



VILLAGE OF CALEDONIA UTILITY DISTRICT MEETING AGENDA

Wednesday, April 7, 2021 at 6:00 p.m.
Caledonia Village Hall - 5043 Chester Lane

THIS WILL BE AN IN-PERSON MEETING

1. **Meeting Called to Order**
2. **Roll Call**
3. **Approval of Minutes**
 - a. Utility District Regular Meeting – March 3, 2021
4. **Citizen Comments**
5. **Communications and Announcements**
 - a. Racine Water Utility Agenda & Minutes
 - b. Racine Wastewater Utility Agenda & Minutes
 - c. Operator Position
 - d. PWAC – PSC Final Decision
 - e. MS4 2020 Annual Report
6. **Approval of O&M Bills**
 - a. O&M Bills related to the Sewer Utility District
 - b. O&M Bills related to the Water Utility District
 - c. O&M Bills related to the Storm Water Utility District
7. **Project Updates**
 - a. Construction Contract Status
 - b. Riverbend Drive Lift Station Safety Site
 - c. Riverbend Lift Station & Forcemain Upgrade
 - d. Lighthouse Drive Lift Station Upgrade Site
 - e. Rio Vista, Shorewood & Stonebridge Utility Improvements
 - f. DeBack Industrial Park Phase 3 Improvements
 - g. Annual Televising Program – Sanitary Sewer
 - h. Water Impact Fee / Sewer Connection Fee Update
 - i. EPA Risk & Resilience Assessment and Emergency Response Plan
 - j. Hoods Creek Attenuation Basin Expansion
 - k. Central Lift Station Safety Site
 - l. Central Attenuation Basin
 - m. Hoods Creek – Aldebaran Brushing Project
 - n. Tanglewood Avenue Storm Sewer Replacement Project
 - o. Wind Point West Subdivision Project
 - p. GIS Updates
 - q. Alcyn Drive
 - r. Douglas Avenue OMG Ditch Project
 - s. Turtle Creek Restoration
8. **Action Items**
 - a. Culver's Restaurant – Storm Water Management Plan, Utility Plan & Site Grading Plan Conditional Approval
 - b. Briarwood of Caledonia, LLC – Development Agreement – Authorization of Signatures
 - c. DeBack Farms Phase III Sanitary Sewer Easement – Authorization of Signatures
 - d. DeBack Farms Phase III Watermain Easement – Authorization of Signatures
 - e. DeBack Farms Phase III Drain Tile Easement – Authorization of Signatures
 - f. DeBack Farms Stormwater Easement – Authorization of Signatures
 - g. Consultant Fees Review with possible position creation
9. **Adjournment**

**Village of Caledonia Utility District Meeting
March 3, 2021**

1. Meeting Called to Order – The Regular Meeting of the Village of Caledonia Utility District was held on Wednesday, March 3, 2021, via Zoom. The meeting was called to order by President Howard Stacey at 6:00 pm.

2. Roll Call – Those present on the Zoom call were President Howard Stacey, Commissioners Michael Pirk, Tony Minto, Dave Ruffalo, Nick Sullivan, and Trustee Lee Wishau. Commissioner Brigman was excused. Also present on the call were Utility Manager Robert Lui, and Utility Director Anthony Bunkelman.

DRAFT

3. Approval of Minutes

a. Upon a motion by Wishau and seconded by Pirk, the Commission approved the minutes from the Utility District's previous regular meeting held February 3, 2021. A copy of these minutes have been furnished to each Commissioner. **Motion carried.**

4. Citizen Comments – Citizens Comments are in-person only.

5. Communications and Announcements

a. Racine Water Utility Agenda & Minutes

The Commission looked over the January 19th Minutes and the February 17th Agenda for the Racine Water Utility.

b. Racine Wastewater Utility Agenda & Minutes

The Commission looked over the January 19th Minutes, and the February 17th Agenda for the Racine Wastewater Utility.

c. Operator Position

Operator interviews have been scheduled for March 4th.

d. PWAC – PSC Public Hearing February 19, 2021

The Public Hearing for the PWAC was held on February 19th at 10:00am. No public attended the hearing. Jon Cameron and Bob Lui attended the meeting by phone. The Public Comment period was open until February 25th. We should be receiving a Final Decision from PSC soon.

6. Approval of O&M Bills

a. Upon a motion by Wishau and seconded by Minto, the Commission approved payment of O&M Bills, related to the Sewer Utility District totaling \$120,853.76. **Motion carried.**

b. Upon a motion by Wishau and seconded by Minto, the Commission approved payment of O&M Bills, related to the Water Utility District totaling \$49,024.23. **Motion carried.**

- c. Upon a motion by Wishau and seconded by Pirk, the Commission approved payment of O&M Bills related to the Storm Water Utility District totaling \$15,629.62. **Motion carried.**

7. Project Updates

DRAFT

a. Construction Contract Status

The current contract statuses were shared with the Commissioners.

b. Riverbend Lift Station Safety Site

Working on Facilities Plan. To be completed by July 2021 and submitted to the DNR by September 2021. Preliminary design to be ready by June 2021. Proposed to be bid in January 2022 with Construction February 2022 – September 2022.

c. Riverbend Lift Station & Forcemain Upgrade

Working on Facilities Plan. To be completed by July 2021 and submitted to the DNR by September 2021.

d. Lighthouse Drive Lift Station Upgrade Site

Project completed. Awaiting Final Pay Request. Retainage remains on the contract.

e. South Lane Sanitary Sewer

Change Orders for additional work and miscellaneous quantities on the agenda this evening. Also, on agenda for Final Acceptance and Pay Request.

f. Rio Vista Shorewood & Stonebridge Utility Improvements

Sanitary Sewer lining portion is under way.

g. DeBack Industrial Park Phase 3 Improvements

Coordinating having the Special Assessment Information updated as necessary and looking to schedule Village Board meeting for approval.

h. Annual Televising Program – Sanitary Sewer

Will be reviewing 2020 results when received. Preparing 2021 program.

i. Water Impact Fee / Sewer Connection Fee Update

Met with Foth to discuss proposed Fees. Changes are being made prior to circulation.

j. EPA Risk & Resilience Assessment and Emergency Response Plan

Met with Foth to review each site that the Utility has for Assessment.

k. Hoods Creek Attenuation Basin Expansion

Preliminary Design to be ready by the end of January 2021. Submitted to DNR by June 2021. Proposed to be bid in August 2021 with Construction September 2021 – August 2022.

l. Central Lift Station Safety Site

Working on facilities plan. To be completed by February 2021 and submitted to the DNR by April 2021. Preliminary Design to be ready by February 2021. Proposed to be bid in September 2021 with Construction October 2021 – May 2022.

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m. Central Attenuation Basin

Preliminary Design to be ready by September 2022. Submitted to DNR by March 2023. Proposed to be bid in April 2023 with Construction May 2023 – July 2024.

n. Hoods Creek – Aldebaran Brushing Project

Awaiting frozen ground and weather. Will re-assess the needs of the Hoods Creek along the Aldebaran Subdivision.

o. Tanglewood Avenue Storm Sewer Replacement Project

Project completed. Awaiting Final Pay Request. Retainage remains on contract.

p. Wind Point West Subdivision Project

Project completed. Awaiting Final Pay Request. Retainage remains on contract.

q. GIS Updates

Hyperlinking of Easement documents and Storm Sewer Projects ongoing. Will be gathering Subdivision Plats and Subdivision Plans as time allows.

r. Alcyn Drive – Drainage Complaint

Waiting for contractor pricing. Then will respond to owners.

s. Douglas Avenue – OMG Ditch Project

Only one owner to the North responded and that owner does not want to participate. Informed Foth to proceed with plans to get out for bidding and construction in 2021.

t. Turtle Creek Restoration

Reached out to Dave Giordano of Root Pike WIN for electronic files from consultant. Will use file when received for creating Easement documents and a Relocation Order.

8. Action Items

a. Auburn Hills Phase 3B – Development Agreement – Authorization of Signatures

Upon a motion by Minto and seconded by Sullivan, the Commission moved to authorize the President and Secretary of the Caledonia Utility District to execute the Development Agreement and Storm Water Management Maintenance Agreement for Auburn Hills Phase 3B. **Motion carried.**

b. South Lane Sanitary Sewer Change Order

DRAFT

During the project there was a need for additional restoration of the road ditches due to the repaving of the road. This change order was for \$12,180.00 or 1.78% of the project cost.

Included in this action item is a Change Order for adjusting miscellaneous items to match what was installed. There was a change in 15 bid items that account for \$26,842.90 or 3.89% of the project cost.

Upon a motion by Wishau and seconded by Pirk, the Commission moved to approve Change Order #3 in the amount of \$12,180.00 and Change Order #4 in the amount of \$26,842.90 for the South Lane Sanitary Sewer Relay. **Motion carried.**

c. South Lane Sanitary Sewer Final Pay Request and Acceptance

With the project completed it is recommended that the Project be accepted for Final Payment.

Upon a motion by Ruffalo and seconded by Minto the Commission moved to recommend Final Acceptance of the South Lane Sanitary Sewer Replacement Project. **Motion carried.**

d. Consultant Fees Review with possible position creation

Upon a motion by Wishau and seconded by Pirk, the Commission moved to lay over this item until next month to set up a meeting with Foth to ask questions and to await direction from Racine on the Sanitary Sewer. **Motion carried 4 - 2. (Sullivan & Ruffalo opposed)**

9. Adjournment

Upon a motion by Minto and seconded by Pirk, the Commission moved to adjourn the regular meeting at 6:30pm. **Motion carried.**

Respectively submitted,
Anthony A. Bunkelman P.E. Utility Director



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Agenda - Draft Waterworks Commission

Tuesday, March 16, 2021

4:00 PM

Virtual

Roll Call

- 0132-21 **Subject:** Approval of Minutes for the February 17, 2021 Meeting
Attachments: water minutes 02.17.21
- 0168-21 **Subject:** Bond Refinance Opportunity (Brad Viegut, Baird invited)
Attachments: bond refinance opportunity
- 0162-21 **Subject:** Proposal from AECOM for 2021 Leak Detection Services
Attachments: AECOM services agreement
- 0099-21 **Subject:** Proposal from CDM Smith for construction related services for low lift pump project
Attachments: vfd services proposal 2021-02-09
- 0163-21 **Subject:** Developers Agreement for Savannah Grove Subdivision in Mt. Pleasant (Sego Services)
Attachments: developers agreement -sego services
- 0107-21 **Subject:** Presentation TID 5 Wisconn Valley Way Water Main (Braun Rd to CTH KR) Construction Review Services
Attachments: map
 construction review services
- 0186-21 **Subject:** Change Order No. 3 on Contract W-20-9, Washington Avenue Water Main Replacement, Globe Contractors, Inc. (Contractor)
Attachments: co3 w.20.9
 w.20.9 co3
- 0187-21 **Subject:** Request for Final Payment on Contract W-20-9, Washington Avenue Water Main Replacement, Globe Contractors, Inc.
Attachments: final pay app w.20.9
 w.20.9 final
- 0189-21 **Subject:** Request for Final Payment on Contract W-19-12, Summit Avenue Elevated Storage Tank Pumping Station, Staab Construction

Corporation (Contractor)

Attachments: [w.19.12 final pmnt](#)

0183-21 **Subject:** Bid Opening Results on Contract W-21-1, Perry Avenue Tank Roof Replacement

Attachments: [w.21.1 perry ave tank](#)

0145-21 **Subject:** Bid Opening Results on Contract W-21-4, Pavement Restoration

Attachments: [bid opening results w.21.4](#)

0169-21 **Subject:** Bid Opening Results on Contract W-21-5, North Side Lead Service Replacements

Attachments: [w.21.5 bid opening memo](#)

0170-21 **Subject:** Bid Opening Results on Contract W-21-6, South Side Lead Service Replacements

Attachments: [w.21.6 bid opening](#)

Adjournment

If you are disabled and have accessibility needs or need information interpreted for you, please contact the office of the General Manager at (262) 636-9181 at least 48 hours prior to this meeting. For meeting access, you may call 301-715-8592 or 312 626 6799 Webinar ID: 957 3652 7124 Passcode: 540414



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Minutes - Draft

Waterworks Commission

Wednesday, February 17, 2021

4:00 PM

City Hall Annex, Room 227

Roll Call

PRESENT: 8 - Terry McCarthy, Natalia Taft, John Tate II, Stacy Sheppard, Shannon Powell, Matthew Rejc, Cory Mason and Kathleen Fischer

0076-21

Subject: Approval of Minutes for the January 19, 2021 Meeting

Recommendation: Approve

A motion was made by McCarthy, seconded by Rejc, that this file be Approved

0100-21

Subject: Budget Expenditures for December, 2020 totaling \$2,165,242.25

Recommendation: Approve

A motion was made by McCarthy, seconded by Sheppard, that this file be Approved

0073-21

Subject: Project Reports:

- A) Vacancy Update
- B) Drinking Water Infrastructure Needs Survey
- C) Corrosion Control Study
- D) DNR Grant Private LSL Replacement

Recommendation: Receive and File

Project reports given by staff.

A motion was made that this file be Received and Filed

0805-20

Subject: Change Order No. 3 on Contract W-18-9, West Rd Transmission Water Main, A.W. Oakes & Son, Inc. (Contractor)

Recommendation: Approve

The interim General Manager submitted Change Order No. 3 on Contract W-18-9 a credit in the amount of \$8,634.00 and recommend for approval.

A motion was made by McCarthy, seconded by Powell, that this file be

Approved

0102-21

Subject: Request for Final Payment on Contract W-18-8, Spring Street Transmission Water Main, Globe Contractors, Inc. (Contractor)

Recommendation: Approve

The Interim General Manager submitted final pay request on Contract W-18-8. Further recommends that work performed by Globe Contractors, Inc. (Contractor) be accepted and final payment be authorized for a total contract amount of \$5,722,326.23.

A motion was made by Sheppard, seconded by McCarthy, that this file be Approved

0778-20

Subject: Request for Final Payment on Contract W-18-10, Perry Avenue Pumping Station Improvements, Staab Construction Corporation (Contractor)

Recommendation: Approve

The Interim General Manager submitted final pay request on Contract W-18-10. Further recommends that worked performed by Staab Construction Corporation (Contractor) be accepted and final payment be authorized for a total contract amount in the amount of \$1,078,046.00.

A motion was made by Sheppard, seconded by Mason, that this file be Approved

0103-21

Subject: Request for Final Payment on Contract W-19-6, STH 11 Transmission Water Main, Globe Contractors, Inc. (Contractor)

Recommendation: Approve

The Interim General Manager submitted final pay request on Contract W-19-6. Further recommends that worked performed by Globe Contractors, Inc. (Contractor) be accepted and final payment be authorized for a total contract amount in the amount of \$1,445,941.00.

A motion was made by Powell, seconded by McCarthy, that this file be Approved

0105-21

Subject: Request for Final Payment on Contract W-19-18, STH 20 Pumping Station Improvements, Staab Construction Corporation (Contractor)

Recommendation: Approve

The interim General Manager submitted final pay request on Contract W-19-18. Further recommends that work performed by Staab Construction Corporation (Contractor) be accepted and final payment be authorized for a total contract amount in the amount of \$1,633,067.00.

A motion was made by Sheppard, seconded by McCarthy, that this file be Approved

0070-21

Subject: Authorize the Utility to Enter into Real Estate Agreement with the Greek Orthodox Church for Easement necessary for short water main extension through 1335 S Green Bay Rd

Recommendation: Approve

The Interim General Manager explained the need for the easement to provide a backup water main feed and redundant service to the Racine Shopping Center through property owned by the Greek Orthodox Church.

A motion was made by McCarthy, seconded by Sheppard, that this file be Approved

Adjournment

There being no further business, the meeting was adjourned at 5:09 p.m.



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Agenda - Draft Wastewater Commission

Tuesday, March 16, 2021

4:30 PM

City Hall Annex, Room 227

Roll Call

0074-21 **Subject:** Approval of Minutes for the February 17, 2021 Meeting

Attachments: ww minutes 2.17.21

0133-21 **Subject:** Project Reports:

- A) Audit Update
- B) Construction Projects
- C) Utility Safety Sites

0164-21 **Subject:** Amendment No. 1 to AECOM Coordination Services related to Facilities Plan

Attachments: amendment no. 1

Adjournment

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Webinar ID: 948 8358 1069 Passcode: 6633614461



City of Racine

City Hall
730 Washington Ave.
Racine, WI 53403
www.cityofracine.org

Meeting Minutes - Draft

Wastewater Commission

Wednesday, February 17, 2021

4:30 PM

City Hall Annex, Room 227

Roll Call

PRESENT: 12 - Terry McCarthy, Natalia Taft, John Hewitt, Anthony Bunkelman, Robert Lui, Stacy Sheppard, Shannon Powell, Thomas Friedel, Claude Lois, John Tate II, Matthew Rejc and Cory Mason

EXCUSED: 2 - Daryl Lynaugh and Jerrold Klinkosh

0075-21

Subject: Approval of Minutes for the January 19, 2021 Meeting

Recommendation: Approve

A motion was made by Lois, seconded by Lui, that this file be Approved

0101-21

Subject: Budget Expenditures for December 2020 totaling \$3,114,643.50

Recommendation: Approve

A motion was made by Secretary McCarthy, seconded by Tate II, that this file be Approved

0109-21

Subject: Approval of Mt. Pleasant 2021 Interceptor Wastewater Transmission Rates

Recommendation: Approve

The Interim General Manager explained that the Village of Mt. Pleasant calculates transmission rates annually for wastewater flow through the Village interceptor by methodology established in the 1993 agreement between the Village and City of Racine. The rate for 2021 is \$212.25 per million gallons. The rate has been reviewed and approved by the Mt. Pleasant sewer commission. The Interim General Manager recommended approval.

A motion was made by Sheppard, seconded by Hewitt, that this file be Approved

0037-21

Subject: Communication from the City of Racine with regard to peak flows (Rusty Schroedel from AECOM invited to meeting)

Recommendation: Approve

Presentation given by Mr. Schroedel from AECOM regarding tentative plans to mitigate Racine peak flows below Sewer Agreement capacity thresholds.

A motion was made that this file be Received and Filed

A Motion was made to grant temporary relief of the sewer connection and extension moratorium for a period of six months with the expectation for Racine to return to commission with a more defined plan.

A motion was made by Mason, seconded by Secretary McCarthy, that this file be Approved

0866-20

Subject: Presentation from Village of Caledonia with regard to peak flow mitigation plan regarding capacity allocation above certain thresholds

Recommendation: Defer

The Village of Caledonia was granted a temporary sewer moratorium relief by commission action on July 28, 2020 with no end date. Utility Director and alternate commissioner, Tony Bunkelman presented the Village plan to mitigate peak flows below Sewer Agreement capacity thresholds and remove the moratorium. Short term action includes completion of the facility plan at both the Riverbend LS and Central LS. This plan would transition to the installation of safety sites and storage basins at both lift stations. Two of a total of seven sewer rate increases have been approved toward funding of the capital projects. A schedule of action was included with project completion dates ranging from 2022 to 2024.

A motion to approve the plan was made by Lois, seconded by Lui - No vote was taken on the approval motion

A motion was made by Tate II, seconded by Sheppard to defer the plan

Commission President Taft stated that the deferral motion took precedence over the approval motion. Commissioner Tate II indicated he would not approve the installation of a safety site at the Riverbend LS, as diluted sewage would flow through his aldermatic district; instead preference given for greater mediation mechanisms. Discussion ensued regarding the current existence and use of more than a dozen safety sites located throughout the City. Safety site installations require WDNR approval. Commissioner Lui questioned if the removal of the Riverbend safety site would allow the Commission to approve the plan. Commissioner Taft replied it would not and substantially more was needed in the plan. Commissioner Lois questioned what the Village specifically needed to do for approval. Temporary moratorium relief is a possible impediment to community development projects. It was suggested that the Village assess potential collaboration with other SSR parties. Mr. Bunkelman indicated that the Village did meet with the City, but collaboration was not considered beneficial to the Village. Commissioner Taft indicated that the deferral would persist until the Village requests to return to commission with a revised plan.

A motion was made by Tate II, seconded by Sheppard, that this file be Deferred

AYES: 7 - McCarthy
Taft
Sheppard
Powell
Tate II
Rejc
Mason

NOES: 3 - Hewitt
Lui
Lois

EXCUSED: 2 - Lynaugh
Klinkosh

0071-21 **Subject:** Briefing on the CNH property acquisition. Attorney, Art Harrington invited

Recommendation: Defer

Item was not presented due to time constraints

A motion was made by Tate II, seconded by Secretary McCarthy, that this file be Deferred

0072-21 **Subject:** CNH property acquisition Letter of Intent

Recommendation: Defer

Item was not presented due to time constraints

A motion was made by Tate II, seconded by Secretary McCarthy, that this file be Deferred

Adjournment

Due to a lack of quorum as to Commissioners had to attend Common Council meeting adjourned at 6:49 p.m.

SERVICE DATE
Mar 08, 2021

PSC REF#: 406391

Public Service Commission of Wisconsin
RECEIVED: 03/08/2021 3:05:01 PM

PUBLIC SERVICE COMMISSION OF WISCONSIN

Application of the Village of Caledonia, Racine County, Wisconsin,
as a Water Public Utility, for Authority to Adjust Water Rates
through its Purchased Water Adjustment Clause

900-PW-102

FINAL DECISION

This is the Final Decision in the Class 1 proceeding conducted by the Public Service Commission (Commission) on the application of the Village of Caledonia Water Utility (applicant) for approval to adjust water rates through its Purchased Water Adjustment Clause (PWAC) in Schedule PWAC-1 of its tariff. This application is APPROVED, subject to conditions.

Introduction

The applicant applied to the Commission on December 28, 2020 for authority to adjust water rates through its PWAC. Pursuant to due notice, the Commission held an audio hearing on February 19, 2021 before Administrative Law Judge Michael E. Newmark. The parties, for purposes of review under Wis. Stat. §§ 227.47 and 227.53, are listed in Appendix A. The applicant was the only party to this proceeding.

The applicant purchases water at wholesale from Racine Water Works Commission (Racine). In the Final Decision in docket 4900-WR-114, served on October 13, 2020, the Commission approved Racine's application to increase water rates and revise tariff provisions, pursuant to Wis. Stat. §§ 196.02(1), 196.03(1) and (3), 196.19, 196.20, 196.22, 196.37(1), (2), and (3), and 196.395. (PSC REF#: 398208.) Under Schedule PWAC-1, a utility that purchases water at wholesale may apply to the Commission for an adjustment to its water rates based on a

Docket 900-PW-102

formula in the schedule to reflect an increase or decrease in the rates charged by the wholesale provider.

Findings of Fact

1. The Commission approved the application of Racine in docket 4900-WR-114 to increase water rates on October 13, 2020, pursuant to Wis. Stat. §§ 196.02(1), 196.03(1) and (3), 196.19, 196.20, 196.22, 196.37(1), (2), and (3), and 196.395.
2. The applicant is a wholesale customer of Racine.
3. An increase in water rates authorized to a wholesale water provider increases purchased water costs to the wholesale water customers.
4. It is reasonable for wholesale water customers to recover from its retail customers the appropriate cost of water purchased.
5. The rates and tariff provisions authorized by this Final Decision are just and reasonable as all customers will be required to pay an appropriate amount for the service provided.

Conclusions of Law

1. The applicant is a municipal public utility as defined in Wis. Stat. § 196.01(5)(a).
2. The Commission has authority under Wis. Stat. §§ 196.02(1), 196.03(1) and (3), 196.19, 196.20, 196.22, 196.37(1), (2), and (3), and 196.395 to authorize the applicant to adjust water utility rates and revise tariff provisions.
3. The Commission has authority under Wis. Stat. § 15.02(4) to delegate to the Administrator of the Division of Water Utility Regulation and Analysis (Division Administrator)

Docket 900-PW-102

those functions vested by law as enumerated above and has delegated authority to issue this Final Decision to the Division Administrator.

Opinion

Schedule PWAC-1 of the applicant's tariff on file with the Commission provides that the utility may apply to the Commission for a water rate adjustment if its wholesale water provider increases the rates it charges. Schedule PWAC-1 provides a formula to reflect an increase or decrease in rates charged by the wholesale water service provider, Racine. Schedule PWAC-1 functions as a pass-through mechanism to align the rates charged by the applicant to its customers with the applicant's purchased water costs. The Commission reviewed the information submitted by the applicant in support of its application to adjust water rates by applying the PWAC and determined the water rate increase is justified as requested.

The water service rates and tariff provisions authorized in this decision are set forth in Appendix B and are based on the cost of supplying various classes or types of service. All customers will be required to pay an appropriate amount for the service provided.

The typical water bill for general service for an average single family residential customer with a 5/8-inch or 3/4-inch meter who uses 1,200 cubic feet of water per quarter will increase from \$76.07 to \$81.06, an increase of 6.56 percent.

Public Comments

The Commission received no public comments on the Electronic Records Filing (ERF) system. No members of the public attended or provided comments at the hearing.

Order

1. The application to adjust water rates is approved, as set forth in Appendix B.

Docket 900-PW-102

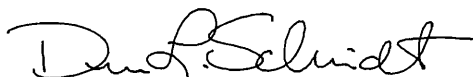
2. The authorized rate increases and tariff provisions shall take effect no sooner than one day after the day the applicant has: (a) filed these rates and tariff provisions with the Commission; and (b) made them available to the public at locations where customer payments are accepted, on the applicant's website, or in a form and place that is otherwise readily accessible to the public, pursuant to Wis. Stat. § 196.19 and Wis. Admin. Code § PSC 185.33(1) (f). If a copy of the new rates and tariff provisions is not made available to the public when they are filed with the Commission, the new rates and tariff provisions shall take effect one day after the day they are made available to the public.

3. The rates approved in this docket shall take effect no later than 90 days from the service date of this Final Decision or as directed by the Commission or Commission staff.

4. Jurisdiction is retained.

Dated at Madison, Wisconsin, March 8, 2021.

For the Commission:



Denise L. Schmidt
Administrator
Division of Water Utility Regulation and Analysis

DLS:ajh:ggl DL:01785723

PUBLIC SERVICE COMMISSION OF WISCONSIN
4822 Madison Yards Way
P.O. Box 7854
Madison, Wisconsin 53707-7854

**NOTICE OF RIGHTS FOR REHEARING OR JUDICIAL REVIEW, THE
TIMES ALLOWED FOR EACH, AND THE IDENTIFICATION OF THE
PARTY TO BE NAMED AS RESPONDENT**

The following notice is served on you as part of the Commission's written decision. This general notice is for the purpose of ensuring compliance with Wis. Stat. § 227.48(2), and does not constitute a conclusion or admission that any particular party or person is necessarily aggrieved or that any particular decision or order is final or judicially reviewable.

PETITION FOR REHEARING

If this decision is an order following a contested case proceeding as defined in Wis. Stat. § 227.01(3), a person aggrieved by the decision has a right to petition the Commission for rehearing within 20 days of the date of service of this decision, as provided in Wis. Stat. § 227.49. The date of service is shown on the first page. If there is no date on the first page, the date of service is shown immediately above the signature line. The petition for rehearing must be filed with the Public Service Commission of Wisconsin and served on the parties. An appeal of this decision may also be taken directly to circuit court through the filing of a petition for judicial review. It is not necessary to first petition for rehearing.

PETITION FOR JUDICIAL REVIEW

A person aggrieved by this decision has a right to petition for judicial review as provided in Wis. Stat. § 227.53. In a contested case, the petition must be filed in circuit court and served upon the Public Service Commission of Wisconsin within 30 days of the date of service of this decision if there has been no petition for rehearing. If a timely petition for rehearing has been filed, the petition for judicial review must be filed within 30 days of the date of service of the order finally disposing of the petition for rehearing, or within 30 days after the final disposition of the petition for rehearing by operation of law pursuant to Wis. Stat. § 227.49(5), whichever is sooner. If an *untimely* petition for rehearing is filed, the 30-day period to petition for judicial review commences the date the Commission serves its original decision.¹ The Public Service Commission of Wisconsin must be named as respondent in the petition for judicial review.

If this decision is an order denying rehearing, a person aggrieved who wishes to appeal must seek judicial review rather than rehearing. A second petition for rehearing is not permitted.

Revised: March 27, 2013

¹ See *Currier v. Wisconsin Dep't of Revenue*, 2006 WI App 12, 288 Wis. 2d 693, 709 N.W.2d 520.

CONTACT LIST FOR SERVICE BY PARTIES

PUBLIC SERVICE COMMISSION OF WISCONSIN

(Not a party but must be served per Wis. Stat. § 227.53)

KARA KOONCE; ALEX HANNA

4822 MADISON YARDS WAY PO BOX 7854

MADISON, WI 53707

KARA.KOONCE@WISCONSIN.GOV; ALEX.HANNA@WISCONSIN.GOV

VILLAGE OF CALEDONIA WATER UTILITY

BOB LUI

333 4 ½ MILE ROAD

CALEDONIA, WI 53402

BLUI@CALEDONIAWIUTILITY.COM

Village of Caledonia Water Utility
Authorized Water Rates

Docket 900-PW-102

Village of Caledonia Water Utility
Water Rate File Changes

Amended

- F-1
- Mg-1
- W-1

RATE FILE

Sheet No. 1 of 1

Schedule No. F-1

Amendment No. 43

Public Service Commission of Wisconsin

Village of Caledonia Water Utility

Public Fire Protection Service

Public fire protection service shall include the use of hydrants for fire protection service only and such quantities of water as may be demanded for the purpose of extinguishing fires within the service area. This service shall also include water used for testing equipment and training personnel. For all other purposes, the metered or other rates set forth, or as may be filed with the Public Service Commission shall apply.

Under Wis. Stat. § 196.03(3)(b), the municipality has chosen to have the utility bill the retail general service customers for public fire protection service.

Quarterly Public Fire Protection Service Charges:

5/8 - inch meter:	\$ 15.53	3 - inch meter:	\$ 231.86
3/4 - inch meter:	\$ 15.53	4 - inch meter:	\$ 387.51
1 - inch meter:	\$ 38.76	6 - inch meter:	\$ 775.01
1 1/4 - inch meter:	\$ 57.17	8 - inch meter:	\$ 1,241.92
1 1/2 - inch meter:	\$ 76.24	10 - inch meter:	\$ 1,861.29
2 - inch meter:	\$ 123.88	12 - inch meter:	\$ 2,480.66

Customers who are provided service under Schedules Mg-1, Ug-1, or Sg-1 shall also be subject to the charges in this schedule according to the size of their primary meter.

Billing: Same as Schedule Mg-1.

Public Service Commission of Wisconsin

Village of Caledonia Water Utility

General Service - Metered

Quarterly Service Charges:

5/8 - inch meter:	\$ 22.09	3 - inch meter:	\$ 164.86
3/4 - inch meter:	\$ 22.09	4 - inch meter:	\$ 255.05
1 - inch meter:	\$ 36.71	6 - inch meter:	\$ 475.90
1 1/4 - inch meter:	\$ 49.77	8 - inch meter:	\$ 730.95
1 1/2 - inch meter:	\$ 65.32	10 - inch meter:	\$ 1,097.98
2 - inch meter:	\$ 99.53	12 - inch meter:	\$ 1,465.01

Plus Volume Charges:

First	20,000	cubic feet used quarterly:	\$3.62 per 100 cubic feet
	(149,600	gallons used quarterly:	\$4.84 per 1,000 gallons)
Next	180,000	cubic feet used quarterly:	\$3.57 per 100 cubic feet
	(1,346,400	gallons used quarterly:	\$4.77 per 1,000 gallons)
Over	200,000	cubic feet used quarterly:	\$3.47 per 100 cubic feet
	(1,496,000	gallons used quarterly:	\$4.64 per 1,000 gallons)

Billing: Bills for water service are rendered quarterly and become due and payable upon issuance following the period for which service is rendered. A late payment charge of 1 percent per month will be added to bills not paid within 20 days of issuance. This late payment charge will be applied to the total unpaid balance for utility service, including unpaid late payment charges. The late payment charge is applicable to all customers. The utility customer may be given a written notice that the bill is overdue no sooner than 20 days after the bill is issued. Unless payment or satisfactory arrangement for payment is made within the next 10 days, service may be disconnected pursuant to Wis. Adm. Code ch. PSC 185.

Combined Metering: For a residential customer with more than one meter on a single service lateral, volumetric reading from all meters shall be combined for billing. For a nonresidential customer, volumetric readings may be combined for billing if the utility for its own convenience places more than one meter on a single water service lateral. Multiple meters placed for the purpose of identifying water not discharged into the sanitary sewer are not considered for utility convenience and may not be combined for billing. This requirement does not preclude the utility from combining readings where metering configurations support such an approach. Volumetric readings from individually metered separate service laterals may not be combined for billing purposes.

RATE FILE

Sheet No. 1 of 1

Schedule No. W-1

Amendment No. 43

Public Service Commission of Wisconsin

Village of Caledonia Water Utility

Wholesale Water Service

Wholesale water service to the Wind Point Municipal Water Utility shall be provided at the following rates:

Public Fire Protection Service

Service Charge: \$ 10,529.00 per quarter

General Service

Service Charge: Based on Schedule Mg-1 Service Charges for all wholesale meters.

Volume Charge: \$ 3.47 per 100 cubic feet

Billing: Same as Schedule Mg-1.

Submittal of Annual Reports and Other Compliance Documents for Municipal Separate Storm Sewer System (MS4) Permits

NOTE: Missing or incomplete fields are highlighted at the bottom of each page. You may save, close and return to your draft permit as often as necessary to complete your application. After 120 days your draft is **deleted**.

Reporting Information

Will you be completing the Annual Report or other submittal type? Annual Report Other

Project Name: 2020 MS4 Annual Report

County: Racine

Municipality: Caledonia Village

Permit Number: S050059

Facility Number: 31160

Reporting Year: 2020

Is this submittal also satisfying an Urban Nonpoint Source Grant funded deliverable? Yes No

Required Attachments and Supplemental Information

Please complete the contents of each tab to submit your MS4 permit compliance document. The information included in this checklist is necessary for a complete submittal. A complete and detailed submittal will help us review about your MS4 permit document. To help us make a decision in the shortest amount of time possible, the following information must be submitted:

Annual Report

- Review related web site and instructions for [Municipal storm water permit eReporting \[Exit Form\]](#)
- Complete all required fields on the annual report form and upload required attachments
- Attach the following other supporting documents as appropriate using the attachments tab above
 - Public Education and Outreach Annual Report Summary
 - Public Involvement and Participation Annual Report Summary
 - Illicit Discharge Detection and Elimination Annual Report Summary
 - Construction Site Pollution Control Annual Report Summary
 - Post-Construction Storm Water Management Annual Report Summary
 - Pollution Prevention Annual Report Summary
 - Leaf and Yard Waste Management
 - Municipal Facility (BMP) Inspection Report
 - Municipal Property SWPPP
 - Municipally Property Inspection Report
 - Winter Road Maintenance
 - Storm Sewer Map Annual Report Attachment
 - Storm Water Quality Management Annual Report Attachment
 - TMDL Attachment
 - Storm Water Consortium/Group Report

- Municipal Cooperation Attachment
- Other Annual Report Attachment

- Attach the following permit compliance documents as appropriate using the attachments tab above
 - Storm Water Management Program (*S050075-03 General Permit and S058416-04 Madison Area Group Permit shall have a written storm water management program that describes in detail how the permittee intends to comply with the permit requirements for each minimum control measure. Updated programs are due to the department by March 31, 2021.*)
 - Public Education and Outreach Program
 - Public Involvement and Participation Program
 - Illicit Discharge Detection and Elimination Program
 - Construction Site Pollutant Control Program
 - Post-Construction Storm Water Management Program
 - Pollution Prevention Program
 - Municipal Storm Water Management Facility (BMP) Inventory (*S050075-03 General Permit and S058416-04 Madison Area Group Permit 2.6.1 - inventory due to the department by March 31, 2021.*)
 - Municipal Storm Water Management Facility (BMP) Inspection and Maintenance Plan (*S050075-03 General Permit and S058416-04 Madison Area Group Permit 2.6.2 – document due to the department by March 31, 2021.*)
 - Total Maximum Daily Load documents (**If applicable, see permit for due dates.*)
 - TMDL Mapping*
 - TMDL Modeling*
 - TMDL Implementation Plan*
 - Fecal Coliform Screening Parameter *
 - Fecal Coliform Inventory and Map (*S050075-03 general permittees Appendix B B.5.2 – document due to the department by March 31, 2022*)
 - Fecal Coliform Source Elimination Plan (*S050075-03 general permittees Appendix B - document due to the department by October 31,2023*)

- Sign and Submit form

Municipal Contact Information- Complete

Notice: Pursuant to s. NR 216.07(8), Wis. Adm. Code, an owner or operator of a Municipal Separate Storm Sewer System (MS4) is required to submit an annual report to the Department of Natural Resources (Department) by March 31 of each year to report on activities for the previous calendar year ("reporting year"). This form is being provided by the Department for the user's convenience for reporting on activities undertaken in each reporting year of the permit term. Personal information collected will be used for administrative purposes and may be provided to the extent required by Wisconsin's Open Records Law [ss. 19.31-19.39, Wis. Stats.].

Note: Compliance items must be submitted using the Attachments tab.

Municipality Information

Name of Municipality: Caledonia Village

Facility ID # or (FIN): 31160

Updated Information: Check to update mailing address information

Mailing Address: 5043 Chester Lane

Mailing Address 2:

City: Racine

State: Wisconsin

Zip Code: 53402 xxxxx or xxxxx-xxxx

Primary Municipal Contact Person (Authorized Representative for MS4 Permit)

The "Authorized Representative" or "Authorized Municipal Contact" includes the municipal official that was charged with compliance and oversight of the permit conditions, and has signature authority for submitting permit documents to the Department (i.e., Mayor, Municipal Administrator, Director of Public Works, City Engineer).

Select to **create new** primary contact

First Name: Tony

Last Name: Bunkelman

Select to **update** current contact information

Title:

Mailing Address: 5043 Chester Lane

Mailing Address 2:

City: Caledonia

State: WI

Zip Code: 53402 xxxxx or xxxxx-xxxx

Phone Number: 262-835-6416 Ext: xxx-xxx-xxxx

Email: abunkelman@caledonia-wi.gov

Additional Contacts Information (Optional)

- I&E Program
 IDDE Program
 IDDE Response Procedure Manual

**Individual with responsibility for:
(Check all that apply)**

- Municipal-wide Water Quality Plan
- Ordinances
- Pollution Prevention Program
- Post-Construction Program
- Winter roadway maintenance

First Name: William

Last Name: Jacoby

Title: Highway Foreman

Mailing Address: 6922 Nicholson Road

Mailing Address 2:

City: Caledonia

State: WI

Zip Code: 53108 xxxxx or xxxxx-xxxx

Phone Number: 262-835-6425 Ext: xxx-xxx-xxxx

Email: bjacoby@caledonia-wi.gov

1. Does the municipality rely on another entity to satisfy some of the permit requirements?

Yes No

- Public Education and Outreach Root Pike Watershed Initiative Network
- Public Involvement and Participation Root Pike Watershed Initiative Network
- Illicit Discharge Detection and Elimination Strand & Associates
- Construction Site Pollutant Control
- Post-Construction Storm Water Management
- Pollution Prevention

2. Has there been any changes to the municipality's participation in group efforts towards permit compliances (i.e., the municipality has added or dropped consortium membership)?

Yes No

Minimum Control Measures- Section 1 : Complete

1. Public Education and Outreach

a. Complete the following information on Public Education and Outreach Activities related to storm water. Select the Delivery Mechanism that best describes how the topics were conveyed to your population. Use the Add Event to add additional entries.

Event Start Date	1/10/2020		
Project/Event Name	Chloride Contamination Post		
Delivery Mechanism	Social media post		*Active
Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input type="checkbox"/> Illicit discharge detection and elimination <input type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing <input type="checkbox"/> Yard waste management/pesticide and fertilizer application <input type="checkbox"/> Stream and shoreline management <input type="checkbox"/> Residential infiltration <input type="checkbox"/> Construction sites and post-construction storm water management <input checked="" type="checkbox"/> Pollution prevention <input type="checkbox"/> Green infrastructure/low impact development <input checked="" type="checkbox"/> Other: De Icing / Salt Use	<input checked="" type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Other	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

Event Start Date	12/15/2020		
Project/Event Name	Chloride Contamination Post		
Delivery Mechanism	Social media post		*Active
Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input type="checkbox"/> Illicit discharge detection and elimination <input type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing <input type="checkbox"/> Yard waste management/pesticide and fertilizer application <input type="checkbox"/> Stream and shoreline management <input type="checkbox"/> Residential infiltration <input type="checkbox"/> Construction sites and post-construction storm water management <input checked="" type="checkbox"/> Pollution prevention <input type="checkbox"/> Green infrastructure/low impact development <input checked="" type="checkbox"/> Other: De Icing / Salt Use	<input checked="" type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Other	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

Event Start Date 12/29/2020

Project/Event Name	Reduce the Salt Post		
Delivery Mechanism	<u>Social media post</u>		*Active
Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input type="checkbox"/> Illicit discharge detection and elimination <input type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing <input type="checkbox"/> Yard waste management/pesticide and fertilizer application <input type="checkbox"/> Stream and shoreline management <input type="checkbox"/> Residential infiltration <input type="checkbox"/> Construction sites and post-construction storm water management <input checked="" type="checkbox"/> Pollution prevention <input type="checkbox"/> Green infrastructure/low impact development <input checked="" type="checkbox"/> Other: Shoving Often / Salt Use	<input checked="" type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Other	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

Event Start Date	9/17/2020		
Project/Event Name	Lawn / Yard Waste		
Delivery Mechanism	<u>Social media post</u>		*Active
Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input type="checkbox"/> Illicit discharge detection and elimination <input type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing <input checked="" type="checkbox"/> Yard waste management/pesticide and fertilizer application <input type="checkbox"/> Stream and shoreline management <input type="checkbox"/> Residential infiltration <input type="checkbox"/> Construction sites and post-construction storm water management <input type="checkbox"/> Pollution prevention <input type="checkbox"/> Green infrastructure/low impact development <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Other	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

Event Start Date	10/26/2020		
Project/Event Name	Leaf Collection/ Pet Waste		
Delivery Mechanism	<u>Social media post</u>		*Active
Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input type="checkbox"/> Illicit discharge detection and elimination <input checked="" type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing <input checked="" type="checkbox"/> Yard waste management/pesticide and fertilizer application <input type="checkbox"/> Stream and shoreline management	<input checked="" type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

<input type="checkbox"/> Residential infiltration <input type="checkbox"/> Construction sites and post-construction storm water management <input type="checkbox"/> Pollution prevention <input type="checkbox"/> Green infrastructure/low impact development <input type="checkbox"/> Other:	<input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Other		
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Event Start Date	9/23/2020
Project/Event Name	PostSnap Card - Lawn Waste & Debris
Delivery Mechanism	<u>Distribution of print media</u> *Active

Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input type="checkbox"/> Illicit discharge detection and elimination <input type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing <input checked="" type="checkbox"/> Yard waste management/pesticide and fertilizer application <input type="checkbox"/> Stream and shoreline management <input type="checkbox"/> Residential infiltration <input type="checkbox"/> Construction sites and post-construction storm water management <input type="checkbox"/> Pollution prevention <input type="checkbox"/> Green infrastructure/low impact development <input type="checkbox"/> Other:	<input type="checkbox"/> General Public <input checked="" type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Other	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

Event Start Date	6/15/2020
Project/Event Name	Native Plants Mailer
Delivery Mechanism	<u>Distribution of print media</u> *Active

Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input type="checkbox"/> Illicit discharge detection and elimination <input type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing <input type="checkbox"/> Yard waste management/pesticide and fertilizer application <input checked="" type="checkbox"/> Stream and shoreline management <input type="checkbox"/> Residential infiltration <input type="checkbox"/> Construction sites and post-construction storm water management <input checked="" type="checkbox"/> Pollution prevention <input checked="" type="checkbox"/> Green infrastructure/low impact development <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Other	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

Event Start Date	3/12/2020
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Project/Event Name	Regenerative Stormwater Conveyance		
Delivery Mechanism	Media offering	*Active	
Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input type="checkbox"/> Illicit discharge detection and elimination <input type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing <input type="checkbox"/> Yard waste management/pesticide and fertilizer application <input type="checkbox"/> Stream and shoreline management <input type="checkbox"/> Residential infiltration <input checked="" type="checkbox"/> Construction sites and post-construction storm water management <input checked="" type="checkbox"/> Pollution prevention <input type="checkbox"/> Green infrastructure/low impact development <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Other	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

Event Start Date	10/23/2020		
Project/Event Name	Landowner Infiltration		
Delivery Mechanism	Other	*Active	
Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input type="checkbox"/> Illicit discharge detection and elimination <input type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing <input type="checkbox"/> Yard waste management/pesticide and fertilizer application <input type="checkbox"/> Stream and shoreline management <input checked="" type="checkbox"/> Residential infiltration <input type="checkbox"/> Construction sites and post-construction storm water management <input type="checkbox"/> Pollution prevention <input type="checkbox"/> Green infrastructure/low impact development <input type="checkbox"/> Other:	<input type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries <input checked="" type="checkbox"/> Other	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

Event Start Date	9/16/2020		
Project/Event Name	Streambank Restoration		
Delivery Mechanism	Social media post	*Active	
Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input type="checkbox"/> Illicit discharge detection and elimination <input type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing <input type="checkbox"/> Yard waste management/pesticide and fertilizer application <input checked="" type="checkbox"/> Stream and shoreline management	<input checked="" type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

<input type="checkbox"/> Residential infiltration <input type="checkbox"/> Construction sites and post-construction storm water management <input type="checkbox"/> Pollution prevention <input type="checkbox"/> Green infrastructure/low impact development <input type="checkbox"/> Other:	<input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Other		
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Event Start Date	10/8/2020
Project/Event Name	Reck Ravine Restoration
Delivery Mechanism	<u>Social media post</u> *Active

Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input type="checkbox"/> Illicit discharge detection and elimination <input type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing <input type="checkbox"/> Yard waste management/pesticide and fertilizer application <input checked="" type="checkbox"/> Stream and shoreline management <input type="checkbox"/> Residential infiltration <input type="checkbox"/> Construction sites and post-construction storm water management <input checked="" type="checkbox"/> Pollution prevention <input type="checkbox"/> Green infrastructure/low impact development <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Other	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

Event Start Date	1/1/2020
Project/Event Name	Pike River Tributary in Wisconn Valley
Delivery Mechanism	<u>Other</u> *Active

Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input type="checkbox"/> Illicit discharge detection and elimination <input type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing <input type="checkbox"/> Yard waste management/pesticide and fertilizer application <input checked="" type="checkbox"/> Stream and shoreline management <input type="checkbox"/> Residential infiltration <input checked="" type="checkbox"/> Construction sites and post-construction storm water management <input checked="" type="checkbox"/> Pollution prevention <input type="checkbox"/> Green infrastructure/low impact development <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Other	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

b. Brief explanation on Public Education and Outreach reporting. *Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Root Pike WIN has provided the Public Education and Outreach for the Root River Group. See attached information provided by Root Pike WIN for additional information.

Form 3400-224 (09/20)

Minimum Control Measures - Section 2 : Complete

2. Public Involvement and Participation

a. Permit Activities. Complete the following information on Public Involvement and Participation Activities related to storm water. Select the Delivery Mechanism that best describes how the permit activities were conveyed to your population. Use the Add Event to add additional entries.

Event Start Date	9/28/2020		
Project/Event Name	Village Budget Meeting		
Delivery Mechanism	Government Event (Public Hearing, Council Meeting, etc)		
Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input checked="" type="checkbox"/> MS4 Annual Report <input checked="" type="checkbox"/> Storm Water Management Program <input checked="" type="checkbox"/> Storm Water related ordinance <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> General Public <input type="checkbox"/> <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Other	11-50	<input type="radio"/> Yes <input checked="" type="radio"/> No

b. Volunteer Activities. Complete the following information on Public Involvement and Participation Activities related to storm water. Select the Delivery Mechanism that best describes how volunteer activities were conveyed to your population. Use the Add Event to add additional entries.

Event Start Date	3/4/2020		
Project/Event Name	Clean Up Project		
Delivery Mechanism	Clean up event		
Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
Volunteer Opportunity	<input type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries	11-50	<input type="radio"/> Yes <input checked="" type="radio"/> No

Other

c. Brief explanation on Public Involvement and Participation reporting. *Limit response to 250 characters and/or attach supplemental information on the attachments page.*

The Village discusses storm water issues at each of its commission meetings and does a formal presentation at the annual budget meeting.

Form 3400-224 (09/20)

Minimum Control Measures - Section 3 : Complete

3. Illicit Discharge Detection and Elimination

- | | | |
|---|-----|---------------------------------|
| a. How many total outfalls does the municipality have? | 272 | <input type="checkbox"/> Unsure |
| b. How many outfalls did the municipality evaluate as part of their routine ongoing field screening program? | 29 | <input type="checkbox"/> Unsure |
| c. From the municipality's routine screening, how many were confirmed illicit discharges? | 0 | <input type="checkbox"/> Unsure |
| d. How many illicit discharge complaints did the municipality receive? | 0 | <input type="checkbox"/> Unsure |
| e. From the complaints received, how many were confirmed illicit discharges? | 0 | <input type="checkbox"/> Unsure |
| f. How many of the identified illicit discharges did the municipality eliminate in the reporting year (from both routine screening and complaints)? | 0 | <input type="checkbox"/> Unsure |

(If the sum of 3.c. and 3.e. does not equal 3.f., please explain below.)

- g. How many of the following enforcement mechanisms did the municipality use to enforce its illicit discharge ordinance? Check all that apply and enter the number of each used in the reporting year. Unsure
- | | |
|---|---|
| <input checked="" type="checkbox"/> Verbal Warning | 0 |
| <input checked="" type="checkbox"/> Written Warning (including email) | 0 |
| <input checked="" type="checkbox"/> Notice of Violation | 0 |
| <input checked="" type="checkbox"/> Civil Penalty/ Citation | 0 |

Additional Information:

- h. Brief explanation on Illicit Discharge Detection and Elimination reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

The Village of Caledonia performs IDDE inspections on 29 priority outfalls each year. Caledonia keeps a close eye on 4 outfalls.

Form 3400-224 (09/20)

Minimum Control Measures - Section 4 : Complete

4. Construction Site Pollutant Control

- a. How many total construction sites with one acre or more 13 Unsure

of land disturbing construction activity were active at any point in the reporting year?

- b. How many construction sites with one acre or more of land disturbing construction activity did the municipality issue permits for in the reporting year? 13 Unsure
- c. How many erosion control inspections did the municipality complete in the reporting year? 326 Unsure

- d. What types of enforcement actions does the municipality have available to compel compliance with the regulatory mechanism? Check all that apply and enter the number of each used in the reporting year. Unsure

- No Authority
- Verbal Warning 5
- Written Warning (including email) 2
- Notice of Violation 0
- Civil Penalty/ Citation 0
- Stop Work Order 1
- Forfeiture of Deposit 0
- Other - Describe below

- e. Brief explanation on Construction Site Pollutant Control reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Form 3400-224 (09/20)

Minimum Control Measures - Section 5 : Complete

5. Post-Construction Storm Water Management

- a. How many sites with new structural storm water management facilities* have received local approval? 8 Unsure
- *Engineered and constructed systems that are designed to provide storm water quality control such as wet detention ponds, constructed wetlands, infiltration basins, grassed swales, permeable pavement, catch basin sumps, etc.
- b. Does the municipality utilize privately owned storm water management facilities in its pollutant reduction analysis? Yes No Unsure
- c. If Yes, How many privately owned storm water management facilities were inspected in the reporting year? 12 Unsure
- Inspections completed by private land owners should be included in the reported number.

- d. What types of enforcement actions does the municipality have available to compel compliance with the regulatory mechanism? Check all that apply and enter the number of each used in the reporting year. Unsure

- No Authority
- Verbal Warning 0
- Written Warning (including email) 0
- Notice of Violation 0
- Civil Penalty/ Citation 0
- Forfeiture of Deposit 0
- Complete Maintenance 0
- Bill Responsible Party 0
- Other - Describe below

e. Brief explanation on Post-Construction Storm Water Management reporting. *If marked 'Unsure' on any questions above, justify your reasoning. Limit your response to 250 characters and/or attach supplemental information on the attachments page.*

Storm Water Management Plans are reviewed by the Utility District. All ponds are required to make a deposit. Prior to refunding the deposit the sites are inspected.

Form 3400-224 (09/20)

Minimum Control Measures - Section 6 : Complete

6. Pollution Prevention

Storm Water Management Facility Inspections Not Applicable

- a. Enter the total number of municipally owned or operated structural storm water management facilities? Unsure
- b. How many new municipally owned storm water management facilities were installed in the reporting year? 0 Unsure
- c. How many municipally owned storm water management facilities were inspected in the reporting year? 2 Unsure
- d. What elements are looked at during inspections (250 character limit)?
Outlet Structure, Overflow Weir, side slopes, safety shelf
- e. How many of these facilities required maintenance? 0 Unsure
- f. Brief explanation on Storm Water Management Facility inspection reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Caledonia has been working on determining the total storm water facilities that it owns. Working on differentiating between public and private.

Public Works Yards & Other Municipally Owned Properties (SWPPP Plan Review) Not Applicable

- g. How many municipal properties require a SWPPP? Unsure

- h. How many inspections of municipal properties have been conducted in the reporting year? 0 Unsure
- i. Have amendments to the SWPPPs been made?
 Yes No Unsure
- j. If yes, describe what changes have been made. Limit response to 250 characters and/or attach supplemental information on the attachment page:
- k. Brief explanation on Storm Water Pollution Prevention Plan reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*
 The Public Works yard requires a SWPPP. Work has been done there in 2020 to replace some access and pavement.

Collection Services - *Street Sweeping / Cleaning Program* Not Applicable

Collection Services - *Catch Basin Sump Cleaning Program* Not Applicable

- p. Did the municipality conduct catch basin sump cleaning during the reporting year? Yes No Unsure
- q. How many catch basin sumps were cleaned in the reporting year? Unsure
- r. If known, how many tons of material was collected? Unsure
- s. Does the municipality have a low hazard exemption for this material? Yes No
- t. If catch basin sump cleaning is identified as a storm water best management practice in the pollutant loading analysis, was cleaning completed at the assumed frequency?
 Yes- Explain frequency _____
 No - Explain _____
 Not Applicable

Collection Services - *Leaf Collection Program* Not Applicable

- u. Does the municipality conduct curbside leaf collection? Yes No Unsure
- v. Does the municipality notify homeowners about pickup? Yes No Unsure
- w. Where are the residents directed to store the leaves for collection?
 Pile on terrace Pile in street Bags on terrace Unsure
 Other - Describe Yard Waste Site
- x. What is the frequency of collection?
Wednesday and Weekends March - November
- y. Is collection followed by street sweeping/cleaning? Yes No Unsure
- z. Brief explanation on Collection Services reporting. *If you*

marked *Unsure* for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page

Winter Road Management Not Applicable

*Note: We are requesting information that goes beyond the reporting year, answer the best you can.

aa. How many lane-miles of roadway is the municipality responsible for doing snow and ice control? 155 Unsure

ab. Provide amount of de-icing products used by month last winter season?
Solids (tons) (ex. sand, or salt-sand)

Product	Oct	Nov	Dec	Jan	Feb	Mar
Salt	0	0	168	1515	1400	96

Liquids (gallons) (ex. brine)

Product	Oct	Nov	Dec	Jan	Feb	Mar
None						

ac. Was salt applying machinery calibrated in the reporting year? Yes No Unsure

ad. Have municipal personnel attended salt reduction strategy training in the reporting year? Yes No Unsure

Training Date	Training Name	# Attendance

ae. Brief explanation on Winter Road Management reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page*

Internal (Staff) Education & Communication

af. Has training or education been held for municipal or other personnel involved in implementing each of the pollution prevention program elements? Yes No Unsure

If yes, describe what training was provided (250 character limit):

When:

How many attended:

ag. Describe how the municipality has kept the following local officials and municipal staff aware of the municipal storm water discharge permit programs and its requirements.

Elected Officials

Storm Water Discharge Permit is discussed at a Village Budget Meeting

Municipal Officials

Storm Water Discharge Permit is provided to the Utility District at a Commission Meeting

Appropriate Staff (such as operators, Department heads, and those that interact with public)

Some Staff attends the Clean Water Network Quarterly meetings to discuss various storm water topics.

- ah. Brief explanation on Internal Education reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Form 3400-224 (09/20)

Minimum Control Measures - Section 7 : Complete

7. Storm Sewer System Map

- a. Did the municipality update their storm sewer map this year?

Yes No Unsure

If yes, check the areas the map items that got updated or changed:

- Storm water treatment facilities
 Storm pipes
 Vegetated swales
 Outfalls
 Other - Describe below

The Storm Sewer Map is currently being converted to GIS from AutoCad. Also updating pipe sizes, and materials as ne...

- b. Brief explanation on Storm Sewer System Map reporting. *If you marked Unsure for an question for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Final Evaluation - Complete

Fiscal Analysis

Complete the fiscal analysis table provided below. For municipalities that do not break out funding into permit program elements, please enter the monetary amount to your best estimate of what funding may be going towards these programs.

Annual Expenditure Reporting Year	Budget Reporting Year	Budget Upcoming Year	Source of Funds
-----------------------------------	-----------------------	----------------------	-----------------

Element: Public Education and Outreach

0	3500	4100	<u>Storm water utility</u>
---	------	------	----------------------------

Element: Public Involvement and Participation

0	3500	4100	<u>Storm water utility</u>
---	------	------	----------------------------

Element: Illicit Discharge Detection and Elimination

9996	15000	11500	<u>Storm water utility</u>
------	-------	-------	----------------------------

Element: Construction Site Pollutant Control

10000	10000	10000	<u>Permit fee and/or deposit/escrow</u>
-------	-------	-------	---

Element: Post-Construction Storm Water Management

10000	50000	10000	<u>Permit fee and/or deposit/escrow</u>
-------	-------	-------	---

Element: Pollution Prevention

9996	15000	11500	<u>Storm water utility</u>
------	-------	-------	----------------------------

Other (describe)

Storm Sewer System Map

12668	50000	50000	<u>Storm water utility</u>
-------	-------	-------	----------------------------

Please provide a justification for a "0" entered in the Fiscal Analysis. *Limit response to 250 characters.*

There are zero expenditures on Public Education and Public Involvement due to the contract being a 2 year contract and paid in 1 lump sum.

Water Quality

a: Were there any known water quality improvements in the receiving waters to which the municipality's storm sewer system directly discharges to?

Yes No Unsure If Yes, explain below:

b: Were there any known water quality degradation in the receiving waters to which the municipality's storm sewer system directly discharges to?

Yes No Unsure If Yes, explain below:

c: Have any of the receiving waters that the municipality discharges to been added to the impaired waters list during the reporting year?

Yes No Unsure

d: Has the municipality evaluated their storm water practices to reduce the pollutants of concern?

Yes No Unsure

Storm Water Quality Management

a. Has the municipality completed or updated modeling in the reporting year (relating to developed urban area performance standards of s. NR 151.13(2)(b)1., Wis. Adm. Code)? Yes No

b. If yes, enter percent reduction in the annual average mass discharging from the entire MS4 to surface waters of the state as compared to implementing no storm water management controls:

Total suspended solids (TSS)

Total phosphorus (TP)

Additional Information

Based on the municipality's storm water program evaluation, describe any proposed changes to the municipality's storm water program. *If your response exceeds the 250 character limit, attach supplemental information on the attachments page.*

Requests for Assistance on Understanding Permit Programs

Would the municipality like the Department to contact them about providing more information on understanding any of the Municipal Separate Storm Sewer Permit programs?

Please select all that apply:

- Public Education and Outreach
- Public Involvement and Participation
- Illicit Discharge Detection and Elimination
- Construction Site Pollutant Control
- Post-Construction Storm Water Management
- Pollution Prevention
- Storm Water Quality Management
- Storm Sewer System Map
- Water Quality Concerns
- Compliance Schedule Items Due
- MS4 Program Evaluation

Required Attachments and Supplemental Information

Any other MS4 program information for inclusion in the Annual Report may be attached on here. Use the Add Additional Attachments to add multiple documents.

Upload Required Attachments (15 MB per file limit) - [Help reduce file size and trouble shoot file uploads](#)

*Required Item

Note: To replace an existing file, use the 'Click here to attach file ' link or press the to delete an item.

Storm Sewer System Map

 File Attachment

[Storm Lines.shp](#)

Attach - Other Supporting Documents

AR EO

 File Attachment

[SummationforY.pdf](#)

AR EO

 File Attachment

[2020Report.pdf](#)

AR PP

 File Attachment

[2020MonitoringSites-Hotspots.pdf](#)

AR IP

 File Attachment

[Municipalactivitiesbreakdown.pdf](#)

AR SWMap

 File Attachment

[Storm Lines.shx](#)

AR SWMap

 File Attachment

[Storm Lines.sbx](#)

AR SWMap

 File Attachment

[Storm Lines.sbn](#)

AR SWMap

 File Attachment


Storm Lines.prj

AR SWMap

 File Attachment

Storm Lines.dbf

AR SWMap

 File Attachment

Storm Lines.cpg

AR SWMap

 File Attachment

Storm Structures.cpg

AR SWMap

 File Attachment

Storm Structures.dbf

AR SWMap

 File Attachment

Storm Structures.prj

AR SWMap

 File Attachment

Storm Structures.sbn

AR SWMap

 File Attachment

Storm Structures.sbx

AR SWMap

 File Attachment

Storm Structures.shp

AR SWMap

 File Attachment

Storm Structures.shx

(To remove items, use your cursor to hover over the attachment section. When the drop down arrow appears, select remove item)

Attach - Permit Compliance Documents

IDDE Program

 File Attachment

J173205-1UDSLevel2ReportFinalReport.pdf

IDDE Program

 File Attachment

[J185821-1UDSLevel2ReportFinalReport.pdf](#)

IDDE Program

 File Attachment

[2020OutfallScreeningForms.pdf](#)

IDDE Program

 File Attachment

[CaledoniaIDDEProgram-FieldSamplingResultsSummary091420.pdf](#)

IDDE Program

 File Attachment

[CaledoniaIDDEProgram-ScreeningHistoryofSampledOutfalls091420.pdf](#)

IDDE Program

 File Attachment

[CaledoniaIDDEProgram-Table3-091420.pdf](#)

IDDE Program

 File Attachment

[Figure1StormSewerMap34x44121218.pdf](#)

(To remove items, use your cursor to hover over the attachment section. When the drop down arrow appears, select remove item)

Sign and Submit Your Application

Steps to Complete the signature process

1. Read and Accept the Terms and Conditions
2. Press the Submit and Send to the DNR button

NOTE: For security purposes all email correspondence will be sent to the address you used when registering your WAMS ID. This may be a different email than that provided in the application. For information on your WAMS account click [HERE](#).

Terms and Conditions

Certification: I hereby certify that I am an authorized representative of the municipality covered under Caledonia Village MS4 Permit for which this annual report or other compliance document is being submitted, and that the information contained in this submittal and all attachments were gathered and prepared under my direction or supervision. Based on my inquiry of the person or persons under my direction or supervision involved in the preparation of this document, to the best of my knowledge, the information is true, accurate, and complete. I further certify that the municipality's governing body or delegated representatives have reviewed or been apprised of the contents of this annual report. I understand that Wisconsin law provides severe penalties for submitting false information.

Signee (must check current role prior to accepting terms and conditions)

- Authorized municipal contact using WAMS ID.
- Delegation of Signature Authority (Form 3400-220) for agent signing on the behalf of the authorized municipal contact.
- Agent seeking to share this item with authorized municipal contact (authorized municipal contact must get WAMS id and complete signature).

Name: Anthony Bunkelman

Title: Utility Director

Authorized Signature.

Signed by : i:0#.f|wamsmembership|tbunkelman on 2021-03-23T08:14:16

I accept the above terms and conditions.

You have already signed and submitted this application to the DNR. Please [contact the Wisconsin DNR](#) for assistance.

After providing the final authorized signature, the system will send an email to the authorized party and any agents. This email will include a copy to the final read only version of this application.

