hendrickson Inc (SEH) for Design and Construction Related Services for the Johnson Park Lift Station Project

Attachments:

[proposal](#)

[0548-21](#)

Subject: Request to Enter into SWIFT Initiative Agreement with US Dept of Energy

Attachments:

[swift partnership agreement](#)

[0549-21](#) **Subject:** Permission to Submit a Clean Water Fund Loan Application for Wastewater Plant Facilities Upgrade Project

[0497-21](#) **Subject:** Resolution Regarding Declaration of Official Intent to Reimburse for Costs Attributed to the Wastewater Plant Facilities Upgrade Project

Attachments: [comfort resolution - wastewater facility upgrade](#)

[0551-21](#) **Subject:** Permission to Submit a Clean Water Fund Loan Application for Goold-Main Sewer Improvements Project

[0530-21](#) **Subject:** Resolution Regarding Declaration of Official Intent to Reimburse for Costs Attributed to the Goold Street - Main Street Sewer Improvements Project

Attachments: [comfort resolution - goold-main storage-sewer improvements](#)

[0593-21](#) **Subject:** Proposal from Brown and Caldwell for Preliminary Engineering Review of Goold-Main Storage and Sewer Improvements Project

Attachments: [preliminary engineering study](#)

[0597-21](#) **Subject:** Request from Village of Caledonia for a TID #5 - Sanitary Sewer Extension for Waters Edge Place

Attachments: [sewer extension - waters edge](#)

[0595-21](#) **Subject:** Discussion of Village of Caledonia Peak Flow Mitigation Plan

Adjournment

If you are disabled and have accessibility needs or need information interpreted for you, please contact the office of the General Manager at 262.636.9181 at least 48 hours prior to this meeting. For virtual access:

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Dial(for higher quality, dial a number based on your current location):

**US: +1 929 205 6099 or +1 301 715 8592 or +1 312 626 6799 or +1 669 900 6833 or
+1 253 215 8782 or +1 346 248 7799**

Webinar ID: 925 2860 8678

Passcode: 5501219635



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Minutes - Draft

Wastewater Commission

Tuesday, July 20, 2021

4:30 PM

Virtual - Zoom

Roll Call

PRESENT: 10 - Terry McCarthy, Natalia Taft, Anthony Bunkelman, Robert Lui, Stacy Sheppard, Shannon Powell, Thomas Friedel, Claude Lois, John Tate II and Matthew Rejc

ABSENT: 3 - John Hewitt, Jerrold Klinkosh and Dean Rosenberg

EXCUSED: 1 - Cory Mason

[0498-21](#)

Subject: Approval of Minutes for the May 18, 2021 and Special Wastewater Meeting on June 01, 2021

Recommendation: Approve

A motion was made by Lui, seconded by Secretary McCarthy, that this file be Approved

[0591-21](#)

Subject: Budget Expenditures for June 2021 Totaling \$1,186,083.48

Recommendation: Approve

Highlights of the financial report given by office manager Ken Scolaro.

A motion was made by Secretary McCarthy, seconded by Powell, that this file be Approved

[0595-21](#)

Subject: Discussion of Village of Caledonia Peak Flow Mitigation Plan

Recommendation: Receive and File

The village seeks full sewer moratorium relief for peak flow exceedence through approval of the Village mitigation plan that was deferred by the wastewater commission 02/17/2021. The commission approved a temporary moratorium relief 7/28/20. The village mitigation plan includes safety sites to bypass peak diluted wet weather flows and storage facilities. Commissioner Taft suggested that an approvable plan would not include the use of safety sites. It was noted that safety sites are used throughout the City of Racine and the WDNR is the approval authority for their use. A request was made for the village to confer with the WDNR for their regulatory opinion for the use of safety sites at the 2 village lift station locations. Commissioner Taft also requested that the village provide a written summary of the village mitigation plan, including the cost of alternatives.

Received and Filed

[0596-21](#)

Subject: Consideration of City Committee Meeting Attendance Policy

Recommendation: Approve

City Attorney and Administrator spoke on the policy that requires in-person attendance with a virtual attendance option for excused absence. All remote members would count toward committee quorum for voting privileges.

A motion was made by Lois, seconded by Secretary McCarthy, that this file be Approved

[0542-21](#)

Subject: Request from Village of Mt. Pleasant for a Sanitary Sewer Extension for Carriage Hills Drive

Recommendation: Approve

The Interim General Manager presented the sewer extension request for Carriage Hills Drive in the Village of Mt. Pleasant. Per Sewer Agreement Section 3.3a. the commission is required to approve all SSR Party sewer extensions based on SSR capacity status. The Mt. Pleasant Sewer Utility has reviewed and approved project plans.

A motion was made by Lui, seconded by Lois, that this file be Approved

[0412-21](#)

Subject: Proposal from Short Elliot Hendrickson Inc (SEH) for Design and Construction Related Services for the Johnson Park Lift Station Project

Recommendation: Approve

The Interim General Manager explained that engineering consultant SEH provided a proposal for Johnson Park Lift Station upgrade design and construction related services not to exceed \$24,100.00 and recommended approval. Costs will be reimbursed by the City.

A motion was made by Lui, seconded by Sheppard, that this file be Approved

[0548-21](#)

Subject: Request to Enter into SWIFT Initiative Agreement with US Dept of Energy

Recommendation: Approve

The Interim General Manager explained the Sustainable Wastewater Infrastructure of the Future Initiative (SWIFT) program as a voluntary, no-cost partnership. The US DOE would provide technical consulting, energy saving resources and energy data analysis tools.

A motion was made by Lui, seconded by Sheppard, that this file be Approved

[0593-21](#)

Subject: Proposal from Brown and Caldwell for Preliminary Engineering Review of Goold-Main Storage and Sewer Improvements Project

Recommendation: Approve

The Interim General Manager explained the proposal is to study the Goold St - North Main St area for alternatives to remediate safety site #2 overflows at a 5-yr storm level, and to provide redundancy for a utility 48" interceptor running through the zoo grounds. The agreement cost is not to exceed \$119,730.00.

A motion was made by Sheppard, seconded by Rejc, that this file be Approved

[0597-21](#)

Subject: Request from Village of Caledonia for a TID #5 - Sanitary Sewer Extension for Waters Edge Place

Recommendation: Approve

The Interim General Manager presented the sewer extension request for Waters Edge Place to serve a multi-residential development. Project plans have been approved by the Caledonia Sewer Utility.

A motion was made by Lui, seconded by Lois, that this file be Approved

Adjournment

There being no further business, meeting adjourned 5:45 p.m.

**Racine Water and
Wastewater Utilities**

Keith E. Haas, P.E.
General Manager



Michael L. Gitter, P.E.
Chief of Operations
Kenneth M. Scolaro, C.P.A.
Administrative Manager
Chad W. Regalia, P.E.
Chief Engineer

July 1, 2021

Ms. Kathy Kasper
Administrator
Village of Caledonia
5043 Chester Lane
Racine, WI 53402

SUBJECT: Mt Pleasant Unplanned Expanded Sewer Service Facility Project Request

Dear Ms. Kasper:

This letter is being sent to you in accordance with the Racine Intergovernmental Sanitary Sewer Service Agreement. Attached is a copy of correspondence dated June 17, 2021 from Tony Beyer of the Village of Mount Pleasant, which requests a Cost of Service Study (COSS) related to Chicory Road Area Sewer Improvements.

Per Agreement Section 3.6 Provision of Unplanned Expanded Sewer Service Facilities.

Agreement Section 3.6 d. Cost of Service-Based Allocation. "The Wastewater Commission shall prepare or cause to be prepared an appropriate Cost of Service-Based Allocation relating to the allocation of the costs of any Unplanned Expanded Sewer Service Facilities."

Agreement Section 3.6 e. SSR Party Proposals/Limitations. "Any of the SSR Parties may propose to the Wastewater Commission that it provide Unplanned Expanded Sewer Service Facilities to one or more of the SSR Parties. The Wastewater Commission shall notify each of the Parties in writing not less than 90 days prior to deciding any such request. Each SSR Party may comment on such request by written notice to the Wastewater Commission during the notice period."

Agreement Section 3.6 f. Notice. "The Wastewater Commission shall give each Party not less than 90 days prior written notice before deciding to proceed with either the design or construction of any Unplanned Expanded Sewer Service Facilities. Each such notice shall describe what the Wastewater Commission proposes to do and why. To the extent practicable, each such notice shall describe the timing of the project, state the estimated total cost of the project, and state what portion of such total cost it estimates will be the responsibility of each SSR Party. The Wastewater Commission shall review and consider any written comments received from any of the Parties within the notice period before making its decision regarding

design or construction of the project. The Wastewater Commission shall give each Party not less than 40 days prior written notice before approving any proposed Cost of Service Study or Cost of Service-Based Allocation with respect to any such project.”

Accompanying the Village request correspondence is a technical memorandum prepared by Brown and Caldwell dated June 11, 2021. It is noted in the memorandum that the Chicory Road Area Sewer Improvements project is needed to address basement backups experienced during heavy rainfall events in recent years in this neighborhood tributary. Various alternatives were explored in the Chicory Road sewer basin to determine the cause and mitigation strategies for alleviating basement backups. Given the need to address basement backups in the short term, the focus of alternatives evaluation was on conveyance and storage solutions that could be designed and constructed in a few years, as opposed to long-term Inflow and Infiltration (I/I) reduction efforts, such as sewer and manhole rehabilitation.

Brown and Caldwell used the Mike Urban model for the Chicory Road basin evaluation with a 2020 condition 5 yr/6 hr storm event as the baseline. The model was recalibrated using four flowmeters within the Chicory Road sewer basin to three rain events in 2019 and 2020, including the May 17, 2020 event known to have produced significant basement flooding in the basin. The memorandum concludes with recommendation for a total 10,500 LF conveyance 24” to 36” pipe upgrade, as well as upgrading a segment of Knoll Place pipe from 10” to 24”. Total cost for this project option 6b is estimated at \$12.1M.

The downside of the conveyance upgrade only option 6b is that wet weather peak flows are not contained but rather passed downstream. Thus, the downstream conveyance will see higher flows, but also important is that the wastewater treatment plant will not experience relief from peak flows during storms. This will reduce plant response time and impact plant operations under peak flow conditions. The Village technical memorandum did review other project scenarios and another recommended plan includes 1.66 MG of storage combined with 5,000 LF of conveyance upgrade. This project option 1bb would provide containment so peak flow is not passed downstream. While more expensive, this is likely a friendlier regional solution. Total cost for this project option 1bb is estimated at \$14.3M.

The capital costs of any Unplanned Expanded Sewer Service Facilities shall be allocated to each SSR Party, which is financially participating in the provision of such expanded facilities, in proportion to its share of the new expanded capacity. The Wastewater Commission has authorized Ruckert-Mielke to prepare the COSS associated with this project request in order to provide cost shares to each SSR Party. Both project scenarios (6b and 1bb) will be reviewed for a COSS. The findings of the COSS will be distributed to all SSR Parties upon completion.

Per the Sewer Agreement references provided above, consider this letter to provide Notice under Section 3.6 f. The Commission will deliberate to consider both the project request after a 90-day comment period from the date of this letter, and to consider the COSS after a 40-day comment period of notice of the findings. Upon receiving comments or input from the SSR parties of the

Agreement, I will place these items on Commission agenda upon completion of the comment period.

Questions from your staff or engineers may be directed to my attention on behalf of the Commission.

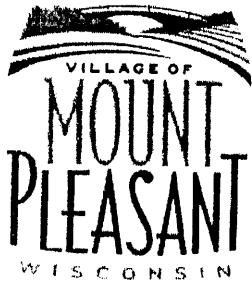
Sincerely,

A handwritten signature in black ink, appearing to read "Michael Gitter". The signature is written in a cursive style with a horizontal line through the middle of the letters.

Michael Gitter, P.E.
Interim General Manager

c: R. Lui
J. Dobbs
T. Bunkelman

Enclosure



June 17, 2021

Mr. Mike Gitter, P.E.—Interim General Manager
Racine Water and Wastewater Utility
800 Center Street, Room 227
Racine, WI 53403

SEWER UTILITY
DISTRICT NO.1

8811 Campus Drive
Mount Pleasant, WI
53406

262.664.7800
262.664.7848

info@mtpleasantwi.gov
www.mtpleasantwi.gov

Re: Request for Cost of Service Study
Chicory Road Area Sewer Improvements

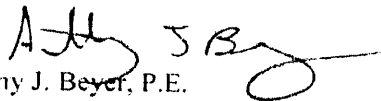
Dear Mr. Gitter,

The purpose of this letter is to request that the Racine Wastewater Commission consider authorizing staff to perform a Cost of Service Study (COSS) for proposed improvements to the Chicory Road Interceptor Sewer System. This request is in accordance with Section 3.6 of the Racine Area Intergovernmental Sanitary Sewer Service, Revenue-Sharing, Cooperation and Settlement Agreement—*Provision of Unplanned Expanded Sewer Service Facilities*. The Village of Mount Pleasant wishes to expedite a proposed project in this area.

This request is based on the recently completed technical memorandum from Brown and Caldwell (attached), dated June 11, 2021, providing recommendations to alleviate capacity constraints in the Chicory Road interceptor sewer and tributary sewers. Specifically, it is requested that the COSS be prepared for Alternative 6b as presented in the referenced technical memorandum.

Please contact me if you have any questions at (262) 664-7849.

Sincerely,
Mt. Pleasant Sewer Utility District #1


Anthony J. Beyer, P.E.
Director of Public Works/Village Engineer

Encl. as Noted

Cc: Utilities Commission
Maureen Murphy
Claude Lois
John Hewitt
Linsey Weber

**Racine Water and
Wastewater Utilities**

Keith E. Haas, P.E.
General Manager



Michael L. Gitter, P.E.
Chief of Operations
Kenneth M. Scolaro, C.P.A.
Administrative Manager
Chad W. Regalia, P.E.
Chief Engineer

July 1, 2021

Ms. Kathy Kasper
Administrator
Village of Caledonia
5043 Chester Lane
Racine, WI 53402

SUBJECT: Unplanned Upgraded Sewer Service Facility Project Request

Dear Ms. Kasper:

This letter is being sent to you in accordance with the Racine Intergovernmental Sanitary Sewer Service Agreement. Per Section 3.3 d., the Wastewater Commission shall provide such Unplanned Sewer Service Facilities as are reasonably needed by the SSR Parties, or to provide high quality, reliable and environmentally acceptable Sewer Service to the SSR Parties.

Per Agreement Section 3.4 Provision of Unplanned Upgraded Sewer Service Facilities.

Agreement Section 3.4 a. Provision of Unplanned Upgraded Sewer Service Facilities. "From time to time in the future, the Wastewater Commission may propose, consider, plan for, design, construct and otherwise provide, in accordance with this Agreement and All Applicable Laws, such Unplanned Upgraded Sewer Service Facilities as may be reasonably necessary or desirable to comply with this Agreement and All Applicable Laws or to provide high quality, reliable and environmentally acceptable Sewer Service to the SSR Parties. The Unplanned Upgraded Sewer Service Facilities shall be approved by the Wastewater Commission prior to construction."

Agreement Section 3.4 b. Notice. "The Wastewater Commission shall give each Party not less than 40 days prior written notice before deciding to proceed with either the design or construction of any Unplanned Upgraded Sewer Service Facilities. Each such notice shall describe what the Wastewater Commission proposes to do and why. To the extent practicable, each such notice shall describe the timing of the project, state the estimated total cost of the project, and state what portion of such total cost it estimates will be the responsibility of each SSR Party. The Wastewater Commission shall review and consider any written comments received from any of the Parties within the notice period before making its decision regarding design or construction of the project. The Wastewater Commission shall give each Party not less than 40 days prior written notice before approving any proposed Cost of Service Study or Cost of Service-Based Allocation with respect to any such project."

In accordance with the Agreement, the Commission authorized AECOM to review the sewer service facilities and prepare a Facilities Plan with a 20-year planning window. The previous Facilities Plan was completed in 1998 and was based on a 20-year planning window. The planning horizon for the 1998 plan has now been exceeded. The Facilities Plan was created to meet WDNR requirements as defined in Administrative Rule Chapter NR110. The plan projects flows and loadings for a 20-year planning period, identifies deficiencies and other necessary improvements in both the conveyance system and at the wastewater treatment plant, and identifies necessary future evaluations to maintain reliable wastewater service to all SSR Parties.

The Unplanned Upgraded Sewer Service Facilities identified in this project request refers to only first phase plant equipment upgrades at the treatment plant that have reached useful life and need replacement. These are deficiency items not associated with SSR requests for increased plant capacity. Growth projects are to be considered in a future plant expansion phase.

Specific first phase projects within this request include the replacement of the UV disinfection system, replacement of the engine/blower system and new aeration diffusers, and a biogas treatment system to condition biogas for use in the new engine/gen set and to maintain air permit compliance. Total cost for this project is estimated at \$25M. The Utility will be filing an application for state Clean Water Fund Program loan funding for this project. Due to loan application schedule requirements and timing, the funding would not be available until fiscal year 2023. The Utility will continue to have the engineering consultants prepare project design, but bidding of the project would not occur until funding is secured.

The capital costs of any Unplanned Expanded Sewer Service Facilities shall be allocated to each SSR Party which is financially participating in the provision of such expanded facilities in proportion to its share of average day flow plant capacity. Ruckert-Mielke prepared the COSS associated with this project request in order to provide cost shares to each SSR Party. These cost shares would be paid over the 20-year term of the CWFPP loan. Correspondence related to this COSS is attached. However, this cost distribution is estimated as follows:

SSR Party	Avg Daily Flow MGD	Allocated Capacity	Estimated Cost
Racine	17.06	48.11%	\$12.03M
Mt Pleasant	11.49	32.40%	\$8.10M
Caledonia	5.13	14.47%	\$3.62M
Sturtevant	1.78	5.02%	\$1.26M
Total	35.46	100.0%	\$25.00M

Per the Sewer Agreement references provided above, the Commission will deliberate to consider both the project request and COSS after a 40-day comment period from the date of this letter. Upon completion of the 40-day period, I will place these items on Commission agenda for

consideration. Should stimulus funding become a reality, then that may impact the need for this project loan and the COSS.

Questions from your staff or engineers may be directed to my attention on behalf of the Commission.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Gitter".

Michael Gitter, P.E.
Interim General Manager

c: R. Lui
J. Dobbs
T. Bunkelman

Enclosure



March 30, 2021

Mr. Mike Gitter
 Interim General Manager
 Racine Water and Wastewater Utility
 800 Center St. #227
 Racine, WI 53403

Re: Upcoming Wastewater Treatment Plan Projects

Dear Mr. Gitter:

Ruekert & Mielke, Inc. (R/M) provides the Racine Water and Wastewater Utility (Utility) with cost-of-service studies (COSS) for wastewater projects if the Utility is required to do so under the Racine Area Intergovernmental Sanitary Sewer Service, Revenue Sharing, Cooperation and Settlement Agreement (Agreement).

Cost recovery for capital projects depends on how they are classified in the Agreement. Projects can be classified as 1) Deficiency Work 2) Unplanned Upgraded Sewer Service Facilities 3) Minor Unplanned Upgraded Sewer Service Facilities 4) Unplanned Expanded Sewer Service Facilities.

According to the Agreement, Deficiency Work refers to 1998 Recommended Improvements to the 2001 Sewer Service Facilities (Section 1.25 of the Agreement). Deficiency Work does not require a COSS; costs for Deficiency Work should be recovered through rates (Section 3.2(i)).

“Unplanned” simply refers to any projects that were not included in the First Group of Improvements listed in the Agreement. “Upgraded” projects are those that result in “new or improved Sewer Service Facilities” that “do not result in ... an increase in expanded Allocated Treatment Capacity or expanded Allocated Conveyance Capacity in the Sewage Treatment Facilities” (section 1.115 of the Agreement). In other words, Unplanned Upgraded projects are any new or improved capital projects that do not expand capacity and were not specifically identified as the First Group of Improvements.

Costs for treatment-facility projects that are Unplanned Upgraded Sewer Service Facilities are to be divided among the Parties based on each Party’s “percentage share of total Allocated Treatment Capacity” (section 6.2), which are as follows:

Wastewater Treatment Capacity Allocations *		
Community	Average Daily Flow (mgd)	Allocated Capacity
Racine	17.06	48.11%
Mount Pleasant	11.49	32.40%
Yorkville	0	0.00%
Raymond	0	0.00%
Caledonia	5.13	14.47%
Sturtevant	1.78	5.02%
North Park	0	0.00%
Crestview	0	0.00%
Total	35.46	100.00%

* As of 3/24/2021; includes all capacity transfers since the Agreement was signed

Mr. Mike Gitter
Racine Water and Wastewater Utility
March 30, 2021
Page 2

For Unplanned Upgraded Sanitary Sewer Facilities, the Wastewater Commission must give each Party to the Agreement written notice 40 days prior to proceeding with design or construction, describing what the projects are and why they are needed (Section 3.4). The notice will also describe the timing of the projects, the total estimated cost, and the portion of the total that each Party will be responsible for. Further, the Commission must give written notice to each Party about any decision it makes regarding design or construction of the project, or its approval of any related Cost of Service Cost-based Allocation.

Minor Unplanned Upgraded Sanitary Sewer Service Facilities are simply Unplanned Upgraded Sanitary Sewer Service Facilities that fall under a certain limit that is adjusted annually (Section 3.5). This limit is \$2,675,768 for 2021. Costs for these projects are recovered through rates. The Wastewater Commission needs to give all Parties prompt written notice of its decision.

Unplanned Expanded Sewer Service Facilities refer to “new or improved Sewer Service Facilities” that result in a capital cost and in “an increase Allocated Treatment Capacity or Allocated Conveyance Capacity” (Section 1.33). These projects also cannot be in the projects listed as the First Group of Improvements in the Agreement. These costs are to be recovered through a cost-of-service study approach (Section 3.6(d)).

The Wastewater Commission must notify all Parties in writing at least 90 days before deciding to proceed with design or construction, and each notice will describe what the projects are and why they are needed. The notice will also explain the timing of the projects, the estimated total cost, and the portion of the cost that each Party is responsible for (3.6(f)). Further, the Commission will give each Party at least 40 days’ prior written notice before approving any cost-of-service study or cost-of-service cost-based allocation.

Of the projects identified to begin in 2021, none of the projects expand conveyance capacity or treatment capacity, according to AECOM’s 2020 Racine Wastewater Utility Facilities Plan, so they are not Unplanned Expanded Sewer Service Facilities. These projects will be designed and constructed over a multi-year timeframe. Firms doing the project work include AECOM, SEH, and Carollo.

These projects are not identified in the First Group of Improvements, so they are not Deficiency Work, either.

The projects below are some of the projects that AECOM has designated Phase 1 wastewater treatment plant projects on its 2020 Facilities Plan. The numbers in parentheses correspond to AECOM’s 2020 Facility Plan Alternative Numbers from Table 14-1.

- Biogas Combined Heat and Power (CHP) Facility Upgrade
 - Biogas Conditioning for H₂S (Hydrogen Sulfide Removal) (9-185-1)
 - Biogas Conditioning for IC Engine (Moisture and VOC/Siloxanes) (9-185-1A)
 - Biogas CHP Engine Generator – Max Month Biogas with One Unit out of Service (9-185-2A)
 - Air Permitting Review

Mr. Mike Gitter
Racine Water and Wastewater Utility
March 30, 2021
Page 3

- Upgrade to New High Efficiency Centrifugal Blower System (7-185-1)
- Primary Clarifier Mechanism Rehabilitation (3-136-1A)
- Upgrade Deficient Sampler Building (6-91-1)
- Inspect, Evaluate, and Rehabilitate Digester "B" Cover (9-170-1)
- Add Walkway between Primary Clarifier Numbers Ten and Eleven (3-136-2)
- Replace Laboratory Hoods (125-2)
- Upgrade Ultraviolet Disinfection System (6-160-3).

Since these projects do not expand capacity, up to \$2,675,768 of these projects may be recovered in rates since this amount is the limit for Minor Unplanned Upgraded Facilities. Costs above and beyond the cost limit for Minor Unplanned Upgraded Facilities must be recovered based on each Party's "percentage share of total Allocated Treatment Capacity" as listed in the table above.

If you have any questions or need further assistance such as initiating the notice process, please let me know.

Respectfully,

RUEKERT & MIELKE, INC.



Ed Maxwell, M.B.A., M.Ed.
Economic Consultant
emaxwell@ruekert-mielke.com

cc: Ken Scolaro, Racine Water and Wastewater Utility
William Mielke, P.E., Ruekert & Mielke, Inc.
Kenneth R. Ward, P.E., Ruekert & Mielke, Inc.
Bridgot Gysbers, Ruekert & Mielke, Inc.
Brennen E. Fischer, P.E., Ruekert & Mielke, Inc.



Memorandum

Foth Infrastructure & Environment, LLC
7044 South Ballpark Drive, Suite 200
Franklin, WI 53132
(414) 336-7900 • foth.com

July 15, 2021

TO: Caledonia Utility District Commissioners

CC: Bob Lui, Utility Operations Supervisor

FR: Stacey Tushaus, Foth

RE: 2020 Annual CMOM Report

On June 30, 2021, the 2020 Annual CMOM Report was submitted to MMSD and the City of Racine per WDNR and MMSD requirements, and a copy is available at the District Office. This report is an update to the original CMOM and documents activities that occurred in 2020. The original report documented only the MMSD portion of the Caledonia Utility District, the Caddy Vista area, but beginning with the 2018 Annual CMOM Report, this report now documents CMOM activities for CUD's entire system. It serves as an update to the procedures outlined in the original CMOM and details the progression towards completion of goals and performance measures that were determined to be of critical importance for the management of CUD's assets. The following highlights are documented in this report:

- Six (6) SSO events were reported in 2020, three dry weather and three wet weather;
- CUD met its goal of cleaning and televising at least 20% of the entire system. The 2020 event concluded the 5-year cycle for televising the District's entire system;
- Organizational/Emergency Contacts were updated;
- Standard Specifications were reviewed and updated as needed;
- Standard Operating Procedures (SOPs) were reviewed and updated as needed including increasing the frequency of field inspections for 1960's forcemain;
- At the end of 2020, less than 1% of all CUD manholes have yet to be field-located for GIS updates and all construction as-builts were entered into GIS (no backlog). In addition, the District began tracking SSO events in GIS;
- System-wide sewer modeling efforts continued and will be completed in early 2021;
- The Performance Measures summary was updated reflecting MMSD vs. Racine data;
- CMAR data benchmarking continued with area utilities (Oak Creek, Racine and Mt. Pleasant);
- Aqua Backflow, Inc. Cross Connection Control inspections were not completed due to COVID;
- Coordination continued between Village and County paving vs. CUD utility age/condition repair.
- CMOM expense tracking continued to be intentional. Note the District has made a focused design and financial effort to address aging infrastructure and capacity concerns.

Report

2020 Annual CMOM Report

Project I.D.: 21C030.03

**Caledonia Utility District
Caledonia, WI**

June 2021

2020 Annual CMOM Report

Project ID: 21C030.03

Prepared for
Caledonia Utility District

333 4 ½ Mile Road
Racine, WI 53402

Prepared by
Foth Infrastructure & Environment, LLC

June 2021

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2020 Annual CMOM Report

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Appendices

Appendix A – CMOM Goals and Performance Measures

Appendix B – Sanitary Sewer Overflow Tracking

Appendix C – Benchmarking Analysis



2020 Annual CMOM Report

Executive Summary

The Caledonia Utility District (CUD) completed its' first CMOM Report on June 30, 2009. The report detailed the sanitary sewer system that drains to MMSD's system, a small portion of the entire system known as the Caddy Vista area. Most of CUD drains to the Racine Wastewater Treatment Facility (Racine). As part of the reporting requirements, annual reports are required every year to update the CMOM program.

This report is an update to the original CMOM and documents activities that occurred in 2020. As detailed in the 2018 Annual CMOM Report, this report now documents CMOM activities for CUD's entire system. It serves as an update to the procedures outlined in the original CMOM, and a reporting document detailing the successful undertaking and completion of goals and performance measures that were determined to be of critical importance for the management of CUD's assets. The following highlights are documented in this report:

- Six (6) SSO events were reported in 2020, three dry weather and three wet weather;
- CUD met its goal of not only cleaning at least 20% of the entire system, but also televising it. The 2020 event concluded the 5-year cycle for televising the District's entire system.
- Organizational/Emergency Contacts were updated;
- Standard Specifications were reviewed and updated as needed;
- Standard Operating Procedures (SOPs) were reviewed and updated as needed including increasing the frequency of field inspections for 1960's forcemain;
- At the end of 2020, less than 1% of all CUD manholes have yet to be field-located for GIS updates and all construction as-builts were entered into GIS (no backlog). In addition, the District began tracking SSO events in GIS;
- System-wide sewer modeling efforts continued and will be completed in early 2021;
- The Performance Measures summary was updated reflecting MMSD vs. Racine data;
- Cross Connection Control inspections by Aqua Backflow, Inc. were not completed in 2020 due to COVID;
- CMOM expense tracking continued to be intentional;
- Coordination continued between Village and County paving vs. CUD utility age/condition repair.
- The District has made a focused design and financial effort to address aging infrastructure and capacity concerns.

Contents

CUD will continue to improve and upgrade this document in the future. As the performance indicators and goals are met, new standards will be put in place to continually improve the overall management of the system.

List of Abbreviations, Acronyms, and Symbols

WDNR	Wisconsin Department of Natural Resources
WPDES	Wisconsin Pollutant Discharge Elimination System
Foth	Foth Infrastructure & Environment, LLC
MMSD	Milwaukee Metropolitan Sewerage District
CMOM	Capacity, Management, Operations, and Maintenance
CUD	Village of Caledonia Utility District
SSO	Sanitary Sewer Overflow
GIS	Geographic Information System
SOP	Standard Operating Procedure
CCC	Cross Connection Control

1 Program Overview

1.1 Introduction

By State of Wisconsin Court order, the satellite sanitary sewer systems that are served by MMSD were each required to complete a CMOM report by June 30, 2009. Since a small portion of the Caledonia Utility District (CUD) sanitary sewer system, known as Caddy Vista, drains to MMSD's system, CUD is considered a satellite sanitary sewer system for MMSD and a CMOM report was completed and submitted to WDNR and MMSD for approval.

As part of the stipulation and CMOM reporting requirements, the satellite communities are also required to provide a CMOM update report every year. This document is the tenth update of the CUD CMOM program and highlights the goals and performance measures CUD has improved upon over the last year.

Since all owners of collection systems, including satellite sewage systems, were required to develop and implement a CMOM program by August 1, 2016 (per Wisconsin Administrative Code NR 210.23) and the majority of the CUD sanitary sewer system drains to the Racine Wastewater Treatment Facility (Racine), beginning with the 2016 report this annual update now covers the entire CUD sewer system.

1.2 Purpose

The purpose of CMOM is to establish a standard of operation for all facets of the sewer system, ensuring policies and procedures are in place to meet all regulations during the course of operating the sewer system. The asset management and operation plans are also a step in assisting CUD with managing their system and minimizing potential SSOs.

1.3 Goals

The goals of CMOM are as follows:

- Comply with the WPDES permit concerning sanitary sewer overflows;
- Minimize the occurrence of preventable overflows;
- Minimize life cycle ownership costs of the collection system assets;
- Improve or maintain system reliability;
- Reduce potential threat to human health from sewer overflows;
- Provide adequate capacity to convey peak flow;
- Manage inflow and infiltration;
- Protect collection system worker health and safety;
- Operate a continuous CMOM program.

The goals and strategies for the CMOM program have been established in order to provide proof of compliance and accomplishment of activities. The table in *Appendix A* summarizes Caledonia's CMOM Goals and Performance Measures for 2020 and allows comparison to the 2019 data.

1.4 Key Performance Indicators

CUD has implemented CMOM and been successful with many program components. Indicators of this success include:

- Only 3 wet-weather SSOs in the years since CMOM implementation in 2009.
- Only 11 dry-weather SSOs in the years since CMOM implementation in 2009.
- The Village of Caledonia continues to have a bond rating of AA2 and the District continues to have a bond rating of A1.
- No staff injuries or on-the-job accidents since CMOM implementation in 2009.

2 Program Update By Plan

2.1 Management Plan

2.1.1 Implementation Update

The Management Plan details the organization of CUD, its asset management procedures, and their goals, objectives, and performance measures. It also details the mission statement for the CMOM program. This plan details the activities of CUD regarding the upkeep of their assets and operational activities including long-range planning, facility planning, maintenance, annual reporting, billing procedures and regulatory requirements.

CUD has continued several significant Management Plan programs over the past year which will increase the success of the CMOM program and the overall functionality of CUD:

- Standard Operating Procedure Manual Review – Caledonia continues to review existing SOP's for applicability and incorporate recommended changes or additions. SOP CUD-7: Force Main was updated to increase the frequency of field inspections for forcemain installed in the 1960's from semi-annually to quarterly. This change was made after the District experienced two dry-weather SSO's due to pipe failure which resulted in a DNR Notice of Noncompliance. Following an email notification from MMSD in June 2020, SOP CUD-24: Emergency Procedures Sewer Blockage or Surcharging into Basement was updated to instruct residents on wet basement reporting procedures related to MMSD. SOP CUD-36: Remote Field Inspection exhibits were updated to remove 1960's forcemain since these older pipes were addressed in the SOP CUD-7 update. Lastly, SOP CUD-38: Emergency Procedures at SSO Outfall Structures was added in November to address E. Coli sampling requirements per the District's renewed WPDES permit detailed previously.
- Standard Specifications – CUD reviewed and updated their Standard Specifications to ensure alignment with the Standard Specification for Sewer and Water Construction in Wisconsin, 6th Edition, as well as material and procedural preferences by the District Manager.
- GIS Improvements – CUD continues to update the GIS system, including sub-centimeter accuracy field-locating of all manholes. As of the end of 2020, only 42 manholes have yet to be survey-verified out of the 3422 total (1%). Though significant progress was not

made in manhole surveying in 2020, the District spent considerable time updating water utility components, particularly curb-stops. In addition, GIS updates were made per the following 2020 construction projects; Jellystone Park Public Sewer and Water, Wind Point Sewer Rehab, Caddy Vista Utility Improvements and South Lane Sanitary Sewer Relay. In addition, edits were made to GIS per field notes by District staff. Lastly, the District utilized GIS to map all SSO's since the inception of CMOM in 2009. A copy of the resulting exhibit can be found in *Appendix B*.

- Flow Monitoring – CUD is able to measure flow at all 17 lift stations, which is used to monitor peak flows, compare design flows to actual flows, and determine infiltration and inflow. They currently record pump hours twice a week at each lift station and since drawdown tests were recently conducted, flows are available. Note that the Johnson Lift Station is privately owned but is still included on this inspection schedule. CUD also has 6 permanent flow meters at the following lift stations; Caddy Vista (1), Hoods Creek (2), River Bend (1), 4 ½ Mile Road (1) and CTH K/V (1). This data is being used for system design, analyzing peaking factors and potential infiltration and inflow, and determining problem areas for private property infiltration and inflow. In addition, the District has 3 flow monitors that have historically been strategically placed to provide more localized data in suspected problem areas within the system.
- System-Wide Sewer Modeling – Modeling efforts were approved for CUD's 2017 budget. The effort began in early 2017 with building the pipe network. The District was divided into four (4) phases and by the end of 2020, the pipe networks were nearly complete for all four phases. In addition, the model is helping to ensure proper sizing for sewer, lift station and attenuation basin upgrades currently being designed for Central, Hoods Creek, River Bend and Dominican.
- Sewer Inspections & Cleanings – Since 2010, CUD has cleaned the entire sewer system on a 5-year cycle. Beginning in 2017, CUD cleans *and televises* the entire sewer system on a 5-year cycle. The 2020 event involved 585 manholes and 166,422 lf of sewer main. The collected information is used to develop a map displaying the defect types and locations and is used to prioritize future repair/replacement projects since NASSCO pipe ratings are assigned. The information is also used to adjust asset locations accordingly. The 2020 event concluded the 5-year cycle for televising the entire District, enabling better navigation of capital improvement planning. System cleaning will continue to rotate on a 5-year cycle but televising will occur on a more strategic as-needed basis.
- Financial Tracking – CUD continued to be intentional about tracking CMOM expenses in 2020 to include salaries, repairs, construction and engineering. Note that as of January 1, 2020, District Commissioners no longer receive salaries. These positions are voluntary.
- Cross Connection Control Program – In 2016, CUD entered into a contract with Aqua Backflow, Inc. to strengthen the Cross Connection Control (CCC) Program. While CUD continues to handle related inspections for residential customers, Aqua Backflow, Inc. now handles all non-residential CCC inspections. Aqua Backflow inspected all public authorities in 2016 (Phase 1), all industrial customers in 2017 (Phase 2) and all

commercial customers in 2018 (Phase 3). Their inspection process involved prioritizing each facility according to risk; Level 1 is high risk and will be inspected annually, Level 2 is medium risk inspected every 2 years and Level 3 is low risk inspected every 3 years. In 2020, Aqua Backflow, Inc. was contracted to conduct Level 1 and Level 2 inspections but were unable to due to COVID-19 restrictions.

- Paving vs. Utility Repair Coordination - The large effort that was initiated in 2018 to better coordinate Village and County road paving and stormwater management plans with CUD utility repair/replacement continued in 2020. Areas planned for construction (paving plans or stormwater management projects) in the fall of 2021 were televised spring 2020. The 2020 televising results were received early enough to allow design of sewer rehab/replacement in the fall, project bidding over the winter, then construction in the spring ahead of the planned fall 2021 paving or stormwater project.

It should also be noted that the District has made a focused design and financial effort to address aging infrastructure and capacity concerns. For the MMSD area, the District spent over \$2.5M replacing/repairing Caddy Vista West and the lift station over the last 2 years, and Caddy Vista East is planned for 2022. For the Racine area, a massive design effort, referred to as the Cal Sewer Program, began in 2020 to increase capacity. This program includes lift station updates to Central, Dominican and River Bend, expansion of the existing Hoods Creek Attenuation Basin, addition of an attenuation basin at the Central LS site, replacement of aged forcemain along Eric Street and River Bend Drive, and safety site updates at River Bend. Construction for the Cal Sewer Program is planned to begin in 2021.

Lastly, there are currently six (6) forcemain areas within the District's Racine area that have been in service for 60-70 years, one of which caused the SSO event in September 2020. Forcemain in these areas consist of cast iron and reinforced-concrete pipe that was installed in the 1960's. As mentioned, 2 of the 6 areas are already budgeted for replacement in 2021, over 1,100 LF of 16" CI forcemain along River Bend Drive and almost 2,000 LF the 8" and 10" CI forcemain along Erie Street south of the Dominican Lift Station. The remaining 4 areas are being analyzed to determine the best course of action including possible televising to better estimate actual pipe life via NASSCO ratings, determining relining potential, and considering pipe relay in new locations to minimize pipe length and remote or environmentally-sensitive areas. The results of these analyses will be discussed in the District's 2021 CMOM Report.

2.1.2 Plan Revisions

In 2020, the main plan revision involved SOP updates as detailed previously. No further Management Plan revisions are deemed necessary at this time.

2.2 Overflow Response Plan

2.2.1 Implementation Update

The Overflow Response Plan includes the process for CUD to respond, inform, protect, and resolve all system overflows. CUD has the responsibility of reporting and mitigating all sewage overflows in accordance with the WPDES permit, WDNR regulations and CMOM. The basic summary for the overflow response procedure is as follows:

- Receipt of Information Regarding an SSO;
- Overflow Confirmation;
- Dispatch of Crews and Work Orders;
- Overflow Correction, Containment, and Cleanup;
- Overflow Report (Cause, Location, Duration, Corrective Action, Precipitation); and
- Customer Satisfaction.

2.2.2 Plan Revisions

The Overflow Response Plan was effective during the 2020 SSO events and no plan revisions are deemed necessary at this time.

2.3 Communications Plan

2.3.1 Implementation Update

The Communication Plan details all communication regarding CMOM, including communicating with regulatory agencies, other municipalities, and other stakeholders in the CMOM process.

Since staff changes occurred in 2020, the organizational chart and emergency contact list were updated accordingly. CUD has continued the formal communication techniques implemented as a result of the 2014 audit. An Update Meeting occurred following the completion of the annual report and a presentation was made to the Commission which covered the successes, new strategies, and tactics of the CMOM Program in order to educate the members on the programs progress and be the primary formal communication tool for CUD Staff. In addition, a memo was distributed internally for all CMOM communications. Since flushables have caused past SSO events, information relating to proper flushables disposal has historically been included in the District's Fall newsletter to customers. However, in an effort to save costs, newsletters were not sent to customers in 2019. As recommended in their self-audit, the District re-instituted the customer newsletter with their June 2020 billing.

Lastly, the use of WDNR's CMAR data for benchmarking comparison with CUD's partnering agencies (Racine Water and Wastewater Utility; Mount Pleasant Utility District; and the Oak Creek Water and Sewer Utility) has proven beneficial to help gauge data accuracy. A tabular summary for all four Utilities is typically included in the appendix. However, since the CMAR reporting deadline was pushed to August in 2020 given the complications of COVID-19, this benchmarking data was not included in the District's 2019 CMOM report. Therefore, *Appendix C* contains the updated benchmarking data for both 2019 and 2020. In addition, it continues to be a challenge to obtain the CMAR data in a timely enough fashion to allow these benchmarking comparisons. Since CMAR is also due on June 30 of each year, area Utilities are not able to provide their reports until June 29 or 30 as they are understandably hesitant in providing draft documents. That said, *it would be appreciated if DNR would consider moving the annual CMOM deadline to July 15 to give utilities ample time to assess data appropriately.*

2.3.2 Plan Revisions

No changes to the Communication Plan are deemed necessary at this time.

2.4 Audit Plan

2.4.1 Implementation Update

The Audit Plan establishes a process for evaluating and updating the overall CMOM program every five years. The first CMOM audit was completed in 2014 as required by MMSD and results were submitted previously. Recommendations from the 2014 audit were implemented beginning in 2015 and have continued to-date as detailed throughout this report.

Though an audit was anticipated for 2020 per MMSD rules, MMSD sent notification that the 5-year audit would not be required at this time. As required by the District's Satellite Sewage Collection System WPDES Permit (reissued October 30, 2020), the District continues to conduct self-audits thru the annual CMOM report compilation process.

2.4.2 Plan Revisions

No further changes to the Audit Plan are deemed necessary at this time.

Appendix

Appendix A – CMOM Goals and Performance Measures

Caledonia Utility District: CMOM Goals and Performance Measures

Program Goal	Regulatory Expectation	Objectives	Performance Measures	2019 Status/ Value		2020 Status/ Value		
				MMSD	Racine	MMSD	Racine	
1. Comply with the WPDES permit concerning sanitary sewer overflows.	Untreated wastewater discharges from the system are a violation of the WPDES permit.	Ensure procedures are in place to identify SSOs, report SSOs to the WDNR, and mitigate impacts from the SSOs per the WPDES permit.	Number of Dry Weather SSOs	0	0	0	3	
			Number of Wet Weather SSOs	1	0	0	3	
			Number of Dry Weather Building Backups	3 (See Note 1)	16 (See Note 1)	0 (See Note 1)	6 (See Note 1)	
			Number of Wet Weather Building Backups	0	0	0	12	
2. Minimize the occurrence of preventable overflows.	The CUD's WPDES General Permit for regulating SSOs provides specific circumstances under which the WDNR may not take enforcement action against the discharger. These circumstances include situations where the SSO occurred to prevent loss of life, personal injury, or severe property damage.	Determine critical system components where overflows are most likely to occur.	Number of capital improvement projects aimed at improving reliability of critical system components.	1	0	0	0	
			Establish dry and wet weather operating protocols that ensure overflows are identified and mitigated immediately thereafter.	Easily accessible ORP that is reviewed annually and updated as needed.	Yes		Yes	
				Annual staff training session on identifying and reporting overflows.	Yes		Yes	
		Procedure for incorporating system changes into system maps and drawings.		Yes		Yes		
		Implement projects that will have immediate impact on known operation and capacity-related overflows.	Number of projects that provide more reliable conveyance or reduce I/I.	3	4	0	1	
			Schedule sewer cleaning in known problem areas.	Yes		Yes		
			Schedule and enforcement of grease trap cleaning for each grease trap.	Yes		Yes		
Budget line items for performing inspections and preventative maintenance of pump stations, sanitary sewers, manholes and force mains.	Yes		Yes					
3. Minimize the life cycle ownership costs of the collection system assets.	State statutes require wastewater rates to include a component for equipment replacement.	Ensure preventive maintenance is performed on pump stations, manholes, and sewer pipes on regular intervals.	Annually review/update O&M Manual	Yes		Yes		
			Number of pump stations inspected	1	16	1	16	
			Number of manholes inspected	0 (See Note 2)	963	33	592	
			Footage of gravity sewer inspected	0	163,041	2,772	172,692	
			Footage of force main inspected	0	0	0	9,122	

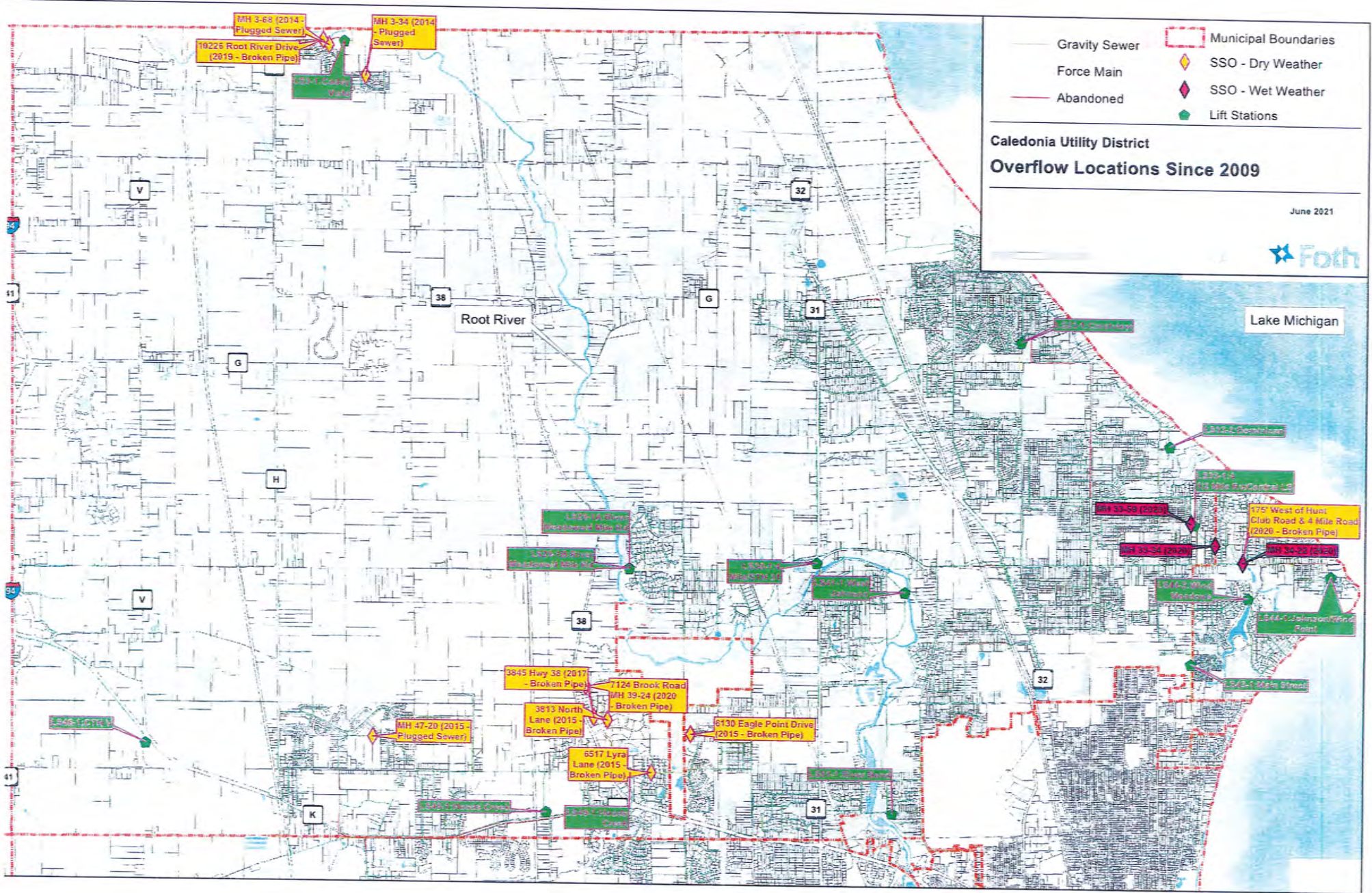
Program Goal	Regulatory Expectation	Objectives	Performance Measures	2019 Status/ Value		2020 Status/ Value	
				MMSD	Racine	MMSD	Racine
		Ensure that appropriate condition assessments are conducted on sewer assets.	Budget line item for updating sanitary sewer portion of GIS	Yes		Yes	
			Number of sanitary sewer GIS updates	0 (See Note 3)	57 (See Note 3)	3 (See Note 3)	4 (See Note 3)
			Backlog of sanitary sewer GIS updates	0	0	0	0
		Ensure that established design, construction, and inspection standards are followed on all new construction.	Annually review SOPs of the standards used for design, construction, inspection, and testing of all new sewer construction projects, including private sewers and building laterals, and update as needed.	Yes		Yes	
			Regularly review the sufficiency of funding for sewer system operation and maintenance activities.	Include a sanitary sewer project line item in 5-year capital improvement plan.	Yes		Yes
		Number of sanitary sewer project estimates prepared for CUD's annual budgeting process.	2	6 (see Note 4)	1	11 (see Note 4)	
4. Improve or maintain system reliability.	Unregulated	Confirm the existence of any system components that do not function according to established reliability	Number of overflows and basement backups resulting from unreliable (based on written SOPs) system components.	1	0	0	3
5. Reduce the potential threat to human health from sewer overflows.	Overflows from the system are a violation of WPDES permit, Clean Water Act, and Wisconsin State law.	Confirm the existence of locations where system overflows could pose a threat to human health.	Number of overflows and basement backups with the potential to threaten human health.	0	0	0	0
		If such locations exist, develop response measures and investigate alternatives for eliminating the potential threat.	Easily accessible ORP that is reviewed annually and updated as needed.	Yes		Yes	
6. Provide adequate capacity to convey peak flow.	The system must have adequate capacity and not exceed MMSD's allowable peak flow requirements.	Gain an understanding of the current system's ability to convey peak flows and what steps are necessary to address system inadequacies.	Number of flow monitoring locations	1 (See Note 5)	16 (See Note 5)	1 (See Note 5)	16 (See Note 5)

Program Goal	Regulatory Expectation	Objectives	Performance Measures	2019 Status/ Value		2020 Status/ Value	
				MMSD	Racine	MMSD	Racine
7. Manage infiltration and inflow.	If the State or MMSD determines a SECAP is required by CUD, a component of this plan will include I/I evaluation and reduction.	Understand the current level of I/I in the system, the extent to which it poses a threat to the regional or municipal system operation, sources of I/I, and potential remedial measures.	Footage of gravity sewers smoke tested	0	0	0	0
			Number of dye tests	0	0	0	0
			Footage of gravity sewers tributary to a flow monitor	16,300	797,400	16,300	797,400
			Footage of sanitary sewers within areas contributing excessive I/I	8,406	42,562	7,145	1,500
		Establish a program to reduce I/I in situations where I/I results in service problems, including overflows, building sewer backups, or exceeding MMSD peak flow performance standards. Such standards may include those that would prevent I/I from increasing in the future.	Number of projects to reduce I/I	3	4	0	1
			Number of overflows and basement backups resulting from excessive I/I	0	0	0	0
			Budget line item for I/I reduction including study, design, and implementation.	Yes		Yes	
8. Protect collection system worker health and safety.	Unregulated	Make all collection system workers aware of potential hazards, equip them with proper safety gear, and provide proper training in dealing with these hazards.	Annual training hours per employee.	16		16	
			Number of staff injuries or on-the-job accidents	0		0	
9. Operate a continuous CMOM Program.	Unregulated	Establish procedures for monitoring CMOM Program implementation and initiating program modifications.	Annual reporting to MMSD completed on time.	Yes		Yes	
			Compliance Maintenance Annual Report (CMAR) overall score	100		100	
			Annual Cost of CMOM activities (see Note 6)	\$6,367,400		\$3,707,400	
			Cost to date of CMOM activities (see Note 7)	\$6,367,400		\$10,074,800	

Notes:

1. Basement backups from private lateral failures primarily caused by root intrusion.
2. Entire Caddy Vista system (MMSD) was cleaned and televised in 2015.
3. Numbers represent record drawing (4) and CUD-requested updates (3) discussed in report.
4. South Lane, Caddy Vista East, Central LS Attenuation Basin, Lighthouse Dr LS, Dominican LS Replacement, Central Lift Station Improvements, Rio Vista/Shorewood Utility Rehabs (pre-paving), Hoods Creek Attenuation Basin Expansion, Riverbend Dr Safety Site, 4 1/2 Mile Road Sewer Rehab, Erie Street Sewer Rehab and North Main St Utility Rehab (pre-paving).
5. Flows recorded at all lift station sites as detailed in the report.
6. Includes salaries, repairs, construction and engineering.
7. Cost tracking began in 2016.

Appendix B – Sanitary Sewer Overflow Tracking



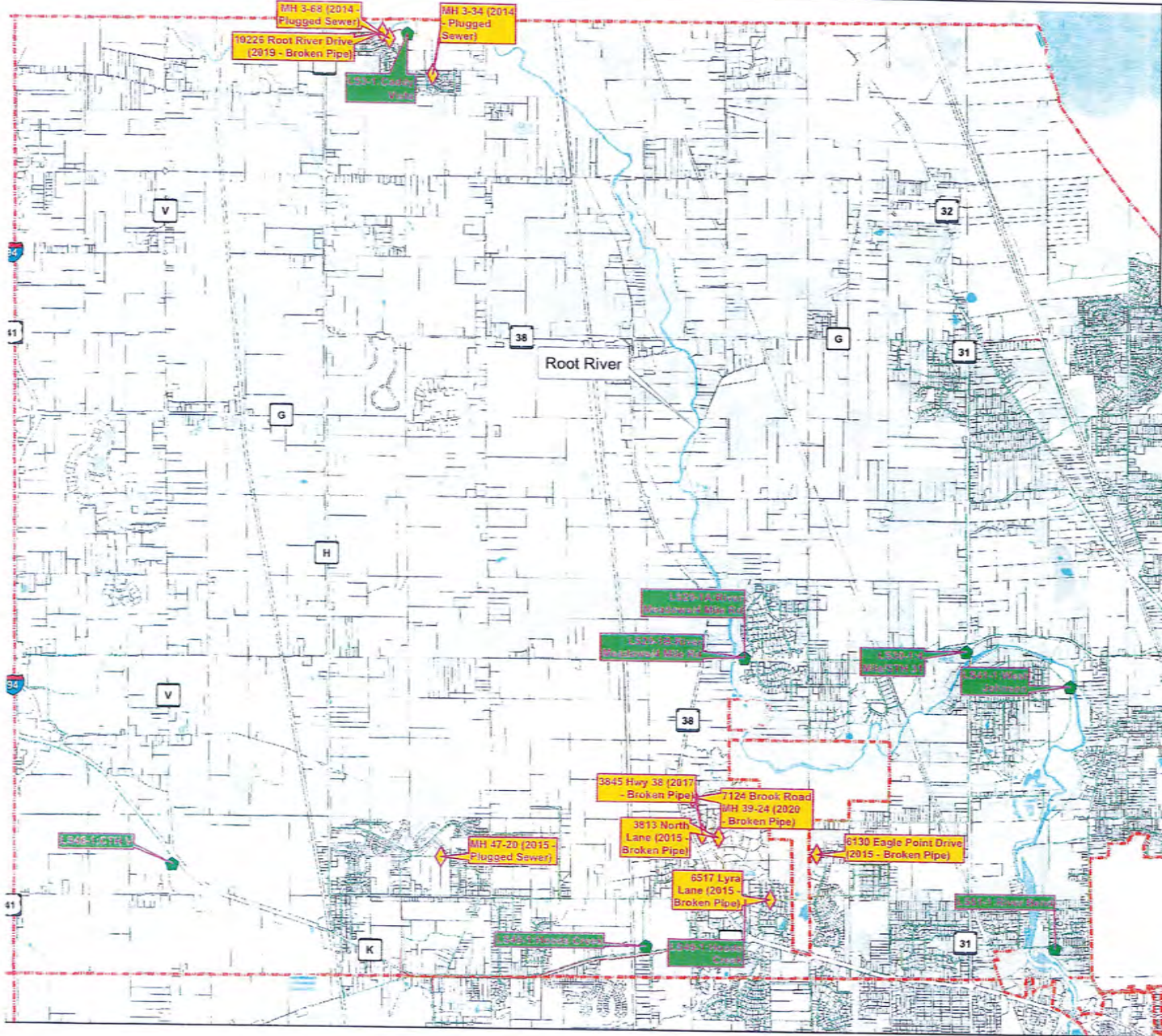
- Gravity Sewer
- Force Main
- Abandoned
- Municipal Boundaries
- ◆ SSO - Dry Weather
- ◆ SSO - Wet Weather
- ◆ Lift Stations

Caledonia Utility District
Overflow Locations Since 2009

June 2021



Lake Michigan



Appendix C - Benchmarking Analysis

Caledonia Utility District: Benchmarking Analysis

Benchmark 1: Percentage of Sanitary Sewer System Cleaned

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	20	34	21	14	22.3
2015	20	42	25	17	26.0
2016	20	41	24	15	25.0
2017	20	38	21	14	23.3
2018	25	43	18	16	25.5
2019	20	42	21	15	24.5
2020	20	27	15	11	18.3

Benchmark 2: Percentage of Sanitary Sewer System that had Root Removal

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	<1	3	0.5	0.6	1.4
2015	<1	4	1	0	1.7
2016	0.8	18	1.6	4.4	6.2
2017	<1	3	2.6	1.6	2.4
2018	<1	7	1.2	16	8.1
2019	<1	6	2	15	7.7
2020	0.1	4	2	11	4.3

Benchmark 3: Percentage of Sanitary Sewer System Flow-Monitored

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	100	8	0	95	50.8
2015	100	12	0	95	51.8
2016	100	12	0	95	51.8
2017	100	7	0	95	50.5
2018	100	6	0	95	50.3
2019	100	5	0	95	50.0
2020	100	2	0	95	49.3

Benchmark 4: Percentage of Sanitary Sewer System Smoke Tested

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	0	0	0	0	0.0
2015	0	2	0	4	1.5
2016	0	0	0	3	0.8
2017	0	0	0	0	0.0
2018	0	0	0	0	0.0
2019	0	0	0	1	0.3
2020	0	0	0	11	2.8

Benchmark 5: Percentage of Sanitary Sewer System Televised

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	1.2	7.8	21.2	0	7.6
2015	2.7	5	17	4	7.2
2016	8.1	5.1	12	2	6.8
2017	19.7	8.5	13.3	2	10.9
2018	24.7	4	11.1	2.3	10.5
2019	19.8	1.7	10.2	1.4	8.3
2020	18.3	6.6	14.8	11.7	12.9

Benchmark 6: Percentage of Sanitary Manholes Inspected

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	21.5	14.8	22.5	9.6	17.1
2015	18.8	21.6	26	16	20.6
2016	14.4	21.3	27	7	17.4
2017	20	22.5	22	14	19.6
2018	25	19.4	18	4	16.6
2019	28	18.3	33	3	20.6
2020	20	13	20	3	14.0

Benchmark 7: Number of Lift Station O&M per Station

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	100	110	24	52	72
2015	100	110	24	52	72
2016	100	110	24	52	72
2017	100	110	24	250	121
2018	100	110	24	250	121
2019	100	110	24	250	121
2020	100	55	24	250	107

Benchmark 8: Percentage of Sanitary Manholes Rehabbed

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	1.1	1.8	2.6	0	1.4
2015	2.9	1.3	3.3	1	2.1
2016	2.1	0.3	0.2	0.4	0.8
2017	3.3	0.4	3.3	0	1.8
2018	12.6	0.9	3.9	0	4.4
2019	6.8	0.5	2.3	0	2.4
2020	0.2	0.2	2.8	1	1.1

Benchmark 9: Percentage of Sanitary Sewer Rehabbed

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	0.6	0.7	0.0	0	0.3
2015	0	3.6	0.0	0	0.9
2016	0.2	1	0.0	4.4	1.4
2017	1.2	1.3	0.1	1.6	1.1
2018	9	0.5	1.1	0	2.7
2019	5.7	0.6	0.1	0	1.6
2020	0.2	0.4	0	0	0.2

Benchmark 10: Percentage of Private Sanitary Services Inspected

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	0	0.9	0	0.7	0.4
2015	0	0.5	0	0	0.1
2016	0	0.4	0	0	0.1
2017	0	0.7	0	0	0.2
2018	0	0.4	0	0	0.1
2019	0	0.1	0	0	0.0
2020	0	0.4	0	0	0.1

Benchmark 11: Percentage of Private Sanitary Services Rehabbed

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	0	0.9	0	0.7	0.4
2015	0	0.5	0	0	0.1
2016	0	0.4	0	0	0.1
2017	0	0.7	0	0	0.2
2018	0	0.4	0	0	0.1
2019	0	0.1	0	0	0.0
2020	0	0.4	27	0	6.9

Benchmark 12: Number of Lift Station Failures

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	1	0	0	0	0
2015	0	0	0	0	0
2016	0	0	0	0	0
2017	0	0	0	0	0
2018	0	0	0	0	0
2019	0	2	0	0	1
2020	0	0	0	0	0

Benchmark 13: Number of Sewer Pipe Failures

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	0	0	0	0	0
2015	2	0	0	0	1
2016	0	0	0	0	0
2017	1	0	0	0	0
2018	0	0	0	0	0
2019	1	0	0	0	0
2020	3	0	0	1	1

Benchmark 14: Number of Basement Backup Occurrences

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	14	90	0	0	26
2015	11	2	0	0	3
2016	14	3	0	0	4
2017	23	0	0	0	6
2018	21	4	0	2	7
2019	19	0	0	2	5
2020	18	10	0	33	15

Benchmark 15: Number of Complaints

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	21	90	22	30	41
2015	26	2	26	0	14
2016	25	3	23	0	13
2017	31	0	14	0	11
2018	26	4	12	2	11
2019	19	0	20	2	10
2020	59	10	9	33	28

Benchmark 16: Number of SSOs

Year of Data	Caledonia	Racine	Oak Creek	Mt. Pleasant	Average
2014	2	6	0	0	2
2015	4	0	0	0	1
2016	0	0	0	0	0
2017	1	2	0	0	1
2018	0	13	0	0	3
2019	1	7	0	0	2
2020	6	20	0	0	7

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
ACH - SUPERFLEET								
1730	ACH - SUPERFLEET	06/20/2021	FUEL FOR DISTRICT VEHICLES	06/29/2021	148.90	.00	07/08/2021	501-00-63200 Fuel, Oil, Fluids
1730	ACH - SUPERFLEET	EJ 974 072021	FUEL FOR DISTRICT VEHICLES	07/20/2021	305.43	.00		501-00-63200 Fuel, Oil, Fluids
Total ACH - SUPERFLEET:					454.33	.00		
ACH - WE ENERGIES								
380	ACH - WE ENERGIES	06/28/2021	GAS & ELECTRIC SERVICE AT	07/21/2021	8,696.70	.00		501-00-64140 Utilities
Total ACH - WE ENERGIES:					8,696.70	.00		
BATTERIES PLUS LLC								
3791	BATTERIES PLUS LLC	P41946570	FLOW METER & LOCATOR BAT	07/23/2021	150.60	.00		501-00-64240 Building Repairs & Maintenance
Total BATTERIES PLUS LLC:					150.60	.00		
BUY RIGHT, INC.								
273	BUY RIGHT, INC.	14873-328971	FORD ESCAPE OIL CHANGE	06/30/2021	22.00	.00		501-00-63300 Vehicle Repairs & Maintenance
273	BUY RIGHT, INC.	14873-329026	FORD ESCAPE REAR BRAKES	07/01/2021	57.60	.00		501-00-63300 Vehicle Repairs & Maintenance
273	BUY RIGHT, INC.	14873-331582	OIL & FILTERS FOR VEHICLES	07/23/2021	135.30	.00		501-00-63200 Fuel, Oil, Fluids
273	BUY RIGHT, INC.	14873-331582	OIL & FILTERS FOR VEHICLES	07/23/2021	32.07	.00		501-00-63300 Vehicle Repairs & Maintenance
Total BUY RIGHT, INC.:					246.97	.00		
EHLERS INVESTMENT PARTNERS								
584	EHLERS INVESTMENT PARTNE	04/01/2021	SHORT TERM INVESTMENT SE	04/30/2021	11.31	.00		501-00-61000 Professional Services
584	EHLERS INVESTMENT PARTNE	05/01/2021	SHORT TERM INVESTMENT SE	05/12/2021	4.11	.00		501-00-61000 Professional Services
Total EHLERS INVESTMENT PARTNERS:					15.42	.00		
FOTH INFRASTRUCTURE & ENVIRO, LLC								
666	FOTH INFRASTRUCTURE & EN	73228	RISK AND RESILIENCE ASSESS	07/14/2021	754.00	.00		501-00-61010 EPA Risk Resilience
666	FOTH INFRASTRUCTURE & EN	73523	RIVER BEND SAFETY SITE	07/28/2021	14,127.00	.00		501-18725-000 CIP-Riverbend Safety Site
666	FOTH INFRASTRUCTURE & EN	73525	LIGHTHOUSE DRIVE L.S.	07/28/2021	455.50	.00		501-18707-000 CIP-Lighthouse Lift Station
666	FOTH INFRASTRUCTURE & EN	73526	CADDY VISTA L.S.	07/28/2021	371.25	.00		501-18729-000 Caddy Vista Lift Stations
666	FOTH INFRASTRUCTURE & EN	73530	RIO VISTA / SHOREWOOD DR. I	07/28/2021	4,184.48	.00		501-18731-000 CIP-Stonebridge Drive
666	FOTH INFRASTRUCTURE & EN	73532	SOUTH LANE SEWER RELAY	07/28/2021	1,300.82	.00		501-18735-000 CIP-South Lane Sanitary Sewer
666	FOTH INFRASTRUCTURE & EN	73533	HOODS CREEK ATTENUATION	07/28/2021	32,013.00	.00		501-18736-000 CIP-Hoods Creek Attenuation
666	FOTH INFRASTRUCTURE & EN	73535	GENERAL ENGINEERING	07/28/2021	459.00	.00		501-00-61010 EPA Risk Resilience
666	FOTH INFRASTRUCTURE & EN	73535	GENERAL ENGINEERING	07/28/2021	507.00	.00		501-00-61340 Engineering Design Charges

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
666	FOTH INFRASTRUCTURE & EN	73538	2021 CMOM REPORTING	07/28/2021	16,529.00	.00		501-00-61340 Engineering Design Charges
	Total FOTH INFRASTRUCTURE & ENVIRO, LLC:				70,701.05	.00		
G & F EXCAVATING								
687	G & F EXCAVATING	35018	7209 LONE ELM SEWER LATER	07/01/2021	5,181.25	.00		501-00-64240 Building Repairs & Maintenance
	Total G & F EXCAVATING:				5,181.25	.00		
KONICA MINOLTA								
1090	KONICA MINOLTA	9007891872	JUNE 2021 OFFICE COPIER OV	07/06/2021	134.33	.00		501-00-64030 Office Supplies
	Total KONICA MINOLTA:				134.33	.00		
KORTENDICK HARDWARE								
1096	KORTENDICK HARDWARE	142905	HWY K / V L.S. PARTS	06/22/2021	32.38	.00		501-00-64240 Building Repairs & Maintenance
1096	KORTENDICK HARDWARE	143004	HWY K / V L.S. PARTS	06/25/2021	90.00	.00		501-00-64240 Building Repairs & Maintenance
	Total KORTENDICK HARDWARE:				122.38	.00		
LIGHTHOUSE COMMUNICATIONS								
1170	LIGHTHOUSE COMMUNICATIO	1120721	2ND QUARTER 2021 UTILITY BI	07/12/2021	1,213.26	.00		501-00-64030 Office Supplies
1170	LIGHTHOUSE COMMUNICATIO	1120721	2ND QUARTER 2021 UTILITY BI	07/12/2021	2,555.63	.00		501-00-64040 Postage & Shipping
	Total LIGHTHOUSE COMMUNICATIONS:				3,768.89	.00		
MILWAUKEE METROPOLITAN SEWAGE DISTRICT								
1338	MILWAUKEE METROPOLITAN S	128-21	2ND QUARTER 2021 SEWER TR	06/24/2021	7,982.73	.00		501-00-62550 Sewer Treatment Charges
	Total MILWAUKEE METROPOLITAN SEWAGE DISTRICT:				7,982.73	.00		
NETWORK SPECIALIST								
1390	NETWORK SPECIALIST	41108	OFFICE SERVER REMOTE BAC	07/13/2021	125.00	.00		501-00-64320 IT Infrastructure
	Total NETWORK SPECIALIST:				125.00	.00		
OLDCASTLE INFRASTRUCTURE, INC								
9181	OLDCASTLE INFRASTRUCTUR	270025953	SEWER MANHOLE REPAIR PAR	10/15/2020	379.79	.00		501-00-64240 Building Repairs & Maintenance

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
Total OLDCASTLE INFRASTRUCTURE, INC:					379.79	.00		
PAYNE & DOLAN, INC.								
1474	PAYNE & DOLAN, INC.	1746929	LONE ELM DRIVE SEWER LATE	07/01/2021	16.43	.00		501-00-64240 Building Repairs & Maintenance
Total PAYNE & DOLAN, INC.:					16.43	.00		
RACINE WATER & WASTEWATER UTILITIES								
1574	RACINE WATER & WASTEWATE	8572	2ND QUARTER 2021 SEWER TR	07/19/2021	389,283.37	.00		501-00-62550 Sewer Treatment Charges
Total RACINE WATER & WASTEWATER UTILITIES:					389,283.37	.00		
RAY HINTZ INC.								
1592	RAY HINTZ INC.	62471	SEWER LATERAL RESTORATIO	07/09/2021	72.00	.00		501-00-64240 Building Repairs & Maintenance
1592	RAY HINTZ INC.	62505	3734 NICHOLSON RD. RESTOR	07/22/2021	96.00	.00		501-00-64240 Building Repairs & Maintenance
Total RAY HINTZ INC.:					168.00	.00		
SPECTRUM ENTERPRISE								
1832	SPECTRUM ENTERPRISE	710670101071	INTERNET SERVICE AT DISTRI	07/15/2021	79.99	.00		501-00-64150 Communication Services
Total SPECTRUM ENTERPRISE:					79.99	.00		
U. S. CELLULAR								
2026	U. S. CELLULAR	0449549591	ALL UTILITY DISTRICT CELL PH	07/06/2021	143.60	.00		501-00-64150 Communication Services
2026	U. S. CELLULAR	0450228856	HOODS CREEK BASIN REPEAT	07/10/2021	7.02	.00		501-00-64150 Communication Services
Total U. S. CELLULAR:					150.62	.00		
UTILITY VENDOR REFUND								
8996	UTILITY VENDOR REFUND	006-0115-00	UTILITY BILL REFUND	07/26/2021	88.17	.00		501-00-46251 Residential Service
Total UTILITY VENDOR REFUND:					88.17	.00		
VERIZON WIRELESS								
2068	VERIZON WIRELESS	9883114971	HOODS CREEK BASIN REPEAT	07/01/2021	40.01	.00		501-00-64150 Communication Services
Total VERIZON WIRELESS:					40.01	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
WONDERWARE MIDWEST								
2199	WONDERWARE MIDWEST	INV23502	SCADA SUPPORT 1 YEAR REN	07/08/2021	1,020.00	.00		501-00-64320 IT Infrastructure
Total WONDERWARE MIDWEST:					1,020.00	.00		
Grand Totals:					488,806.03	.00		