Report dates: 1/1/2021-4/1/2021

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
ACH - SUPERFLEET								
1730	ACH - SUPERFLEET	3/20/21	FUEL FOR DISTRICT VEHICLES	03/20/2021	355.23	.00		501-00-63200 Fuel, Oil, Fluids
Total ACH - SUPERFLEET:					355.23	.00		
ACH - UNEMPLOYMENT INSURANCE								
386	ACH - UNEMPLOYMENT INSUR	31921	2/7/21 - 2/28/21 UNEMPLOYMEN	03/03/2021	288.80	.00		501-00-50180 Unemployment
Total ACH - UNEMPLOYMENT INSURANCE:					288.80	.00		
ACH - WE ENERGIES								
380	ACH - WE ENERGIES	0711772931-00	GAS AND ELECTRIC SERVICE	02/23/2021	14,913.49	.00		501-00-64140 Utilities
Total ACH - WE ENERGIES:					14,913.49	.00		
ASCENSION MEDICAL GROUP								
135	ASCENSION MEDICAL GROUP	165700	ANNUAL D & A PGM MGT	02/26/2021	17.50	.00		501-00-62100 Contracted Services
Total ASCENSION MEDICAL GROUP:					17.50	.00		
BJELAJAC & KALLENBACH, LLC								
210	BJELAJAC & KALLENBACH, LL	20115-076D2	FEBRUARY REQUEST TO REM	02/28/2021	47.40	.00		501-00-61100 Attorney Fees
Total BJELAJAC & KALLENBACH, LLC:					47.40	.00		
BUY RIGHT, INC.								
273	BUY RIGHT, INC.	14873-310466	VEH # 2 PARTS	02/03/2021	56.76	.00		501-00-63300 Vehicle Repairs & Maintenance
273	BUY RIGHT, INC.	14873-315964	VEH. # 2 FRONT BRAKE PADS	03/23/2021	15.27	.00		501-00-63300 Vehicle Repairs & Maintenance
Total BUY RIGHT, INC.:					72.03	.00		
CHRISTOPHER ATWOOD								
9167	CHRISTOPHER ATWOOD	85054066	ROTO ROOTER INVOICE REIMB	03/31/2021	684.49	.00		501-00-64240 Building Repairs & Maintenance
Total CHRISTOPHER ATWOOD:					684.49	.00		
CRANE ENGINEERING								
9165	CRANE ENGINEERING	400414-00	HOODS CREEK L.S. CHECK VAL	03/18/2021	1,822.12	.00		501-00-64240 Building Repairs & Maintenance

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
Total CRANE ENGINEERING:								
					1,822.12	.00		
FOTH INFRASTRUCTURE & ENVIRO, LLC								
666	FOTH INFRASTRUCTURE & EN	71168	RIVERBEND LIFT STATION SAF	02/26/2021	8,232.64	.00		501-18725-000 CIP-Riverbend Safety Site
666	FOTH INFRASTRUCTURE & EN	71169	SEWER MODELING	02/26/2021	2,992.00	.00		501-18727-000 CIP-Sewer Modeling
666	FOTH INFRASTRUCTURE & EN	71170	LIGHTHOUSE DRIVE LIFTSTATI	02/26/2021	951.50	.00		501-18707-000 CIP-Lighthouse Lift Station
666	FOTH INFRASTRUCTURE & EN	71177	SOUTH LANE SANITARY SEWE	02/26/2021	2,356.50	.00		501-18735-000 CIP-South Lane Sanitary Sewer
666	FOTH INFRASTRUCTURE & EN	71178	HOODS CREEK BASIN EXPANSI	02/26/2021	48,590.08	.00		501-18736-000 CIP-Hoods Creek Attenuation
666	FOTH INFRASTRUCTURE & EN	71180	GENERAL ENGINEERING	02/26/2021	740.00	.00		501-00-61340 Engineering Design Charges
666	FOTH INFRASTRUCTURE & EN	71181	2021 CMOM	02/26/2021	2,091.00	.00		501-00-61340 Engineering Design Charges
666	FOTH INFRASTRUCTURE & EN	71182	RACINE WASTEWATER TREAT	02/26/2021	1,080.00	.00		501-18727-000 CIP-Sewer Modeling
666	FOTH INFRASTRUCTURE & EN	71184	2021 TELEVISIONING PREPERATIO	02/26/2021	8,291.50	.00		501-18710-000 CIP-Annual Sewer Televisor
666	FOTH INFRASTRUCTURE & EN	71185	GIS MAPPING	02/26/2021	3,956.48	.00		501-18704-000 CIP-GIS Mapping
666	FOTH INFRASTRUCTURE & EN	71512	EPA RISK AND RESILIENCE RE	03/18/2021	4,775.34	.00		501-00-61010 EPA Risk Resilience
666	FOTH INFRASTRUCTURE & EN	71515	2020 IMPACT FEE STUDY UPDA	03/18/2021	256.00	.00		501-00-61340 Engineering Design Charges
666	FOTH INFRASTRUCTURE & EN	71571	RIVERBEND LIFT STATION SAF	03/23/2021	8,207.38	.00		501-18725-000 CIP-Riverbend Safety Site
666	FOTH INFRASTRUCTURE & EN	71573	SEWER CAPACITY MODELING	03/23/2021	3,590.50	.00		501-18727-000 CIP-Sewer Modeling
666	FOTH INFRASTRUCTURE & EN	71576	LIGHTHOUSE DRIVE L.S.	03/23/2021	2,630.38	.00		501-18707-000 CIP-Lighthouse Lift Station
666	FOTH INFRASTRUCTURE & EN	71582	RIO VISTA ROAD / SHOREWOOD	03/23/2021	7,935.50	.00		501-18731-000 CIP-Stonebridge Drive
666	FOTH INFRASTRUCTURE & EN	71584	SOUTH LANE SEWER RELAY	03/23/2021	542.50	.00		501-18735-000 CIP-South Lane Sanitary Sewer
666	FOTH INFRASTRUCTURE & EN	71585	HOODS CREEK ATTENUATION	03/23/2021	32,251.30	.00		501-18736-000 CIP-Hoods Creek Attenuation
666	FOTH INFRASTRUCTURE & EN	71587	ENGINEERING	03/23/2021	149.00	.00		501-00-61340 Engineering Design Charges
666	FOTH INFRASTRUCTURE & EN	71589	2020 CMOM PREPERATION	03/23/2021	510.00	.00		501-00-61340 Engineering Design Charges
666	FOTH INFRASTRUCTURE & EN	71590	SEWER SYSTEM MODELING	03/23/2021	510.00	.00		501-18727-000 CIP-Sewer Modeling
666	FOTH INFRASTRUCTURE & EN	71592	2021 TELEVISIONING PREPERATIO	03/23/2021	955.50	.00		501-18710-000 CIP-Annual Sewer Televisor
666	FOTH INFRASTRUCTURE & EN	71593	GIS MAPPING	03/23/2021	234.00	.00		501-18704-000 CIP-GIS Mapping
Total FOTH INFRASTRUCTURE & ENVIRO, LLC:								
					141,529.10	.00		
JOHNSON CONTROLS SECURITY SOLUTIONS								
969	JOHNSON CONTROLS SECURI	35616847	DISTRICT OFFICE SECURITY A	03/06/2021	269.91	.00		501-00-64150 Communication Services
Total JOHNSON CONTROLS SECURITY SOLUTIONS:								
					269.91	.00		
KARL H. SCHNABEL CO. INC.								
1033	KARL H. SCHNABEL CO. INC.	122970	OFFICE SUPPLIES	03/15/2021	284.95	.00		501-00-64030 Office Supplies
Total KARL H. SCHNABEL CO. INC.:								
					284.95	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
KONICA MINOLTA								
1090	KONICA MINOLTA	9007583971	FEBRUARY 2021 OFFICE COPIE	03/06/2021	23.66	.00		501-00-64030 Office Supplies
	Total KONICA MINOLTA:				23.66	.00		
KORTENDICK HARDWARE								
1096	KORTENDICK HARDWARE	140370	BATTERIES FOR FLOWMETERS	02/26/2021	79.13	.00		501-00-64240 Building Repairs & Maintenance
1096	KORTENDICK HARDWARE	140900	MISC. SUPPLIES	03/24/2021	106.39	.00		501-00-64070 Work Supplies
1096	KORTENDICK HARDWARE	140930	MISC. SUPPLIES	03/26/2021	27.38	.00		501-00-64070 Work Supplies
1096	KORTENDICK HARDWARE	140940	HOODS CREEK L.S. PARTS	03/26/2021	32.01	.00		501-00-64240 Building Repairs & Maintenance
1096	KORTENDICK HARDWARE	140964	RIVERMEADOWS L.S. PARTS	03/29/2021	28.67	.00		501-00-64240 Building Repairs & Maintenance
1096	KORTENDICK HARDWARE	141009	JET RODDER PARTS	03/30/2021	24.12	.00		501-00-63300 Vehicle Repairs & Maintenance
	Total KORTENDICK HARDWARE:				297.70	.00		
L.W. ALLEN, INC.								
1119	L.W.ALLEN, INC.	106672	RIVERBEND L.S. PUMP # 4 REP	03/17/2021	3,023.11	.00		501-00-64240 Building Repairs & Maintenance
	Total L.W. ALLEN, INC.:				3,023.11	.00		
LINCOLN CONTRACTORS SUPPLY								
1172	LINCOLN CONTRACTORS SUP	N24349	MARKING PAINT	03/04/2021	110.16	.00		501-00-64240 Building Repairs & Maintenance
	Total LINCOLN CONTRACTORS SUPPLY:				110.16	.00		
MENARDS RACINE								
1281	MENARDS RACINE	18522	MISC. SUPPLIES	02/24/2021	80.45	.00		501-00-64070 Work Supplies
1281	MENARDS RACINE	20127	HOODS CREEK L.S. WET WELL	03/26/2021	160.48	.00		501-00-64240 Building Repairs & Maintenance
	Total MENARDS RACINE:				240.93	.00		
MILWAUKEE METROPOLITAN SEWAGE DISTRICT								
1338	MILWAUKEE METROPOLITAN S	041-21	1ST QTR. 2021 SEWER CHARG	03/17/2021	7,838.11	.00		501-00-62550 Sewer Treatment Charges
	Total MILWAUKEE METROPOLITAN SEWAGE DISTRICT:				7,838.11	.00		
NETWORK SPECIALIST								
1390	NETWORK SPECIALIST	40615	APRIL 2021 REMOTE BACKUP	03/11/2021	125.00	.00		501-00-64320 IT Infrastructure
1390	NETWORK SPECIALIST	40629	2ND QUARTER 2021 SERVER M	03/11/2021	100.00	.00		501-00-64320 IT Infrastructure
1390	NETWORK SPECIALIST	40669	DOMAIN NAME 3 YEAR RENEW	03/30/2021	71.36	.00		501-00-64320 IT Infrastructure

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
Total NETWORK SPECIALIST:								
					296.36	.00		
PTS CONTRACTORS, INC.								
9106	PTS CONTRACTORS, INC.	Pay App # 3	PAY APP. # 3 RIO VISTA WATER	03/31/2021	159,983.25	.00		501-18731-000 CIP-Stonebridge Drive
Total PTS CONTRACTORS, INC.:								
					159,983.25	.00		
RACINE BUSINESS MACHINES								
1547	RACINE BUSINESS MACHINES	323	OFFICE PRINTER SERVICE	03/23/2021	122.50	.00		501-00-64030 Office Supplies
Total RACINE BUSINESS MACHINES:								
					122.50	.00		
RACINE WATER & WASTEWATER UTILITIES								
1574	RACINE WATER & WASTEWATE	WWINV-08498	PLANT EXPANSION PRINCIPAL	03/25/2021	1,004,440.97	.00		501-00-67300 Principal
1574	RACINE WATER & WASTEWATE	WWINV-08498	PLANT EXPANSION PRINCIPAL	03/25/2021	29,151.51	.00		501-00-67100 Interest
Total RACINE WATER & WASTEWATER UTILITIES:								
					1,033,592.48	.00		
SOUTHPORT HEATING, PLUMBING								
1828	SOUTHPORT HEATING, PLUMBI	W31756	OFFICE FURNANCE SERVICE	02/24/2021	238.25	.00		501-00-64240 Building Repairs & Maintenance
Total SOUTHPORT HEATING, PLUMBING:								
					238.25	.00		
SPECTRUM ENTERPRISE								
1832	SPECTRUM ENTERPRISE	710670101031	INTERNET SERVICE @ UTILITY	03/15/2021	67.49	.00		501-00-64150 Communication Services
Total SPECTRUM ENTERPRISE:								
					67.49	.00		
STARNET TECHNOLOGIES								
1855	STARNET TECHNOLOGIES	0091689-IN	N.MAIN STREET L.S. SERVICE	02/24/2021	257.00	.00		501-00-64240 Building Repairs & Maintenance
1855	STARNET TECHNOLOGIES	0091719-IN	WEST JOHNSON L.S. STARTER	03/29/2021	947.47	.00		501-00-64240 Building Repairs & Maintenance
Total STARNET TECHNOLOGIES:								
					1,204.47	.00		
U. S. CELLULAR								
2026	U. S. CELLULAR	0422322972	ALARM @ HOODS CREEK BASI	02/10/2021	14.76	.00		501-00-64150 Communication Services
2026	U. S. CELLULAR	0427284180	DISTRICT CELL PHONES	03/06/2021	143.75	.00		501-00-64150 Communication Services
2026	U. S. CELLULAR	0428041721	HOODS CREEK BASIN ALARM	03/10/2021	7.02	.00		501-00-64150 Communication Services

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
Total U. S. CELLULAR:								
					165.53	.00		
VERIZON WIRELESS								
2068	VERIZON WIRELESS	9874524739	WIRELESS ALARM AT HOODS B	03/01/2021	20.01	.00		501-00-64150 Communication Services
Total VERIZON WIRELESS:								
					20.01	.00		
WI DEPT OF TRANSPORTATION								
2168	WI DEPT OF TRANSPORTATION	395-000011734	RACINE TO MILWAUKEE ROAD	12/11/2018	1.56	.00		501-18726-000 CIP-DOT Hwy 32
2168	WI DEPT OF TRANSPORTATION	395-00001499	RACINE TO MILWAUKEE ROAD	11/01/2019	46,248.82	.00		501-18726-000 CIP-DOT Hwy 32
2168	WI DEPT OF TRANSPORTATION	395-00001571	RACINE TO MILWAUKEE ROAD	01/02/2020	32,083.45	.00		501-18726-000 CIP-DOT Hwy 32
Total WI DEPT OF TRANSPORTATION:								
					78,333.83	.00		
Grand Totals:								
					1,445,842.86	.00		

Dated: _____

Village President: _____

Village Board: _____

Village Clerk: _____

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
ACH - SUPERFLEET								
1730	ACH - SUPERFLEET	3/20/21	FUEL FOR DISTRICT VEHICLES	03/20/2021	355.22	.00		500-00-63200 Fuel, Oil, Fluids
Total ACH - SUPERFLEET:					355.22	.00		
ACH - UNEMPLOYMENT INSURANCE								
386	ACH - UNEMPLOYMENT INSUR	31921	2/7/21 - 2/28/21 UNEMPLOYMEN	03/03/2021	288.79	.00		500-00-50180 Unemployment
Total ACH - UNEMPLOYMENT INSURANCE:					288.79	.00		
ACH - WE ENERGIES								
380	ACH - WE ENERGIES	0711772931-00	GAS AND ELECTRIC SERVICE	02/23/2021	3,998.87	.00		500-00-64140 Utilities
Total ACH - WE ENERGIES:					3,998.87	.00		
ASCENSION MEDICAL GROUP								
135	ASCENSION MEDICAL GROUP	165700	ANNUAL D & A PGM MGT	02/26/2021	17.50	.00		500-00-62100 Contracted Services
Total ASCENSION MEDICAL GROUP:					17.50	.00		
BADGER METER INC.								
163	BADGER METER INC.	1421838	PROBIO METER	03/12/2021	6,078.78	.00		500-18701-107 CIP - Meters
Total BADGER METER INC.:					6,078.78	.00		
BUY RIGHT, INC.								
273	BUY RIGHT, INC.	14873-310466	VEH # 2 PARTS	02/03/2021	56.75	.00		500-00-63300 Vehicle Repairs & Maintenance
273	BUY RIGHT, INC.	14873-315964	VEH. # 2 FRONT BRAKE PADS	03/23/2021	15.27	.00		500-00-63300 Vehicle Repairs & Maintenance
Total BUY RIGHT, INC.:					72.02	.00		
CORE & MAIN								
405	CORE & MAIN	N729417	BACKFLOW PRE. PARTS	03/19/2021	444.00	.00		500-00-64240 Building Repairs & Maintenance
405	CORE & MAIN	N802879	6X20 REPAIR CLAMP	03/19/2021	203.61	.00		500-00-64240 Building Repairs & Maintenance
405	CORE & MAIN	N813092	MISC. WATERMAIN PARTS	03/05/2021	9,312.00	.00		500-00-64240 Building Repairs & Maintenance
405	CORE & MAIN	N865313	ERIE STREET VALVE REPLACE	03/12/2021	2,196.60	.00		500-00-64240 Building Repairs & Maintenance
405	CORE & MAIN	N901890	BRASS WATER SERVICE BUSHI	03/19/2021	99.18	.00		500-00-64240 Building Repairs & Maintenance
405	CORE & MAIN	N906900	WATERMAIN REPAIR PARTS	03/19/2021	3,399.73	.00		500-00-64240 Building Repairs & Maintenance

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
Total CORE & MAIN:								
FOTH INFRASTRUCTURE & ENVIRO, LLC								
666	FOTH INFRASTRUCTURE & EN	71172	STONEBRIDGE DRIVE WATERM	02/26/2021	660.00	.00		500-18731-107 CIP-Stonebridge Drive
666	FOTH INFRASTRUCTURE & EN	71175	RIO VISTA WATERMAIN RELAY	02/26/2021	2,855.50	.00		500-18731-107 CIP-Stonebridge Drive
666	FOTH INFRASTRUCTURE & EN	71179	N. KREMER WATERMAIN RELA	02/26/2021	24,943.06	.00		500-18735-107 CIP - North Kremer Watermain
666	FOTH INFRASTRUCTURE & EN	71180	GENERAL ENGINEERING	02/26/2021	1,885.00	.00		500-00-61340 Engineering Design Charges
666	FOTH INFRASTRUCTURE & EN	71185	GIS MAPPING	02/26/2021	3,956.48	.00		500-18704-107 CIP-GIS Mapping
666	FOTH INFRASTRUCTURE & EN	71512	EPA RISK AND RESILIENCE RE	03/18/2021	9,550.66	.00		500-00-61010 EPA Risk Resilience
666	FOTH INFRASTRUCTURE & EN	71515	2020 IMPACT FEE STUDY UPDA	03/18/2021	256.00	.00		500-00-61340 Engineering Design Charges
666	FOTH INFRASTRUCTURE & EN	71569	WATER GIS MAP UPDATES	03/23/2021	10,763.50	.00		500-18704-107 CIP-GIS Mapping
666	FOTH INFRASTRUCTURE & EN	71586	N. KREMER WATERMAIN RELA	03/23/2021	23,962.94	.00		500-18735-107 CIP - North Kremer Watermain
666	FOTH INFRASTRUCTURE & EN	71587	ENGINEERING	03/23/2021	149.00	.00		500-00-61340 Engineering Design Charges
666	FOTH INFRASTRUCTURE & EN	71593	GIS MAPPING	03/23/2021	234.00	.00		500-18704-107 CIP-GIS Mapping
Total FOTH INFRASTRUCTURE & ENVIRO, LLC:								
G & F EXCAVATING								
687	G & F EXCAVATING	34836	WATERBREAK BRUCE DRIVE	02/25/2021	4,024.50	.00		500-00-64240 Building Repairs & Maintenance
687	G & F EXCAVATING	34838	WATERBREAK BRANDYWINE /	02/26/2021	3,936.00	.00		500-00-64240 Building Repairs & Maintenance
687	G & F EXCAVATING	34844	3 - WATERBREAKS 4 MILE / NG	03/01/2021	9,113.50	.00		500-00-64240 Building Repairs & Maintenance
687	G & F EXCAVATING	34845	WATERBREAKS @ BRANDYWYN	03/02/2021	3,753.00	.00		500-00-64240 Building Repairs & Maintenance
687	G & F EXCAVATING	34855	VALVE # 41-40 REPLACEMENT	03/10/2021	5,545.00	.00		500-00-64240 Building Repairs & Maintenance
687	G & F EXCAVATING	34866	VALVE & SERVICE REPLACEME	03/15/2021	10,161.00	.00		500-00-64240 Building Repairs & Maintenance
Total G & F EXCAVATING:								
GLEASON REDI MIX								
723	GLEASON REDI MIX	298202	SLURRY / CONCRETE 4 MILE /	03/02/2021	1,090.00	.00		500-00-64240 Building Repairs & Maintenance
723	GLEASON REDI MIX	298330	SLURRY & CONCRETE 4 MILE /	03/10/2021	1,178.00	.00		500-00-64240 Building Repairs & Maintenance
Total GLEASON REDI MIX:								
JOHNSON CONTROLS SECURITY SOLUTIONS								
989	JOHNSON CONTROLS SECURI	35616847	DISTRICT OFFICE SECURITY A	03/06/2021	269.91	.00		500-00-64150 Communication Services
Total JOHNSON CONTROLS SECURITY SOLUTIONS:								

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
KARL H. SCHNABEL CO. INC.								
1033	KARL H. SCHNABEL CO. INC.	122970	OFFICE SUPPLIES	03/15/2021	284.95	.00		500-00-64030 Office Supplies
	Total KARL H. SCHNABEL CO. INC.:				284.95	.00		
KONICA MINOLTA								
1090	KONICA MINOLTA	9007583971	FEBRUARY 2021 OFFICE COPIE	03/06/2021	23.66	.00		500-00-64030 Office Supplies
	Total KONICA MINOLTA:				23.66	.00		
KORTENDICK HARDWARE								
1096	KORTENDICK HARDWARE	140900	MISC. SUPPLIES	03/24/2021	106.40	.00		500-00-64070 Work Supplies
1096	KORTENDICK HARDWARE	140930	MISC. SUPPLIES	03/26/2021	27.39	.00		500-00-64070 Work Supplies
	Total KORTENDICK HARDWARE:				133.79	.00		
LINCOLN CONTRACTORS SUPPLY								
1172	LINCOLN CONTRACTORS SUP	N24349	MARKING PAINT	03/04/2021	205.92	.00		500-00-64240 Building Repairs & Maintenance
	Total LINCOLN CONTRACTORS SUPPLY:				205.92	.00		
MENARDS RACINE								
1281	MENARDS RACINE	18522	MISC. SUPPLIES	02/24/2021	80.44	.00		500-00-64070 Work Supplies
	Total MENARDS RACINE:				80.44	.00		
NETWORK SPECIALIST								
1390	NETWORK SPECIALIST	40615	APRIL 2021 REMOTE BACKUP	03/11/2021	125.00	.00		500-00-64320 IT Infrastructure
1390	NETWORK SPECIALIST	40629	2ND QUARTER 2021 SERVER M	03/11/2021	100.00	.00		500-00-64320 IT Infrastructure
1390	NETWORK SPECIALIST	40669	DOMAIN NAME 3 YEAR RENEW	03/30/2021	71.36	.00		500-00-64320 IT Infrastructure
	Total NETWORK SPECIALIST:				296.36	.00		
OAK CREEK WATER UTILITY								
1423	OAK CREEK WATER UTILITY	4803	FEBRUARY 2021 BAC "T" SAMP	02/22/2021	365.00	.00		500-00-62550 Purchased Water
1423	OAK CREEK WATER UTILITY	4815	MARCH 2021 BAC "T" SAMPLES	03/08/2021	365.00	.00		500-00-62550 Purchased Water
1423	OAK CREEK WATER UTILITY	4818	CRESTVIEW TOWER SAMPLES	03/16/2021	146.00	.00		500-00-62550 Purchased Water
1423	OAK CREEK WATER UTILITY	4821	MARCH 2021 WATER SAMPLES	03/22/2021	365.00	.00		500-00-62550 Purchased Water

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
	Total OAK CREEK WATER UTILITY:				1,241.00	.00		
	PAYNE & DOLAN, INC.							
1474	PAYNE & DOLAN, INC.	1726288	STONE FOR WATERBREAKS	03/04/2021	135.26	.00		500-00-64240 Building Repairs & Maintenance
1474	PAYNE & DOLAN, INC.	1726928	STONE FOR WATERBREAKS	03/11/2021	137.47	.00		500-00-64240 Building Repairs & Maintenance
	Total PAYNE & DOLAN, INC.:				272.73	.00		
	PUBLIC SERVICE COMMISSION OF WISCONSIN							
1535	PUBLIC SERVICE COMMISSION	2102-I-00900	PWAC RATE REVIEW	03/19/2021	240.90	.00		500-00-61000 Professional Services
	Total PUBLIC SERVICE COMMISSION OF WISCONSIN:				240.90	.00		
	RACINE BUSINESS MACHINES							
1547	RACINE BUSINESS MACHINES	323	OFFICE PRINTER SERVICE	03/23/2021	122.50	.00		500-00-64030 Office Supplies
	Total RACINE BUSINESS MACHINES:				122.50	.00		
	SHERWIN INDUSTRIES							
1795	SHERWIN INDUSTRIES	SC046293	COLD PATCH FOR WATERBREA	02/26/2021	307.71	.00		500-00-64240 Building Repairs & Maintenance
1795	SHERWIN INDUSTRIES	SC046314	COLD PATCH FOR WATERBREA	03/03/2021	400.14	.00		500-00-64240 Building Repairs & Maintenance
1795	SHERWIN INDUSTRIES	SC046399	COLD PATCH FOR WATERBREA	03/19/2021	267.93	.00		500-00-64240 Building Repairs & Maintenance
	Total SHERWIN INDUSTRIES:				975.78	.00		
	SOUTHPORT HEATING, PLUMBING							
1828	SOUTHPORT HEATING, PLUMBI	W31756	OFFICE FURNACE SERVICE	02/24/2021	238.25	.00		500-00-64240 Building Repairs & Maintenance
	Total SOUTHPORT HEATING, PLUMBING:				238.25	.00		
	SPECTRUM ENTERPRISE							
1832	SPECTRUM ENTERPRISE	710670101031	INTERNET SERVICE @ UTILITY	03/15/2021	67.49	.00		500-00-64150 Communication Services
	Total SPECTRUM ENTERPRISE:				67.49	.00		
	U. S. CELLULAR							
2026	U. S. CELLULAR	0427284180	DISTRICT CELL PHONES	03/06/2021	143.75	.00		500-00-64150 Communication Services

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
ACH - WE ENERGIES								
380	ACH - WE ENERGIES	071172931-00	GAS AND ELECTRIC SERVICE	02/23/2021	615.39	.00		502-00-64140 Utilities
Total ACH - WE ENERGIES:					615.39	.00		
FOTH INFRASTRUCTURE & ENVIRO, LLC								
666	FOTH INFRASTRUCTURE & EN	71163	WIND DALE STORM DRAINAGE	02/26/2021	160.00	.00		502-00-65150 Storm Sewers
666	FOTH INFRASTRUCTURE & EN	71164	WIND POINT WEST STORM DR	02/26/2021	160.00	.00		502-00-65150 Storm Sewers
666	FOTH INFRASTRUCTURE & EN	71165	STH 32 STREAM RESTORATION	02/26/2021	11,075.80	.00		502-00-65154 HWY 32 Stream Restoration
666	FOTH INFRASTRUCTURE & EN	71166	WESTVIEW VILLAGE STORMWA	02/26/2021	10,864.00	.00		502-00-65156 Westview Village Storm
666	FOTH INFRASTRUCTURE & EN	71167	STORM WATER GIS UPDATES	02/26/2021	813.00	.00		502-00-65152 GIS Update
666	FOTH INFRASTRUCTURE & EN	71566	WIND DALE STORM SEWER	03/23/2021	378.00	.00		502-00-65150 Storm Sewers
666	FOTH INFRASTRUCTURE & EN	71567	HWY 32 STREAM RESTORATIO	03/23/2021	11,822.00	.00		502-00-65154 HWY 32 Stream Restoration
666	FOTH INFRASTRUCTURE & EN	71568	WESTERN VILLAGE STORM SE	03/23/2021	3,314.00	.00		502-00-65156 Westview Village Storm
666	FOTH INFRASTRUCTURE & EN	71569	STORM SEWER GIS MAP UPDA	03/23/2021	4,736.00	.00		502-00-65152 GIS Update
Total FOTH INFRASTRUCTURE & ENVIRO, LLC:					43,322.80	.00		
LINCOLN CONTRACTORS SUPPLY								
1172	LINCOLN CONTRACTORS SUP	N24349	MARKING PAINT	03/04/2021	110.16	.00		502-00-64070 Work Supplies
Total LINCOLN CONTRACTORS SUPPLY:					110.16	.00		
STRAND ASSOCIATES INC.								
1893	STRAND ASSOCIATES INC.	0167786	ILLICIT DISCHARGE DETECTIO	01/14/2021	355.69	.00		502-00-64500 Permits & Fees
Total STRAND ASSOCIATES INC.:					355.69	.00		
Grand Totals:					44,404.04	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	GL Account and Title
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Dated: _____

Village President: _____

Village Board: _____

Village Clerk: _____

STH 32 Utility Improvements DOT

Sewer & Water

Contractor	Payne and Dolan Inc.		
Original Contract	\$	266,043.63	
Change Order	\$	-	0.0%
Current Contract	\$	266,043.63	
Pay Request	\$	3.12	12/11/2018
Pay Request	\$	2,645.08	8/1/2019
Pay Request	\$	7,396.43	10/3/2019
Pay Request	\$	92,497.63	12/4/2019
Pay Request	\$	80,448.04	12/2/2019
Pay Request	\$	64,166.90	1/2/2020
Pay Request	\$	1,014.86	3/2/2020
Pay Request	\$	1,655.72	4/1/2020
Pay Request	\$	405.27	6/1/2020
Pay Request	\$	1,500.29	9/2/2020
Pay Request	\$	268.21	12/1/2020
Remaining on Contract (Including Retainage)	\$	14,042.08	5.3%
Engineering / Construction Services DOT 12/11/2018	\$	39,906.54	
Pay Request #1 Engineering Only	\$	868.07	6/4/2019
Pay Request #2 Engineering Only	\$	2,685.06	8/1/2019
Pay Request #3 Engineering Only	\$	2,766.76	9/4/2019
Remaining on Contract (Including Retainage)	\$	33,586.65	84.2%
Foth Engineering/Review (7/23/2019 - 6/3/2020)	\$	61,034.29	
Total Project Cost	\$	366,984.46	
Revised 2019 CIP	\$	350,000.00	

DeBack Industrial Park Phase 3 Improvements

Sewer & Water

Contractor

Globe Contractors Inc.

Original Contract	\$	5,492,315.00	
Change Order #1 (3/15/2019)	\$	5,200.78	0.09%
Change Order #2 (5/7/2019)	\$	31,676.00	0.58%
Change Order #3 (12/2/2020)	\$	8,642.92	0.16%
Change Order #4 (12/2/2020)	\$	(54,347.35)	-0.99%
Total All Change Orders	\$	(8,827.65)	-0.16%
Current Contract	\$	5,483,487.35	
Pay Request #1	\$	2,714,903.07	1/4/2019
Retainage	\$	142,889.64	
Pay Request #2	\$	989,536.31	1/31/2019
Retainage	\$	(5,581.76)	
Pay Request #3	\$	1,170,751.00	3/6/2019
Pay Request #4	\$	66,125.77	3/15/2019
Pay Request #5	\$	37,649.69	4/19/2019
Pay Request #6	\$	58,276.21	5/30/2019
Pay Request #7	\$	288,046.74	9/26/2019
Pay Request #8	\$	158,198.56	10/27/2020
Remaining on Contract (Including Retainage)	\$	0.00	0.0%
Engineering / Construction Services (12/22/2016 - 4/18/2019)	\$	515,957.79	
Total Project Cost	\$	6,045,149.57	
Oversizing Only (Utility District)			
Water	\$	104,890.20	
Sewer	\$	1,247,791.01	
Revised 2019 CIP	\$	1,352,681.21	

Lighthouse Drive Lift Station

Sewer

Contractor	QSP Utility		
Original Contract	\$	191,786.00	
Change Order #1 (12/2/2020)	\$	(15,000.00)	-7.82%
Current Contract	\$	176,786.00	
Pay Request #1	\$	51,021.65	5/21/2020
Retainage	\$	2,685.35	
Pay Request #2	\$	43,700.00	6/24/2020
Retainage	\$	2,300.00	
Pay Request #3	\$	73,225.05	10/27/2020
Retainage	\$	3,853.95	
Remaining on Contract (Including Retainage)	\$	8,839.30	5%
Owner Direct Purchase LW Allen	\$	61,700.00	
Owner Direct Purchase Starnet	\$	159,850.00	
Explosion Proof Light	\$	1,148.50	
We Energies Gas & Electric	\$	11,586.75	
Wind Point Permits	\$	738.00	
Test Holes - Soils	\$	450.00	
Legal	\$	687.00	
Generator Connect	\$	3,177.09	
Can Metal Review	\$	185.81	
Various Parts		959.62	
Design Engineering (12/22/2016 - 3/29/2020)	\$	84,134.72	
Construction Services (4/2020 to 12/17/2020)	\$	38,292.32	
Total Project Cost	\$	538,736.19	
Revised Budget 2020 Sewer	\$	600,000.00	
Revised 2020 CIP	\$	600,000.00	

Wind Dale / Wind Point West

Storm, Sewer

Contractor	Reesman's		
Original Contract	\$	1,566,307.81	
Change Order #1	\$	53,691.00	3.43%
Change Order #2	\$	100,491.30	6.42%
Change Order #3 (12/2/2020)	\$	17,583.99	1.12%
Total All Change Orders	\$	171,766.29	10.97%
Current Contract	\$	1,738,074.10	
Pay Request #1	\$	244,585.87	6/25/2020
Retainage	\$	12,872.94	
Pay Request #2	\$	439,987.88	7/28/2020
Retainage	\$	23,157.26	
Pay Request #3	\$	647,894.85	8/27/2020
Retainage	\$	5,544.55	
Pay Request #4	\$	282,041.76	9/22/2020
Pay Request #5	\$	66,258.75	10/27/2020
Remaining on Contract (Including Retainage)	\$	57,304.99	3%
Design Engineering (1/26/2018 - 6/3/2020)	\$	180,563.58	
Construction Services (6/3/2020 to 12/17/2020)	\$	92,804.68	
Total Project Cost	\$	2,011,442.36	
Budget 2020 Sewer	\$	-	
Budget 2020 Storm	\$	1,026,500.00	
Revised 2020 CIP Sewer	\$	140,000.00	
Revised 2020 CIP Storm	\$	1,650,000.00	

Rio Vista Shorewood Stonebridge

Water, Sewer

Contractor	PTS Contractors Inc		
Original Contract	\$	930,020.00	
Change Order	\$	-	
Current Contract	\$	930,020.00	
Pay Request #1	\$	263,005.60	8/27/2020
Retainage	\$	13,842.40	
Pay Request #2	\$	293,947.87	10/27/2020
Retainage	\$	9,408.10	
Pay Request #3	\$	159,983.25	3/30/2021
Remaining on Contract (Including Retainage)	\$	213,083.28	23%
Design Engineering (4/18/2019 - 7/30/2020)	\$	104,864.01	
Construction Services (7/30/2020 to 12/17/2020)	\$	72,655.08	
Total Project Cost	\$	1,107,539.09	
Budget 2020 Sewer	\$	265,000.00	
Budget 2020 Water	\$	1,626,000.00	
Revised 2020 CIP Sewer	\$	385,000.00	
Revised 2020 CIP Water	\$	825,000.00	

**CALEDONIA UTILITY DISTRICT
SEWER & WATER PROJECTS
PROJECT SUMMARY WORKSHEET**

Riverbend Drive Lift Station Safety Site

- Met with Foth on project. Will be scheduling a site visit for a walk through. Working on Facilities Plan. To be completed by July 2021 and submitted to the DNR by September 2021. Preliminary Design to be ready by June 2021. Proposed to be bid in January 2022 with Construction February 2022 – September 2022.

Riverbend Drive Lift Station & Forcemain Upgrade

- Working on Facilities Plan. To be completed by July 2021 and submitted to the DNR by September 2021.

Lighthouse Drive Lift Station Upgrade Site

- Project Completed. Awaiting Final Pay Request. Retainage remains on contract.

Rio Vista Shorewood & Stonebridge Utility Improvements

- Sanitary Sewer lining portion has been completed. The testing and grouting and final televising underway.

DeBack Industrial Park Phase 3 Improvements

- Special Assessment Information updated. Will be sending out information to owners this week. Class 2 notice being prepared and Public Hearing scheduled for April 27.

Annual Televising Program – Sanitary Sewer

- Preparing the 2021 televising program.

Water Impact Fee / Sewer Connection Fee Update

- Met with Foth to discuss proposed Fees. Working on various alternatives.

EPA Risk & Resilience Assessment and Emergency Response Plan

- Met with Foth to review each site that the Utility has for Assessment. Water plan completed. Began work on Sewer plan.

Hoods Creek Attenuation Basin Expansion

- Met with Ray Leffler on use of adjacent property to spread/dispose of excavated material. Discussed with We Energies the need for increasing the gas service for a makeup air unit. Proposed to be bid in August 2021 with Construction September 2021 – August 2022.

Central Lift Station Safety Site

- Working on Facilities Plan. To be completed by end of March 2021 and submitted to the DNR by April 2021. Preliminary Design to be ready by March 2021. Proposed to be bid in October 2021 with Construction November 2021 – June 2022.

Central Attenuation Basin

- Discussed alternatives for basin. Prefer gravity drain vs. pumped and underground tank vs partial exposed. Will show alternatives in the Facilities Plan. Proposed to be bid in April 2023 with Construction May 2023 – July 2024.

**CALEDONIA UTILITY DISTRICT
STORM WATER PROJECTS
PROJECT SUMMARY WORKSHEET**

Hoods Creek – Aldebaran Brushing Project

- Awaiting dry weather. Will re-assess the needs of the Hoods Creek along the Aldebaran Subdivision

Tanglewood Avenue Storm Sewer Project

- Project Completed. Awaiting Final Pay Request. Retainage remains on contract.

Wind Point West Subdivision Project

- Project Completed. Awaiting Final Pay Request. Retainage remains on contract.

GIS Updates

- Hyperlinking of Easement documents and Storm Sewer Projects ongoing. Will be gathering Subdivision Plats and Subdivision Plans as time allows.

Alcyn Drive –Drainage Complaint

- Waiting for contractor pricing. Then will respond to owners.

Douglas Avenue – OMG Ditch Project

- Foth proceeding with plans to get out for bidding and construction in 2021.

Turtle Creek Restoration

- Reached out to Dave Giordano of Root Pike WIN for electronic files from consultant. Will use files when received for creating Easement documents and a Relocation Order.

MEMORANDUM

DATE: Tuesday, March 30, 2021

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Utility Director



RE: Culver's Restaurant – Storm Water Management Plan, Site Utility Plan & Site Grading Plan Conditional Approval

BACKGROUND INFORMATION

Joshua Murray P.E. of Nielsen Madsen & Barber S.C. has prepared a Storm Water Management Plan, Site Utility Plan, and Site Grading Plan for the Culver's Restaurant. Culver's is located on the West side of Douglas Avenue opposite of Ellis Avenue. More specifically 4542 Douglas Avenue (replacing the former Shell Gas Station). The project involves the construction of a +-4,500 square foot restaurant with a drive-thru, parking lot and underground storm water storage.

This development falls under Base Storm Water Regulations. Base Storm Water Regulations are that the 100 yr. post development peak runoff must be reduced to or below the 10 yr. predevelopment peak runoff and the 10 yr. post development peak runoff must be reduced to or below the 2 yr. predevelopment peak runoff. Since the site is a redevelopment it must achieve a minimum of 40% Total Suspended Solids removal.

The runoff from the development will drain into an underground storage basin then discharge to the existing storm sewer within Douglas Avenue. The Storm Water Management Plan that was submitted on March 15th and reviewed by the Utility Director, does show conformance with the Ordinance. The review letter dated March 30th indicates that the Storm Water Management Plan is approved.

The Site Utility Plan that has been submitted has also been reviewed by the Utility Director. The plan shows how the majority of the site and some offsite areas will drain to the underground storage system. The plan also shows how the site will be served by Sanitary Sewer and Water. Due to the proposed configuration of the lot, the existing sanitary sewer and water laterals for the Happy Car Wash (to the South) will be located on the new Culver's restaurant property. This was brought up to the owners and their design engineer through review letters. Initially, the plans indicated that the Sewer and Water laterals were going to be relocated as requested. The last set of plans reverted back to the existing configuration. The Owner's appealed the Utility Director's review letter on the Sanitary Sewer and Water laterals being relocated and the Village Administrator determined that the Sanitary Sewer and Water lateral locations would be acceptable in their current location.

The Site Grading Plan that has been submitted has been reviewed by the Public Works Director. The plan shows how the specific site grading will be done to drain to the underground storage

system and to the back of curb. The March 15, 2021 plan set addresses all of the comments of the Public Works Director and is ready for approval.

Included in this packet is the summary of the Storm Water Management Plan, the Site Utility Plan, the Site Grading Plan, and the March 30, 2021 review letter.

The plans as presented are ready for conditional approval subject to the following conditions being satisfied prior to the issuance of a Building Permit.

RECOMMENDATION

Move to conditionally approve the Storm Water Management Plan, Site Utility Plan and Site Grading Plan for Tom Haman – Culver’s Restaurant at 4542 Douglas Avenue subject to the following:

- 1. All comments on the Utility Director’s review letter dated March 30, 2021 are addressed, as necessary.**
- 2. The Design Engineer determines that the plans approved by the Caledonia Utility District are technically adequate and are stamped by the Design Engineer.**
- 3. A Storm Water Easement/Maintenance Agreement will need to be granted by the Owners to encompass the Underground Storage and Outlet Structures. The Design Engineer shall provide the following: An Exhibit of the entire property, a Legal Description of the entire property, an Exhibit of the Storm Water Easement, a Legal Description of the Storm Water Easement, and a maintenance plan for the facility. (Facility and Outlets).**
- 4. A Financial Guarantee \$10,000.00 will need to be made and a Deposit Agreement will need to be executed by the owners to ensure that the Underground Storage and Outlet structures are installed, asbuilt and certified by the Design Engineer. This is to ensure that the Underground Storage and Outlets are constructed in accordance with the approved plans.**
- 5. A Sanitary Sewer Easement will need to be granted by the Owners to encompass the Sanitary Sewer Monitoring/Sampling Manhole. The Design Engineer shall provide the following: An Exhibit of the entire property, a Legal Description of the entire property, an Exhibit of the Sanitary Sewer Easement, and a Legal Description of the Sanitary Sewer Easement.**
- 6. A copy of the Recorded Sanitary Sewer and Water lateral easements will need to be provided prior to the issuance of a Building Permit.**
- 7. Will need to obtain a Land Disturbance Permit from the Engineering Department.**
- 8. Submit an NOI and any other necessary permits from the Wisconsin DNR.**

Tuesday, March 30, 2021

Nielsen Madsen & Barber, S.C.
c/o Joshua Murray P.E.
1458 Horizon Boulevard Suite 200
Racine, WI 53406

RE: Culver's - Storm Water Management Plan & Site Grading Plan Review

Dear Mr. Murray:

The Caledonia Utility District has performed a review of the Storm Water Management Plan and related Utility Plans for the proposed Culver's Restaurant at 4542 Douglas Avenue. The Storm Water Management Plan and related Utility Plans are dated and submitted March 15, 2021. Below is a summary of the review comments.

- **Storm Water Management Plan**
 - The Storm Water Management Plan for 4542 Douglas Avenue is hereby approved.

- **Site/Utility Plans**
 - **Sanitary Sewer Service**
 - With the proposed land split/swap with the abutting property to the South, the existing sewer lateral for the Happy Car Wash will no longer be in front of the property that the Happy Car Wash is on. This will require the sanitary sewer lateral for the Happy Car Wash to be relayed to the sanitary sewer main in front of the lot in which the Happy Car Wash is located. The existing sanitary sewer lateral shall be removed to the property line and capped. *The Village Administrator has determined that the lateral locations for the Happy Car Wash are okay to leave in their current location. With this determination, there shall be an easement over the laterals as shown on the plans. A copy of the recorded easement shall be provided to the Utility District prior to the issuance of a Building Permit. The Utility District will not be responsible for any disruptions or problems that may occur with these laterals not being relocated to the front of the actual lot.*

 - **Water Service**
 - With the proposed land split/swap with the abutting property to the South, the existing water lateral for the Happy Car Wash will no longer be in front of the property that the Happy Car Wash is on. This will require the water lateral for the Happy Car Wash to be relayed to the watermain in front of the lot in which the Happy Car Wash is located. The existing water lateral shall have the corporation removed from the watermain, a repair clamp/sleeve put in its place and the curb stop disconnected and removed. *The Village Administrator has determined that*

the lateral locations for the Happy Car Wash are okay to leave in their current location. With this determination, there shall be an easement over the laterals as shown on the plans. A copy of the recorded easement shall be provided to the Utility District prior to the issuance of a Building Permit. The Utility District will not be responsible for any disruptions or problems that may occur with these laterals not being relocated to the front of the actual lot.

- The Design Engineer shall provide required the water meter size for the proposed building when the interior plumbing plans are completed. The water meter selected must be a Utility District approved water meter. (Badger Meter Displacement & Compound Meters)
- The development may be subject to the Sewer Connection Fee and the Water Impact Fee based on the water meter size.

- **Storm Water**
- Plan set sheets C-15 and C-16 for the Underground Detention System will need to be updated pursuant to the 3/29/2021 email answering questions discussed on March 23.

- **General Comments**
 - The Utility District retains the right to additional review comments until the plans are approved.
 - Once approved by the Caledonia Utility District, 2 stamped hard copies, 1 stamped electronic (pdf) copy, and the Storm Water Model file are to be submitted for the Storm Water Management Plan. 5 stamped hard copies and 1 stamped electronic (pdf) copy are to be submitted for the Site Grading Plan.
 - A Storm Water Easement/Maintenance Agreement will need to be granted by the Owners to encompass the Underground Storage and Outlet Structures. The Design Engineer shall provide the following: An Exhibit of the entire property, a Legal Description of the entire property, an Exhibit of the Storm Water Easements, a Legal Description of the Storm Water Easements, and a maintenance plan for the facility. (Underground Storage and Outlets).
 - A Sanitary Sewer Easement Agreement will need to be granted by the Owners to encompass a Sanitary Sewer monitoring/sampling manhole. The Design Engineer shall provide the following: An Exhibit of the entire property, a Legal Description of the entire property, an Exhibit of the Sanitary Sewer Easement, and a Legal Description of the Sanitary Sewer Easement.
 - A Financial Guarantee (\$10,000.00) will need to be made and a Deposit Agreement will need to be executed by the owners to ensure that the Underground Storage and Outlet structures are installed, asbuilt and certified by the Design Engineer. This is to ensure that the Underground Storage and Outlets are constructed in accordance with the approved plans.

The Village of Caledonia Engineering Department has performed a review of the Site Grading Plan and related plan sheets for the proposed Culver's Restaurant at 4542 Douglas Avenue. Upon discussion with Public Works Director Tom Lazcano all comments have been addressed.

If there are any questions on this review, please contact me to discuss.

Sincerely,

A handwritten signature in black ink that reads "Anthony Bunkelman". The signature is written in a cursive style with a long horizontal flourish extending to the right.

Anthony A. Bunkelman P.E.
Utility Director
Village of Caledonia

STORM WATER MANAGEMENT PLAN

FOR

CULVERS RACINE

Village of Caledonia, Racine County, Wisconsin

January 22, 2021

Revised: March 15, 2021

PREPARED FOR:

Tom Haman
Culver's Racine
722 South Sylvania Avenue
Sturtevant, WI 53177
Email: racineculv1@hotmail.com

PREPARED BY:

Joshua A. Murray, P.E.
Nielsen Madsen & Barber, S.C.
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STORM WATER MANAGEMENT PLAN

FOR

CULVERS RACINE

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1. Introduction
2. Methods of Analysis
3. Existing Conditions
4. Post-Developed Conditions
5. Areas Tributary to Existing Storm Sewer
6. Storm Water Quality and Quantity
7. Routing Data
8. Conclusion

Appendix A

- Soils Map

Appendix B

- WinSLAMM Water Quality Analysis

Appendix C

- Existing Conditions HydroCAD Routing Details
- Post-Developed HydroCAD Routing Details
- Post-Developed (Storm Sewer Capacity) HydroCAD Routing Details
- Post-developed (Plugged) HydroCAD Routing Details

Appendix D

- Existing Conditions Map (EX-1)
- Post-Developed Conditions Map (DEV-1)

Appendix E

- Storm Sewer Sizing Calculations
- Storm Sewer Drainage Area Exhibit (STM-1)



INTRODUCTION

Nielsen Madsen & Barber was retained by Culver's Racine to prepare a site grading, drainage, and Storm Water Management Plan for the proposed Culver's Restaurant located at 4542 Douglas Avenue in the Village of Caledonia.

The 1.86 acre site consists of an abandoned gas station, pavements, and undeveloped space. The proposed development will be required to follow the storm water management standards established by the Village of Caledonia in addition to the Wisconsin Department of Natural Resources (WDNR). This development will be considered a redevelopment.

WDNR Chapter NR 151 of the State of Wisconsin Administrative Code and the Village of Caledonia Post Construction Storm Water Management Ordinance require a minimum 40% reduction of the Total Suspended Solids (TSS) load from parking areas and roads for redevelopment sites. The Village of Caledonia Post Construction Storm Water Management Ordinance requires that the peak discharge rate for the post-developed 10-year and 100-year, 24-hour rainfall events do not exceed the existing peak discharge rates for the 2-year and 10-year, 24-hour events, respectively. In addition, the peak discharge rates entering the existing public storm sewer in Douglas Avenue must not exceed the existing storm sewer capacity.

To address these requirements, an underground detention system (UDS) has been designed to control the peak rates of runoff and achieve the TSS load reduction.

METHOD OF ANALYSIS

The method used for this storm water analysis was the United States Department of Agriculture, Natural Resources Conservation Service, Urban Hydrology for Small Watersheds, Technical Release No. 55 (TR-55). The specific software is HydroCAD V10, as produced by HydroCAD Software Solutions, LLC. In running this model, NMB determined runoff curve numbers (CN) and times of concentration (Tc) for the individual drainage areas. This information was then used to generate storm hydrographs and peak discharge rates. In addition, WinSLAMM V10.4, as produced by PV and Associates, LLC., was utilized to analyze the water quality of the Post-Developed runoff.

EXISTING CONDITIONS

The site is currently an abandoned gas station. An Existing Conditions Map can be found in Appendix "D" of this report.

The existing conditions drainage area is described as follows:

EX-1

Sub-basin EX-1 contains 1.86 acres and consists of pavement, rooftop, and lawn areas. The Tc travel path starts on the west side of the basin and continues northeast until it exits on the north east side of the site.

POST - DEVELOPED CONDITIONS

The post-developed conditions consist of the Culver's Restaurant site and offsite tributary areas. A Post-Developed Conditions Map can be found in Appendix "D" of this report.

The post-developed drainage area has been divided into three sub-basins as follows:

DEV-1 (Onsite area tributary to the proposed UDS)

Sub-basin Dev-1 contains 1.689 acres and consists of pavement, rooftop, and lawns/landscaping areas. The Tc travel path starts in the lawn at the northeast corner of the proposed restaurant and continues southeast overland until discharging into the proposed UDS.

DEV-2 (Onsite undetained areas)

Sub-basin Dev-2 contains 0.175 acres and consists of driveway pavement and lawn areas on the north and east sides of the project site that are not directed to the proposed UDS. The Tc travel path starts in the lawn area at the northeast corner of the site and flows northeast offsite to the Douglas Avenue right-of-way.

WEST OFFSITE (Offsite areas tributary to the proposed UDS)

Sub-basin West Offsite contains 1.176 acres and consists of pavement, rooftop, gravel, and grassed areas. The Tc travel path starts in the grassed area on the north portion of the sub-basin where it travels southeast overland until discharging into the proposed UDS.

AREAS TRIBUTARY TO EXISTING STORM SEWER

The areas tributary to the existing storm sewer are shown on the Post-Developed Conditions Map.

EX CB 5

Sub-basin EX CB 5 contains 0.20 acres and consists of lawn and pavement tributary to existing catch basin 5. A portion of this area is onsite undetained lawn and pavement areas accounted for within DEV-2.

EX CB 6

Sub-basin EX CB 6 contains 0.188 acres and consists of lawn and pavement tributary to existing catch basin 6. A portion of this area is onsite undetained lawn and pavement areas also accounted for within DEV-2.

EX CB 7

Sub-basin EX CB 7 contains 0.538 acres and consists of lawn, roof, and pavement tributary to existing catch basin 7. A portion of this area is onsite undetained lawn areas also accounted for within DEV-2.

STORM WATER QUALITY AND QUANTITY

Storm water quality and quantity standards have been established by the WDNR through the "NR 151 Runoff Management" regulation. This regulation establishes runoff pollution performance standards for post-construction development sites consisting of one acre or more of land disturbing construction activity. The Village of Caledonia has also established its own storm water quality and quantity standards in its Post-construction Storm Water Management Ordinance.

The proposed Culver's Restaurant development will be required to follow the storm water management standards established by the Village of Caledonia in addition to the WDNR which apply as follows:

Infiltration: The regulation states that "Best Management Practices" (BMPs) shall be designed, installed, and maintained to infiltrate a sufficient volume of runoff depending on the degree of site imperviousness.

Exemptions from the Village of Caledonia and NR 151 infiltration requirements include the following:

- Areas where the infiltration rate of the soil at the proposed basin site is less than 0.6 inches per hour.
- Parking areas and access roads less than 5,000 S.F. for commercial and industrial developments.
- Redevelopment post-construction sites and
- In-fill development less than 5 acres.

Existing soils have been reviewed using the Web Soil Survey developed by the U.S. department of Agriculture (USDA) Natural Resource Conservation Service (NRCS). The Web Soil Survey indicates Fox sandy loam throughout the site. Since the site is considered a redevelopment, infiltration will not be required. A map of the existing soils on site is included in Appendix "A".

Total Suspended Solids Load Reduction: As stated before, NR 151 and the Village of Caledonia require a minimum of 40% reduction of the TSS load from parking areas and roads for redevelopment sites. A UDS has been designed to treat runoff from the site.

The UDS consists of 195 partial elliptical chambers (SC-740 StormTech Chambers) in a modular configuration (13 rows of 15 chambers) including clean, angular stone as a structural component below, between, and above the chambers. The outlet control structure is a multi-stage device with an orifice and weir plate designed to restrict discharge rates. The discharge from this device will then enter a 12" storm sewer that is connected to an existing catch basin in the Douglas Avenue right-of-way. Two rows of chambers in the UDS (Isolator Row) are surrounded with filter fabric to provide settling and filtration of sediment. A WinSLAMM model was assembled for the post-developed drainage area including the land usage and treatment methods. The "ADS StormTech Isolator Row" is a control practice in WinSLAMM and was used to model the UDS in accordance with WinSLAMM guidance. The "Other Treatment Device" was utilized to account for flow generated by roof, lawn, sidewalk, and offsite areas but not to give treatment "credit" for those areas. Onsite driveway entrance areas that are not captured and treated by the UDS were modeled as bypassing the treatment device.

When these parameters were analyzed in WinSLAMM, the UDS was found to provide a TSS reduction of 52.45% for the 1.335 acres of parking areas and roads from DEV-1 and DEV-2. The proposed treatment system, as designed, exceeds the NR 151 and Village of Caledonia's treatment goals of 40% TSS reduction. The WinSLAMM input data and output summary can be found in Appendix "B" of this report.

Peak Discharge Management: The Village of Caledonia's Post Construction Storm Water Management Ordinance requires that the peak discharge rate for the post-developed 10-year and 100-year, 24-hour rainfall events do not exceed the existing peak discharge rates for the 2-year and 10-year, 24-hour events, respectively. In addition, the peak discharge rates entering the existing public storm sewer in Douglas Avenue must not exceed the existing storm sewer capacity. These requirements have been met through storage within the proposed UDS and the designed outlet control. Detailed sub-basin and routing information can be found in Appendix "C" of this report.

A summary of the proposed UDS design is as follows:

<u>Proposed UDS</u>	
Contributory Watershed:	2.87 Acres (Dev-1 & West Offsite)
System Design:	195 chambers (SC-740 StormTech)
Bottom of UDS:	632.40
Top of UDS:	635.90
High Water Mark (100-year):	635.84
High Water Mark (10-year):	634.30
High Water Mark (2-year):	633.74

OUTLET CONTROL STRUCTURE

Proposed Outlet:

Multi-Stage Outlet (To EX CB 5):

54'-12" RCP @ 0.37%, IE @ 632.40

8" Orifice @ 632.40

2.5' Weir Plate @ 635.80

Outlet Pipe (To EX CB 6)

33'-12" RCP @ 0.76%, IE @ 632.75

Emergency Spillway Conditions:

A 100-year emergency spillway (plugged) conditions was routed for the proposed underground detention system assuming the 8" orifice was plugged and flow over the weir plate was the only available outflow for the multi-stage outlet. The resultant routing indicates a peak ponding elevation of 637.95 in the parking lot isolated in the vicinity of proposed catch basins CB 60 and CB 70 which would result in a maximum parking lot ponding depth of 0.35 feet occurring over CB 60.

ROUTING DATA

UDS	System Bottom	Peak Inflow	Peak Outflow	HWM	Storage (Ac-ft)
2-Yr. 24-Hour Storm	632.40	8.63 cfs	4.01 cfs	633.74	0.148
10-Yr. 24-Hour Storm	632.40	12.73 cfs	5.63 cfs	634.30	0.218
100-Yr. 24-Hour Storm	632.40	20.65 cfs	9.09 cfs	635.84	0.358

CONCLUSION

The total allowable peak discharges from the site were compared to the post-developed peak discharge rates as follows:

	Existing Peak Discharge	Offsite Peak Discharge	Total Allowable Discharge	Post-Developed Peak Discharge
Q ₂	2.87 cfs	3.11 cfs	5.98 cfs	4.10 cfs
Q ₁₀	4.94 cfs	4.63 cfs	7.50 cfs	5.80 cfs
Q ₁₀₀	9.11 cfs	7.57 cfs	12.51 cfs	9.39 cfs

To determine if the existing storm sewers have adequate capacity, the tributary area peak discharges were calculated and combined with the peak discharges from the proposed UDS. The total peak discharges and resulting storm water elevations to the existing catch basins were compared to the capacity of the storm sewer as follows:

	Capacity EX CB 5 (12" RCP @ 1.65%)	Proposed Peak Discharge to EX CB 5	HWM Elevation EX CB 5	Rim Elevation
Q ₂	4.57 cfs	2.06 cfs	632.99	635.99
Q ₁₀	4.57 cfs	2.74 cfs	633.21	
Q ₁₀₀	4.57 cfs	3.97 cfs	633.79	

	Capacity EX CB 6 (12" RCP @ 4.24%)	Proposed Peak Discharge to EX CB 6	HWM Elevation EX CB 6	Rim Elevation
Q ₂	7.33 cfs	2.48 cfs	633.42	636.64
Q ₁₀	7.33 cfs	3.77 cfs	633.98	
Q ₁₀₀	7.33 cfs	6.44 cfs	635.89	

	Capacity EX CB 7 (12" RCP @ 0.39%)	Proposed Peak Discharge to EX CB 7	HWM Elevation EX CB 7	Rim Elevation
Q ₂	2.22 cfs	1.37 cfs	632.65	637.33
Q ₁₀	2.22 cfs	2.18 cfs	632.92	
Q ₁₀₀	2.22 cfs	3.78 cfs	633.62	

After comparing the post-developed peak discharges to the allowable peak discharges, we conclude that the proposed UDS allows the site to meet the Village of Caledonia and WDNR NR 151 design standards. By utilizing the UDS, the water quality goals have been met reducing the parking area and road total suspended solids loading by more than 40%, on an average annual basis.

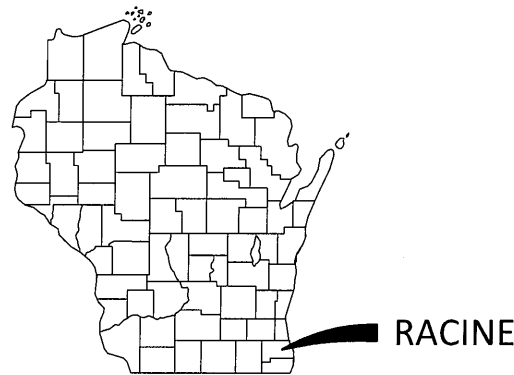
CONSTRUCTION PLANS

for

CULVER'S RESTAURANT

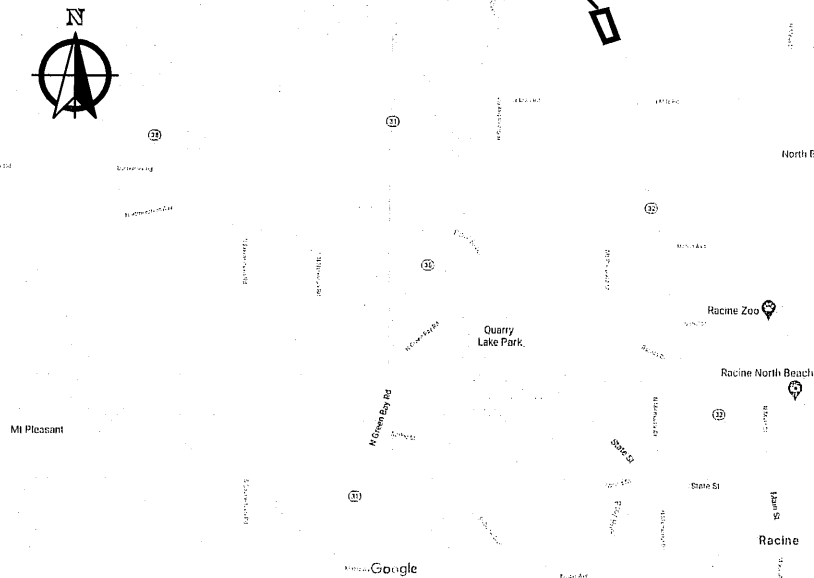
SITE DESIGN PLAN

Villages of Caledonia, Racine County, Wisconsin



RACINE

PROJECT LOCATION



LEGEND

Description	Existing	Proposed	Description	Existing	Proposed
EDGE OF WOODS			SOIL BORING		
DECIDUOUS TREE			WATER SHUT OFF		
DECIDUOUS TREE REMOVAL			WATER MAIN VALVE		
CONIFEROUS TREE			HYDRANT		
CONIFEROUS TREE REMOVAL			WATER MAIN REDUCER		
BUSH			SANITARY MANHOLE		
STORM SEWER			SANITARY CLEAN OUT		
SANITARY SEWER			STORM MANHOLE		
WATERMAIN			CATCH BASIN		
CONTOURS			TELEPHONE BOX		
UNDERGROUND CABLE, ELECTRIC			GUY WIRE		
UNDERGROUND, GAS MAIN			UTILITY POLE		
UNDERGROUND COMMUNICATIONS			GAS VALVE		
SILT FENCE			GAS METER		
OVERHEAD ELECTRIC			LIGHT POLE		
FORCE MAIN			ENDWALL		
FIRE PROTECTION			CULVERT		
UTILITY CROSSING			RAILROAD TRACKS		
SEPTIC VENT			FENCE		
ELECTRIC MANHOLE			NO VEHICULAR ACCESS		
COMMUNICATION MANHOLE			DITCH OR SWALE		
WATER MANHOLE			STREET SIGN		
HVAC UNIT			ELECTRIC PEDESTAL		
UNDERGROUND VAULT			ELECTRIC METER		
SECTION CORNER			PAD MOUNT TRANSFORMER		
MAIL BOX			FOUND IRON PIPE		
GUARD POST			SET IRON PIPE		

ABBREVIATIONS

BASE LINE	BL	INVERT ELEVATION	IE
LONG CORD OF CURVE	CHD	LENGTH OF CURVE	ARC
CURB AND GUTTER	C&G	MANHOLE	MH
CATCH BASIN	CB	NORMAL WATER LEVEL	NWL
CENTERLINE	CL	POINT OF CURVATURE	PC
EDGE OF PAVEMENT	EOP	POINT OF TANGENCY	PT
FINISHED FIRST FLOOR	FFF	TANGENCY OF CURVE	TAN
FINISHED GRADE	FG	POINT OF VERTICAL INTERSECTION	PVI
FLOW LINE	FL	RADIUS	R
FLOODPLAIN	FP	RIGHT OF WAY	ROW
ORDINARY HIGH WATER MARK	OHWM	SANITARY SEWER	SAN
TOP OF BANK	TOB	STORM SEWER	STM
TOP OF CURB	TOC	TOP OF FOUNDATION	TOF
TOP OF WALK	TOW	WATER MAIN	WM

BENCH MARK

1. SPIKE ON WEST FACE OF POWER POLE 01-08314 LOCATED WEST SIDE OF DOUGLAS AVENUE, NORTH OF THE INTERSECTION WITH ELLIS AVENUE. ELEVATION: 638.96

UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.



Call 811 or (800) 242-8511
www.DiggersHotline.com

SHEET INDEX

Plan Sheet	Sheet No.
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DIMENSIONED SITE PLAN	C-4
SITE UTILITY PLAN	C-5
STORM SEWER PLAN	C-6
SITE GRADING PLAN	C-7
EROSION CONTROL PLAN	C-8
PAVEMENT PLAN	C-9 & C-10
TYPICAL SECTIONS & CONSTRUCTION DETAILS	C-11 - C-14
UNDERGROUND DETENTION PLANS	C-15 - C-16
LANDSCAPE PLANS	L-1.0 - L-2.0

OWNER

CULVER'S RACINE
C/O: TOM HAMAN
EMAIL: racineculv1@hotmail.com
ADDRESS: 722 SOUTH SYLVANIA AVENUE

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VILLAGE OF CALEDONIA
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ELECTRICAL EMERGENCY: (800) 662-4797

TDS TELECOM
SOUTHEAST WISCONSIN
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AMERICAN TRANSMISSION COMPANY
BRIAN MCGEE
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EMAIL: bmcgee@atcllc.com
EMERGENCY NUMBER: (800) 972-5341



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbasc.net

CULVERS
EXISTING CONDITIONS
FOR
CULVERS RACINE

VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: MRM
DRAFTED: TRV
DATE: 3-15-2021
CHECKED: ALI
DATE: 3-15-2021

2020.0264.01
SHEET
C-1

ISSUE FOR APPROVAL - 3-15-2021

Monday, March 15, 2021 2:36:17 PM

BEARING BASE: GRID NORTH, WISCONSIN
COORDINATE SYSTEM, SOUTH ZONE.
BASED UPON NAD 1983 / 2011.

ALL ELEVATIONS REFER TO NAVD 1988 (12).

LEGEND:

- | | | | |
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EXISTING UTILITY DATA

STM 1 RIM 636.74 IE. 60" W 627.69 IE. 60" N 627.74 IE. 12" E	SAN 1 RIM 636.56 IE. 8" N 626.96 IE. 8" E 624.11 IE. 8" S 624.21	CB 1 RIM 638.43 IE. 48" W 629.43 IE. 48" E 629.38	CB 4 RIM 635.90 IE. 6" N 633.45 IE. 12" N 631.35 IE. 6" S 633.60 IE. 12" S 631.40	CB 7 RIM 637.33 IE. 6" N 634.93 IE. 12" E 631.88 IE. 6" S 634.98
STM 2 RIM 637.36 IE. 60" N 628.31 IE. 12" E 630.71 IE. 60" S 628.26 IE. 12" W 631.26	SAN 2 RIM 638.12 IE. 8" S 628.77 IE. 6" W 631.87	CB 2 RIM 636.15 IE. 60" W 627.70 IE. " S 627.75 IE. 60" E 627.65	CB 5 RIM 635.99 IE. 6" N 633.79 IE. 6" S 633.69 IE. 12" S 632.19	CB 8 RIM 636.37 IE.
STM 3 RIM 637.97 IE. 60" N 628.87 IE. 12" E 630.97 IE. 60" S 628.82 IE. 12" W 631.77	SAN 3 RIM 637.52 IE.	CB 3 RIM 636.00 IE. 12" N 630.35 IE. 60" E 627.70 IE. 60" S 627.65	CB 6 RIM 636.64 IE. 6" N 633.89 IE. 12" E 632.49 IE. 6" S 633.99	CB 9 RIM 636.62 IE.

LEGEND

- EXISTING ACCESS EASEMENT

UTILITY NOTE

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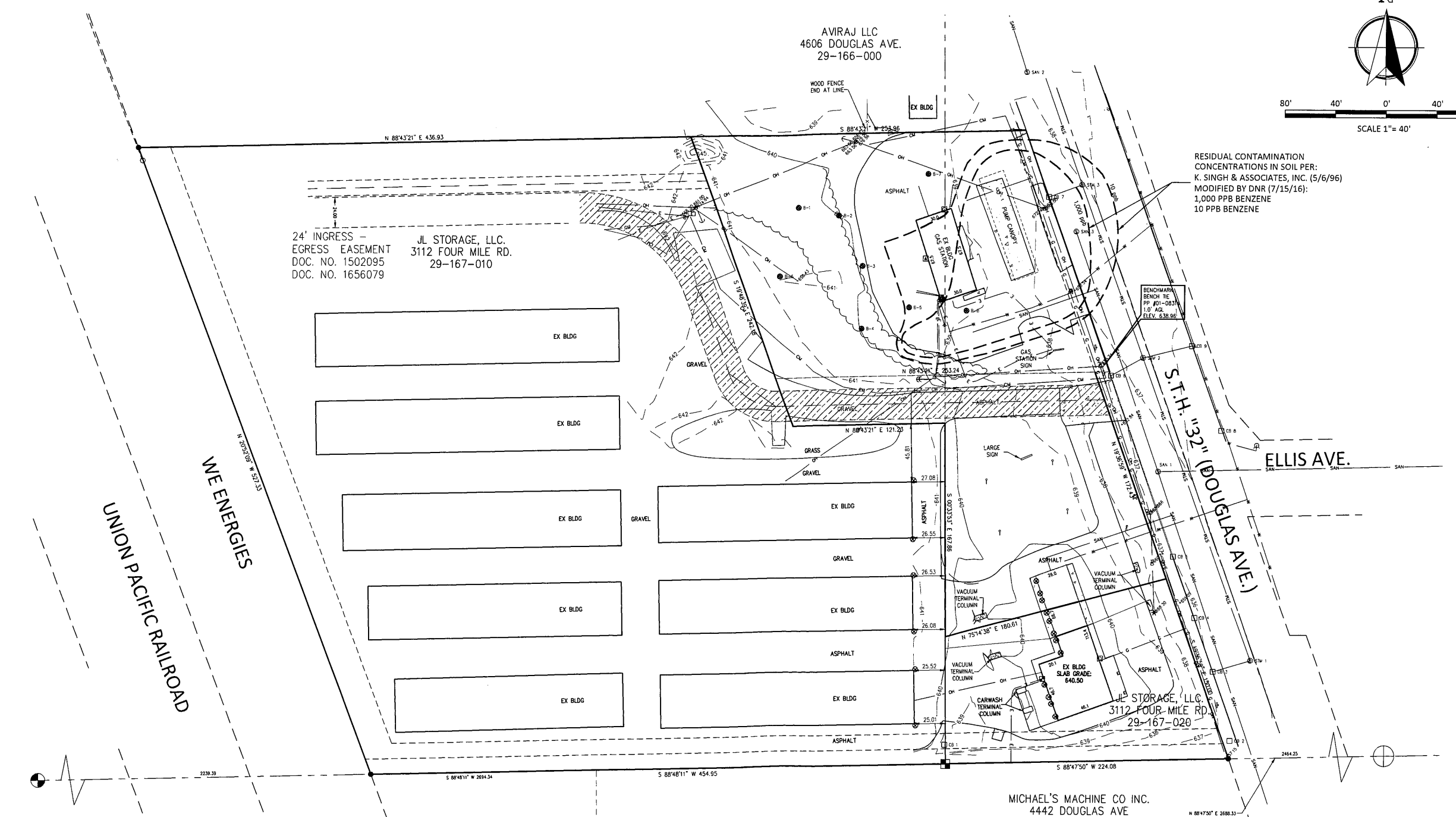
DIGGER'S HOTLINE
Call 800 or (800) 242-8511
www.DiggersHotline.com



80' 40' 0' 40' 80'
SCALE 1" = 40'

RESIDUAL CONTAMINATION
CONCENTRATIONS IN SOIL PER:
K. SINGH & ASSOCIATES, INC. (5/6/96)
MODIFIED BY DNR (7/15/16):
1,000 PPB BENZENE
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Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

CULVERS
EXISTING CONDITIONS
FOR
CULVERS RACINE
VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

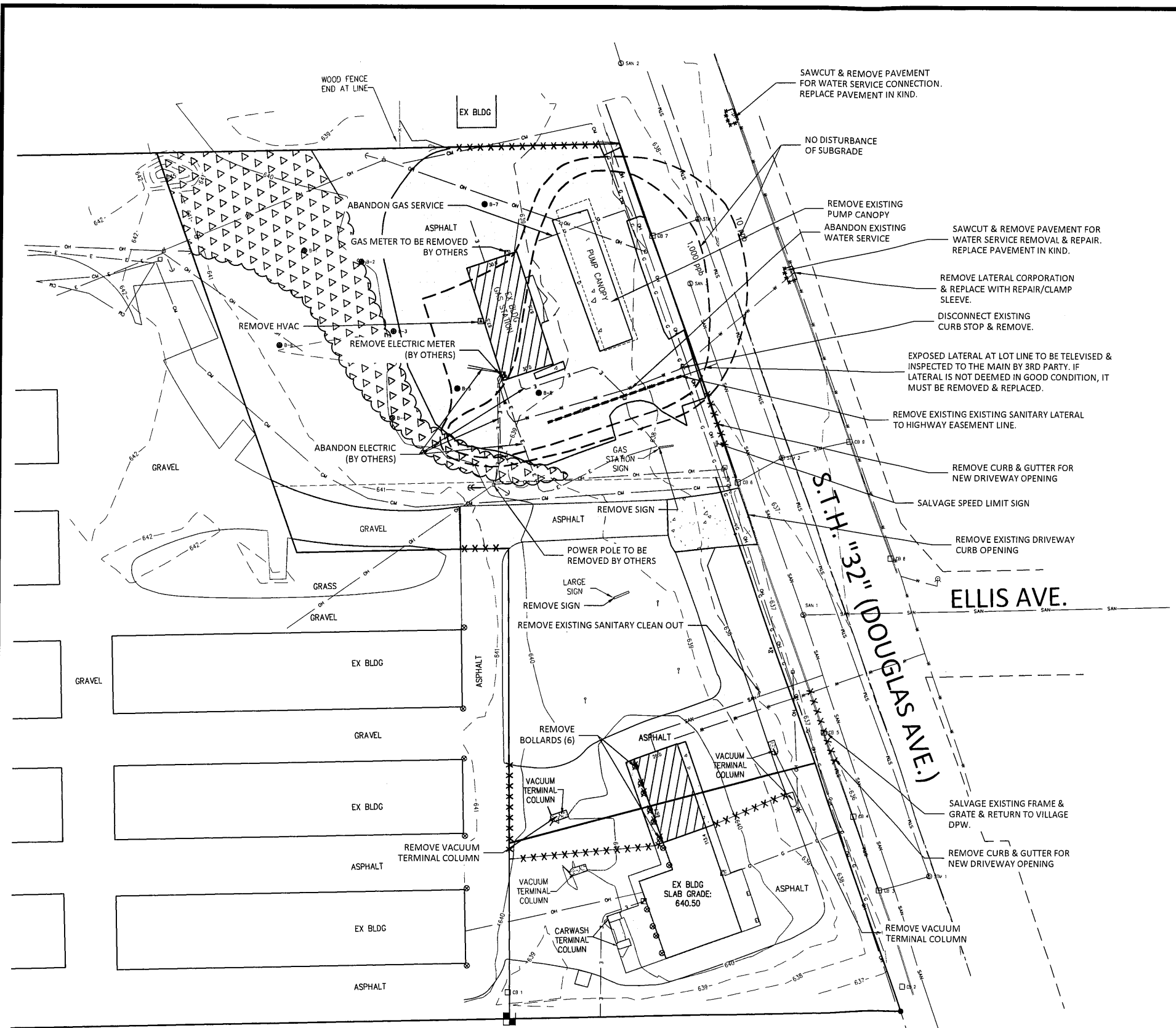
NO.	REVISION	BY	DATE

PROJ. MGR: MRM
DRAFTED: SCB/DMB
DATE: 3-15-2021
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CONTAMINATED SOILS NOTE

ALL EXCAVATED CONTAMINATED SOILS ARE TO BE COORDINATED WITH TERRACON FOR REMOVAL FROM THE SITE.

TERRACON CONTACT:
BLAINE R. SCHROYER, P.E.
PHONE: (414) 423-0255

DEMOLITION NOTES

THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (AT A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PAVEMENTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLY COMPACTED STRUCTURAL FILL MATERIAL PER THE SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION, SITE CLEARING, AND DISPOSAL.

THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LAND SURVEYOR AND ENGINEER OF RECORD ASSUME NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION (OR MODIFICATION) OF THE BUILDINGS.

ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY CONFLICTS THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.

ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CALL DIGGERS HOTLINE AT 1-800-242-8511 A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION ACTIVITIES TO LOCATE AND MARK ALL UNDERGROUND UTILITIES.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE AND MARK ALL UNDERGROUND PRIVATE UTILITIES.

CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. TEMPORARY CLOSURE OF ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.

CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.

PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO, FENCES, SIGNS, UTILITIES, BUILDINGS, TREES, PAVEMENTS, AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. ANY DAMAGE SUSTAINED TO ITEMS TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL LIMIT PAVEMENT REMOVALS TO ONLY THOSE AREAS WHERE IT IS NECESSARY AS SHOWN ON THESE CONSTRUCTION PLANS. CONCRETE SIDEWALK AND CURB & GUTTER IS TO BE REMOVED TO NEAREST JOINT IN ORDER TO ACCOMMODATE PROPOSED IMPROVEMENTS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENTS AND/OR OTHER IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPAIR OF DAMAGED PAVEMENT AND OTHER ITEMS AT NO ADDITIONAL COST TO THE OWNER.

ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24 OF THE "STANDARD SPECIFICATIONS".

IF PREVIOUSLY UNIDENTIFIED HAZARDOUS, CONTAMINATED MATERIALS, OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE PROJECT CONSTRUCTION MANAGER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE CONSTRUCTION MANAGER.

AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

UTILITY NOTE

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DIGGERS HOTLINE
Call (911) or (800) 242-8511
www.DiggersHotline.com

- LEGEND**
- REMOVE BUILDING
 - SAW CUT PAVEMENT FULL DEPTH
 - REMOVE ASPHALT FULL DEPTH
 - CLEAR & GRUB VEGETATION
 - REMOVE GRAVEL
 - REMOVE CONCRETE PAVEMENT FULL DEPTH
 - UTILITY REMOVAL

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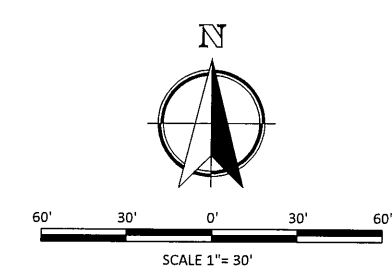
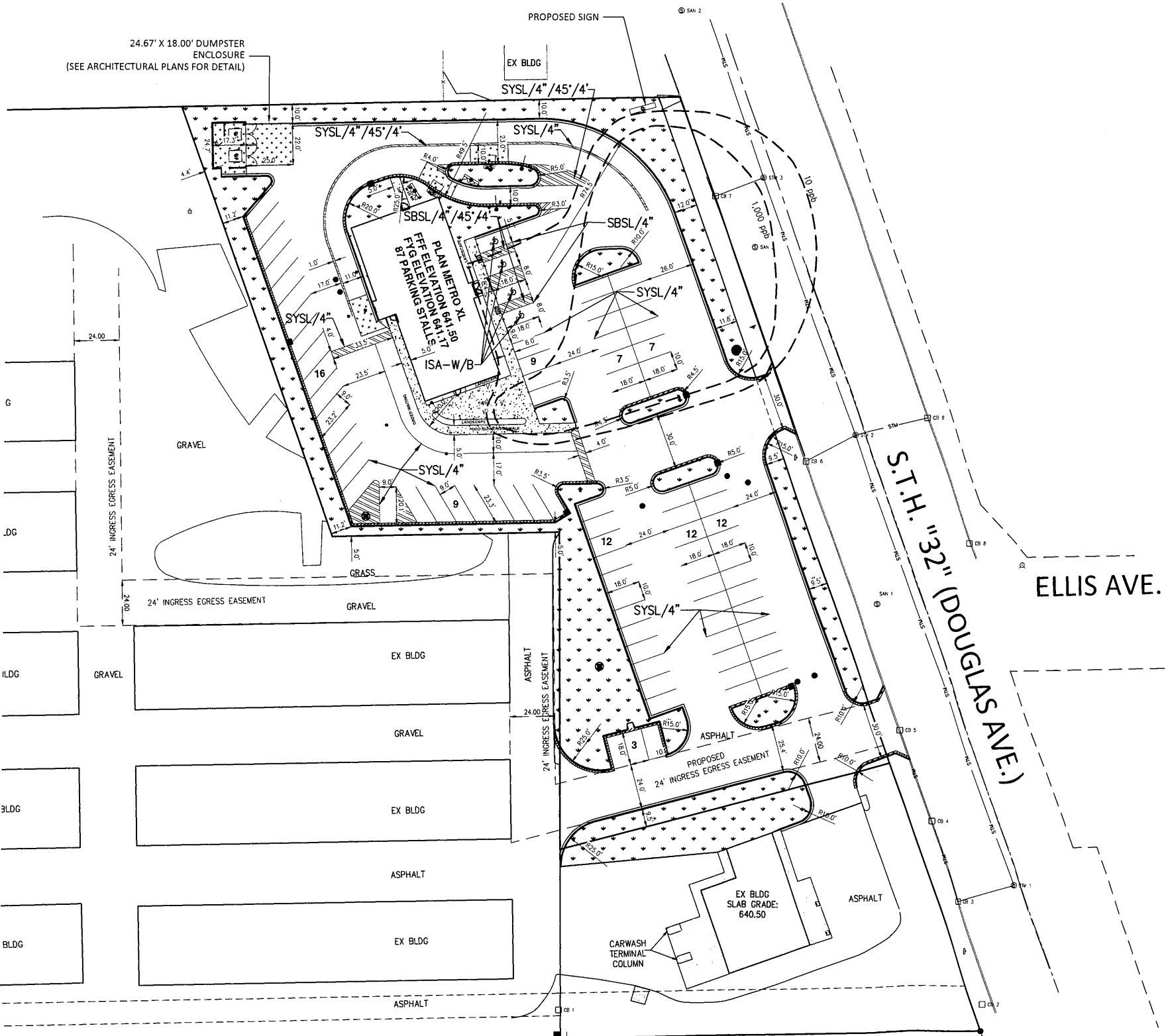
CULVERS
SITE DEMOLITION PLAN
FOR
CULVERS RACINE
VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: MRM
DRAFTED: TRV
DATE: 3-15-2021
CHECKED: ALI
DATE: 3-15-2021

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- PAVEMENT MARKING LEGEND**
 SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
 SYSL/4"/45"/4' - SINGLE YELLOW SOLID LINE / 4" WIDE EACH, 45', 4' O.C.
 ISA-W/B - INTERNATIONAL SYMBOL FOR ACCESSIBILITY - WHITE ON BLUE BACKGROUND
 SBSL/4" - SINGLE BLUE SOLID LINE / 4" WIDE EACH
 SBSL/4"/45"/4' - SINGLE BLUE SOLID LINE / 4" WIDE EACH, 45', 4' O.C.

PARKING INFORMATION
 PROPOSED:

ADA PARKING STALLS	4
STANDARD PARKING STALLS	83
TOTAL PROPOSED PARKING STALLS	87

UTILITY NOTE
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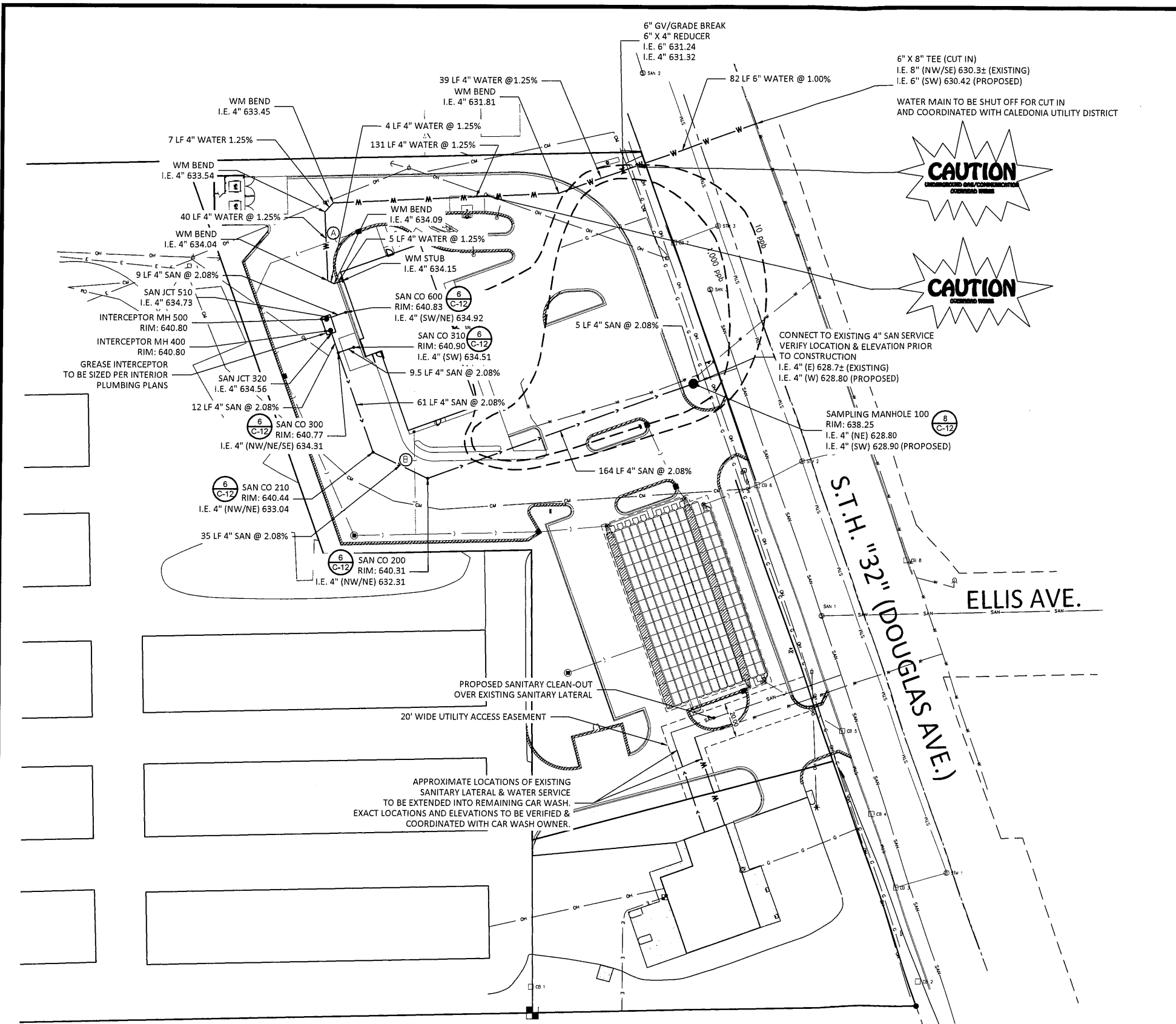
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CULVERS
 SITE PLAN
 FOR
CULVERS RACINE
 VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

NO.	
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REFERENCES

ANY OR ALL OF THE FOLLOWING REFERENCE DOCUMENTS THAT ARE APPLICABLE TO THE PROPOSED ITEMS OF WORK ARE INCLUDED IN THIS CONTRACT:

STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION, DECEMBER 22, 2008 WITH ADDENDA NO. 1 AND NO. 2, HEREIN REFERRED TO AS "STANDARD SPECIFICATIONS."

STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS." THE CURRENT VERSION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WISDOT WEBSITE AT <http://roadwaystandards.dot.wi.gov/standards/stdspec/index.htm>

GENERAL UTILITY NOTES

ALL APPLICATIONS AND CONNECTION FEES FOR WATER SERVICES MUST BE SUBMITTED AND PAID PRIOR TO CONNECTION TO THE PUBLIC SYSTEMS.

THE CONTRACTOR SHALL PROVIDE 7 DAYS NOTICE TO THE VILLAGE OF CALEDONIA BEFORE COMMENCING CONSTRUCTION ON ANY WATER IMPROVEMENTS.

THE CONTRACTOR SHALL CONTACT THE VILLAGE OF CALEDONIA 3 DAYS PRIOR TO PROPOSED WATERMAIN SHUTDOWNS OR ANY WORK THAT MAY INTERFERE WITH EXISTING WATER SERVICE. ALL EXISTING VALVES, HYDRANTS, AND OTHER WATER INFRASTRUCTURE SHALL BE MAINTAINED AND OPERATED BY THE VILLAGE OF CALEDONIA.

ALL SANITARY LATERALS AND WATER LATERALS TO BE CONSTRUCTED PER THE VILLAGE OF CALEDONIA UTILITY DISTRICT STANDARDS.

WATER MAIN / SEWER SPECIFICATIONS

ALL APPLICATIONS AND CONNECTION FEES FOR SANITARY SEWER SERVICES MUST BE SUBMITTED AND PAID PRIOR TO CONNECTION TO THE PUBLIC SYSTEMS.

ANY UTILITY WORK IN THE PUBLIC RIGHT-OF-WAY (OR EASEMENTS) AND ALL SANITARY SEWER CONSTRUCTION TO BE INSPECTED BY THE VILLAGE OF CALEDONIA. NOTIFY THE VILLAGE OF CALEDONIA 48 HOURS IN ADVANCE OF CONNECTING TO SEWER.

CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS AND SIZES OF EXISTING SANITARY AND STORM SEWERS, WATER MAINS, GAS & ELECTRIC LINES AND OTHER ADJACENT UTILITIES PRIOR TO COMMENCING CONSTRUCTION. AS-BUILT (FIELD) DATA SHALL BE USED TO CHECK ALL PROPOSED UTILITY CROSSINGS FOR CONFLICTS.

THE EXACT LOCATION OF THE SANITARY SEWER LATERAL, DOMESTIC WATER LINE, FIRE PROTECTION LEAD, NATURAL GAS SERVICE, ELECTRIC, PHONE AND CABLE LINES (AS THEY ENTER THE BUILDING) SHALL BE PER THE ARCHITECTURAL OR MECHANICAL DRAWINGS.

MATERIALS FOR WATERMAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (SPS) AND THE VILLAGE OF CALEDONIA UTILITY DISTRICT SPECIFICATIONS.

A BLUE 12-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE WATER LATERALS PER SPS 382.40(B)(K). THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS (FOR EACH SYSTEM INSTALLED) AND ENCLOSED IN A RISER BOX WITH "WATER" ON THE COVER.

SANITARY SEWER LATERALS SHALL HAVE A GREEN 12 GAUGE TRACER WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE AT THE EDGE OF THE BUILDING WITHIN THE CLEANOUT RISER FROST SLEEVE.

WATER SERVICE SHALL BE FOUR INCH (4") MINIMUM COPPER TYPE "K". WATER SERVICE CONNECTION SHALL BE CONSTRUCTED WITH MUELLER MODEL NUMBER H-15000 CORPORATION, MUELLER "TORI-SEAL" MODEL NUMBER H-15201 CURB VALVES, AND MUELLER 1-1/4" ARCH PATTERN CURB BOX (MODEL NUMBER H-10585).

SANITARY SEWER LATERAL PIPE MATERIAL SHALL BE 4" PVC CLASS SDR-26, CONFORMING TO THE REQUIREMENTS OF ASTM D3034 AND F-789/P546 WITH RUBBER GASKETS. CLEAN-OUT RISERS SHALL BE 6" DIAMETER WITH 8" DIAMETER FROST SLEEVE CONSTRUCTED OF THE SAME MATERIAL.

ALL SEWER AND WATER LINES INSTALLED IN PROPOSED PRIVATE PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

ALL SEWER AND WATER LINES INSTALLED IN EXISTING PUBLIC ROADS SHALL BE BACKFILLED WITH SLURRY MATERIAL IN ACCORDANCE WITH CHAPTER 8.43.8 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS.

PROVIDE FIVE FEET (5') OF COVER OVER ALL SANITARY SEWERS AND FIVE AND ONE HALF FEET (5'-1/2') OF COVER OVER ALL WATER MAINS. MINIMUM HORIZONTAL SEPARATION OF UTILITY MAINS IS EIGHT FEET (8'). PROVIDE VERTICAL SEPARATION OF UTILITIES PER CODE.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

UTILITY LEGEND

- S— PROPOSED SANITARY SEWER
- S- PROPOSED STORM SEWER
- W- PROPOSED WATER MAIN

UTILITY CONFLICT RESOLUTION TABLE

LOCATION	UTILITY	BOTTOM OF PIPE	TOP OF PIPE	CLEARANCE
A	6" STM	637.34	637.92	3.24'
	4" WTR	633.76	634.10	
B	6" STM	635.26	635.84	2.45'
	4" SAN	632.48	632.81	

UTILITY NOTE

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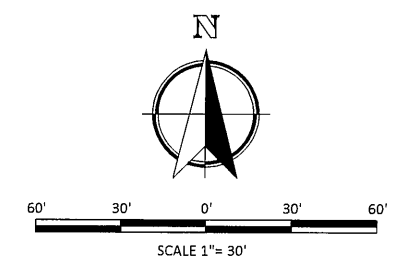
CULVERS SITE UTILITY PLAN FOR CULVERS RACINE
 VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

NO.	DATE
BY	
REVISION	

PROJ. MGR: MRM
 DRAFTED: TRV
 DATE: 3-15-2021
 CHECKED: ALI
 DATE: 3-15-2021

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STORM SEWER SPECIFICATIONS

MATERIAL FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) AND THE VILLAGE OF CALEDONIA SPECIFICATIONS.

STORM SEWER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN", 6TH EDITION, DECEMBER 22, 2003 WITH ADDENDA NO. 1 AND NO. 2, HEREIN REFERRED TO AS THE "STANDARD SPECIFICATIONS".

THE STORM SEWER SYSTEM WAS SIZED ACCORDING TO SPS TABLE 382.36-4 "MAXIMUM CAPACITY OF STORM WATER HORIZONTAL CONVEYANCE PIPING FOR CONCRETE, ASTM C76 AND ASTM C14". ANY MATERIAL APPROVED BY THE VILLAGE OF CALEDONIA AND THE WISCONSIN DEPARTMENT OF COMMERCE MAY BE USED AT THE SLOPES AND SIZES DESIGNED.

STORM SEWER, ROOF DRAIN AND STORM BUILDING SEWER PIPE AND TUBING MATERIALS SHALL CONFORM TO SPS 384.30 OF THE WISCONSIN ADMINISTRATIVE CODE. REINFORCED CONCRETE PIPE (RCP) AND POLYVINYL CHLORIDE (PVC) MATERIALS SHALL BE SELECTED FROM TABLE 384.30-6. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE MATERIAL (IF SELECTED) SHALL MEET THE REQUIREMENTS OF AASHTO M-252 FOR 4"-10" DIAMETER SIZES AND AASHTO M294 FOR 12"-48" DIAMETER SIZES.

BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".

ALL STORM SEWERS INSTALLED IN EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

A BROWN 12 GAUGE LOCATOR WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE STORM SEWERS, ROOF DRAINS AND STORM BUILDING SEWER LATERALS PER SPS 382.36(7)(d)110. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE WITHIN THE STRUCTURES AND ROOF DRAIN RISERS.

STORM SEWER MANHOLES (MH) SHALL BE 48" REINFORCED CONCRETE, UNLESS OTHERWISE STATED ON THE PLANS. STORM SEWER DRAIN BASIN (DB) SHALL BE 18" DIAMETER NYLOPLAST STRUCTURES, OR APPROVED EQUAL.

ALL MANHOLES INSTALLED IN PAVED SURFACES AND NOT ACCEPTING RUNOFF SHALL BE FURNISHED WITH A NEENAH R-1580, TYPE "B" FRAME & GRATE. ALL MANHOLES AND CATCH BASINS INSTALLED IN PAVED SURFACES AND ACCEPTING RUNOFF SHALL BE FURNISHED WITH A NEENAH R-2080, TYPE "B" FRAME & GRATE.

ALL MANHOLES AND CATCH BASINS INSTALLED WITHIN CURB & GUTTER SECTIONS SHALL BE FURNISHED WITH A NEENAH R-3067 TYPE "R" FOR VERTICAL FACE CURB & GUTTER.

EXISTING CATCH BASIN 5 FRAME & GRATE TO BE REPLACED WITH NEENAH R-3290, "TYPE A" FRAME & GRATE OR VILLAGE APPROVED EQUAL.

STORM SEWER CATCH BASINS SHALL BE 24x36" RECTANGULAR REINFORCED CONCRETE STRUCTURES UNLESS OTHERWISE STATED ON THE PLANS.

ALL STRUCTURES SHALL BE FURNISHED WITH A MINIMUM 12" SUMP.

ALL STORM SEWERS, CATCH BASINS AND MANHOLES SHALL BE CONSTRUCTED WITH WATER AND GAS TIGHT JOINTS IN CONFORMANCE WITH SPS 384.40.

UNDERGROUND DETENTION SYSTEM TO BE ADS STORM TECH SC740 CHAMBER SYSTEM AND CONFORM TO ADS SPECIFICATIONS. ALL RISERS TO BE 30" NYLOPLAST DRAIN BASINS WITH 2" SUMP.

NYLOPLAST TO REINFORCED CONCRETE PIPE TRANSITIONS TO BE MADE USING MARMAC DISIMILAR PIPE REINFORCED RUBBERIZED MASTIC EXTERNAL SEALING BANDS.

ALL ROOF DRAIN RISERS AND CLEANOUT STRUCTURES SHALL BE 6" DIAMETER AND INSTALLED WITH A 8" FROST SLEEVE. THE SITE UTILITY CONTRACTOR SHALL EXTEND ALL ROOF DRAIN RISERS AND FROST SLEEVES SUFFICIENTLY ABOVE FINISHED YARD GRADE AND CONNECT DOWNSPOUTS PER THE TYPICAL DETAIL SHOWN ON THE PLANS.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 203.3.12 OF THE "STANDARD SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

STORM WATER MAINTENANCE PLAN

THE STORM WATER DRAINAGE / WATER QUALITY SYSTEM BEING INSTALLED AS PART OF THIS DEVELOPMENT SHALL BE INSPECTED ON A SEMIANNUAL BASIS.

AS PART OF THE INSPECTION, ANY SILT, SEDIMENT OR DEBRIS BUILT UP IN THE BOTTOM OF THE STRUCTURE SHALL BE REMOVED AND DISPOSED OF.

IF EXCESSIVE AMOUNTS OF SEDIMENT ARE PRESENT, THE MAINTENANCE SCHEDULE SHALL BE ADJUSTED ACCORDINGLY OR A PAVEMENT SWEEPING PROGRAM ESTABLISHED TO MINIMIZE THE SEDIMENT LOADING ENTERING THE STORM WATER DRAINAGE/WATER QUALITY SYSTEM.

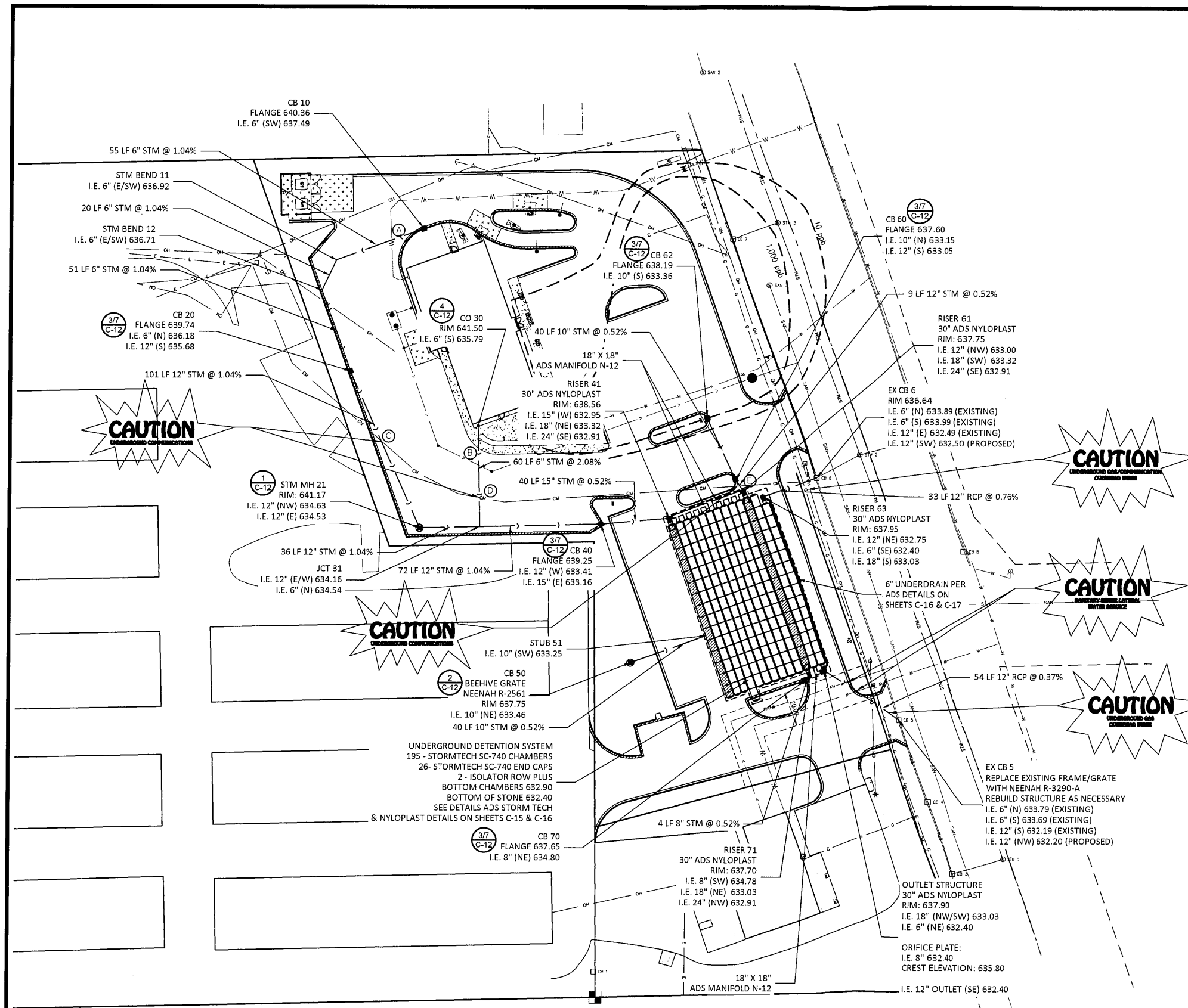
1. THE PROPERTY OWNER IS ULTIMATELY RESPONSIBLE FOR ENSURING THAT THE STORM WATER LEAVING THE SITE IS AS CLEAN AS PRACTICABLE.

UTILITY LEGEND

- >— PROPOSED SANITARY SEWER
- >— PROPOSED STORM SEWER
- W— PROPOSED WATER MAIN

UTILITY CONFLICT RESOLUTION TABLE

LOCATION	UTILITY	BOTTOM OF PIPE	TOP OF PIPE	CLEARANCE
A	6" STM	637.24	637.82	3.12'
	2" WTR	633.76	634.12	
B	6" STM	635.26	635.84	2.47'
	2" SAN	632.38	632.79	
C	COMM	638.8±	639.3±	2.4'±
	12" STM	635.04	636.38	
D	COMM	638.0±	638.5±	2.8'±
	6" STM	634.80	635.22	
E	COMM	635.8±	636.3±	1.5'±
	2" STM	632.08	634.22	



CAUTION
UNDERGROUND UTILITIES

CAUTION
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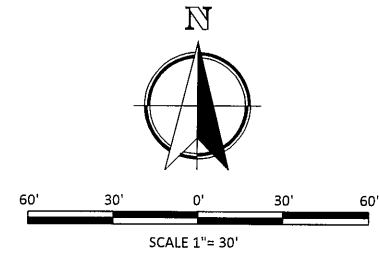
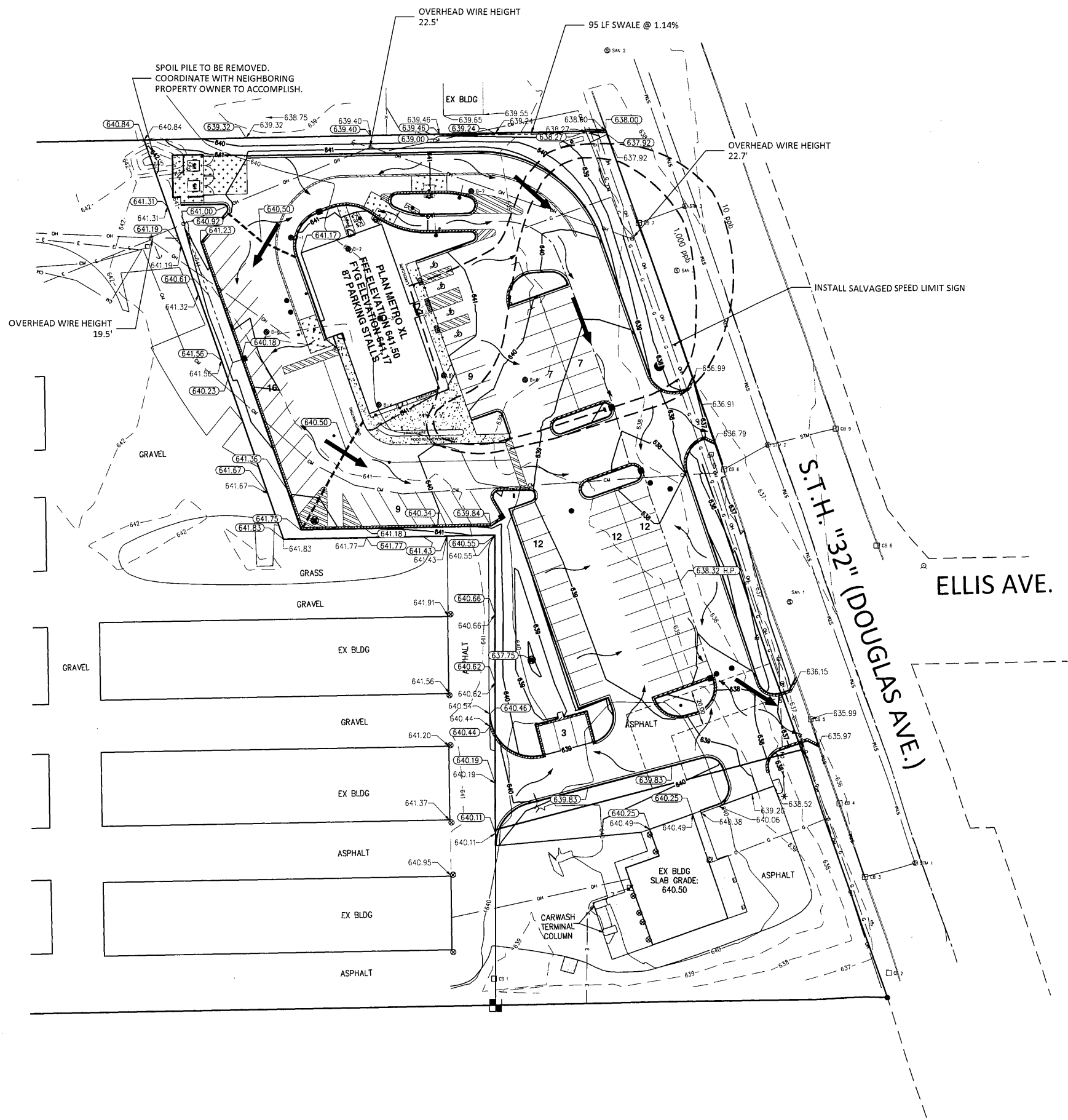
CULVERS
STORM SEWER PLAN
FOR
CULVERS RACINE
VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

NO.	DATE	BY	REVISION

PROJ. MGR: MRM
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Monday, March 15, 2021 2:36:42 PM



CONTAMINATED SOILS NOTE

ALL EXCAVATED CONTAMINATED SOILS ARE TO BE COORDINATED WITH TERRACON FOR REMOVAL FROM THE SITE.

TERRACON CONTACT:
BLAINE R. SCHROYER, P.E.
PHONE:
(414) 423-0255

SITE GRADING & SUB-GRADE PREPARATION

ALL EXISTING TOPSOIL AND OTHER NON-STRUCTURAL MATERIAL WITHIN THE PROPOSED BUILDING PADS, PAVEMENT SECTIONS AND STRUCTURAL FILL AREAS SHALL BE STRIPPED AND STOCKPILED AT THE LOCATION SHOWN OR AS DIRECTED BY THE GENERAL CONTRACTOR.

EXCAVATE, GRADE AND SHAPE SUBGRADE TO THE LINES AND GRADES SHOWN ON THE PLANS. SEE TYPICAL SECTIONS FOR PAVEMENT THICKNESS AND MATERIALS.

FOR STRUCTURAL FILL DEPTHS LESS THAN 20 FEET, THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION OF THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL HAVE A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS.

THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ± 3 PERCENT OF THE OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY RECOMMENDED / APPROVED BY THE SOILS ENGINEER MONITORING THE PLACEMENT AND COMPACTED. COHESIVE SOILS WITH MODERATE TO HIGH EXPANSIVE POTENTIALS (PI>15) SHOULD, HOWEVER, BE PLACED, COMPACTED AND MAINTAINED PRIOR TO CONSTRUCTION AT A MOISTURE CONTENT OF ± 1 PERCENT ABOVE OPTIMUM MOISTURE CONTENT TO LIMIT FUTURE HEAVE.

THE FILL SHALL BE PLACED IN LAYERS WITH A MAXIMUM LOOSE THICKNESS OF 9 INCHES. THE COMPACTOR EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTOR. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTOR.

UPON COMPLETION OF THE GRADING AND COMPACTOR OF THE SUBGRADE, A PROOF ROLL SHALL BE CONDUCTED BY THE CONTRACTOR ON ALL SUBGRADES THAT RECEIVE DENSE AGGREGATE BASE COURSE. THE CONTRACTOR SHALL PROVIDE A FULLY LOADED QUAD-AXLE TRUCK (18 TON MINIMUM LOAD) TO PERFORM THE PROOF ROLL. CONTRACTOR SHALL COORDINATE THE PROOF ROLL WITH THE OWNER AND THE GENERAL CONTRACTOR'S GEOTECHNICAL ENGINEER.

SOIL COMPACTOR IN ALL FILL AND EMBANKMENT AREAS SHALL BE APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER.

TEMPORARY SEEDING IS REQUIRED FOR ALL STOCKPILES AND OTHER EXPOSED LAND AREAS IF NOT ACTIVELY WORKED WITHIN 30 DAYS. AT THE COMPLETION OF THE PAVEMENT WORK, RE-SPREAD SALVAGED TOPSOIL OR IMPORT TOPSOIL AS NECESSARY TO PROVIDE A MINIMUM SIX-INCH (6") LAYER IN ALL LANDSCAPE AND LAWN AREAS. ALL DISTURBED AREAS SHALL BE RESTORED PER THE LANDSCAPE PLAN.

EXCESS TOPSOIL NOT BEING USED FOR THE PROJECT SHALL BE HAULED OFF-SITE.

LEGEND

- 692 - EXISTING CONTOURS
- 702 - PROPOSED CONTOURS
- - - - - DRAINAGE DIRECTION
- - - - - OVERLAND EMERGENCY FLOW PATH
- - - - - PAVEMENT BREAK LINES
- 804.85 - EXISTING SPOT GRADES
- (804.85) - PROPOSED SPOT GRADES
- - - - - CENTERLINE SWALE

NOTE:

SEE SHEETS C-9 & C-10 FOR ADDITIONAL SPOT ELEVATIONS.

UTILITY NOTE

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CULVERS SITE GRADING PLAN FOR CULVERS RACINE

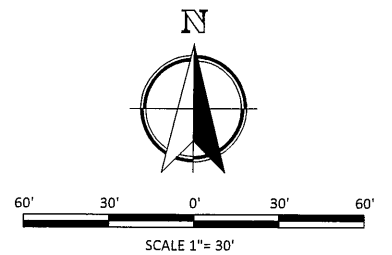
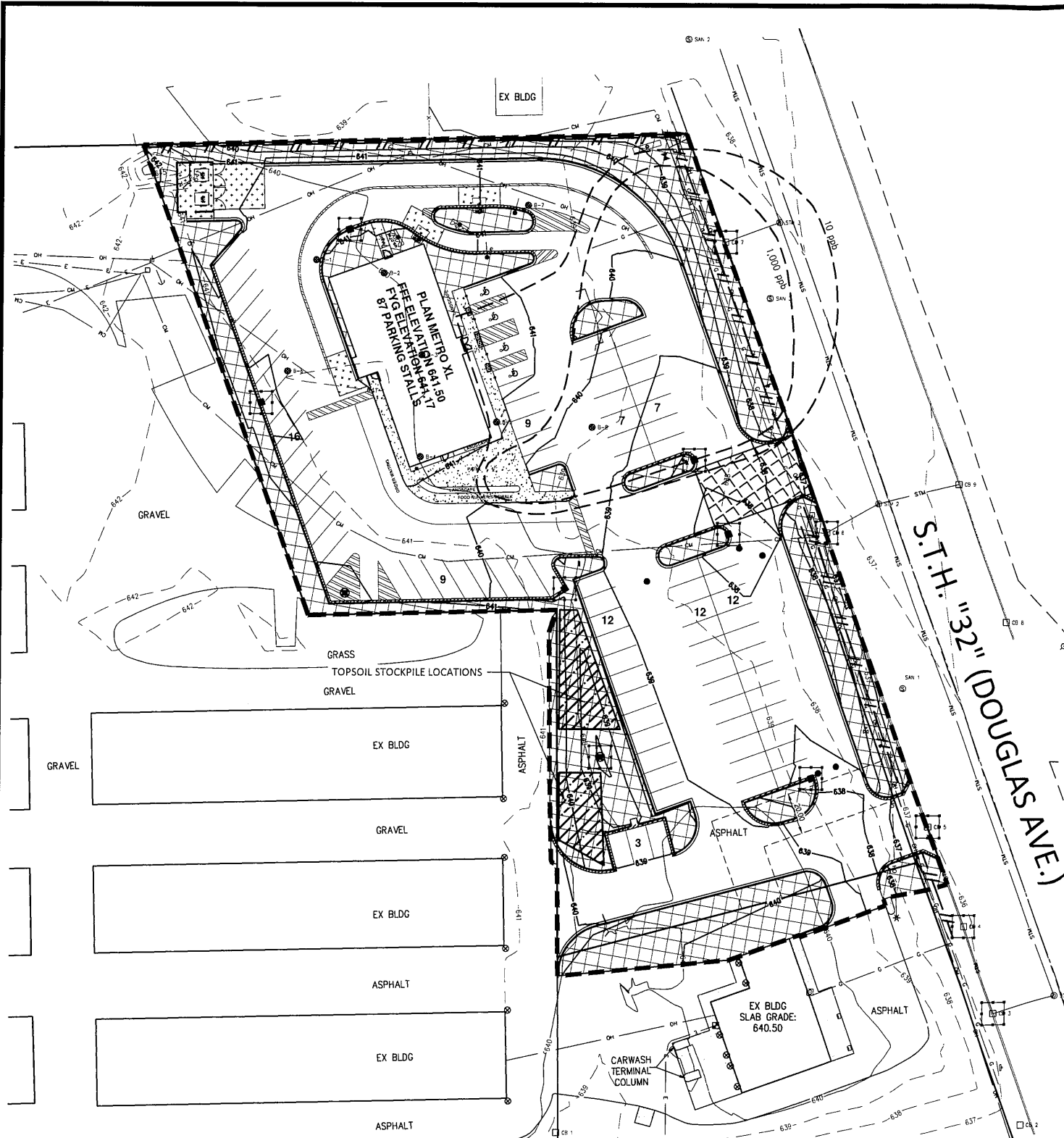
VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

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EROSION & SEDIMENT CONTROL NOTES

THE EROSION AND SEDIMENT CONTROL PROVISIONS DETAILED ON THE DRAWINGS AND SPECIFIED HEREIN ARE THE MINIMUM REQUIREMENTS FOR EROSION CONTROL.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE ANY REVISIONS, ADJUSTMENTS OR PROPOSED ALTERATIONS TO THE CONSTRUCTION SEQUENCING AND/OR EROSION CONTROL PLANS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND REGULATORY OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BEST MANAGEMENT PRACTICES (BMP'S). ALL SIGNIFICANT DEVIATIONS FROM THE PLANS MUST BE SUBMITTED AND APPROVED BY THE VILLAGE OF CALEDONIA.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF ALL EROSION CONTROL DEVICES REQUIRED FOR THE PROJECT WHICH SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND THE VILLAGE OF CALEDONIA ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. SEE THE VILLAGE OF CALEDONIA EROSION CONTROL PERMITS FOR ADDITIONAL DETAILS OR REQUIREMENTS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AS REQUIRED IN THE WISCONSIN ADMINISTRATIVE CODE (SPS 360.21) AND MAINTAINED PER SPS 360.22.

INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL CHECK THE EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS AT ALL THE FOLLOWING INTERVALS UNTIL THE SITE IS STABILIZED:

- A. AT LEAST WEEKLY.
- B. WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES IMMEDIATELY REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.

THE CONTRACTOR SHALL MAINTAIN A MONITORING RECORD WHEN THE LAND DISTURBING CONSTRUCTION ACTIVITY INVOLVES ONE OR MORE ACRES. THE MONITORING RECORD SHALL CONTAIN AT LEAST THE FOLLOWING INFORMATION:

- A. THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED ABOVE.
- B. A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES. EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE VILLAGE OF CALEDONIA OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT.

EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY THE VILLAGE OF CALEDONIA OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE OR LOCAL INSPECTORS AND/OR THE ENGINEER OF RECORD, SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

ALL SEDIMENT AND EROSION CONTROL DEVICES, INCLUDING PERIMETER EROSION CONTROL MEASURES SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES UNTIL THE SITE HAS ESTABLISHED A VEGETATIVE COVER AND IS STABILIZED.

INSTALL SILT FENCE PER SECTION 628 OF THE "STATE SPECIFICATIONS" AND WDNR TECHNICAL STANDARD 1056 AT THE LOCATIONS SHOWN ON THE PLAN. ERECT SILT FENCE PRIOR TO STARTING A CONSTRUCTION OPERATION THAT MIGHT CAUSE SEDIMENTATION OR SILTATION AT THE SITE OF THE PROPOSED SILT FENCE. CONTRACTOR SHALL INSTALL SILT FENCING AT DOWNSLOPE SIDE OF STOCKPILES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL REQUIRED SILT FENCE MATERIAL.

CONSTRUCTION FENCE SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. CONSTRUCTION FENCING SHALL BE INSTALLED 3 TO 5 FEET DOWNSTREAM OF ANY SILT FENCE TO ALLOW FOR SEDIMENT REMOVAL. GENERAL MAINTENANCE AND REPLACEMENT OF THE EROSION CONTROL DEVICE. MATERIAL FOR CONSTRUCTION FENCE SHALL BE HIGH DENSITY POLYETHYLENE MESH SUPPLIED IN EITHER 50-FOOT OR 100-FOOT ROLLS. THE FENCING SHALL BE A MINIMUM OF 4 FEET HIGH AND SHALL BE WEATHER, CHEMICAL, AND ULTRAVIOLET-RESISTANT TO INCREASE THE PRODUCT LIFE. FENCING SHALL BE SUPPORTED AT MAXIMUM EIGHT-FOOT (8') INTERVALS BY METAL T-POSTS OR OTHER APPROVED METHODS SUFFICIENT TO KEEP THE FENCE UPRIGHT AND IN PLACE. WOODEN STAKES AND REBAR POSTS ARE NOT CONSIDERED AN APPROVED METHOD OF SUPPORT. DEFAULT COLOR OF FENCING SHALL BE ORANGE UNLESS OTHERWISE SPECIFIED IN THE CONTRACT. CONSTRUCTION FENCE MATERIAL SHALL BE SECURED TO THE METAL T-POSTS BY PLASTIC ZIP OR WIRE TIES. FENCING AND POSTS SHALL BECOME PROPERTY OF THE CONTRACTOR AT PROJECT COMPLETION AND SHALL BE REMOVED FROM THE SITE.

ALL PROPOSED STORM SEWER STRUCTURES AND ADJACENT EXISTING STORM INLETS SHALL HAVE A LAYER OF GEOTEXTILE FABRIC (TYPE "FF") INSTALLED BETWEEN THE FRAME & GRATE TO PREVENT SEDIMENT OR SILT FROM ENTERING THE SYSTEM. THE INLET PROTECTION SHALL BE INSPECTED BY THE CONTRACTOR AND REPLACED EVERY 14 DAYS AND AFTER EACH RAINFALL EVENT. FABRIC TO BE REPLACED AS NEEDED TO MEET FIELD CONDITIONS.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE (WHEN NECESSARY OR AS REQUIRED BY LOCAL INSPECTORS AND/OR ENGINEER OF RECORD).

EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):

- A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- B. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
- C. ANY WATER PUMPED FROM PITS, TRENCHES, WELLS OR PONDS SHALL BE DISCHARGED INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 AND BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM OR DRAINAGE DITCH. PUMPED WATER CAN BE TREATED IN FILTER BAGS, STONE FILTERS OR SIMILAR DEVICES. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING OPERATIONS.

CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES, OTHER THAN SHOWN ON THE PLANS, MUST HAVE PRIOR APPROVAL BY THE VILLAGE OF CALEDONIA.

DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.

CONCRETE WASHOUT BASIN SHALL BE LOCATED ON SITE IN AN AREA THAT IS STABILIZED AND DRAINS IN TO SUITABLE SEDIMENT TRAPPING OR SETTLING DEVICE. MONITOR THE WASHOUT BASIN FOR SEDIMENT ACCUMULATION, CLOGGED HOSES, APPROPRIATE WATER LEVELS, AND EFFECTIVENESS.

ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND THE VILLAGE OF CALEDONIA ORDINANCE.

ALL DISTURBED SLOPES EXCEEDING 5:1, SHALL BE STABILIZED WITH CLASS I, URBAN, TYPE A EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WDOT) APPROVED (POLYMER) SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ON SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052.

PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AT THE END OF EACH WORK DAY AND AS REQUESTED BY THE VILLAGE OF CALEDONIA.

EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

CONSTRUCTION SEQUENCING

1. OBTAIN PLAN APPROVAL AND ALL APPLICABLE PERMITS.
2. HOLD A PRE-CONSTRUCTION CONFERENCE AT LEAST ONE (1) WEEK PRIOR TO STARTING CONSTRUCTION.
3. NOTIFY THE VILLAGE ENGINEERING DEPARTMENT OF THE PROJECT START DATE.
4. INSTALL CONSTRUCTION ENTRANCE.
5. INSTALL SILT FENCE BARRIER.
6. INSTALL INLET PROTECTION.
7. BEGIN ABANDONMENT OF UTILITIES, DEMOLITION OF BUILDINGS, AND PAVEMENT REMOVALS.
8. BEGIN GRADING OPERATIONS. ALL DISTURBED CONTAMINATED SOILS ARE TO BE PROPERLY DISPOSED OF PER THE DIRECTION OF THE GEOTECHNICAL CONSULTANT (TERRACON).
9. INSTALL UNDERGROUND DETENTION SYSTEM.
10. INSTALL ALL SITE UTILITIES.
11. GRADE DRIVEWAYS AND PARKING AREAS.
12. INSTALL CURB & GUTTER.
13. REGRADE STONE & PAVEMENT.
14. RESTORE AND INSTALL EROSION MAT OR MULCH IN LANDSCAPE AREAS.
15. AFTER THE SITE LANDSCAPE AREAS ARE STABILIZED AND ESTABLISHED, CONTRACTOR TO REMOVE ALL SILT FENCING AND INLET PROTECTION.

LEGEND

- 692 — EXISTING CONTOURS
- 702 — PROPOSED CONTOURS
- (1) C-11 SLOPE EROSION MAT (CLASS I, URBAN, TYPE A)
- (2/5) C-11 SILT FENCE/WATTLES
- (4) C-11 TRACKING PAD
- (3) C-11 STORM INLET PROTECTION
- — — DISTURBANCE LIMIT (2.04 ACRES)

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DIGGERS HOTLINE
 Call (800) 242-8511 or (800) 242-8511
 www.DiggersHotline.com

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CULVERS EROSION CONTROL PLAN
 FOR
CULVERS RACINE
 VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

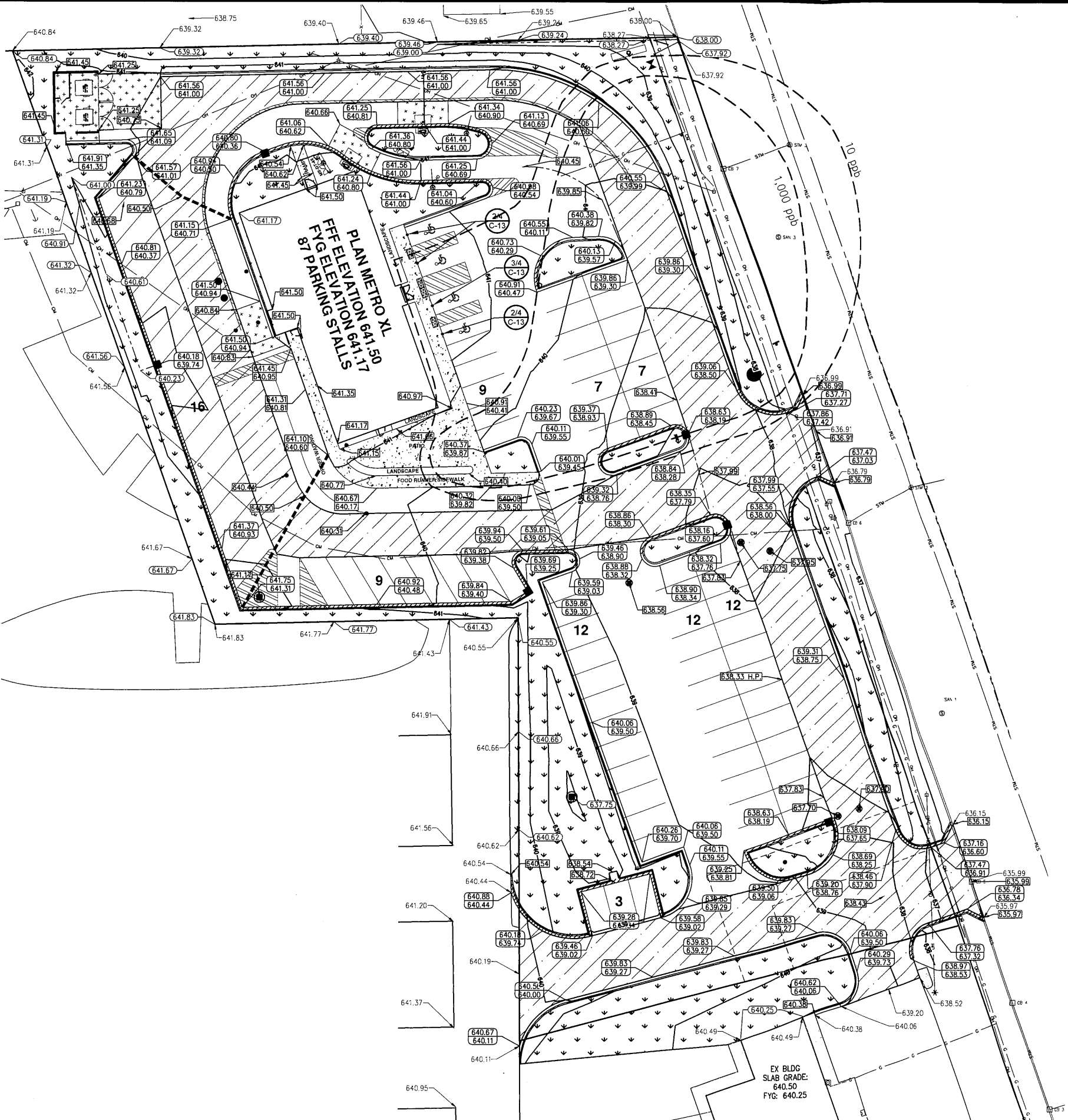
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REFERENCES

STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS." THE CURRENT VERSION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WISDOT WEBSITE AT <http://roadwaystandards.dot.wi.gov/standards/stdspec/index.htm>

"MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), 2009 EDITION WITH REVISIONS 1 AND 2 INCORPORATED.

GENERAL NOTES

CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE A MINIMUM OF 3 DAYS BEFORE THE START OF CONSTRUCTION TO IDENTIFY ANY UNDERGROUND UTILITIES PRESENT AT THE SITE. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

ALL PUBLIC SIDEWALKS, CURBS OR PAVEMENTS DISTURBED DURING CONSTRUCTION SHALL BE SAW CUT AT THE NEAREST JOINT AND REPLACED IN KIND PER THE CONDITIONS OF THE VILLAGE ROAD OPENING PERMIT PLANS AND SPECIFICATIONS. CURB AND GUTTER REPLACEMENT SECTIONS SHALL BE TIED TO EXISTING BY INSTALLING THREE (3) NO. 4 (1/2-INCH), 18-INCH LONG EPOXY COATED TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER AT THE CONNECTION POINT.

REPAIR/REPLACEMENT OF CONCRETE IN VILLAGE RIGHT OF WAY SHALL BE INSTALLED PER THE CONDITIONS OF VILLAGE ROAD OPENING PERMIT PLANS AND SPECIFICATIONS.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

PAVEMENT SPECIFICATIONS

DENSE AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 305 OF THE "STATE SPECIFICATIONS". THE COMPLETED BASE SHALL BE IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SHALL BE CONSTRUCTED IN FOUR-INCH (4") LIFTS AND COMPACTED ACCORDING TO SUBSECTION 305.3.2.2 OF THE "STATE SPECIFICATIONS".

ASPHALTIC CONCRETE PAVEMENT SHALL BE WISDOT LT 58-28 S MEETING THE REQUIREMENTS OF SECTION 460 OF THE "STATE SPECIFICATIONS". PAVEMENT SHALL BE INSTALLED IN TWO (2) LIFTS IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET. A TACK COAT SHALL BE INSTALLED BETWEEN THE LOWER AND UPPER COURSES IN ACCORDANCE WITH SECTION 455.3.2 OF THE "STATE SPECIFICATIONS".

CONCRETE FOR PAVEMENT(S), SIDEWALKS, CURB & GUTTER AND DRIVEWAY APRONS SHALL BE GRADE A-FA, AIR-ENTRAINED, AS SPECIFIED IN SUBSECTION 501.3.1 OF THE "STATE SPECIFICATIONS". ALL EXTERIOR CONCRETE SHALL BE "READY-MIXED" AND RECEIVE A BROOM FINISH. ALL CONCRETE WORK SHALL BE CURED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBSECTION 415.2.4 OF THE "STATE SPECIFICATIONS".

CONTRACTION JOINTS SHALL BE AT TEN-FOOT (10') INTERVALS FOR CURB AND GUTTER AND FIVE-FOOT (5') INTERVALS FOR FIVE-FOOT (5') WIDE SIDEWALK. FINAL JOINTING PLAN FOR CONCRETE PAVEMENT TO BE PREPARED BY THE CONTRACTOR.

EXPANSION JOINTS SHALL BE PLACED AS OUTLINED IN SUBSECTION 601.3.6 OF THE "STATE SPECIFICATIONS". FILLER MATERIAL FOR EXPANSION JOINTS SHALL BE 1/2" FIBER MATERIAL.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLES, VALVE BOXES, ETC.) TO MATCH THE FINISHED GRADES OF THE AREA AFFECTED BY THE CONSTRUCTION.