Dated: _____

Village President: _____

Village Board: _____

Village Clerk: _____

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
OAK CREEK WATER UTILITY								
1423	OAK CREEK WATER UTILITY	7.7.2021	2ND QUARTER 2021 WATER PU	07/07/2021	111,846.04	.00		500-00-62550 Purchased Water
1423	OAK CREEK WATER UTILITY	7.7.2021	2ND QUARTER 2021 PFP	07/07/2021	19,239.37	.00		500-00-64180 Public Fire Protection
1423	OAK CREEK WATER UTILITY	7.7.2021	2ND QUARTER 2021 WATER PU	07/07/2021	15,122.92	.00		500-00-62550 Purchased Water
1423	OAK CREEK WATER UTILITY	772021	2ND QUARTER 2021 WATER PU	07/07/2021	7,728.51	.00		500-00-62550 Purchased Water
Total OAK CREEK WATER UTILITY:					153,936.84	.00		
RACINE WATER & WASTEWATER UTILITIES								
1574	RACINE WATER & WASTEWATE	2179446	2ND QUARTER 2021 WATER PU	07/01/2021	484,564.80	.00		500-00-62550 Purchased Water
1574	RACINE WATER & WASTEWATE	2179446	2ND QUARTER 2021 WATER PU	07/01/2021	49,250.00	.00		500-00-64180 Public Fire Protection
Total RACINE WATER & WASTEWATER UTILITIES:					533,814.80	.00		
Grand Totals:					687,751.64	.00		

Dated: _____

Village President: _____

Village Board: _____

Village Clerk: _____

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
ACH - SUPERFLEET								
1730	ACH - SUPERFLEET	06/20/2021	FUEL FOR DISTRICT VEHICLES	06/29/2021	148.90	.00	07/08/2021	500-00-63200 Fuel, Oil, Fluids
1730	ACH - SUPERFLEET	EJ 974 072021	FUEL FOR DISTRICT VEHICLES	07/20/2021	305.43	.00		500-00-63200 Fuel, Oil, Fluids
	Total ACH - SUPERFLEET:				454.33	.00		
ACH - WE ENERGIES								
380	ACH - WE ENERGIES	06/28/2021	GAS & ELECTRIC SERVICE AT	07/21/2021	1,499.83	.00		500-00-64140 Utilities
	Total ACH - WE ENERGIES:				1,499.83	.00		
AQUA BACKFLOW, INC								
127	AQUA BACKFLOW, INC	2021-1607	CROSS CONNECTION INSPECT	07/01/2021	7,021.00	.00		500-00-64240 Building Repairs & Maintenance
	Total AQUA BACKFLOW, INC:				7,021.00	.00		
BATTERIES PLUS LLC								
3791	BATTERIES PLUS LLC	P41946570	FLOW METER & LOCATOR BAT	07/23/2021	27.60	.00		500-00-64240 Building Repairs & Maintenance
	Total BATTERIES PLUS LLC:				27.60	.00		
BJELAJAC & KALLENBACH, LLC								
210	BJELAJAC & KALLENBACH, LL	21115-000D-5	REVIEW OF PRE-QUAL. SUBMI	06/30/2021	79.00	.00		500-18735-107 CIP - North Kremer Watermain
	Total BJELAJAC & KALLENBACH, LLC:				79.00	.00		
BUY RIGHT, INC.								
273	BUY RIGHT, INC.	14873-328971	FORD ESCAPE OIL CHANGE	06/30/2021	22.00	.00		500-00-63300 Vehicle Repairs & Maintenance
273	BUY RIGHT, INC.	14873-329026	FORD ESCAPE REAR BRAKES	07/01/2021	57.60	.00		500-00-63300 Vehicle Repairs & Maintenance
273	BUY RIGHT, INC.	14873-331582	OIL & FILTERS FOR VEHICLES	07/23/2021	135.30	.00		500-00-63200 Fuel, Oil, Fluids
273	BUY RIGHT, INC.	14873-331582	OIL & FILTERS FOR VEHICLES	07/23/2021	32.06	.00		500-00-63300 Vehicle Repairs & Maintenance
	Total BUY RIGHT, INC.:				246.96	.00		
CORE & MAIN								
405	CORE & MAIN	P055388	TAPPING MACHINE PART	07/16/2021	140.00	.00		500-00-64240 Building Repairs & Maintenance
	Total CORE & MAIN:				140.00	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
EHLERS INVESTMENT PARTNERS								
584	EHLERS INVESTMENT PARTNE	04/01/2021	SHORT TERM INVESTMENT SE	04/30/2021	11.32	.00		500-00-61000 Professional Services
584	EHLERS INVESTMENT PARTNE	05/01/2021	SHORT TERM INVESTMENT SE	05/12/2021	4.10	.00		500-00-61000 Professional Services
Total EHLERS INVESTMENT PARTNERS:					15.42	.00		
FOTH INFRASTRUCTURE & ENVIRO, LLC								
666	FOTH INFRASTRUCTURE & EN	73526	CADDY VISTA L.S.	07/28/2021	371.25	.00		500-18729-107 Caddy Vista Lift Station
666	FOTH INFRASTRUCTURE & EN	73527	STONEBRIDGE DR. WATERMAI	07/28/2021	1,612.50	.00		500-18731-107 CIP-Stonebridge Drive
666	FOTH INFRASTRUCTURE & EN	73530	RIO VISTA / SHOREWOOD DR. I	07/28/2021	2,789.66	.00		500-18731-107 CIP-Stonebridge Drive
666	FOTH INFRASTRUCTURE & EN	73534	NORTH KREMER WATERMAIN	07/28/2021	37,560.50	.00		500-18735-107 CIP - North Kremer Watermain
666	FOTH INFRASTRUCTURE & EN	73535	GENERAL ENGINEERING	07/28/2021	192.00	.00		500-00-61340 Engineering Design Charges
666	FOTH INFRASTRUCTURE & EN	73536	2021 BLACKTOP PATCHES	07/28/2021	5,611.00	.00		500-18736-107 CIP - 2021 WATER MAIN REPAVING
666	FOTH INFRASTRUCTURE & EN	73541	GIS MAPPING	07/28/2021	5,245.50	.00		500-18704-107 CIP-GIS Mapping
Total FOTH INFRASTRUCTURE & ENVIRO, LLC:					53,382.41	.00		
G & F EXCAVATING								
687	G & F EXCAVATING	35032	1 VALVE & 1 SERVICE REPAIR	07/12/2021	4,165.50	.00		500-00-64240 Building Repairs & Maintenance
Total G & F EXCAVATING:					4,165.50	.00		
HACH COMPANY								
770	HACH COMPANY	12534189	1000 CHLORINE PILLOWS FOR	07/06/2021	249.22	.00		500-00-64240 Building Repairs & Maintenance
Total HACH COMPANY:					249.22	.00		
KONICA MINOLTA								
1090	KONICA MINOLTA	9007891872	JUNE 2021 OFFICE COPIER OV	07/06/2021	134.32	.00		500-00-64030 Office Supplies
Total KONICA MINOLTA:					134.32	.00		
LIGHTHOUSE COMMUNICATIONS								
1170	LIGHTHOUSE COMMUNICATIO	1120721	2ND QUARTER 2021 UTILITY BI	07/12/2021	1,213.27	.00		500-00-64030 Office Supplies
1170	LIGHTHOUSE COMMUNICATIO	1120721	2ND QUARTER 2021 UTILITY BI	07/12/2021	2,555.63	.00		500-00-64040 Postage & Shipping
Total LIGHTHOUSE COMMUNICATIONS:					3,768.90	.00		
NETWORK SPECIALIST								
1390	NETWORK SPECIALIST	41108	OFFICE SERVER REMOTE BAC	07/13/2021	125.00	.00		500-00-64320 IT Infrastructure

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
Total NETWORK SPECIALIST:					125.00	.00		
NORTHERN LAKE SERVICE, INC								
1411	NORTHERN LAKE SERVICE, IN	403102	2ND QTR. 2021 VILLAGE HALL	07/19/2021	30.00	.00		500-00-62560 Water Sampling and Testing
Total NORTHERN LAKE SERVICE, INC.:					30.00	.00		
OAK CREEK WATER UTILITY								
1423	OAK CREEK WATER UTILITY	4884	JULY 2021 BAC "T" SAMPLES	07/12/2021	365.00	.00		500-00-62560 Water Sampling and Testing
1423	OAK CREEK WATER UTILITY	4886	JULY 2021 BAC "T" SAMPLES	07/22/2021	365.00	.00		500-00-62560 Water Sampling and Testing
Total OAK CREEK WATER UTILITY:					730.00	.00		
PAYNE & DOLAN, INC.								
1474	PAYNE & DOLAN, INC.	1749830	STONE FOR 500 POINT RIDGE	07/15/2021	38.16	.00		500-00-64240 Building Repairs & Maintenance
Total PAYNE & DOLAN, INC.:					38.16	.00		
RACINE WATER & WASTEWATER UTILITIES								
1574	RACINE WATER & WASTEWATE	15708	APRIL, MAY & JUNE 2021 BAC "	07/16/2021	1,440.00	.00		500-00-62560 Water Sampling and Testing
Total RACINE WATER & WASTEWATER UTILITIES:					1,440.00	.00		
SPECTRUM ENTERPRISE								
1832	SPECTRUM ENTERPRISE	710670101071	INTERNET SERVICE AT DISTRI	07/15/2021	79.99	.00		500-00-64150 Communication Services
Total SPECTRUM ENTERPRISE:					79.99	.00		
U. S. CELLULAR								
2026	U. S. CELLULAR	0449549591	ALL UTILITY DISTRICT CELL PH	07/06/2021	143.60	.00		500-00-64150 Communication Services
Total U. S. CELLULAR:					143.60	.00		
UTILITY VENDOR REFUND								
8996	UTILITY VENDOR REFUND	006-0115-00	UTILITY BILL REFUND	07/26/2021	88.16	.00		500-00-46251 Residential Service
8996	UTILITY VENDOR REFUND	006-0115-00	UTILITY BILL REFUND	07/26/2021	88.17	.00		500-00-46255 Public Fire Protection
Total UTILITY VENDOR REFUND:					176.33	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
WONDERWARE MIDWEST								
2199	WONDERWARE MIDWEST	INV23502	SCADA SUPPORT 1 YEAR REN	07/08/2021	1,020.00	.00		500-00-64320 IT Infrastructure
Total WONDERWARE MIDWEST:					1,020.00	.00		
Grand Totals:					74,967.57	.00		

Dated: _____

Village President: _____

Village Board: _____

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Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
ACH - WE ENERGIES								
380	ACH - WE ENERGIES	06/28/2021	GAS & ELECTRIC SERVICE AT	07/21/2021	170.61	.00		502-00-64140 Utilities
Total ACH - WE ENERGIES:					170.61	.00		
FOTH INFRASTRUCTURE & ENVIRO, LLC								
666	FOTH INFRASTRUCTURE & EN	73543	TURTLE CREEK RESTORATION	07/28/2021	9,324.00	.00		502-00-65155 Turtle Creek Restoration
666	FOTH INFRASTRUCTURE & EN	73544	WESTVIEW VILLAGE STORMWA	07/28/2021	2,720.00	.00		502-00-65156 Westview Village Storm
666	FOTH INFRASTRUCTURE & EN	73545	STORM WATER GPS LOCATES	07/28/2021	1,644.00	.00		502-00-65152 GIS Update
Total FOTH INFRASTRUCTURE & ENVIRO, LLC:					13,688.00	.00		
SME SEASONAL SERVICES LLC								
1813	SME SEASONAL SERVICES LL	5961	MOWING - 5 /12 & CHARLES - (6	07/13/2021	195.00	.00		502-00-64260 Grounds Repairs & Maintenance
1813	SME SEASONAL SERVICES LL	5981	MOWING -- 6/30/2021 SINGLE C	07/05/2021	1,095.00	.00		502-00-64260 Grounds Repairs & Maintenance
1813	SME SEASONAL SERVICES LL	5981	MOWING -- 6/30/2021 SINGLE C	07/05/2021	905.00	.00		502-00-64260 Grounds Repairs & Maintenance
Total SME SEASONAL SERVICES LLC:					2,195.00	.00		
STRAND ASSOCIATES INC.								
1893	STRAND ASSOCIATES INC.	0173644	ILLCIT DISCHARGEDETECTIIO	07/14/2021	934.23	.00		502-00-62101 MS4 - ILLICIT DISCHARGE
Total STRAND ASSOCIATES INC.:					934.23	.00		
WESTERN CULVERT & SUPPLY INC.								
2131	WESTERN CULVERT & SUPPLY	063526	CULVERT PIECES AND SECTIO	06/11/2021	3,936.40	.00		502-00-65151 Culvert Replacements
2131	WESTERN CULVERT & SUPPLY	063766	CULVERS PIECES AND SECTIO	07/08/2021	7,596.40	.00		502-00-65151 Culvert Replacements
2131	WESTERN CULVERT & SUPPLY	063932	CULVERT PIECES AND BANDS	07/21/2021	4,770.45	.00		502-00-65151 Culvert Replacements
Total WESTERN CULVERT & SUPPLY INC.:					16,303.25	.00		
Grand Totals:					33,291.09	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
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Dated: _____

Village President: _____

Village Board: _____

Village Clerk: _____

STH 32 Utility Improvements DOT

Sewer & Water

Contractor	Payne and Dolan Inc.		
Original Contract	\$	266,043.63	
Change Order	\$	-	0.0%
Current Contract	\$	266,043.63	
Pay Request	\$	3.12	12/11/2018
Pay Request	\$	2,645.08	8/1/2019
Pay Request	\$	7,396.43	10/3/2019
Pay Request	\$	92,497.63	12/4/2019
Pay Request	\$	80,448.04	12/2/2019
Pay Request	\$	64,166.90	1/2/2020
Pay Request	\$	1,014.86	3/2/2020
Pay Request	\$	1,655.72	4/1/2020
Pay Request	\$	405.27	6/1/2020
Pay Request	\$	1,500.29	9/2/2020
Pay Request	\$	268.21	12/1/2020
Remaining on Contract (Including Retainage)	\$	14,042.08	5.3%
Engineering / Construction Services DOT 12/11/2018	\$	39,906.54	
Pay Request #1 Engineering Only	\$	868.07	6/4/2019
Pay Request #2 Engineering Only	\$	2,685.06	8/1/2019
Pay Request #3 Engineering Only	\$	2,766.76	9/4/2019
Remaining on Contract (Including Retainage)	\$	33,586.65	84.2%
Foth Engineering/Review (7/23/2019 - 6/3/2020)	\$	61,034.29	
Total Project Cost	\$	366,984.46	
Revised 2019 CIP	\$	350,000.00	

DeBack Industrial Park Phase 3 Improvements

Sewer & Water

Contractor

Globe Contractors Inc.

Original Contract	\$	5,492,315.00	
Change Order #1 (3/15/2019)	\$	5,200.78	0.09%
Change Order #2 (5/7/2019)	\$	31,676.00	0.58%
Change Order #3 (12/2/2020)	\$	8,642.92	0.16%
Change Order #4 (12/2/2020)	\$	(54,347.35)	-0.99%
Total All Change Orders	\$	(8,827.65)	-0.16%
Current Contract	\$	5,483,487.35	
Pay Request #1	\$	2,714,903.07	1/4/2019
Retainage	\$	142,889.64	
Pay Request #2	\$	989,536.31	1/31/2019
Retainage	\$	(5,581.76)	
Pay Request #3	\$	1,170,751.00	3/6/2019
Pay Request #4	\$	66,125.77	3/15/2019
Pay Request #5	\$	37,649.69	4/19/2019
Pay Request #6	\$	58,276.21	5/30/2019
Pay Request #7	\$	288,046.74	9/26/2019
Pay Request #8	\$	158,198.56	10/27/2020
Remaining on Contract (Including Retainage)	\$	0.00	0.0%
Engineering / Construction Services (12/22/2016 - 4/27/2021)	\$	640,053.93	
Total Project Cost	\$	6,169,245.71	
Oversizing Only (Utility District)			
Water	\$	104,890.20	
Sewer	\$	1,247,791.01	
Revised 2019 CIP	\$	1,352,681.21	

Wind Dale / Wind Point West

Storm, Sewer, Water

Contractor	Reesman's		
Original Contract	\$	1,566,307.81	
Change Order #1	\$	53,691.00	3.43%
Change Order #2	\$	100,491.30	6.42%
Change Order #3 (12/2/2020)	\$	17,583.99	1.12%
Total All Change Orders	\$	171,766.29	10.97%
Current Contract	\$	1,738,074.10	
Pay Request #1	\$	244,585.87	6/25/2020
Retainage	\$	12,872.94	
Pay Request #2	\$	439,987.88	7/28/2020
Retainage	\$	23,157.26	
Pay Request #3	\$	647,894.85	8/27/2020
Retainage	\$	5,544.55	
Pay Request #4	\$	282,041.76	9/22/2020
Pay Request #5	\$	66,258.75	10/27/2020
Remaining on Contract (Including Retainage)	\$	57,304.99	3%
Design Engineering (1/26/2018 - 6/3/2020)	\$	180,563.58	
Construction Services (6/3/2020 to 3/23/2021)	\$	93,502.68	
Total Project Cost	\$	2,012,140.36	
Budget 2020 Sewer	\$	-	
Budget 2020 Storm	\$	1,026,500.00	
Revised 2020 CIP Sewer	\$	140,000.00	
Revised 2020 CIP Storm	\$	1,650,000.00	

**CALEDONIA UTILITY DISTRICT
SEWER & WATER PROJECTS
PROJECT SUMMARY WORKSHEET**

Riverbend Drive Lift Station Safety Site

- Working on finalizing Facilities Plan. To be completed shortly and submitted for review. Once reviewed will be submitted to the DNR (September 2021). Preliminary Design to be ready shortly. Proposed to be bid in January 2022 with Construction February 2022 – September 2022.

Riverbend Drive Lift Station & Forcemain Upgrade

- Working on Facilities Plan. To be completed shortly and submitted to the DNR by September 2021.

DeBack Industrial Park Phase 3 Improvements

- Village Board provided direction on Special Assessment for project. Working on updating the Engineer's Report.

Annual Televising Program – Sanitary Sewer

- Continuing to perform repairs that staff can perform.

Water Impact Fee / Sewer Connection Fee Update

- On agenda for update.

EPA Risk & Resilience Assessment and Emergency Response Plan

- Will work on Sewer plan as time allows. Will also complete Emergency Response Plan for Water as time allows.

Hoods Creek Attenuation Basin Expansion

- Ray Leffler working on locations for excavated material. Working on obtaining approval from DNR and Racine Wastewater. Proposed to be bid in August 2021 with Construction September 2021 – August 2022.

Central Lift Station Safety Site & Attenuation Basin

- Working on Facilities Plan. Preparing to send to the DNR soon. Preliminary Design being worked on. Proposed to be bid in April 2023 with Construction May 2023 – July 2024.

North Kremer Watermain Project

- Village Board awarded contract. Working with contractor on all paperwork then looking to schedule Preconstruction Meeting.

Dominican Lift Station Rehab Project

- Finance Committee approved direct purchases of pumps and control building. Received approval of the plans for the project from the DNR. Working on finalizing permitting and prepping to go to bid. Proposed to be bid in August 2021 with Construction September 2021 – June 2022.

Concord Apartments Meter Vault

- Southern Wisconsin Appraisal working on appraisal and obtaining easement from Concord Apartments.

**CALEDONIA UTILITY DISTRICT
STORM WATER PROJECTS
PROJECT SUMMARY WORKSHEET**

Hoods Creek – Aldebaran Brushing Project

- Working with contractor to have log jams removed.

Tanglewood Avenue Storm Sewer Project

- Project Completed. Awaiting Final Pay Request. Retainage remains on contract.

Wind Point West Subdivision Project

- Project Completed. Awaiting Final Pay Request. Retainage remains on contract.

GIS Updates

- Hyperlinking of Easement documents and Storm Sewer Projects ongoing. Will be gathering Subdivision Plats and Subdivision Plans as time allows.

Alcyn Drive –Drainage Complaint

- Waiting for contractor pricing. Then will respond to owners.

Douglas Avenue – OMG Ditch Project

- Discussed with Foth working through a DNR issue and then will bid out. Will be looking to get out to bid middle to late August pending DNR approval.

Turtle Creek Restoration

- Legal Descriptions and Exhibits received and are ready to proceed. On agenda for recommending to the Village Board. Upon recommendation from District will be preparing Relocation Order for Village Board for approval on August 16th.

MEMORANDUM

DATE: Tuesday, July 27, 2021

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Utility Director



RE: Badger Liquor South – DeBack Farms Pad A – Utility Plan Conditional Approval

BACKGROUND INFORMATION

Jason Daye P.E. of Excel has prepared a Site Utility Plan for DeBack Farms Pad A for Badger Liquor South. Pad A in DeBack Farms is located on the South side of DeBack Lane at the Southeast corner of DeBack Lane and the East Frontage Road. The project involves the construction of a +22,538 square foot distribution facility.

The Storm Water Management Plan for DeBack Farms was approved in 2016. The DeBack Farms Business Park falls under Stream Protection Storm Water Regulations. Stream Protection Storm Water Regulations are that the 100 yr. post development peak runoff must be reduced to or below the 2 yr. predevelopment peak runoff. The site must also achieve a minimum of 80% Total Suspended Solids removal. The Storm Water Management Plan and Site Layout for Drainage for Pad A is unchanged from the Original Storm Water Management Plan.

The Site Utility Plan for Pad A indicates that the existing sanitary sewer lateral will have a sanitary sewer sampling manhole installed for the facility. The sampling manhole will need to be moved to the Right of Way line or easement line and there will need to be an easement granted over the sanitary sampling manhole as necessary. The remaining sanitary sewer lateral for the facility will need to be installed according to State Plumbing Code and to Caledonia Utility District Standards. There may need to be additional cleanouts installed on the lateral to meet the code and standard due to the length and layout of the lateral.

The Site Utility Plan for Pad A also indicates that a water lateral will need to be tapped on the existing watermain along DeBack Lane. The plans indicate that the existing water lateral provided for the lot will be used to extend a private watermain for Fire Protection. Additional information will need to be provided on the plans according to Utility District Standards for water laterals and watermain taps. The Design Engineer will need to provide a DNR Watermain Extension approval letter as necessary.

The Site Utility Plan for Pad A also includes Private Storm Sewer that will be discharged to the proposed swales on the site, which will ultimately drain to the existing Storm Water Basins within the DeBack Farms Business Park. This storm sewer appears to have been appropriately sized and is subject to some minor changes and additional information being supplied. There will need to be some permanent erosion control best management practice installed where the swales discharge to the Storm Water Basin.

As with all of the Utilities, there will be some Construction Inspection required to ensure that the Utilities are installed according to the Caledonia Utility District Standards. Construction Inspection will be provided either by staff or Foth Infrastructure and Environment LLC.

Included in this packet is the Utility Plan for DeBack Farms Pad A, and a July 27, 2021, review letter.

The plans as presented are ready for conditional approval subject to the following conditions being satisfied prior to the issuance of a Building Permit.

RECOMMENDATION

Move to conditionally approve the Site Utility Plan for Badger Liquor South – DeBack Farms Pad A subject to the following:

- 1. All comments on the Utility Director’s review letter dated July 27, 2021, are addressed, as necessary.**
- 2. The Design Engineer determines that the plans approved by the Caledonia Utility District are technically adequate and are stamped by the Design Engineer.**
- 3. Submission of a DNR Watermain Extension Letter as necessary.**
- 4. Will need to obtain a Land Disturbance Permit from the Engineering Department.**

Tuesday, July 27, 2021

Excel

c/o Jason Daye P.E.

100 Camelot Drive

Fond du Lac, WI 54935

RE: Badger Liquor South Depot – Utility Plan Review

Dear Mr. Daye:

The Caledonia Utility District has performed a review of the related Utility Plans for the proposed Badger Liquor South Depot on Pad A of DeBack Farms Business Park. The related Utility Plans are dated and received July 12, 2021. Below is a summary of the review comments.

- **Storm Water Management Plan**

- The storm water management plan for Pad A in DeBack Farms has been approved by the Village of Caledonia and the Caledonia Utility District. The approved Storm Water Management Plan is dated October 26, 2016 and was prepared by Pinnacle Engineering Group. After review of the provided grading plan, the site appears to conform to the approved Storm Water Management Plan.

- **Utility Plans**

- **Sanitary Sewer**

- The Sampling Manhole shall be moved so that it is located at the South edge of the Right of Way of DeBack Lane (or the Edge of the Utility Easement pending the location of existing utilities by others in the Utility Easement).
- Owner will need to grant a minimum 10' x 10' Sanitary Sewer Easement over the sampling manhole. Will need to provide a Legal Description and Exhibit for the sanitary sewer easement.
- Due to the length and bends in the proposed sanitary lateral, there may be sanitary sewer cleanouts required by Plumbing Code. The sanitary lateral shall meet the Plumbing Code and be inspected by the Commercial Plumbing Inspector.
- Due to the Sanitary Lateral being located near/under a proposed drainage swale there shall be a clay dam installed on the sanitary lateral between the relocated sampling manhole and the rip rap outfall of the driveway culvert to prevent infiltration of runoff into the bedding stone of the sanitary sewer main.
- The Sanitary Sewer lateral shall be installed per Caledonia Utility District Specifications.
- The development will be subject to the Sewer Connection Fee based on the water meter size. Will need to provide the necessary water meter size for the proposed building.

- **Watermain**

- Will need to provide Plan Profile sheets for the proposed private watermain on the site. Will also need to include all necessary details for Hydrants, Valves, Thrust Blocks, and Connections, as necessary.
- All Watermain, Watermain connections, and hydrants shall be installed according to the Caledonia Utility District Specifications.
- The connection to the Watermain on the East side of the proposed Building and the Watermain Tee Connection to the Watermain on the North side of the proposed Building shall be inspected by the Caledonia Utility District. Will need to coordinate with the Utility Operations Supervisor on the connections to the Watermain.
- The Design Engineer shall provide the required water meter size for the proposed building when the interior plumbing plans are completed. The water meter selected must be a Utility District approved water meter. (Badger Meter Displacement & Compound Meters)
- The development will be subject to the Water Impact Fee based on the water meter size.

- **Storm Sewer**

- The Caledonia Utility District does not recommend a direct connection of the downspouts to the driveway culvert as shown. Recommend either a discharge to the upstream end of the driveway culvert on the end apron or a discharge to the surface to the West side yard swale to remove all of the bends in the line.
- The downspout lines shall have cleanouts placed on them with an air gap at the building. Will need to provide a detail for these cleanouts, as necessary.

- **General Comments**

- Will need to remove the driveway area that is located within the Stormwater Easement along the South property line.
- Will need to provide a detail for the Rip Rap at the inlet and outlet of the driveway culvert.
- The swales that are proposed on both sides of the proposed building shall have a minimum of 1.5' of capacity from the existing lot lines to ensure that runoff from the site is contained within the swales and drains to the South as required by the Storm Water Management Plan for the DeBack Farms Business Park.
- Will need to provide a Ditch Check Detail.
- Will need to install a permanent erosion control BMP at the Southern ends of the proposed swales to ensure that the runoff from the swales does not create an erosion issue discharging to the Storm Water Pond.
- Silt Fence shall be located outside of the Stormwater Easement along the South property line as necessary to ensure that grading other than the swales to the

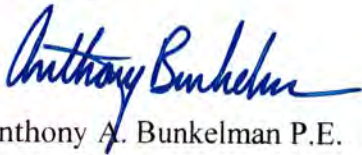
Storm Water Pond and necessary BMP's as discussed above are kept within the boundaries of the site.

- Will need to obtain a Land Disturbance Permit and all necessary permits from the Engineering Department for the proposed project.
- The Utility District retains the right to additional review comments until the plans are approved.
- Once approved by the Caledonia Utility District, 5 stamped hard copies and 1 stamped electronic (pdf) copy are to be submitted for the Utility Plans.

The Village of Caledonia Engineering Department will be performing a review of the Site Grading Plan and related plan sheets for the proposed project for the issuance of the Building Permit and all other necessary permits.

If there are any questions in regard to this review, please contact me to discuss.

Sincerely,

A handwritten signature in blue ink that reads "Anthony Bunkelman". The signature is written in a cursive, flowing style.

Anthony A. Bunkelman P.E.
Utility Director
Village of Caledonia

PROJECT INFORMATION

PROPOSED TRANSFER BUILDING FOR:
BADGER LIQUOR SOUTH DEPOT
 DEBACK LANE BUSINESS PARK • CALEDONIA, WI 53126

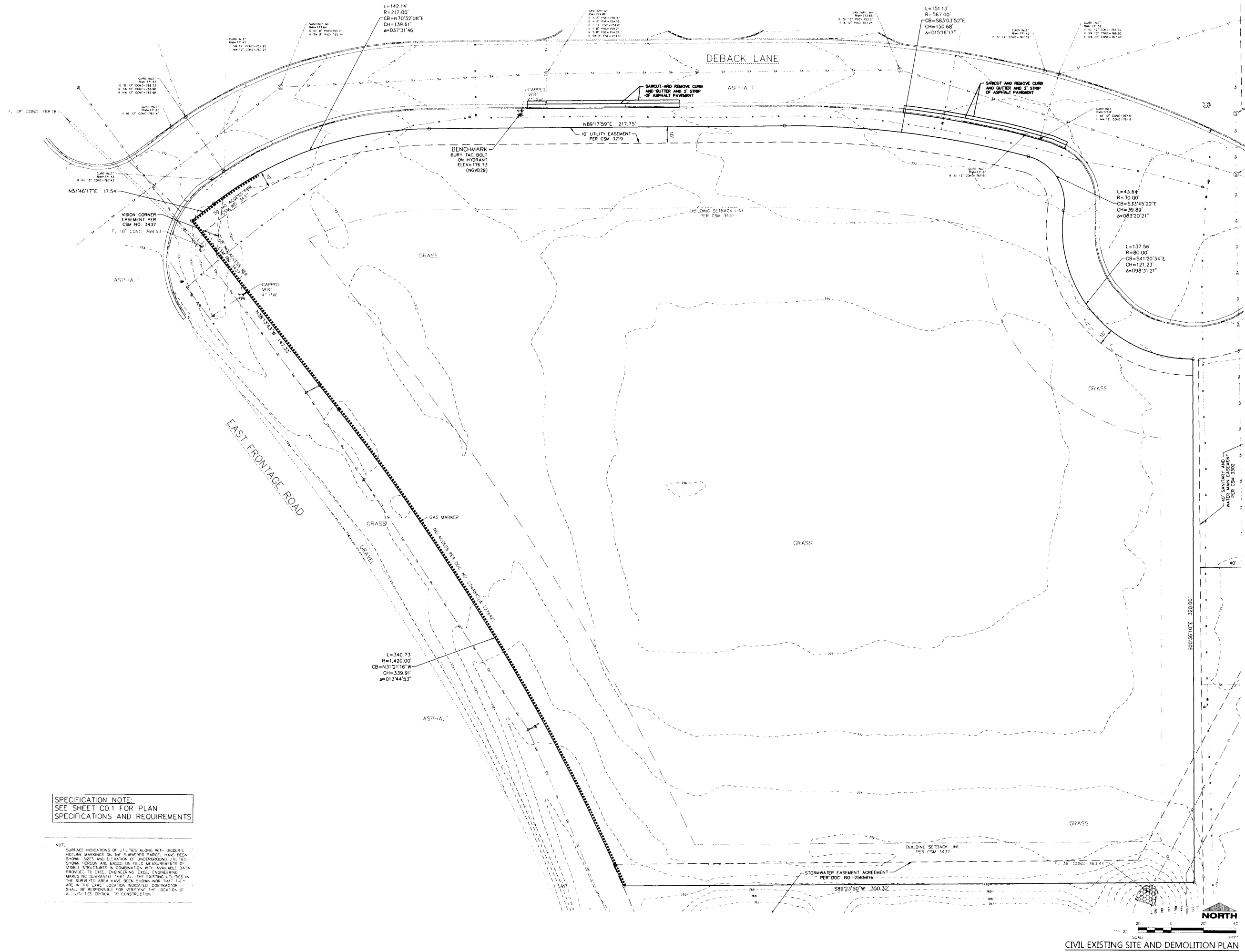
PROFESSIONAL SEAL

PRELIMINARY DATES
 JULY 12, 2021

NOT FOR CONSTRUCTION

JOB NUMBER
 2138480

SHEET NUMBER
C1.0



SPECIFICATION NOTE:
 SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

NOTE:
 SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGERS' HOTLINE MARKINGS ON THE SURVEYED PARCELS HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



PROJECT INFORMATION

SITE INFORMATION:
PROPERTY AREA: AREA = 212,478 S.F. (4.86 ACRES)
EXISTING ZONING: M-3
PROPOSED ZONING: M-3
PROPOSED USE: WAREHOUSE / DISTRIBUTION
AREA OF SITE DISTURBANCE: 4.45 AC

SETBACKS:
BUILDING: STREET = 50' (COVENANT = 30'), SIDE = 20' (COVENANT = 20'), REAR = 25' (COVENANT = 20')
PAVEMENT: STREET = 25' (COVENANT = 30'), SIDE = 0' (COVENANT = 5'), REAR = 0' (COVENANT = 5')

PROPOSED BUILDING HEIGHT: 33' (MAX HEIGHT ALLOWED: 60')

PARKING REQUIRED: 1 SPACE PER 2 EMPLOYEES DURING 12 HR PERIOD (10 SPACES REQ.)
PARKING PROVIDED: 25 SPACE (2 = C. ACCESSIBLE)
HANDICAP STALLS REQUIRED: 1 HANDICAP STALLS PROVIDED

EXISTING SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	4.92	214,209	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.00	0	0.0%
TOTAL IMPERVIOUS	0.00	0	0.0%
LANDSCAPE / OPEN SPACE	4.92	214,209	100.0%

PROPOSED SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	4.92	214,209	
BUILDING FLOOR AREA	0.52	22,538	10.5%
PAVEMENT (ASP. & CONC.)	1.91	82,208	38.4%
TOTAL IMPERVIOUS	2.43	105,747	49.4%
LANDSCAPE / OPEN SPACE	2.49	108,462	50.6%

- SITE PLAN KEYNOTES**
- STANDARD ASPHALT SECTION (TYP.)
 - HEAVY DUTY ASPHALT SECTION (TYP.)
 - CONCRETE SIDEWALK (TYP.)
 - REMOVE AND REPLACE 2' WIDE STRIP OF PAVEMENT ALONG PROPOSED MOUNTABLE CURB & GUTTER MATCH EXISTING PAVEMENT
 - HEAVY DUTY CONCRETE (TYP.)
 - LOADING DOCK CONCRETE (TYP.)
 - CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS
 - RAISED WALK (TYP.)
 - FLUSH WALK (TYP.)
 - MOUNTABLE CURB & GUTTER PER CITY STANDARDS
 - CURB RAMP (TYP.)
 - CURB TAPER (TYP.)
 - CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
 - HANDICAP SIGN (TYP.)
 - HANDICAP STALL & STRIPING PER STATE CODES
 - COLUMN (SEE DETAIL ON ARCH. PLANS) (2 TYP.)
 - CONCRETE STAIRS AND RAILING (SEE DETAIL ON ARCH. PLANS)
 - DUMPSTER ENCLOSURE (SEE ARCH. PLANS FOR DETAILS)
 - 6" CONCRETE BOLLARDS (SEE DETAIL ON ARCH. PLANS)
 - CONCRETE RAMP AND RAILING (SEE DETAIL ON ARCH. PLANS)
 - STEEL STEPS WITH RAILING (SEE DETAIL ON ARCH. PLANS)
 - CANDOR (SEE DETAIL ON ARCH. PLANS)

PAVEMENT MATCH KEY

[Symbol]	STANDARD ASPHALT
[Symbol]	HEAVY DUTY ASPHALT
[Symbol]	SIDEWALK CONCRETE
[Symbol]	HEAVY DUTY CONCRETE
[Symbol]	LOADING DOCK CONCRETE

CURB & GUTTER MARKING KEY

[Symbol]	INVERTED CURB & GUTTER
[Symbol]	SHEDDING CURB & GUTTER

PROFESSIONAL SEAL

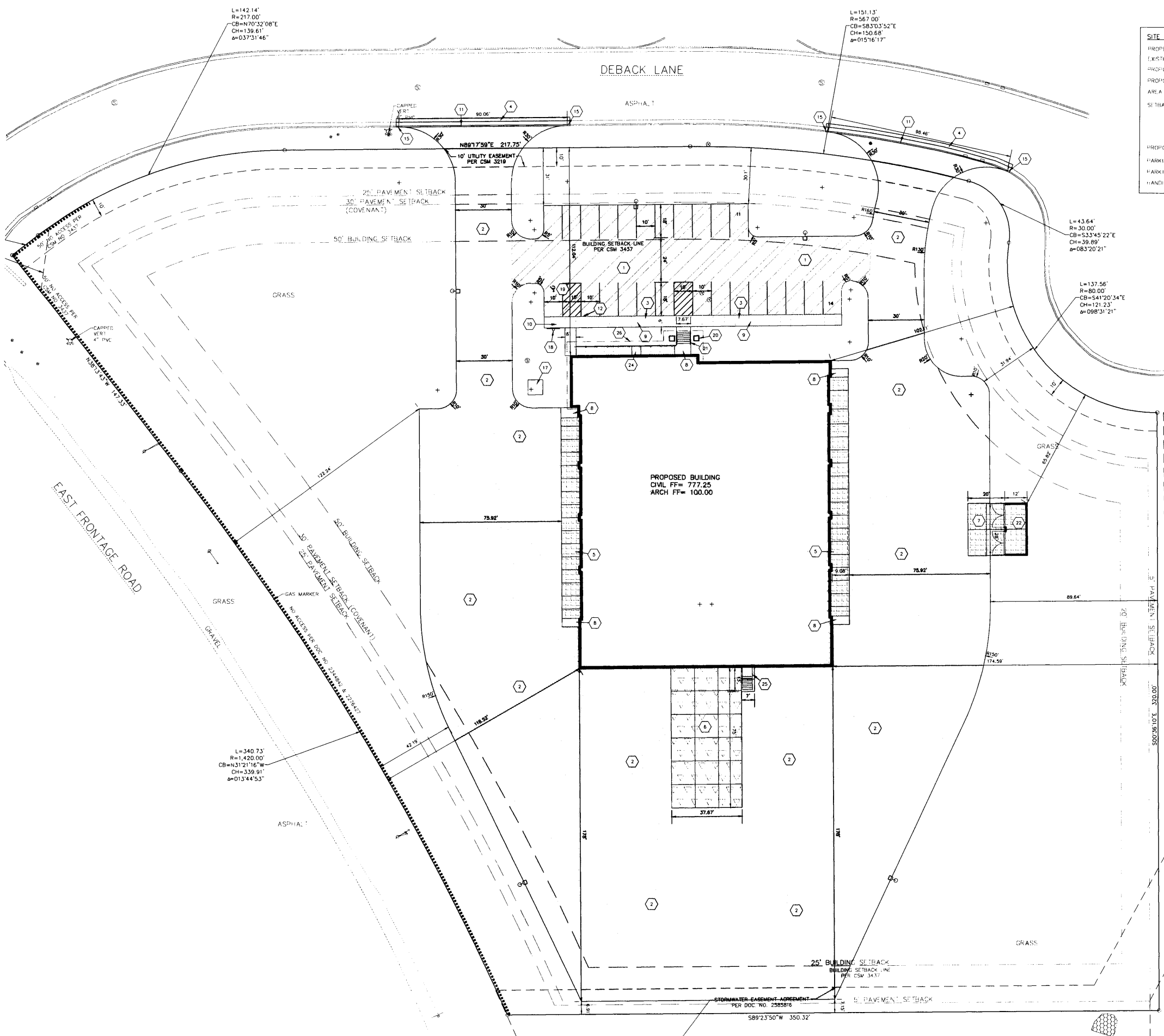
PRELIMINARY DATES
JULY 12, 2021

JOB NUMBER
2138480

SHEET NUMBER

C1.1

NOT FOR CONSTRUCTION



NORTH
CIVIL SITE PLAN

PROPOSED TRANSFER BUILDING FOR:
BADGER LIQUOR SOUTH DEPOT
 DEBACK LANE BUSINESS PARK • CALEDONIA, WI 53126

PROFESSIONAL SEAL

PRELIMINARY DATES
 JULY 12, 2021

NOT FOR CONSTRUCTION

JOB NUMBER
 2138480

SHEET NUMBER
C1.2

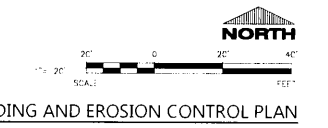
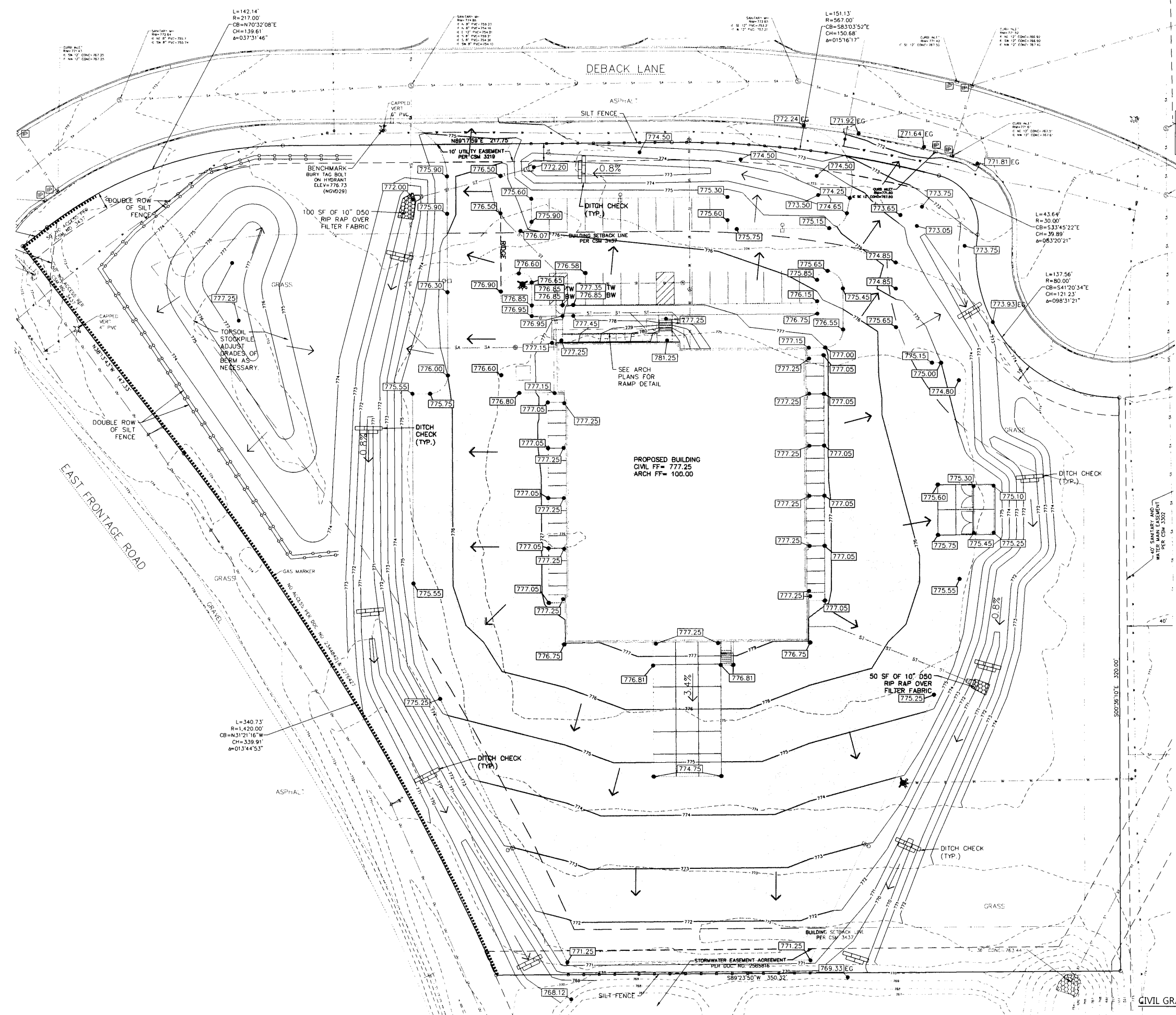
SPECIFICATION NOTE:
 SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

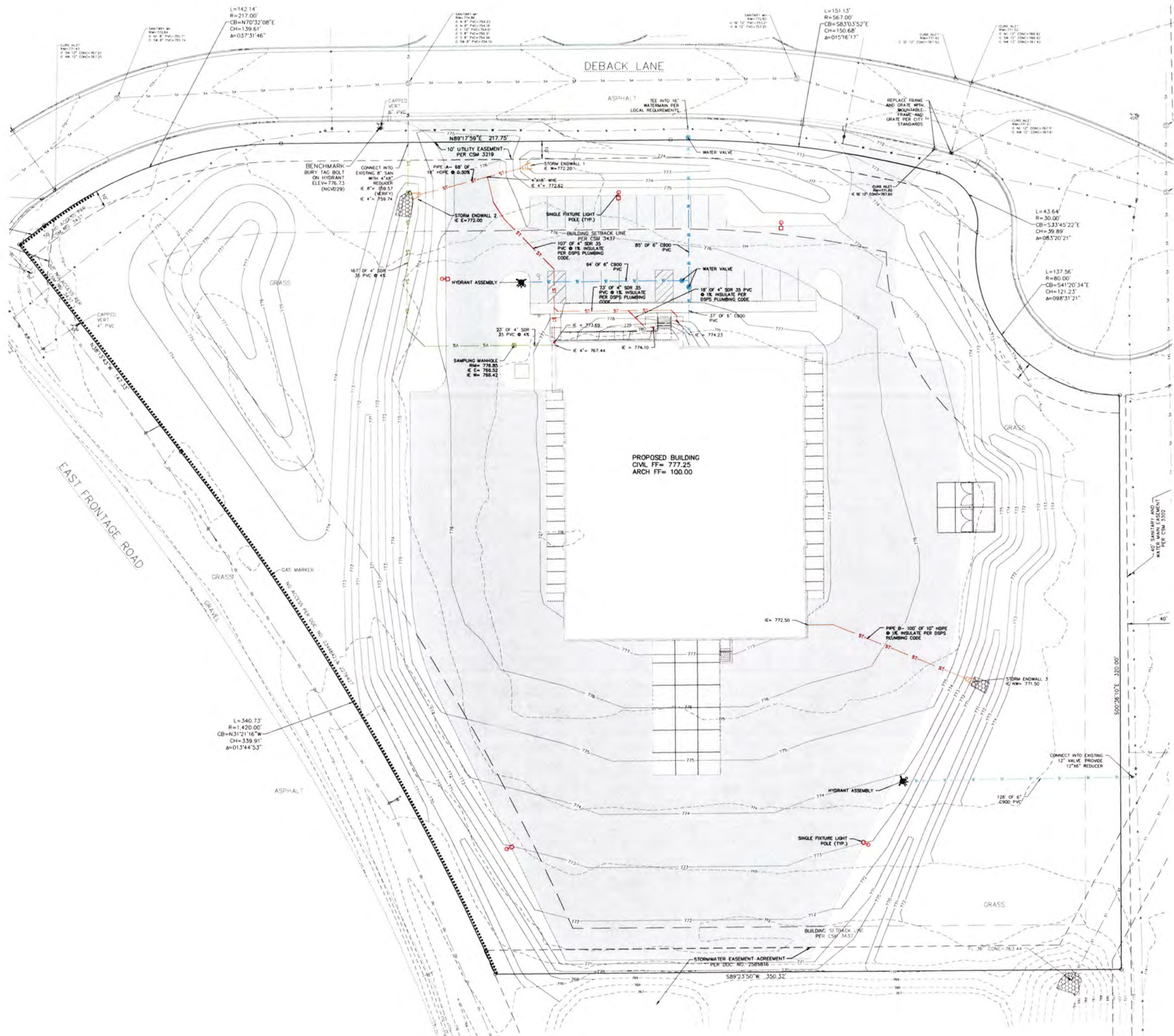
NOTES:
 1. HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION).
 2. ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

INLET PROTECTION NOTE:
 CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ON-SITE & OFF-SITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:
 CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:
 CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.





SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

DOWNSPOUT NOTE:
[Symbol] DENOTES DOWNSPOUT TO GRADE LOCATIONS. PROVIDE SPASH BLOCKS AT ALL DS TO GRADE LOCATIONS. SEE ARCH PLANS FOR FINAL LOCATIONS.

CLEANOUT NOTE:
[Symbol] DENOTES LOCATIONS WHERE CONTRACTOR SHALL INSTALL CLEANOUTS. SEE C0.1 FOR SPECIFICATION.



PROJECT INFORMATION

PROPOSED TRANSFER BUILDING FOR:
BADGER LIQUOR SOUTH DEPOT
DEBACK FARMS BUSINESS PARK • CALEDONIA, WI 53126

PROFESSIONAL SEAL

PRELIMINARY DATES
JULY 12, 2021

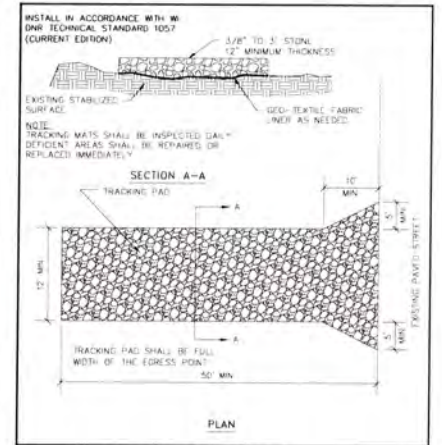
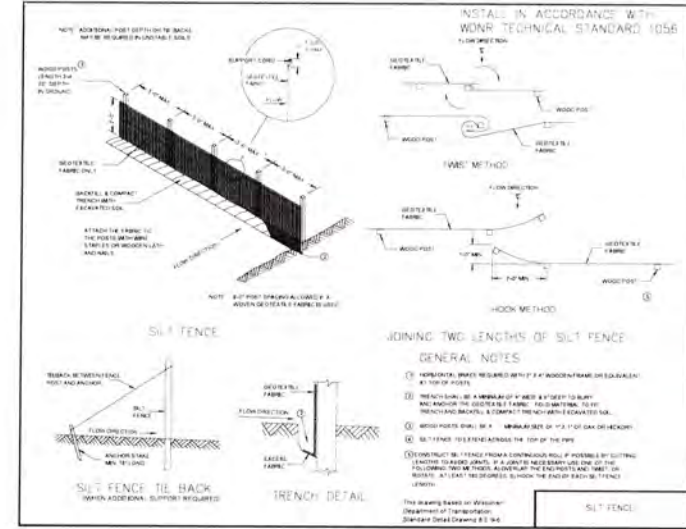
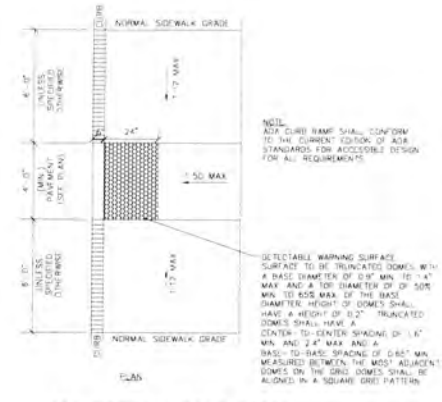
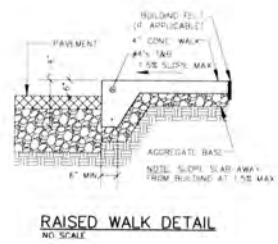
NOT FOR CONSTRUCTION

JOB NUMBER
2138480

SHEET NUMBER
C1.3



CIVIL UTILITY PLAN



GENERAL NOTES

DETAILS OF CONSTRUCTION MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1053 (CHANNEL EROSION MAT).

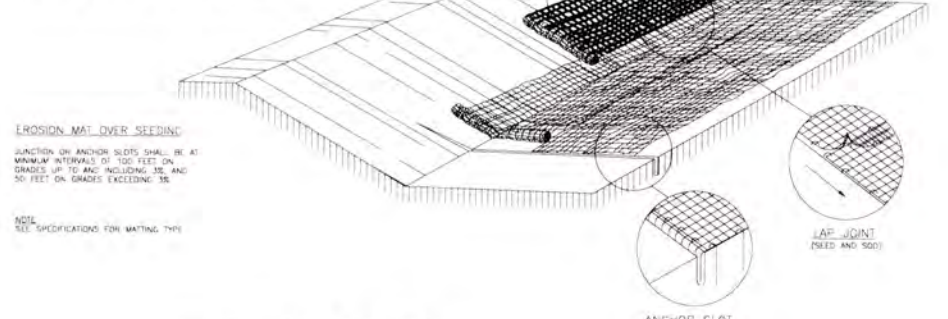
VARIATIONS IN THE DIMENSIONS OR MATERIALS SHOWN HEREON SHALL BE PERMITTED IF THEY PROVIDE EQUIVALENT PROTECTION AND MATERIAL STRENGTH AND IF APPROVED BY THE ENGINEER OR OWNER.

LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OR V-SHAPED EDGES.

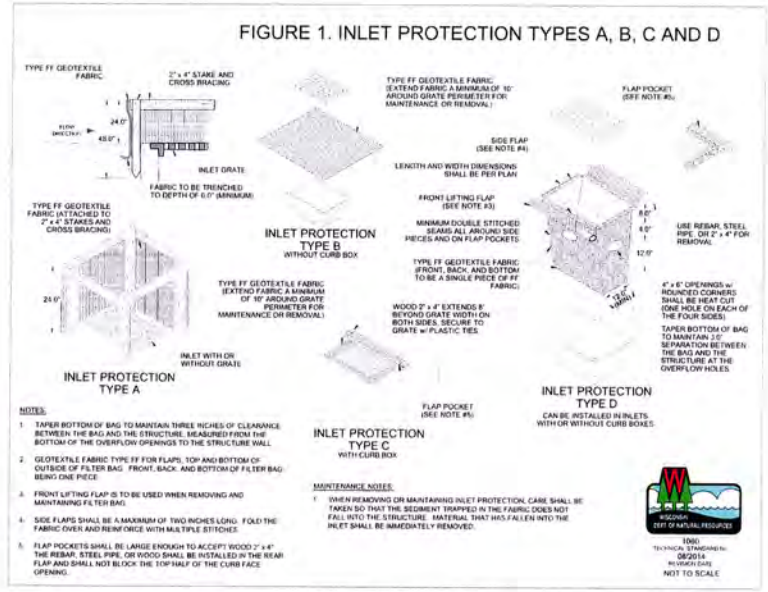
JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET APART.

EDGES OF EROSION MAT SHALL BE IMPRESSED IN THE SOIL.

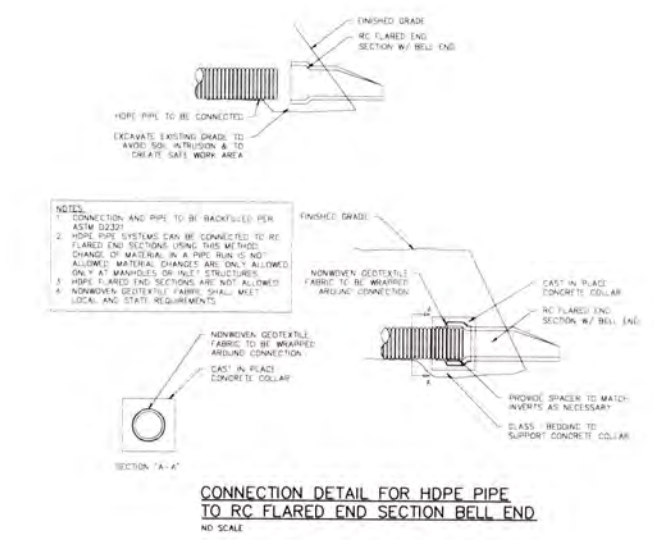
EROSION MAT SHALL FACE BY THE SQUARE HARD INSTALLATION.



CHANNEL EROSION MAT DETAIL
NOT TO SCALE



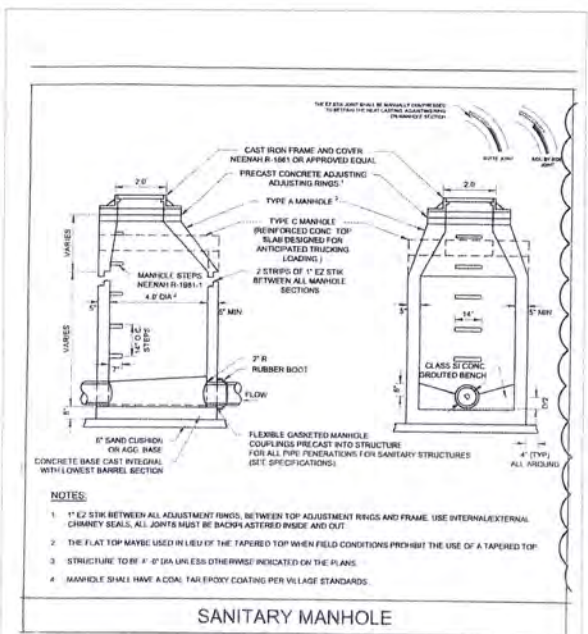
INLET PROTECTION DETAIL
NO SCALE



CONNECTION DETAIL FOR HDPE PIPE TO RC FLARED END SECTION BELL END
NO SCALE

CONSTRUCTION SEQUENCE	
PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	1. CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. 2. PLACE ALL SILT FENCE. 3. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED. 4. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS. 5. CONSTRUCT TEMPORARY SEDIMENT TRAPS, SEDIMENT BASINS, AND ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED. 6. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	1. SITE DEMOLITION AS REQUIRED. 2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. FINAL LOCATION BY CONTRACTOR (VERIFY W/ OWNER). PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED. 3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS. 4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS AND INSTALL ALL OTHER UTILITIES ON SITE. 5. DIG AND POUR ALL BUILDING FOOTINGS. 6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES. 7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. 8. CONSTRUCT BUILDING. 9. PAVE DRIVEWAYS AND PARKING AREAS. 10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP. 11. ONCE SITE IS STABILIZED, CONSTRUCT INFILTRATION BASIN.
3. POST CONSTRUCTION ACTION	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION. 2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.

*CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE**



SANITARY MANHOLE

PROJECT INFORMATION

PROPOSED TRANSFER BUILDING FOR:
BADGER LIQUOR SOUTH DEPOT
DEBACK FARMS BUSINESS PARK • CALEDONIA, WI 53126

PROFESSIONAL SEAL

PRELIMINARY DATES
JULY 12, 2021

JOB NUMBER
2138480

SHEET NUMBER
C2.0

PROJECT INFORMATION

PROPOSED TRANSFER BUILDING FOR:
BADGER LIQUOR SOUTH DEPOT
DEBACK LANE BUSINESS PARK • CALEDONIA, WI 53126

LANDSCAPING PLANTING SCHEDULE

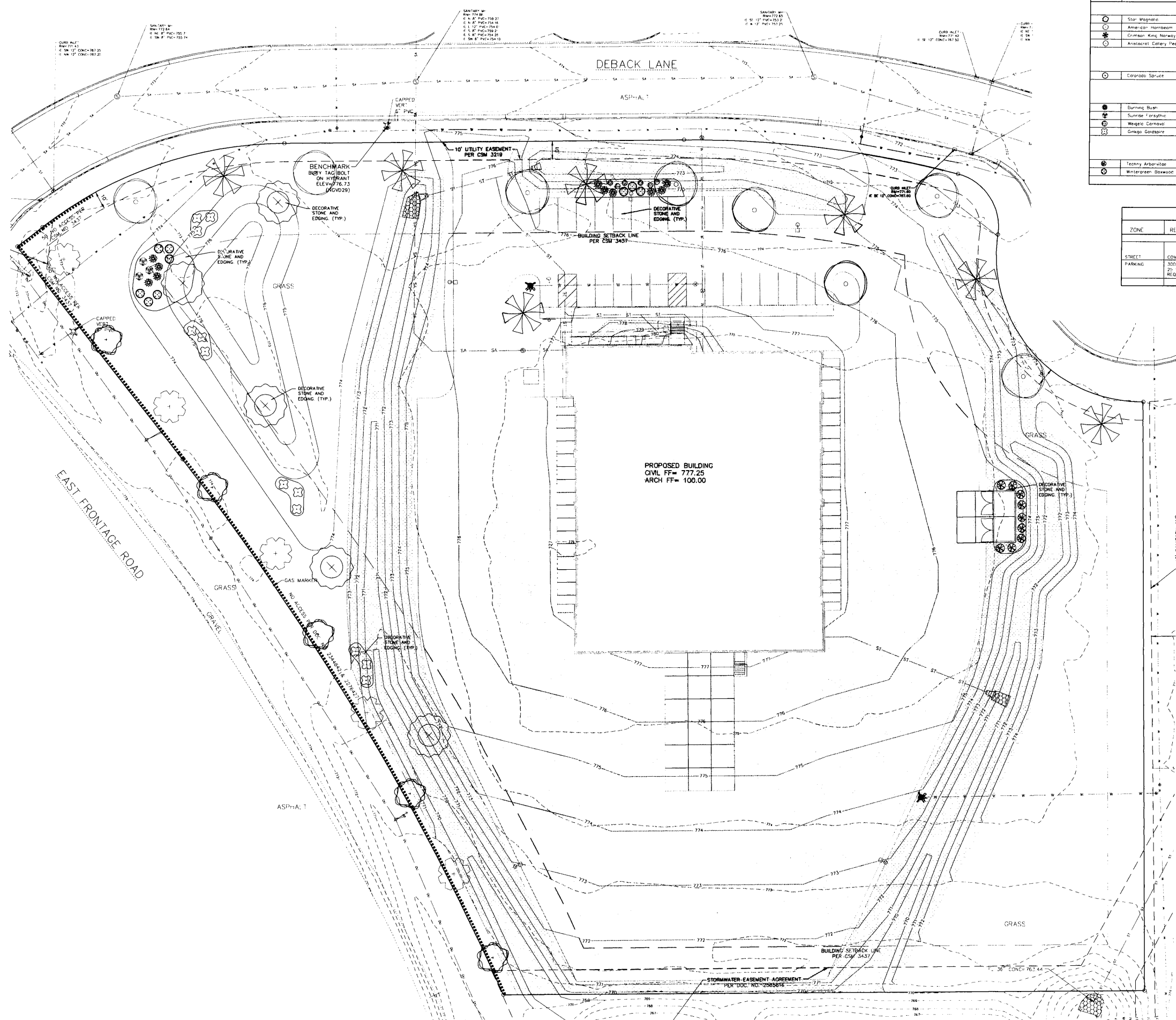
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
○	Star Magnolia	Magnolia stellata	7"	4
○	American Hornbeam	Cornus alternifolia	7"	4
○	Crimson King Norway Maple	Acer palmatum 'Crimson King'	7"	7
○	Anatrolat Cotley Pear	Pyrus cotyledon Anatrolat	7"	8
EVERGREEN TREES				
○	Colorado Spruce	Picea pungens	4"	4
DECIDUOUS SHRUBS				
●	Burning Bush	Euonymus alatus 'Compactus'	30" - 36"	10
●	Sunrise Forsythia	Forsythia 'Sunrise'	18" - 24"	3
●	Heavenly Canopy	Hydrangea 'Heavenly Canopy'	24"	6
●	Omega Gardenia	Bagian	3' - 4'	12
EVERGREEN SHRUBS				
●	Tenny Arborvitae	Thuja occidentalis	42" - 48"	9
●	Wintergreen Boxwood	Buxus sinica var. insularis 'Wintergreen'	18"	9

LANDSCAPING CALCULATIONS

ZONE	REQ. PLANTS	PLANTS PROVIDED
STREET PARKING	COVERED BY EXISTING TREES 300 SF PER 20 STALLS 20 STALLS = 300 SF / 20 STALLS = 375 SF REQUIRED	545 SF PROVIDED

SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION



PROFESSIONAL SEAL

PRELIMINARY DATES
JULY 12, 2021

NOT FOR CONSTRUCTION

JOB NUMBER
2138480

SHEET NUMBER
C1.4

MEMORANDUM

DATE: Wednesday, July 28, 2021

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Utility Director



RE: Caledonia Mitigation Plan Update

BACKGROUND INFORMATION

As the Commission is aware, the Caledonia Utility District has had Wastewater Treatment Plant Capacity Allocation issues for the past year due to 3 wet weather events that occurred in 2020. The Utility District staff prepared the Sanitary Sewer Capacity Peak Flow Mitigation Plan to satisfy the requirements of the Racine Area Intergovernmental Sanitary Sewer Service, Revenue Sharing, Cooperation and Settlement Agreement dated April 25, 2002 (Sewer Agreement) and presented the plan to the Racine Wastewater Commission on February 17, 2021. For reasons we cannot fully understand, the Racine Wastewater Commission has yet to approve Caledonia's Sanitary Sewer Capacity Peak Flow Mitigation Plan, even with Racine Wastewater staff's recommendation to do so.

At the July 20, 2021, Racine Wastewater Commission meeting, President Taft allowed an agenda item entitled Discussion of Village of Caledonia Peak Flow Mitigation Plan. Caledonia Utility District staff took the opportunity to express its frustration with the inconsistent design storm standards along with the non-use of Safety Sites. Ultimately after a lengthy discussion, the Racine Wastewater Commission gave some direction to Caledonia on what they would like to see. The Racine Wastewater Commission would like Caledonia to perform the following tasks:

- Proceed with the Wisconsin DNR on obtaining Preliminary Approval of the Safety Sites for the Village of Caledonia.
- Provide the Commission with a written Sanitary Sewer Capacity Peak Flow Mitigation Plan that coincides with the Presentation that includes alternatives for No Safety Sites in the system and cost estimates.
- Ask the DNR if there are alternatives to Safety Sites and still protect resident's basements and surface waters.
- Ask the DNR to attend a Racine Wastewater Commission meeting to discuss the Design Storm/Level of Protection and Safety Sites.

On July 27, 2021, the Caledonia Utility District staff had a separate meeting with Racine Wastewater staff and Brian Rogne of Brown & Caldwell (a consultant for the Racine Wastewater Commission) on the Main/Gould Area Storage Project. At this meeting, the proposed project was discussed. The project may have implications on Caledonia as far as a Cost-of-Service Study if Caledonia cannot stay within its Contractual Wastewater Treatment Capacity Allocation. Meaning if Caledonia has continued wet weather exceedances and does not have the Hoods Creek Attenuation Basin Expansion Project online prior to the Cost-of-Service Study being performed, there would be a Caledonia Cost Share for the project. The Caledonia Utility District staff would prefer not to participate in this project if possible. Also at this meeting, the 5 Year – 6 Hour Design Storm, indicated by the Wisconsin DNR and in the Racine Wastewater

Facilities Plan August 2020, as an acceptable level of protection, was discussed. Since Caledonia is being held to a level of protection that is greater than the agreed upon 5 Year – 6 Hour Design Storm and has to provide cost estimates for exceeding this agreed upon level of protection, the Racine Project should be required to provide this same information to the Racine Wastewater Commission.

With these meetings and the discussion that occurred, the Caledonia Utility District has, for months, been working on the Hoods Creek Attenuation Basin Expansion Project. At this time the Utility District is very close to bidding out the project. In a recent discussion with the Wisconsin DNR on the Attenuation Basin Project, the Utility District was informed that we will need to obtain Racine Wastewater Commission approval for the project and provide it to the Wisconsin DNR. While Caledonia feels that this has been already completed when the first cell of the project went in, the DNR is requiring this as part of the expansion project approval. The Hoods Creek Attenuation Basin Expansion project was one of the several projects that were identified in Caledonia's Sanitary Sewer Capacity Peak Flow Mitigation Plan. The Caledonia Utility District staff and Racine Wastewater Utility staff have concerns that the Racine Wastewater Commission may not grant approval of the Hoods Creek Attenuation Basin Expansion Project if the Sanitary Sewer Capacity Peak Flow Mitigation Plan is not approved.

The recommendation from Racine Wastewater Utility staff was to update the Sanitary Sewer Capacity Peak Flow Mitigation Plan to remove the Safety Sites and plan for storage to stay within the Contractual Wastewater Treatment Capacity Allocation.

With the Racine Wastewater staff recommendation and the direction from the Racine Wastewater Commission given, the Caledonia Utility District is proceeding with the following.

- Consulting with the Wisconsin DNR on the approval of Safety Sites being installed at the Riverbend Lift Station and the Central Lift Station.
- Prepare a written and updated Caledonia Sanitary Sewer Peak Flow Mitigation Plan to remove the Safety Sites at the Riverbend Lift Station and Central Lift Station at this time.
- Provide Attenuation Basin sizing for the 5 Year – 6 Hour Design Storm along with cost estimates.
- Provide Attenuation Basin sizing for the 10 Year – 6 Hour Design Storm along with cost estimates.
- Determine, if possible, the size of Attenuation Basins needed to eliminate the need for Safety Sites.
- Consulting with the Wisconsin DNR on alternatives to Safety Sites.
- Consulting with the Wisconsin DNR for possibly attending a Racine Wastewater Commission Meeting.

The goal at this time is to have this information prepared and submitted to the Racine Wastewater Commission to be on the August 17, 2021, meeting for approval of the Caledonia Sanitary Sewer Peak Flow Mitigation Plan and approval of the Hoods Creek Attenuation Basin Expansion. So, the Utility District is aware this may be an ambitious goal for the August Racine Wastewater Commission meeting, but the Caledonia Utility District does not want to be held up by the Racine Wastewater Commission to bid out the Hoods Creek Attenuation Basin Expansion Project and does not want to be potentially subject to a Cost-of-Service Study if the Hoods Creek Attenuation Basin Expansion is not online.

MEMORANDUM

DATE: Tuesday, July 27, 2021

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Utility Director

RE: Sewer Connection Fee / Water Impact Fee Update

BACKGROUND INFORMATION

As the Commissioners may know, the Utility District has a current Water Impact Fee and Sewer Connection Fee. Those fees are as follows, for the Water Impact Fee the charge is \$1,550.00 for each REU, the Sewer Connection Fee is divided into 2 parts, part 1 is the base charge of \$2,550.00 and part 2 is the REU charge of \$2,550.00, for a sewer connection fee total of \$5,100.00. For a new single-family home, the charge for both the Water Impact Fee and Sewer Connection Fee totals \$6,650.00. For Commercial Businesses there is a multiplier for the REU charge for both the Water Impact Fee and Sewer Connection Fee based on the size of water meter and the flow that can be put through the meter.

The first issue that the Utility District encountered is that the water meters listed in the Ordinance have significantly lower flow volumes than what the current water meters can displace today. This created an issue where the REU ratio between meters needed to be resolved. There also were meters listed in the Ordinance that are not available or desired in the Utilities system. In working with Badger Meter and Foth we have determined the new max flow rates and appropriate REU ratios for the current meters. See the attached Ordinance and comparison/recommended for REU ratios.

The next issue that the Utility District encountered is the inclusion of the 7 Mile Road area into the Water Impact Fee and Sewer Connection Fee. If the 7 Mile Road area is added to the study area, the Water Impact Fee would increase slightly from \$1,550 to \$1,649 and the Sewer Connection Fee would increase from \$2,550 to \$3,365. If the 7 Mile Road area is left out of the study area, the Water Impact Fee would decrease from \$1,550 to \$1,344 and the Sewer Connection Fee would increase from \$2,550 to \$3,325. Ultimately, there is very little difference in the Sewer Connection Fee (\$40) if the 7 Mile Road area is added and on the Water Connection Fee there is only a slightly increase from the existing Water Impact Fee (\$99). What the determining factor comes down to is if the Utility District and the Village think that the 7 Mile Road area will get Sanitary Sewer and Water Service within the next 10 years. I believe that it is possible over the next 10 years based on prior discussion with MMSD and the Village of Raymond's desire to service the West side of the Interstate with Sanitary Sewer and Water, but it would be at the tail end of the 10 years.