CONCRETE FILLED STEEL PIPE BOLLARDS TO BE PAINTED WITH TWO COATS OF EXTERIOR PAINT. COLOR TO COMPLEMENT THE BUILDING (BLUE).

LEGEND

- EXISTING SPOT GRADES
- FINISHED PAVEMENT GRADES
- PROPOSED SPOT GRADES
- TOP OF CURB FINISHED PAVEMENT GRADES
- TOP OF INTEGRAL SIDEWALK/BARRIER CURB FINISH PAVEMENT GRADE
- MEDIUM-DUTY ASPHALT PAVEMENT
- HEAVY-DUTY ASPHALT PAVEMENT
- LIGHT-DUTY CONCRETE PAVEMENT
- HEAVY-DUTY CONCRETE PAVEMENT
- 18" VERTICAL FACE, CURB & GUTTER
- 18" REVERSE PAN, CURB & GUTTER
- PAVEMENT BREAKLINES
- CENTERLINE SWALE



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40' 20' 0' 20' 40'

SCALE 1" = 20'



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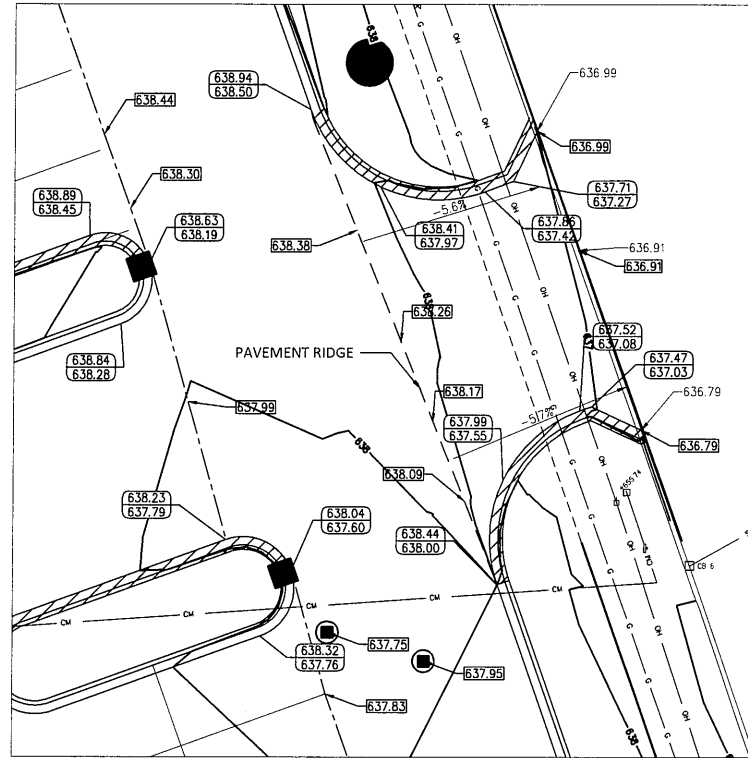
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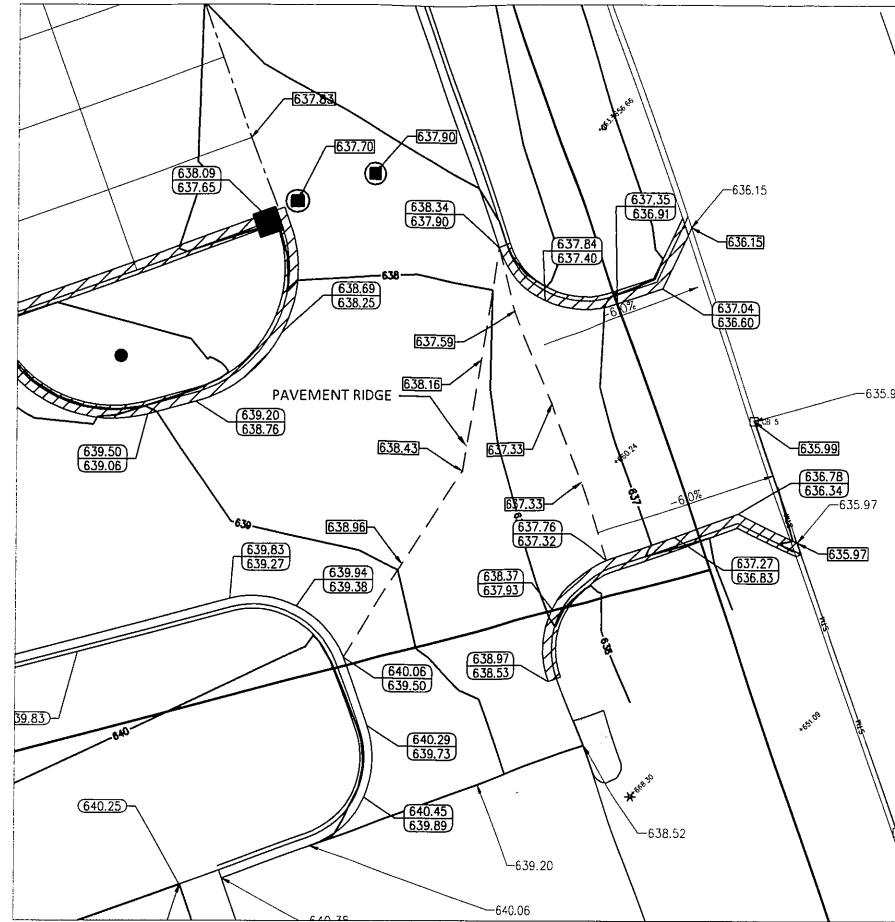
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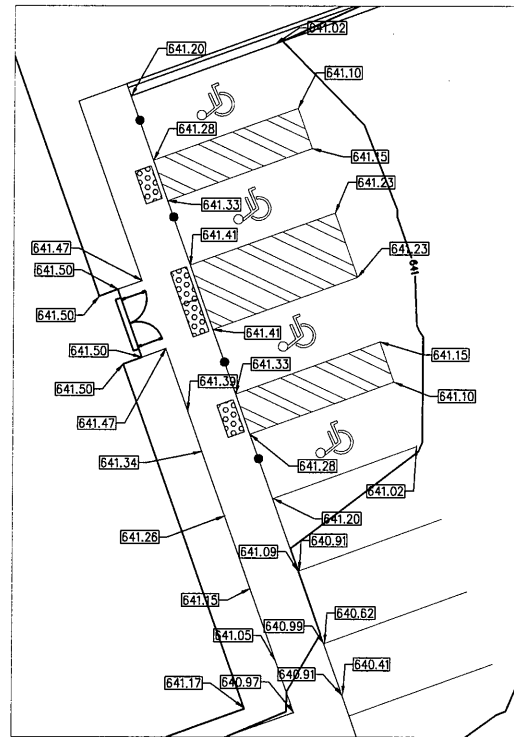
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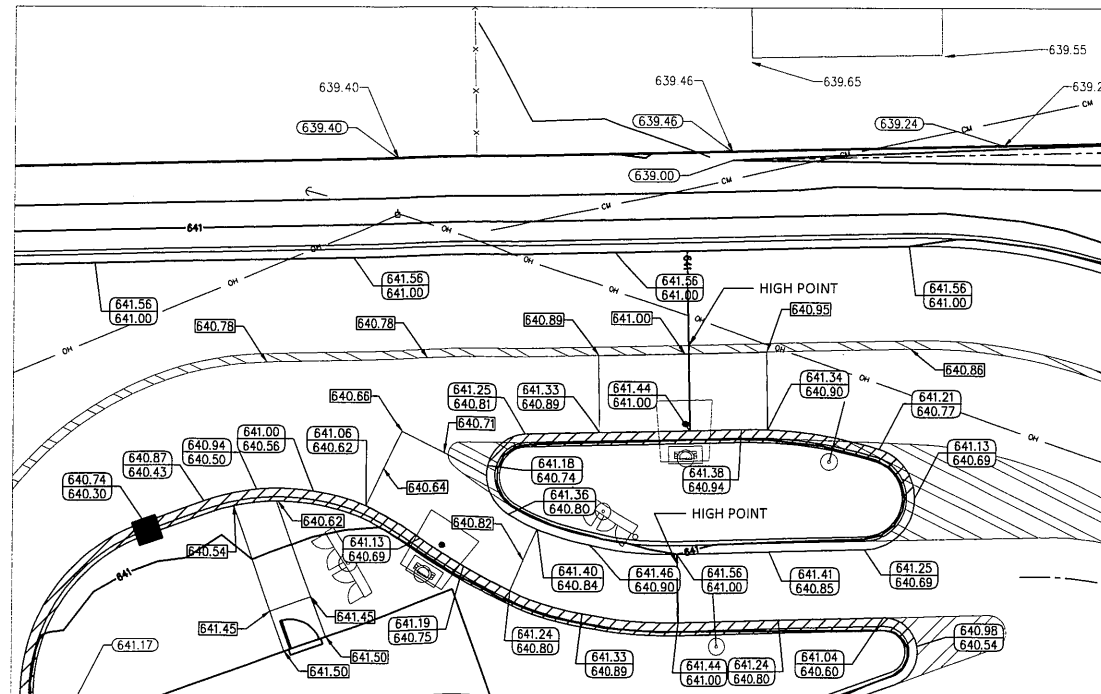
NORTH DRIVEWAY ENTRANCE DETAIL



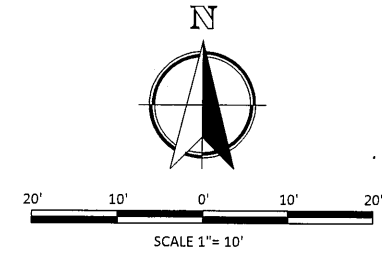
SOUTH DRIVEWAY ENTRANCE DETAIL



ADA ENTRANCE DETAIL



DRIVE THRU MENU BOARD DETAIL



LEGEND

- EXISTING SPOT GRADES
- FINISHED PAVEMENT GRADES
- PROPOSED SPOT GRADES
- FINISHED SIDEWALK GRADES
- FINISHED PAVEMENT GRADES
- 18" VERTICAL FACE, CURB & GUTTER
- 18" REVERSE PAN, CURB & GUTTER
- RIDGE LINE

UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.

DIGGERS HOTLINE
 Call 811 or (800) 242-8511
 www.DiggersHotline.com



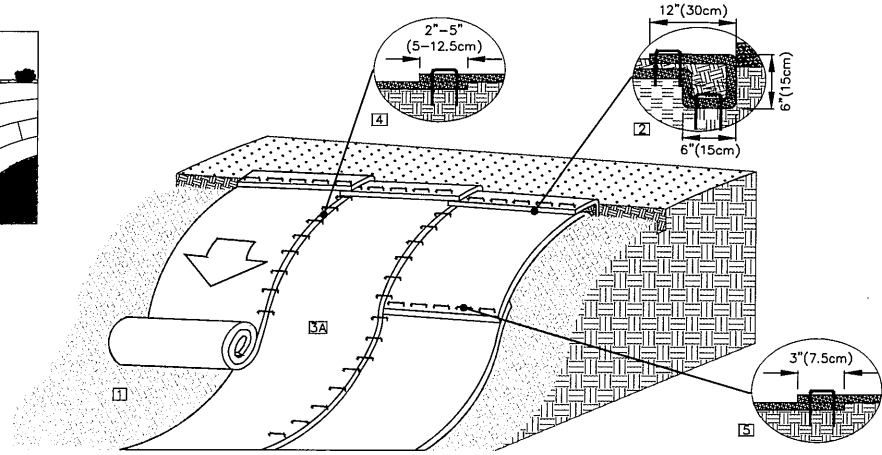
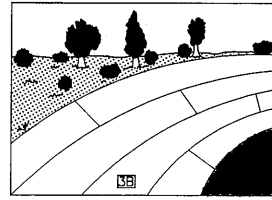
Nielsen Madsen + Barber
 CIVIL ENGINEERS AND LAND SURVEYORS
 1458 Horizon Blvd. Suite 200, Racine, WI. 53406
 Tele: (262)634-5588 Website: www.nmbssc.net

CULVERS
 PAVEMENT GRADING PLAN
 FOR
CULVERS RACINE
 VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: MRM
 DRAFTED: TRV
 DATE: 3-15-2021
 CHECKED: ALI
 DATE: 3-15-2021
 2020.0264.01
 SHEET
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ISSUE FOR APPROVAL - 3-15-2021



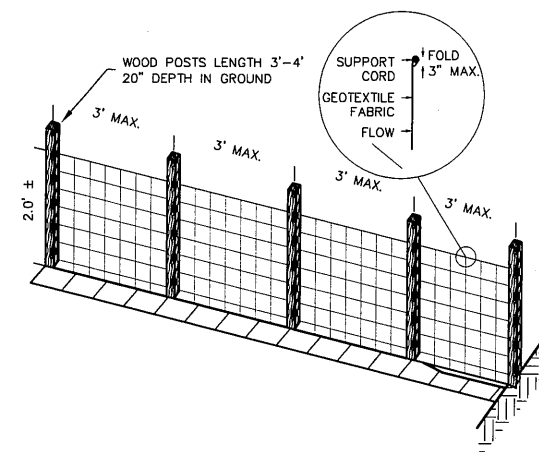
1. Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
2. Begin at the top of the slope by anchoring the RECPs in a 6"(15cm) deep x 6"(15cm) wide trench with approximately 12"(30cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/stakes approximately 12"(30cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12"(30cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12"(30cm) apart across the width of the RECPs.
3. Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
4. The edges of parallel RECPs must be stapled with approximately 2"-5" (5-12.5cm) overlap depending on the RECPs type.
5. Consecutive RECPs spliced down the slope must be end over end (Shingle style) with an approximate 3"(7.5cm) overlap. Staple through overlapped area, approximately 12"(30cm) apart across entire RECPs width.

1 SLOPE INSTALLATION OF EROSION MAT DETAIL

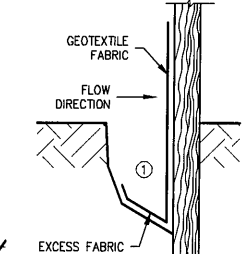
N.T.S.

1 SLOPE INSTALLATION OF EROSION MAT NOTES DETAIL

N.T.S.



NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS



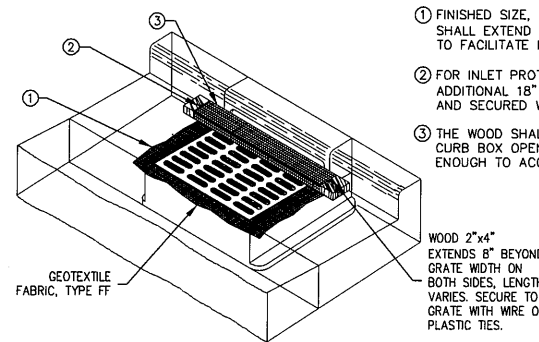
- GENERAL NOTES - SILT FENCE
1. TRENCH SHALL BE MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 2. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/8" x 1-1/8" OF OAK OR HICKORY.
 3. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS:
 - A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES.
 - B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.

NOTE: 8.0' POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED

2 TYPICAL SILT FENCE DETAIL

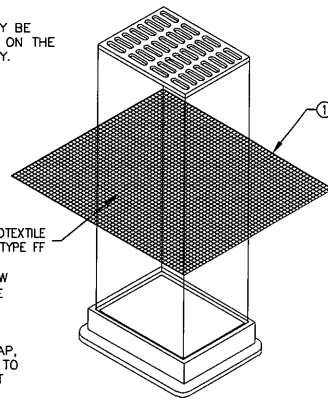
N.T.S.

GENERAL NOTES
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WI DOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.



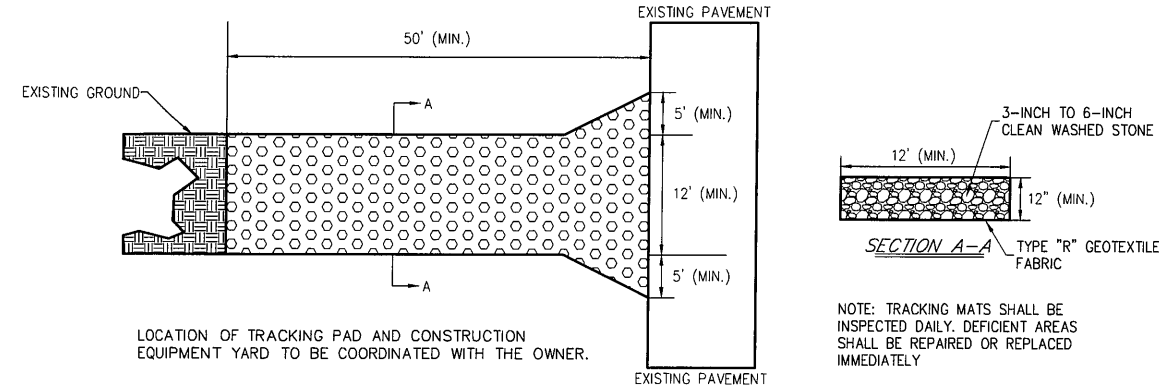
1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES.
3. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

INSTALLATION NOTES
TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

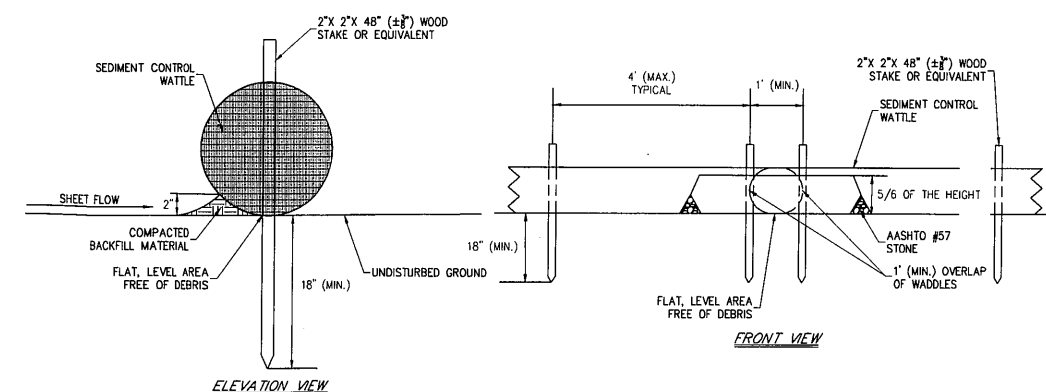


3 TYPICAL STORMWATER INLET PROTECTION DETAIL

N.T.S.



4 TRACKING PAD DETAIL
NOT TO SCALE



5 SEDIMENT CONTROL WATTLE DETAIL
NOT TO SCALE

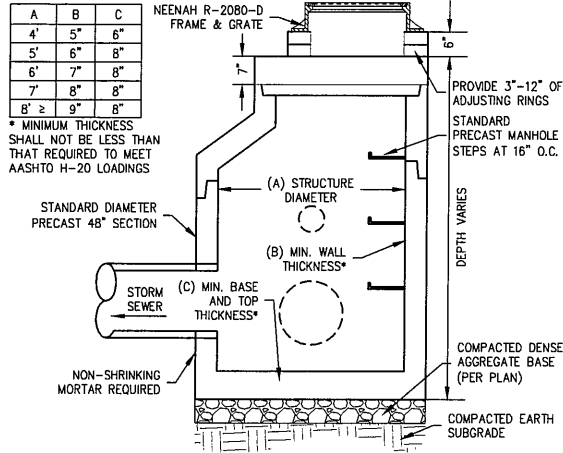


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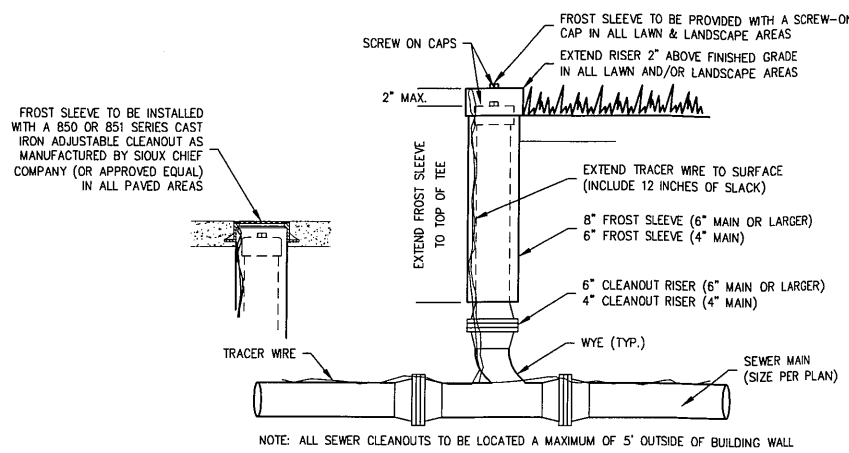
CULVERS
TYPICAL SECTIONS & CONSTRUCTION DETAILS
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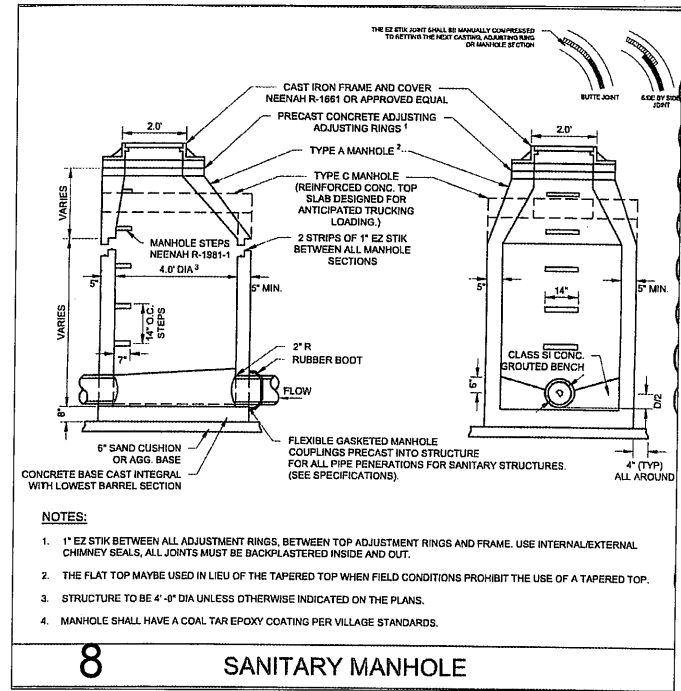
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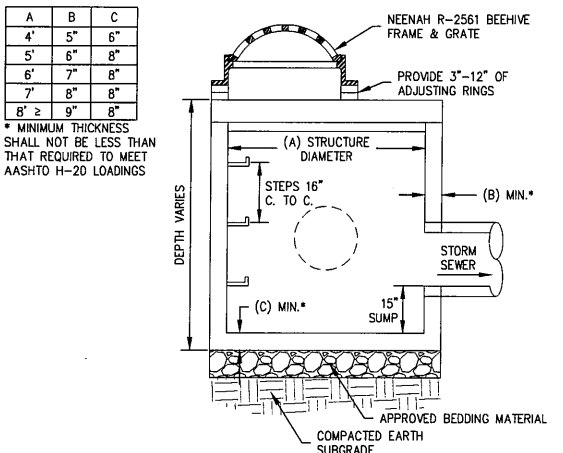
1 STANDARD STORM SEWER MANHOLE DETAIL N.T.S.



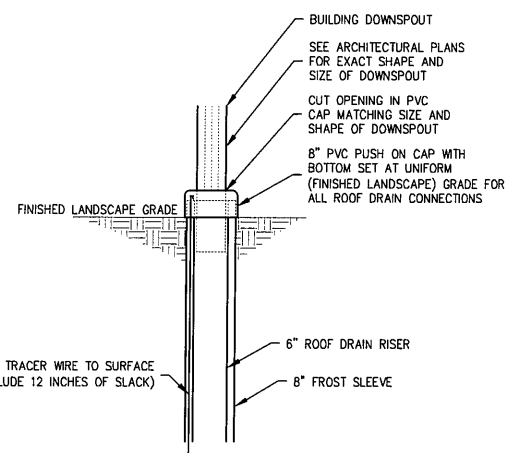
4 STORM SEWER CLEANOUT (CO) RISER DETAIL N.T.S.



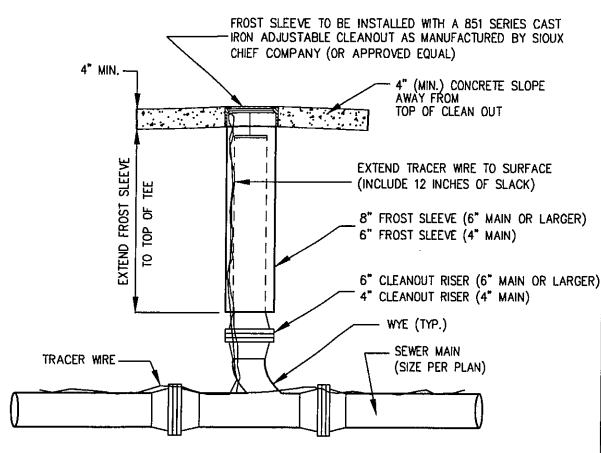
8 SANITARY MANHOLE



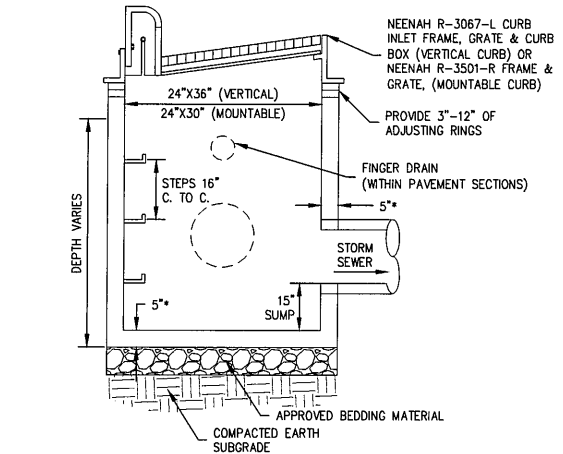
2 STANDARD STORM SEWER CATCH BASIN DETAIL N.T.S.



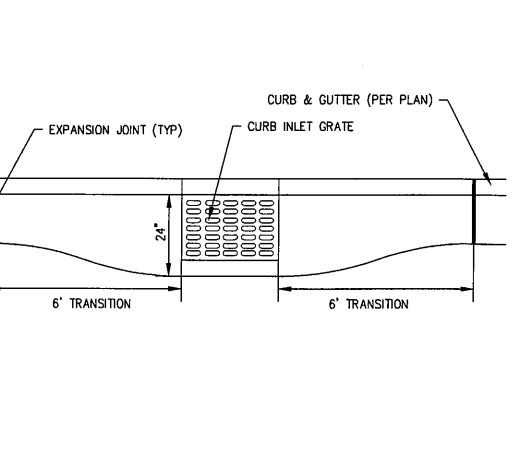
5 ROOF DRAIN (RD) RISER DETAIL N.T.S.



6 SANITARY SEWER CLEANOUT RISER DETAIL N.T.S.



3 STANDARD STORM SEWER INLET DETAIL N.T.S.



7 CONCRETE CURB AND GUTTER / STORM SEWER INLET TRANSITION DETAIL N.T.S.

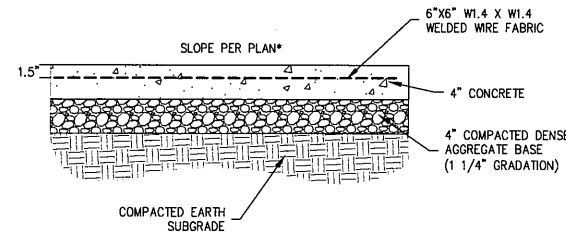


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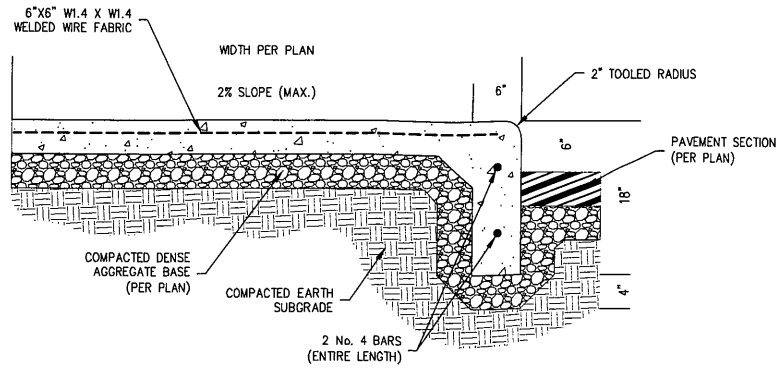
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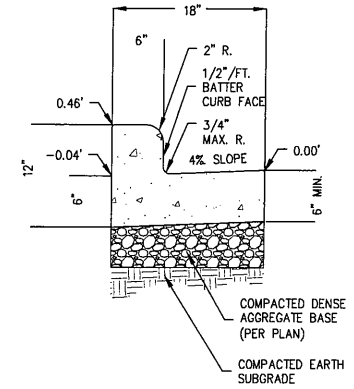


* SIDEWALK: 1.5% CROSS-SLOPE (TYP.) 2.08% CROSS-SLOPE (MAX.)
 PATIOS / PLAZAS / LANDINGS: 2.08% SLOPE IN ANY DIRECTION (MAX.)
 ALL OTHER PAVEMENTS: SLOPE PER PLAN

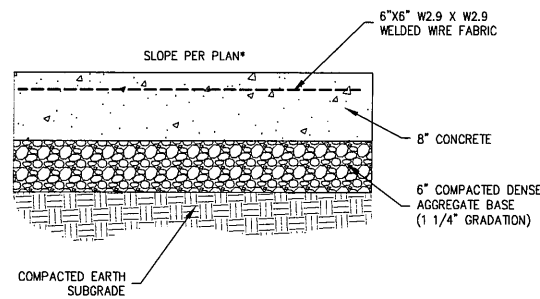
1 LIGHT-DUTY CONCRETE PAVEMENT (4") (TYPICAL SECTION) N.T.S.



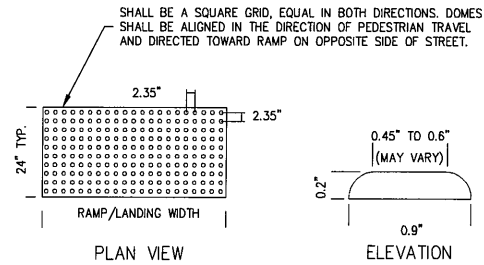
4 INTEGRAL CONCRETE SIDEWALK / BARRIER CURB DETAIL N.T.S.



8 18" VERTICAL FACE CONCRETE CURB AND GUTTER DETAIL N.T.S.

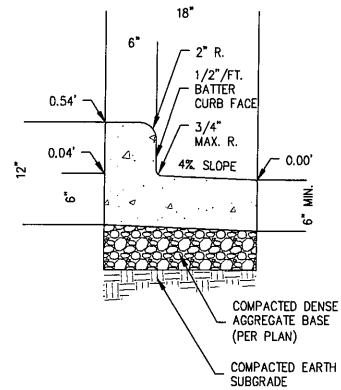


2 HEAVY-DUTY CONCRETE PAVEMENT (8") (TYPICAL SECTION) N.T.S.

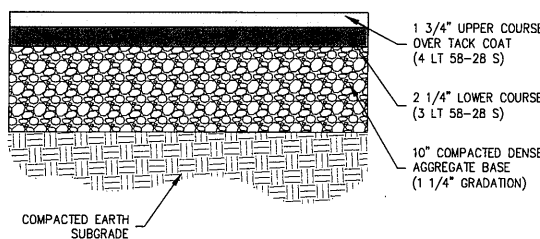


5 DETECTABLE WARNING SURFACE DETAIL N.T.S.

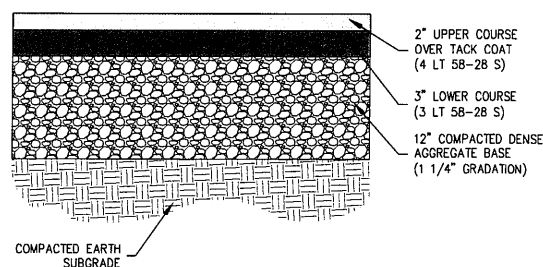
- NOTES:**
- THIS WORK WILL CONSIST OF FURNISHING ALL MATERIAL, EQUIPMENT AND LABOR NECESSARY FOR THE PLACEMENT OF DETECTABLE WARNING DEVICES, COMPLETE AND READY FOR SERVICE AT ALL NEW SIDEWALK CURB RAMPS.
 - THE DEVICES SHALL COMPLY WITH THE DETECTABLE WARNINGS ON WALKING SURFACES SECTION OF THE AMERICANS WITH DISABILITIES ACT (TITLE 49 CFR TRANSPORTATION, PART 37.9 STANDARDS FOR ACCESSIBLE TRANSPORTATION FACILITIES, APPENDIX A, SECTION 4.29.2 DETECTABLE WARNINGS ON WALKING SURFACES.)
 - DETECTABLE WARNING SURFACES SHALL EXTEND 24 INCHES (610 MM) MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP FLUSH SURFACE.
 - THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB OR EDGE OF PAVEMENT IS 6 INCHES (150 MM) MINIMUM AND 8 INCHES (205 MM) MAXIMUM FROM THE FACE OF THE CURB OR EDGE OF PAVEMENT.
 - DOMES SHALL BE ALIGNED ON A SQUARED GRID, ALIGNED IN ROWS PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. DOMES MUST NOT BE SKEWED DIAGONALLY TO THE DIRECTION OF TRAVEL.
 - AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED IN THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - CAST IN PLACE REPLACEABLE TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ADA SOLUTIONS, INC., CHELMSFORD, MA OR PRE-APPROVED EQUAL.
 - THE COLOR OF THE DETECTABLE WARNING FIELD SHALL BE SELECTED BY THE OWNER.
 - THE SPECIFICATIONS OF THE CONCRETE SEALANT AND RELATED MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE GUIDELINES SET BY THEIR RESPECTIVE MANUFACTURERS.



9 18" VERTICAL FACE REVERSE PAN CONCRETE CURB AND GUTTER DETAIL N.T.S.



10 MEDIUM-DUTY ASPHALT PAVEMENT (4") (TYPICAL SECTION) N.T.S.

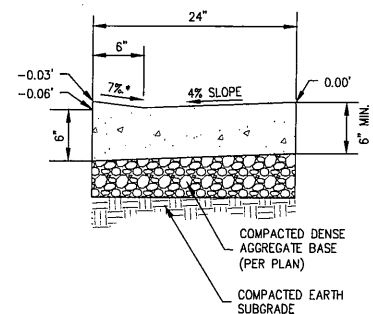


13 HEAVY-DUTY ASPHALT PAVEMENT (5") (TYPICAL SECTION) N.T.S.

INSTALLATION NOTES FOR CURB AND GUTTER DETAILS

- CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED DENSE AGGREGATE BASE COURSE EXTENDING A MINIMUM OF 12 INCHES BEHIND THE BACK OF CURB.
- CURB PAN SHALL BE A MINIMUM OF SIX INCHES (6") THICK, EXCEPT AT DRIVEWAY LOCATIONS WHERE IT SHALL BE A MINIMUM OF EIGHT INCHES (8") THICK.
- INSTALL TWO (2) NO. 4, 18-INCH LONG EPOXY COATED TIE BARS ANCHORED WITH AN EPOXY, EVENLY SPACED, DRIVEN NINE INCHES (9") INTO TO EXISTING OR PREVIOUSLY INSTALLED CURB AND GUTTER.
- WHEN PLACED ADJACENT TO NEW CONCRETE, INSTALL NO. 4 18-INCH LONG EPOXY COATED TIE BARS, 36" ON CENTER PLACED A MINIMUM OF THREE AND ONE HALF INCHES (3 1/2") BELOW THE TOP OF THE CURB PAN.
- LATERAL CONTRACTION JOINTS TO BE PLACED AT AN INTERVAL OF 10 FEET TO A MINIMUM DEPTH OF TWO INCHES (2").
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT POINTS OF CURVATURE, ANGLE POINTS, THREE FEET (3') FROM EACH SIDE OF EVERY INLET AND EVERY 300 FEET ALONG TANGENT SECTIONS OR AS DIRECTED BY THE ENGINEER. EXPANSION JOINT FILLER MATERIAL SHALL MEET WISDOT SPECIFICATIONS HAVING THE SAME DIMENSIONS AS THE CURB & GUTTER WITH A 3/4" THICKNESS.
- APPLY CONCRETE CURING COMPOUND PER WISDOT SPECIFICATIONS.

7 CONCRETE CURB & GUTTER DETAIL NOTES N.T.S.



10 24" TYPE "D" DEPRESSED HEAD CONCRETE CURB AND GUTTER DETAIL N.T.S.

*SLOPE OF CURB HEAD TO MATCH ADJACENT CURB RAMP SLOPE. SLOPE OF CURB PAN TO BE ADJUSTED (AS NEEDED) TO NOT EXCEED A 11% MAXIMUM CHANGE.

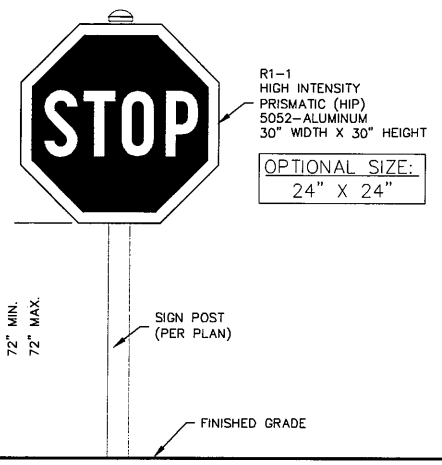


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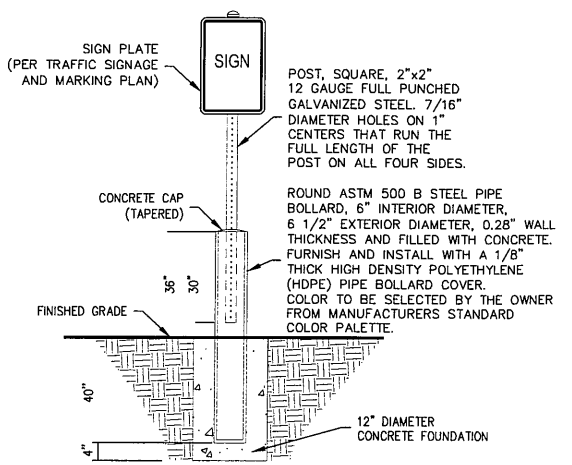
CULVERS
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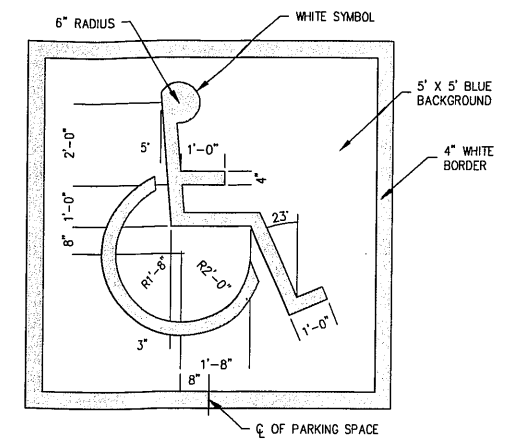
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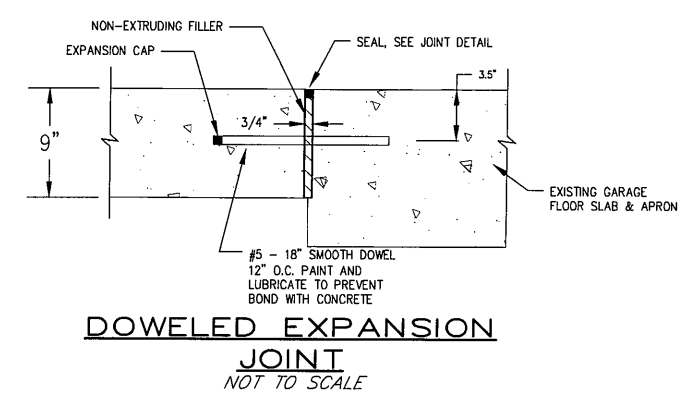
1 "STOP" SIGN DETAIL N.T.S.



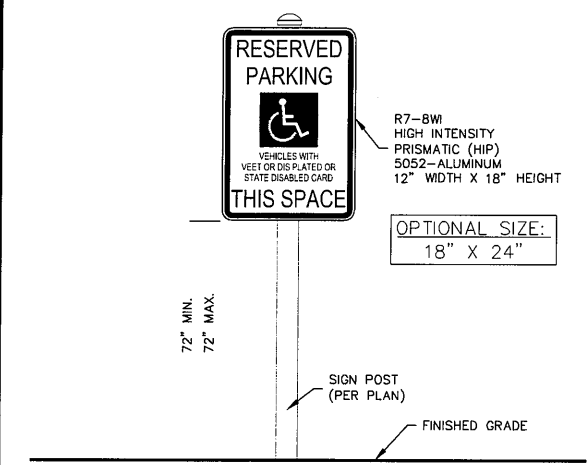
4 SQUARE SIGN POST IN 6" BOLLARD DETAIL N.T.S.



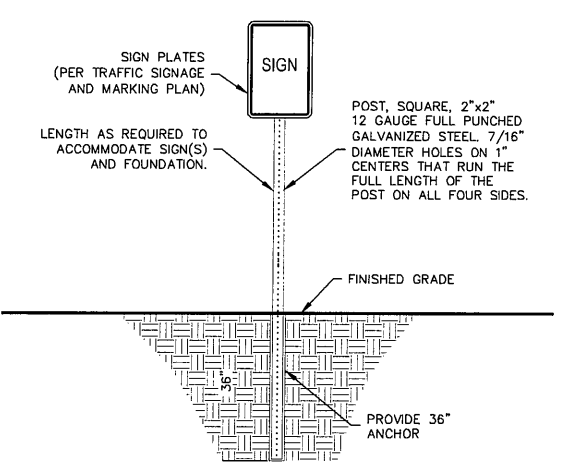
7 PAINTED INTERNATIONAL SYMBOL FOR ACCESSIBILITY DETAIL N.T.S.



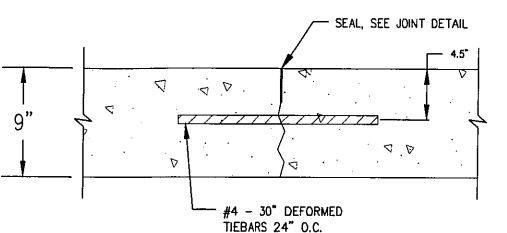
DOWELED EXPANSION JOINT
NOT TO SCALE



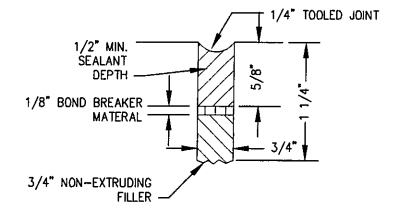
2 ADA RESERVED PARKING SIGN DETAIL N.T.S.



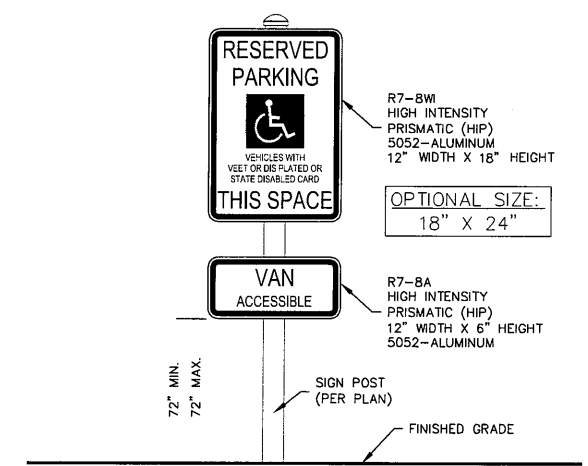
5 GALVANIZED SQUARE SIGN POST DETAIL N.T.S.



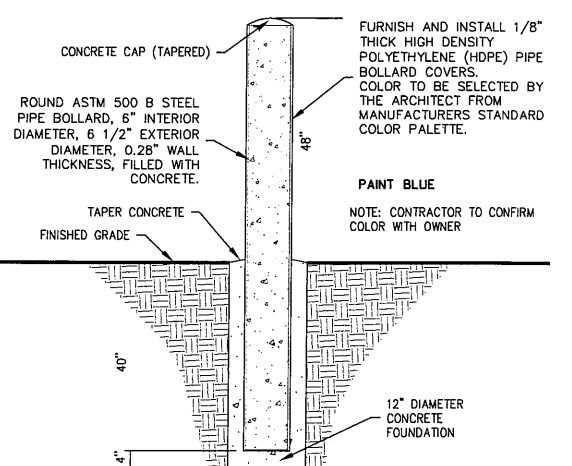
TIED LONGITUDINAL CONTRACTION JOINT
NOT TO SCALE



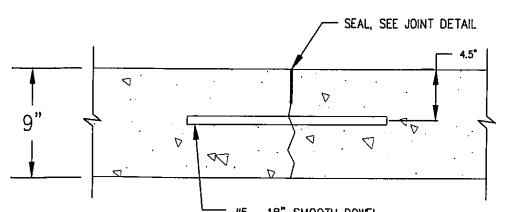
EXPANSION JOINT DETAIL
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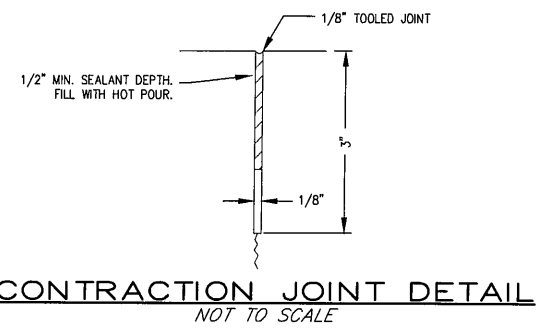
3 "VAN ACCESSIBLE" ADA RESERVED PARKING SIGN DETAIL N.T.S.



6 6" STEEL PIPE BOLLARD DETAIL N.T.S.



DOWELED - TRANSVERSE CONTRACTION JOINT
NOT TO SCALE



CONTRACTION JOINT DETAIL
NOT TO SCALE

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UNDERDRAIN DETAIL

SC-740 TECHNICAL SPECIFICATION

90' (2744 mm) ACTUAL LENGTH
65' (2198 mm) INSTALLED LENGTH
BUILD ROW IN THIS DIRECTION
START END
OVERLAP NEXT CHAMBER HERE (OVER SMALL CORRUGATION)

NORMAL CHAMBER SPECIFICATIONS
SIZE OF 1/2" X 1/2" X 1/2" (12.7 x 12.7 x 12.7 mm) STUBS: 51.0" X 30.0" X 65.4" (1295 mm X 762 mm X 2168 mm)
CHAMBER STORAGE: 48.9 CUBIC FEET (1.39 m³)
MINIMUM INSTALLED STORAGE: 74.9 CUBIC FEET (2.12 m³)
WEIGHT: 75.0 lbs. (33.6 kg)
*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

PART #	STUB	A	B	C
SC740E001 / SC740E001PC	8" (102 mm)	10.9" (277 mm)	18.8" (470 mm)	—
SC740E002 / SC740E002PC	10" (127 mm)	12.2" (310 mm)	16.5" (419 mm)	0.5" (13 mm)
SC740E003 / SC740E003PC	12" (152 mm)	13.4" (340 mm)	14.3" (363 mm)	0.5" (13 mm)
SC740E004 / SC740E004PC	14" (178 mm)	14.9" (378 mm)	12.8" (325 mm)	0" (0 mm)
SC740E005 / SC740E005PC	16" (203 mm)	15.9" (403 mm)	11.8" (299 mm)	—
SC740E006 / SC740E006PC	18" (229 mm)	16.4" (416 mm)	10.8" (274 mm)	—
SC740E007 / SC740E007PC	20" (254 mm)	17.4" (441 mm)	9.8" (249 mm)	—
SC740E008 / SC740E008PC	24" (305 mm)	18.9" (478 mm)	8.8" (223 mm)	—
SC740E009 / SC740E009PC	30" (381 mm)	21.4" (544 mm)	7.8" (198 mm)	—

PRE-FAB STUB AT BOTTOM OF END CAP WITH FLANG END WITH "B"
PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
PRE-CORDED END CAPS END WITH "PC"

ALL STUBS, EXCEPT FOR THE SC740E001/SC740E001PC ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

*FOR THE SC740E001/SC740E001PC THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1/2" (12.7 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE 12" STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL.

SHEET 5 OF 6

NYLOPLAST DRAIN BASIN

INSERTA TEE DETAIL

CHAMBER	MAX DIAMETER OF INSERTA TEE	HEIGHT FROM BASE OF CHAMBER (H)
SC-310	6" (152 mm)	4" (102 mm)
SC-740	10" (254 mm)	4" (102 mm)
DC-740	10" (254 mm)	4" (102 mm)
MC-3000	12" (305 mm)	6" (152 mm)
MC-4500	12" (305 mm)	6" (152 mm)

INSERTA TEE FITTINGS AVAILABLE FOR SDR 35, SDR 35, SCH 40 IPS GASKETED & SOLVENT WELD, H-12, HP STORM, C-600 OR DUCTILE IRON

NOTES:
1. 8.5" (216 mm) GRATE/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 15-34-05.
2. 15.5" (393 mm) FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
3. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
4. DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HOPE (ADS & HANCOCK DUAL WALL) & SDR 35 PVC.
5. FOR COMPLETE DESIGN AND PRODUCT INFORMATION: WWW.NYLOPLAST-USA.COM
6. TO ORDER CALL: 800-821-4710

SHEET 6 OF 6

NYLOPLAST DRAIN BASIN WITH WEIR

(SEE DETAIL BELOW FOR DESIGN DATA)

WEIR AVAILABLE FOR ALL 24" - 30" STRUCTURE OPTIONS (CUSTOM BASES)
DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. ISSUES ARE NEEDED FOR BASIN OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7004-19-045.
HEIGHT OF WEIR TO BE DETERMINED BY ENGINEER. WEIR HEIGHT CANNOT EXCEED 84" DUE TO MANUFACTURING AND SHIPPING RESTRICTIONS.
WEIR MANUFACTURED TO MINIMIZE LOSS OF OUTLET PIPE OPEN AREA.
ADAPTERS CANNOT BE MOUNTED ON ANY ANGLE TO BEYOND 30° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7004-19-042.
DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HOPE (ADS & HANCOCK DUAL WALL), SDR 35, PVC SEWER (EX. SDR 35), PVC DWV (EX. SCH 40), PVC C300/C305, CORRUGATED & REBbed PVC.

BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL, AS DEFINED IN ASTM D2231. SECONDARY BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2231.

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL, AS DEFINED IN ASTM D2231. SECONDARY BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2231.

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NO. 02020-00-00-00

DESIGNED BY: EBC
DATE: 05-16-21
REVIEWED BY: TRV
DATE: 03-15-21

DRAWN BY: EBC
DATE: 05-16-21
PROJECT NO: NAME
TITLE: DRAIN BASIN WITH WEIR FOR SURFACE DRAINAGE DETAIL

3153 VERONA AVE
BUFFORD, GA 30518
PH: (770) 833-3462
FAX: (770) 833-3496
WWW.NYLOPLAST.COM

DWG NO.: 7004-19-045
REV: C

3" TALL, 2.5" WIDE
OUTLET WEIR PLATE
CREST ELEVATION: 635.80

6" TILE
I.E. 632.40

30" FRAME & SOLID COVER

18" PIPE

6" DRAIN TILE

18" PIPE

TOP VIEW W/ FRAME & COVER REMOVED

1. INVERT ELEVATIONS & LOCATIONS TO BE DETERMINED BY ENGINEER.
2. HEIGHT OF WEIR TO BE DETERMINED BY ENGINEER. WEIR HEIGHT CANNOT EXCEED 84" DUE TO MANUFACTURING AND SHIPPING RESTRICTIONS.
3. WEIR MANUFACTURED TO MINIMIZE LOSS OF OUTLET PIPE OPEN AREA. SEE DRAWING NO. 7004-19-042 FOR DETAILS.
4. ORIFICE HOLES AND SLOTS AVAILABLE AS REQUIRED BY ENGINEER DESIGN AND PERMITTED BY MANUFACTURING RESTRICTIONS.

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NO. 02020-00-00-00

DESIGNED BY: EBC
DATE: 10-30-21
REVIEWED BY: TRV
DATE: 03-15-21

DRAWN BY: TRV
DATE: 03-15-21
PROJECT NO: NAME
TITLE: TYPICAL DRAIN BASIN WITH WEIR FOR SURFACE DRAINAGE

3153 VERONA AVE
BUFFORD, GA 30518
PH: (770) 833-3462
FAX: (770) 833-3496
WWW.NYLOPLAST.COM

DWG NO.: 7004-19-047
REV: F



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd, Suite 200, Racine, WI, 53406
Tele: (262) 634-5588 Website: www.nmbssc.net

CULVERS
UNDERGROUND DETENTION SYSTEM
DETAILS
FOR
CULVERS RACINE
VILLAGE OF CALEDONIA, RACINE COUNTY, WISCONSIN

PROJ MGR: MRM
DRAFTED: TRV
DATE: 3-15-2021
CHECKED: ALJ
DATE: 3-15-2021

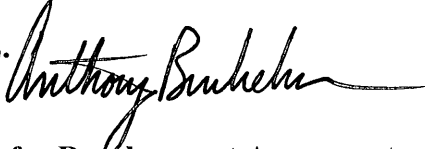
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SHEET
C-16

ISSUE FOR APPROVAL - 3-15-2021

MEMORANDUM

DATE: Monday, March 29, 2021

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Utility Director 

RE: Authorization of Signatures for Development Agreement – Briarwood of Caledonia

BACKGROUND INFORMATION

As a condition of approval of the Briarwood of Caledonia Condo Development and as required by Ordinance, a Development Agreement must be entered into for the construction of Public Facilities to be dedicated to the Village and Utility District.

Attached is the Development Agreement reviewed by the Public Works Director and approved by the Village Board. This Development Agreement covers the installation of Sanitary Sewer, Watermain, Storm Sewer, Storm Detention Facilities, Road Construction, Warranties, Deposits, Letters of Credit etc.

To complete the Development Agreement the signatures of the President & Secretary of the Utility District are required.

RECOMMENDATION

Move to authorize the President and Secretary of the Caledonia Utility District to execute the Development Agreement for Briarwood of Caledonia.

**DEVELOPMENT AGREEMENT
BRIARWOOD CONDOMINIUM**

THIS DEVELOPMENT AGREEMENT, (the “Agreement”), effective as of the date last executed by any Party hereto, is made and entered into by and between **Briarwood of Caledonia, LLC**, a Wisconsin Limited Liability Company, (the “Developer”), its successors and assigns, **TRI CITY NATIONAL BANK**, a Wisconsin financial institution, its successors and assigns, (the “Mortgagee”), the **VILLAGE OF CALEDONIA**, a municipal corporation located in Racine County, Wisconsin, its successors and assigns (the “Village”), the **VILLAGE OF CALEDONIA SEWER UTILITY DISTRICT** and the **VILLAGE OF CALEDONIA WATER UTILITY DISTRICT**, being two separate utility districts established by the Village of Caledonia under the laws of the State of Wisconsin (herein jointly and severally referred to as the “Utility District” and/or “District” although more than one), and **REESMAN’S EXCAVATING & GRADING, INC.**, being a Wisconsin Corporation (the “Contractor”) (Developer, Mortgagee, Village, Utility District and Contractor are collectively referred to as “the Parties”);

INTRODUCTION

A. The Village is located in Racine County, Wisconsin. The Utility District (through the respective two utility districts noted above) owns and operates the District System.

B. Developer is the sole record title owner of the 30 Condominium Units located on their real property platted as the “Briarwood Condominium” (hereinafter referred to as the “Property”) located in the Village of Caledonia, Racine County, Wisconsin, and which is legally described on the attached **Exhibit A** and further depicted on the Condominium Plat attached as **Exhibit B**.

C. The Village has approved, subject to conditions, the Condominium plat of “Briarwood Condominium,” being a development of the Property (“the Condominium”), including compliance with the

ordinances of the Village, which require that the Developer enter into a suitable contract with the Village relative to the construction of the private roads and other improvements in the Condominium.

D. As a part of the creation of the Condominium, the Developer wishes to contract directly with the Contractor for the purpose of constructing the Condominium System.

E. Once constructed by the Contractor and upon acceptance by the Village and the District, the ownership of the Condominium System will then be transferred and conveyed by formal action to the Village and the District which may be by Resolution or motion and become a part of the municipal District System.

F. The ordinances of the Village allow and permit the Developer to directly contract with the Contractor to build and construct the Condominium System and the Storm Water Utilities (hereinafter collectively referred to as the "Construction Project"), provided that the Construction Project is undertaken and done pursuant to the terms and provisions of this Agreement. The above-named parties are entering into this Agreement for such purposes, and for such other purposes as set forth in this Agreement.

G. Any and all applications, the pre-development agreement, and accompanying plans, schedules, exhibits, and other documents filed with the Village with regard to the Project are incorporated by reference herein, as modified by any written or formal approvals of the Village and Utility District.

H. The Mortgagee will hold a mortgage interest in the Property and joins as a party to this Agreement solely for purposes of agreeing that this Agreement shall survive any foreclosure of the Mortgagee's mortgage.

I. This initial phase of the Condominium is comprised of a portion of the roadway and 5 Buildings of 2-units each for a total of 10 Units. Prior to recording of the Final Condominium Plat the Developer shall determine the exact number of units/buildings they wish to declare at Phase 1. Future

phases of the Condominium shall be governed by this Agreement and are subject to the Village Public Works Director authorizing the Developer to proceed with additional phases in accordance with Village Ordinances and this Agreement. The Developer shall amend the Condominium Declaration to account for each new phase of the Condominium. The total full build-out for the Condominium will be comprised of 15 two-unit buildings for a total of 30 Units.

J. The Developer desires to complete improvements and development of the Property located in the Village in the manner described herein, and for that purpose cause the installation of certain Public Improvements, hereinafter defined.

K. Wisconsin Statutes Section 236.13 and the applicable Village Ordinances provide that as a condition for final approval, the governing body of a municipality may require the Developer to make and install or have made and installed, any new Public Improvement, including the Condominium System, reasonably necessary to the Property, and the Developer may provide an irrevocable letter of credit or other security approved by the Village guaranteeing that the Developer will make and install or have made and installed those improvements to the Condominium within a reasonable time.

L. The Village believes that the orderly planned development of the Condominium will best promote the health, benefit, safety and general welfare of the community.

NOW THEREFORE, in consideration of the granting of approval by the Village of the development of the above described Property, and the covenants herein contained, and other good and valuable consideration, the adequacy and sufficiency which is acknowledged by all parties, it is mutually agreed as follows:

1. **Introduction is Correct.** The Parties agree that the foregoing "Introduction" is true and correct and is hereby incorporated into this Agreement by reference.

2. **Definitions.**

Condominium shall mean Briarwood Condominium as set forth on **Exhibit A.**

Condominium System shall mean the sanitary sewerage system and the watermain system in the Condominium to be constructed on the Property under this Agreement and in accordance with the Plans.

District System shall mean the Village's municipal sanitary sewerage system and the municipal water system operated by the Utility District.

Public Improvements shall mean all public improvements to be constructed on the Property pursuant to this Agreement and in accordance with the Plans, including grading, erosion control, drainage and all requisite public improvements, Storm Water Utilities and Condominium System.

Private Roads shall mean all roads to be built on the Property, including any required curb and gutter.

Storm Water Utilities shall mean the storm sewer utilities to be constructed on the Property under this Agreement and in accordance with the Plans.

3. **Consent of the Village and District.** The Village and District hereby grant permission to the Developer and the Contractor to undertake and do the Construction Project for the Property as a private project on private property (as opposed to a Village/District project requiring compliance with the public bidding statutes).

4. **Construction Project.** The construction of Public Improvements in the Condominium shall be undertaken and done by Contractor, and Developer shall be solely responsible for the payment of all costs and expenses for the construction of the Public Improvements in the Condominium. The Contractor and Developer expressly understand and agree that the Village and the District will not be liable or responsible in any manner for any of the said costs and expenses of the construction of the Public Improvements in the Condominium.

5. **Code of Ordinances Incorporated.** The Code of Ordinances of the Village, as amended from time-to-time, is hereby incorporated into this Agreement, and Developer and Contractor agree to perform all of the obligations imposed upon Developer and/or Contractor by the terms and provisions of such ordinances, as applicable. Without limitation, Developer specifically acknowledges that it must pay all applicable fees, which include, but are not limited to, applicable impact fees, land division fees, and others. Notwithstanding the foregoing, impact fees for the construction of a two-unit building in the Condominium shall be paid at the time a building permit for the construction of said building is obtained.

6. **Public Improvements: Dedication, Construction, Guaranty Period.**

(a) **Property Improvements Generally.** Developer shall prepare, at its expense and per applicable Village ordinances and the requirements of this Agreement, complete plans for construction of the Property's Public and Private Improvements, the Condominium System as further described under Section 7 of this Agreement, and Storm Water Utilities as shown on the approved plans prepared by Pinnacle Engineering that are described below. The Village and the Utility District have previously approved the plans for the Public and Private Improvements prepared by Pinnacle Engineering Group and dated and stamped by a professional engineer on August 27, 2020 which are incorporated herein by reference (the "Plans"). The design and Plans of the Public and Private Improvements, Condominium System and Storm Water Utilities shall conform to the Village's minimum standards for public utilities and private roads then in effect unless otherwise agreed to in writing by the Developer and the Village, and such plans and specifications shall be submitted to and approved by the Village. The standards for the Private Roads were approved by the Public Works Committee in January of 2019, the Plan Commission on February 24, 2020 and the Village Board on March 2, 2020 and the Public Works Committee on August 12, 2020 and have been incorporated in this Plan Set. In the event of any conflict between the minimum design standards in the Village's Code of Ordinances and the requirements of this Agreement, the more restrictive shall control except for the Private Road which was previously approved by the Village and as is expressly provided for in this Agreement. The Developer acknowledges and agrees that it is solely responsible for all costs of construction and installation of the Public Improvements.

(b) **Storm Water Utilities and Condominium System Construction.** Developer's design engineer shall stake the location of the Storm Water Utilities and Condominium System prior to construction. Developer shall be responsible for constructing the Storm Water Utilities and Condominium System at Developer's expense and per the approved Plans for the entire Condominium, including all phases. Developer's construction work shall be subject to inspection by the Village, or the Village's designee. Developer shall construct the Storm Water Utilities and the Condominium System utilizing granular backfill, as set forth in the approved Plans and as required by Village ordinances. The Condominium Plat is conditioned upon (i) the Village's acceptance of the Condominium's Public Improvements, (ii) the Property (and the units therein) being serviced with public sewer and water services by the Utility District, and (iii) the Developer entering into agreements to grant the Utility District, as appropriate, all easements, if applicable and deemed necessary for the furnishing of public sewer and water services to the units in said Condominium.

After the Storm Water Utilities and Condominium System have passed final inspection and testing, and after all lien waivers for the work completed on the Condominium System and the Storm Water Utilities have been provided to the Village, the Village shall accept ownership of the Condominium System and easements for access to the Storm Water Utilities and Condominium System.

(c) **Private Roads Construction.** After acceptance of the Storm Water Utilities and Condominium System by the Village, the Developer and Contractor shall thereafter construct, at Developer's expense, the Private Roads for Phase One, including asphaltting, in compliance with the Approved Plans for roads. Such construction, including asphaltting, will be completed by the Developer and Contractor, and tested. Certain items of the Developer's construction work shall be subject to inspection by the Village, or the Village's designee. These items include proof rolls of subgrade and base, concrete curb and gutter inspections and paving inspections. The Village shall also require subgrade and base verifications, in form of as-builts, prior to base and paving. It is anticipated that the construction of the Private Roads as described herein, except for surface asphaltting, shall be completed during 2021 for the first phase of the Condominium. If the construction thereof is delayed, the Developer and Contractor shall

be responsible for the maintenance, plowing, regrading and reshaping of the Property's Private Roads at the Developer's expense prior to the asphaltting work being done. After the Developer's construction of the stone base course of the Private Road, the Developer's asphaltting contractor shall fine grade the stone base and install two and one-half (2 ½) inches of binder asphalt, in two (2) layers per the specifications of the Village Director of Public Works, on the Private Road within the Condominium for each phase. The private road construction will be accomplished in phases as approved by the Village Public Works Director in accordance with this Agreement.

The surface asphalt of one and one-half (1 ½") inches and final work necessary to complete the Private Roads shall not be done until 80% of the units within the Condominium are constructed, unless otherwise required by the Village to be completed earlier, and all required Public Improvements have been installed and approved by the Village.

Prior to installation of the surface course of asphalt, the Contractor shall inspect the Private Road to determine whether any patching and repairs of the previously completed construction of the Private Road is necessary. When authorized to install the surface course of asphalt by the Developer, the Developer's asphaltting contractor shall perform any patching and repairs deemed necessary by the Developer, sweep the binder course prior to placing any tack coat and install one and one-half (1-1/2) inches of surface asphalt. Thereafter, the Developer and Contractor shall complete the final work necessary to complete the construction of the Private Roads including manhole and water box adjustments on the Private Roads subject to inspection by the Utility District. Developer agrees that it is financially responsible for the cost of installation and construction of the asphalt binder and surface courses and adjustments. In the event the private roads are not completed for the entire condominium for all phases within two (2) years from the date hereof, the Village Public Works Director shall have the right to review the plans in light of conditions then existing or expected in the area and to require modification of the plans to meet any such conditions.