The largest and final issue that the Utility District encountered is how to deal with the Sewer Connection Fee due to the Ordinance having the current overall fee split into 2 parts. If the Base Fee in the Ordinance is kept with the REU fee, the new Sewer Connection Fee would increase from \$5,100 to either \$6,650 or \$6,730 depending on if the 7 Mile Road area is included or not included. This would be a significant increase for a single-family home. There are several other scenarios on the attached spreadsheet that can be viewed as to determine which would be the best for the Utility District and the Village of Caledonia. Ultimately the Utility District and Village do not want to price themselves out development.

RECOMMENDATION

Discuss on how the Utility District would like to proceed with the Water Impact Fee and the Sewer Connection Fee Update.

VILLAGE OF CALEDONIA/CALEDONIA SEWER UTILITY DISTRICT
REU RATIO

Meter Size (inches)	Meter Type	Flow (gpm)	REU Ratio
3/4 or less	Displacement	15	1.0
1	Displacement	25	2.5
1-1/2	Displacement	50	5.0
2	Displacement	80	8.0
2	Compound	80	8.0
2	Turbine - Cl. 1	80	8.0
2	Turbine - Cl.2	100	10.0
3	Compound	160	16.0
3	Turbine - Cl. 1	175	17.5
3	Turbine - Cl.2	240	24.0
4	Compound	250	25.0
4	Turbine - Cl. 1	300	30.0
4	Turbine - Cl. 2	420	42.0
6	Compound	500	50.0
6	Turbine - Cl. 1	625	62.5
6	Turbine - Cl. 2	920	92.0
8	Compound	800	80.0
8	Turbine - Cl. 1	900	90.0
8	Turbine - Cl. 2	1,600	160.0
10	Compound	1,150	115.0
10	Turbine - Cl. 1	1,450	145.0
10	Turbine - Cl. 2	2,500	250.0
12	Turbine - Cl. 1	2,150	215.0
12	Turbine - Cl. 2	3,300	330.0

- (1) The connection charge collected under this subsection shall be placed in a separate account and shall be used for the payment of the costs of lift stations, force mains, detention facilities, interceptor mains and the expansion of Racine Wastewater facilities.
- (c) **Exemption from Charge.** No basic charge or REU charge shall be collected by the Village Treasurer if the property to be serviced has been previously assessed for such connection charges.

Village Ordinance

Badger Meter

Meter Size	Meter Type	Flow	REU	Meter Size	Meter Type	Flow Min	Flow Max	REU
3/4"	Displacement	15	1.0	3/4"	Displacement	0.75	35	1.0
				3/4"	Ultrasonic	0.1	32	
1"	Displacement	25	2.5	1"	Displacement	1	55	1.6
				1"	Displacement	1.25	70	2.0
				1"	Ultrasonic	0.4	55	1.6
1 1/2"	Displacement	50	5.0	1 1/2"	Displacement	2.5	120	3.4
				1 1/2"	Turbo	4	200	5.7
				1 1/2"	Ultrasonic	1.25	100	
2"	Displacement	80	8.0	2"	Displacement	2.5	170	4.9
2"	Compound	80	8.0	2"	Compound	0.5	200	5.7
2"	Turbine Cl. 1	80	8.0	2"	Turbo	4	310	8.9
2"	Turbine Cl. 2	100	10.0	2"	Ultrasonic	1.5	160	
3"	Compound	160	16.0	3"	Displacement/Compound	0.5	450	12.9
3"	Turbine Cl. 1	175	17.5	3"	Turbo	5	550	15.7
3"	Turbine Cl. 2	240	24.0	3"	Ultrasonic	0.75	550	
4"	Compound	250	25.0	4"	Displacement/Compound	0.75	1000	28.6
4"	Turbine Cl. 1	300	30.0	4"	Turbo	10	1250	35.7
4"	Turbine Cl. 2	420	42.0	4"	Ultrasonic	1.5	1100	
6"	Compound	500	50.0	6"	Displacement/Compound	0.75	2000	57.1
6"	Turbine Cl. 1	625	62.5	6"	Turbo	20	2500	71.4
6"	Turbine Cl. 1	920	92.0					
8"	Compound	800	80.0	8"	Displacement/Compound	2.5	4500	128.6
8"	Turbine Cl. 1	900	90.0	8"	Turbo	30	4500	128.6
8"	Turbine Cl. 1	1600	160.0					
10"	Compound	1150	115.0	10"	Turbo	50	7000	200.0
10"	Turbine Cl. 1	1450	145.0					
10"	Turbine Cl. 1	2500	250.0					
12"	Turbine Cl. 1	2150	215.0	12"	Turbo	90	8800	251.4
12"	Turbine Cl. 1	3300	330.0					

Cost Estimate Without 7 Mile/I-94 Node

Description	Total Amount October 2020	Estimated Assessment Cost	Estimated TID Contribution Cost	Remedial Cost	Caledonia Oversizing Cost
Water Main					
TID 1 & 4					
TID 1 NORTHWESTERN ⁽¹⁾	\$2,535,646	\$1,039,615	\$1,248,750		\$247,281
TID 1 NORTHWESTERN Booster Station	\$486,150	\$0	\$0		\$486,150
TID 4 HINTZ	\$800,962	\$258,933	\$169,418		\$372,611
TID 4 S OF HILLSIDE	\$1,014,655	\$328,015	\$214,618		\$472,022
TID 4 FRONTAGE ROAD	\$1,069,936	\$345,886	\$226,311		\$497,739
ATL 2 - Adams Road Loop	\$3,572,491	\$1,154,906	\$755,648		\$1,661,937
ALT 2 - Booster Stations	\$970,332	\$0	\$0		\$970,332
ALT 3 - 4 Mile Loop	\$4,083,487	\$1,320,099	\$863,733		\$1,899,655
ALT 3 - Booster Station	\$485,166	\$0	\$0		\$485,166
ALT 4A	\$686,804	\$222,028	\$145,272		\$319,504
ALT 4A - Water Tower	\$3,087,419	\$0	\$0		\$3,087,419
TID 3					
TID 3 PH 1A ⁽³⁾	\$507,990	\$129,169	\$192,944		\$185,877
TID 3 PH 2 ⁽³⁾	\$932,549	\$237,123	\$354,201		\$341,225
Water Main Subtotal	\$20,233,586	\$5,035,774	\$4,170,895		\$11,026,918

Sanitary Sewer					
TID 1 & 4					
TID 1 NORTHWESTERN ⁽¹⁾	\$6,446,138	\$1,031,383	\$2,808,068		\$2,606,687
TID 4 HINTZ ⁽²⁾	\$1,694,909	\$187,778	\$521,300		\$985,831
TID 4 S OF HILLSIDE ⁽²⁾	\$3,927,430	\$435,117	\$1,207,951		\$2,284,362
TID 4 FRONTAGE ROAD ⁽²⁾	\$2,099,537	\$232,606	\$645,750		\$1,221,181
MT PLEASANT REGIONAL INTERCEPTOR**	\$15,000,000	\$0	\$0		\$15,000,000
TID 3					
TID 3 PH 2 ⁽³⁾	\$1,767,208	\$175,358	\$671,220	\$0	\$920,630
HOODS CREEK ATTENUATION BASIN ⁽³⁾	\$10,300,000	\$0	\$3,912,137	\$6,004,900	\$382,963
TID 5					
CENTRAL LIFT STATION ATTENUATION BASIN ⁽⁴⁾	\$13,800,000	\$0	\$690,000	\$8,045,400	\$5,064,600
Sanitary Sewer Total	\$55,035,221	\$2,062,242	\$10,456,426	\$14,050,300	\$28,466,253
Utility Improvement Total	\$75,268,808	\$7,098,016	\$14,627,321	\$14,050,300	\$39,493,171

Oversizing Cost Percentages	Assessment %	Oversizing %
Watermain	41%	59%
Sanitary	16%	84%

TID	SAN Total REUs 20 Year Future	SAN Total REUs 10 Year Future	Water Total REUs 20 Year Future	Water Total REUs 10 Year Future
TID 1	4602	2301	4595	2298
TID 3	2625	1313	2597	1299
TID 4	8507	4254	7932	3966
Outside TID 4	588	294	493	247
TID 5	518	399	518	399
Total	16840	8560	16135	8208

Water REC	Sanitary REC
1,344	3,325

Basins sized 6:1 peak flow into basin is only allowed 2.5:1

** Estimated at a percentage of \$30,000,000 at this time. Estimated Cal share of MT Interceptor over 20 year period, therefore 50% assumed to be 10 year period.
 ***10 Year planning horizon
 ****Caledonia share includes oversizing and non-excessible mains
 (1) \$1,248,750 & \$2,808,068 from TID 1 Feasibility Report.
 (2) \$4,750,000 from TID 4 Feasibility Report. Assume sanitary and water will share costs 50/50.
 (3) \$5,130,500 from TID 3 Feasibility Report.
 (4) 5% TID contribution from TID 5 Feasibility Report



Cost Estimate With 7 Mile/I-94 Node

Description	Total Amount October 2020	Estimated Assessment Cost	Estimated TID Contribution Cost	Remedial Cost	Caledonia Oversizing Cost
Water Main					
TID 1 & 4					
TID 1 NORTHWESTERN ⁽¹⁾	\$2,535,646	\$1,039,615	\$1,248,750		\$247,281
TID 1 NORTHWESTERN Booster Station	\$486,150	\$0	\$0		\$486,150
7 Mile/I-94Node	\$6,239,664	\$2,558,262	\$0		\$3,681,402
7 Mile/I-94Node Booster & Storage	\$1,996,399	\$0	\$0		\$1,996,399
TID 4 HINTZ	\$800,962	\$258,933	\$169,418		\$372,611
TID 4 S OF HILLSIDE	\$1,014,655	\$328,015	\$214,618		\$472,022
TID 4 FRONTAGE ROAD	\$1,069,936	\$345,886	\$226,311		\$497,739
ATL 2 - Adams Road Loop	\$3,572,491	\$1,154,906	\$755,648		\$1,661,937
ALT 2 - Booster Stations	\$970,332	\$0	\$0		\$970,332
ALT 3 - 4 Mile Loop	\$4,083,487	\$1,320,099	\$863,733		\$1,899,655
ALT 3 - Booster Station	\$485,166	\$0	\$0		\$485,166
ALT 4A	\$686,804	\$222,028	\$145,272		\$319,504
ALT 4A - Water Tower	\$3,087,419	\$0	\$0		\$3,087,419
TID 3					
TID 3 PH 1A ⁽³⁾	\$507,990	\$129,169	\$192,944		\$185,877
TID 3 PH 2 ⁽³⁾	\$932,549	\$237,123	\$354,201		\$341,225
Water Main Subtotal	\$28,469,649	\$7,594,036	\$4,170,895		\$16,704,718

Sanitary Sewer					
TID 1 & 4					
TID 1 NORTHWESTERN ⁽¹⁾	\$6,446,138	\$1,031,383	\$2,808,068		\$2,606,687
7 Mile/I-94Node	\$2,677,159	\$428,346	\$0		\$2,248,813
7 Mile/I-94Node Lift Station	\$5,172,705	\$0	\$0		\$5,172,705
TID 4 HINTZ ⁽²⁾	\$1,694,909	\$187,778	\$521,300		\$985,831
TID 4 S OF HILLSIDE ⁽²⁾	\$3,927,430	\$435,117	\$1,207,951		\$2,284,362
TID 4 FRONTAGE ROAD ⁽²⁾	\$2,099,537	\$232,606	\$645,750		\$1,221,181
MT PLEASANT REGIONAL INTERCEPTOR**	\$15,000,000	\$0	\$0		\$15,000,000
TID 3					
TID 3 PH 2 ⁽³⁾	\$1,767,208	\$175,358	\$671,220	\$0	\$920,630
HOODS CREEK ATTENUATION BASIN ⁽³⁾	\$10,300,000	\$0	\$3,912,137	\$6,004,900	\$382,963
TID 5					
CENTRAL LIFT STATION ATTENUATION BASIN ⁽⁴⁾	\$13,800,000	\$0	\$690,000	\$8,045,400	\$5,064,600
Sanitary Sewer Total	\$62,885,085	\$2,490,588	\$10,456,426	\$14,050,300	\$35,887,771
Utility Improvement Total	\$91,354,735	\$10,084,624	\$14,627,321	\$14,050,300	\$52,592,490

Oversizing Cost Percentages	Assessment %	Oversizing %
Watermain	41%	59%
Sanitary	16%	84%

TID	SAN Total REUs 20 Year Future	SAN Total REUs 10 Year Future	Water Total REUs 20 Year Future	Water Total REUs 10 Year Future
TID 1	4602	2301	4595	2298
TID 3	2625	1313	2597	1299
TID 4	8507	4254	7932	3966
Outside TID 4	588	294	493	247
TID 5	518	399	518	399
Seven Mile Node	4213	2107	3845	1923
Total	21053	10667	19980	10130

Water REC	Sanitary REC
1,649	3,365

** Estimated at a percentage of \$30,000,000 at this time. Estimated Cal share of MT Interceptor over 20 year period, therefore 50% assumed to be 10 year period.

***10 Year planning horizon

****Caledonia share includes oversizing and non-excessible mains

(1) \$1,248,750 & \$2,808,068 from TID 1 Feasibility Report.

(2) \$4,000,000 from TID 4 Feasibility Report. Assume sanitary and water will share costs 50/50.

(3) \$5,130,500 from TID 3 Feasibility Report.

(4) 5% TID contribution from TID 5 Feasibility Report

Basins sized 6:1 peak

flow into basin is only allowed 2.5:1



Single Family Home

Current Ordinance	Keeping Base Fee & 7 Mile Road area	Keeping Base Fee & Remove 7 Mile Road area	Remove Base Fee & Keep 7 Mile Road area	Remove Base Fee & Remove 7 Mile Road area
Water Impact Fee \$1,550	Water Impact Fee \$1,649 \$99	Water Impact Fee \$1,344 (\$206)	Water Impact Fee \$1,649 \$99	Water Impact Fee \$1,344 (\$206)
Sewer Connection Fee \$5,100	Sewer Connection Fee \$6,730 \$1,630	Sewer Connection Fee \$6,650 \$1,550	Sewer Connection Fee \$3,365 (\$1,735)	Sewer Connection Fee \$3,325 (\$1,775)
Total Water & Sewer Fee \$6,650	Total Water & Sewer Fee \$8,379 \$1,729	Total Water & Sewer Fee \$7,994 \$1,344	Total Water & Sewer Fee \$5,014 (\$1,636)	Total Water & Sewer Fee \$4,669 (\$1,981)

2" Water Meter

Current Ordinance	Keeping Base Fee & 7 Mile Road area	Keeping Base Fee & Remove 7 Mile Road area	Remove Base Fee & Keep 7 Mile Road area	Remove Base Fee & Remove 7 Mile Road area
Water Impact Fee \$12,400	Water Impact Fee \$9,399 (\$3,001)	Water Impact Fee \$7,661 (\$4,739)	Water Impact Fee \$9,399 (\$3,001)	Water Impact Fee \$7,661 (\$4,739)
Sewer Connection Fee \$22,950	Sewer Connection Fee \$22,546 (\$405)	Sewer Connection Fee \$22,278 (\$673)	Sewer Connection Fee \$19,181 (\$3,770)	Sewer Connection Fee \$18,953 (\$3,998)
Total Water & Sewer Fee \$35,350	Total Water & Sewer Fee \$31,945 (\$3,405)	Total Water & Sewer Fee \$29,938 (\$5,412)	Total Water & Sewer Fee \$28,580 (\$6,770)	Total Water & Sewer Fee \$26,613 (\$8,737)

4" Water Meter

Current Ordinance	Keeping Base Fee & 7 Mile Road area	Keeping Base Fee & Remove 7 Mile Road area	Remove Base Fee & Keep 7 Mile Road area	Remove Base Fee & Remove 7 Mile Road area
Water Impact Fee \$38,750	Water Impact Fee \$47,161 \$8,411	Water Impact Fee \$38,438 (\$312)	Water Impact Fee \$47,161 \$8,411	Water Impact Fee \$38,438 (\$312)
Sewer Connection Fee \$66,300	Sewer Connection Fee \$99,604 \$33,304	Sewer Connection Fee \$98,420 \$32,120	Sewer Connection Fee \$96,239 \$29,939	Sewer Connection Fee \$95,095 \$28,795
Total Water & Sewer Fee \$105,050	Total Water & Sewer Fee \$146,765 \$41,715	Total Water & Sewer Fee \$136,858 \$31,808	Total Water & Sewer Fee \$143,400 \$38,350	Total Water & Sewer Fee \$133,533 \$28,483

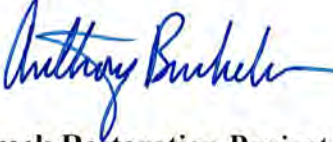
6" Water Meter

Current Ordinance	Keeping Base Fee & 7 Mile Road area	Keeping Base Fee & Remove 7 Mile Road area	Remove Base Fee & Keep 7 Mile Road area	Remove Base Fee & Remove 7 Mile Road area
Water Impact Fee \$77,500	Water Impact Fee \$94,158 \$16,658	Water Impact Fee \$76,742 (\$758)	Water Impact Fee \$94,158 \$16,658	Water Impact Fee \$76,742 (\$758)
Sewer Connection Fee \$130,050	Sewer Connection Fee \$195,507 \$65,457	Sewer Connection Fee \$193,183 \$63,133	Sewer Connection Fee \$192,142 \$62,092	Sewer Connection Fee \$189,858 \$59,808
Total Water & Sewer Fee \$207,550	Total Water & Sewer Fee \$289,664 \$82,114	Total Water & Sewer Fee \$269,925 \$62,375	Total Water & Sewer Fee \$286,299 \$78,749	Total Water & Sewer Fee \$266,600 \$59,050

MEMORANDUM

DATE: Tuesday, July 27, 2021

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E. 
Utility Director

RE: Relocation Order – Turtle Creek Restoration Project

BACKGROUND INFORMATION

At the July 2020 meeting of the Caledonia Utility District, the Commission moved to approve the Concept Plan for the Turtle Creek Restoration Project and proceed with a Relocation Order.

At this time the surveying work has been completed and legal descriptions with exhibits have been prepared for the project. The next step would be to recommend to the Village Board to adopt a Resolution for a Relocation Order.

I have attached the survey information and the memo that was prepared for the concept plan approval. I have reviewed the survey information and am prepared to create the Relocation Order documents for the Village Board to adopt on August 16th. If the Village Board adopts the Relocation Order Resolution staff will have the necessary documents filed at the Racine County Courthouse and proceed with hiring Southern Wisconsin Appraisal (Gene Bock) to appraise and obtain the easements. At the same time, staff will be coordinating with Dave Giordano of Root Pike WIN to schedule a Public Information Meeting for the area residents to discuss the project with the Design Engineer, Root Pike WIN and Utility District staff.

RECOMMENDATION

Move to forward a Relocation Order to the Village Board to obtain the necessary easements for the Turtle Creek Restoration Project.

MEMORANDUM

DATE: Thursday, June 25, 2020

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Utility Director

RE: Turtle Creek Restoration Project - Concept Approval

BACKGROUND INFORMATION

In 2017, I was approached by Dave Giordano of Root Pike WIN to see if the Village / Utility District would be interested in performing projects identified in the Wind Point Watershed Restoration Plan and the Root River Watershed Restoration Plan. During that discussion several of the projects within those plans were discussed. The one project that stood out from that discussion was the Turtle Creek Restoration Project.

On August 21, 2017 the Village Board approved Resolution 2017-79, which allowed Root Pike WIN to apply for grants, secure grant funds, facilitate obtaining a professional services contract, and manage professional services through the design. Since that time, Root Pike WIN has raised/secured funds for the design, hired Applied Ecological Services Inc., held various design team meetings, and commissioned the preparation of a concept design of the restoration project.

The concept design of the project is attached to this memo for the Utility District Meeting. The concept design has a tree inventory along the channel. That inventory has been reviewed by the consultant and it determines which trees would be preserved and which trees are to be removed. The concept design also shows the proposed grading of the channel, how it is to be restored and how various features are to be installed to promote stable slopes and habitat. The concept design also includes additional conveyance of storm water in heavy rain events and additional storage capacity with the inclusion of wetland pools.

This conceptual design has been discussed with the Design Engineer and Root Pike WIN and appears to be a viable solution. At this time the Village / Utility is being asked to approve the concept plan and begin the next step of the project being obtaining Storm Water Easements on the properties in which none currently exist and to hold a Public Informational Meeting to receive public input and support for the project.

I recommend that the Caledonia Utility District approve the concept plan for the Turtle Creek Restoration and proceed with a Relocation Order for Easements on the project.

RECOMMENDATION

Move to approve the concept plan for the Turtle Creek Restoration and proceed with a Relocation Order for Easements on the project.

NW 1/4 CORNER
SEC 17-4-23

MIDDLE ROAD

CRESTVIEW PARK DR.
SAND PIPER LN.

MORaine COURT

WHITewater ST.

BITTERSWEET COURT

WILDROSE WAY

OUTLOT 1
BLOCK 1

LOT 1
CSM 1269

LOT 2 & PART OF LOT 3
CSM 1269

UNPLATTED LANDS

UNPLATTED LANDS

UNPLATTED LANDS

DRAINAGE EASEMENT PER
DOC. # 1309454

FALSE CENTER
OF SECTION
SET 4/15/68

SW CORNER
NW 1/4
SEC 17-4-23

PART OF LOT 3
CSM 1269

NORTH LINE CALEDONIA'S
ASSESSORS PLAT NO.1

CENTER 1/4 CORNER
SEC 17-4-23

5 1/2 MILE ROAD

5 1/2 MILE ROAD

LOT 2
CSM 3193

LOT 1
CSM 3193



DRAINAGE EASEMENT

SWEETWATER ST.

WHITewater ST.

VILLAGE OF CALEDONIA

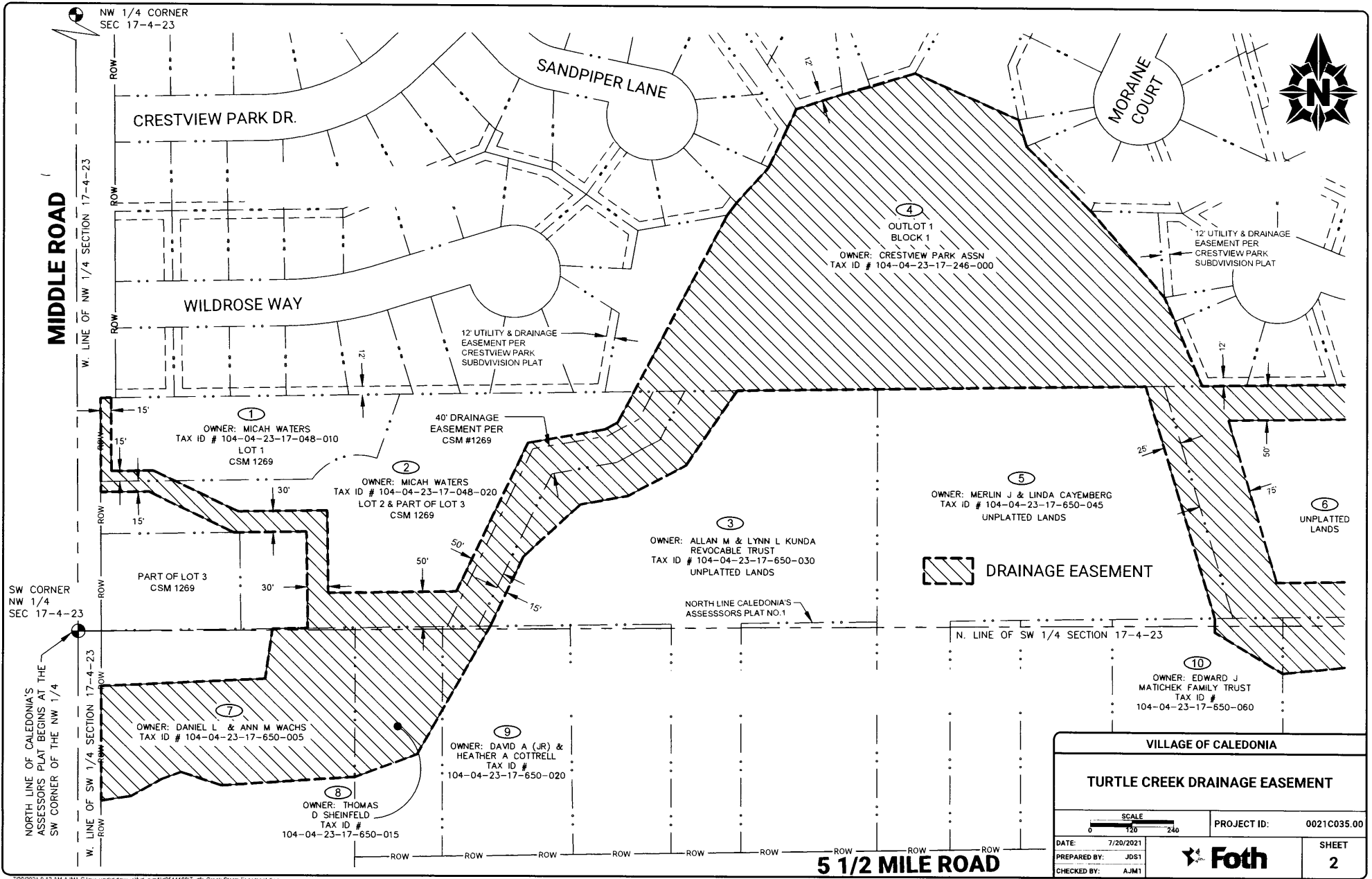
TURTLE CREEK DRAINAGE EASEMENT

DATE: 7/20/2021
PREPARED BY: JDS1
CHECKED BY: AJM1

SCALE: 0 200 400
PROJECT ID: 0021C035.00

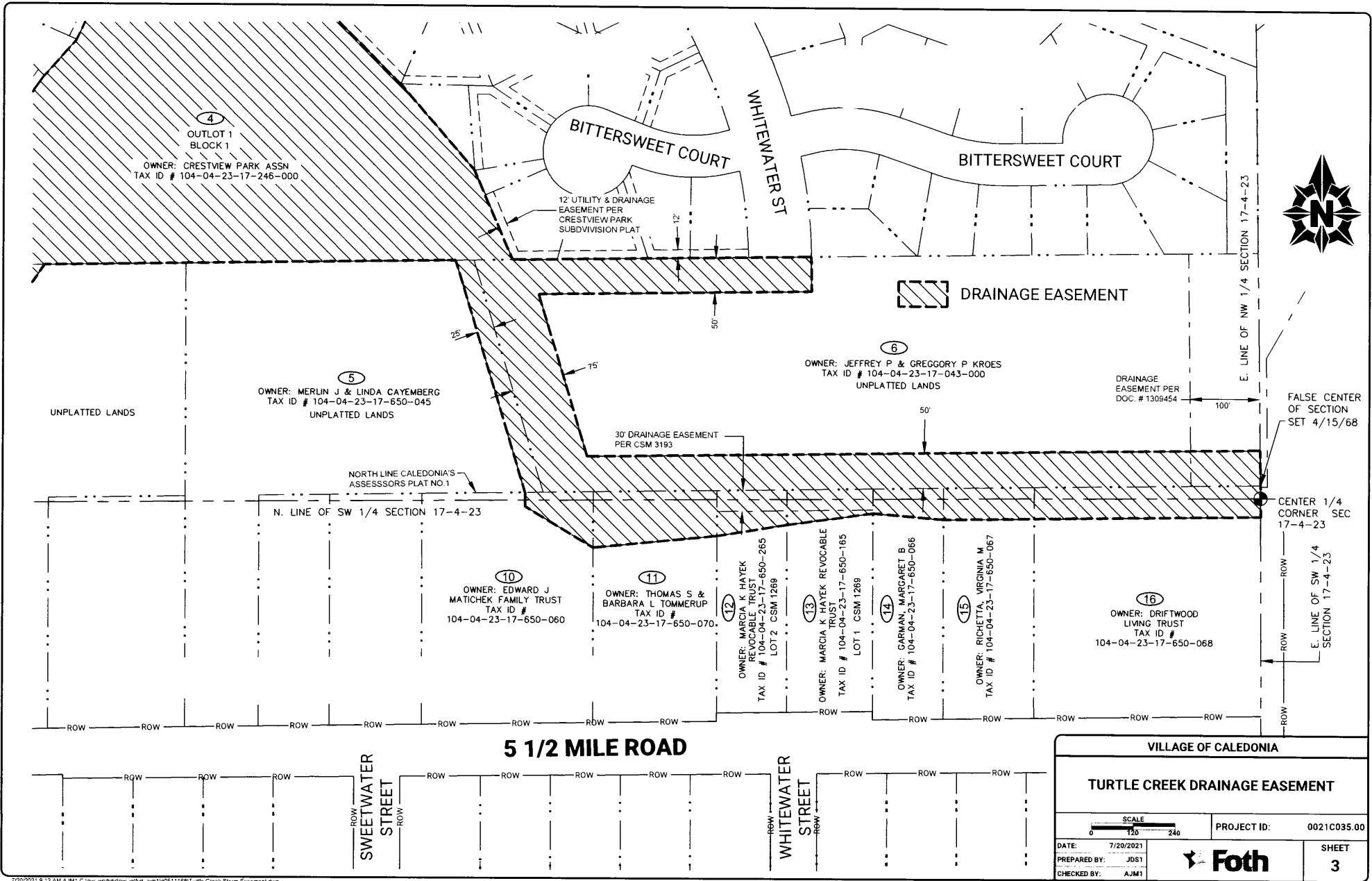


SHEET 1



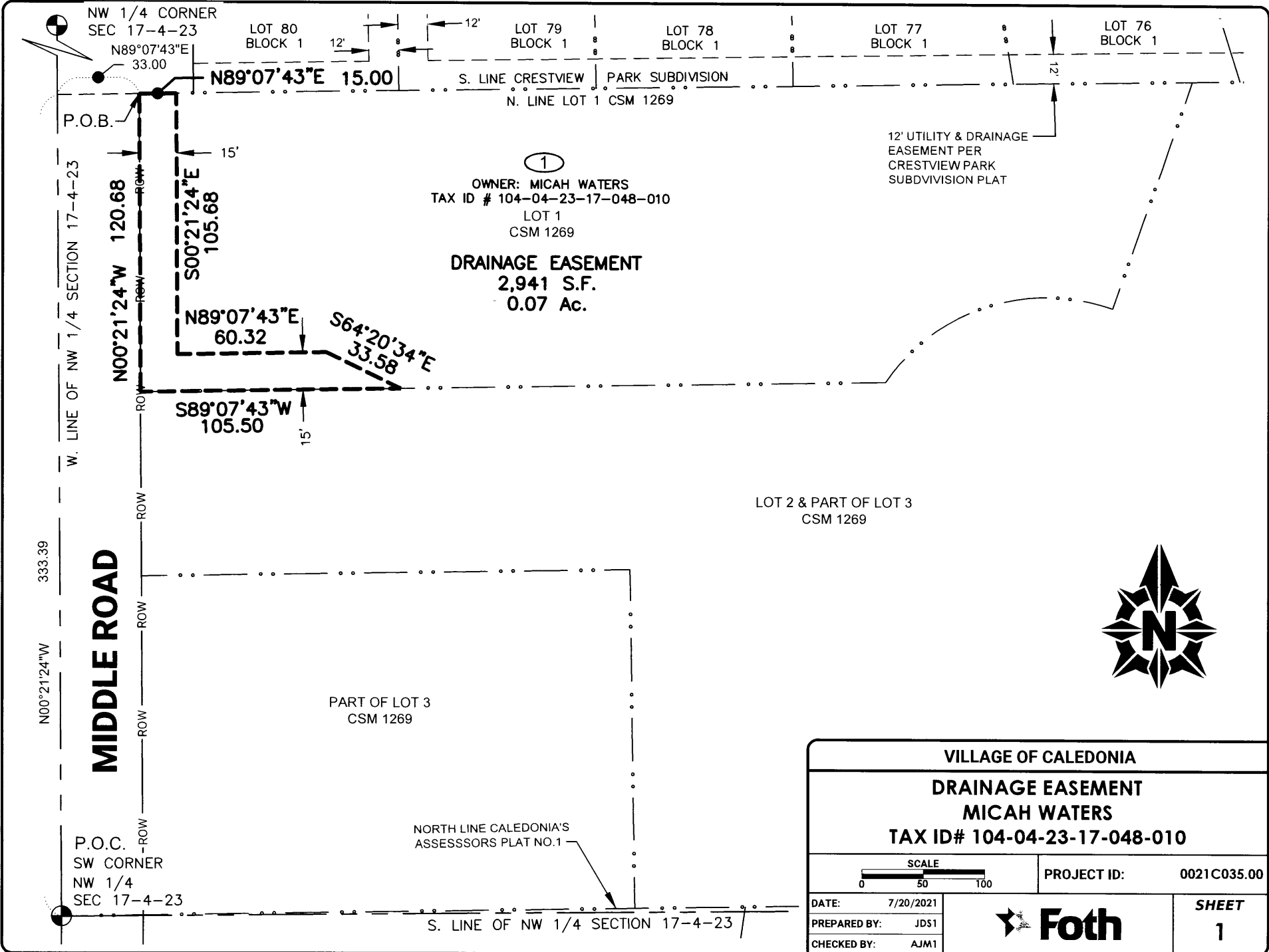
VILLAGE OF CALEDONIA	
TURTLE CREEK DRAINAGE EASEMENT	
SCALE 0 120 240	PROJECT ID: 0021C035.00
DATE: 7/20/2021	SHEET: 2
PREPARED BY: JDS1	Foth
CHECKED BY: AJM1	

7/20/2021 9:12 AM AJM1 C:\low_w\carlow_e\pl\gim1\0511168\Turtle Creek Storm Easement.dwg



VILLAGE OF CALEDONIA	
TURTLE CREEK DRAINAGE EASEMENT	
	PROJECT ID: 0021C035.00
DATE: 7/20/2021	
PREPARED BY: JDS1	
CHECKED BY: AJM1	
SHEET 3	

7/20/2021 9:12 AM AJM1 C:\pwworking\ajm\ajm100511681\Turtle Creek Storm Easement.dwg



①
 OWNER: MICAH WATERS
 TAX ID # 104-04-23-17-048-010
 LOT 1
 CSM 1269
DRAINAGE EASEMENT
 2,941 S.F.
 0.07 Ac.