The Declaration shall specify that the unit owners and the Condominium Association shall own and be responsible for the installation, construction, maintenance and reconstruction of all private roads in accordance with Village specifications.

7. **Subdivision System Construction Project.**

(a) **Approval of Construction Project Plans.** Prior to any work being done on the Construction Project, (i) the Developer shall first obtain the written approval from the District's engineers of all of the specifications, drawings, blueprints, diagrams and plans for the Construction Project (hereinafter collectively referred to as the "Plans"), and (ii) the Contractor shall first have a Pre-construction meeting with the District's engineers regarding the Construction Project. The Plans shall be of a type and format, and have such content, as the District's engineers may require. Additionally, the Plans shall also be submitted to the District's engineers in an electronic format approved by the District's engineers. Developer and Contractor expressly understand and agree that, in the event the Developer does elect to undertake and do the Construction Project, the Condominium System shall then be constructed and done in strict compliance with the Plans approved by the District's engineers.

(b) **Full Inspections.** The Condominium System portion of the Project shall be inspected by the District's engineers, and all costs of such inspections shall be paid for by Developer. The Contractor shall provide to the District its work schedule (the "Work Schedule") for the Construction Project prior to any work on the Construction Project being undertaken. The Work Schedule shall (i) specify the times, dates and type of work to be performed, and (ii) have a format and content satisfactory to the District's engineers. The Work Schedule shall not be increased or expanded in time or scope of work without first providing the District's engineers with at least 48 hours prior written notice of such changes to the Work Schedule. Developer and Contractor understand that it is the intent of the Village and District to have one or more inspectors at the construction site at all times that work on the Condominium System is

being performed and as deemed by the Village and/or District to be needed at other times while the work on the Construction Project is being performed. The District Engineers and/or their inspector(s) at the construction site shall have the full right and authority to stop work on the Construction Project whenever they believe that any such work or materials are not in compliance with the approved Plans for the Construction Project, and in such event the Contractor shall then immediately cure any such failure of compliance before proceeding with any other work on the Construction Project. Notwithstanding the foregoing right and authority granted to the District's engineers (to stop the Construction Project in the event of a failure of compliance with the approved Plans), the parties to this Agreement expressly understand and agree that, as between the parties to this Agreement, the Contractor and/or Developer shall be the sole parties responsible for (i) all safety measures required for the Construction Project, (ii) the direction of all laborers and personnel doing the work on the Construction Project (except for the inspector(s) hired by the District's engineers), and (iii) all means and methods required to do the Construction Project.

(c)) **One-Year Guarantee.** Developer and Contractor shall, and hereby do, jointly and severally guarantee to the Village and the District that all work and materials furnished and performed on and for construction of the Condominium System shall be free from defects for a period of one (1) year after the date on which the Village and District accept ownership of the Condominium System in writing as described in subsection (d) below. This one-year guarantee, however, shall not in any manner limit, change or amend any applicable statutes of limitation regarding the Developer's and/or Contractor's duties under this Agreement to construct the Condominium System in strict compliance with the approved Plans for the same. In the event any defect(s) is discovered during such one year time period, the District and/or Village shall notify the Developer and Contractor in writing, and the Developer and Contractor shall cause such defect(s) to be corrected within sixty (60) calendar days (or within such shorter period designated by

the Village or District if the public health and safety so require). If the Developer and/or Contractor shall fail to do so within such 60 day time period (or if the public safety requires the remedial work to be done sooner and the Developer/Contractor are not able to timely do so), then the District and/or Village may cause such defect(s) to be corrected, and the Developer and Contractor shall be liable to the District and/or Village for any costs incurred by the District and/or Village in doing so, including any construction, engineering, legal or administrative costs with respect to the said remedial work.

(d) **Transfer of Ownership.** Upon the full completion of the Condominium System and upon the Village and the District then accepting the same in writing, the ownership of the Condominium System shall, effective as of the date of the said written acceptance by the Village and District, be transferred and conveyed to the Village and the District by Resolution or Motion. With respect to such transfer/conveyance of ownership to the Village and District:

1) The said transfer/conveyance shall be deemed to occur and become effective immediately and automatically at the time of the written acceptance of each completed Condominium System by both the Village and the District, without any further documents being required.

2) The said transfer/conveyance shall include transfer of ownership of the Condominium System located in the dedicated Village and Village utility easements.

3) The said transfer/conveyance of ownership, however, shall not include any portion of the sewer laterals and/or water laterals that are located outside of the Village/Utility Easement area(s).

4) The Developer agrees to execute such documents as may be requested by the Village to transfer, convey and/or dedicate ownership of the Condominium System to the extent necessary to facilitate the Village's ownership thereof as set forth in this Section 7(d).

(e) **Reimbursement for Costs.** The Developer shall, within thirty (30) days after receiving a written itemized invoice(s) from the District for the same, reimburse and pay to the Village and/or District all engineering, inspection, administrative and legal costs incurred by the Village and/or District with respect to the Construction Project. This shall expressly include, but not be limited to, (i) all engineering costs incurred in the review of the Plans for the Construction Project, and (ii) all inspection costs for the Construction Project, and (iii) all legal costs of the District's attorney pertaining to the Construction Project and/or this Agreement.

(f) **Right of Village/District To Complete The Project.** If the Developer commences the Construction Project (by having the Contractor commence actual excavation work and/or construction work on site) but then fails for any reason to complete or finish the Condominium System portion of the Construction Project, then, in addition to any and all other remedies available to the Village and/or the District under the law:

1) The Village and/or District may, at its option, complete and finish the said Condominium System portion of the Construction Project by doing such remaining work (the "Completion Work") as a publicly-bid Village project; and

2) The Developer shall pay to the Village and/or District all costs incurred by the Village/District in doing the Completion Work; or

3) Without in any manner limiting its available remedies under the law, the Village and/or District may obtain payment of all such costs for the Completion Work

through a levy of special assessments and/or special charges (collectively referred to as the "Special Assessment") on the Property pursuant to the terms and provisions of Section 66.0703 of the Wisconsin Statutes and/or any other applicable statutes. Developer hereby waives all procedural rights that Developer may have under the laws of the State of Wisconsin with respect to such an imposition of the Special Assessment on the Property for the Completion Work. This waiver includes, but is not limited to, waiver of the requirement of a written notice and a public hearing as required under Section 66.0703 of the Wisconsin Statutes and/or any other special assessment statutes.

4) Additionally, the "Completion Work" described above may also consist of the following other types of work should the Village and/or District so elect:

- i) Undertaking whatever work may be necessary to protect and maintain the Condominium System at its then-existing stage of completion; and/or
- ii) Removal of part or all of the Condominium System and restoration of the disturbed areas of the Condominium.

(g) **Grant of Easements.** If for some reason any portion of the Condominium System is constructed outside of the Village rights-of-way that are transferred to the District under the provisions of above Section 7(d) of this Agreement, the Developer will grant to the Village and the District an easement (the "Easement") on private land located within the Condominium as reasonably determined by the Village and the District, of sufficient depth and width to the extent reasonably necessary to enable the Village and the District to access such portion of the Condominium System for the purpose of installing, operating, using, maintaining, modifying, improving, repairing, and/or replacing the Condominium System. If an easement is so determined to be reasonably necessary, the Developer will execute and deliver to the Village

and District a separate written easement agreement (the "Easement Agreement") that memorializes and confirms the easement rights of the Village and District to install, operate, use, maintain, modify, improve, repair, and/or replace (i) any sanitary sewer and watermain facilities already located within the easement area, and (ii) any other portion of Condominium System located within the easement area. The Easement Agreement shall identify and describe the location of all such sanitary sewer and watermain facilities. When the Construction Project and the final as-built drawings of the new Condominium System are completed, the said as-built drawings shall be included in the Easement Agreement to identify and describe the land subject to the easement pertaining to sanitary sewer and watermain facilities. (In this fashion, the final as-built easement areas will replace any initial easement areas that were originally based on the Plans, but vary from the final, as-built location of the sewer and watermain facilities.) Except as otherwise agreed to, the Developer shall provide, and no building permits for units within the Condominium shall be issued until the Village receives, a master easement exhibit from the Developer showing all easements, including WE Energies and other utility easements located in the Condominium . The Developer shall provide these documents in a format acceptable to the Village Director of Public Works and Village Utility Director.

(h) **Manhole/Valve Box Adjustment Costs.** The Developer will completely bear the costs of manhole/valve box/water box adjustments and will schedule an inspection with the Village's Utility District with at least 48 hour notice.

8. **Drainage Facilities.**

(a) **Construction.** Developer and Contractor agree to design, construct, and install, at its expense, all the Storm Water Utilities as specified and set forth in the Village-approved plans and specifications described in Section 6 hereof for the entire condominium. In the event the Storm Water

Utilities are not completed within two (2) years after the date hereof, the Village Board shall have the right to review the plans in light of conditions then existing or expected in the area and to modify the plans to meet any such conditions. The Developer and Contractor shall construct and complete the Storm Water Utilities pursuant to any such revised plans. All such work shall be subject to approval and acceptance by the Village Board and the Village's Utility Commission. Construction of all drainage facilities within the outlots located on the Property shall be completed prior to the issuance of any building permits for units within the Property. Any damage occurring to the Public Improvements or to any other drainage structures or appurtenances, including drainage tiles, shall be repaired, restored or rerouted by Developer in accordance with this Agreement.

(b) **Maintenance.** Except as provided below, Developer shall be liable and responsible for the proper maintenance of the storm water easements described on the attached **Exhibit C**, including any detention or retention basins if applicable. Such maintenance shall include the control of weed and algae growth. Such liability and responsibility shall continue with the Developer until such time as the ownership of each unit is transferred and such subsequent owner assumes such obligations through a "Maintenance and Easement Agreement" which shall be recorded as a separate agreement and which is attached as **Exhibit D** (the "Maintenance and Easement Agreement"), that sets forth the regular, routine and long term maintenance requirements. Such responsibility shall be delegated immediately to the Condominium homeowners association (the "Condominium's Association") through the Declaration of Condominium which shall be recorded and which is forthcoming and shall be submitted to the Village for approval by the Village Board. However, the Developer shall continue to have remaining obligations relating to the Developer's guarantees under Sections 7(c) and 9(b)). Such maintenance shall be carried out in conformity with applicable Village ordinances, the Condominium Declaration and any written directive for corrections or maintenance from the Village.

(c) **Grant of Easements.** The Developer shall grant to the Village an easement for the purpose of maintaining and repairing the Storm Water Utilities located in the Condominium. Developer will execute and deliver to the Village a separate written easement agreement that memorializes and confirms the easement rights of the Village to maintain and repair the Storm Water Utilities. Said easement agreement shall identify and describe the location of all such Storm Water Utilities and shall be recorded with the Racine County Register of Deeds.

(d) **Default.** In the event of any default in the obligations to properly repair damage caused during construction or to maintain the drainage easements, including any retention or detention basins, the Village may cause said maintenance to be performed and may charge the costs thereof to any of the following parties to the extent that each of the following parties is liable for said costs pursuant to this Agreement or the Condominium Declaration: (i) the Developer, (ii) any subsequent owner of any unit within the Condominium, or (iii) the Condominium Association. In addition, the Village, at its option, may cause all such costs including any engineering, legal, and administrative costs with respect to the same, to be assessed against the Property or the unit within the Condominium that is assigned responsibility for such drainage facility, all as provided in Sections 66.0627 and 66.0703, Wis. Stats., and applicable Village ordinances.

9. **Public Improvements Cost and Security.**

(a) **Public Improvements Costs and Security.** In order to secure Developer's satisfactory completion of the Public Improvements including, but not limited to, the Storm Water Utilities, Public Roads and Condominium System, Developer has opted to post with the Village a letter of credit, in a form and from an issuer satisfactory to the Village, in the amount of \$1,196,050.90 (the "Security"), which amount equates to 120% of the estimated total cost of the Public Improvements (excluding the cost

for asphaltting) as set forth on **Exhibit E** which is incorporated herein by reference, Developer shall post the Security with the Village prior to commencing the staking that is required of the Developer. After completion satisfactory to the Village as set forth in this Agreement of the Storm Water Utilities and Condominium System, the Village shall release that portion of the Security that is attributable to the estimated cost of the completed work upon receipt by the Village of lien waivers, as shown on **Exhibit E**. Releases of the Security shall be accomplished incrementally as portions of the work are completed and accepted by the Village. Only that portion of the Security necessary to secure the warrantee period for the Condominium System shall be retained by the Village as security for an additional fourteen (14) months ("Guaranty Period") to secure the Developer's obligations during the Guaranty Period and to ensure completion of the remaining Public Improvements. In consideration for, and to ensure the long term integrity of the binder course of asphalt and to reduce Developer's costs under the Guaranty Period, if the letter of credit posted for the Security expires prior to the end of the Guaranty Period, the Developer agrees to renew the letter of credit for the remaining Guaranty Period even if the letter of credit extends beyond, and notwithstanding, the fourteen (14) month period set forth in Section 236.13, Wis. Stats. In calculating the retention amount of the Security, such amount shall not include the original 20% contingency. Developer may, at its option, substitute a cash bond or cash deposit for the remaining amount on the letter of credit for the remaining Public Improvements work, plus 10% of the original Security.

If Developer fails to complete the Public Improvements, within eight months after initial staking, the Village shall draw on the Security without further notice to Developer to complete the remaining Public Improvements of the Condominium System.

(b) **General Inspections.** The Public Improvements shall be inspected by the Village's Director of Public Works, or his designee or the Village's consulting engineers, and all costs of such inspections shall be paid for by Developer. The Contractor shall provide its work schedule for Public

Improvements to the Village prior to any work being undertaken. Such work schedule shall (i) specify the times, dates and type of work to be performed, and (ii) have a format and content satisfactory to the Village's Director of Public Works. Developer and Contractor understand that it is the intent of the Village to have one or more inspectors present as needed while the work on the Public Improvements is being performed. The designated inspectors at the construction site shall have the full right and authority to stop work on the Public Improvements whenever they believe that any such work or materials are not in compliance with the approved Plans and Specifications, and in such event the Contractor shall then immediately cure any such failure of compliance before proceeding with any other work. Notwithstanding the foregoing right and authority granted to the Village's inspectors (to stop the work in the event of a failure of compliance with the approved Plans and Specifications), the parties to this Agreement expressly understand and agree that, as between the parties to this Agreement, the Contractor and/or Developer shall be the sole parties responsible for (i) all safety measures required for the work, and (ii) the direction of all laborers and personnel doing the work (except for the inspector(s) hired by Village), and (iii) all means and methods required to do the work.

10. **Common Area/Open Space Restrictions.** Pursuant to the Condominium Declaration, the developer of the Condominium agrees to manage the use of the Common Area/Open Space and require the maintenance and protection of the same in the recorded Condominium Declaration. The Common Area/Open Space located in the Condominium are subject to the Condominium Declaration and the easement agreement required under Section 7(c) above. Developer shall ensure that the Common Area/Open Space located in the Condominium comply with the Condominium Declaration and said easement agreement. Thereafter, the Condominium Association shall be responsible for the maintenance and management of the Common Area/Open Space. The Village shall have no ownership interest in, nor any responsibility, for the Common Area/Open Space except to the extent necessary to exercise its easement

rights to ensure proper maintenance of any drainage facilities by the Condominium Association.

11. **Street Lights.** The Developer shall be liable for the costs of purchasing and installing street lights in areas deemed necessary in the judgment of the Village's Director of Public Works, Said lights must be approved by the Village and WE Energies. The street lighting plan, including the type of street light to be permitted, shall be submitted to the Village's Director of Public Works for approval, is incorporated herein by reference. The installation of the street light shall be the sole responsibility of the Developer until that part of the public street is transferred and conveyed to the Village. The Developer shall also be responsible for payment of the applicable street light fee of **\$550.00** per light for each standard light, which fee represents the cost of operating each light for the three year period following the execution of this Agreement per Village of Caledonia Resolution 2007-21.

12. **Street Markings and Signage.** The Developer shall be responsible for the costs of procuring and installing all pavement markings and street signage adjacent to the Condominium. Pavement markings, if any, may include stop lines at intersections, striping for right turn lanes, and any other pavement markings required by the Village's Director of Public Works. Signage shall include all stop signs, street signs and other signs required by the Village's Director of Public Works. The street sign and pavement marking plan, which shall be created by the Village Director of Public Works, is incorporated herein by reference. The Developer authorizes the Village to install the necessary Public Roads markings and signs and shall reimburse the Village on a time and material basis for the cost thereof.

13. **Sale of Units.** Developer or its successors in title shall not sell, convey or transfer any portion of the Property abutting upon a street or portion thereof that is depicted on the Condominium plat until the following have occurred: (1) this Agreement is executed and recorded; 2) the Condominium Plat is recorded; 3) the Condominium Declaration in a form approved by the Village is recorded; 4) all Security has been deposited with the Village (by such time as is herein provided); (5) the Storm Water Utilities and

Condominium System have been installed and accepted by the Village.

14. **Sewer and Water.** The approval of the Condominium Plat was conditioned upon the Condominium being serviced with public sewer and water service by the Village's Utility Districts. Except as otherwise set forth in this Agreement, the sewer and water system within the Condominium shall be designed, constructed, and installed at the sole expense of the Developer pursuant to plans submitted to and approved by the Village and the Utility District. All fees applicable to the connection and service of the Property to the public sewer and water systems shall be borne by Developer or individual unit owners, and any use of such systems shall be subject to all applicable use restrictions. All such work shall be pursuant to plans and specifications approved by the Utilities and the Village.

15. **Reimbursement of Costs.** The Developer acknowledges and agrees that it is solely responsible for all costs related to the installation of Condominium's Public Improvements. In addition, the Developer agrees to reimburse the Village for its costs related to the Condominium including costs incurred by the Village to review conceptual, preliminary and final plans associated with the Condominium and to review, revise and/or draft any agreements, easements, deed restrictions or other documents associated with the Condominium. Such costs shall also include the costs of Village's retained engineers, attorneys, inspectors, agents, and subcontractors. Developer understands that legal, engineering, and all other consultants retained by the Village are acting exclusively on behalf of the Village and not Developer. Developer entered into a pre-development agreement with the Village and paid to the Village the sum of \$3,000 as a deposit for such reimbursements. This Section supersedes the pre-development agreement, provided, however, the parties intend that the reimbursement account and process set up by the pre-development agreement shall continue uninterrupted as needed to cover expenses incurred under this Agreement. If at any time said deposit becomes insufficient to pay expenses incurred by the Village, Developer shall deposit additional amounts required by the Village within fifteen (15) days after written

demand by the Village. If Developer does not deposit a required additional amount within the time required, the Village may suspend additional work or review of the plans and specifications under consideration until the additional deposit is received. Within sixty (60) days after completion of all construction contemplated under this Agreement, the Village shall furnish Developer with a statement of all such costs incurred by it with respect to such Property. Any excess funds shall be remitted to Developer, and any costs in excess of such deposit shall be paid by Developer upon demand. Any interest earned on said deposit shall remain the property of the Village to partially offset administrative expenses associated with planning and development.

16. **Land Division Fee.** Pursuant to Section 14-3-3(c), the Developer shall be responsible for a land division fee in the amount of \$3,000 (30 Units @ \$100 per parcel) to be included as a cash payment to the Village upon execution of this document.

17. **Utilities and Utility Laterals.** Developer is responsible for all costs associated with all private utilities servicing the Condominium including, without limitation, the cost of underground installation of cables, wires, pipes, laterals, etc. for electric, gas, telephone, and cable television services, if any. Developer shall fully restore, at its expense, any Village right-of-way that has been disturbed due to its installation of utilities, lighting or landscaping. The Village shall not take ownership of any utility laterals.

18. **As-Built Plans.** Upon written acceptance of all improvements by the Village, the Developer's engineer, at the Developer's expense, shall provide to the Village one complete set of Grading and Stormwater facilities as-built plans and profile sheets, and shall prepare and provide to the Village one complete set of Sanitary Sewer and Water Main plans on reproducible mylar or similar material as agreed by the Village Public Works Director, two sets of prints indicating actual constructed locations and elevations, and one set of electronic drawings (PDF) and associated files compatible with a computer-aided

design (CAD) system maintained by the Village. The as-built plans shall be prepared by modification of the construction drawings to reflect as-built data for streets, water mains, storm and wastewater collection systems, site grading, and all other relevant public improvements. The Village will be reimbursed by the Developer for the cost of changes to the base and other maps and official drawings not provided by the Developer's as-built drawings, but necessitated by actions of the Developer, whether or not such items are enumerated in this Agreement.

19. **Building Permits and Unit Construction.** Until the Public Improvements provided herein to be installed to service the Condominium have been installed to the reasonable satisfaction of the Village's Utility Director and Director of Public Works, no building permits shall issue as to units in the Condominium; provided, however, that building permits may issue as to Units fronting on streets within the Condominium if the Storm Sewer System has been installed and accepted by the Village and the private road for that phase has been constructed and accepted by the Village. Finished yard grades and grading plans must be approved by the Village's Director of Public Works before construction may commence and the unit owner shall be responsible for the costs of any review at the time of building permit review.

20. **Hydrants.** The Developer shall, at its expense, provide pre-painted hydrants of a design and construction satisfactory to Village staff and consistent with the Village's color code system in those areas of the Property specified by the Village.

21. **Laws To Be Observed.** The Developer and Contractor shall at all times observe and comply with all federal, state and local laws, regulations and ordinances (collectively, the "Laws") which are in effect or which may be placed in effect and impact the conduct of the work to be accomplished under this Agreement to construct the Public Improvements and private improvements, inclusive of repairs, replacements and alterations (collectively for the purposes of this Section and Section 22 the "Work"). The

Developer and Contractor shall indemnify and hold harmless the Village and its agents, officers and employees, against any claims or liabilities directly arising from or based on the violation of any such Laws with regard to the Work by the Developer or its principals, agents, employees or contractors, except to the extent that such claims or liabilities arise by virtue of the negligence or willful misconduct of the Village or any of its agents, contractors, officers or employees. The Developer and Contractor shall procure all permits and licenses and pay all charges and fees and give all notices necessary and incident to the lawful prosecution of the Work.

22. **Public Protection and Safety.** The Village shall not be responsible for any damage, bodily injury or death arising out of the Work whether from maintaining an “attractive nuisance” or otherwise, except as caused by the negligence or willful misconduct of the Village or any of its agents, contractors, officers or employees. Where apparent or potential hazards actually known by the Developer and Contractor that occur incident to the conduct of the Work, the Developer and Contractor shall provide reasonable safeguards. Developer shall, however, still be solely responsible for the means and the methods used for the construction of the Work. The Village, Developer and Contractor do not waive, and shall retain, all defenses to third party claims pursuant to applicable law.

23. **Survey Monuments.** The Developer and Contractor shall exercise all reasonable efforts to assure that all survey or other monuments required by statute or ordinance will be properly placed and installed. Any monuments disturbed during construction of improvements shall be restored by Developer and Contractor.

24. **Drain Tile.** Any drain tile or other drainage structure or appurtenance damaged during construction in the reasonable opinion of the Village Utility Director or Director of Public Works shall be repaired and restored to its condition prior to such construction, or rerouted or replaced, if necessary, by Developer and Contractor, and Developer shall provide a permanent record of such work to the Village.

25. **Erosion Control.** During the course of the development of the Condominium, the Developer shall be responsible to ensure that reasonable steps are taken to prevent erosion from lands within the Condominium and the siltation therefrom being carried into streets rights-of-way, street-side ditches, drainage ditches, easements, culverts, drains, waterways, lakes and streams. To prevent such erosion and siltation, the Developer shall conform to the practices set forth in the erosion control plan located in the Construction Plans and all Construction Site Storm Water Permits issued by the Department of Natural Resources. In the event of any such erosion or siltation, the Developer and Contractor shall be responsible for removing all such siltation from and restoring all such rights-of-way, ditches, easements, culverts, drains, waterways, lakes and streams. All such compliance and work hereunder shall be done without cost to the Village. The Developer shall be responsible for ensuring that its contractors utilize construction means and methods that minimize, to the extent possible, nuisance-type impacts to the surrounding landowners. Prior to the start of construction, the Developer shall obtain a land disturbance permit from the Village.

26. **Personal Liability of Public Officials.** In carrying out any of the provisions of this Agreement or in exercising any power or authority granted to them thereby, there shall be no personal liability of the Village officers, agents or employees, it being understood and agreed that in such matters they act as agents and representatives of the Village.

27. **Indemnification/Hold Harmless Agreement.** The Developer hereby does, jointly and severally, expressly agree to indemnify and hold the Village, Utility District, and their respective elected and appointed officers, employees, engineers and agents harmless from and against all claims, judgments, damages, costs, expenses and liability of every kind and nature, including but not limited to any reasonable actual fees for attorneys and experts retained by the Village and/or Utility District in conjunction with this Agreement, for any injury or damage received or sustained by any person or entity in connection with, on

account of, or in any way relating to the Property, Construction Project, and Condominium System including Developer's performance of work relating thereto, or this Agreement and any other liability of any nature whatsoever, that may arise directly or indirectly as a result of:

- a) The Village and District entering into this Agreement; and/or
- b) The Developer and Contractor undertaking and doing the Construction Project(s);
and/or
- c) The Developer and/or Contractor failing to comply with the terms and provisions of this Agreement and/or the Development Agreement.

Provided, however, that the above indemnification and hold harmless obligations of the Developer shall not apply to any claims, judgments, damages, costs, expenses and liability for any injury or damage that may arise directly or indirectly as a result of, in whole or in part, any intentional torts, negligence and/or willful misconduct by the Village, Utility District, or any of their respective elected and appointed officers, employees, engineers, contractors and agents. The Developer further agrees to aid and defend the Village or its agents (at no cost to the Village or its agents) in the event they are named as a defendant in an action concerning or relating in any way to the Property or Condominium or this Agreement, except where such suit is brought by the Developer or due to the negligence, willful neglect or misconduct of the Village, Utility District, or any of their respective elected and appointed officers, employees, engineers, contractors and agents. The Developer and Contractor are not agents or employees of the Village. All work or obligations to be performed by the Developer and Contractor pursuant to the terms of this Agreement shall be done in accordance with (i) all applicable state, federal and local laws, rules, ordinances and regulations; and (ii) the terms and provisions of this Agreement.

28. **Indemnification for Environmental Contamination.** The Developer, Contractor or Condominium Association, as applicable, shall indemnify, defend, and hold the Village, Utility District,

and their respective elected and appointed officers, employees, and agents harmless from any claims, judgments, damages, penalties, fines, costs, or loss (including reasonable actual fees for attorneys and consultants) that arise as a result of the presence in or on property owned by the Village or Utility District or any Village right-of-way ("Village Parcels") of any toxic or hazardous substances in excess of the minimum levels allowed by applicable law (collectively, the "Substance") arising from any activity conducted by the Developer, Contractor, or any third parties, or by the Developer's respective employees, agents or contractors at or under the Property, except as to injury or damage arising, in whole or in part, due to the negligence or willful misconduct of the Village, Utility District or any of their agents, contractors, officers or employees. Without limiting the generality of the foregoing, this indemnification shall specifically include any costs incurred by the Village in connection with any remedial, removal, or restoration work required by any local, state, or federal agencies because of the presence of the Substances on or in the parcels within the Property that are conveyed to the Village (the "Village Parcels"), whether in the soil, groundwater or air unless its due to the Village's negligence, willful neglect or misconduct.

The Village and Utility District agree that they will immediately deliver written notice to the Developer and Contractor of the Village's or Utility District's discovery of the Substances in or on the Village Parcels. Following delivery to the Developer and Contractor of written notice of the Village's or Utility District's claim as required under this Section, the Village and Utility District shall make all reasonable accommodations to allow the Developer, Contractor or Condominium Association to examine the Village Parcels and conduct such clean-up operations as may be required by appropriate local, state, or federal agencies to comply with applicable laws.

In the event the Developer and Contractor is obligated to indemnify the Village and Utility District against claims arising under this Section, Developer and Contractor shall take all necessary steps to ensure that the Village and Utility District receive written confirmation from the appropriate

governmental authority of the satisfactory completion of the required remediation, removal or restoration work including, without limitation, a no further action letter, final case closure letter or confirmation that the presence of such toxic or hazardous substances affecting the Village Parcels migrated from an offsite source (the "Closure Documents"). The Closure Documents may be predicated upon any contingency or restriction approved by the appropriate governmental authority for groundwater or any use or as a deed restriction or registration in any registry including, without limitation, the GIS Registry. Developer and Contractor shall be responsible for any continuing obligation imposed by any appropriate governmental authority as a continuing indemnity for the Village and the Utility District.

29. **Insurance Requirements.**

(a) **General.** The Developer and Contractor shall obtain insurance reasonably acceptable to the Village as required under this section and such insurance which shall, by specific endorsement to said policy, name the Village and Utility District, their employees, officers and officials on a primary and noncontributory basis, as an additional insured or loss payee as the Village shall direct. The Developer and Contractor shall maintain all required insurance under this section until the Village has accepted dedication of all Public Improvements and for the duration of the Guaranty Period. Insurance required under this Agreement shall be carried with an insurer authorized to do business in Wisconsin by the Wisconsin Office of the Commissioner of Insurance. The Village reserves the right to reasonably disapprove any insurance company.

(b) **Minimum Limits of Insurance.** Where the Village does not specify other limits for liability insurance, the minimum limits of insurance coverage shall be as follows:

Employer's Liability	\$100,000 per occurrence
Comprehensive Motor Vehicle Liability	\$1,500,000 combined single limit for bodily injury and property damage
Comprehensive General Liability	

for Bodily Injury and Property Damage	\$1,500,000 per occurrence \$2,000,000 general aggregate
Worker's Compensation	Statutory Limits
Builder's Risk (as deemed applicable by the Village)	All Risk Type; Total Value of Project
Installation Floater	All Risk Type; Total Value of Project
Umbrella	\$2,000,000 Aggregate

The Developer and Contractor may furnish coverage for bodily injury and property damage for Comprehensive Motor Vehicle Liability and Comprehensive General Liability through the use of primary liability policies or in a combination with an umbrella excess third party liability policy.

(c) Contractor and Owner's Protective Liability (Independent Contractor Insurance). The Contractor's Contractor and Owner's Protective Liability Policy shall have the same coverage limits as the Comprehensive General Liability Policy.

(d) **Condominium Association Insurance.** The Condominium Association shall provide liability insurance for the Common Area/Open Space, including private roads, and the Condominium Declaration shall contain a covenant governing this requirement.

30. **Special Assessments.** Developer agrees, for itself and its successors in interest in the Condominium, that the Condominium is specially benefitted by this Agreement and by the Public Improvements provided for by this Agreement. If Developer and/or the Condominium Association defaults on any obligations under this Agreement, including but not limited to any financial obligation, Developer agrees, for itself and its successors in interest in the Property, that, in addition to any other remedy at law or in equity that the Village may pursue, the Village shall be entitled to specially assess all its costs relating to such default against the Property, pro rata based on acreage, without need of any procedures that are otherwise required by state statute or Village ordinance before a special assessment may be imposed. Developer, for itself and its successors in interest in the Property, hereby waives any and all rights to any

hearings and to challenge any such special assessment.

31. **Miscellaneous Provisions.**

(a) **Incorporation of Attachments.** All exhibits and other documents attached hereto or referred to herein are hereby incorporated in and shall become a part of this Agreement.

(b) **Non-waiver of Approvals.** Nothing herein shall be construed or interpreted in any way to waive any obligation or requirement of the Developer to obtain all necessary approvals, licenses, and permits from the Village in accordance with its usual practices and procedures, nor limit or affect in any way the right and authority of the Village to approve or disapprove any plans and specifications, or any part thereof, or to impose reasonable limitations, restrictions, and requirements on the Property, construction, and use of the Property as a condition of any such approval, license, or permit, including without limitation, requiring any and all other and further development and similar agreements. The Village will act diligently to review all necessary approvals, licenses, and permits duly requested by the Developer.

(c) **Compliance with Laws.** The Property construction shall be undertaken and done in full compliance with:

- i. The terms and provisions of this Developers Agreement; and
- ii. All applicable governmental laws, rules, regulations, statutes and ordinances; and
- iii. All directives, rules and regulations of the Village and District, and its officers, employees and agents (including, but not limited to, the engineers of the District); and
- iv. All drawings, plans, specifications, or diagrams required by and approved by the Village and/or District.

(d) **Time of the Essence.** Time is deemed to be of the essence with regard to all dates and time periods set forth herein and incorporated herein.

(e) **Headings.** Descriptive headings are for convenience only and shall not control or affect the meaning or construction of any provision of this Agreement.

(f) **Entire Agreement.** This Agreement and all other documents and agreements expressly referred to herein contain the entire agreement between the Developer and the Village with respect to the matters set forth herein.

(g) **Venue and Law Applicable.** This Agreement shall be governed, controlled, interpreted and construed in accordance with the internal laws of the State of Wisconsin. The venue of any legal action arising under and/or pertaining to this Agreement shall solely and exclusively be Racine County Circuit Court in Racine, Wisconsin.

(h) **Originals and Counterparts.** This Agreement may be executed in any number of counterparts, each of which shall be deemed to be an original.

(i) **Amendments to Agreement.** This Agreement shall not be amended orally but only by the written agreement of the Parties signed by the appropriate representatives of each Party and with the actual authority of each Party, provided, however, that the signatures of the Contractor or Mortgagee shall not be required for any amendment that does not affect the respective rights of the Contractor or Mortgagee.

(j) **Agreement Runs with the Land.** This Agreement and the provisions hereof shall be covenants running with the land and shall be binding upon the present owners of the Property for so long as they own the Property or any part thereof, and upon their successors in title and assigns. This Agreement shall be recorded with the Racine County Register of Deeds. Wherever an obligation herein is designated as that of the Developer or Condominium Association or others, the obligation shall be joint and several

hereunder; provided, however, that Developer shall not be liable hereunder for any defaults occurring after the sale of all units in the Property; all Public Improvements and the Condominium System have been constructed and accepted by the Village for all phases; and all guarantees have expired. The Condominium Association has been created and is in existence and shall assume such obligations hereunder, The “Condominium Declaration.” shall be submitted for review and approval by the Village Public Works Director.

(k) **Notices.** All notices permitted or required by this Agreement shall be given in writing and shall be considered given upon receipt if hand delivered to the party or person intended or a successor designated by a party to this Agreement, or upon facsimile transmission to the fax numbers set forth herein or a successor number or numbers designated by the party, or via email with acknowledgement of receipt or one business day after deposit with a nationally recognized overnight commercial courier service, air bill prepaid, or forty-eight (48) hours after deposit in the United States mail, postage prepaid, by certified mail, return receipt requested, addressed by name and address to the party or person intended as follows, or a successor party or address or both:

To Developer:

Briarwood of Caledonia, LLC
8338 Corporate Drive, Suite 300
Racine, Wisconsin 53406
rayleffler@hotmail.com

To the Village and Utility District:

Village Clerk
Village of Caledonia
5043 Chester Lane
Racine, Wisconsin 53402
Fax: 262-835-2388
kpope@Caledonia-wi.gov

And to:

Director of Public Works
Village of Caledonia
5043 Chester Lane
Racine, Wisconsin 53402
Fax: 262-835-2388
tlazcano@caledonia-wi.gov

To the Mortgagee:

Tri City National Bank
2704 Lathrop Avenue
Racine, Wisconsin 53405
Fax: 262-554-5866

To the Contractor:

Reesman's Excavating & Grading, Inc.
28815 Bushnell Road
Burlington, Wisconsin 53105
Fax: 262-539-2665
chris@reesmans.com

(l) **Successors and Assignment.** This Agreement is binding and enforceable against the Parties' respective successors and permitted assigns. The Village and Utility District may assign its interest in this Agreement to any successor entity or entities, including any municipality or municipalities established under Wisconsin law with jurisdiction over part or all of the area now occupied by the Village. The Developer and Contractor may not assign its interest in this Agreement without the express written approval of the Village and Utility District.

(m) **Severability.** The provisions of this Agreement are severable. If any provision of this Agreement is held by a court of competent jurisdiction to be invalid or unenforceable, the remaining provisions of this Agreement shall be binding on all parties.

(n) **Subordination.** The Mortgagee joins in this Agreement for the sole purpose of agreeing that in the event of the foreclosure of its mortgage interest in the Property, this Agreement shall survive such foreclosure and the Property shall remain subject to this Agreement.

(o) **The Contractor.** Reesman's Excavating & Grading, Inc. is the general contractor for construction of the Project, being hired and retained by Developer to construct the Property. Reesman's Excavating & Grading, Inc., however, as the general contractor, shall be responsible and obligated to the Village and the District to perform all of the duties imposed upon the "Contractor" under this Agreement.

p. **Force Majeure.** For purposes of this Agreement, the term "Force Majeure" means events or circumstances beyond a Party's reasonable control, including, without limitation, "acts of God," fire, flood, other natural calamities, accidents, unusual delays in deliveries, unavoidable casualties, labor disputes, strikes, lockouts or picketing (legal or illegal), wars, riots, acts of terrorism, changes in or unexpected interpretations of applicable statutes, laws, ordinances or regulations, adverse weather conditions, condemnation or other actions of governmental authorities or utility companies or shortages of labor, fuel, power or materials. In the event that any party hereto shall be delayed or hindered in or prevented from the performance of any work or act required hereunder by reason of a Force Majeure, then performance of such work or act shall be excused for the period of the delay and the period for the performance of such work or act shall be extended for a period equivalent to the period of such delay.

(q) **Use of Further Subcontractor.** In the event Contractor elects to use a further Subcontractor(s) to do part and/or all of the construction of the Property or Condominium System, then:

- i. Such further Subcontractor must be pre-approved by the Developer; and
- ii. Such further Subcontractor must be pre-approved and pre-qualified by the Village, which approval shall not be unreasonably withheld, conditioned, or delayed; and
- iii. Such further Subcontractor shall agree to perform all of the duties and

obligations imposed upon the Contractor in this Agreement relative to that portion of the duties and obligations of the work they are taking over; and

iv. The Contractor shall still remain a party to this Agreement, and still be responsible for fully performing all of the duties and obligations imposed upon any subcontractor(s) under this Agreement.

(r) **Legal Action.** In addition to the provisions set forth in this Agreement, the Village and Utility District may take any and all other appropriate action at law or equity to enforce compliance with the provisions of this or any other agreement they may have with the Developer and Contractor pertaining to this project, and in the event of a legal action in which the final determination is in favor of the Village and/or Utility District, the Village and/or Utility District shall be entitled to collect from the Developer and Contractor statutory costs and disbursements, plus its actual reasonable attorneys' fees and costs.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement in the day and year set forth below.

BRIARWOOD OF CALEDONIA, LLC

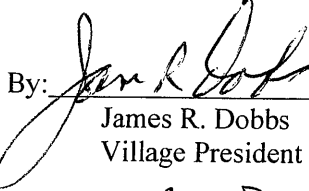
By: _____
Raymond C. Leffler
Member

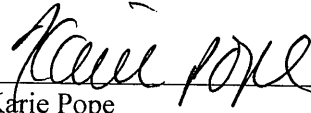
STATE OF WISCONSIN)
) SS:
COUNTY OF _____)

Personally came before me this _____ day of _____, 2020, Raymond C. Leffler, Member of Briarwood of Caledonia LLC, to me known to be the person who executed the foregoing instrument and acknowledged the same as the act and deed of said limited liability company.

Notary Public, _____ County, Wisconsin
My Commission Expires: _____

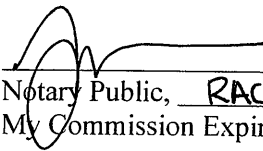
VILLAGE OF CALEDONIA

By: 
James R. Dobbs
Village President

Attest: 
Karie Pope
Village Clerk

STATE OF WISCONSIN)
) SS:
COUNTY OF RACINE)

Personally came before me this 2nd day of November, 2020, the above-named James R. Dobbs and Karie Pope, President and Clerk of the Village of Caledonia, to me known to be the persons who executed the foregoing instrument and acknowledged the same on behalf of the Village.

 JOSLYN HOFFERT
Notary Public, RACINE County, Wisconsin
My Commission Expires: 11/21/21

**VILLAGE OF CALEDONIA SEWER UTILITY
DISTRICT and the VILLAGE OF CALEDONIA
WATER UTILITY DISTRICT**

By: _____
Howard Stacey
President

Attest: _____
Michael Pirk
Secretary

STATE OF WISCONSIN)
) SS:
COUNTY OF RACINE)

Personally came before me this _____ day of _____, 2020, the above-named Howard Stacey and Michael Pirk, President and Secretary of the Village of Caledonia Sewer Utility District and The Village of Caledonia Water Utility District to me known to be the persons who executed the foregoing instrument and acknowledged the same on behalf of the Village.

Notary Public, _____ County, Wisconsin
My Commission Expires: _____

REESMAN'S EXCAVATING & GRADING, INC.

By: _____

[name]
President

Attest: _____

[name]
Secretary

STATE OF WISCONSIN)
) SS:
COUNTY OF RACINE)

Personally came before me this _____ day of _____, 2020, the above-named
_____ and _____, President and Secretary of Reesman's
Excavating & Grading, Inc., to me known to be the persons who executed the foregoing instrument and
acknowledged the same on behalf of said corporation.

Notary Public, _____ County, Wisconsin
My Commission Expires: _____

- Exhibit A: Legal Description of Property
- Exhibit B: Condominium Plat
- Exhibit C: Stormwater Easements
- Exhibit D: Maintenance and Easement Agreement
- Exhibit E: Public Improvements Cost Estimate

Exhibit A to Briarwood Developers Agreement

Examination of title of record to the following described premises:

The North 10 acres of the following described parcel of land. That part of the Southeast 1/4 of the Southwest 1/4 of Section 21, Township 4 North, Range 23 East, bounded as follows: Begin at a point in the South line of said Section, located 1025.78 feet West of the South 1/4 corner of said Section 21; run thence North $1^{\circ} 04' 42''$ East 175 feet; thence West parallel to the South line of said Section 300 feet to the West line of the Southeast 1/4 of the Southwest 1/4; thence North along said West line, 1145 feet to the Northwest corner of the Southeast 1/4 of the Southwest 1/4 of Section 21; thence East along the North line of the Southeast 1/4 of the Southwest 1/4, 726 feet to the East line of the West 22 acres of the Southeast 1/4 of the Southwest 1/4; thence South Parallel to the East line of said Southwest 1/4, 1320 feet to the South line of said Section; thence West along the South line of said Section, 426 feet to the place of beginning. Excepting therefrom that part of the North 10 acres of the West 22 acres of the Southeast 1/4 of the Southwest 1/4 of Section 21, Township 4 North, Range 23 East, described as follows: Commence at a point in the South line of said Section 21, that is located South $88^{\circ} 55' 20''$ West 596.58 feet from the South 1/4 corner of said Section 21; run thence North $00^{\circ} 06' 20''$ East 726.09 feet parallel to the East line of said Section 21 along the East line of said West 22 acres of the Southeast 1/4 of the Southwest 1/4 of said Section 21 to the Northeast corner of Club View Subdivision (a recorded Subdivision) and to the point of beginning of this description; run thence South $88^{\circ} 56' 20''$ West 150.00 feet along the North line of said Club View Subdivision; thence North $00^{\circ} 06' 20''$ East 596.93 feet to the North line of the Southeast 1/4 of the Southwest 1/4 of said Section 21; thence North $88^{\circ} 55' 20''$ East 150.00 feet along the North line of said Southeast 1/4 of the Southwest 1/4 of Section 21 to the Northeast corner of said West 22 acres of the Southeast 1/4 of the Southwest 1/4 of said Section 21; thence South $00^{\circ} 06' 20''$ West 596.97 feet along the East line of said West 22 acres to the Northeast corner of said Club View Subdivision and to the point of beginning of this description. Said land being in the Village of Caledonia, County of Racine, State of Wisconsin.

Owner: BRIARWOOD OF CALEDONIA, LLC

NOTE: CURRENT OWNERS TITLE POLICY MUST BE PROVIDED FOR REISSUE CREDIT

Address: 5102 BRIARWOOD LANE

Tax Parcel Number 51-104-04-23-21-061-000

Exhibit B to the Developers Agreement For Briarwood Condominiums

CONDOMINIUM UNIT PLAN
BRIARWOOD
A CONDOMINIUM

Being a part of the Southeast 1/4 of the Section 17, Township 1 North, Range 23 East, County of Carbon, Berks County, Wisconsin.

SAVITZSKA ARCHITECT
Architect

PINNACLE ENGINEERING GROUP
Professional Engineer
No. 10246
State of Wisconsin

UNIT PLAN
This unit plan is prepared in accordance with the Condominium Act, Chapter 660, Wisconsin Statutes, and the rules and regulations promulgated thereunder.

UNIT PLAN
This unit plan is prepared in accordance with the Condominium Act, Chapter 660, Wisconsin Statutes, and the rules and regulations promulgated thereunder.

Item	Area	Volume	Weight	Notes
1	Unit 101	1,000 sq. ft.	100 lbs.	
2	Unit 102	1,000 sq. ft.	100 lbs.	
3	Unit 103	1,000 sq. ft.	100 lbs.	
4	Unit 104	1,000 sq. ft.	100 lbs.	
5	Unit 105	1,000 sq. ft.	100 lbs.	
6	Unit 106	1,000 sq. ft.	100 lbs.	
7	Unit 107	1,000 sq. ft.	100 lbs.	
8	Unit 108	1,000 sq. ft.	100 lbs.	
9	Unit 109	1,000 sq. ft.	100 lbs.	
10	Unit 110	1,000 sq. ft.	100 lbs.	

PROPERTY DATA
Area: 10,000 sq. ft.
Volume: 1,000 cu. ft.
Weight: 100 lbs.

UNIT PLAN
This unit plan is prepared in accordance with the Condominium Act, Chapter 660, Wisconsin Statutes, and the rules and regulations promulgated thereunder.

PINNACLE ENGINEERING GROUP
Professional Engineer
No. 10246
State of Wisconsin

**CONDOMINIUM PLAN OF
BRIARWOOD
A CONDOMINIUM**

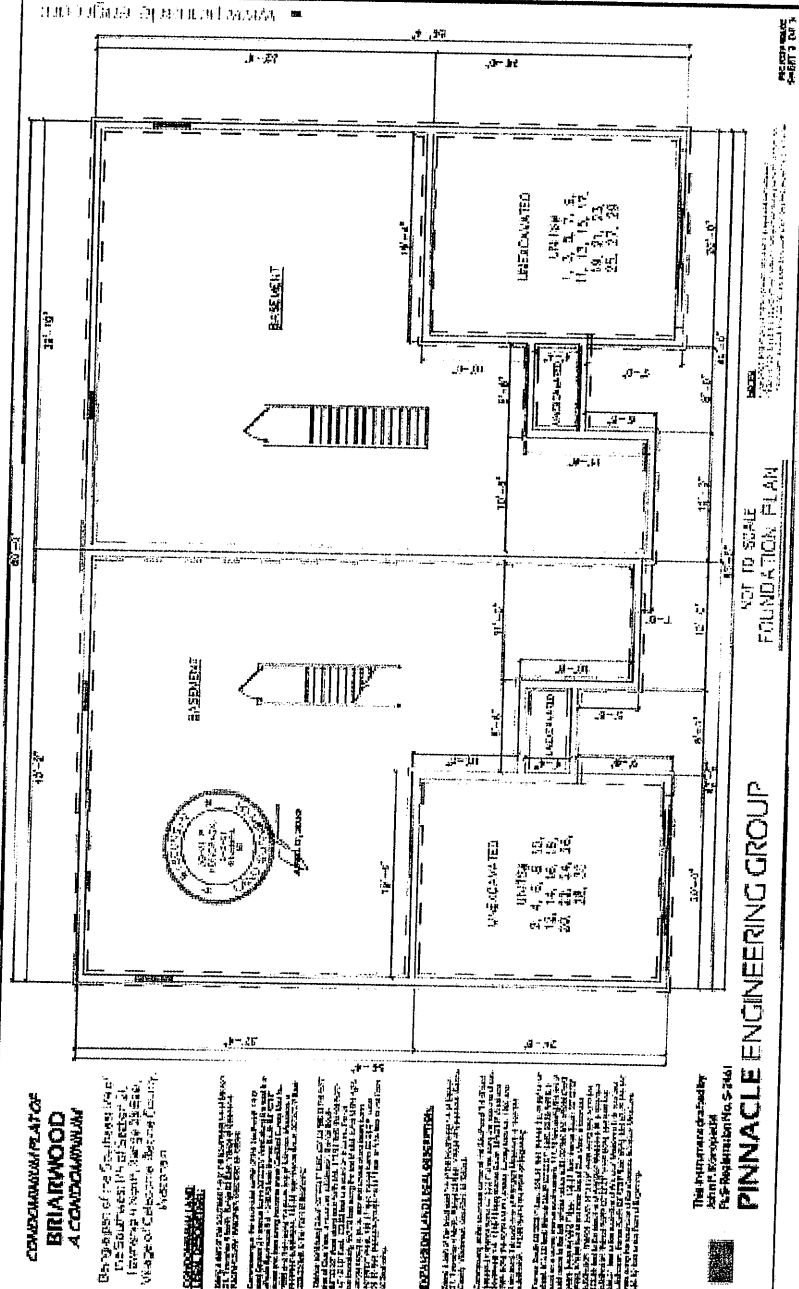
8500 S. JEFFERSON ST., CHICAGO, ILL. 60619
 CHICAGO, ILL. 60619
 WILSON & WILSON, ARCHITECTS
 WILSON & WILSON, ARCHITECTS
 CHICAGO, ILL. 60619

FOUNDATION PLAN

THIS FOUNDATION PLAN IS THE PROPERTY OF Pinnacle Engineering Group, Inc. (PEG) AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PEG. THIS PLAN IS THE PROPERTY OF PEG AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PEG. THIS PLAN IS THE PROPERTY OF PEG AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PEG.

EXPLANATION OF SYMBOLS

1. ALL FOUNDATION WALLS SHALL BE CONCRETE ON GRADE.
 2. ALL FOUNDATION WALLS SHALL BE 12" THICK UNLESS OTHERWISE NOTED.
 3. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD.
 4. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD AND PAINTED.
 5. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD AND PAINTED.
 6. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD AND PAINTED.
 7. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD AND PAINTED.
 8. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD AND PAINTED.
 9. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD AND PAINTED.
 10. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD AND PAINTED.



NOT TO SCALE
FOUNDATION PLAN

This information is provided by
Pinnacle Engineering Group, Inc.
 PEG-1000, Chicago, IL 60611

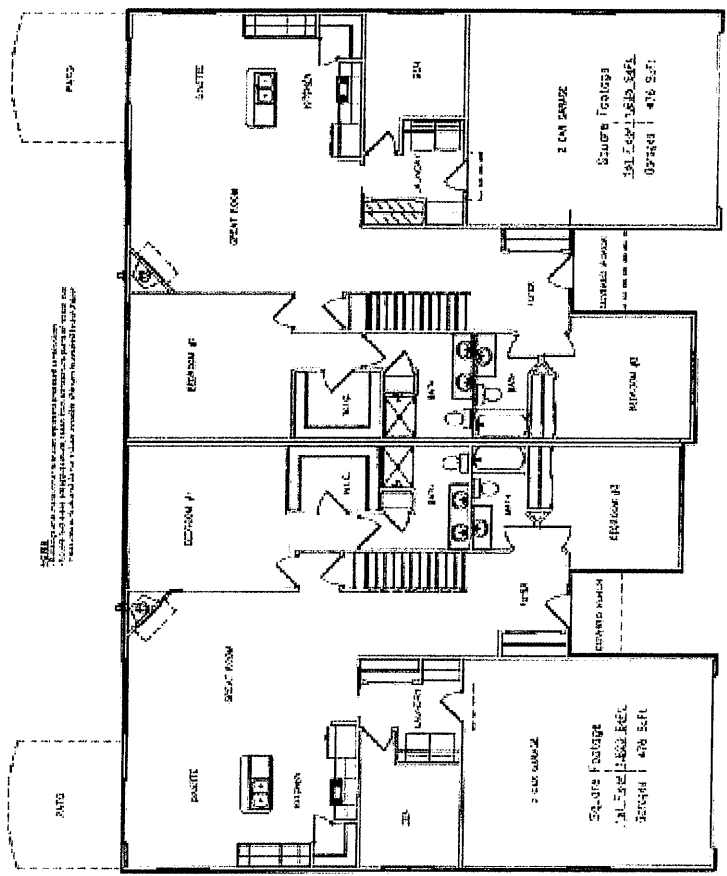


Pinnacle Engineering Group

PEG-1000, Chicago, IL 60611

UNIT 100 - 1000 S. BROADWAY

PLANNING SHEET 100-1



SCALE
 1/4" = 1'-0"
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 ALL WALLS ARE 1/2" THICK UNLESS OTHERWISE NOTED.
 ALL DOORS ARE 3'-0" WIDE UNLESS OTHERWISE NOTED.

FLOOR PLAN
 1/4" = 1'-0"

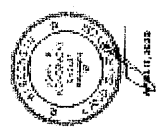
**CONDOMINIUM PLAN OF
 BRIARWOOD
 A CONDOMINIUM**
 Being a part of the Southeast 1/4 of
 one Southwest 1/4 of Section 24,
 Township 14 North, Range 23 East,
 Village of Cambridge, Boone County,
 MISSOURI.

SELLER'S APPROVAL:
 Approved for the purpose of recording by _____, the Seller.

DATE: _____

PREPARED BY:
 Pinnacle Engineering Group, Inc., 1000 S. Broadway, Suite 100,
 Cambridge, Missouri 64730. Telephone: (816) 478-5271.
 Fax: (816) 478-5272. Website: www.pinnacleeng.com

DATE: _____



THIS INSTRUMENT CONTROLLED BY
 Pinnacle Engineering Group, Inc.
 1000 S. BROADWAY, SUITE 100
 CAMBRIDGE, MISSOURI 64730

PINNACLE ENGINEERING GROUP

Exhibit C

Stormwater Easements

Exhibit D

Maintenance and Easement Agreement

Exhibit E


Public Improvements Cost Estimate

1. Roadway and Site Work	\$240,263.25
2. Erosion Control	49,497.32
3. Sanitary Sewer	217,417.29
4. Water Main	199,180.54
5. Storm Sewer	173,682.28
6. Year 1	81,038.91
7. Year 2	10,629.51
8. Foth Inspections	25,000.00
Total:	\$996,709.10
120% (for total Letter of Credit)	\$1,196,050.90

MEMORANDUM

DATE: Monday, March 29, 2021

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Utility Director 

RE: DeBack Farms Sanitary Sewer Easement - Authorization of Signatures

BACKGROUND INFORMATION

As a condition of approval of the development of DeBack Farms Business Park Phases I, II and III, Sanitary Sewer Easements were required to allow the District to maintain and operate the Sanitary Sewer.

Attached is the Sanitary Sewer Easement that has been executed by the owner, and Village. The closing for the Scannell Development required that this document be recorded prior to the meeting to avoid a change in the property owner.

As an after the fact approval, it is recommended that the signatures of the President & Secretary of the Utility District are authorized.

RECOMMENDATION

Move to authorize the President and Secretary of the Caledonia Utility District to execute the Sanitary Sewer Easement with WisPark LLC for the DeBack Farms Business Park.

MUNICIPAL SANITARY SEWER
EASEMENT AGREEMENT
(Between Caledonia and Wispark)
(Permanent Sanitary Sewer Easement for a 30-
Inch Main to Four Mile Road)

Document # **2585788**
RACINE COUNTY REGISTER OF DEEDS
March 24, 2021 4:05 PM

Karie Pope
KARIE POPE
RACINE COUNTY
REGISTER OF DEEDS
Fee Amount: \$30.00

**The above recording information verifies
this document has been electronically recorded**
Returned to Quarles & Brady LLP
Pages: 21

Document Number

Document Title

This agreement ("Agreement") is made and entered into as
of the 24th day of March, 2021 (the "Effective Date"),

by and between:

- a) WISPARK LLC, being a Wisconsin limited liability company with offices located at 231 West Michigan Street, Milwaukee, Wisconsin 53203 (hereinafter referred to as "Owner"); and
- b) The VILLAGE OF CALEDONIA, being a municipal corporation and village created under the laws of the State of Wisconsin, with its Village Hall located at 5043 Chester Lane, Racine, Wisconsin 53402 (hereinafter referred to as the "Village"); and
- c) The VILLAGE OF CALEDONIA UTILITY DISTRICT, being a utility district established by the Village of Caledonia under the laws of the State of Wisconsin, with utility district offices located at 333 4½ Mile Road, Racine, Wisconsin 53402 (hereinafter referred to as the "Utility District").

Recording Area

Name and Return Address

Anthony Bunkelman
Village of Caledonia
5043 Chester Lane
Racine, WI 53402

51-104-04-22-30-015-202

Parcel Identification Number (PIN)

Introduction

The Village is located in Racine County, Wisconsin. The Village, through the Utility District, owns and operates a municipal sanitary sewerage system (hereinafter referred to as the "District System").

MUNICIPAL SANITARY SEWER
EASEMENT AGREEMENT
(Between Caledonia and Wispark)
(Permanent Sanitary Sewer Easement for a 30-
Inch Main to Four Mile Road)

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Recording Area

Name and Return Address

Anthony Bunkelman
Village of Caledonia
5043 Chester Lane
Racine, WI 53402

51-104-04-22-30-015-202

Parcel Identification Number (PIN)

Introduction

The Village is located in Racine County, Wisconsin. The Village, through the Utility District, owns and operates a municipal sanitary sewerage system (hereinafter referred to as the "District System").

Owner is the sole record-title owner of the parcel of real property (hereinafter referred to as the "Property") located in the Village of Caledonia, Racine County, Wisconsin, that is described, in part, in attached Exhibit A.

This present Agreement is being entered into by the above-named parties to grant to the Village and the Utility District a permanent easement (the "Sanitary Sewer Easement") in, on, and/or under the Sanitary Sewer Easement Area described below, for the inspection, operation, maintenance, repair, and/or replacement of (i) the municipal sanitary sewer mains, and (ii) the related installed (and/or additional customary) sanitary sewer infrastructure (collectively, the "Sanitary Sewer Mains"), that are a part of the District System.

The Sanitary Sewer Mains were initially constructed and installed by the Village and Utility District, at the cost and expense of the Village, and that construction project has been completed. The cost of that construction project (including, but not limited to, administrative, engineering, and legal costs), however, will be levied by the Village as the Special Assessment on the Property, which is defined below.

NOW, THEREFORE, IN CONSIDERATION OF THE MUTUAL COVENANTS AND PROMISES HEREINAFTER DESCRIBED, THE ABOVE-NAMED PARTIES HEREBY AGREE AS FOLLOWS:

1. Introduction is Correct. The foregoing "Introduction" is true and correct, and is hereby incorporated into this Agreement by reference.

2. Easement Granted. Owner hereby grants to the Village and the Utility District a permanent, sanitary sewer easement in, on, and under the portion of the Property described below as the Sanitary Sewer Easement Area, to inspect, operate, maintain, repair, and/or replace the

Sanitary Sewer Mains. The Village and/or Utility District shall, at its own expense, maintain, repair, and replace the Sanitary Sewer Mains and related infrastructure to keep such facilities in good condition and repair at all times. If the Sanitary Sewer Easement Area is encumbered by any restrictions, created by a written agreement to which the Village is a signatory party, that require all such facilities to be underground, they shall all be underground or on the surface of the ground (including specifically allowing manholes and manhole covers).

3. Sanitary Sewer Easement. Attached as Exhibit B is (i) a diagram showing the permanent Thirty-foot (30') wide Sanitary Sewer Easement Area granted by Owner on the Property to the Village and the Utility District, and (ii) the legal description of such permanent Sanitary Sewer Easement Area.

4. Access to Sanitary Sewer Easement Area. The Village, the Utility District, and/or their officials, officers, employees, contractors, engineers, consultants, and agents are hereby given the permanent non-exclusive right to go upon and enter the Sanitary Sewer Easement Area at such times as the Village and/or the Utility District reasonably need, for the purpose of exercising the easement rights granted herein.

5. Restrictions on Owner. Owner shall not construct (nor allow any third party to construct) any type of structure and/or place any type of obstruction in, over, under, on, or upon the Sanitary Sewer Easement Area, and shall not materially impede or obstruct the exercise of the easement rights granted hereunder. Notwithstanding the foregoing, however, Owner (and/or his/her/its assignee, successor(s) in title, or tenant) may construct, install, and maintain pedestrian pathways, landscaping, driveways, parking lots, and/or roadways over the Sanitary Sewer Easement Area, provided that such construction and use does not damage the Sanitary Sewer Mains and/or the related infrastructure located in the Sanitary Sewer Easement Area.

6. Restoration of Disturbed Areas. To the extent the Village and/or the Utility District, in its reasonable discretion, deems it necessary for the exercise of its easement rights granted hereunder, the Village/Utility District may remove from the Sanitary Sewer Easement Area obstructions, and/or any plants, shrubs, bushes, trees, or other vegetation, and the Village/Utility District shall not be required to restore or replace such items, except, however, the Village/Utility District shall restore any disturbed portion of the natural vegetation and/or landscaping of the Sanitary Sewer Easement Area by seeding the same with grass seed. In addition, the Village/Utility District shall promptly repair and restore any pedestrian pathways, driveways, parking lots, and/or roadways (to its previously existing condition) located in the Sanitary Sewer Easement Area that may be damaged by the Village or Utility District.

7. Indemnity and Hold Harmless. In consideration of the foregoing grant, it is understood that during the time said Sanitary Sewer Mains are located on Owner's property, the Village shall, and hereby does indemnify and save Owner, its successors and assigns, harmless from any and all claims for injury or death to any person or for damage to property of any person arising out of Village or Utility District's exercise of any of its rights under this Agreement; excepting, however, any claims or action to the extent arising out of negligence or willful acts on the part of Owner, its successor and/or assigns, and/or the officers, directors, shareholders, members, partners, employees, consultants, invitees, and/or agents of the then Owner.

8. Runs with the Land. This Agreement shall run with the land of the Property described herein, and shall inure to the benefit of, and be binding upon, the parties to this Agreement and their respective successors and assigns.

9. Governing Law. This Agreement shall be governed, controlled, construed, and interpreted by and under the laws of the State of Wisconsin. The venue for any legal action

pertaining to and/or arising under this Agreement shall solely and exclusively be Racine County Circuit Court in Racine County, Wisconsin.

10. Recording. This Agreement shall be binding upon and shall inure to the benefit of the parties hereto, and their successors and assigns. This Agreement shall be recorded by the Village at the Office of the Register of Deeds for Racine County, Wisconsin.

11. Other Utility Use. This easement shall be non-exclusive, and Owner shall have the right to install, in the Sanitary Sewer Easement Area, other utility facilities, including, without limitation, cable, internet, fiber optic, telephone, gas and electric facilities, after securing the approval of the Village, as to the location of such facilities, both parallel installations and installations which cross the Sanitary Sewer Mains, to assure appropriate spacing of such utility facilities, and protection of the Sanitary Sewer Mains, which consent shall not be unreasonably withheld. The Village may require when replacing, repairing, and/or maintaining the Sanitary Sewer Mains, additional protection for the Sanitary Sewer Mains during that process.

12. Existing North/South Sanitary Sewer Main. Certified Survey Map No. 3302, recorded with the Racine County Register of Deeds on July 13, 2018 as Document No. 2498467 (“CSM 3302”), established a Forty Foot (40’) sanitary sewer main easement over a portion of the Property, that runs in a generally north/south direction, from Deback Lane south to Adams Road, and then continues as an easement of varying width to the southeast, along Adams Road to the intersection with the east right of way of Carol Road (the “Existing North/South Sanitary Sewer Main”), without any further definition of that easement. The Existing North/South Sanitary Sewer Main is hereby defined to be subject to the same terms and conditions as this Agreement and shall herein be included in the definition of the Sanitary Sewer Easement Area.

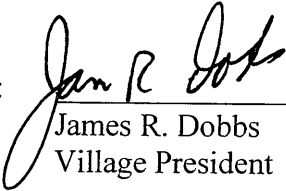
13. Special Assessment. The Special Assessment referenced above shall be the same as the one described in the Amended Special Assessment Report for the TID 4 Deback Phase III Watermain & Sewer Utility Districts, Village of Caledonia, dated February 18, 2021, except as may be amended by the Village, at the time the Village adopts the Final Resolution that levies the Special Assessment.


[Signatures appear on the following page(s).]

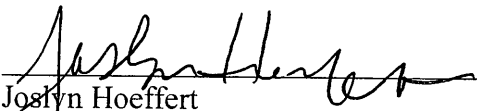
[Signatures appear on the following page(s).]

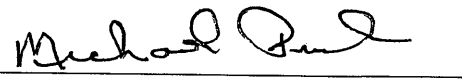
VILLAGE:
Village of Caledonia

UTILITY DISTRICT:
The Village of Caledonia Utility District

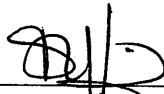
By: 
James R. Dobbs
Village President

By: 
Howard Stacey
President

Attest: 
Joslyn Hoeffert
Deputy Village Clerk

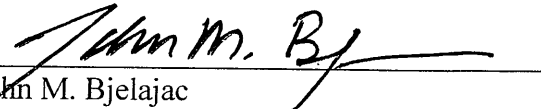
Attest: 
Michael Pirk
Secretary

OWNER:
Wispark LLC

By: 
Erica-Nicole Harris
Vice President

AUTHENTICATION

Signatures of Erica-Nicole Harris, on behalf of Owner, and James R. Dobbs and Joslyn Hoeffert, Village President and Deputy Village Clerk, respectively, of the Village of Caledonia; and Howard Stacey, President, and Michael Pirk, Secretary, of the Village of Caledonia Utility District, authenticated this 29th day of March, 2021.