12' UTILITY & DRAINAGE
 EASEMENT PER
 CRESTVIEW PARK
 SUBDIVISION PLAT

LOT 2 & PART OF LOT 3
 CSM 1269

PART OF LOT 3
 CSM 1269

NORTH LINE CALEDONIA'S
 ASSESSORS PLAT NO.1



VILLAGE OF CALEDONIA	
DRAINAGE EASEMENT	
MICAH WATERS	
TAX ID# 104-04-23-17-048-010	
SCALE 	PROJECT ID: 0021C035.00
DATE: 7/20/2021 PREPARED BY: JDS1 CHECKED BY: AJM1	
SHEET	
1	

Micah Waters: Tax ID 104-04-23-17-048-010

Drainage Easement

Part of Lot 1 of Certified Survey Map No. 1269, being a part of the Southwest 1/4 of the Northwest 1/4 of Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

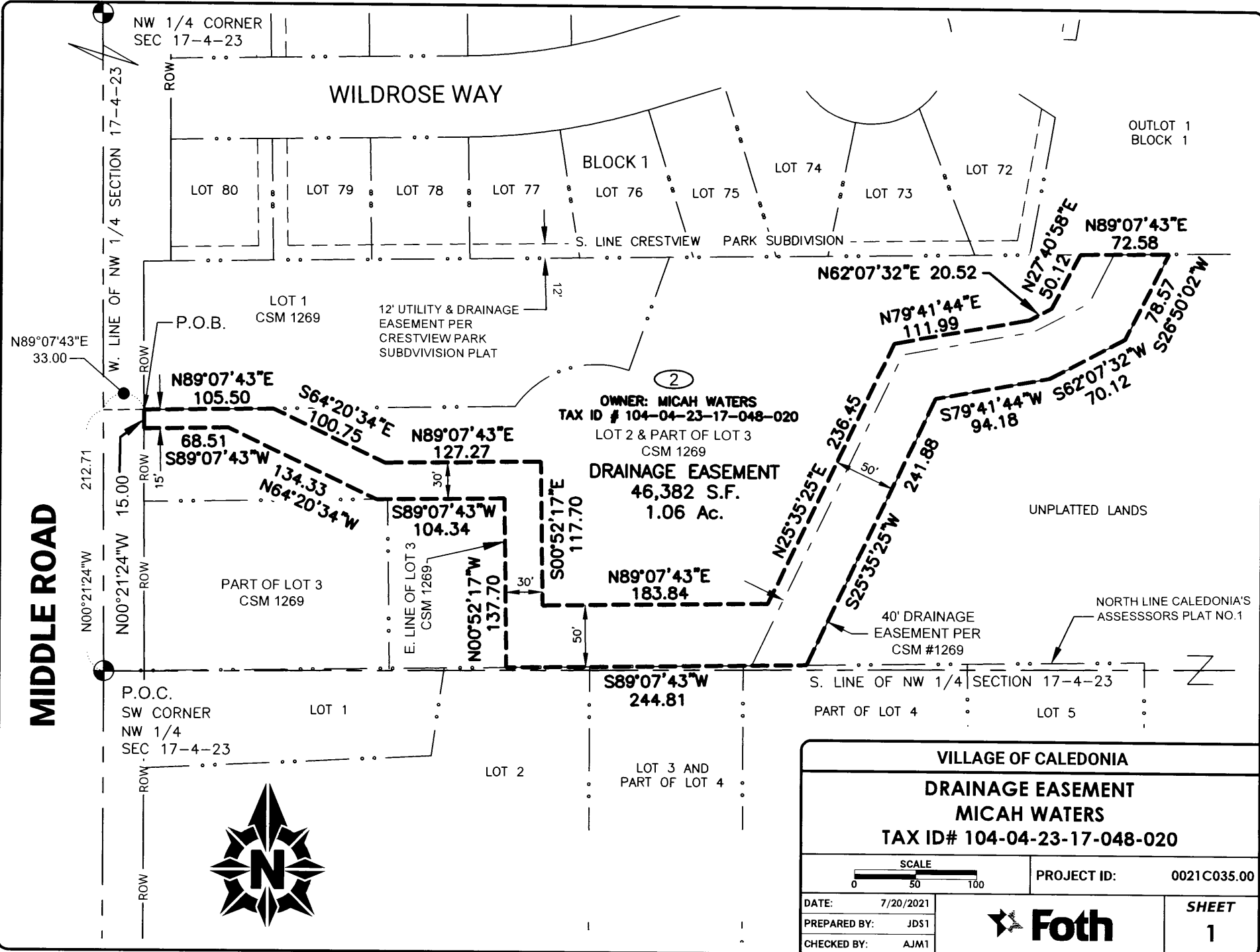
Commencing at the Southwest corner of said Northwest 1/4; Thence North 00°21'24" West along the West line of said 1/4 Section a distance of 333.39 feet; thence North 89°07'43" East 33.00 feet to the Northwest corner of Lot 1 of said Certified Survey Map and the point of beginning of lands being described.

Thence continuing North 89°07'43" East along the North line of said Lot 1 a distance of 15.00 feet; thence South 00°21'24" East along a line being 15 feet east of and parallel to the East right-of-way line of "Middle Road" a distance of 105.68 feet; thence North 89°07'43" East along a line being 15 feet north of and parallel to the South line of said Lot 1 a distance of 60.32 feet; thence South 64°20'34" East 33.58 feet to the South line of said Lot 1; thence South 89°07'43" West along said South line 105.50 feet to the East right-of-way line of "Middle Road"; thence North 00°21'24" West along said East line 120.68 feet to the point of beginning of lands being described.

Containing 2,941 Square feet (0.07 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)



MIDDLE ROAD



VILLAGE OF CALEDONIA	
DRAINAGE EASEMENT	
MICAH WATERS	
TAX ID# 104-04-23-17-048-020	
SCALE 0 50 100	PROJECT ID: 0021C035.00
DATE: 7/20/2021	Foth
PREPARED BY: JDS1	
CHECKED BY: AJM1	
SHEET 1	

Micah Waters: Tax ID 104-04-23-17-048-020

Drainage Easement

Part of Lot 2 of Certified Survey Map No. 1269, being a part of the Southwest 1/4 of the Northwest 1/4 of Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

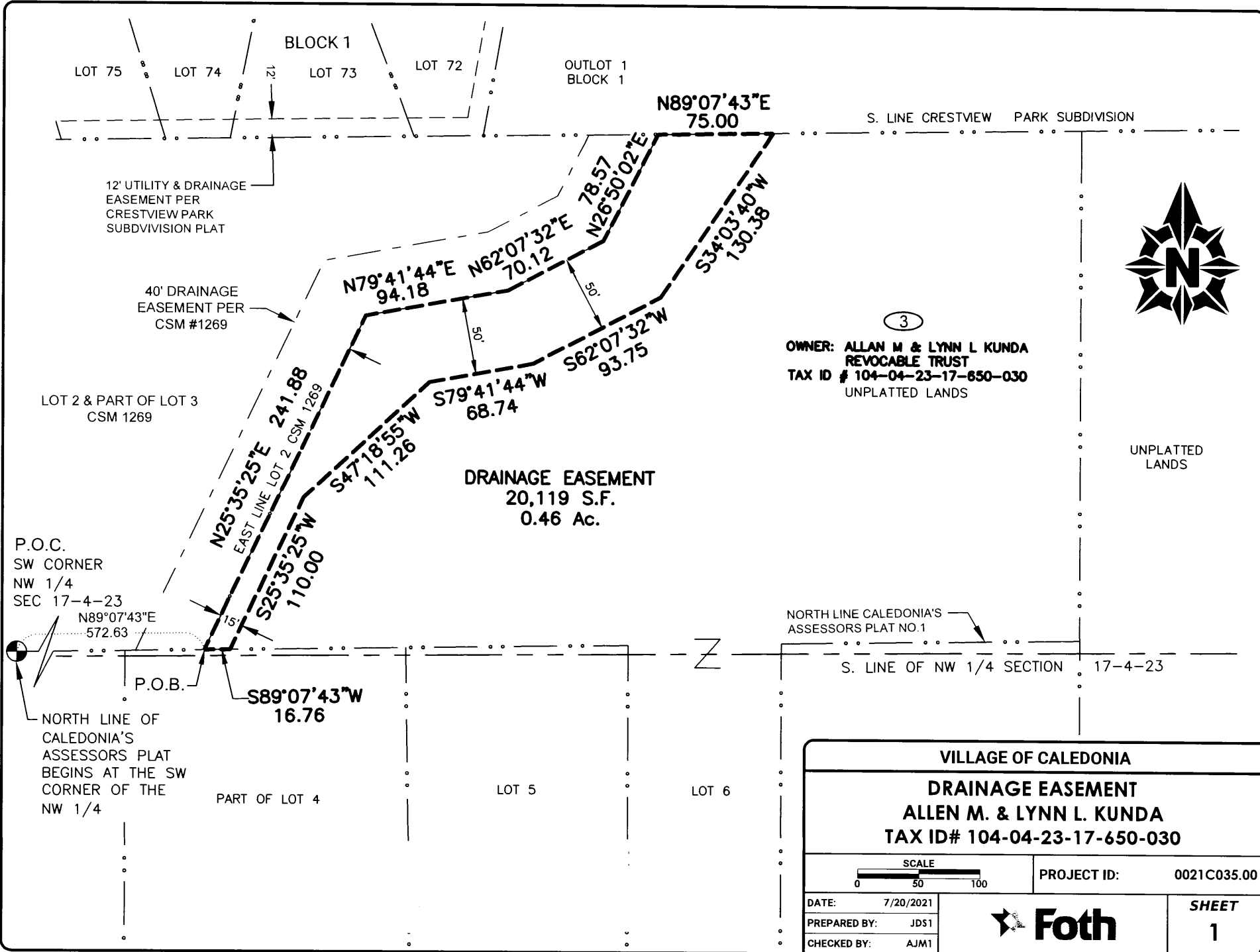
Commencing at the Southwest corner of said Northwest 1/4; Thence North 00°21'24" West along the West line of said 1/4 Section a distance of 212.71 feet; thence North 89°07'43" East 33.00 feet to the Northwest corner of Lot 2 of said Certified Survey Map and the point of beginning of lands being described.

Thence continuing North 89°07'43" East along the North line of said Lot 2 a distance of 105.50 feet; thence South 64°20'34" East 100.75 feet; thence North 89°07'43" East 127.27 feet; thence South 00°52'17" East along a line being 15 feet east of and parallel to the East line of Lot 3 of said Certified Survey Map a distance of 117.70 feet; thence North 89°07'43" East 183.84 feet; thence North 25°35'25" East along a line being 50 feet West of and parallel to the East line of Lot 2 of said Certified Survey Map a distance of 236.45 feet; thence North 79°41'44" East along said 50 foot parallel line a distance of 111.99 feet; thence North 62°07'32" East along said 50 foot parallel line a distance of 20.52 feet; thence North 27°40'58" East 50.12 feet to the South line of Crestview Park Subdivision; thence North 89°07'43" East along said South line 72.58 feet to the Northeast corner of Lot 2 of said Certified Survey Map; thence South 26°50'02" West along the East line of said Lot 2 a distance of 78.57 feet; thence South 62°07'32" West along said East line 70.12 feet; thence South 79°41'44" West along said East line 94.18 feet; thence South 25°35'25" West along said East line 241.88 feet to the South line of said Lot 2; thence South 89°07'43" West along said South line 244.81 feet to the East line of Lot 3 of said Certified Survey Map; thence North 00°52'17" West along said East line 137.70 feet to the North line of said Lot 3; thence South 89°07'43" West along said North line 104.34 feet; thence North 64°20'34" West 134.33 feet; thence South 89°07'43" West 68.51 feet to the East right-of-way line of "Middle Road"; thence North 00°21'24" West along said East line 15.00 feet to the point of beginning of lands being described.

Containing 46,382 Square feet (1.06 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)



3
 OWNER: ALLAN M & LYNN L KUNDA
 REVOCABLE TRUST
 TAX ID # 104-04-23-17-650-030
 UNPLATTED LANDS

DRAINAGE EASEMENT
 20,119 S.F.
 0.46 Ac.

NORTH LINE CALEDONIA'S
 ASSESSORS PLAT NO.1

VILLAGE OF CALEDONIA	
DRAINAGE EASEMENT	
ALLEN M. & LYNN L. KUNDA	
TAX ID# 104-04-23-17-650-030	
SCALE 0 50 100	PROJECT ID: 0021C035.00
DATE: 7/20/2021	Foth
PREPARED BY: JDS1	
CHECKED BY: AJM1	
SHEET 1	

Allen M. & Lynn L. Kunda: Tax ID 104-04-23-17-650-030

Drainage Easement

Part of the Southwest 1/4 of the Northwest 1/4 of Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

Commencing at the Southwest corner of said Northwest 1/4; thence North 89°07'43" East 572.63 feet to the Southeast corner of Lot 2 of Certified Survey Map No. 1269 and the point of beginning of lands being described.

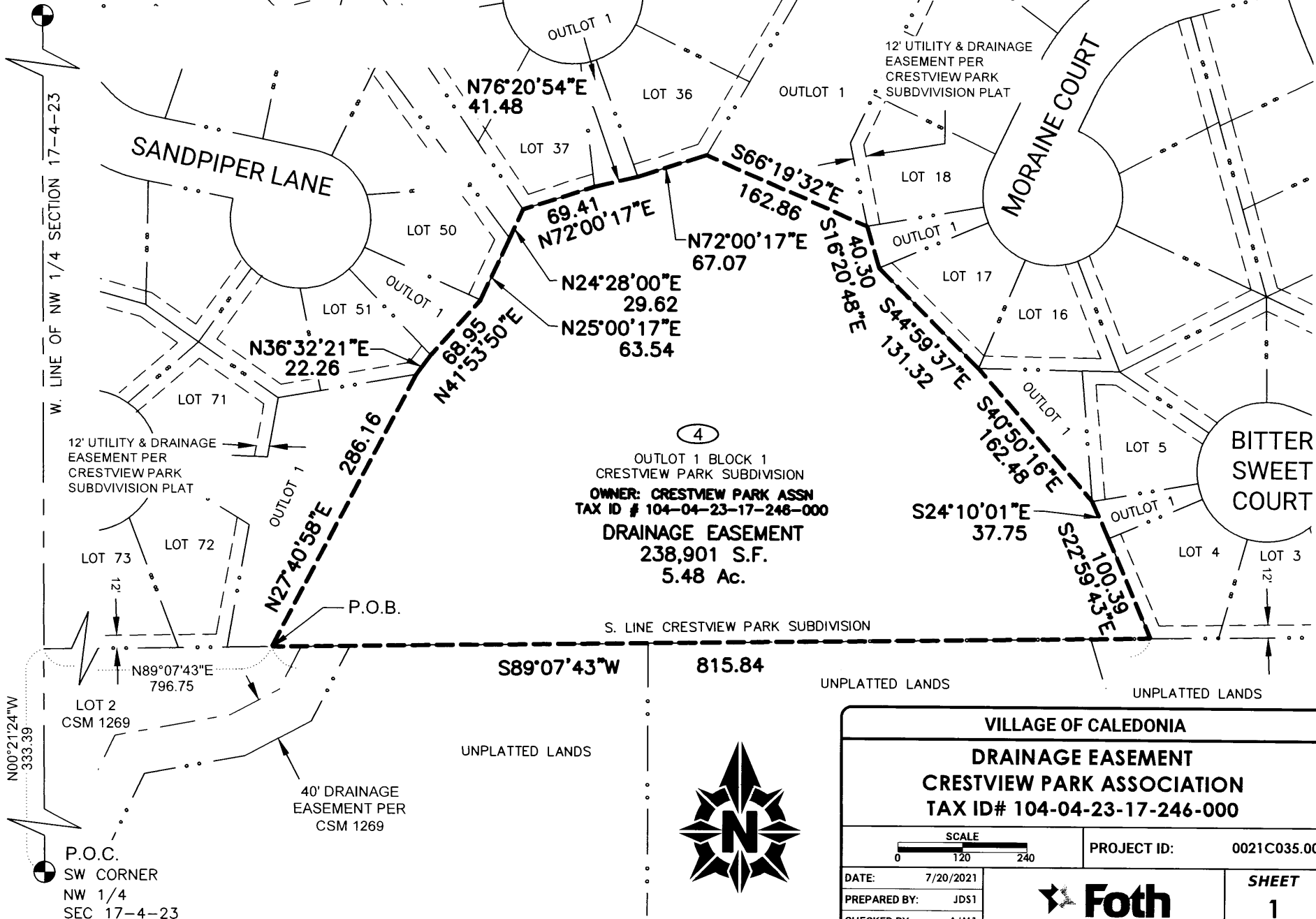
Thence North 25°35'25" East along the East line of said Lot 2 a distance of 241.88 feet; thence North 79°41'44" East along said East line 94.18 feet; thence North 62°07'32" East along said East line 70.12 feet; thence North 26°50'02" East 78.57 feet to the South line of Crestview Park Subdivision; thence North 89°07'43" East along said South line 75.00 feet; thence South 34°03'40" West 130.38 feet; thence South 62°07'32" West along a line being 50 feet South of and parallel to the said Lot 2 a distance of 93.75 feet; thence South 79°41'44" West along said 50 foot parallel line a distance of 68.74 feet; thence South 47°18'55" West 111.26 feet; thence South 25°35'25" West along a line being 15 feet East of and parallel to the East line of said Lot 2 a distance of 110.00 feet to the North line of Caledonia's Assessors Plat No. 1; thence South 89°07'43" West along said North line 16.76 feet to the point of beginning of lands being described.

Containing 20,119 Square feet (0.46 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)

NW CORNER
NW 1/4
SEC 17-4-23



④
OUTLOT 1 BLOCK 1
CRESTVIEW PARK SUBDIVISION
OWNER: CRESTVIEW PARK ASSN
TAX ID # 104-04-23-17-246-000
DRAINAGE EASEMENT
238,901 S.F.
5.48 Ac.


S. LINE CRESTVIEW PARK SUBDIVISION

S89°07'43"W 815.84

UNPLATTED LANDS

UNPLATTED LANDS



VILLAGE OF CALEDONIA	
DRAINAGE EASEMENT	
CRESTVIEW PARK ASSOCIATION	
TAX ID# 104-04-23-17-246-000	
SCALE 0 120 240	PROJECT ID: 0021C035.00
DATE: 7/20/2021	 Foth
PREPARED BY: JDS1	
CHECKED BY: AJM1	
SHEET 1	

P.O.C.
SW CORNER
NW 1/4
SEC 17-4-23

Crestview Park Association: Tax ID 104-04-23-17-246-000

Drainage Easement

Land being a part of the Southeast 1/4 and Southwest 1/4 of the Northwest 1/4 of Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

Commencing at the Southwest corner of said Northwest 1/4; Thence North 00°21'24" West along the West line of said 1/4 Section a distance of 333.39 feet to a point on the South line of Crestview Park subdivision; thence North 89°07'43" East 796.75 feet along said South line to the point of beginning of lands being described.

Thence North 27°40'58" East 286.16 feet to a point on the South line of Lot 51; thence North 36°32'21" East along said South line 22.26 feet to Southeast corner of said lot; thence North 41°53'50" East 68.95 feet to the South corner of Lot 50; thence North 25°00'17" East along the East line of Lot 50 a distance of 63.54 feet to the Northeast corner of said lot; thence North 24°28'00" East 29.62 feet to the South corner of Lot 37; thence North 72°00'17" East along the southeast line of Lot 37 a distance of 69.41 feet to the Southeast corner of said lot; thence North 76°20'54" East 41.48 feet to the Southwest corner of Lot 36; thence North 72°00'17" East along the south line of Lot 36 a distance of 67.07 feet to the Southeast corner of said lot; thence South 66°19'32" East 162.86 feet to the South corner of Lot 18; thence South 16°20'48" East 40.30 feet to the Northwest corner of Lot 17; thence South 44°59'37" East along the Southwest line of Lot 17 a distance of 131.32 feet to the Southeast corner of said lot, also being the Southwest corner of Lot 16; thence South 40°50'16" East 162.48 feet to the Southwest corner of Lot 5; thence South 24°10'01" East 37.75 feet to the Northwest corner of Lot 4; thence South 22°59'43" East along the West line of Lot 4 a distance of 100.39 feet to the Southwest corner of said lot, also being a point on the South line of Crestview Park subdivision; thence South 89°07'43" West along said South line 815.84 feet to the point of beginning of lands being described.

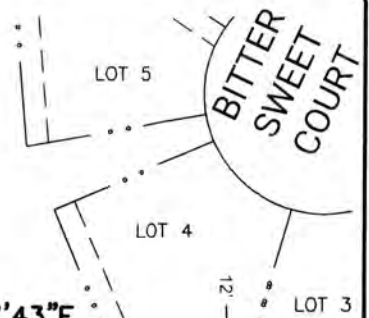
Containing 238,901 Square feet (5.48 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)



OUTLOT 1
BLOCK 1



S. LINE CRESTVIEW PARK SUBDIVISION

N89°07'43"E
26.00

12' UTILITY & DRAINAGE
EASEMENT PER
CRESTVIEW PARK
SUBDIVISION PLAT

UNPLATTED
LANDS

5

OWNER: MERLIN J & LINDA J CAYEMBERG
TAX ID # 104-04-23-17-650-045

UNPLATTED LANDS

UNPLATTED
LANDS

DRAINAGE EASEMENT
8,667 S.F.
0.20 Ac.

N16°47'25"W
316.47'25"E

25'

346.67

PROPERTY
LINE

P.O.C.
SW CORNER
NW 1/4
SEC 17-4-23

NORTH LINE CALEDONIA'S
ASSESSORS PLAT NO.1

N89°07'43"E

1629.31

N. LINE OF SW 1/4 SECTION 17-4-23

P.O.B.

S89°07'43"W
26.00

NORTH LINE OF
CALEDONIA'S
ASSESSORS PLAT
BEGINS AT THE SW
CORNER OF THE
NW 1/4

LOT 8

LOT 9

LOT 10

LOT 11

LOT 12

-ROW -ROW -ROW -ROW

5 1/2 MILE ROAD

-W -ROW -ROW -ROW

VILLAGE OF CALEDONIA

DRAINAGE EASEMENT
MERLIN J & LINDA J CAYEMBERG
TAX ID# 104-04-23-17-650-045



PROJECT ID: 0021C035.00

DATE: 7/20/2021
PREPARED BY: JDS1
CHECKED BY: AJM1



SHEET
1

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Merlin J & Linda J Cayemberg: Tax ID 104-04-23-17-650-045

Drainage Easement

Land being a part of the Southeast 1/4 of the Northwest 1/4 of Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

Commencing at the Southwest corner of said Northwest 1/4; thence North 89°07'43" East along the North line of Caledonia's Assessors Plat No.1 a distance of 1629.31 feet to the point of beginning of lands being described.

Thence North 16°47'25" West 346.67 feet to the South line of Crestview Park subdivision; thence North 89°07'43" East along said South line 26.00 feet; thence South 16°47'25" East 346.67 feet to a point on the North line of Caledonia's Assessors Plat No.1; thence South 89°07'43" West along said North line 26.00 feet to the point of beginning of lands being described.

Containing 8,667 Square feet (0.20 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)



12' UTILITY & DRAINAGE EASEMENT PER CRESTVIEW PARK SUBDIVISION PLAT

BLOCK 1

BITTERSWEET COURT

WHITEWATER ST.

BITTERSWEET COURT

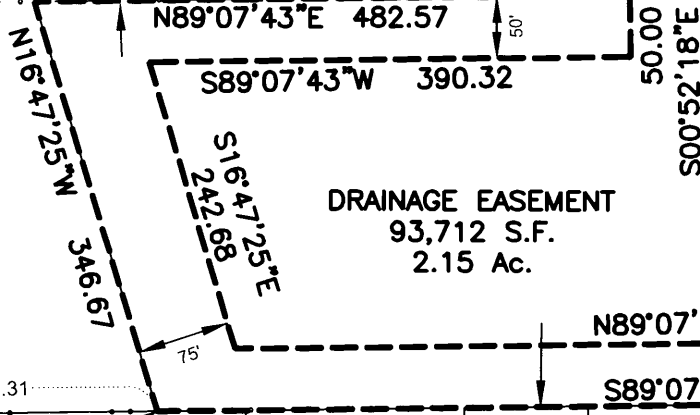
OUTLOT 1
BLOCK 1

S. LINE CRESTVIEW PARK SUBDIVISION

LOT 4
LOT 3
LOT 2
LOT 1

LOT 3
LOT 4
LOT 5
LOT 6
LOT 7
LOT 8

OUTLOT 2
E. LINE OF NW 1/4 SECTION 17-4-23



100' DRAINAGE EASEMENT PER DOC. # 1309454

OWNER: JEFFREY P & GREGGORY P KROES
TAX ID # 104-04-23-17-043-000

DRAINAGE EASEMENT PER DOC. # 1309454

FALSE CENTER OF SECTION SET 4/15/68

NORTH LINE CALEDONIA'S ASSESSORS PLAT NO.1

P.O.C. SW CORNER NW 1/4 SEC 17-4-23

N89°07'43"E 963.96

S89°07'43"W 1027.59

S. LINE OF NW 1/4 SECTION 17-4-23

50.00 S00°45'45"E

SE CORNER NW 1/4 SEC 17-4-23

N89°07'43"E 1655.31

P.O.B.

30' DRAINAGE EASEMENT PER CSM

NORTH LINE OF CALEDONIA'S ASSESSORS PLAT BEGINS AT THE SW CORNER OF THE NW 1/4

LOT 12

PART OF LOT 13

LOT 2 CSM 3193

LOT 1 CSM 3193

PART OF LOT 13

ROW ROW ROW ROW ROW ROW

5 1/2 MILE ROAD

ROW ROW ROW ROW ROW

VILLAGE OF CALEDONIA	
DRAINAGE EASEMENT	
JEFFREY P & GREGGORY P KROES	
TAX ID# 104-04-23-17-043-000	
SCALE 0 150 300	PROJECT ID: 0021C035.00
DATE: 7/20/2021	
PREPARED BY: JDS1	
CHECKED BY: AJM1	
SHEET	
1	

Jeffrey P. & Gregory P. Kroes: Tax ID 104-04-23-17-043-000

Drainage Easement

Land being a part of the Southeast 1/4 of the Northwest 1/4 of Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

Commencing at the Southwest corner of said Northwest 1/4; Thence North 89°07'43" East along the North line of Caledonia's Assessors Plat No.1 a distance of 1655.31 feet to the point of beginning of lands being described.

Thence North 16°47'25" West 346.67 feet to the South line of Crestview Park subdivision; thence North 89°07'43" East along said South line 482.57 feet to the intersection of said South line and the East right-of-way line of "Whitewater Street"; thence South 00°52'18" East 50.00 feet; thence South 89°07'43" West along a line being 50 feet South of and parallel to the South line of Crestview Park subdivision for a distance of 390.32 feet; thence South 16°47'25" East 242.68 feet to a point being 50 feet north of the North line of Caledonia's Assessors Plat No. 1; thence North 89°07'43" East along a line being 50 feet North of and parallel to said North line 963.96 feet to the East line of the Northwest 1/4 of said Section; thence South 00°45'45" East along said East line 50.00 feet to the North line of Caledonia's Assessors Plat No. 1; thence South 89°07'43" West along said North line 1027.59 feet to point of beginning of lands being described.

Containing 93,712 Square feet (2.15 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)

NORTH LINE OF CALEDONIA'S ASSESSORS PLAT BEGINS AT THE NW CORNER OF THE SW 1/4

PART OF LOT 3 CSM 1269

LOT 2 & PART OF LOT 3 CSM 1269

P.O.C. NW CORNER SW 1/4 SEC 17-4-23

P.O.B.

N. LINE CALEDONIA'S ASSESSORS PLAT NO.1

N89°07'43"E 277.30

N89°07'43"E 118.57

N. LINE OF SW 1/4 SECTION 17-4-23

LOT 1

N08°07'38"E 72.80

N87°13'59"E 234.22

215.00

W. LINE OF SW 1/4 SECTION 17-4-23

164.98

N00°01'23"W

7
OWNER: DANIEL L & ANN M WACHS
TAX ID # 104-04-23-17-650-005
LOT 2 CALEDONIA'S ASSESSORS PLAT

DRAINAGE EASEMENT
62,320 S.F.
1.43 Ac.

S69°51'03"W 30.00

S60°43'58"W 50.00

N71°53'26"W 61.00

S86°12'24"W 191.00

S81°01'57"W 43.00

S00°01'23"E

LOT 3

MIDDLE ROAD

5 1/2 MILE ROAD



VILLAGE OF CALEDONIA	
DRAINAGE EASEMENT	
DANIEL L & ANN M WACHS	
TAX ID# 104-04-23-17-650-005	
SCALE 0 60 120	PROJECT ID: 0021C035.00
DATE: 7/20/2021	
PREPARED BY: JDS1	
CHECKED BY: AJM1	
SHEET 1	

7/20/2021 1:24 PM AJM1 C:\pwworking\pwworking\dwg\105111681\Turtle Creek Storm Easement.dwg

Daniel L. & Ann M. Wachs: Tax ID 104-04-23-17-650-005

Drainage Easement

Land being a part of Lot 2 of Caledonia's Assessors Plat No.1, being part of the Southwest 1/4 of the Northwest 1/4 and the Northwest 1/4 of the Southwest 1/4, all in Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

Commencing at the Northwest corner of the Southwest 1/4 of said Section; Thence North 89°07'43" East along the North line of Caledonia's Assessors Plat No.1 a distance of 277.30 feet to the point of beginning of lands being described.

Thence continuing North 89°07'43" East along said North line 118.57 feet to the West line of Lot 3 of said Assessors Plat; thence South 00°01'23" East along said West line 215.00 feet; thence South 86°12'24" West 191.00 feet; thence North 71°53'26" West 61.00 feet; thence South 69°51'03" West 30.00 feet; thence South 60°43'58" West 50.00 feet; thence South 81°01'57" West 43.00 feet to the East right-of-way line of "Middle Road"; thence North 00°01'23" West along said East right-of-way line 164.98 feet to the South line of Lot 1 of said Assessors Plat; thence North 87°13'59" East along said South line 234.22 feet to the East line of said Lot; thence North 08°07'38" East along said East line 72.80 feet to the point of beginning of lands being described.

Containing 62,320 Square feet (1.43 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)

P.O.C.
NW CORNER
SW 1/4
SEC 17-4-23

LOT 2 & PART OF LOT 3
CSM 1269

40' DRAINAGE
EASEMENT PER
CSM #1269

UNPLATTED
LANDS

N89°07'43"E 395.87
P.O.B.
N89°07'43"E 125.17
N. LINE CALEDONIA'S ASSESSORS PLAT NO.1
N. LINE OF SW 1/4 SECTION 17-4-23

NORTH LINE OF
CALEDONIA'S
ASSESSORS PLAT
BEGINS AT THE NW
CORNER OF THE
SW 1/4

8

OWNER: THOMAS D. SHEINFELD
TAX ID # 104-04-23-17-650-015
LOT 3 AND PART OF LOT 4

DRAINAGE EASEMENT
23,214 S.F.
0.53 Ac.

N00°01'23"W 215.00

S00°01'23"E 120.00
S00°01'23"E

LOT 2

S29°25'45"W
73.35

S69°39'37"W 95.00

PART OF LOT
4



ROW ——— ROW ——— ROW ——— ROW ——— ROW ———
ROW ——— ROW ——— ROW ——— ROW ———

5 1/2 MILE ROAD

VILLAGE OF CALEDONIA

**DRAINAGE EASEMENT
THOMAS D. SHEINFELD
TAX ID# 104-04-23-17-650-015**

SCALE
0 50 100

PROJECT ID: 0021C035.00

DATE: 7/20/2021
PREPARED BY: JDS1
CHECKED BY: AJM1



SHEET
1

Thomas D. Sheinfeld: Tax ID 104-04-23-17-650-015

Drainage Easement

Land being a part of Lots 2 and 3 of Caledonia's Assessors Plat No.1, being part of the Southwest 1/4 of the Northwest 1/4 and the Northwest 1/4 of the Southwest 1/4, all in Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

Commencing at the Northwest corner of the Southwest 1/4 of said Section; Thence North 89°07'43" East along the North line of Caledonia's Assessors Plat No.1 a distance of 395.87 feet to the point of beginning of lands being described.

Thence continuing North 89°07'43" East along said North line 125.17 feet; thence South 00°01'23" East 120.00 feet; thence South 29°25'45" West 73.35 feet; thence South 69°39'37" West 95.00 feet to the East line of Lot 2 of Caledonia's Assessors Plat No. 1; thence North 00°01'23" West along said East line 215.00 feet to the point of beginning of lands being described.

Containing 23,214 Square feet (0.53 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)

LOT 2 & PART OF LOT 3
CSM 1269

P.O.C.
NW CORNER
SW 1/4
SEC 17-4-23

UNPLATTED
LANDS

40' DRAINAGE
EASEMENT PER
CSM #1269

P.O.B.

N89°07'43"E
68.34

N89°07'43"E 521.04

N. LINE CALEDONIA'S ASSESSORS PLAT NO.1
N. LINE OF SW 1/4 SECTION 17-4-23

NORTH LINE OF
CALEDONIA'S
ASSESSORS PLAT
BEGINS AT THE NW
CORNER OF THE
SW 1/4

N00°01'23"W 120.00

S29°25'45"W 138.97

9

OWNER: DAVID A (JR) & HEATHER A COTTRELL
TAX ID # 104-04-23-17-650-020

PART OF LOT 4 CALEDONIA'S ASSESSORS PLAT

DRAINAGE EASEMENT
4,100 S.F.
0.09 Ac.

LOT 3 AND
PART OF LOT 4

LOT 5



ROW ROW ROW ROW ROW ROW ROW ROW

5 1/2 MILE ROAD

ROW ROW ROW ROW

VILLAGE OF CALEDONIA

DRAINAGE EASEMENT
DAVID A. (JR) & HEATHER A. COTTRELL
TAX ID# 104-04-23-17-650-020

SCALE
0 50 100

PROJECT ID: 0021C035.00

DATE: 7/20/2021

PREPARED BY: JDS1

CHECKED BY: AJM1



SHEET

1

7/26/2021 11:47 AM AJM1 C:\pwworkdir\pwworkdir\ajm1\dwg\111881\Turtle Creek Storm Easement.dwg

David A. (JR) & Heather A. Cottrell: Tax ID 104-04-23-17-650-020

Drainage Easement

Land being a part of Lot 4 of Caledonia's Assessors Plat No.1, being part of the Southwest 1/4 of the Northwest 1/4 and the Northwest 1/4 of the Southwest 1/4, all in Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

Commencing at the Northwest corner of the Southwest 1/4 of said Section; Thence North 89°07'43" East along the North line of Caledonia's Assessors Plat No.1 a distance of 521.04 feet to the point of beginning of lands being described.

Thence continuing North 89°07'43" East along said North line 68.34 feet; thence South 29°25'45" West 138.97 feet; thence North 00°01'23" West 120.00 feet to said North line and the point of beginning of lands being described.

Containing 4,100 Square feet (0.09 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)

NORTH LINE OF CALEDONIA'S ASSESSORS PLAT BEGINS AT THE NW CORNER OF THE

UNPLATTED LANDS

UNPLATTED LANDS



P.O.C.
NW CORNER
SW 1/4
SEC 17-4-23

10

OWNER: EDWARD J MATICHEK FAMILY TRUST
TAX ID # 104-04-23-17-650-060

LOT 12 CALEDONIA'S ASSESSORS PLAT

DRAINAGE EASEMENT
4,886 S.F.
0.11 Ac.

LOT 11

PART OF LOT 13

ROW — ROW — ROW — ROW — ROW — ROW — ROW — ROW — ROW — ROW — R

5 1/2 MILE ROAD

SWEETWATER ST.