John M. Bjelajac
Member: State Bar of Wisconsin
State Bar No. 1015325

This Agreement drafted by
Attorney John M. Bjelajac
Post Office Box 38
Racine, Wisconsin 53401-0038
Phone: (262)633-9800
FAX: (262)633-1209
(Attorney for the Village of Caledonia,
and the Village of Caledonia Utility District)

VOL 10 PAGE 918

CERTIFIED SURVEY MAP NO. 3302

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

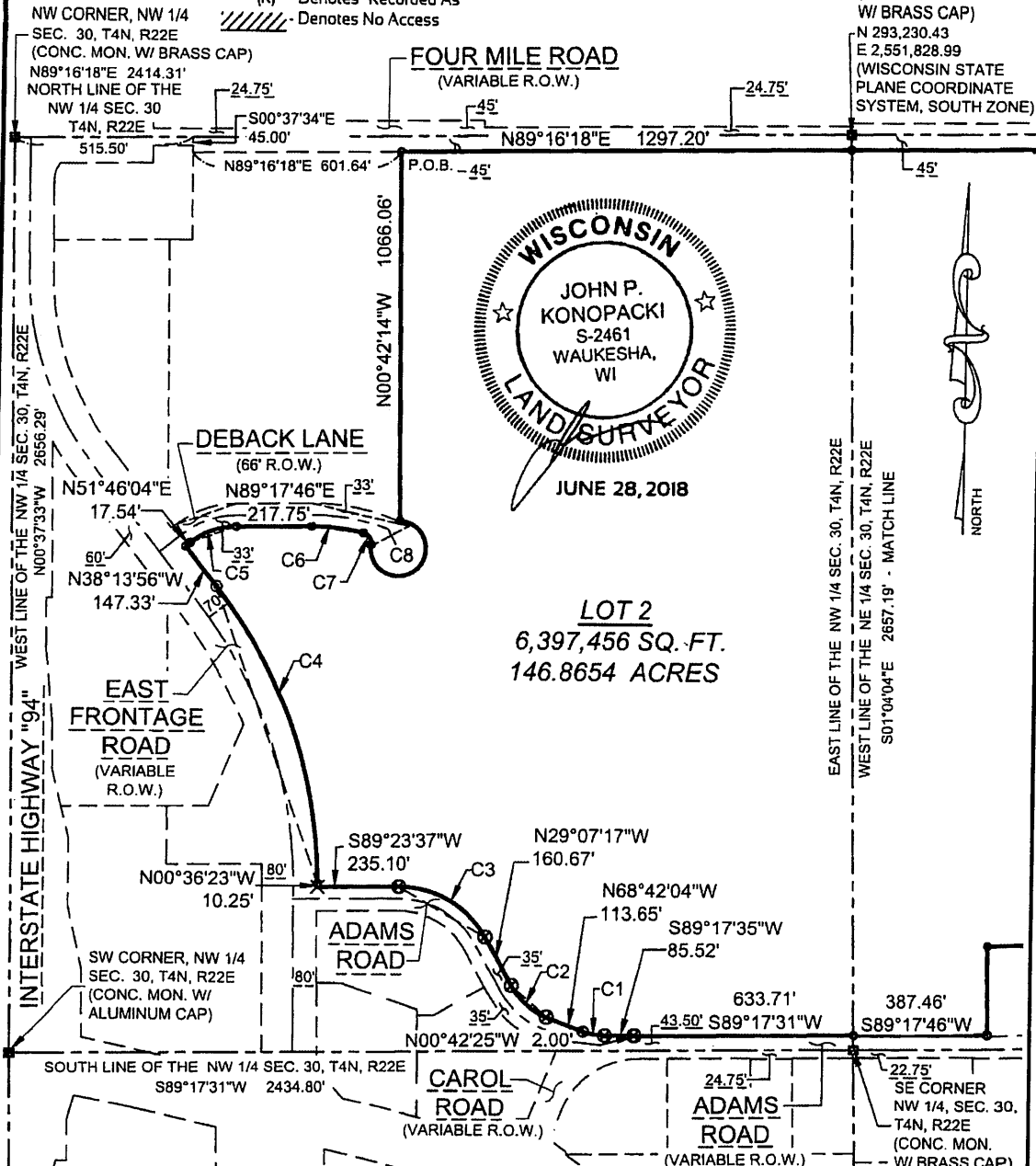
LEGEND:

- - Denotes Found 1" Iron Pipe
- ⊗ - Denotes Found 3/4" Iron Pipe
- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- - Denotes Found 3/4" Iron Rebar
- ▲ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
- ◆ - Denotes Found Mag Nail
- ⊕ - Denotes Found Chiseled Cross
- ⊖ - Denotes Well
- (R) - Denotes "Recorded As"
- //// - Denotes No Access

- SEE SHEET 7 FOR BOUNDARY
 CURVE & LINE TABLES
 - SEE SHEET 9 FOR NO ACCESS
 AND VISION CORNERS DETAIL

Subject Property Zoning:
 M-3: Heavy Industrial District
 Tax Key Number:
 #104-04-22-30-015-200

NE CORNER, NW 1/4
 SEC. 30, T4N, R22E
 (CONC. MON.
 W/ BRASS CAP)
 N 293,230.43
 E 2,551,828.99
 (WISCONSIN STATE
 PLANE COORDINATE
 SYSTEM, SOUTH ZONE)



Prepared By:
Pinnacle Engineering Group
 15850 BLUEMOUND ROAD | SUITE 210
 BROOKFIELD, WI 53005
 OFFICE: (262) 754-8888

Prepared for:
 WISPARK LLC
 231 W. Michigan Street
 Milwaukee, WI 53203

PEG JOB#390.10
SHEET 1 OF 12

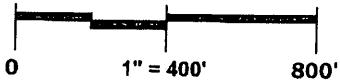
This instrument drafted by John P. Konopacki, PLS-License No. S-2461

VOL 10 PAGE 919

CERTIFIED SURVEY MAP NO. 3302

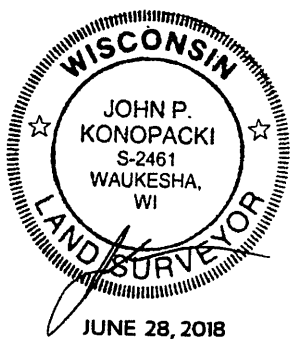
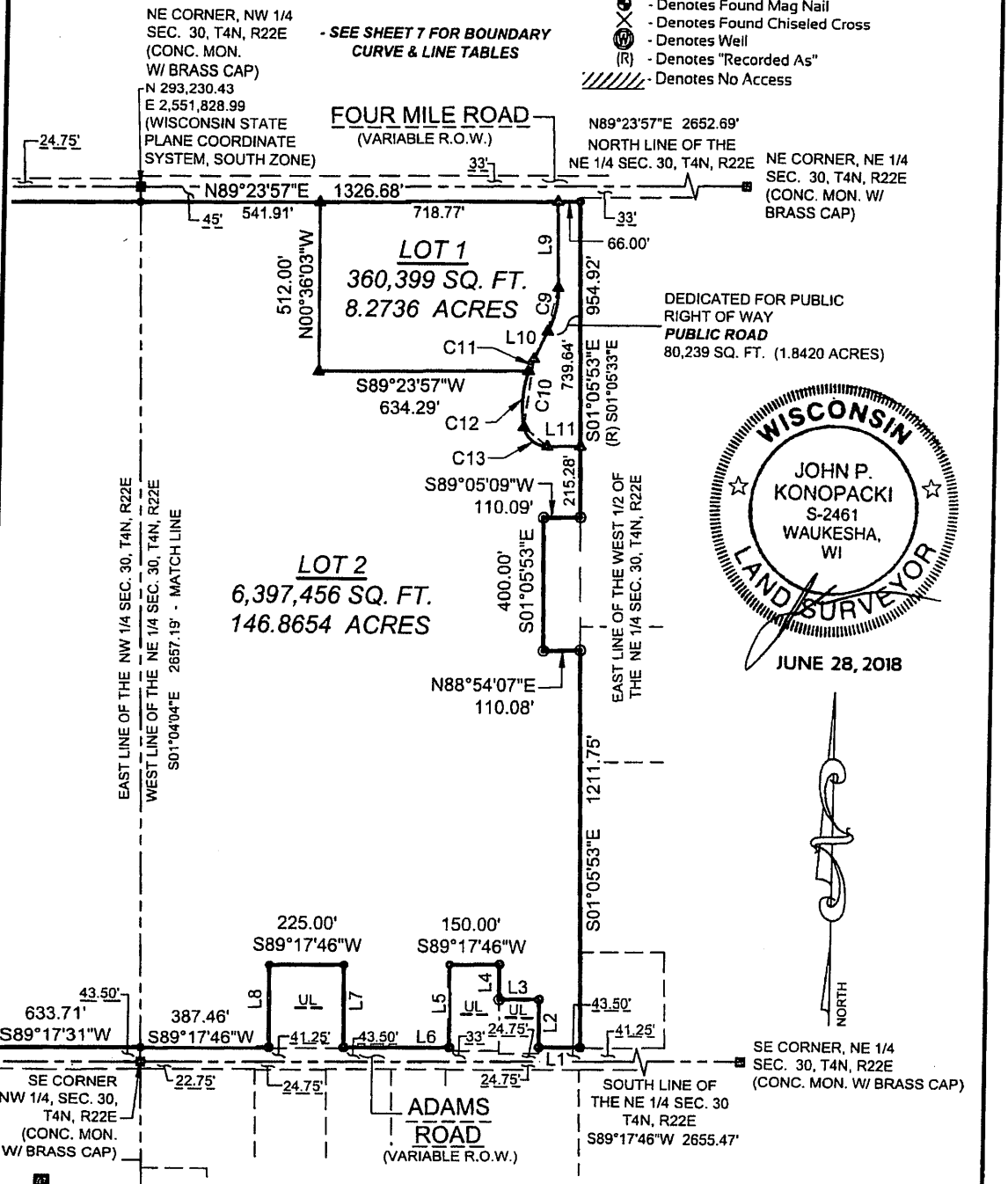
Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

GRAPHICAL SCALE (FEET)



LEGEND:

- - Denotes Found 1" Iron Pipe
- ⊗ - Denotes Found 3/4" Iron Pipe
- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- ⊕ - Denotes Found 3/4" Iron Rebar
- ⊖ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
- ⊗ - Denotes Found Mag Nail
- ⊗ - Denotes Found Chiseled Cross
- ⊗ - Denotes Well
- (R) - Denotes "Recorded As"
- /// - Denotes No Access



Prepared By:
PINNACLE ENGINEERING GROUP
 15850 BLUEMOUND ROAD | SUITE 210
 BROOKFIELD, WI 53005
 OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB # 390.10
SHEET 2 OF 12

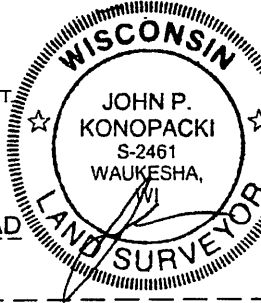
VOL 10 PAGE 920

CERTIFIED SURVEY MAP NO. 3302

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

LEGEND:

- - Denotes Found 1" Iron Pipe
- ⊗ - Denotes Found 3/4" Iron Pipe
- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- ⊕ - Denotes Found 3/4" Iron Rebar
- ▲ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
- ⊙ - Denotes Found Mag Nail
- ⊗ - Denotes Found Chiseled Cross
- ⊙ - Denotes Well
- (R) - Denotes "Recorded As"
- - Denotes No Access



JUNE 28, 2018

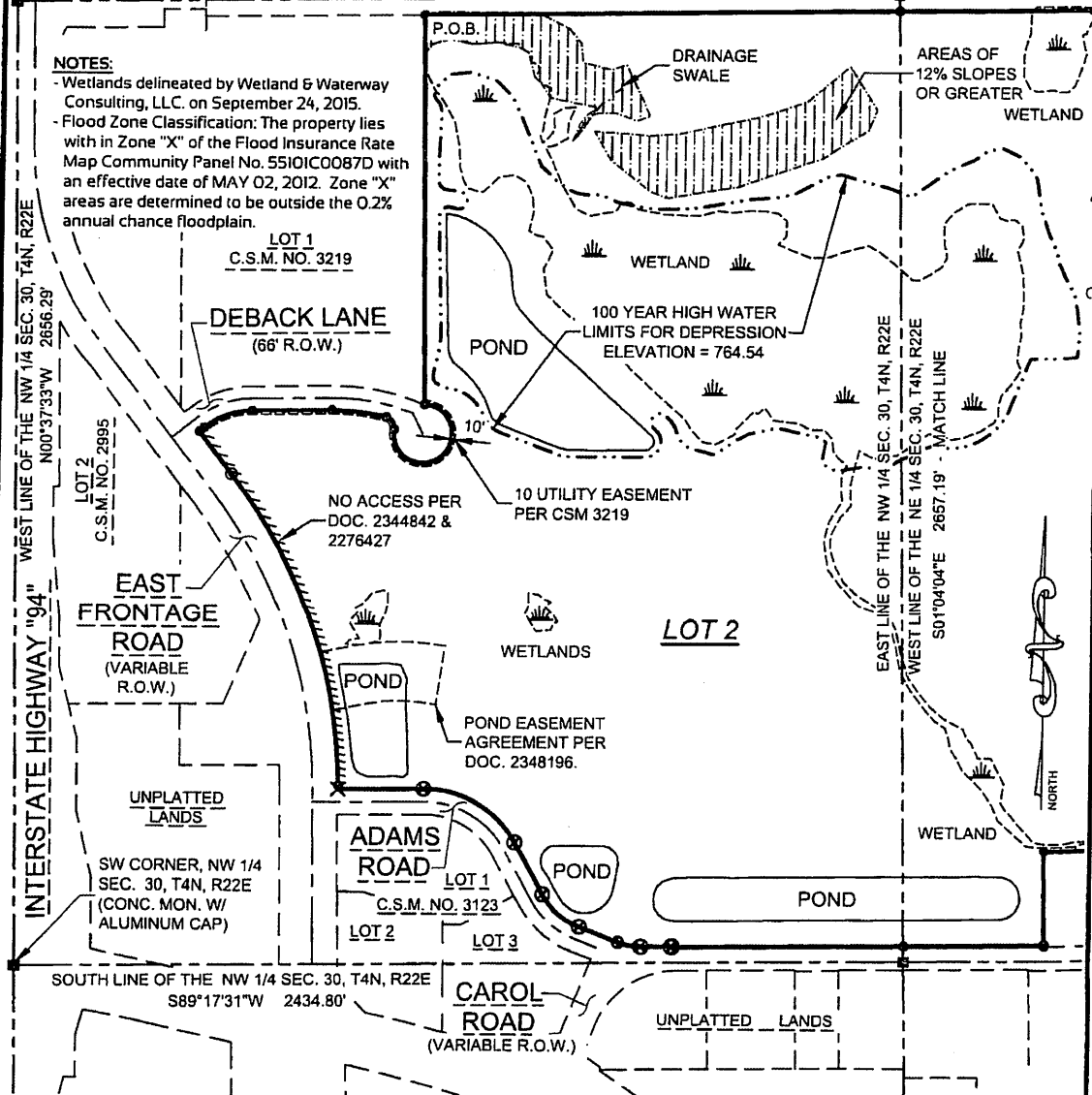
NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

EAST CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

FOUR MILE ROAD
(VARIABLE R.O.W.)

NOTES:

- Wetlands delineated by Wetland & Waterway Consulting, LLC. on September 24, 2015.
- Flood Zone Classification: The property lies within Zone "X" of the Flood Insurance Rate Map Community Panel No. 5510IC0087D with an effective date of MAY 02, 2012. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.



WEST LINE OF THE NW 1/4 SEC. 30, T4N, R22E
N00°37'33"W 2656.29'

INTERSTATE HIGHWAY "94"

LOT 2
C.S.M. NO. 2895

EAST LINE OF THE NW 1/4 SEC. 30, T4N, R22E
WEST LINE OF THE NE 1/4 SEC. 30, T4N, R22E
S01°04'04"E 2657.19' MATCH LINE

SOUTH LINE OF THE NW 1/4 SEC. 30, T4N, R22E
S89°17'31"W 2434.80'

GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEGJOB#390.10
SHEET 3 OF 12

CERTIFIED SURVEY MAP NO. 3308

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

NOTES:

- All measurements have been made to the nearest one-hundredth of a foot and all angular measurements have been made to the nearest one second.
- Right of Way widths and locations are based on Certified Survey Map No. 3219.
- Bearings refer to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The north line of the Northeast 1/4 of Section 30, Township 4 North, Range 22 East has a reference bearing of N89°23'57"E.
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Reference Benchmark: Concrete monument with brass cap at the North corner Section 30, Town 4 North, Range 22 East, Elevation = 782.82.

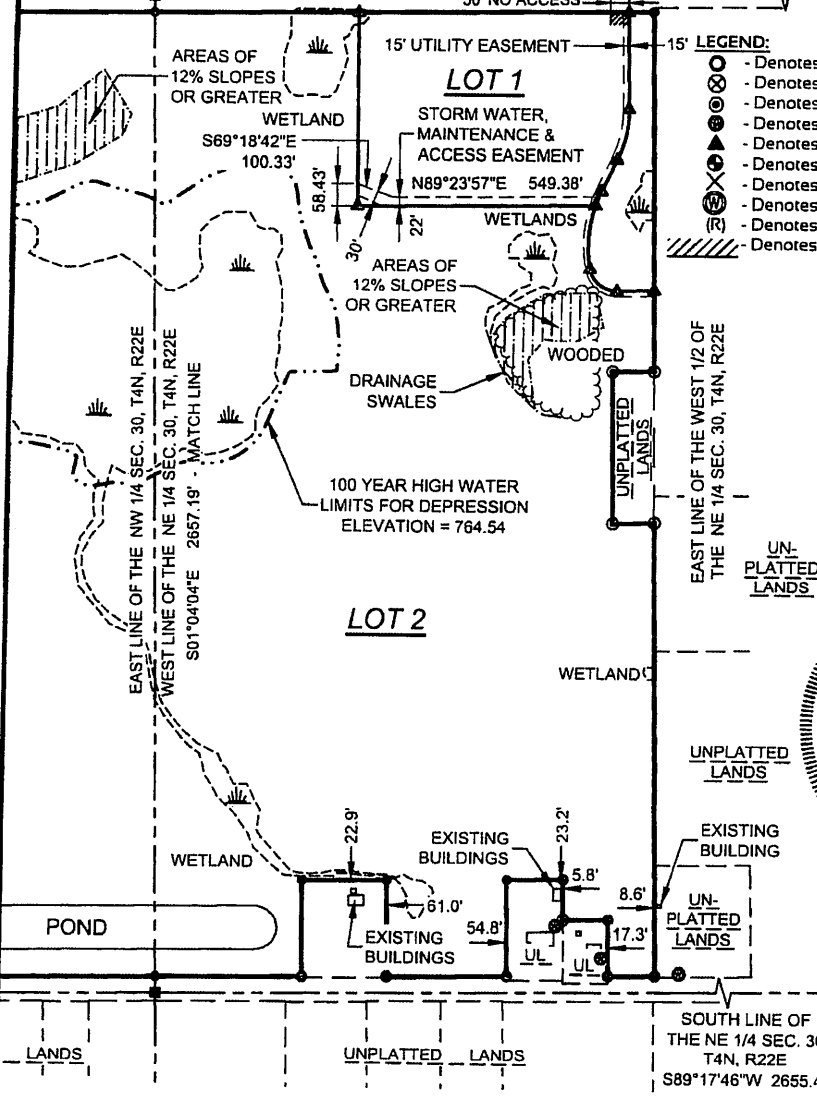


NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

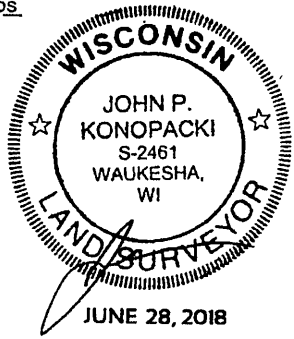
FOUR MILE ROAD
(VARIABLE R.O.W.)

N89°23'57"E 2652.69'
NORTH LINE OF THE
NE 1/4 SEC. 30, T4N, R22E
NE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/
BRASS CAP)

- LEGEND:**
- - Denotes Found 1" Iron Pipe
 - ⊗ - Denotes Found 3/4" Iron Pipe
 - ⊙ - Denotes Found Capped 1/2" Iron Rebar
 - ⊕ - Denotes Found 3/4" Iron Rebar
 - ⊖ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
 - ⊗ - Denotes Found Mag Nail
 - ⊗ - Denotes Found Chiseled Cross
 - ⊗ - Denotes Well
 - (R) - Denotes "Recorded As"
 - - Denotes No Access



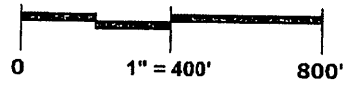
PARCEL 1
C.S.M. NO. T155



SE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)

SOUTH LINE OF
THE NE 1/4 SEC. 30
T4N, R22E
S89°17'46"W 2655.47'

GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. 5-2461

PEG JOB#390.10
SHEET 4 OF 12

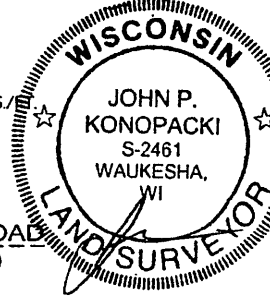
VOL 10 PAGE 922

CERTIFIED SURVEY MAP NO. 3307

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

LEGEND:

- - Denotes Found 1" Iron Pipe
- ⊗ - Denotes Found 3/4" Iron Pipe
- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- ⊘ - Denotes Found 3/4" Iron Rebar
- ⊚ - Denotes Set 3/4" X 18" Iron Rebar, 15 LBS./
- ▲ - Denotes Found Mag Nail
- ⊕ - Denotes Found Chiseled Cross
- ⊖ - Denotes Well
- (R) - Denotes "Recorded As"
- ||||| - Denotes No Access

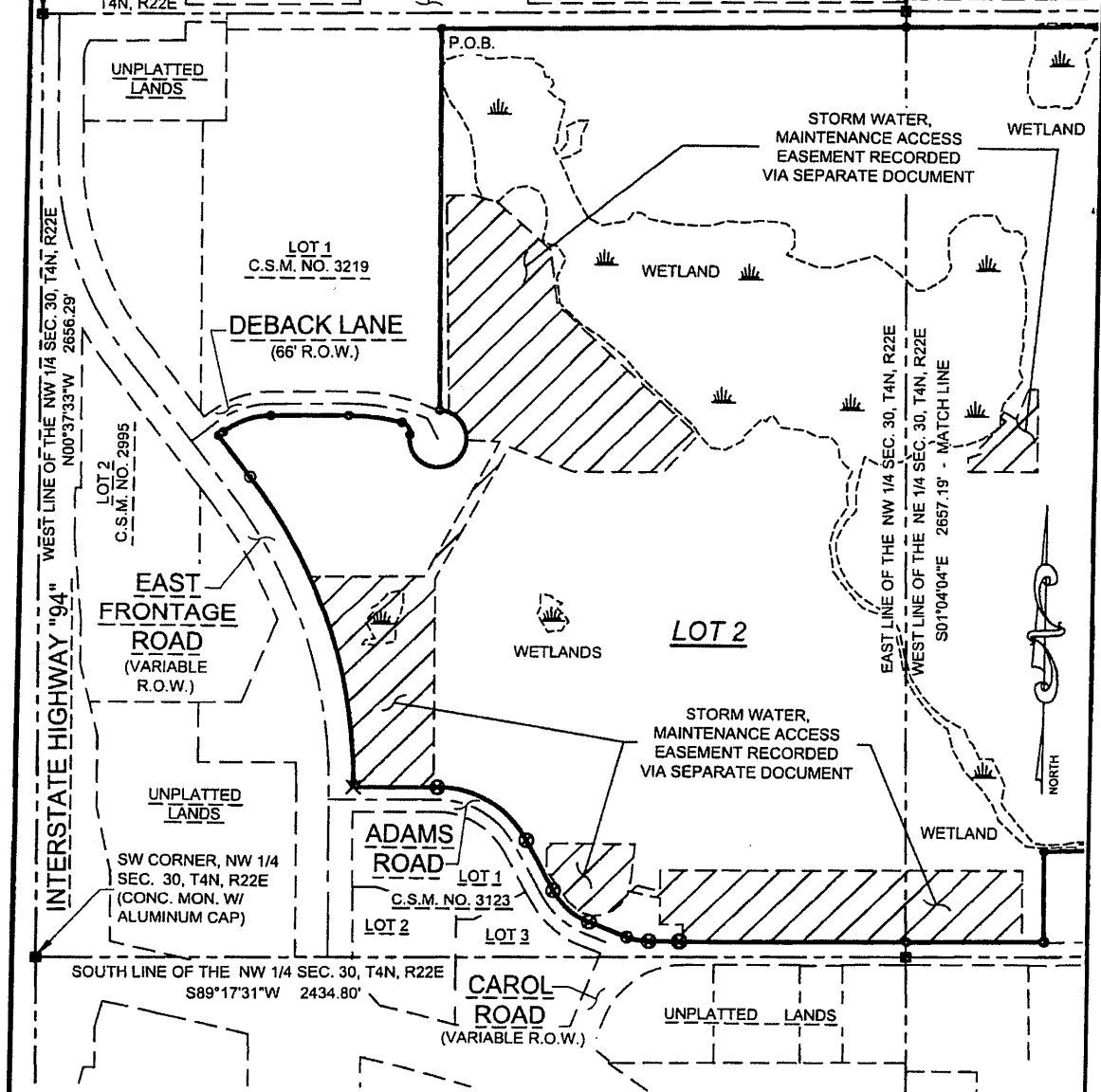


JUNE 28, 2018

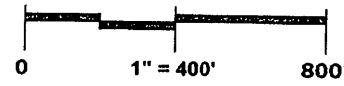
NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

FOUR MILE ROAD
(VARIABLE R.O.W.)

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)



GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEGJOB#390.10
SHEET 5 OF 12

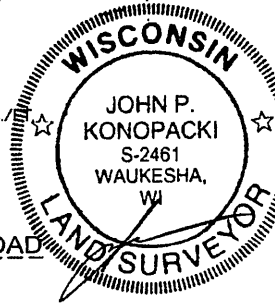
VOL 10 PAGE 923

CERTIFIED SURVEY MAP NO. 3202

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

LEGEND:

- - Denotes Found 1" Iron Pipe
- ⊗ - Denotes Found 3/4" Iron Pipe
- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- - Denotes Found 3/4" Iron Rebar
- ▲ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./
- ⊕ - Denotes Found Mag Nail
- ⊗ - Denotes Found Chiseled Cross
- ⊙ - Denotes Well
- (R) - Denotes "Recorded As"
- - Denotes No Access

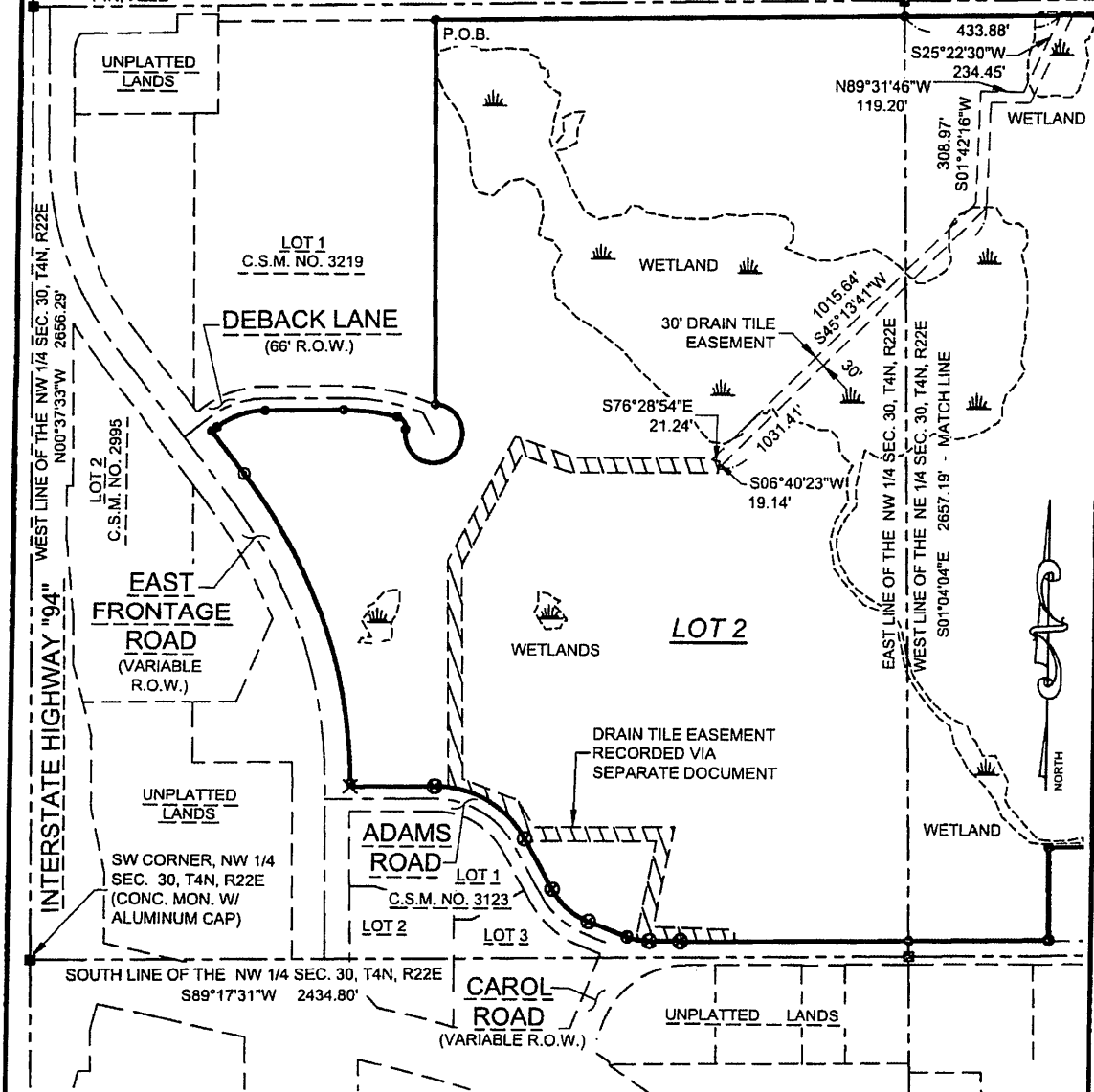


JUNE 28, 2018

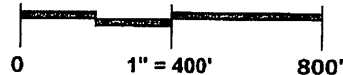
NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

FOUR MILE ROAD
(VARIABLE R.O.W.)

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)



GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 6 OF 12

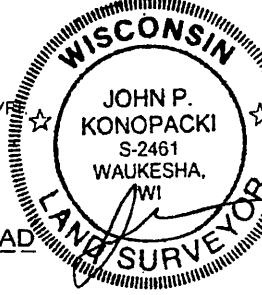
VOL 10 PAGE 924

CERTIFIED SURVEY MAP NO. 33008

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

LEGEND:

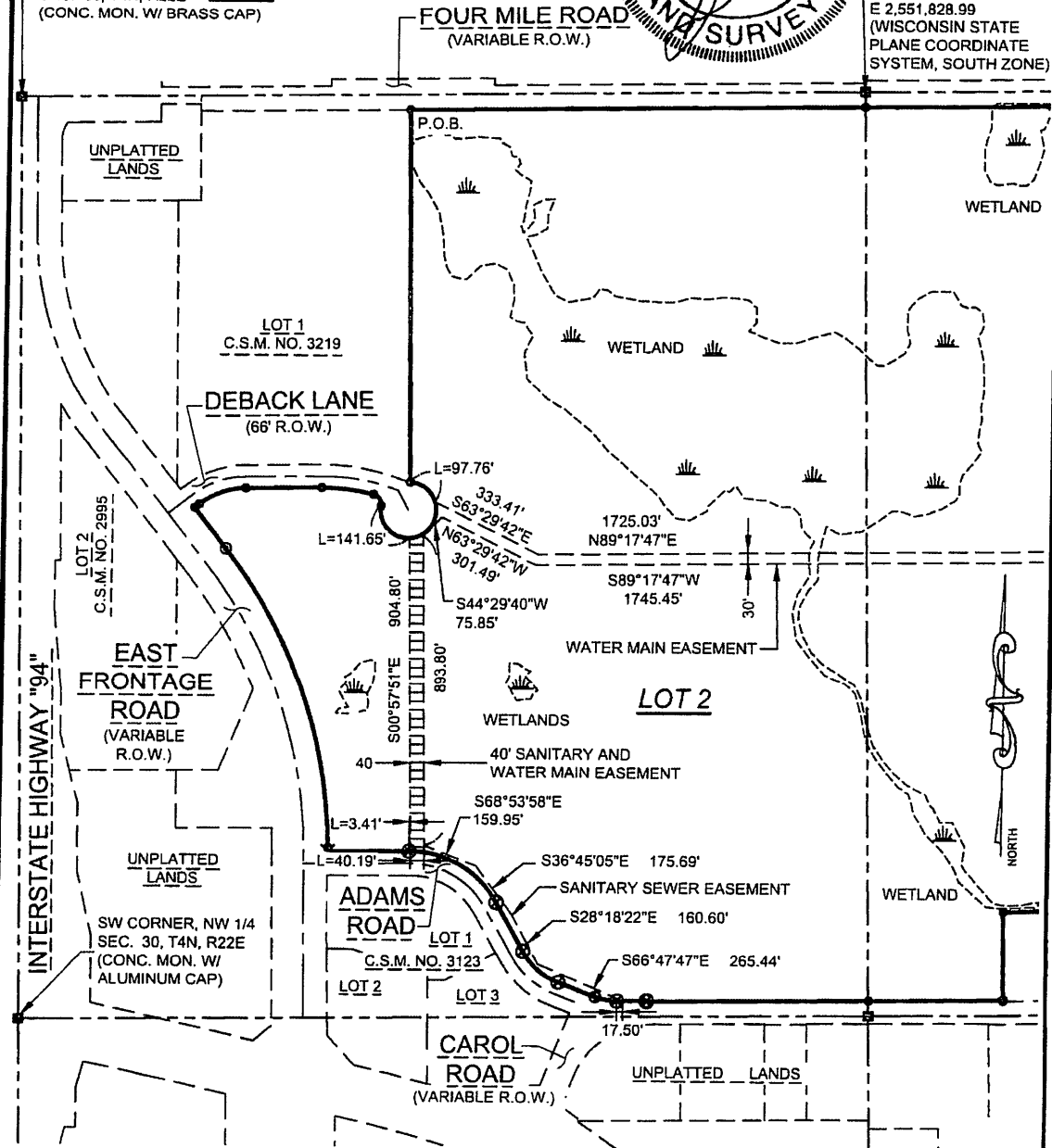
- - Denotes Found 1" Iron Pipe
- ⊗ - Denotes Found 3/4" Iron Pipe
- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- ⊗ - Denotes Found 3/4" Iron Rebar
- ▲ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./F
- ⊗ - Denotes Found Mag Nail
- ⊗ - Denotes Found Chiseled Cross
- ⊗ - Denotes Well
- (R) - Denotes "Recorded As"
- - Denotes No Access



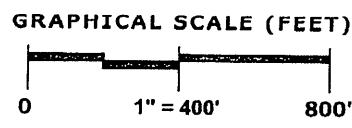
JUNE 28, 2018

NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)



Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888



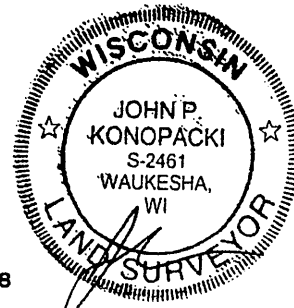
NOTE: STORM WATER,
SANITARY SEWER AND
WATER MAIN EASEMENTS
TO BE RECORDED VIA
SEPARATE DOCUMENT

PEGJOB#390.10
SHEET 7 OF 12

VOL 10 PAGE 925

CERTIFIED SURVEY MAP NO. 3300

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

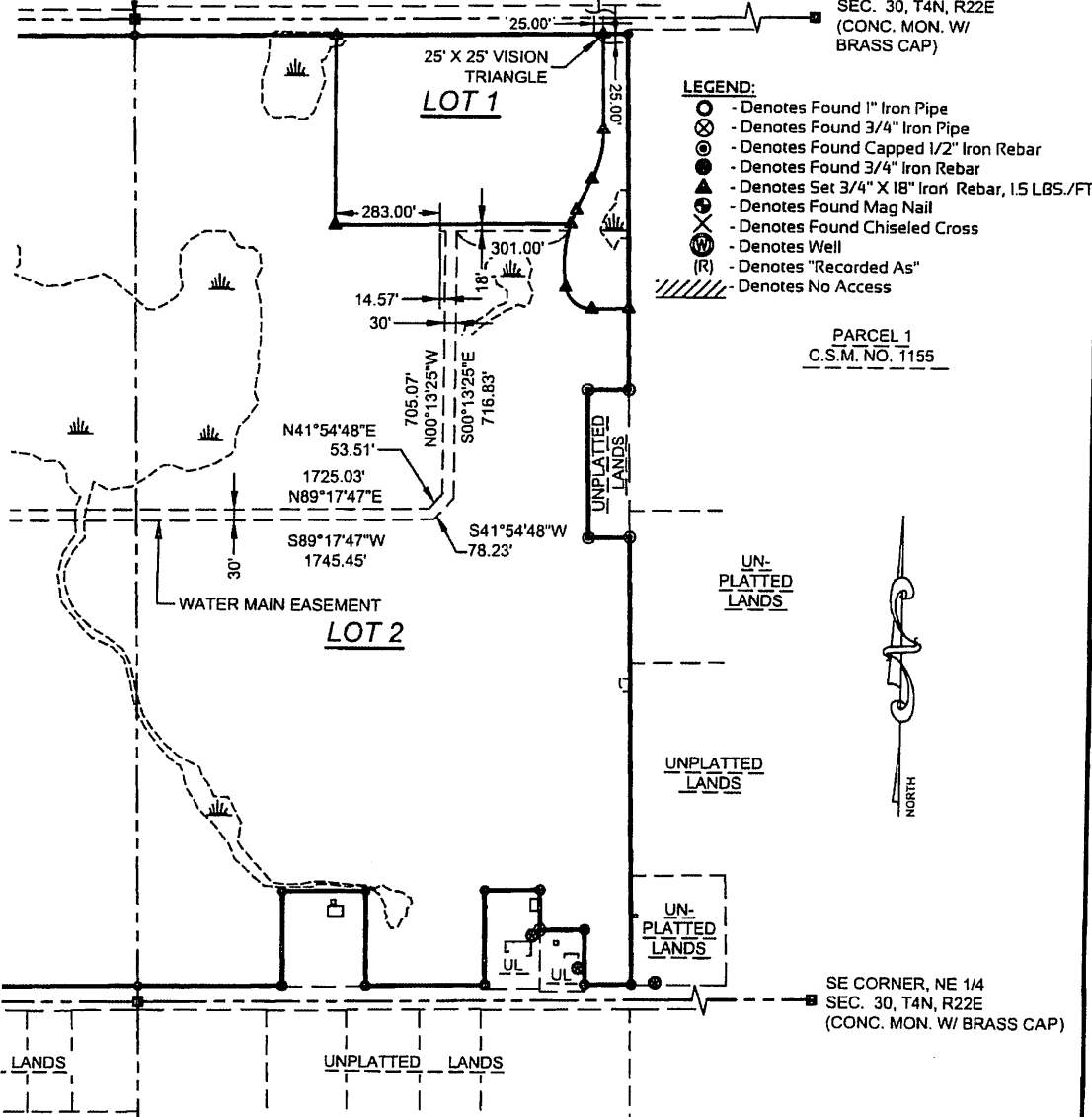


NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

FOUR MILE ROAD
(VARIABLE R.O.W.)

JUNE 28, 2018

NE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/
BRASS CAP)

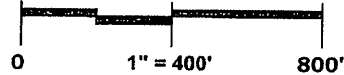


- LEGEND:**
- - Denotes Found 1" Iron Pipe
 - ⊗ - Denotes Found 3/4" Iron Pipe
 - ⊙ - Denotes Found Capped 1/2" Iron Rebar
 - - Denotes Found 3/4" Iron Rebar
 - ▲ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT
 - ⊕ - Denotes Found Mag Nail
 - ⊗ - Denotes Found Chiseled Cross
 - ⊙ - Denotes Well
 - (R) - Denotes "Recorded As"
 - /// - Denotes No Access

PARCEL 1
C.S.M. NO. T155



GRAPHICAL SCALE (FEET)



NOTE: STORM WATER,
SANITARY SEWER AND
WATER MAIN EASEMENTS
TO BE RECORDED VIA
SEPARATE DOCUMENT

Prepared By:
Pinnacle Engineering Group
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

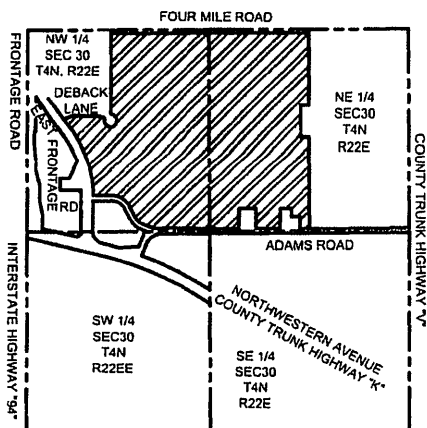
PEG JOB#390.10
SHEET 8 OF 12

CERTIFIED SURVEY MAP NO. 3308

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

VICINITY MAP

SCALE 1"=2000'



BOUNDARY LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	S89°17'46"W	124.98'
L2	N00°42'14"W	148.00'
L3	S89°17'46"W	120.00'
L4	N00°42'14"W	108.17'
L5	S00°42'14"E	256.17'
L6	S89°17'46"W	320.00'
L7	N00°42'14"W	256.17'
L8	S00°42'14"E	256.17'
L9	S01°05'53"E	258.41'
L10	S25°30'07"W	93.65'
L11	N88°54'07"E	98.70'

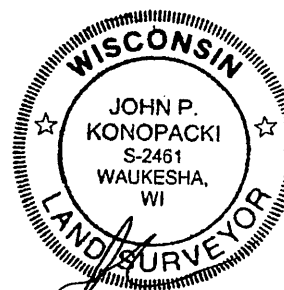
BOUNDARY CURVE TABLE							
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT IN	TANGENT OUT
C1	63.37'	165.00'	022°00'21"	N79°42'15"W	62.98'	N89°17'35"E	S68°42'04"E
C2	138.16'	200.00'	039°34'47"	N48°54'41"W	135.43'	S68°42'04"E	N29°07'17"W
C3	305.84'	285.00'	061°29'06"	N59°51'50"W	291.37'	N29°07'17"W	S89°23'37"W
C4	932.12'	1420.00'	037°36'36"	N19°25'38"W	915.47'	N00°37'19"W	N38°13'56"W
C5	142.13'	217.00'	037°31'42"	N70°31'55"E	139.61'	S89°17'46"W	S51°46'04"W
C6	151.13'	567.00'	015°16'18"	S83°04'05"E	150.68'	N75°25'56"W	S89°17'46"W
C7	43.64'	30.00'	83°20'42"	S33°45'35"E	39.89'	N07°54'47"E	N75°25'56"W
C8	384.45'	80.00'	275°20'23"	N50°14'35"E	107.74'	S87°25'36"E	N07°54'47"E
C9	137.42'	296.00'	026°36'00"	S12°12'07"W	136.19'	S01°05'53"E	S25°30'07"W
C10	211.54'	333.00'	036°23'54"	S7°18'10"W	208.01'	S25°30'07"W	S10°53'47"E
C11	39.79'	333.00'	006°50'50"	S22°04'42"W	39.77'		
C12	171.75'	333.00'	029°33'04"	S3°52'45"W	169.85'		
C13	100.78'	72.00'	080°12'06"	S50°59'50"E	92.76'	S10°53'47"E	N88°54'07"E

WETLAND RESTRICTIONS

1. Grading and filling are prohibited, unless specifically authorized by the municipality in which this land is located and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
2. The removal of topsoil or other earthen materials is prohibited.
3. The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that dead, diseased or dying vegetation may be removed.
4. Grazing by domesticated animals, i.e., horses, cows, etc., is prohibited.
5. The introduction of plant material not indigenous to the existing environment of the Wetland area is prohibited.
6. Ponds may be permitted subject to the approval of the municipality and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
7. The construction of buildings is prohibited.

Prepared By:
PINNACLE ENGINEERING GROUP
 15850 BLUEMOUND ROAD | SUITE 210
 BROOKFIELD, WI 53005
 OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461



JUNE 28, 2018

PEG JOB#390.10
SHEET 9 OF 12

CERTIFIED SURVEY MAP NO. 3300

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and redivided all of Lot 2 of Certified Survey Map No. 3219, recorded in the Office of the Register of Deeds for Racine County on October 4, 2016 as Document No. 2446965, located in the in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, which is bounded and described as follows:

Commencing at the northwest corner of the Northwest 1/4 of said Section 30; thence North 89°16'18" East along the north line of said Northwest 1/4, 515.50 feet; thence South 00°37'34" East, 45.00 feet to the south right of way line of Four Mile Road; thence North 89°16'18" East along said south right of way line, 601.64 feet to the point of beginning:

Thence continuing North 89°16'18" East along said south right of way line, 1297.20 feet; thence North 89°23'57" East along said south right of way line, 1326.68 feet to the east line of the West 1/2 of said Northeast 1/4; thence South 01°05'53" East along said east line, 954.92 feet; thence South 89°05'09" West, 110.09 feet; thence South 01°05'53" East, 400.00 feet; thence North 88°54'07" East, 110.08 feet to the aforesaid east line; thence South 01°05'53" East along said east line, 1211.75 feet to the north right of way line of Adams Road; thence South 89°17'46" West along said north right of way line, 124.98 feet; thence North 00°42'14" West, 148.00 feet; thence South 89°17'46" West, 120.00 feet; thence North 00°42'14" West, 108.17 feet; thence South 89°17'46" West, 150.00 feet; thence South 00°42'14" East, 256.17 feet to the aforesaid north right of way line; thence South 89°17'46" West along said south line, 320.00 feet; thence North 00°42'14" West, 256.17 feet; thence South 89°17'46" West, 225.00 feet; thence South 00°42'14" East, 256.17 feet to the aforesaid north right of way line; thence the following courses along said north right of way line: South 89°17'46" West, 387.46 feet; South 89°17'31" West, 633.71 feet; North 00°42'25" West, 2.00 feet; South 89°17'35" West, 85.52 feet to a point of curvature; Northwesterly 63.37 feet along the arc of said curve to the right, whose radius is 165.00 feet and whose chord bears North 79°42'15" West, 62.98 feet; North 68°42'04" West, 113.65 feet to a point of curvature; Northwesterly 138.16 feet along the arc of said curve to the right, whose radius is 200.00 feet and whose chord bears North 48°54'41" West, 135.43 feet; North 29°07'17" West, 160.67 feet to a point of curvature; Northwesterly 305.84 feet along the arc of said curve to the left, whose radius is 285.00 feet and whose chord bears North 59°51'50" West, 291.37 feet; South 89°23'37" West, 235.10 feet to the east right of way line of East Frontage Road; thence North 00°36'23" West along said east right of way line, 10.25 feet to a point of curvature; thence Northwesterly 932.12 feet along the arc of said curve to the left and said east right of way line, whose radius is 1420.00 feet and whose chord bears North 19°25'38" West, 915.47 feet; thence North 38°13'56" West along said east right of way line, 147.33 feet to south right of way line of Deback Lane; thence the following courses along the south and then north right of way line of said Deback Lane: North 51°46'04" East, 17.54 feet to a point of curvature; Northeasterly 142.13 feet along the arc of said curve to the right, whose radius is 217.00 feet and whose chord bears North 70°31'55" East, 139.61 feet to point of tangency; North 89°17'46" East, 217.75 feet to a point of curvature; Southeasterly 151.13 feet along the arc said curve to the right, whose radius is 567.00 feet and whose chord bears South 83°04'05" East, 150.68 to a point of compound curvature; Southeasterly 43.64 feet along the arc of said curve to the right, whose radius is 30.00 feet and whose chord bears South 33°45'35" East, 39.89 feet of reverse curve; Northeasterly 384.45 feet along the arc of said curve to the left, whose radius is 80.00 feet and whose chord bears North 50°14'35" East, 107.74 feet; thence North 00°42'14" West along the west line of said Certified Survey Map No. 3219, 1066.06 feet to the Point of Beginning.

Containing 6,838,094 square feet (156.9810 acres) of land, more or less.

That I have made such survey, land division and map by the direction of WISPARK, LLC, owner of said land.

That such plat is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of s.236.34 of the Wisconsin State Statutes and the Village of Caledonia Land Division Ordinance in surveying, mapping and dividing the same.

Date: JUNE 28, 2018




John P. Konopacki
Professional Land Surveyor S-2461

Prepared By:
 PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.01
SHEET 10 OF 12

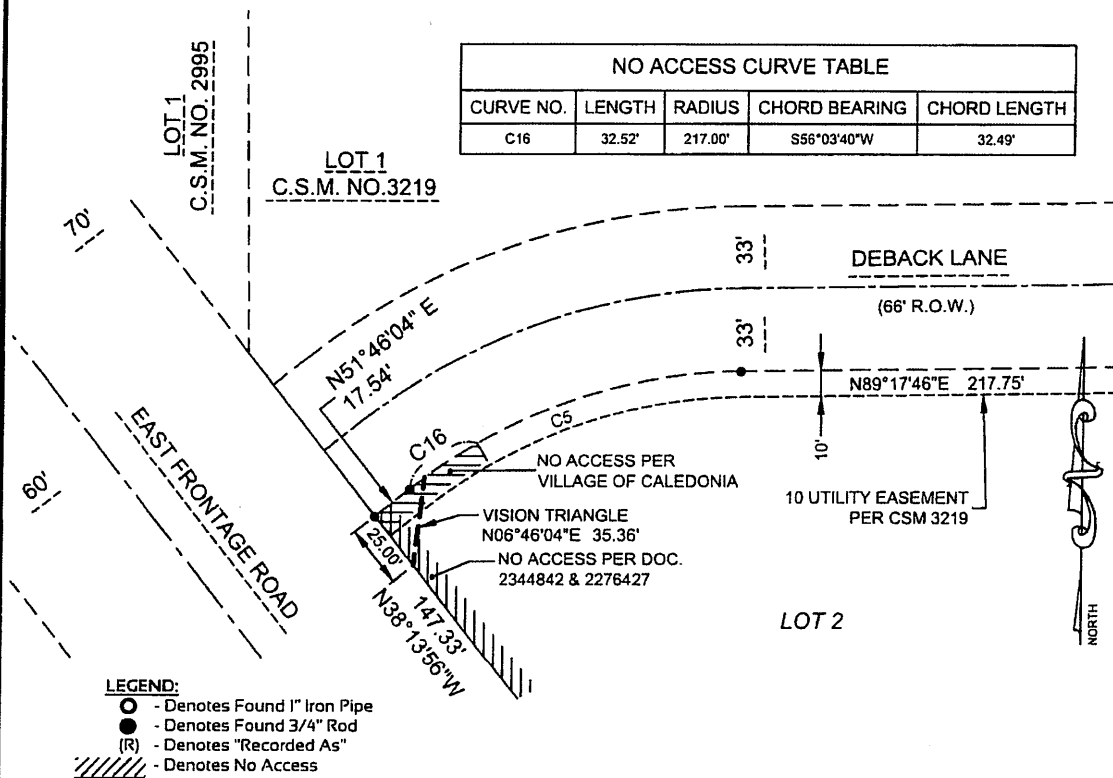
VOL 10 PAGE 928

CERTIFIED SURVEY MAP NO. 3300

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

NO ACCESS AND VISION CORNER EASEMENT DETAIL SCALE=1"=60'

NO ACCESS CURVE TABLE				
CURVE NO.	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C16	32.52'	217.00'	S56°03'40"W	32.49'

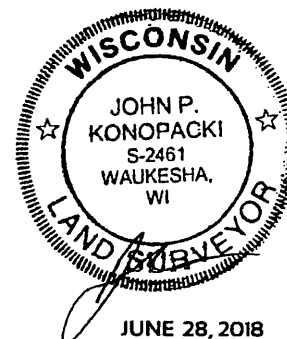


NO ACCESS NOTE:

WISPARK, LLC, as owner, hereby restricts all lots in that no owner possessor, user, nor licensee, nor other person shall have any right of direct vehicular ingress or egress with East Frontage Road, as shown on this certified survey map; it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to s.236.293 of the Wisconsin State Statues, and shall be enforceable by the Department of Transportation.

VISION CORNER EASEMENT RESTRICTIONS:

No structure or improvements of any kind is permitted within the vision corner.
No vegetation within the vision corner may exceed 30 inches in height.



JUNE 28, 2018

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB #390.10
SHEET 11 OF 12

CERTIFIED SURVEY MAP NO. 3308

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

OWNER'S CERTIFICATE OF DEDICATION

WISPARK, LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this certified survey map to be surveyed, divided, mapped and dedicated as represented on this certified survey map.

I also certify that this certified survey map is required by s.236.10 or s.236.12 of the Wisconsin State Statutes to be submitted to the following for approval or objection:

1. Village of Caledonia

IN WITNESS WHEREOF, the said WISPARK, LLC has caused these presents to be signed by

(name) ERICA-NICOLE HARRIS, (title) vice president, at Milwaukee
Milwaukee County, Wisconsin, on this 10th day of July, 2018.

In the presence of: WISPARK, LLC

signature [Signature]
ERICA-NICOLE HARRIS,
VICE PRESIDENT

STATE OF WISCONSIN)
Milwaukee COUNTY) SS

Personally came before me this 10 day of July, 2018 (name) Erica-Nicole Harris
(title) vice president, to me known to be the person who executed the foregoing instrument and acknowledged the same.

[Signature]
Notary Public
Name: Susan L. Warzala
State of Wisconsin
My Commission Expires: 2/2/2021



VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Caledonia on this 2nd day of July, 2018.

7/11/2018
Date

[Signature]
Karie Torkilsen, Village Clerk

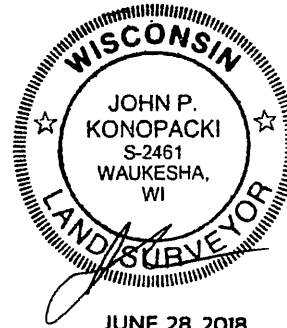
FROM ALL OF:

104-04-22-30-015-200

TO:

LOT 1: 104-04-22-30-015-201

LOT 2: 104-04-22-30-015-202



JUNE 28, 2018

PEGJOB#390.10

SHEET 12 OF 12

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

DETAIL SITE MAP

LOT 1
C.S.M. NO. 3219

DNKC PROPERTY MANAGEMENT LLC
13448 DEBACK LN
104042230015100

P.O.B.
NW COR. LOT 2
C.S.M. NO. 3302

CURVE C-1
ARC = 31.18'
RAD. = 80.00'
CH. BR. N76° 15' 58"W
CH. = 30.98'

SE COR. LOT 1
C.S.M. NO. 3219

EAST LINE OF LOT 1 CSM 3219 N0° 42' 14"W 1086.06'

S0° 42' 14"E 1073.81'

N89° 16' 18"E
30.00'

CURVE C-2
ARC = 39.88'
RAD. = 80.00'
CH. BR. N17° 07' 07"W
CH. = 39.47'

30' WIDE PERMANENT
SANITARY SEWER EASEMENT

30' WIDE PERMANENT
SANITARY SEWER EASEMENT

LOT 2
C.S.M. NO. 3302

WISPARK LLC
DEBACK LANE
104042230015202

NORTH 1/4 CORNER
SECTION 30, T.4N., R.22E.

EAST LINE OF NW QUARTER SECTION 30, T.4N., R.22E.
WEST LINE OF NE QUARTER SECTION 30, T.4N., R.22E.

30' WIDE PERMANENT
SANITARY SEWER EASEMENT

N0° 45' 17"W 762.86'

S0° 45' 17"E 782.81'

NE COR. LOT 2
C.S.M. NO. 3302

S0° 36' 03"E 482.00'

SW COR. LOT 1
C.S.M. NO. 3302

S0° 36' 03"E
30.00'

LOT 1
C.S.M. NO. 3302
CENTRAL STORAGE &
WAREHOUSE COMPANY
4 MILE RD
104042230015201



Foth Infrastructure & Environment, LLC
3014 Terminal Street
West Allis, WI 53327
Phone: 414-234-2700 Fax: 414-234-2701

REUSE OF DOCUMENTS FOR OTHER PROJECTS WITHOUT THE WRITER'S APPROVAL IS PROHIBITED. THIS DOCUMENT HAS BEEN PREPARED FOR THE SPECIFIC APPLICATION AND NOT FOR GENERAL USE. THEREFORE IT MAY NOT BE USED WITHOUT THE WRITER'S APPROVAL OF FOTH INFRASTRUCTURE AND ENVIRONMENT, LLC. UNAPPROVED USE IS THE SOLE RESPONSIBILITY OF THE UNAUTHORIZED USER.

TID 4 PHASE 3 IMPROVEMENTS EASEMENT ACQUISITIONS DETAIL SITE MAP

VILLAGE OF CALEDONIA UTILITY DISTRICT
RACINE COUNTY
VILLAGE OF CALEDONIA, WISCONSIN

NO.	BY	DATE	DESCRIPTION
1	JAH	10/18/18	NEW CSB

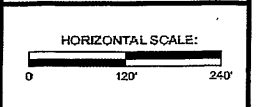
RECORD DRAWING OF COMPLETED CONSTRUCTION BY	DATE

RECORD DRAWINGS OF COMPLETED CONSTRUCTION CONFORMING TO CONTRACTOR AND/OR OWNER'S RECORDS.

Date of Preparation: OCTOBER 17, 2018

SURVEYED	BY	DATE
JAH	JAH	03/27/2018
DRAWN	TMB	10/18/2018
DESIGNED	JAH	10/18/2018
CHECKED	DM	10/22/2018

WISPARK LLC



PROJECT ID 18C030.04

SHEET 2 OF 3

Dec 24, 2018 - Bilsen TMS4 G:\Caledonia Utility District\18C030.04 - TID #4 DeBack Phase 3 Utility Improvements\Civil\CADD\Displays\EASEMENTS OCTOBER FINML.dwg

30' Permanent Sanitary Sewer Easement

That part of Lot 2 of Certified Survey Map No. 3302 being a redivision of all of Lot 2 of Certified Survey Map No. 3219, located in the and additional lands all in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin bounded and described as follows:

Beginning at the Northwest corner of Lot 2 of said Certified Survey Map No. 3302; thence North $89^{\circ}16'18''$ East, 30.00 feet along the South right of way of line of Four Mile Road and the North line of said Lot 2; thence South $00^{\circ}42'14''$ East, 1073.81 feet to the North right of way line of Deback Lane and the start of a curve to the right having a radius of 80.00 feet and a chord bearing North $76^{\circ}15'58''$ West, 30.98 feet; thence northwesterly 31.18 feet along said North line and said arc of a curve to the Southeast corner of Lot 1 of said Certified Survey Map No.3219; thence North $00^{\circ}42'14''$ West, 1066.06 feet along the East line of said Lot 1 to the point of beginning.

Containing 32,067 square feet (0.74 acres), more or less.


Also, commencing at the Northeast corner of Lot 2 of said Certified Survey Map No. 3302; thence South $00^{\circ}36'03''$ East, 482.00 feet along the West line of Lot 1 of said Certified Survey Map No. 3302 to the point of beginning; thence continuing South $00^{\circ}36'03''$ East, 30.00 feet along said West line to the Southwest corner of said Lot 1; thence South $89^{\circ}23'57''$ West, 159.01 feet; thence South $00^{\circ}45'17''$ East, 762.81 feet; thence South $89^{\circ}17'34''$ West, 1309.48 feet; thence North $66^{\circ}35'26''$ West, 323.24 feet to the Northerly right of way line of Deback Lane; and the start of a curve to the right having a radius of 80.00 feet and a chord bearing North $17^{\circ}07'07''$ West, 39.47 feet; thence northwesterly 39.88 feet along said North line and said arc of a curve; thence South $66^{\circ}35'26''$ East, 342.47 feet; thence North $89^{\circ}17'34''$ East, 1273.04 feet; thence North $00^{\circ}45'17''$ West, 762.86 feet; thence North $89^{\circ}23'57''$ East, 189.09 feet to the point of beginning.

Containing 76,765 square feet (1.76 acres), more or less.

MEMORANDUM

DATE: Monday, March 29, 2021

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Utility Director 

RE: DeBack Farms Watermain Easement - Authorization of Signatures

BACKGROUND INFORMATION

As a condition of approval of the development of DeBack Farms Business Park Phases I, II and III, Watermain Easements were required to allow the District to maintain and operate the Watermain.

Attached is the Watermain Easement that has been executed by the owner, and Village. The closing for the Scannell Development required that this document be recorded prior to the meeting to avoid a change in the property owner.

As an after the fact approval, it is recommended that the signatures of the President & Secretary of the Utility District are authorized.

RECOMMENDATION

Move to authorize the President and Secretary of the Caledonia Utility District to execute the Watermain Easement with WisPark LLC for the DeBack Farms Business Park.

MUNICIPAL WATERMAIN
EASEMENT AGREEMENT
(Between Caledonia and Wispark)
(Permanent Watermain Easement for a
30-Inch Watermain and Related Watermain
Infrastructure)

Document # **2585789**
RACINE COUNTY REGISTER OF DEEDS
March 24, 2021 4:05 PM

Karie G. Pope
KARIE POPE
RACINE COUNTY
REGISTER OF DEEDS
Fee Amount: \$30.00

**The above recording information verifies
this document has been electronically recorded**
Returned to Quarles & Brady LLP
Pages: 21

Document Number

Document Title

This agreement ("Agreement") is made and entered into as
of the 24th day of March, 2021 (the "Effective Date"),
by and between:

- a) WISPARK LLC, being a Wisconsin limited liability company with offices located at 231 West Michigan Street, Milwaukee, Wisconsin 53203 (hereinafter referred to as "Owner"); and
- b) The VILLAGE OF CALEDONIA, being a municipal corporation and village created under the laws of the State of Wisconsin, with its Village Hall located at 5043 Chester Lane, Racine, Wisconsin 53402 (hereinafter referred to as the "Village"); and
- c) The VILLAGE OF CALEDONIA UTILITY DISTRICT, being a utility district established by the Village of Caledonia under the laws of the State of Wisconsin, with utility district offices located at 333 4½ Mile Road, Racine, Wisconsin 53402 (hereinafter referred to as the "Utility District").

Recording Area

Name and Return Address

Anthony Bunkelman
Village of Caledonia
5043 Chester Lane
Racine, WI 53402

51-104-04-22-30-015-202

Parcel Identification Number (PIN)

Introduction

The Village is located in Racine County, Wisconsin. The Village, through the Utility District, owns and operates a municipal watermain system (hereinafter referred to as the "District System").

MUNICIPAL WATERMAIN
EASEMENT AGREEMENT
(Between Caledonia and Wispark)
(Permanent Watermain Easement for a
30-Inch Watermain and Related Watermain
Infrastructure)

Document Number

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- b) The VILLAGE OF CALEDONIA, being a municipal corporation and village created under the laws of the State of Wisconsin, with its Village Hall located at 5043 Chester Lane, Racine, Wisconsin 53402 (hereinafter referred to as the “Village”); and
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Recording Area

Name and Return Address

Anthony Bunkelman
Village of Caledonia
5043 Chester Lane
Racine, WI 53402

51-104-04-22-30-015-202

Parcel Identification Number (PIN)

Introduction

The Village is located in Racine County, Wisconsin. The Village, through the Utility District, owns and operates a municipal watermain system (hereinafter referred to as the “District System”).

Owner is the sole record-title owner of the parcel of real property (hereinafter referred to as the “Property”) located in the Village of Caledonia, Racine County, Wisconsin, that is described, in part, in attached Exhibit A.

Certified Survey Map No. 3302, recorded with the Racine County Register of Deeds on July 13, 2018 as Document No. 2498467 (“CSM 3302”), established a Thirty Foot (30’) water main easement over a portion of the Property, that runs in a generally east/west direction, from Deback Lane (the “Existing East/West Watermain Easement”), and the parties hereto now desire by this instrument to terminate the Existing East/West Watermain Easement in all respects.

This present Agreement is being entered into by the above-named parties for the purpose of creating and reserving, a new Watermain Easement Area (as defined below).

CSM 3302 also established a Forty Foot (40’) water main easement over a portion of the Property, that runs in a generally north/south direction from Deback Lane (the “Existing North/South Watermain Easement”), without further definition, and the parties hereto now desire by this instrument to apply the terms herein to the Existing North/South Watermain Easement.

It is anticipated that sometime in the future the Owner, and/or a successor in title to the Property, will be constructing and installing, at the Owner’s expense: (i) municipal watermains, and (ii) related customary watermain infrastructure (collectively, the “Construction Project”) in, on or under the Watermain Easement Area (as defined below), and that, upon the approval of the Village, the said watermains and related infrastructure shall become a part of the District System.

NOW, THEREFORE, IN CONSIDERATION OF THE MUTUAL COVENANTS AND PROMISES HEREINAFTER DESCRIBED, THE ABOVE-NAMED PARTIES HEREBY AGREE AS FOLLOWS:

1. Introduction is Correct. The foregoing “Introduction” is true and correct, and is hereby incorporated into this Agreement by reference.

2. Termination of Existing East/West Watermain Easement. The Existing East/West Watermain Easement, is hereby terminated and released from the Property.