VILLAGE OF CALEDONIA

DRAINAGE EASEMENT
EDWARD J MATICHEK FAMILY TRUST
TAX ID# 104-04-23-17-650-060

SCALE: 0 60 120
PROJECT ID: 0021C035.00

DATE: 7/20/2021
PREPARED BY: JDS1
CHECKED BY: AJM1



SHEET
1

7/26/2021 11:49 AM AJM1 C:\pwworking\pwworking\dwg\10511681\Turtle Creek Storm Easement.dwg

Edward J Matichek Family Trust: Tax ID 104-04-23-17-650-060

Drainage Easement

Land being a part of Lot 12 of Caledonia's Assessors Plat No.1, being part of the Southeast 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Southwest 1/4, all in Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

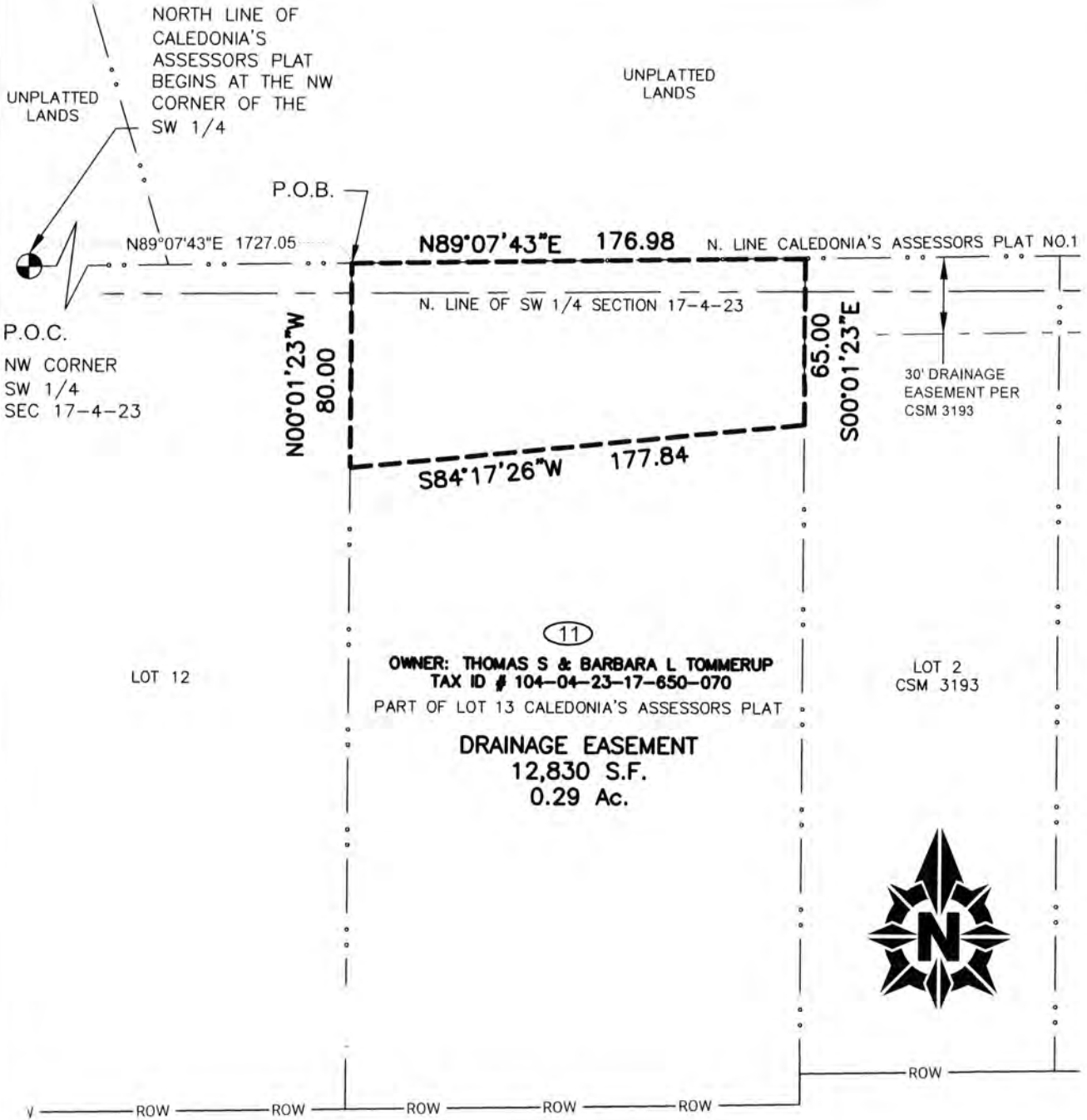
Commencing at the Northwest corner of the Southwest 1/4 of said Section; Thence North 89°07'43" East along the North line of Caledonia's Assessors Plat No.1 a distance of 1629.31 feet to the point of beginning of lands being described.

Thence continuing North 89°07'43" East along said North line 97.73 feet; thence South 00°01'23" East 80.00 feet; thence North 59°05'38" West 113.92 feet; thence North 00°01'23" West 20.00 feet to the point of beginning of lands being described.

Containing 4,886 Square feet (0.11 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)



LOT 12

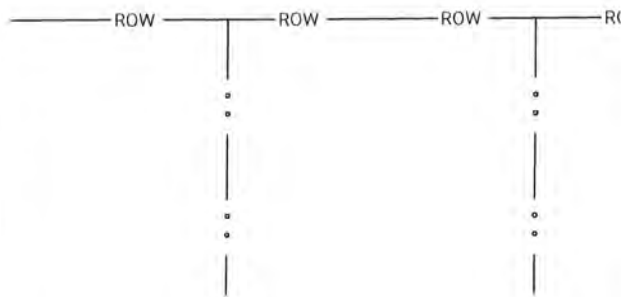
(11)
OWNER: THOMAS S & BARBARA L. TOMMERUP
TAX ID # 104-04-23-17-650-070
 PART OF LOT 13 CALEDONIA'S ASSESSORS PLAT

DRAINAGE EASEMENT
12,830 S.F.
0.29 Ac.

LOT 2
 CSM 3193



5 1/2 MILE ROAD



VILLAGE OF CALEDONIA	
DRAINAGE EASEMENT	
THOMAS S. & BARBARA L. TOMMERUP	
TAX ID# 104-04-23-17-650-070	
SCALE 	PROJECT ID: 0021C035.00
DATE: 7/20/2021 PREPARED BY: JDS1 CHECKED BY: AJM1	
SHEET	
1	

7/26/2021 11:50 AM AJM1 C:\pwworkdir\pwworkdir\ajm1\d05111681\Turtle Creek Storm Easement.dwg

THOMAS S. & BARBARA L. TOMMERUP: Tax ID 104-04-23-17-650-070

Drainage Easement

Land being a part of Lot 13 of Caledonia's Assessors Plat No.1, being part of the Southeast 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Southwest ¼, all in Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

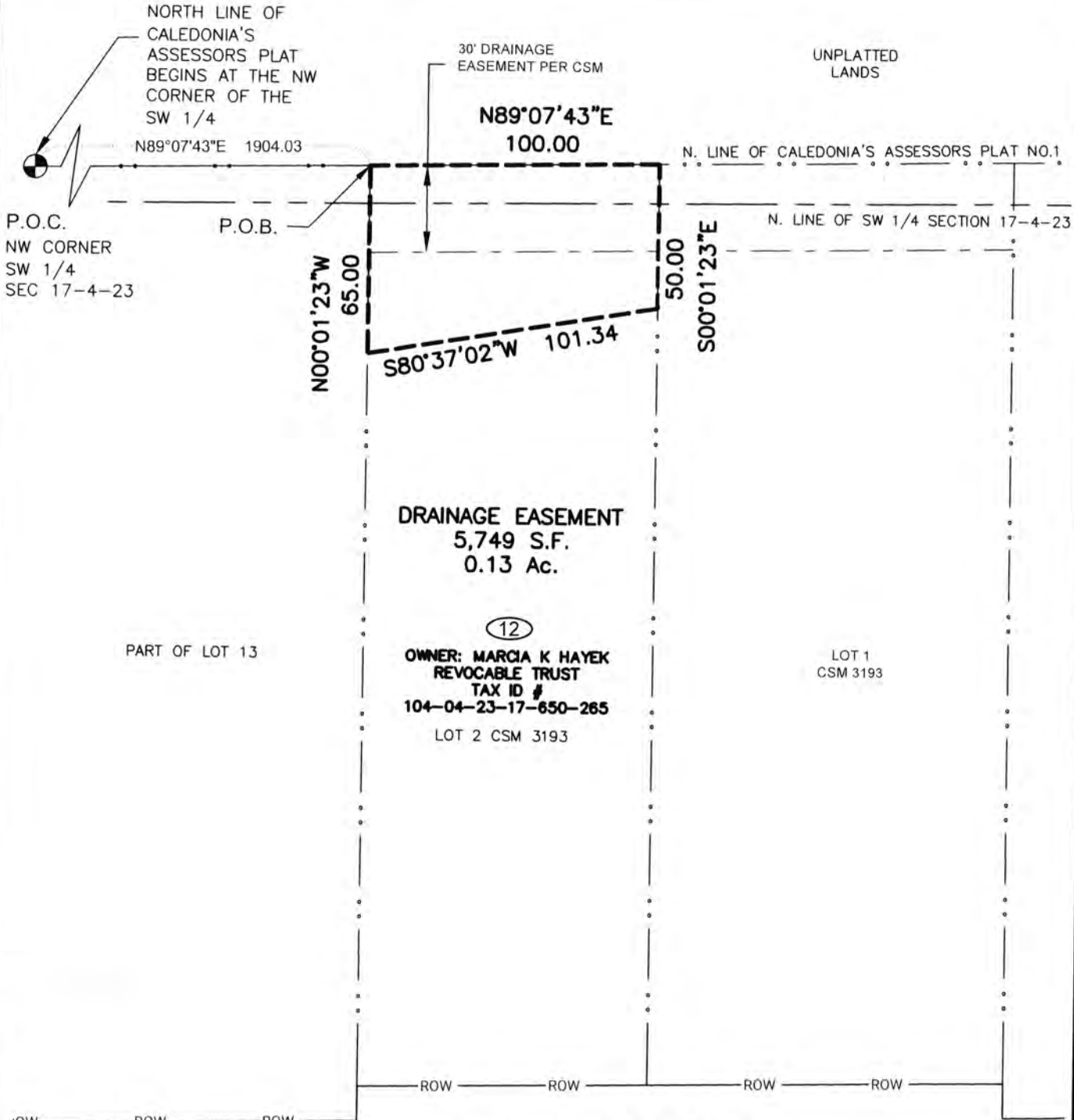
Commencing at the Northwest corner of the Southwest 1/4 of said Section; Thence North 89°07'43" East along the North line of Caledonia's Assessors Plat No.1 a distance of 1727.05 feet to the point of beginning of lands being described.

Thence continuing North 89°07'43" East along said North line 176.98 feet; thence South 00°01'23" East 65.00 feet; thence South 84°17'26" West 177.84 feet; thence North 00°01'23" West 80.00 feet to the point of beginning of lands being described.

Containing 12,830 Square feet (0.29 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)



5 1/2 MILE ROAD

DRAINAGE EASEMENT
 5,749 S.F.
 0.13 Ac.

(12)
OWNER: MARCIA K HAYEK
REVOCABLE TRUST
TAX ID #
104-04-23-17-650-265
 LOT 2 CSM 3193

VILLAGE OF CALEDONIA		
DRAINAGE EASEMENT		
MARCIA K HAYEK REVOCABLE TRUST		
TAX ID# 104-04-23-17-650-265		
SCALE 		PROJECT ID: 0021C035.00
DATE: 7/20/2021		SHEET 1
PREPARED BY: JDS1		
CHECKED BY: AJM1		

7/26/2021 11:52 AM AJM1 C:\pwworking\pwworking\dwg\1168Turtle Creek Storm Easement.dwg

MARCIA K HAYEK REVOCABLE TRUST: Tax ID 104-04-23-17-650-265

Drainage Easement

Part of Lot 2 of Certified Survey Map No. 3193, being a part of the Southeast 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Southwest 1/4, all in Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

Commencing at the Northwest corner of the Southwest 1/4 of said Section; Thence North 89°07'43" East along the North line of Caledonia's Assessors Plat No.1 a distance of 1904.03 feet to the point of beginning of lands being described.

Thence continuing North 89°07'43" East along said North line 100.00 feet to the West line of Lot 1 of said Certified Survey Map; thence South 00°01'23" East along said West line 50.00 feet; thence South 80°37'02" West 101.34 feet to the West line of Lot 2 of said Certified Survey Map; thence North 00°01'23" West along said West line 65.00 feet to the point of beginning of lands being described.

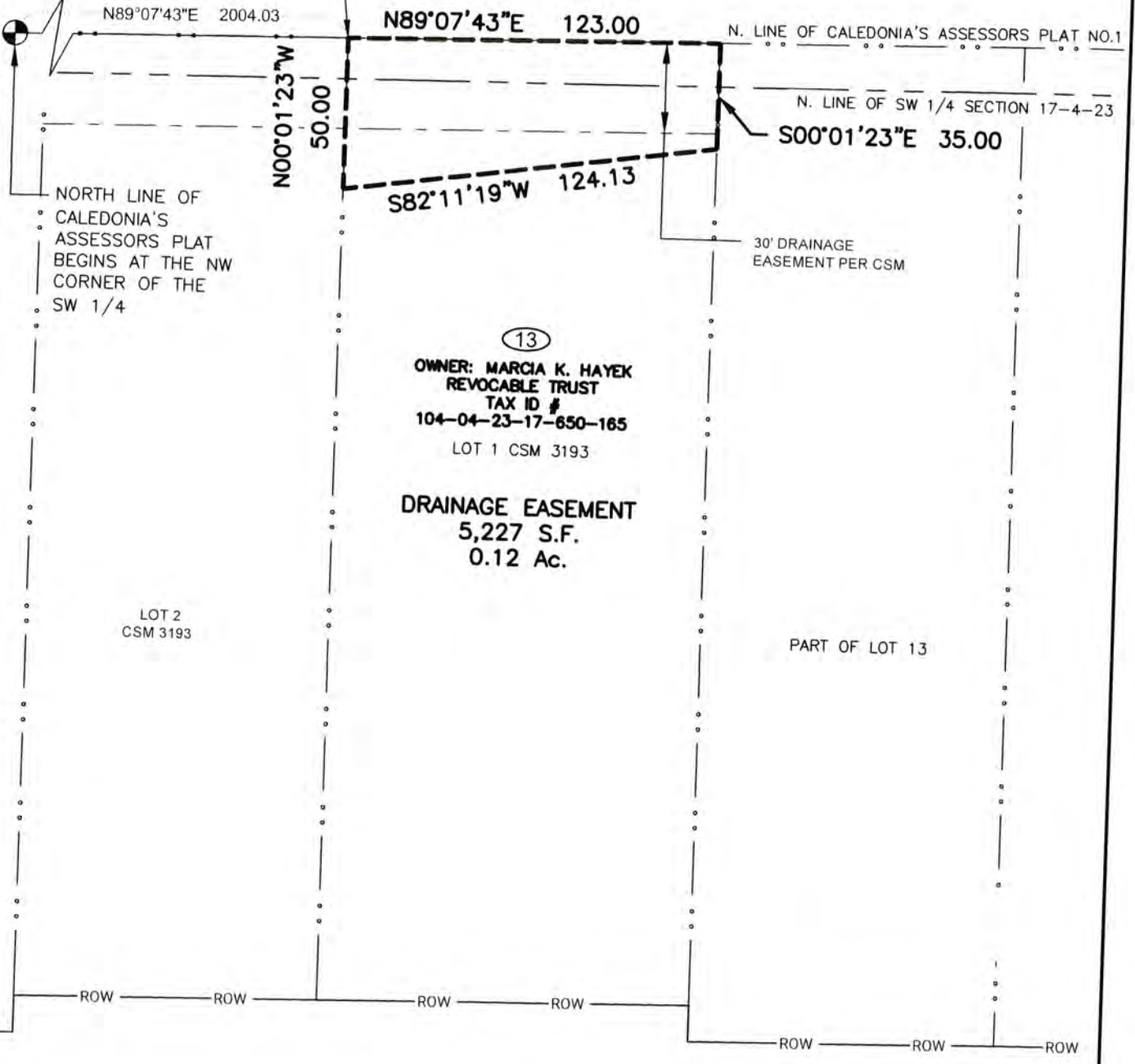
Containing 5,749 Square feet (0.13 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)

P.O.C.
NW CORNER
SW 1/4
SEC 17-4-23

UNPLATTED
LANDS



(13)
OWNER: MARCIA K. HAYEK
REVOCABLE TRUST
TAX ID #
104-04-23-17-650-165
LOT 1 CSM 3193

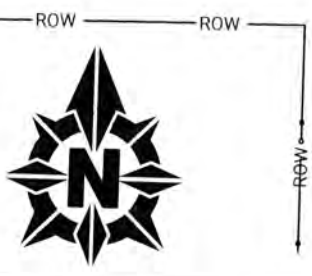
DRAINAGE EASEMENT
5,227 S.F.
0.12 Ac.

LOT 2
CSM 3193

PART OF LOT 13

ROW ROW ROW ROW ROW ROW ROW ROW

5 1/2 MILE ROAD



WHITEWATER ST.



VILLAGE OF CALEDONIA	
DRAINAGE EASEMENT	
MARCIA K. HAYEK REVOCABLE TRUST	
TAX ID# 104-04-23-17-650-165	
SCALE 0 50 100	PROJECT ID: 0021C035.00
DATE: 7/20/2021	
PREPARED BY: JDS1	
CHECKED BY: AJM1	
SHEET 1	

7/26/2021 11:53 AM AJM1 C:\pvc\workdir\pvc_rev\ajm1\0511768\Turtle Creek Storm Easement.dwg

MARCIA K HAYEK REVOCABLE TRUST: Tax ID 104-04-23-17-650-165

Drainage Easement

Part of Lot 1 of Certified Survey Map No. 3193, being a part of the Southeast 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Southwest 1/4, all in Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

Commencing at the Northwest corner of the Southwest 1/4 of said Section; Thence North 89°07'43" East along the North line of Caledonia's Assessors Plat No.1 a distance of 2004.03 feet to the Northwest corner of Lot 1 of said Certified Survey Map and the point of beginning of lands being described.

Thence continuing North 89°07'43" East along said North line 123.00 feet to the Northeast corner of said Lot 1; thence South 00°01'23" East along the East line of said Lot 1 a distance of 35.00 feet; thence South 82°11'19" West 124.13 feet to the West line of said Lot 1; thence North 00°01'23" West along said West line 50.00 feet to the point of beginning of lands being described.

Containing 5,227 Square feet (0.12 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)

P.O.C.
NW CORNER
SW 1/4
SEC 17-4-23

UNPLATTED
LANDS

P.O.B.

N89°07'43"E 2127.03

N89°07'43"E 101.20

N. LINE OF CALEDONIA'S ASSESSORS PLAT NO.1

N. LINE OF SW 1/4 SECTION 17-4-23

N00°01'23"W
35.00

S00°01'23"E
45.00

N85°13'14"W 101.54

NORTH LINE OF
CALEDONIA'S
ASSESSORS PLAT
BEGINS AT THE NW
CORNER OF THE
SW 1/4

30' DRAINAGE
EASEMENT PER CSM

14

ASSESSORS PLAT NO.1
OWNER: MARGARET B GARMAN
TAX ID #
104-04-23-17-650-066
PART OF LOT 13 CALEDONIA'S

DRAINAGE EASEMENT
4,048 S.F.
0.09 Ac.

LOT 1
CSM 3193

PART OF LOT 13

ROW

ROW

ROW

ROW

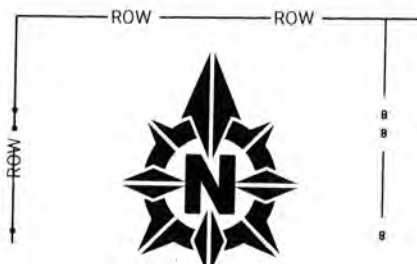
ROW

ROW

ROW

5 1/2 MILE ROAD

WHITEWATER ST.



VILLAGE OF CALEDONIA

DRAINAGE EASEMENT
MARGARET B GARMAN
TAX ID# 104-04-23-17-650-066

SCALE

0 50 100

PROJECT ID: 0021C035.00

DATE: 7/20/2021

PREPARED BY: JDS1

CHECKED BY: AJM1



SHEET

1

7/26/2021 8:25 AM AJM1 C:\pvt_work\drpvt_e\blvd_ajm1\0511681Turtle Creek Storm Easement.dwg

MARGARET B GARMAN: Tax ID 104-04-23-17-650-066

Drainage Easement

Land being a part of Lot 13 of Caledonia's Assessors Plat No.1, being part of the Southeast 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Southwest 1/4 of Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

Commencing at the Northwest corner of the Southwest 1/4 of said Section; Thence North 89°07'43" East along the North line of Caledonia's Assessors Plat No.1 a distance of 2127.03 feet to the Northeast corner of Lot 1 of Certified Survey Map No. 3193, being the point of beginning of lands being described.

Thence continuing North 89°07'43" East along said North line 101.20 feet; thence South 00°01'23" East 45.00 feet; thence North 85°13'14" West 101.54 feet to the East line of Said lot 1; thence North 00°01'23" West along said East line 35.00 feet to the point of beginning of lands being described.

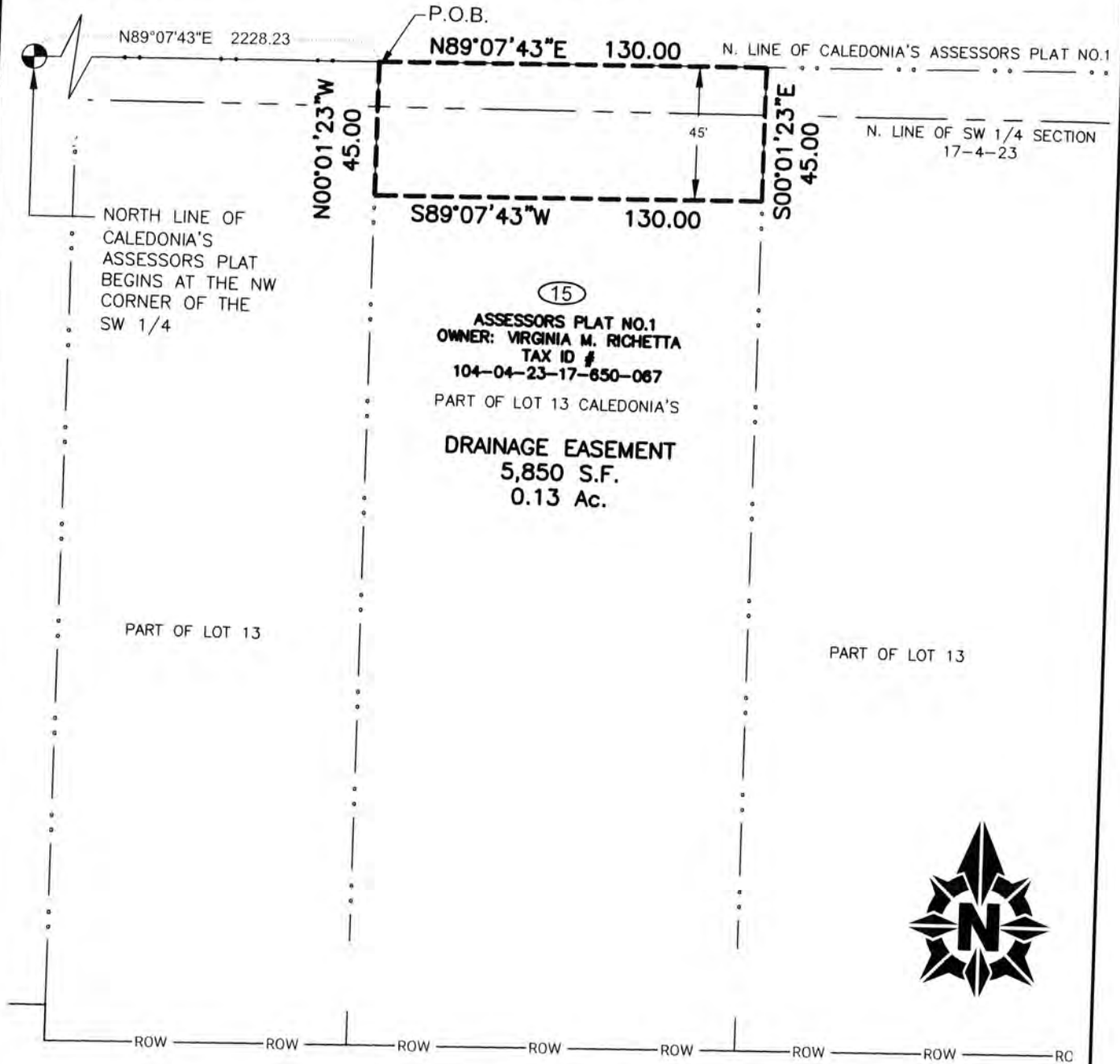
Containing 4,048 Square feet (0.09 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)

P.O.C.
 NW CORNER
 SW 1/4
 SEC 17-4-23

UNPLATTED
 LANDS



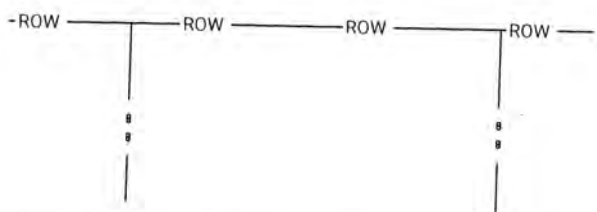
(15)
ASSESSORS PLAT NO.1
OWNER: VIRGINIA M. RICHETTA
TAX ID #
104-04-23-17-650-067
 PART OF LOT 13 CALEDONIA'S
DRAINAGE EASEMENT
5,850 S.F.
0.13 Ac.

PART OF LOT 13

PART OF LOT 13



5 1/2 MILE ROAD



VILLAGE OF CALEDONIA	
DRAINAGE EASEMENT	
VIRGINIA M RICHETTA	
TAX ID# 104-04-23-17-650-067	
SCALE 	PROJECT ID: 0021C035.00
DATE: 7/20/2021 PREPARED BY: JDS1 CHECKED BY: AJM1	
	SHEET 1

7/26/2021 10:17 AM AJM1 C:\pw\workdir\pw_reinvd_sgm\168\Turtle Creek Storm Easement.dwg

VIRGINIA M. RICETTA: Tax ID 104-04-23-17-650-067

Drainage Easement

Land being a part of Lot 13 of Caledonia's Assessors Plat No.1, being part of the Southeast 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Southwest 1/4 of Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

Commencing at the Northwest corner of the Southwest 1/4 of said Section; Thence North 89°07'43" East along the North line of Caledonia's Assessors Plat No.1 a distance of 2228.23 feet to the point of beginning of lands being described.

Thence continuing North 89°07'43" East along said North line 130.00 feet; thence South 00°01'23" East 45.00 feet; thence South 89°07'43" West along a line that is 45.00 feet South of and parallel to the North line of Caledonia's Assessors Plat No. 1 a distance of 130.00 feet; thence North 00°01'23" West 45.00 feet to the point of beginning of lands being described.

Containing 5,850 Square feet (0.13 Ac.) of land more or less.

Date: 7/20/2021

Andrew Miazga (S-2826)

UNPLATTED
LANDS

UNPLATTED
LANDS

P.O.C.
NW CORNER
SW 1/4
SEC 17-4-23

DRAINAGE EASEMENT
PER DOC. #1309454

E. LINE OF NW 1/4
SECTION 17-4-23

10'
FALSE CENTER
OF SECTION
SET 4/15/68

N89°07'43"E 2358.23
N00°01'23"W 45.00
NORTH LINE OF
CALEDONIA'S
ASSESSORS PLAT
BEGINS AT THE NW
CORNER OF THE
SW 1/4

P.O.B.

N89°07'43"E 324.67

N. LINE OF CALEDONIA'S
ASSESSORS PLAT NO.1

S00°45'45"E
18.23

N. LINE OF SW 1/4 SECTION 17-4-23

CENTER 1/4 CORNER
SEC 17-4-23

S89°07'43"W 325.03

S00°17'46"E
26.77

PART OF LOT 13

(16)

OWNER: DRIFTWOOD LIVING TRUST
TAX ID #
104-04-23-17-650-068

PART OF LOT 13 CALEDONIA'S
ASSESSORS PLAT NO.1

DRAINAGE EASEMENT
14,620 S.F.
0.34 Ac.

E. LINE OF SW 1/4 SECTION 17-4-23

5 1/2 MILE ROAD

ROW — ROW — ROW — ROW — ROW — ROW

5 1/2 MILE ROAD

ROW — ROW — ROW — ROW — ROW — ROW



VILLAGE OF CALEDONIA

DRAINAGE EASEMENT
DRIFTWOOD LIVING TRUST
TAX ID# 104-04-23-17-650-068

SCALE
0 80 160

PROJECT ID: 0021C035.00

DATE: 7/20/2021

PREPARED BY: JDS1

CHECKED BY: AJM1



SHEET

1

7/26/2021 10:46 AM AJM1 C:\pwworkspace\ajm1\10405117681\Turtle Creek Storm Easement.dwg

DRIFTWOOD LIVING TRUST: Tax ID 104-04-23-17-650-068

Drainage Easement

Land being a part of Lot 13 of Caledonia's Assessors Plat No.1, being part of the Southeast 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Southwest 1/4 of Section 17, Township 4 North, Range 23 East, in the Village of Caledonia, County of Racine, State of Wisconsin described as follows:

Commencing at the Northwest corner of the Southwest 1/4 of said Section; Thence North 89°07'43" East along the North line of Caledonia's Assessors Plat No.1 a distance of 2358.23 feet to the point of beginning of lands being described.

Thence continuing North 89°07'43" East along said North line 324.67 feet to a point on the East line of the Northwest 1/4 of said section; thence South 00°45'45" East along said East line 18.23 feet to the Center 1/4 corner of said section; thence South 00°17'46" East along the East line of the Southwest 1/4 of said Section a distance of 26.77 feet, thence South 89°07'43" West along a line that is 45.00 feet South of and parallel to the North line of Caledonia's Assessors Plat No. 1 a distance of 325.03 feet; thence North 00°01'23" West 45.00 feet to the point of beginning of lands being described.

Containing 14,620 Square feet (0.34 Ac.) of land more or less.

Date: 7/20/2021

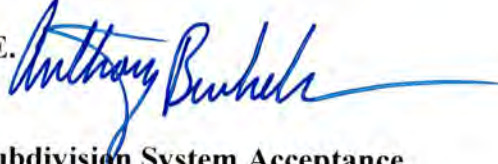
Andrew Miazga (S-2826)

MEMORANDUM

DATE: Wednesday, July 28, 2021

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Utility Director



RE: Auburn Hills Phase 3B – Subdivision System Acceptance

BACKGROUND INFORMATION

The Village, Utility District, and Auburn Hills III, LLC have entered into a Development Agreement for the residential subdivision of Auburn Hills Phase 3B. Auburn Hills Phase 3B requires public improvements such as the subdivision system to be made. The subdivision system includes the sanitary sewerage system, watermain, and storm water utilities.

The work for Auburn Hills Phase 3, including the subdivision system has been completed and has been inspected for compliance with the approved plans and specifications. Asbuilt plans have been prepared and reviewed.

It is hereby recommended that the subdivision system of Auburn Hills Phase 3 be accepted by the Utility District.

RECOMMENDATION

Move to accept the Subdivision System for Auburn Hills Phase 3B.



7044 Ballpark Drive, Suite 200
Franklin, WI 53132
(414) 336-7900 • Fax: (414) 336-7901
www.foth.com

July 28, 2021

Tony Bunkelman, P.E.
Caledonia Utility District
5043 Chester Lane
Racine, WI 53402

RE: Auburn Hills Phase 3B
Sewer, Water, and Storm Utility Approval

Dear Tony:

We have reviewed the construction documentation and surveyed the constructed utilities and recommend the Caledonia Utility District accept the sewer, water, and storm utilities within the Auburn Hills Phase 3B project boundary.

Please call if there are any questions or comments.

Sincerely,
Foth Infrastructure & Environment, LLC

A handwritten signature in blue ink, appearing to read "Andy M. Schultz".

Andy Schultz, PE
Project Manager

cc: Bob Lui – Caledonia Utility District

- UTILITY CONSTRUCTION NOTES:**
1. ALL EXISTING UTILITY APPURTENANCES MAY NEED TO BE RAISED OR LOWERED TO MATCH FINAL GROUND/ROAD ELEVATIONS.
 2. WATER & SANITARY SERVICES FOR LOTS 84, 85, 113, AND 105 PREVIOUSLY INSTALLED CONTRACTOR TO VERIFY LOCATION & ELEVATION.