3. Easement Granted. Owner hereby grants to the Village and the Utility District a permanent, watermain easement in, on, and under the portion of the Property described below as the Watermain Easement Area, on which the Owner (and/or a future successor in title to the Property) shall, at the Owners cost and expense, undertake the Construction Project and construct and install watermains and the related watermain infrastructure (collectively, the “Watermains”). Upon completion of the Construction Project (to the satisfaction of the Village), the Village shall approve and accept the said installed/constructed Watermains and related infrastructure, as a part of the District System, and thereafter the Village and/or Utility District shall, at its own expense, inspect, operate, maintain, repair, and/or replace the Watermains, to keep such facilities in good condition and repair at all times. If the Watermain Easement Area is encumbered by any restrictions, created by a written agreement to which the Village is a signatory party, that require all such facilities to be underground, they shall be underground or on the surface of the ground (but excluding valves and/or fire hydrants).

3. Watermain Easement Area. Attached as Exhibit B is (i) a diagram showing the watermain easement area granted by Owner on the Property to the Village and the Utility District, and (ii) the legal description of such watermain easement area (referred to herein as the “Watermain Easement Area”).

4. Access to Watermain Easement Area. The Village, the Utility District, and/or their officials, officers, employees, contractors, engineers, consultants, and agents are hereby given the

permanent non-exclusive right to go upon and enter the Watermain Easement Area, at such times as the Village and/or the Utility District reasonably need, for the purpose of exercising the easement rights granted herein.

5. Restrictions on Owner. Owner shall not construct (nor allow any third party to construct) any type of structure and/or place any type of obstruction in, over, under, on, or upon the Watermain Easement Area, and shall not materially impede or obstruct the exercise of the easement rights granted hereunder. Notwithstanding the foregoing, however, Owner (and/or his/her/its assignee, successor(s) in title, or tenant) may construct, install, and maintain pedestrian pathways, landscaping, driveways, parking lots, and/or roadways over the Watermain Easement Area, provided that such construction and use does not damage the Watermain Main and/or the related infrastructure located in the Watermain Easement Area.

6. Restoration of Disturbed Areas. To the extent the Village and/or the Utility District, in its reasonable discretion, deems it necessary for the exercise of its easement rights granted hereunder, the Village/Utility District may remove from the Watermain Easement Area obstructions, and/or any plants, shrubs, bushes, trees, or other vegetation, and the Village/Utility District shall not be required to restore or replace such items, except, however, the Village/Utility District shall restore any disturbed portion of the natural vegetation and/or landscaping of such Easement Area by seeding the same with grass seed. In addition, the Village/Utility District shall promptly repair and restore any pedestrian pathways, driveways, parking lots, and/or roadways (to its previously existing condition) located in the Watermain Easement Area that may be damaged by the Village or Utility District.

7. Indemnity and Hold Harmless. In consideration of the foregoing grant, it is understood that during the time said Watermains are located on Owner's property, the Village shall and hereby

does indemnify and save Owner, its successors and assigns, harmless from any and all claims for injury or death to any person or for damage to property of any person arising out of Village or Utility District's exercise of any of its rights under this Agreement; excepting, however, any claims or action to the extent arising out of negligence or willful acts on the part of Owner, its successor and/or assigns, and/or the officers, directors, shareholders, members, partners, employees, consultants, invitees, and/or agents of the then Owner.

8. Runs with the Land. This Agreement shall run with the land of the Property described herein, and shall inure to the benefit of, and be binding upon, the parties to this Agreement and their respective successors and assigns (including, but not limited to, the successors in title to the Property).

9. Governing Law. This Agreement shall be governed, controlled, construed, and interpreted by and under the laws of the State of Wisconsin. The venue for any legal action pertaining to and/or arising under this Agreement shall solely and exclusively be Racine County Circuit Court in Racine County, Wisconsin.

10. Recording. This Agreement shall be binding upon and shall inure to the benefit of the parties hereto, and their successors and assigns. This Agreement shall be recorded by the Village at the Office of the Register of Deeds for Racine County, Wisconsin.

11. Other Utility Use. This easement shall be non-exclusive, and Owner shall have the right to install, in the Watermain Easement Area, other utility facilities, including, without limitation, cable, internet, fiber optic, telephone, gas and electric facilities, after securing the approval of the Village, as to the location of such facilities, both parallel installations and installations which cross the Watermains, to assure appropriate spacing of such utilities, and protection of the Watermains, which consent shall not be unreasonably withheld. The Village may

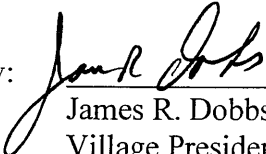
require when replacing, repairing, and/or maintaining the Watermains, additional protection for the Watermains during that process.


12. Existing North/South Watermain. The Existing Forty Foot (40') North/South Watermain is hereby defined to be subject to the same terms and conditions as this Agreement and shall herein be included in the definition of the Watermain Easement Area.

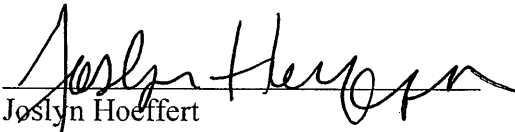
[Signatures appear on the following page(s).]

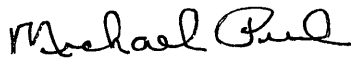
VILLAGE:
Village of Caledonia

UTILITY DISTRICT:
The Village of Caledonia Utility District

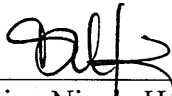
By: 
James R. Dobbs
Village President

By: 
Howard Stacey
President

Attest: 
Joslyn Hoeffert
Deputy Village Clerk

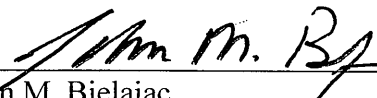
Attest: 
Michael Pirk
Secretary

OWNER:
Wispark LLC

By: 
Erica-Nicole Harris
Vice President

AUTHENTICATION

Signatures of Erica-Nicole Harris, on behalf of Owner, and James R. Dobbs and Joslyn Hoeffert, Village President and Deputy Village Clerk, respectively, of the Village of Caledonia; and Howard Stacey, President, and Michael Pirk, Secretary, of the Village of Caledonia Utility District, authenticated this 29th day of March, 2021.


John M. Bjelajac
Member: State Bar of Wisconsin
State Bar No. 1015325

This Agreement drafted by
Attorney John M. Bjelajac
PO Box 38; Racine, Wisconsin 53401-0038
Phone: (262)633-9800
FAX: (262)633-1209
(Attorney for the Village of Caledonia,
and the Village of Caledonia Utility District)

VOL 10 PAGE 918

CERTIFIED SURVEY MAP NO. 3302

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

LEGEND:

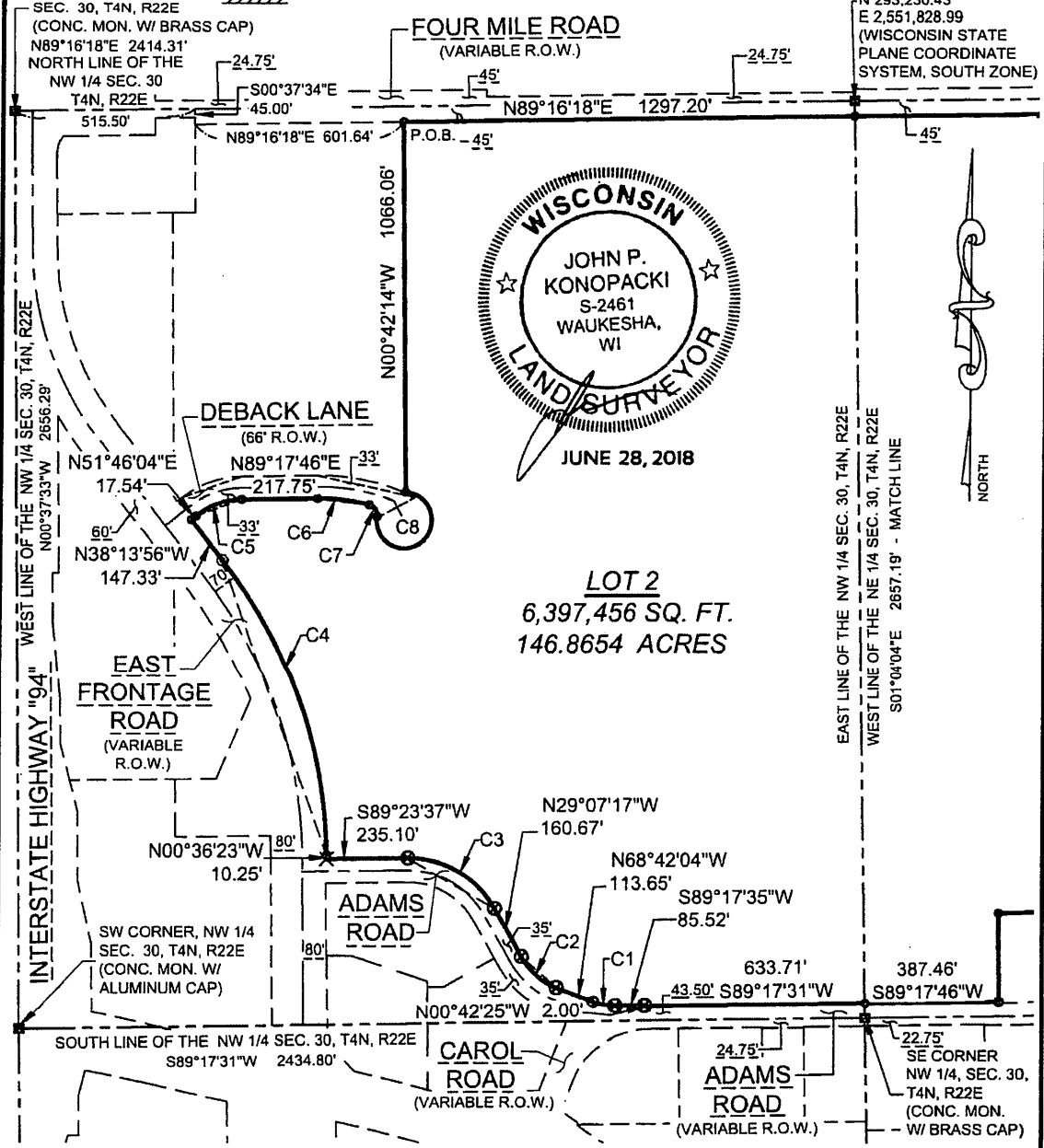
- - Denotes Found 1" Iron Pipe
- ⊗ - Denotes Found 3/4" Iron Pipe
- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- ⊚ - Denotes Found 3/4" Iron Rebar
- ▲ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
- ⊕ - Denotes Found Mag Nail
- ⊗ - Denotes Found Chiseled Cross
- ⊙ - Denotes Well
- (R) - Denotes "Recorded As"
- //// - Denotes No Access

- SEE SHEET 7 FOR BOUNDARY
 CURVE & LINE TABLES
 - SEE SHEET 9 FOR NO ACCESS
 AND VISION CORNERS DETAIL

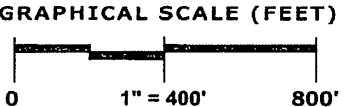
Subject Property Zoning:
 M-3: Heavy Industrial District
 Tax Key Number:
 #104-04-22-30-015-200

NW CORNER, NW 1/4
 SEC. 30, T4N, R22E
 (CONC. MON. W/ BRASS CAP)
 N89°16'18"E 2414.31'
 NORTH LINE OF THE
 NW 1/4 SEC. 30
 T4N, R22E

NE CORNER, NW 1/4
 SEC. 30, T4N, R22E
 (CONC. MON.
 W/ BRASS CAP)
 N 293,230.43
 E 2,551,828.99
 (WISCONSIN STATE
 PLANE COORDINATE
 SYSTEM, SOUTH ZONE)



Prepared By:
Pinnacle Engineering Group
 15850 BLUEMOUND ROAD | SUITE 210
 BROOKFIELD, WI 53005
 OFFICE: (262) 754-8888



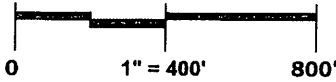
Prepared for:
 WISPARK LLC
 231 W. Michigan Street
 Milwaukee, WI 53203

VOL 10 PAGE 919

CERTIFIED SURVEY MAP NO. 3302

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

GRAPHICAL SCALE (FEET)



LEGEND:

- - Denotes Found 1" Iron Pipe
- ⊗ - Denotes Found 3/4" Iron Pipe
- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- ⊕ - Denotes Found 3/4" Iron Rebar
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- ⊙ - Denotes Well
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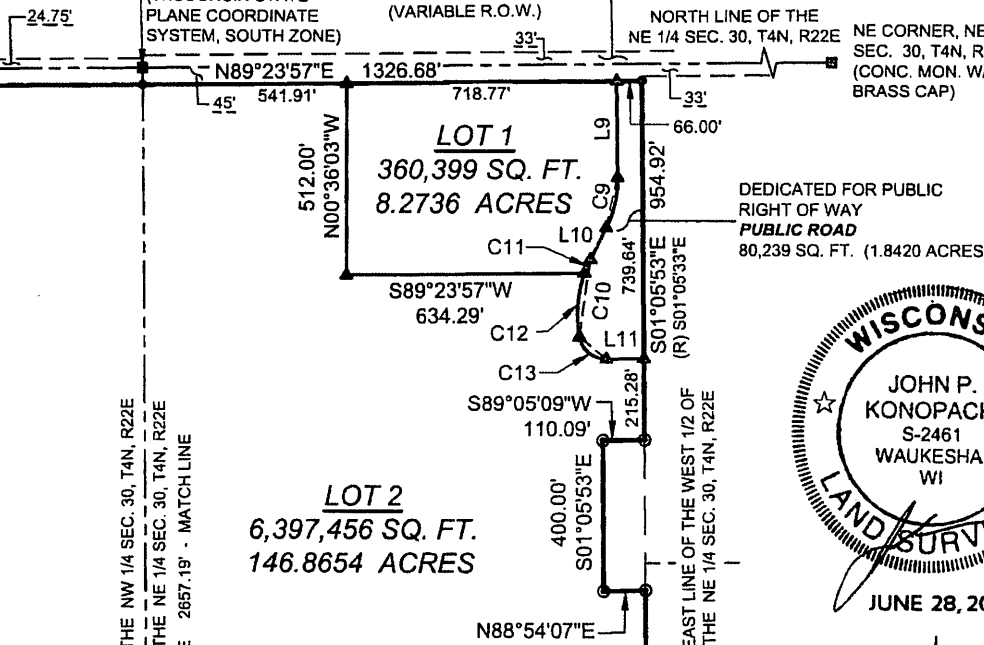
NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

- SEE SHEET 7 FOR BOUNDARY
CURVE & LINE TABLES

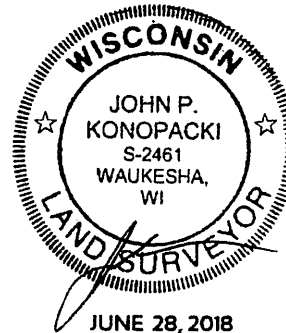
FOUR MILE ROAD
(VARIABLE R.O.W.)

N89°23'57"E 2652.69'
NORTH LINE OF THE
NE 1/4 SEC. 30, T4N, R22E

NE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/
BRASS CAP)

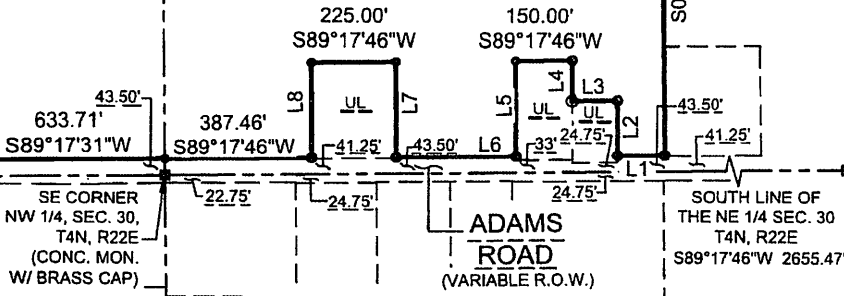


DEDICATED FOR PUBLIC
RIGHT OF WAY
PUBLIC ROAD
80,239 SQ. FT. (1.8420 ACRES)



EAST LINE OF THE NW 1/4 SEC. 30, T4N, R22E
WEST LINE OF THE NE 1/4 SEC. 30, T4N, R22E
S01°04'04"E 2657.19' - MATCH LINE

EAST LINE OF THE WEST 1/2 OF
THE NE 1/4 SEC. 30, T4N, R22E



SE CORNER
NW 1/4, SEC. 30,
T4N, R22E
(CONC. MON.
W/ BRASS CAP)

SE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 2 OF 12

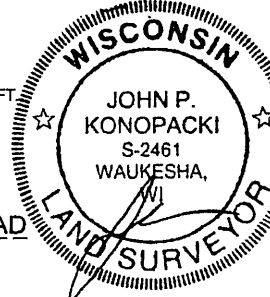
VOL 10 PAGE 920

CERTIFIED SURVEY MAP NO. 3302

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

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- ⊝ - Denotes Found Chiseled Cross
- ⊞ - Denotes Well
- (R) - Denotes "Recorded As"
- /// - Denotes No Access



JUNE 28, 2018

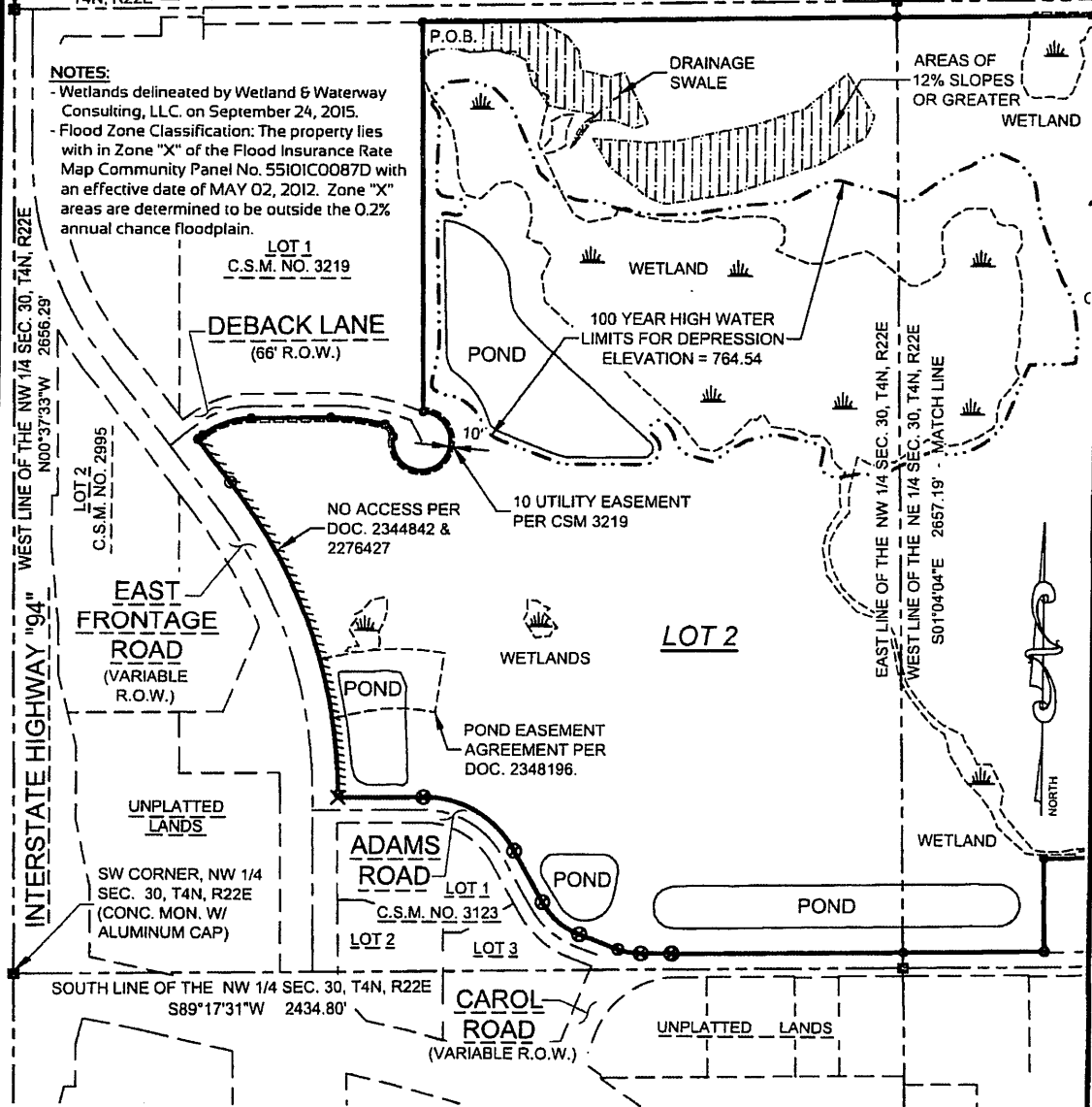
NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

FOUR MILE ROAD
(VARIABLE R.O.W.)

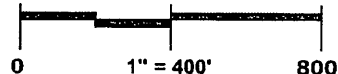
NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293.230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

NOTES:

- Wetlands delineated by Wetland & Waterway Consulting, LLC. on September 24, 2015.
- Flood Zone Classification: The property lies with in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55101C0087D with an effective date of MAY 02, 2012. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.



GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEGJOB#390.10
SHEET 3 OF 12

VOL 10 PAGE 921

CERTIFIED SURVEY MAP NO. 3307

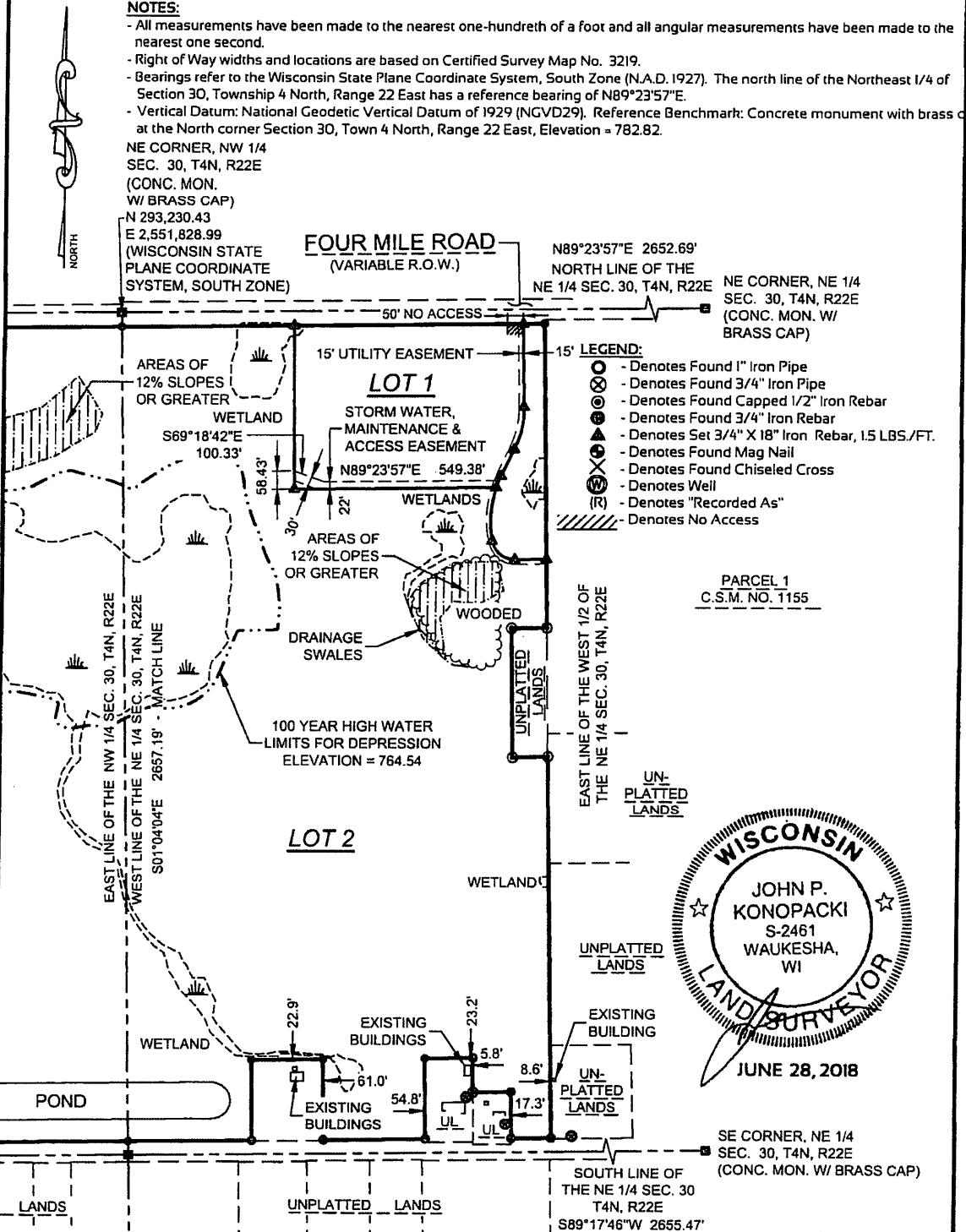
Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

NOTES:

- All measurements have been made to the nearest one-hundredth of a foot and all angular measurements have been made to the nearest one second.
- Right of Way widths and locations are based on Certified Survey Map No. 3219.
- Bearings refer to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The north line of the Northeast 1/4 of Section 30, Township 4 North, Range 22 East has a reference bearing of N89°23'57"E.
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Reference Benchmark: Concrete monument with brass cap at the North corner Section 30, Town 4 North, Range 22 East, Elevation = 782.82.

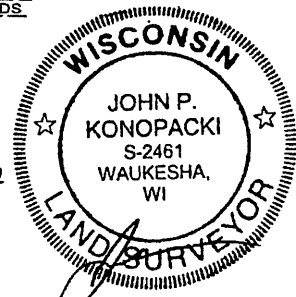
NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

N89°23'57"E 2652.69'
NORTH LINE OF THE
NE 1/4 SEC. 30, T4N, R22E
NE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/
BRASS CAP)



- LEGEND:**
- - Denotes Found 1" Iron Pipe
 - ⊗ - Denotes Found 3/4" Iron Pipe
 - ⊙ - Denotes Found Capped 1/2" Iron Rebar
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 - ⊗ - Denotes Found Chiseled Cross
 - ⊗ - Denotes Well
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 - - Denotes No Access

PARCEL 1
C.S.M. NO. T155

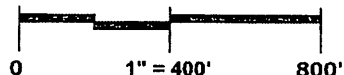


JUNE 28, 2018

SE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)

SOUTH LINE OF
THE NE 1/4 SEC. 30
T4N, R22E
S89°17'46"W 2655.47'

GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 4 OF 12

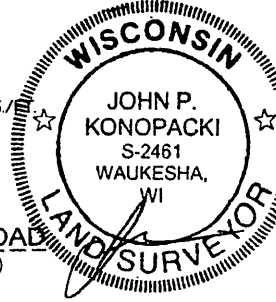
VOL 10 PAGE 922

CERTIFIED SURVEY MAP NO. 3302

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

LEGEND:

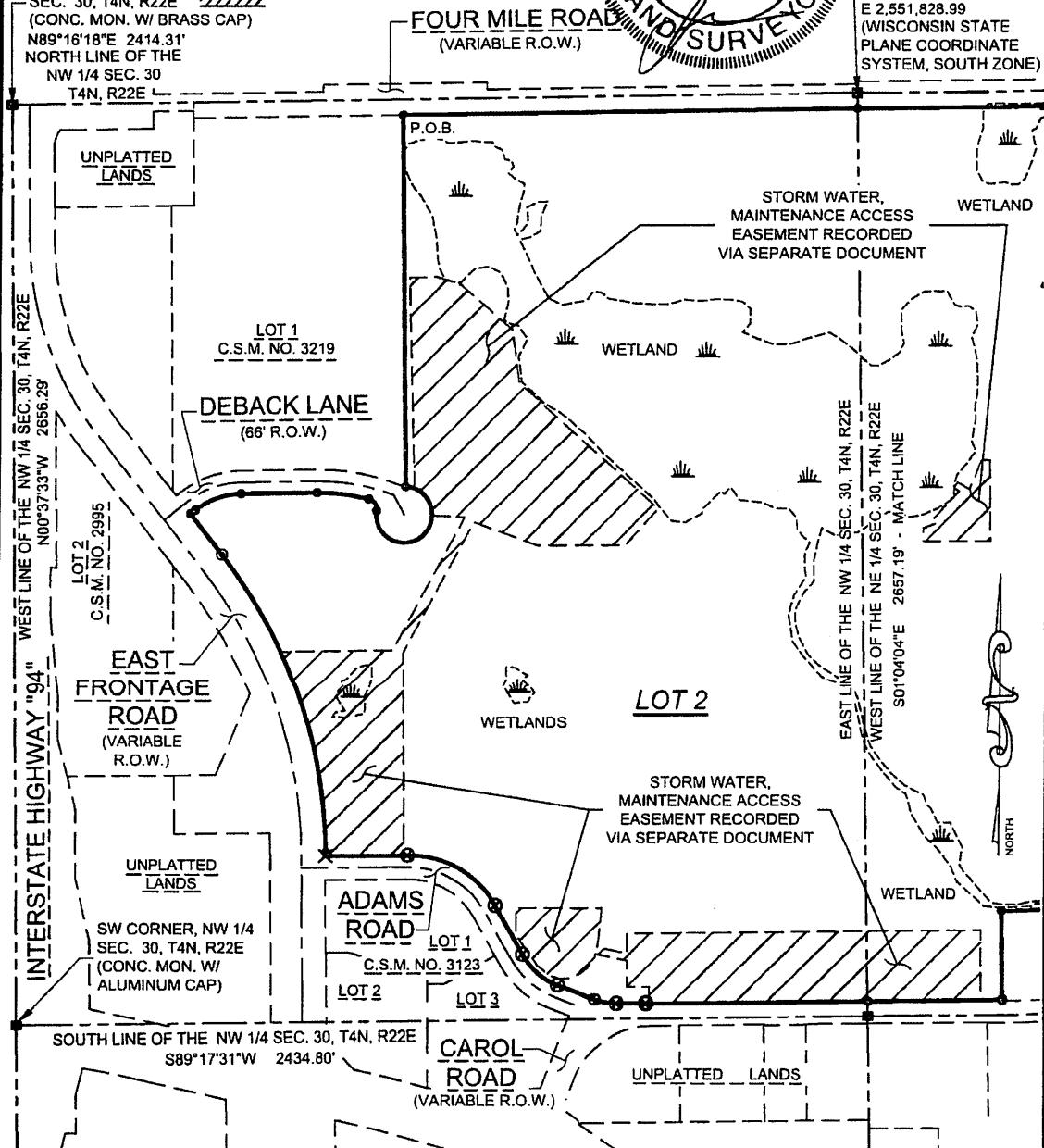
- - Denotes Found 1" Iron Pipe
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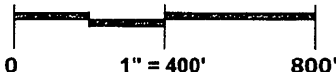
JUNE 28, 2018

NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)



GRAPHICAL SCALE (FEET)



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PINNACLE ENGINEERING GROUP
 15850 BLUEMOUND ROAD | SUITE 210
 BROOKFIELD, WI 53005
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This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEGJOB#390.10
SHEET 5 OF 12

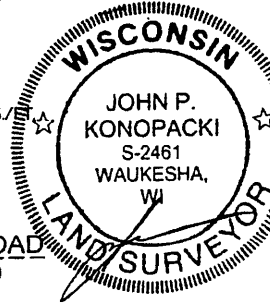
VOL 10 PAGE 923

CERTIFIED SURVEY MAP NO. 3208

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

LEGEND:

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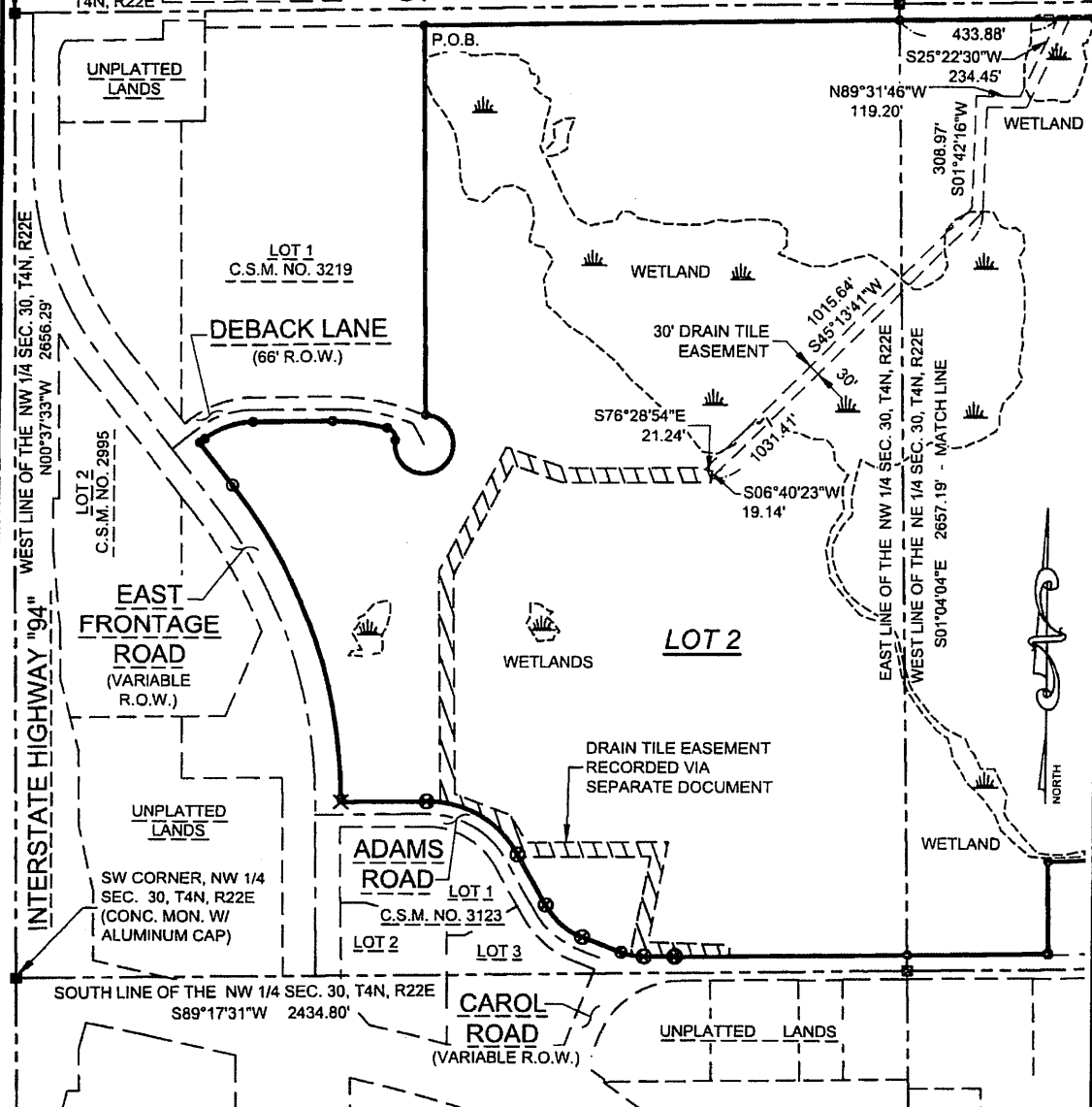


JUNE 28, 2018

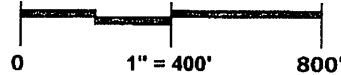
NW CORNER, NW 1/4 SEC. 30, T4N, R22E (CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE NW 1/4 SEC. 30 T4N, R22E

NE CORNER, NW 1/4 SEC. 30, T4N, R22E (CONC. MON. W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE)

FOUR MILE ROAD (VARIABLE R.O.W.)



GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 6 OF 12

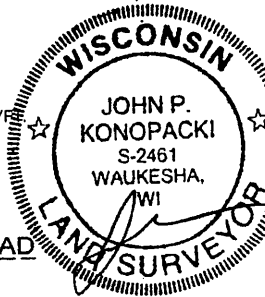
VOL 10 PAGE 924

CERTIFIED SURVEY MAP NO. 3308

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

LEGEND:

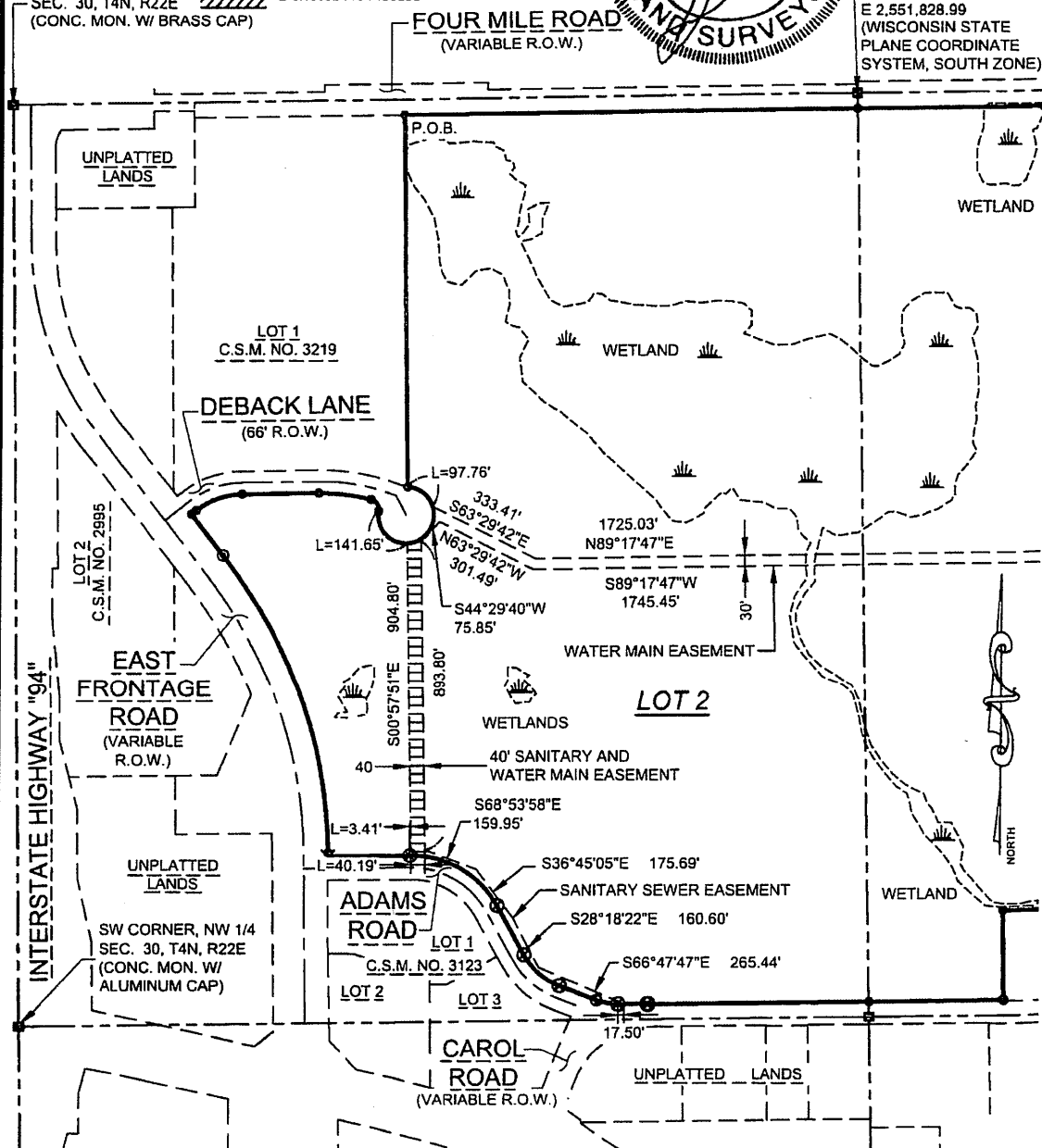
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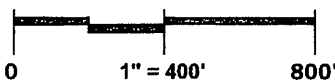
JUNE 28, 2018

NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
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N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)



GRAPHICAL SCALE (FEET)



Prepared By:
Pinnacle Engineering Group
15850 Bluemound Road | Suite 210
Brookfield, WI 53005
Office: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

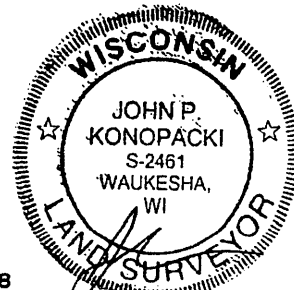
NOTE: STORM WATER,
SANITARY SEWER AND
WATER MAIN EASEMENTS
TO BE RECORDED VIA
SEPARATE DOCUMENT

PEG JOB#390.10
SHEET 7 OF 12

VOL 10 PAGE 925

CERTIFIED SURVEY MAP NO. 3300

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

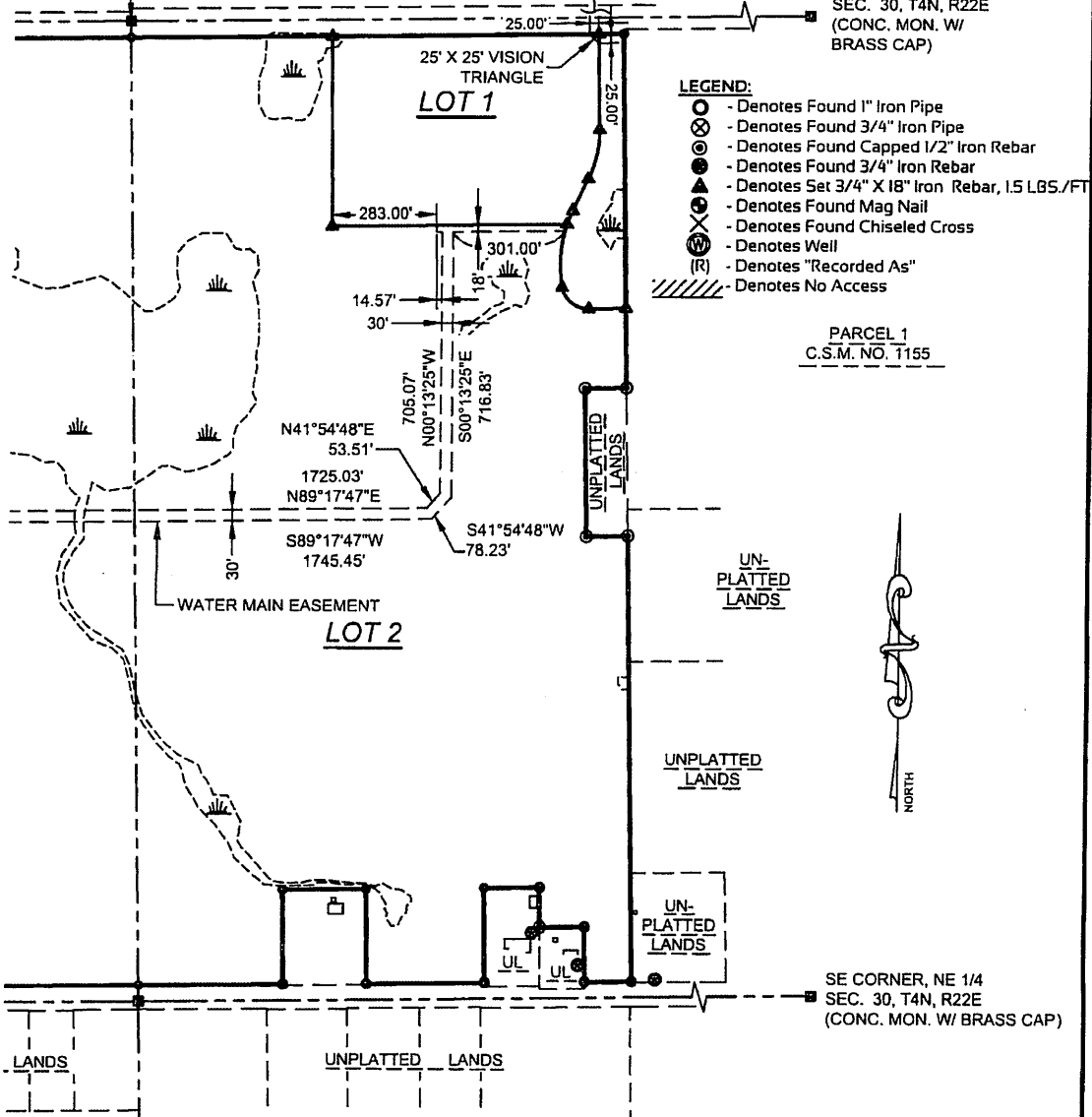


NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

FOUR MILE ROAD
(VARIABLE R.O.W.)

JUNE 28, 2018

NE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/
BRASS CAP)

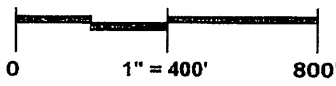


- LEGEND:**
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 - ⊕ - Denotes Found Mag Nail
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PARCEL 1
C.S.M. NO. 1155



GRAPHICAL SCALE (FEET)



NOTE: STORM WATER,
SANITARY SEWER AND
WATER MAIN EASEMENTS
TO BE RECORDED VIA
SEPARATE DOCUMENT

Prepared By:
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15850 BLUEMOUND ROAD | SUITE 210
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OFFICE: (262) 754-8888

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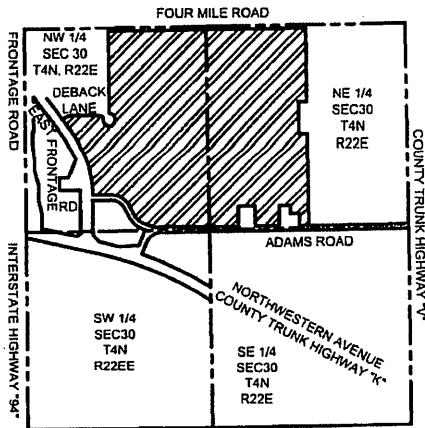
PEG JOB#390.10
SHEET 8 OF 12

VOL 10 PAGE 926

CERTIFIED SURVEY MAP NO. 3308

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VICINITY MAP SCALE 1":2000'



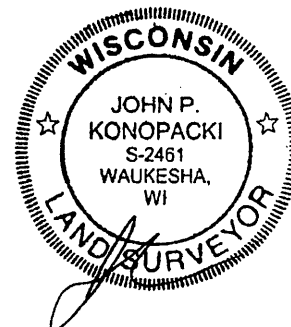
LINE NO.	BEARING	DISTANCE
L1	S89°17'46"W	124.98'
L2	N00°42'14"W	148.00'
L3	S89°17'46"W	120.00'
L4	N00°42'14"W	108.17'
L5	S00°42'14"E	256.17'
L6	S89°17'46"W	320.00'
L7	N00°42'14"W	256.17'
L8	S00°42'14"E	256.17'
L9	S01°05'53"E	258.41'
L10	S25°30'07"W	93.65'
L11	N88°54'07"E	98.70'

BOUNDARY CURVE TABLE

CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT IN	TANGENT OUT
C1	63.37'	165.00'	022°00'21"	N79°42'15"W	62.98'	N89°17'35"E	S68°42'04"E
C2	138.16'	200.00'	039°34'47"	N48°54'41"W	135.43'	S68°42'04"E	N29°07'17"W
C3	305.84'	285.00'	061°29'06"	N59°51'50"W	291.37'	N29°07'17"W	S89°23'37"W
C4	932.12'	1420.00'	037°36'36"	N19°25'38"W	915.47'	N00°37'19"W	N38°13'56"W
C5	142.13'	217.00'	037°31'42"	N70°31'55"E	139.61'	S89°17'46"W	S51°46'04"W
C6	151.13'	567.00'	015°16'18"	S83°04'05"E	150.68'	N75°25'56"W	S89°17'46"W
C7	43.64'	30.00'	83°20'42"	S33°45'35"E	39.89'	N07°54'47"E	N75°25'56"W
C8	384.45'	80.00'	275°20'23"	N50°14'35"E	107.74'	S87°25'36"E	N07°54'47"E
C9	137.42'	296.00'	026°36'00"	S12°12'07"W	136.19'	S01°05'53"E	S25°30'07"W
C10	211.54'	333.00'	036°23'54"	S7°18'10"W	208.01'	S25°30'07"W	S10°53'47"E
C11	39.79'	333.00'	006°50'50"	S22°04'42"W	39.77'		
C12	171.75'	333.00'	029°33'04"	S3°52'45"W	169.85'		
C13	100.78'	72.00'	080°12'06"	S50°59'50"E	92.76'	S10°53'47"E	N88°54'07"E

WETLAND RESTRICTIONS

- Grading and filling are prohibited, unless specifically authorized by the municipality in which this land is located and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
- The removal of topsoil or other earthen materials is prohibited.
- The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that dead, diseased or dying vegetation may be removed.
- Grazing by domesticated animals, i.e., horses, cows, etc., is prohibited.
- The introduction of plant material not indigenous to the existing environment of the Wetland area is prohibited.
- Ponds may be permitted subject to the approval of the municipality and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
- The construction of buildings is prohibited.



JUNE 28, 2018

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEGJOB#390.10
SHEET 9 OF 12

CERTIFIED SURVEY MAP NO. 3300

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and redivided all of Lot 2 of Certified Survey Map No. 3219, recorded in the Office of the Register of Deeds for Racine County on October 4, 2016 as Document No. 2446965, located in the in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, which is bounded and described as follows:

Commencing at the northwest corner of the Northwest 1/4 of said Section 30; thence North 89°16'18" East along the north line of said Northwest 1/4, 515.50 feet; thence South 00°37'34" East, 45.00 feet to the south right of way line of Four Mile Road; thence North 89°16'18" East along said south right of way line, 601.64 feet to the point of beginning;

Thence continuing North 89°16'18" East along said south right of way line, 1297.20 feet; thence North 89°23'57" East along said south right of way line, 1326.68 feet to the east line of the West 1/2 of said Northeast 1/4; thence South 01°05'53" East along said east line, 954.92 feet; thence South 89°05'09" West, 110.09 feet; thence South 01°05'53" East, 400.00 feet; thence North 88°54'07" East, 110.08 feet to the aforesaid east line; thence South 01°05'53" East along said east line, 1211.75 feet to the north right of way line of Adams Road; thence South 89°17'46" West along said north right of way line, 124.98 feet; thence North 00°42'14" West, 148.00 feet; thence South 89°17'46" West, 120.00 feet; thence North 00°42'14" West, 108.17 feet; thence South 89°17'46" West, 150.00 feet; thence South 00°42'14" East, 256.17 feet to the aforesaid north right of way line; thence South 89°17'46" West along said south line, 320.00 feet; thence North 00°42'14" West, 256.17 feet; thence South 89°17'46" West, 225.00 feet; thence South 00°42'14" East, 256.17 feet to the aforesaid north right of way line; thence the following courses along said north right of way line: South 89°17'46" West, 387.46 feet; South 89°17'31" West, 633.71 feet; North 00°42'25" West, 2.00 feet; South 89°17'35" West, 85.52 feet to a point of curvature; Northwesterly 63.37 feet along the arc of said curve to the right, whose radius is 165.00 feet and whose chord bears North 79°42'15" West, 62.98 feet; North 68°42'04" West, 113.65 feet to a point of curvature; Northwesterly 138.16 feet along the arc of said curve to the right, whose radius is 200.00 feet and whose chord bears North 48°54'41" West, 135.43 feet; North 29°07'17" West, 160.67 feet to a point of curvature; Northwesterly 305.84 feet along the arc of said curve to the left, whose radius is 285.00 feet and whose chord bears North 59°51'50" West, 291.37 feet; South 89°23'37" West, 235.10 feet to the east right of way line of East Frontage Road; thence North 00°36'23" West along said east right of way line, 10.25 feet to a point of curvature; thence Northwesterly 932.12 feet along the arc of said curve to the left and said east right of way line, whose radius is 1420.00 feet and whose chord bears North 19°25'38" West, 915.47 feet; thence North 38°13'56" West along said east right of way line, 147.33 feet to south right of way line of Deback Lane; thence the following courses along the south and then north right of way line of said Deback Lane: North 51°46'04" East, 17.54 feet to a point of curvature; Northeasterly 142.13 feet along the arc of said curve to the right, whose radius is 217.00 feet and whose chord bears North 70°31'55" East, 139.61 feet to point of tangency; North 89°17'46" East, 217.75 feet to a point of curvature; Southeasterly 151.13 feet along the arc said curve to the right, whose radius is 567.00 feet and whose chord bears South 83°04'05" East, 150.68 to a point of compound curvature; Southeasterly 43.64 feet along the arc of said curve to the right, whose radius is 30.00 feet and whose chord bears South 33°45'35" East, 39.89 feet of reverse curve; Northeasterly 384.45 feet along the arc of said curve to the left, whose radius is 80.00 feet and whose chord bears North 50°14'35" East, 107.74 feet; thence North 00°42'14" West along the west line of said Certified Survey Map No. 3219, 1066.06 feet to the Point of Beginning.

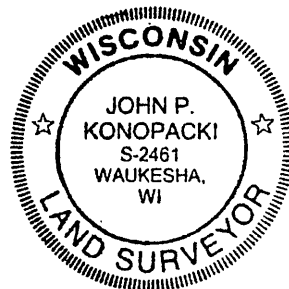
Containing 6,838,094 square feet (156.9810 acres) of land, more or less.

That I have made such survey, land division and map by the direction of WISPARK, LLC, owner of said land.

That such plat is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of s.236.34 of the Wisconsin State Statutes and the Village of Caledonia Land Division Ordinance in surveying, mapping and dividing the same.

Date: JUNE 28, 2018




John P. Konopacki
Professional Land Surveyor S-2461

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

REG JOB #390.01
SHEET 10 OF 12

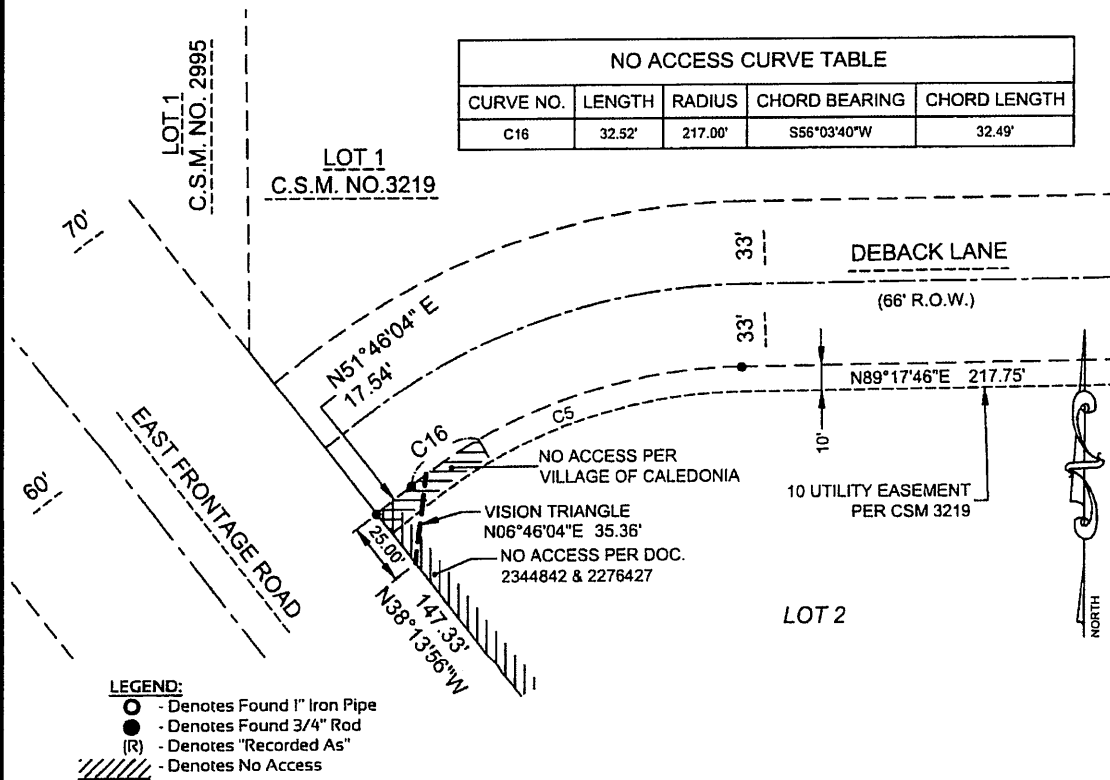
VOL 10 PAGE 928

CERTIFIED SURVEY MAP NO. 3308

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

NO ACCESS AND VISION CORNER EASEMENT DETAIL

SCALE=1"=60'

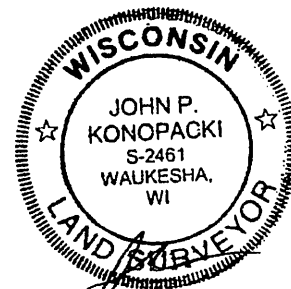


NO ACCESS NOTE:

WISPARK, LLC, as owner, hereby restricts all lots in that no owner possessor, user, nor licensee, nor other person shall have any right of direct vehicular ingress or egress with East Frontage Road, as shown on this certified survey map; it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to s.236.293 of the Wisconsin State Statutes, and shall be enforceable by the Department of Transportation.

VISION CORNER EASEMENT RESTRICTIONS:

No structure or improvements of any kind is permitted within the vision corner.
No vegetation within the vision corner may exceed 30 inches in height.



JUNE 28, 2018

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PECJOB#390.10
SHEET 11 OF 12

VOL 10 PAGE 929

CERTIFIED SURVEY MAP NO. 3302

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

OWNER'S CERTIFICATE OF DEDICATION

WISPARK, LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this certified survey map to be surveyed, divided, mapped and dedicated as represented on this certified survey map.

I also certify that this certified survey map is required by s.236.10 or s.236.12 of the Wisconsin State Statutes to be submitted to the following for approval or objection:

1. Village of Caledonia

IN WITNESS WHEREOF, the said WISPARK, LLC has caused these presents to be signed by (name) Erica-Nicole Harris, (title) vice president, at Milwaukee, Milwaukee County, Wisconsin, on this 10th day of July, 2018.

In the presence of: WISPARK, LLC

signature [Signature]
ERICA-NICOLE HARRIS,
VICE PRESIDENT

STATE OF WISCONSIN)
Milwaukee COUNTY) SS

Personally came before me this 10 day of July, 2018 (name) Erica-Nicole Harris, (title) Vice President, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Arcan J. Wampala
Notary Public
Name: Susan L. Warzala
State of Wisconsin
My Commission Expires: 2/2/2021



VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Caledonia on this 2nd day of July, 2018.

7/11/2018
Date

[Signature]
Karie Torkilsen, Village Clerk

FROM ALL OF:

104-04-22-30-015-200

TO:

LOT 1: 104-04-22-30-015-201

LOT 2: 104-04-22-30-015-202

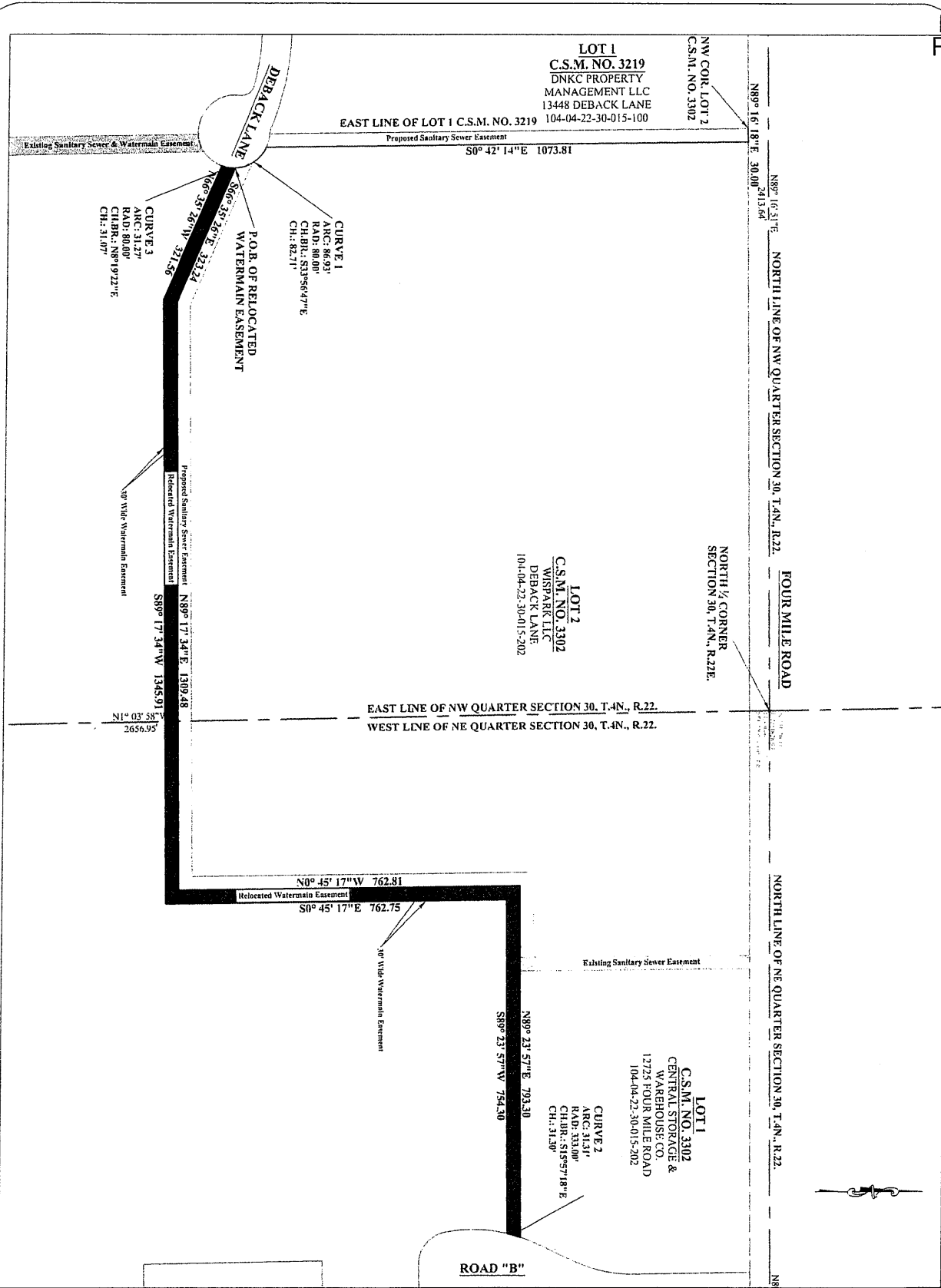


JUNE 28, 2018

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEGJOB#390.10
SHEET 12 OF 12



General Notes

No.	Revision/Issue	Date

Prepared by: **Village of Caledonia**
Engineering Department
5043 Chester Lane
Racine, WI 53402

Checked by: **Barbara, Proj. Watermain Easement Relocation**

Printed Date: 10/6/2020	Sheet 1 of 2
----------------------------	-----------------

30' Permanent Watermain Easement

That part of Lot 2 of Certified Survey Map No. 3302 being a redivision of all of Lot 2 of Certified Survey Map No. 3219, located in the Southwest ¼ and Northwest ¼ of the Northeast ¼ and the Northeast ¼, Southeast ¼, Southwest ¼, and Northwest ¼ of the Northwest ¼ of Section 30, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin bounded and described as follows:

Commencing at the Northwest corner of Lot 2 of said Certified Survey Map No. 3302; thence North 89°16'18" East, 30.00 feet along the South right of way line of Four Mile Road and the North line of said Lot 2; thence South 00°42'14" East, 1,073.81 feet along the East side of a Proposed Sanitary Sewer Easement to the North right of way line of DeBack Lane and a start of a curve to the left having a radius of 80.00 feet and a chord bearing South 33°56'47" East 82.71 feet; thence Southeasterly 86.93 feet along said curve and North right of way line to the Southwest corner of a 30' Proposed Sanitary Sewer Easement and the point of beginning; thence continuing South 66°35'26" East, 323.24 feet along the South line of said Proposed Sanitary Sewer Easement; thence North 89°17'34" East, 1,309.48 feet along the South line of said Proposed Sanitary Sewer Easement; thence North 0°45'17" West 762.81 feet along the East line of said Proposed Sanitary Sewer Easement; thence North 89°23'57" East 793.30 feet along the South line of said Proposed Sanitary Sewer Easement and Lot 1 of Certified Survey Map No. 3302 to the West right of way line of Road "B" and the start of a curve to the right having a radius of 333.00 feet and a chord bearing South 15°57'18" West 31.30 feet; thence Southwesterly 31.31 feet along said curve and West right of way line; thence South 89°23'57" West 754.30 feet; thence South 0°45'17" East 762.75 feet, thence South 89°17'34" West 1,345.91 feet; thence North 66°35'26" West 321.56 feet to the right of way line of DeBack Lane and the start of a curve to the right having a radius of 80.00 feet and a chord bearing North 8°19'22" East 31.07 feet; thence Northerly 31.27 feet along said curve and right of way to the point of beginning.

Containing 95,561 square feet (2.19 acres), more or less.

Owner: Wispark LLC

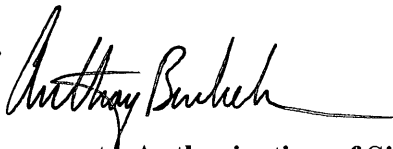
Tax Parcel ID no.: 104-04-22-30-015-202

Address: DeBack Lane

MEMORANDUM

DATE: Monday, March 29, 2021

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Utility Director 

RE: DeBack Farms Drain Tile Easement - Authorization of Signatures

BACKGROUND INFORMATION

During construction of the DeBack Farms Business Park a large drain tile was discovered that drained North to South through the Park. WisPark LLC was required to reroute the drain tile through the Park to avoid the proposed building pads. As a condition of approval of the Drain Tile an Easement was required to be granted to allow the District to maintain the Drain Tile going forward.