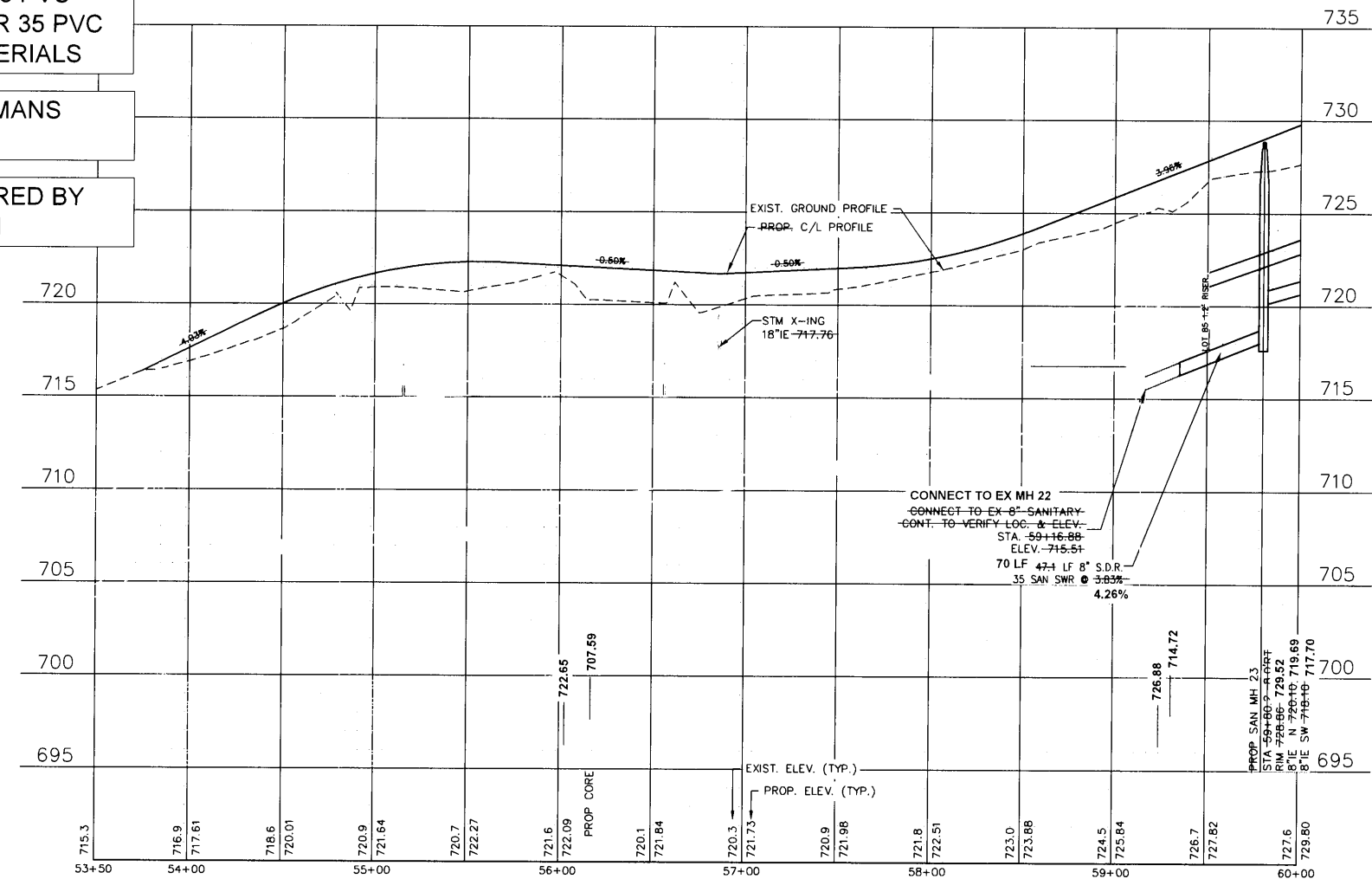
PHASING NOTE:
ALL ELEMENTS SHOWN ARE TO BE BUILT DURING PHASE III - B CONSTRUCTION



**SANITARY MAIN - 8" SDR 35 PVC
SANITARY LATERALS - 4" SDR 35 PVC
MANHOLES - COUNTY MATERIALS**

**CONSTRUCTION BY REESMANS
03/2021 - 05/2021**

**RECORD DRAWINGS PREPARED BY
FOTH (MHY) 7/27/2021**

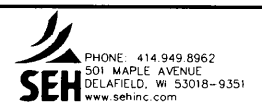


— DIST. FROM D/S MH / LENGTH
— INVERT ELEV. @ R.O.W.
SAN. SERVICE LABEL DETAIL

C:\p_w\workdir\p_w\ie\wd_mhy\0520001\141157_SAN_P & P.dwg 7/27/2021 4:06 PM mhy

DRAWN BY:	ZJH
DESIGNER:	I. VAYNBERG
CHECKED BY:	--
DESIGN TEAM	

NO.	BY	DATE	REVISIONS
1	ZJH	01/04/2018	REVISED PER 11/27/2017 VILLAGE COMMENTS
2	ZJH	03/16/2018	REVISED PER 01/19/2018 VILLAGE COMMENTS
3	ZJH	10/11/2018	REVISED PER ADDITIONAL VILLAGE COMMENTS
4	ZJH	02/19/2019	REVISED PER MEETING WITH VILLAGE

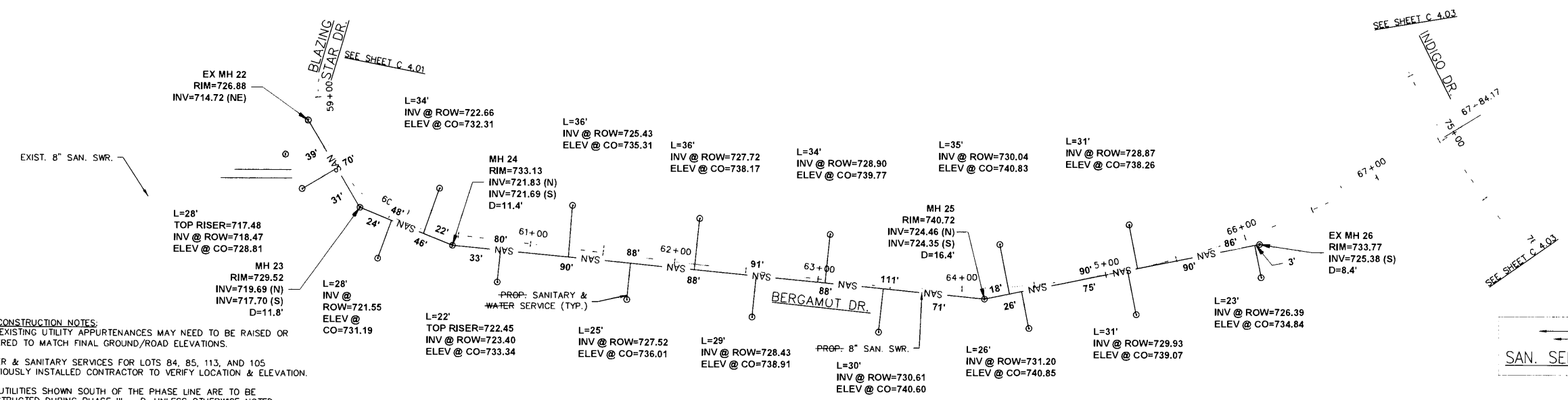
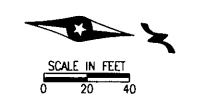


**AUBURN HILLS PHASE III - A & B
VILLAGE OF CALEDONIA, WI**

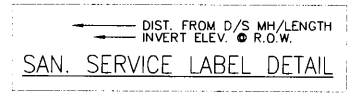
**BLAZING STAR DR - SANITARY AND WATER
PLAN & PROFILE**

FILE NO.	141157
DATE	05/10/2017

C 4.01



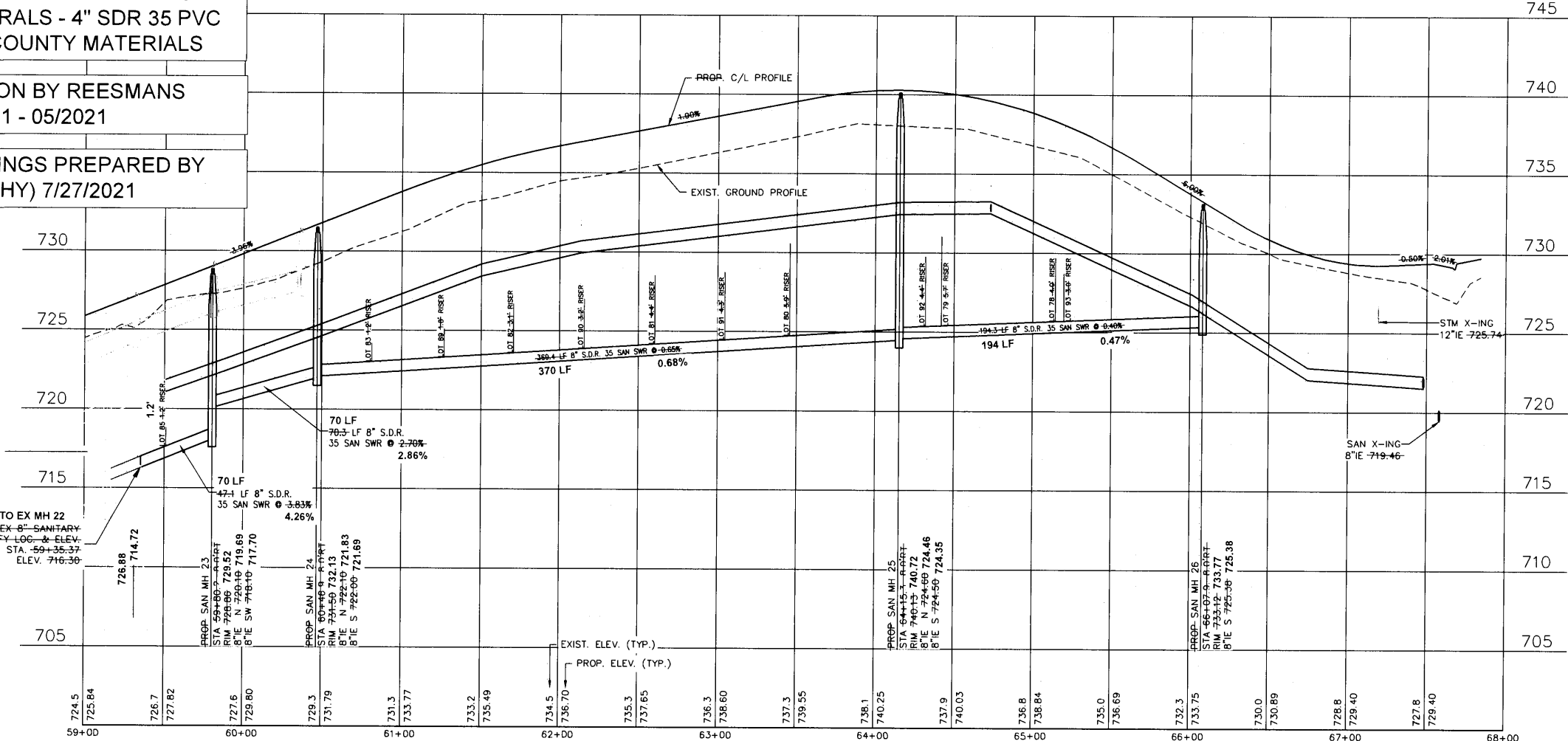
- UTILITY CONSTRUCTION NOTES:**
- ALL EXISTING UTILITY APPURTENANCES MAY NEED TO BE RAISED OR LOWERED TO MATCH FINAL GROUND/ROAD ELEVATIONS.
 - WATER & SANITARY SERVICES FOR LOTS 84, 85, 113, AND 105 PREVIOUSLY INSTALLED CONTRACTOR TO VERIFY LOCATION & ELEVATION.
 - ALL UTILITIES SHOWN SOUTH OF THE PHASE LINE ARE TO BE CONSTRUCTED DURING PHASE III - B, UNLESS OTHERWISE NOTED.



SANITARY MAIN - 8" SDR 35 PVC
SANITARY LATERALS - 4" SDR 35 PVC
MANHOLES - COUNTY MATERIALS

CONSTRUCTION BY REESMANS
03/2021 - 05/2021

RECORD DRAWINGS PREPARED BY
FOTH (MHY) 7/27/2021



C:\pwworkdir\pwe\fd_mhy\0520001\41157_SAN_P & P.dwg 7/27/2021 4:06 PM mhy

DRAWN BY:	ZJH
DESIGNER:	L. VAYNBERG
CHECKED BY:	--
DESIGN TEAM	

NO.	BY	DATE	REVISIONS
1	ZJH	01/04/2018	REVISED PER 11/27/2017 VILLAGE COMMENTS
2	ZJH	03/16/2018	REVISED PER 01/19/2018 VILLAGE COMMENTS
3	ZJH	10/11/2018	REVISED PER ADDITIONAL VILLAGE COMMENTS
4	ZJH	02/19/2019	REVISED PER MEETING WITH VILLAGE



AUBURN HILLS PHASE III - A & B
VILLAGE OF CALEDONIA, WI

BERGAMOT DR - SANITARY AND WATER
PLAN & PROFILE

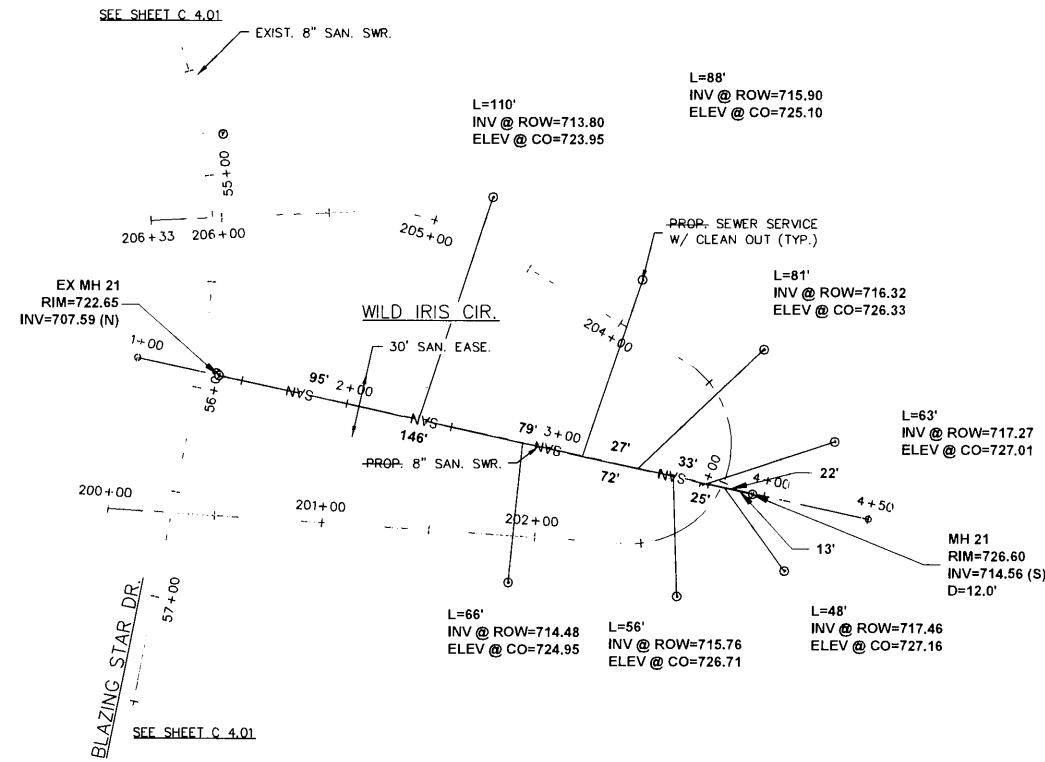
FILE NO.	141157
DATE	05/10/2017

C 4.02

SANITARY MAIN - 8" SDR 35 PVC
 SANITARY LATERALS - 4" SDR 35 PVC
 MANHOLES - COUNTY MATERIALS

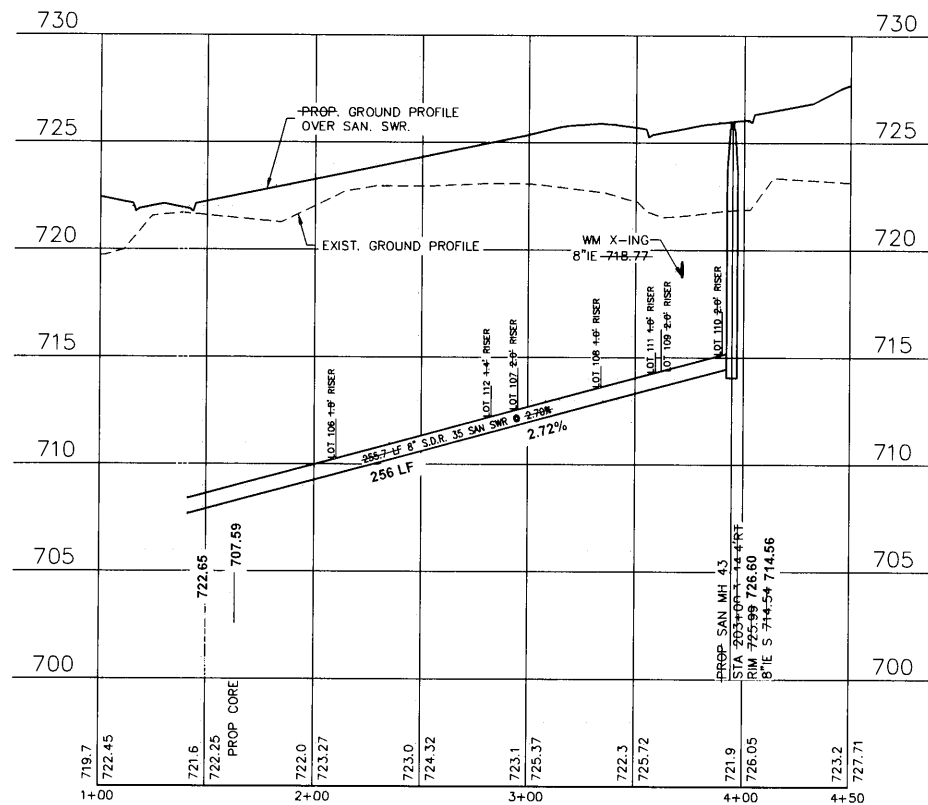
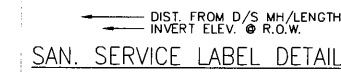
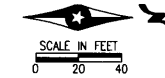
CONSTRUCTION BY REESMANS
 03/2021 - 05/2021

RECORD DRAWINGS PREPARED BY
 FOTH (MHY) 7/27/2021



- UTILITY CONSTRUCTION NOTES:
1. ALL EXISTING UTILITY APPURTENANCES MAY NEED TO BE RAISED OR LOWERED TO MATCH FINAL GROUND/ROAD ELEVATIONS.
 2. WATER & SANITARY SERVICES FOR LOTS 84, 85, 113, AND 105 PREVIOUSLY INSTALLED CONTRACTOR TO VERIFY LOCATION & ELEVATION.

PHASING NOTE:
 ALL ELEMENTS SHOWN ARE TO BE BUILT
 DURING PHASE III - B CONSTRUCTION



DESIGN TEAM	NO.	BY	DATE	REVISIONS
DESIGN TEAM	1	ZJH	01/04/2018	REVISED PER 11/27/2017 VILLAGE COMMENTS
	2	ZJH	03/16/2018	REVISED PER 01/19/2018 VILLAGE COMMENTS
	3	ZJH	10/11/2018	REVISED PER ADDITIONAL VILLAGE COMMENTS
	4	ZJH	02/19/2019	REVISED PER MEETING WITH VILLAGE
	5	ZJH	07/27/2021	REVISIONS

PHONE: 414.949.8962
 501 MAPLE AVENUE
 DELAFIELD, WI 53018-9351
 www.sehinc.com

AUBURN HILLS PHASE III - A & B
 VILLAGE OF CALEDONIA, WI

WILD IRIS CIR - SANITARY AND WATER
 PLAN & PROFILE

FILE NO. 141157	C 4.04
DATE 05/10/2017	

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- UTILITY CONSTRUCTION NOTES:**
- ALL EXISTING UTILITY APPURTENANCES MAY NEED TO BE RAISED OR LOWERED TO MATCH FINAL GROUND/ROAD ELEVATIONS.
 - WATER & SANITARY SERVICES FOR LOTS 84, 85, 113, AND 105 PREVIOUSLY INSTALLED CONTRACTOR TO VERIFY LOCATION & ELEVATION.

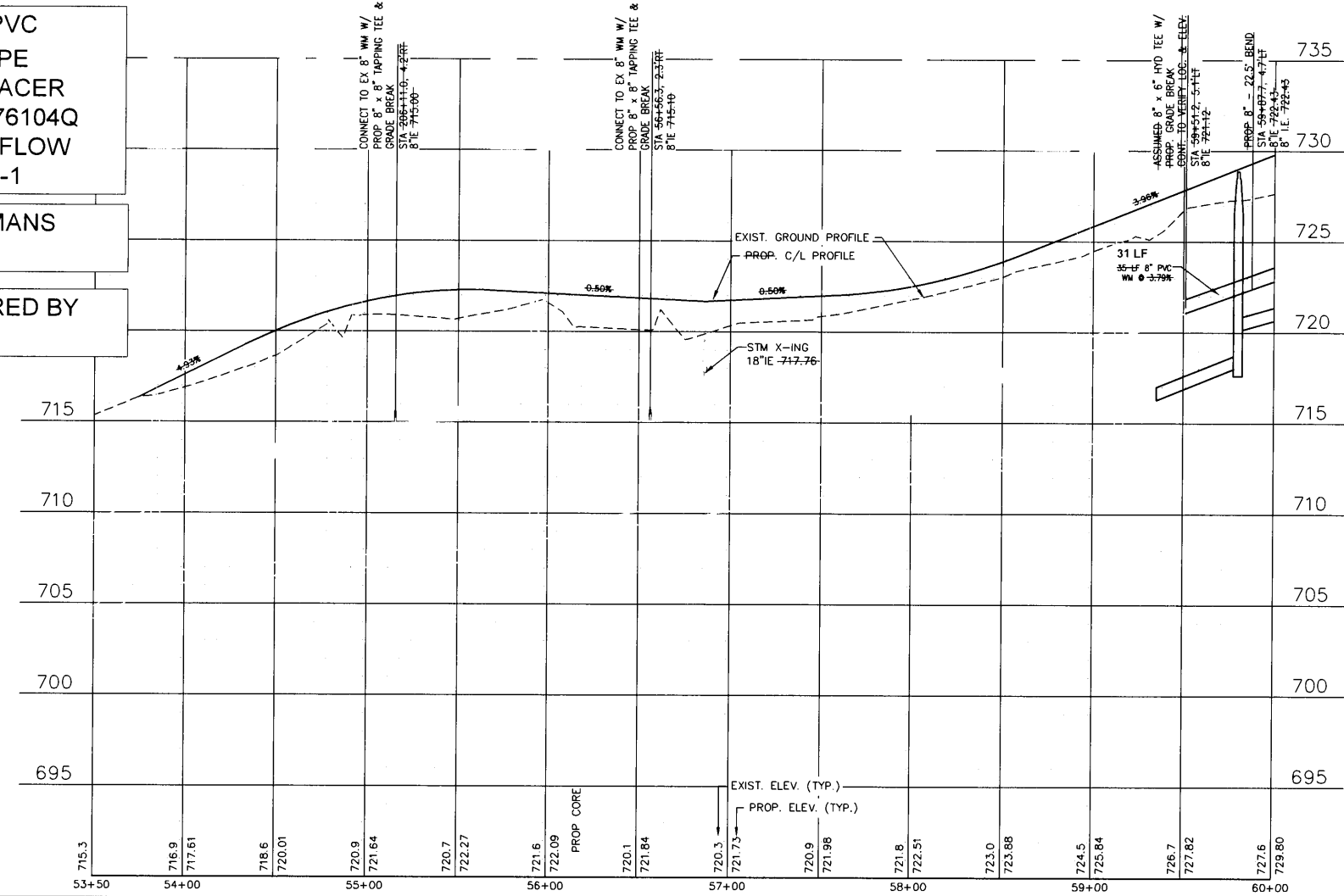
PHASING NOTE:
ALL ELEMENTS SHOWN ARE TO BE BUILT DURING PHASE III - B CONSTRUCTION



WATER MAIN - 8" C-900 PVC
SERVICES - 1 1/4" CTS HDPE
HYDRANTS - WATEROUS PACER
CURB STOPS - MCDONALD 76104Q
GATE VALVES - AMERICAN FLOW
CONTROL SERIES 2500-1

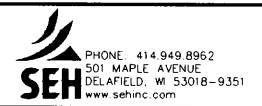
CONSTRUCTION BY REESMANS
03/2021 - 05/2021

RECORD DRAWINGS PREPARED BY
FOTH (MHY) 7/27/2021



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DRAWN BY:	ZJH	01/04/2018	REVISED PER 11/27/2017 VILLAGE COMMENTS
DESIGNER:	L. VAYNBERG	03/16/2018	REVISED PER 01/19/2018 VILLAGE COMMENTS
CHECKED BY:	--	10/11/2018	REVISED PER ADDITIONAL VILLAGE COMMENTS
DESIGN TEAM		02/19/2019	REVISED PER MEETING WITH VILLAGE
NO.	BY	DATE	REVISIONS



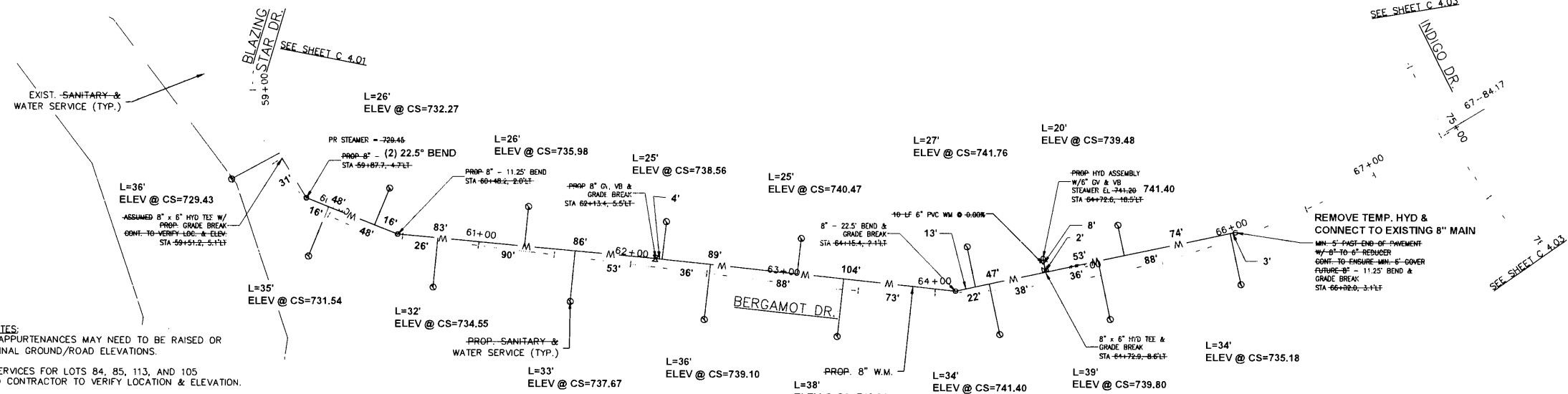
AUBURN HILLS PHASE III - A & B
VILLAGE OF CALEDONIA, WI

BLAZING STAR DR - SANITARY AND WATER
PLAN & PROFILE

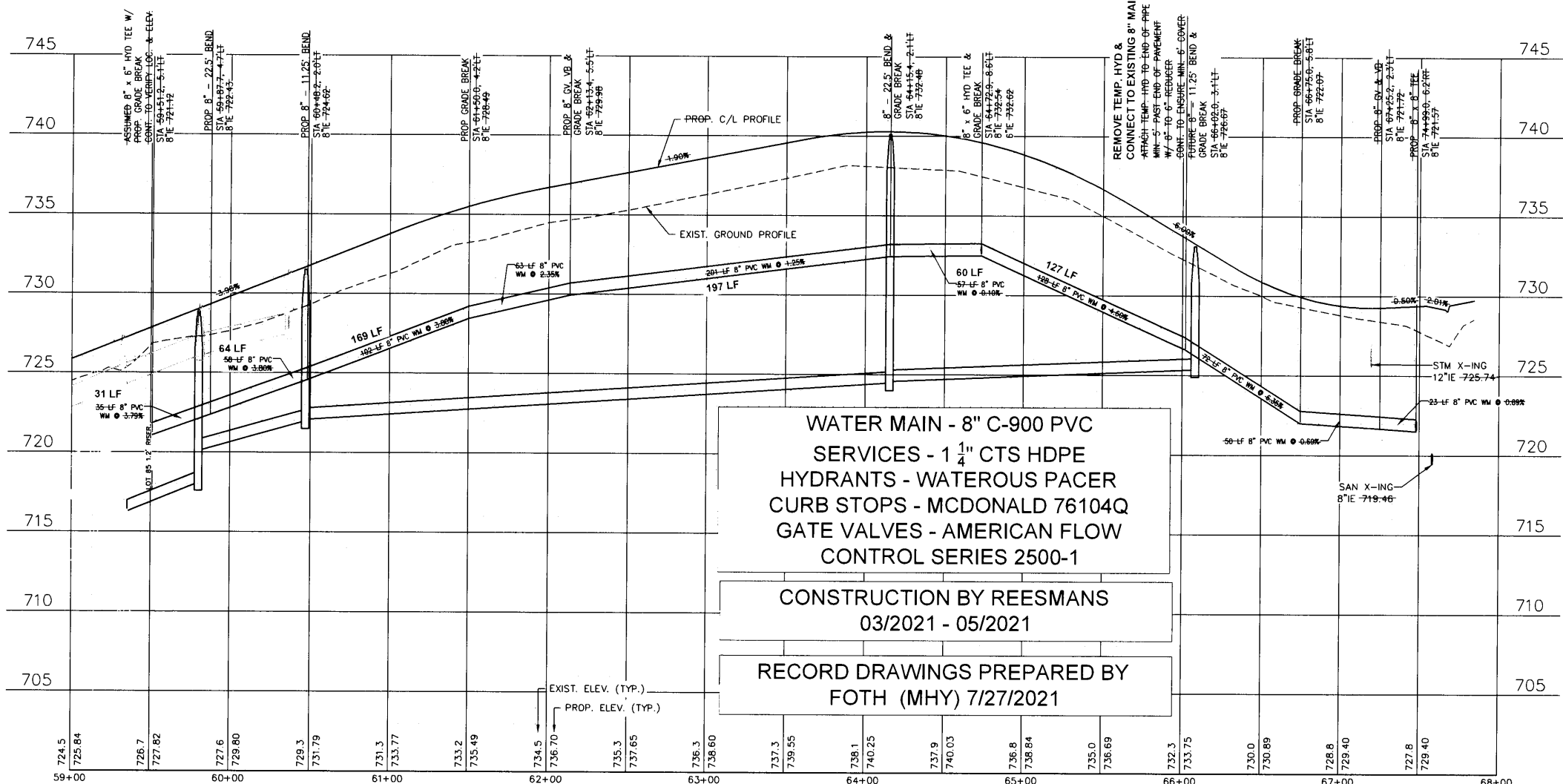
FILE NO.
141157

DATE
05/10/2017

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- UTILITY CONSTRUCTION NOTES:**
- ALL EXISTING UTILITY APPURTENANCES MAY NEED TO BE RAISED OR LOWERED TO MATCH FINAL GROUND/ROAD ELEVATIONS.
 - WATER & SANITARY SERVICES FOR LOTS 84, 85, 113, AND 105 PREVIOUSLY INSTALLED CONTRACTOR TO VERIFY LOCATION & ELEVATION.
 - ALL UTILITIES SHOWN SOUTH OF THE PHASE LINE ARE TO BE CONSTRUCTED DURING PHASE III - B, UNLESS OTHERWISE NOTED.



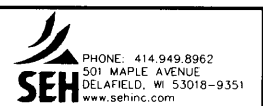
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 SERVICES - 1 1/4" CTS HDPE
 HYDRANTS - WATEROUS PACER
 CURB STOPS - MCDONALD 76104Q
 GATE VALVES - AMERICAN FLOW
 CONTROL SERIES 2500-1

CONSTRUCTION BY REESMANS
 03/2021 - 05/2021

RECORD DRAWINGS PREPARED BY
 FOTH (MHY) 7/27/2021

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DRAWN BY:	ZJH	DATE:	01/04/2018	REVISION:	REVISED PER 11/27/2017 VILLAGE COMMENTS
DESIGNER:	L. VAYNBERG	DATE:	03/16/2018	REVISION:	REVISED PER 01/19/2018 VILLAGE COMMENTS
CHECKED BY:	--	DATE:	10/11/2018	REVISION:	REVISED PER ADDITIONAL VILLAGE COMMENTS
DESIGN TEAM:	--	DATE:	02/19/2019	REVISION:	REVISED PER MEETING WITH VILLAGE
NO.	BY	DATE	REVISIONS		

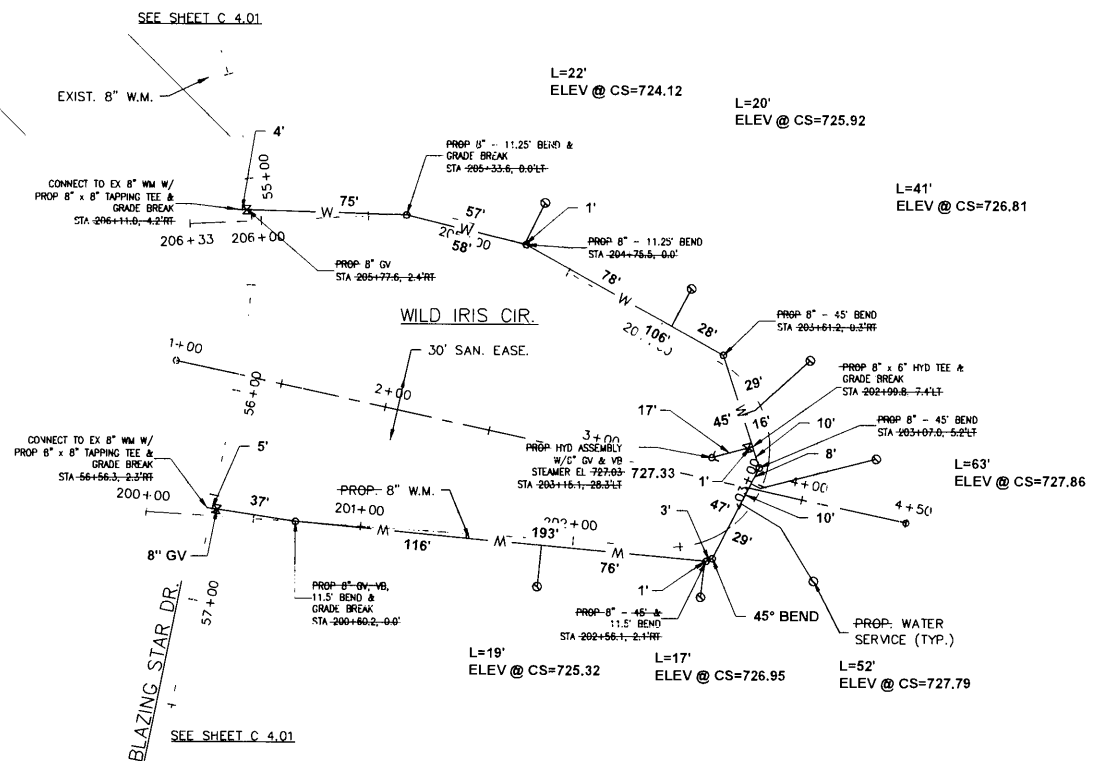


AUBURN HILLS PHASE III - A & B
 VILLAGE OF CALEDONIA, WI

BERGAMOT DR - SANITARY AND WATER
 PLAN & PROFILE

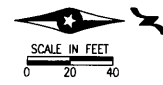
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DATE	05/10/2017

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- UTILITY CONSTRUCTION NOTES:**
1. ALL EXISTING UTILITY APPURTENANCES MAY NEED TO BE RAISED OR LOWERED TO MATCH FINAL GROUND/ROAD ELEVATIONS.
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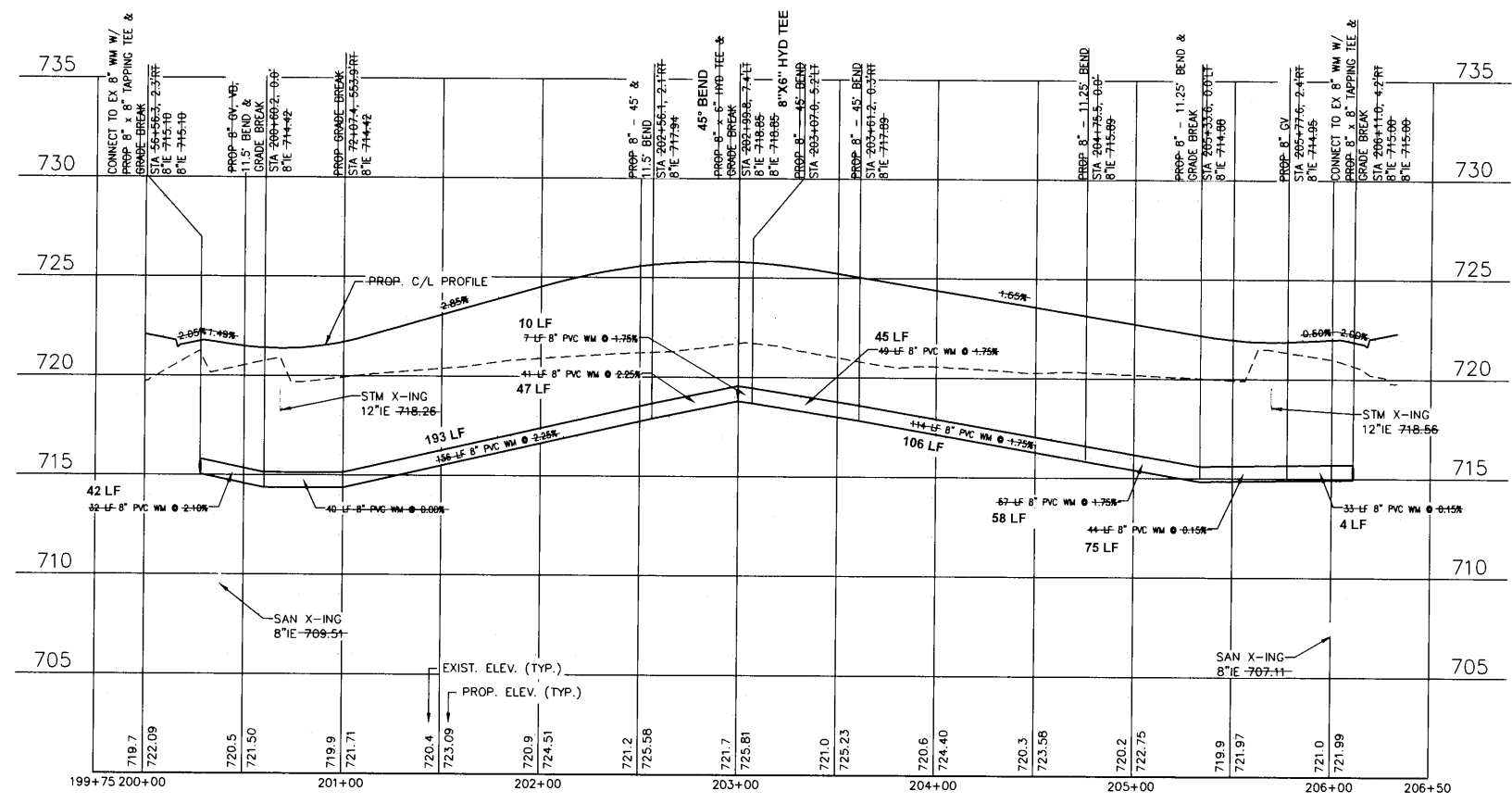
PHASING NOTE:
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SERVICES - 1 1/4" CTS HDPE
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CONTROL SERIES 2500-1

CONSTRUCTION BY REESMANS
03/2021 - 05/2021

RECORD DRAWINGS PREPARED BY
FOTH (MHY) 7/27/2021



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DRAWN BY: ZJH	DATE: 01/04/2018	REVISION: REVISED PER 11/27/2017 VILLAGE COMMENTS	
DESIGNER: L. VAYNBERG	DATE: 03/16/2018	REVISION: REVISED PER 01/19/2018 VILLAGE COMMENTS	
CHECKED BY: ---	DATE: 10/11/2018	REVISION: REVISED PER ADDITIONAL VILLAGE COMMENTS	
DESIGN TEAM	DATE: 02/19/2019	REVISION: REVISED PER MEETING WITH VILLAGE	
NO.	BY	DATE	REVISIONS



AUBURN HILLS PHASE III - A & B
VILLAGE OF CALEDONIA, WI

WILD IRIS CIR - SANITARY AND WATER
PLAN & PROFILE

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DATE
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C 4.04