Attached is the Drain Tile Easement that has been executed by the owner, and Village. The closing for the Scannell Development required that this document be recorded prior to the meeting to avoid a change in the property owner.

As an after the fact approval, it is recommended that the signatures of the President & Secretary of the Utility District are authorized.

RECOMMENDATION

Move to authorize the President and Secretary of the Caledonia Utility District to execute the Drain Tile Easement with WisPark LLC for the DeBack Farms Business Park.

MUNICIPAL DRAIN TILE
EASEMENT AGREEMENT
(Between Caledonia and Wispark)
(Permanent Drain Tile)

Document # **2585787**
RACINE COUNTY REGISTER OF DEEDS
March 24, 2021 4:05 PM

Karie Pope
KARIE POPE
RACINE COUNTY
REGISTER OF DEEDS
Fee Amount: \$30.00

**The above recording information verifies
this document has been electronically recorded**
Returned to Quarles & Brady LLP
Pages: 21

Document Number _____ Document Title _____

This agreement ("Agreement") is made and entered into as
of the 24th day of March, 2021 (the "Effective Date"),
by and between:

- a) WISPARK LLC, being a Wisconsin limited liability company with offices located at 231 West Michigan Street, Milwaukee, Wisconsin 53203 (hereinafter referred to as "Owner"); and
- b) The VILLAGE OF CALEDONIA, being a municipal corporation and village created under the laws of the State of Wisconsin, with its Village Hall located at 5043 Chester Lane, Racine, Wisconsin 53402 (hereinafter referred to as the "Village"); and
- c) The VILLAGE OF CALEDONIA UTILITY DISTRICT, being a utility district established by the Village of Caledonia under the laws of the State of Wisconsin, with utility district offices located at 333 4½ Mile Road, Racine, Wisconsin 53402 (hereinafter referred to as the "Utility District").

Recording Area

Name and Return Address

Anthony Bunkelman
Village of Caledonia
5043 Chester Lane
Racine, WI 53402

51-104-04-22-30-015-202

Parcel Identification Number (PIN)

Introduction

The Village is located in Racine County, Wisconsin. The Village, through the Utility District, owns and operates a municipal storm water drainage system (hereinafter referred to as the "District System").

MUNICIPAL DRAIN TILE
EASEMENT AGREEMENT
(Between Caledonia and Wispark)
(Permanent Drain Tile)

Document Number

Document Title

This agreement ("Agreement") is made and entered into as of the 24th day of March, 2021 (the "Effective Date"),

by and between:

- a) WISPARK LLC, being a Wisconsin limited liability company with offices located at 231 West Michigan Street, Milwaukee, Wisconsin 53203 (hereinafter referred to as "Owner"); and
- b) The VILLAGE OF CALEDONIA, being a municipal corporation and village created under the laws of the State of Wisconsin, with its Village Hall located at 5043 Chester Lane, Racine, Wisconsin 53402 (hereinafter referred to as the "Village"); and
- c) The VILLAGE OF CALEDONIA UTILITY DISTRICT, being a utility district established by the Village of Caledonia under the laws of the State of Wisconsin, with utility district offices located at 333 4½ Mile Road, Racine, Wisconsin 53402 (hereinafter referred to as the "Utility District").

Recording Area

Name and Return Address

Anthony Bunkelman
Village of Caledonia
5043 Chester Lane
Racine, WI 53402

51-104-04-22-30-015-202

Parcel Identification Number (PIN)

Introduction

The Village is located in Racine County, Wisconsin. The Village, through the Utility District, owns and operates a municipal storm water drainage system (hereinafter referred to as the "District System").

Owner is the sole record-title owner of the parcel of real property (hereinafter referred to as the “Property”) located in the Village of Caledonia, Racine County, Wisconsin, that is described, in part, in attached Exhibit A.

This present Agreement is being entered into by the above-named parties to grant to the Village and the Utility District a permanent easement with respect to (i) the municipal drain tile, and (ii) related customary drain tile facilities (collectively, the “Drain Tile”) that Owner has constructed, at Owner’s own cost and expense, on the Property, and which is located in, on or under the Drain Tile Easement Area (as defined below). The Drain Tile was then subsequently dedicated by the Owner to the Village, and is now owned by the Village, and is a part of the District System.

The parties acknowledge that as of the Effective Date the Construction Project has been completed.

NOW, THEREFORE, IN CONSIDERATION OF THE MUTUAL COVENANTS AND PROMISES HEREINAFTER DESCRIBED, THE ABOVE-NAMED PARTIES HEREBY AGREE AS FOLLOWS:

1. Introduction is Correct. The foregoing “Introduction” is true and correct, and is hereby incorporated into this Agreement by reference.

2. Easement Granted. Owner hereby grants to the Village and the Utility District a permanent Drain Tile easement (the “Drain Tile Easement”) in, on, and under the portion of the Property described below as the Drain Tile Easement Area, to undertake, at the Village’s expense, the inspection, maintenance, repair, and/or replacement of the Drain Tile . The Village and/or Utility District shall, at its own expense, inspect, maintain, repair, and/or replace the Drain Tile, to keep such facilities in good condition and repair at all times. If the Drain Tile Easement Area is

encumbered by any restrictions, created by a written agreement to which the Village is a signatory party, that require all such facilities to be underground, they shall be underground or on the surface of the ground.

3. Drain Tile Easement. Attached as Exhibit B is (i) a diagram showing the permanent Drain Tile Easement Area granted by Owner on the Property to the Village and the Utility District, and (ii) the legal description of such permanent Drain Tile Easement Area.

4. Access to Drain Tile Easement Area. The Village, the Utility District, and/or their officials, officers, employees, contractors, engineers, consultants, and agents are hereby given the permanent non-exclusive right to go upon and enter the Drain Tile Easement Area at such times as the Village and/or the Utility District reasonably need, for the purpose of exercising the easement rights granted herein.

5. Restrictions on Owner. Owner shall not construct (nor allow any third party to construct) any type of structure and/or place any type of obstruction in, over, under, on, or upon the Drain Tile Easement Area, and shall not materially impede or obstruct the exercise of the easement rights granted hereunder. Notwithstanding the foregoing, however, Owner (and/or his/her/its assignee, successor(s) in title, or tenant) may construct, install, and maintain pedestrian pathways, driveways, roadways, parking lots and landscaping over the Drain Tile Easement Area, provided that such construction and use does not damage the Drain Tile and/or the related infrastructure located in the Drain Tile Easement Area.

6. Restoration of Disturbed Areas. To the extent the Village and/or the Utility District, in its reasonable discretion, deems it necessary for the exercise of its easement rights granted hereunder, the Village/Utility District may remove from the Drain Tile Easement Area obstructions, and/or any plants, shrubs, bushes, trees, or other vegetation, and the Village/Utility

District shall not be required to restore or replace such items, except, however, the Village/Utility District shall restore any disturbed portion of the natural vegetation and/or landscaping of the Drain Tile Easement Area by seeding the same with grass seed. In addition, the Village/Utility District shall promptly repair and restore any pedestrian pathways, driveways, parking lots and/or roadways (to their previously existing condition) located in the Drain Tile Easement Area that may be damaged by the Village or Utility District.

7. Indemnity and Hold Harmless. In consideration of the foregoing grant, it is understood that during the time the said Drain Tile is located on Owner's property, the Village shall, and hereby does indemnify and save Owner, its successors and assigns, harmless from any and all claims for injury or death to any person or for damage to property of any person arising out of Village or Utility District's exercise of any of its rights under this Agreement; excepting, however, any claims or action to the extent arising out of negligence or willful acts on the part of Owner, its successor and/or assigns, and/or the officers, directors, shareholders, members, partners, employees, consultants, invitees, and/or agents of the then Owner.

8. Runs with the Land. This Agreement shall run with the land of the Property described herein, and shall inure to the benefit of, and be binding upon, the parties to this Agreement and their respective successors and assigns.

9. Governing Law. This Agreement shall be governed, controlled, construed, and interpreted by and under the laws of the State of Wisconsin. The venue for any legal action pertaining to and/or arising under this Agreement shall solely and exclusively be Racine County Circuit Court in Racine County, Wisconsin.

10. Recording. This Agreement shall be binding upon and shall inure to the benefit of the parties hereto, and their successors and assigns. This Agreement shall be recorded by the Village at the Office of the Register of Deeds for Racine County, Wisconsin.

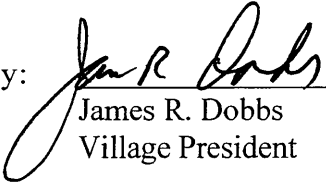
11. Termination and Release of Easements on CSM. The following easements, as described on Sheet 6 of 12 of that certain Certified Survey Map No. 3302, recorded in the Office of the Register of Deeds, for Racine County, Wisconsin, as Document No. 2498467, on the date of July 13, 2018, are hereby terminated and released and shall be of no further force or effect: (a) the easement described thereon as the “Drain Tile Easement Recorded via Separate Document,” and (b) the easement described thereon as the “30’ Drain Tile Easement.”

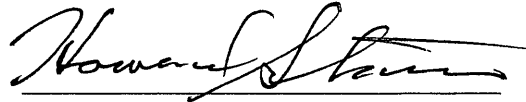
12. Effect on Encumbrances. Other than the terminations in paragraph 11, above, this Agreement only affects and encumbers the Drain Tile Easement Area. This Agreement DOES NOT affect or encumber any other portion of the Property in which the Drain Tile Easement Area is located. The inclusion of any other non-affected portions of the respective properties contained in the Exhibits of this Agreement are so included in those Exhibits for the sole purpose of providing clarity as to the location of the said affected/encumbered easement areas on the said properties.

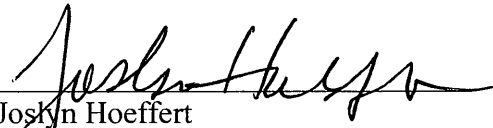
13. Other Utility Use. This easement shall be non-exclusive, and Owner shall have the right to install, in the Drain Tile Easement Area, other utility facilities, including, without limitation, cable, internet, fiber optic, telephone, gas and electric facilities, after securing the approval of the Village, as to the location of such facilities, both parallel installations and installations which cross the Drain Tiles, to assure appropriate spacing of such utilities, and protection of the Drain Tiles, which consent shall not be unreasonably withheld. The Village may require when replacing, repairing, and/or maintaining the Drain Tiles, additional protection for the Drain Tiles during that process.

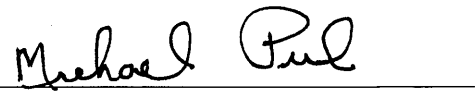
VILLAGE:
Village of Caledonia

UTILITY DISTRICT:
The Village of Caledonia Utility District

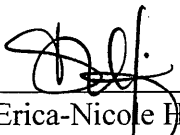
By: 
James R. Dobbs
Village President

By: 
Howard Stacey
President

Attest: 
Joslyn Hoeffert
Deputy Village Clerk

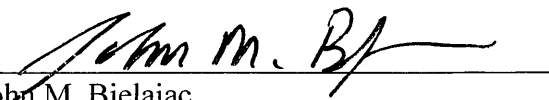
Attest: 
Michael Pirk
Secretary

OWNER:
Wispark LLC

By: 
Erica-Nicole Harris
Vice President

AUTHENTICATION

Signatures of Erica-Nicole Harris, on behalf of Owner, and James R. Dobbs and Joslyn Hoeffert, Village President and Deputy Village Clerk, respectively, of the Village of Caledonia; and Howard Stacey, President, and Michael Pirk, Secretary, of the Village of Caledonia Utility District, authenticated this 24th day of March, 2021.


John M. Bjelajac
Member: State Bar of Wisconsin
State Bar No. 1015325

This Agreement drafted by
Attorney John M. Bjelajac
Post Office Box 38
Racine, Wisconsin 53401-0038
Phone: (262)633-9800
FAX: (262)633-1209
(Attorney for the Village of Caledonia,
and the Village of Caledonia Utility District)

VOL 10 PAGE 918

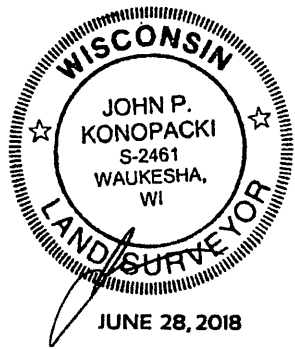
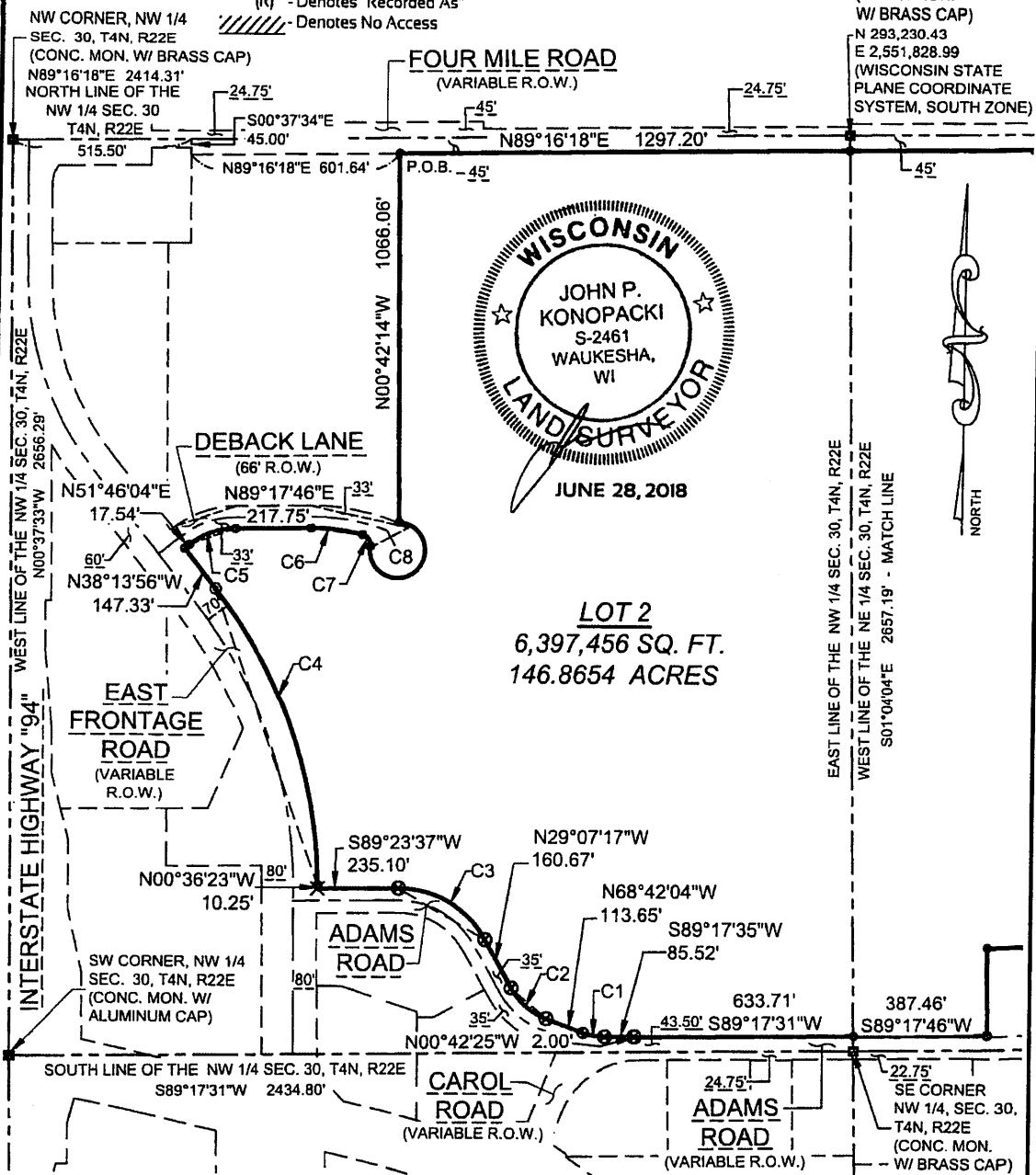
CERTIFIED SURVEY MAP NO. 3302

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

Subject Property Zoning:
 M-3: Heavy Industrial District
 Tax Key Number:
 #104-04-22-30-015-200

- LEGEND:**
- - Denotes Found 1" Iron Pipe
 - ⊗ - Denotes Found 3/4" Iron Pipe
 - ⊙ - Denotes Found Capped 1/2" Iron Rebar
 - ⊚ - Denotes Found 3/4" Iron Rebar
 - ▲ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
 - - Denotes Found Mag Nail
 - ⊕ - Denotes Found Chiseled Cross
 - ⊖ - Denotes Well
 - (R) - Denotes "Recorded As"
 - //// - Denotes No Access

- SEE SHEET 7 FOR BOUNDARY
 CURVE & LINE TABLES
 - SEE SHEET 9 FOR NO ACCESS
 AND VISION CORNERS DETAIL



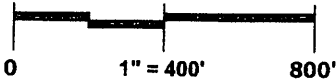
LOT 2
 6,397,456 SQ. FT.
 146.8654 ACRES

VOL 10 PAGE 919

CERTIFIED SURVEY MAP NO. 3302

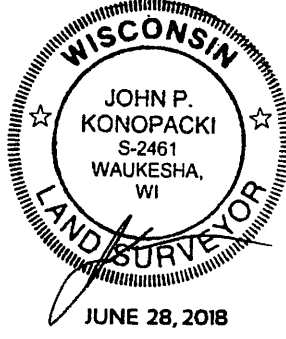
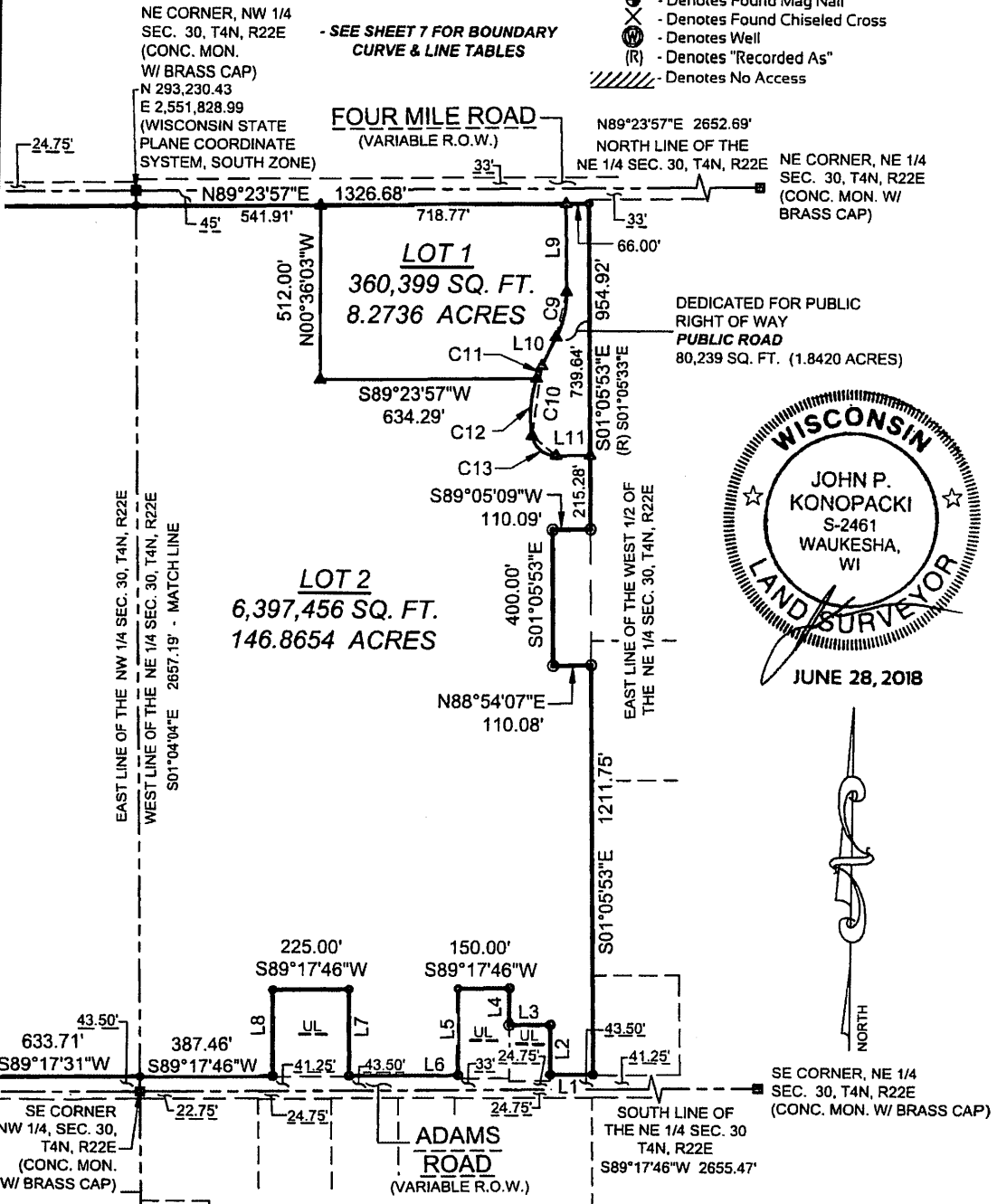
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GRAPHICAL SCALE (FEET)



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Prepared By:
Pinnacle Engineering Group
15850 Bluemound Road | Suite 210
Brookfield, WI 53005
Office: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 2 OF 12

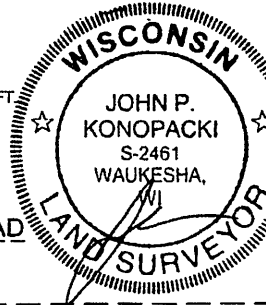
VOL 10 PAGE 920

CERTIFIED SURVEY MAP NO. 3302

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- ⊘ - Denotes Found 3/4" Iron Rebar
- ⊚ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS/FT.
- ⊛ - Denotes Found Mag Nail
- ⊜ - Denotes Found Chiseled Cross
- ⊝ - Denotes Well
- (R) - Denotes "Recorded As"
- - Denotes No Access



JUNE 28, 2018

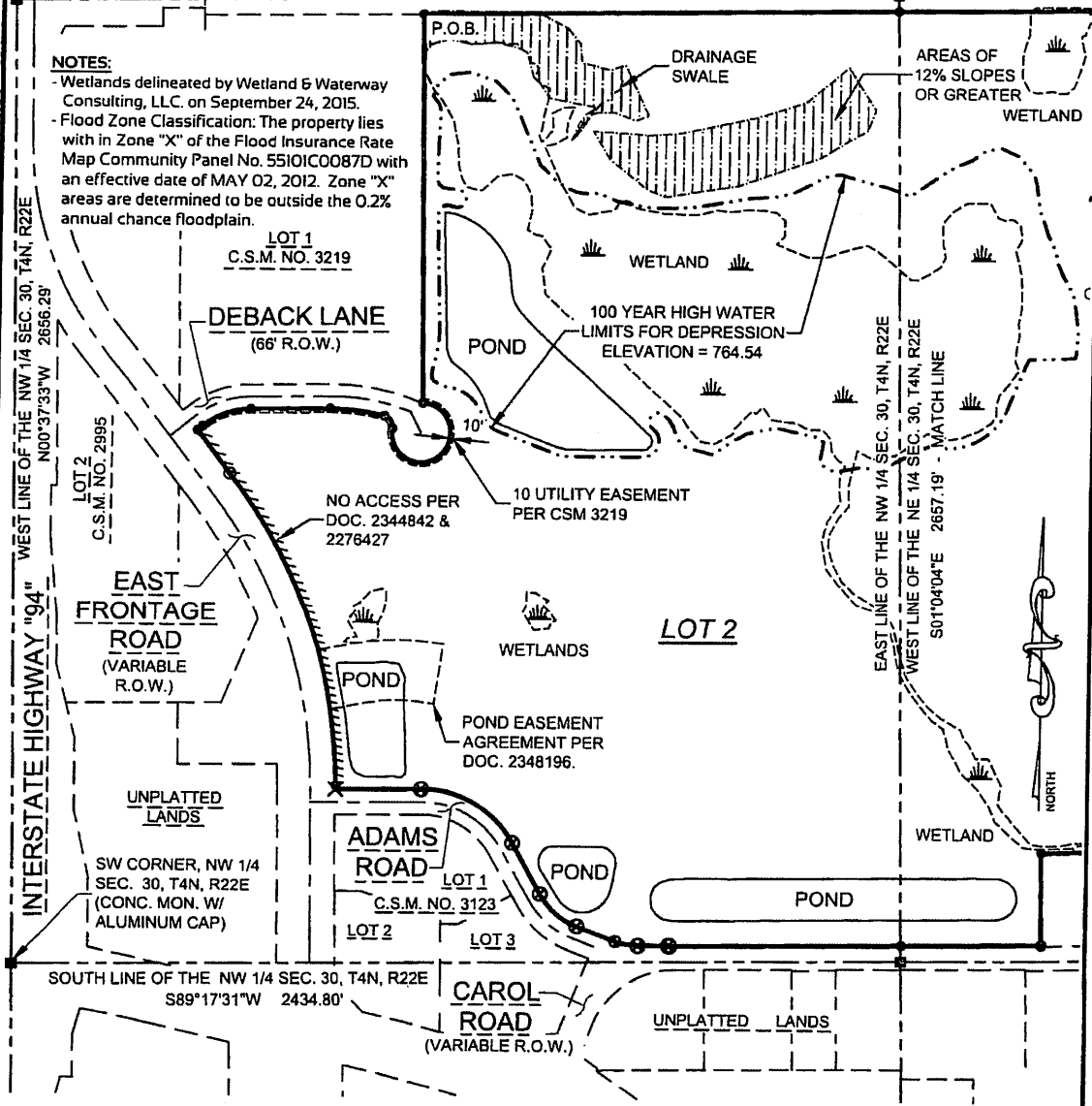
NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

FOUR MILE ROAD
(VARIABLE R.O.W.)

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

NOTES:

- Wetlands delineated by Wetland & Waterway Consulting, LLC. on September 24, 2015.
- Flood Zone Classification: The property lies with in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55101C0087D with an effective date of MAY 02, 2012. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.



WEST LINE OF THE NW 1/4 SEC. 30, T4N, R22E
N00°37'33"W 2656.29'

LOT 2
C.S.M. NO. 2995

EAST LINE OF THE NW 1/4 SEC. 30, T4N, R22E
WEST LINE OF THE NE 1/4 SEC. 30, T4N, R22E
S01°04'04"E 2657.19' - MATCH LINE

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

GRAPHICAL SCALE (FEET)

0 1" = 400' 800'

PEGJOB#390.10
SHEET 3 OF 12

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

VOL 10 PAGE 921

CERTIFIED SURVEY MAP NO. 3308

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

NOTES:

- All measurements have been made to the nearest one-hundredth of a foot and all angular measurements have been made to the nearest one second.
- Right of Way widths and locations are based on Certified Survey Map No. 3219.
- Bearings refer to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The north line of the Northeast 1/4 of Section 30, Township 4 North, Range 22 East has a reference bearing of N89°23'57"E.
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Reference Benchmark: Concrete monument with brass cap at the North corner Section 30, Town 4 North, Range 22 East, Elevation = 782.82.

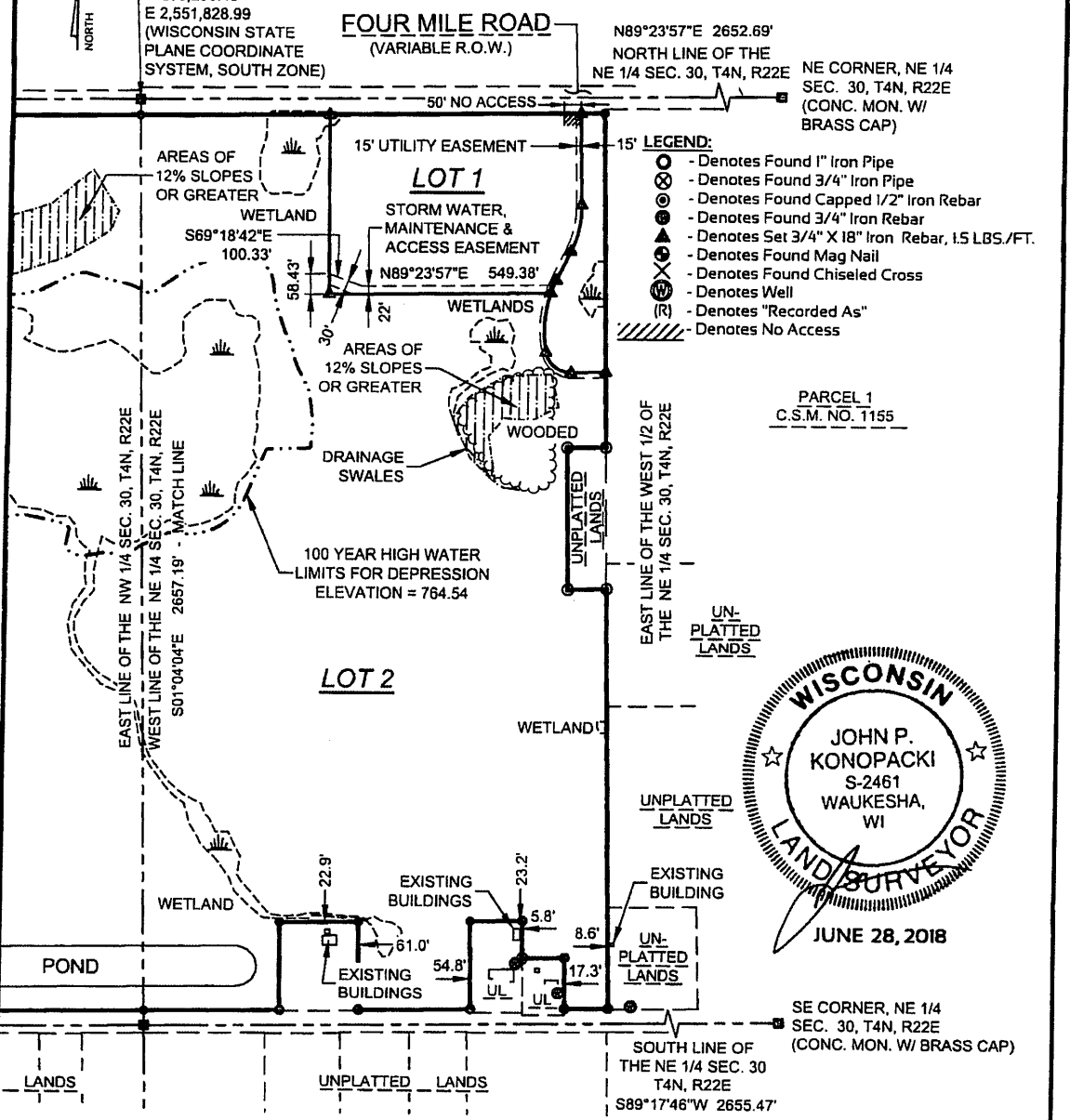
NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43

E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

FOUR MILE ROAD
(VARIABLE R.O.W.)

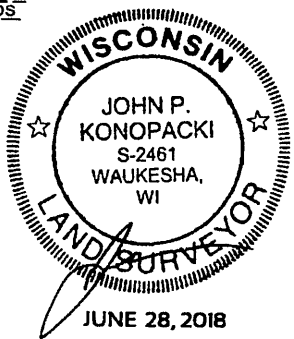
N89°23'57"E 2652.69'
NORTH LINE OF THE
NE 1/4 SEC. 30, T4N, R22E

NE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/
BRASS CAP)



- LEGEND:**
- - Denotes Found 1" Iron Pipe
 - ⊗ - Denotes Found 3/4" Iron Pipe
 - ⊙ - Denotes Found Capped 1/2" Iron Rebar
 - ⊕ - Denotes Found 3/4" Iron Rebar
 - ▲ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
 - ⊙ - Denotes Found Mag Nail
 - ⊗ - Denotes Found Chiseled Cross
 - ⊙ - Denotes Well
 - (R) - Denotes "Recorded As"
 - /// - Denotes No Access

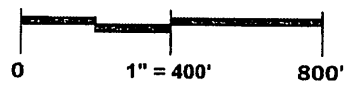
PARCEL 1
C.S.M. NO. 1155



SE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)

SOUTH LINE OF
THE NE 1/4 SEC. 30
T4N, R22E
S89°17'46"W 2655.47'

GRAPHICAL SCALE (FEET)



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15850 BLUEMOUND ROAD | SUITE 210
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OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. 5-2461

PEGJOB#390.10
SHEET 4 OF 12

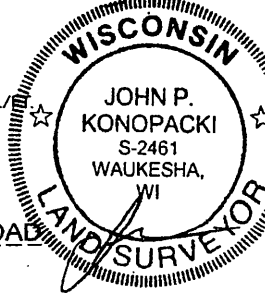
VOL 10 PAGE 922

CERTIFIED SURVEY MAP NO. 3307

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LEGEND:

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- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- ⊕ - Denotes Found 3/4" Iron Rebar
- ⊖ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS.
- ⊗ - Denotes Found Mag Nail
- ⊕ - Denotes Found Chiseled Cross
- ⊖ - Denotes Well
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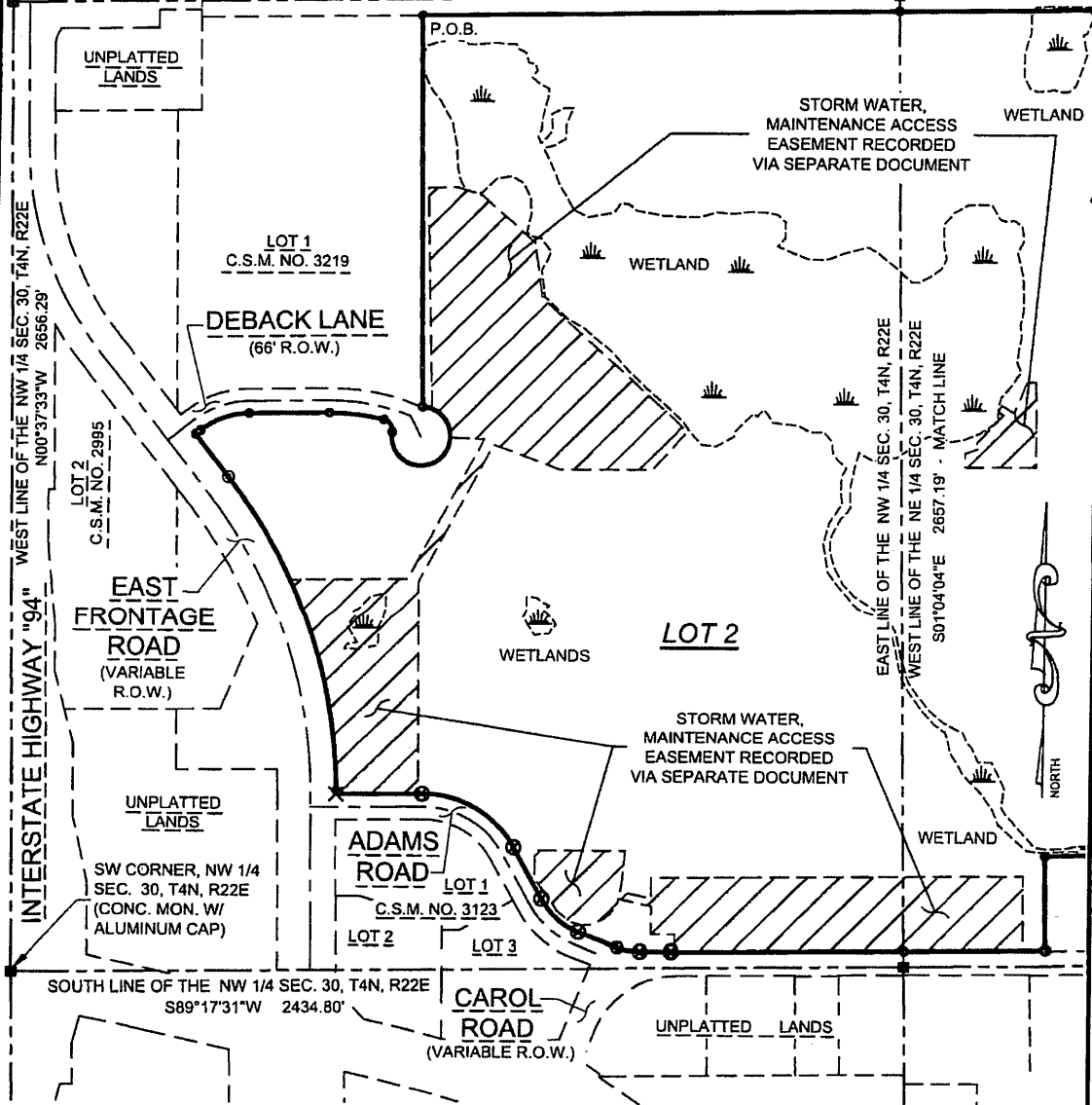


JUNE 28, 2018

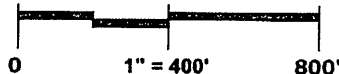
NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

FOUR MILE ROAD
(VARIABLE R.O.W.)

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)



GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 5 OF 12

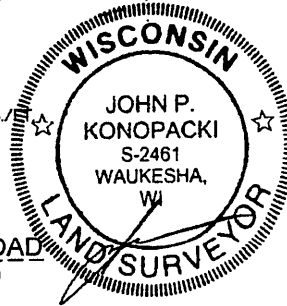
VOL 10 PAGE 923

CERTIFIED SURVEY MAP NO. 3302

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

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- - Denotes Found 3/4" Iron Rebar
- ▲ - Denotes Set 3/4" X 18" Iron Rebar, 15 LBS.
- ⊕ - Denotes Found Mag Nail
- ⊗ - Denotes Found Chiseled Cross
- ⊙ - Denotes Well
- (R) - Denotes "Recorded As"
- ▨ - Denotes No Access

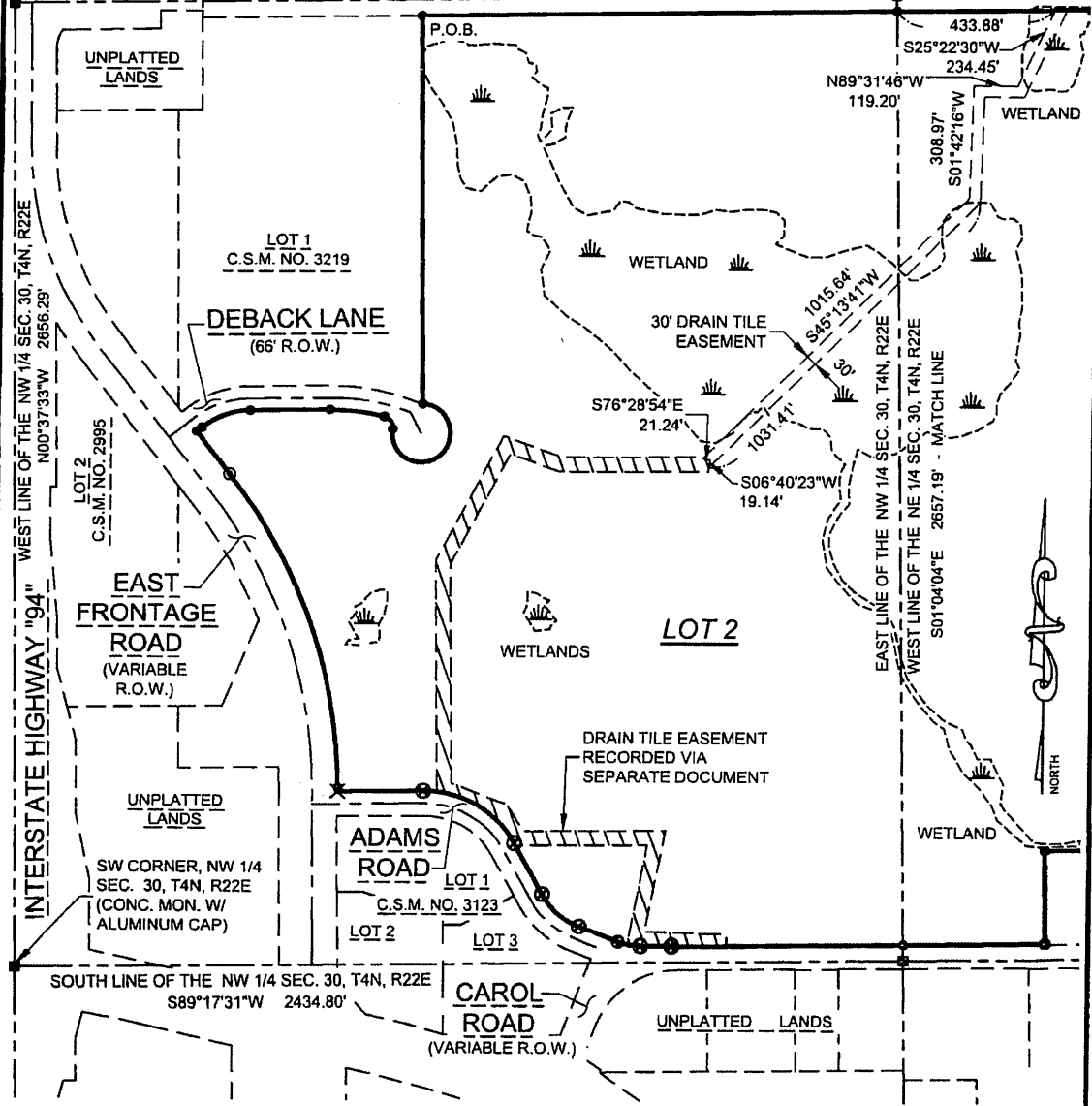


JUNE 28, 2018

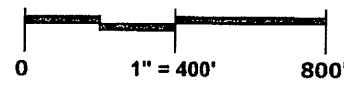
NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

FOUR MILE ROAD
(VARIABLE R.O.W.)



GRAPHICAL SCALE (FEET)



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PEG JOB#390.10
SHEET 6 OF 12

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

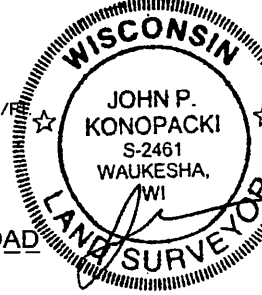
VOL 10 PAGE 924

CERTIFIED SURVEY MAP NO. 3308

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- ⊙ - Denotes Well
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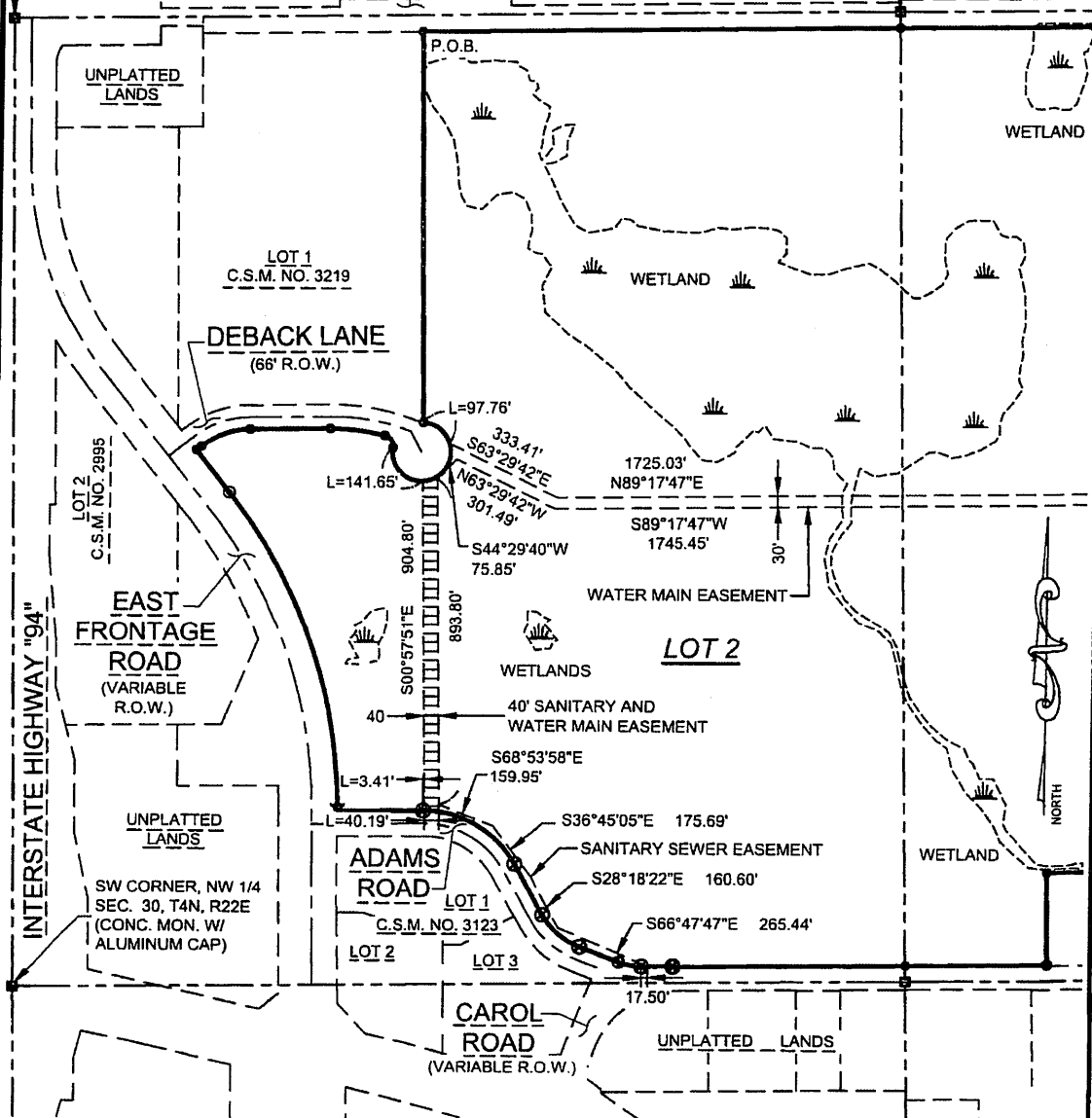


JUNE 28, 2018

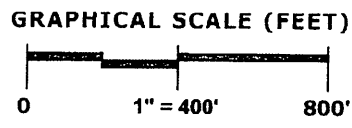
NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
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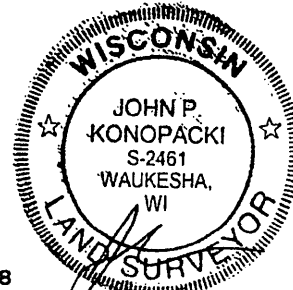


NOTE: STORM WATER,
SANITARY SEWER AND
WATER MAIN EASEMENTS
TO BE RECORDED VIA
SEPARATE DOCUMENT

VOL 10 PAGE 925

CERTIFIED SURVEY MAP NO. 3300

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

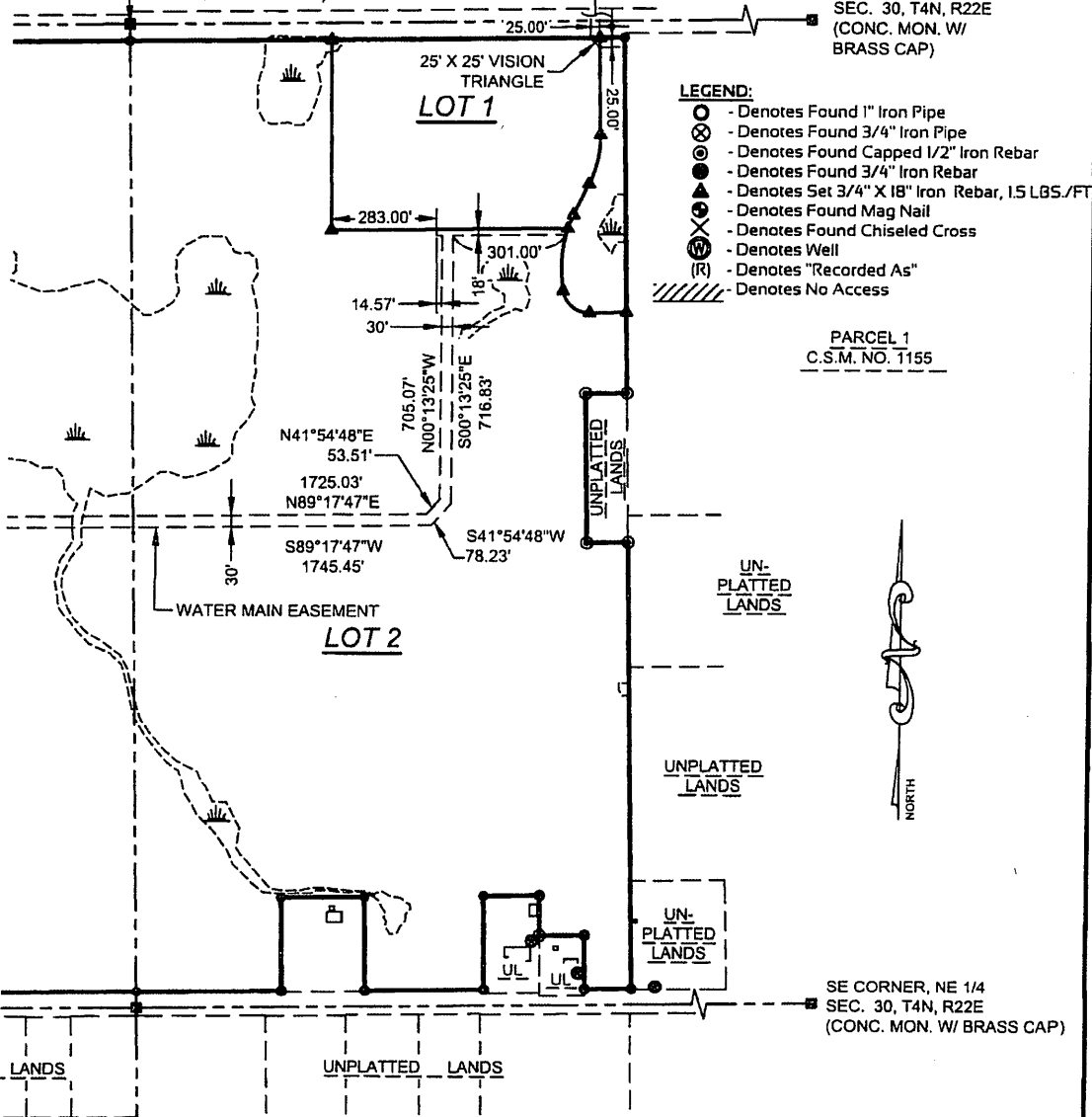


NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.)
W/ BRASS CAP
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

FOUR MILE ROAD
(VARIABLE R.O.W.)

JUNE 28, 2018

NE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/
BRASS CAP)

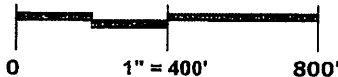


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PARCEL 1
C.S.M. NO. 1155



GRAPHICAL SCALE (FEET)



NOTE: STORM WATER,
SANITARY SEWER AND
WATER MAIN EASEMENTS
TO BE RECORDED VIA
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PEG JOB#390.10
SHEET 8 OF 12

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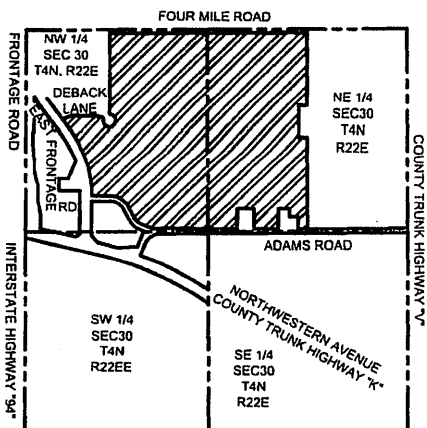
This instrument drafted by John P. Konopacki, PLS-License No. S-2461

VOL 10 PAGE 926

CERTIFIED SURVEY MAP NO. 3300

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VICINITY MAP SCALE 1"=2000'



BOUNDARY LINE TABLE

LINE NO.	BEARING	DISTANCE
L1	S89°17'46"W	124.98'
L2	N00°42'14"W	148.00'
L3	S89°17'46"W	120.00'
L4	N00°42'14"W	108.17'
L5	S00°42'14"E	256.17'
L6	S89°17'46"W	320.00'
L7	N00°42'14"W	256.17'
L8	S00°42'14"E	256.17'
L9	S01°05'53"E	258.41'
L10	S25°30'07"W	93.65'
L11	N88°54'07"E	98.70'

BOUNDARY CURVE TABLE

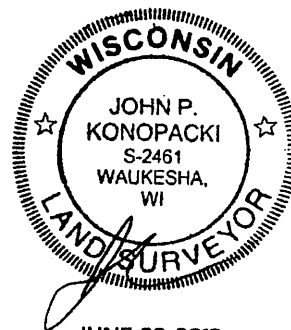
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT IN	TANGENT OUT
C1	63.37'	165.00'	022°00'21"	N79°42'15"W	62.98'	N89°17'35"E	S68°42'04"E
C2	138.16'	200.00'	039°34'47"	N48°54'41"W	135.43'	S68°42'04"E	N29°07'17"W
C3	305.84'	285.00'	061°29'06"	N59°31'50"W	291.37'	N29°07'17"W	S89°23'37"W
C4	932.12'	1420.00'	037°36'36"	N19°25'38"W	915.47'	N00°37'19"W	N38°13'56"W
C5	142.13'	217.00'	037°31'42"	N70°31'55"E	139.61'	S89°17'46"W	S51°46'04"W
C6	151.13'	567.00'	015°16'18"	S83°04'05"E	150.68'	N75°25'56"W	S89°17'46"W
C7	43.64'	30.00'	83°20'42"	S33°45'35"E	39.89'	N07°54'47"E	N75°25'56"W
C8	384.45'	80.00'	275°20'23"	N50°14'35"E	107.74'	S87°25'36"E	N07°54'47"E
C9	137.42'	296.00'	026°36'00"	S12°12'07"W	136.19'	S01°05'53"E	S25°30'07"W
C10	211.54'	333.00'	036°23'54"	S7°18'10"W	208.01'	S25°30'07"W	S10°53'47"E
C11	39.79'	333.00'	006°50'50"	S22°04'42"W	39.77'		
C12	171.75'	333.00'	029°33'04"	S3°52'45"W	169.85'		
C13	100.78'	72.00'	080°12'06"	S50°59'50"E	92.76'	S10°53'47"E	N88°54'07"E

WETLAND RESTRICTIONS

- Grading and filling are prohibited, unless specifically authorized by the municipality in which this land is located and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
- The removal of topsoil or other earthen materials is prohibited.
- The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that dead, diseased or dying vegetation may be removed.
- Grazing by domesticated animals, i.e., horses, cows, etc., is prohibited.
- The introduction of plant material not indigenous to the existing environment of the Wetland area is prohibited.
- Ponds may be permitted subject to the approval of the municipality and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
- The construction of buildings is prohibited.

Prepared By:
PINNACLE ENGINEERING GROUP
 15850 BLUEMOUND ROAD | SUITE 210
 BROOKFIELD, WI 53005
 OFFICE: (262) 754-8888

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JUNE 28, 2018

PEG JOB#390.10
 SHEET 9 OF 12

VOL 10 PAGE 927

CERTIFIED SURVEY MAP NO. 3308

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SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and redivided all of Lot 2 of Certified Survey Map No. 3219, recorded in the Office of the Register of Deeds for Racine County on October 4, 2016 as Document No. 2446965, located in the in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, which is bounded and described as follows:

Commencing at the northwest corner of the Northwest 1/4 of said Section 30; thence North 89°16'18" East along the north line of said Northwest 1/4, 515.50 feet; thence South 00°37'34" East, 45.00 feet to the south right of way line of Four Mile Road; thence North 89°16'18" East along said south right of way line, 601.64 feet to the point of beginning:

Thence continuing North 89°16'18" East along said south right of way line, 1297.20 feet; thence North 89°23'57" East along said south right of way line, 1326.68 feet to the east line of the West 1/2 of said Northeast 1/4; thence South 01°05'53" East along said east line, 954.92 feet; thence South 89°05'09" West, 110.09 feet; thence South 01°05'53" East, 400.00 feet; thence North 88°54'07" East, 110.08 feet to the aforesaid east line; thence South 01°05'53" East along said east line, 1211.75 feet to the north right of way line of Adams Road; thence South 89°17'46" West along said north right of way line, 124.98 feet; thence North 00°42'14" West, 148.00 feet; thence South 89°17'46" West, 120.00 feet; thence North 00°42'14" West, 108.17 feet; thence South 89°17'46" West, 150.00 feet; thence South 00°42'14" East, 256.17 feet to the aforesaid north right of way line; thence South 89°17'46" West along said south line, 320.00 feet; thence North 00°42'14" West, 256.17 feet; thence South 89°17'46" West, 225.00 feet; thence South 00°42'14" East, 256.17 feet to the aforesaid north right of way line; thence the following courses along said north right of way line: South 89°17'46" West, 387.46 feet; South 89°17'31" West, 633.71 feet; North 00°42'25" West, 2.00 feet; South 89°17'35" West, 85.52 feet to a point of curvature; Northwesterly 63.37 feet along the arc of said curve to the right, whose radius is 165.00 feet and whose chord bears North 79°42'15" West, 62.98 feet; North 68°42'04" West, 113.65 feet to a point of curvature; Northwesterly 138.16 feet along the arc of said curve to the right, whose radius is 200.00 feet and whose chord bears North 48°54'41" West, 135.43 feet; North 29°07'17" West, 160.67 feet to a point of curvature; Northwesterly 305.84 feet along the arc of said curve to the left, whose radius is 285.00 feet and whose chord bears North 59°51'50" West, 291.37 feet; South 89°23'37" West, 235.10 feet to the east right of way line of East Frontage Road; thence North 00°36'23" West along said east right of way line, 10.25 feet to a point of curvature; thence Northwesterly 932.12 feet along the arc of said curve to the left and said east right of way line, whose radius is 1420.00 feet and whose chord bears North 19°25'38" West, 915.47 feet; thence North 38°13'56" West along said east right of way line, 147.33 feet to south right of way line of Deback Lane; thence the following courses along the south and then north right of way line of said Deback Lane: North 51°46'04" East, 17.54 feet to a point of curvature; Northeasterly 142.13 feet along the arc of said curve to the right, whose radius is 217.00 feet and whose chord bears North 70°31'55" East, 139.61 feet to point of tangency; North 89°17'46" East, 217.75 feet to a point of curvature; Southeasterly 151.13 feet along the arc said curve to the right, whose radius is 567.00 feet and whose chord bears South 83°04'05" East, 150.68 to a point of compound curvature; Southeasterly 43.64 feet along the arc of said curve to the right, whose radius is 30.00 feet and whose chord bears South 33°45'35" East, 39.89 feet of reverse curve; Northeasterly 384.45 feet along the arc of said curve to the left, whose radius is 80.00 feet and whose chord bears North 50°14'35" East, 107.74 feet; thence North 00°42'14" West along the west line of said Certified Survey Map No. 3219, 1066.06 feet to the Point of Beginning.

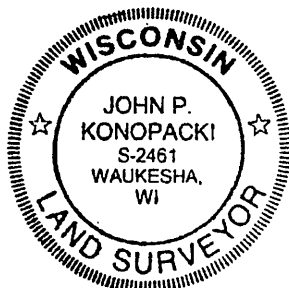
Containing 6,838,094 square feet (156.9810 acres) of land, more or less.

That I have made such survey, land division and map by the direction of WISPARK, LLC, owner of said land.

That such plat is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of s.236.34 of the Wisconsin State Statutes and the Village of Caledonia Land Division Ordinance in surveying, mapping and dividing the same.

Date: JUNE 28, 2018



[Signature]
John P. Konopacki
Professional Land Surveyor S-2461

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.01
SHEET 10 OF 12

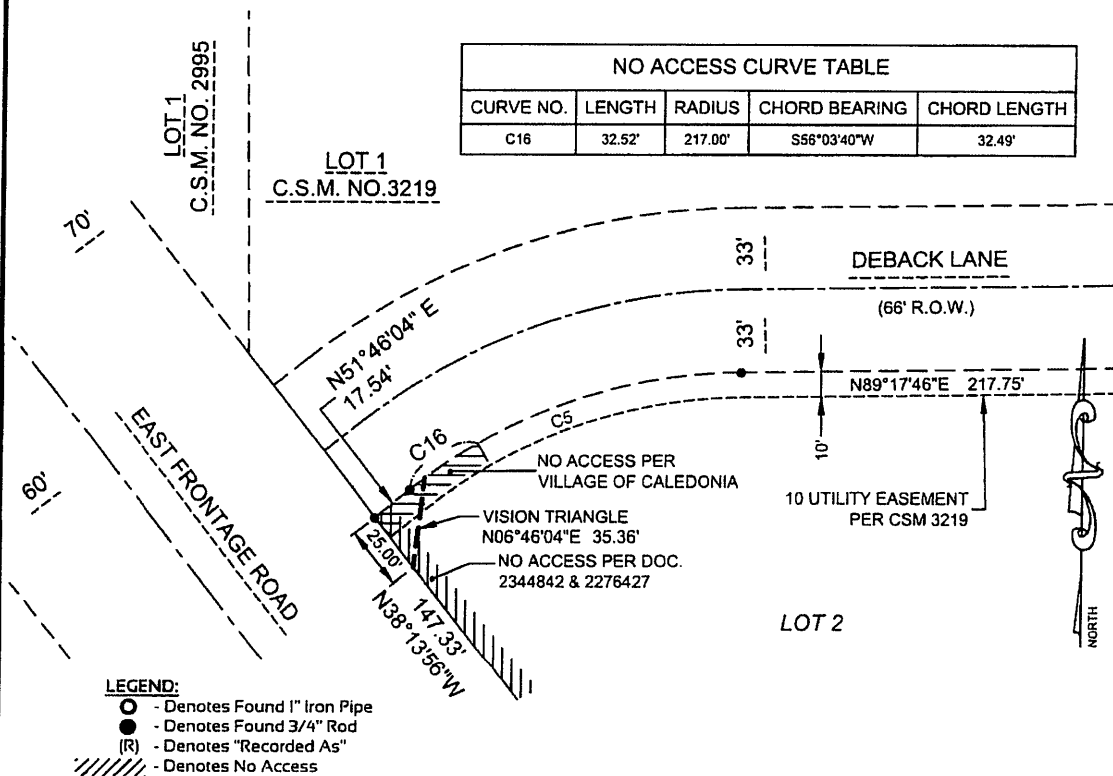
VOL 10 PAGE 928

CERTIFIED SURVEY MAP NO. 3308

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

NO ACCESS AND VISION CORNER EASEMENT DETAIL

SCALE=1"=60'

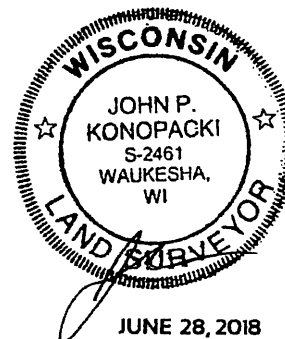


NO ACCESS NOTE:

WISPARK, LLC, as owner, hereby restricts all lots in that no owner, possessor, user, nor licensee, nor other person shall have any right of direct vehicular ingress or egress with East Frontage Road, as shown on this certified survey map; it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to s.236.293 of the Wisconsin State Statutes, and shall be enforceable by the Department of Transportation.

VISION CORNER EASEMENT RESTRICTIONS:

No structure or improvements of any kind is permitted within the vision corner.
No vegetation within the vision corner may exceed 30 inches in height.



JUNE 28, 2018

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 11 OF 12

CERTIFIED SURVEY MAP NO. 3308

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

OWNER'S CERTIFICATE OF DEDICATION

WISPARK, LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this certified survey map to be surveyed, divided, mapped and dedicated as represented on this certified survey map.

I also certify that this certified survey map is required by s.236.10 or s.236.12 of the Wisconsin State Statutes to be submitted to the following for approval or objection:

1. Village of Caledonia

IN WITNESS WHEREOF, the said WISPARK, LLC has caused these presents to be signed by (name) ERICA-NICOLE HARRIS, (title) vice president, at Milwaukee, Milwaukee County, Wisconsin, on this 10th day of July, 2018.

In the presence of: WISPARK, LLC

signature [Signature]
ERICA-NICOLE HARRIS,
VICE PRESIDENT

STATE OF WISCONSIN)
Milwaukee COUNTY) SS

Personally came before me this 10 day of July, 2018 (name) Erica-Nicole Harris, (title) Vice President, to me known to be the person who executed the foregoing instrument and acknowledged the same.

[Signature]
Notary Public
Name: Susan L. Warzala
State of Wisconsin
My Commission Expires: 2/2/2021



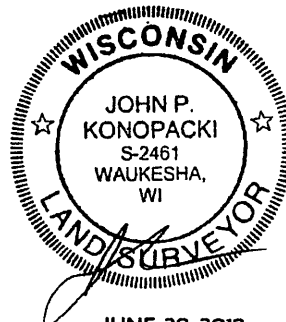
VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Caledonia on this 7th day of July, 2018.

7/11/2018
Date

[Signature]
Karie Torkilsen, Village Clerk

FROM ALL OF:
104-04-22-30-015-200
TO:
LOT 1: 104-04-22-30-015-201
LOT 2: 104-04-22-30-015-202

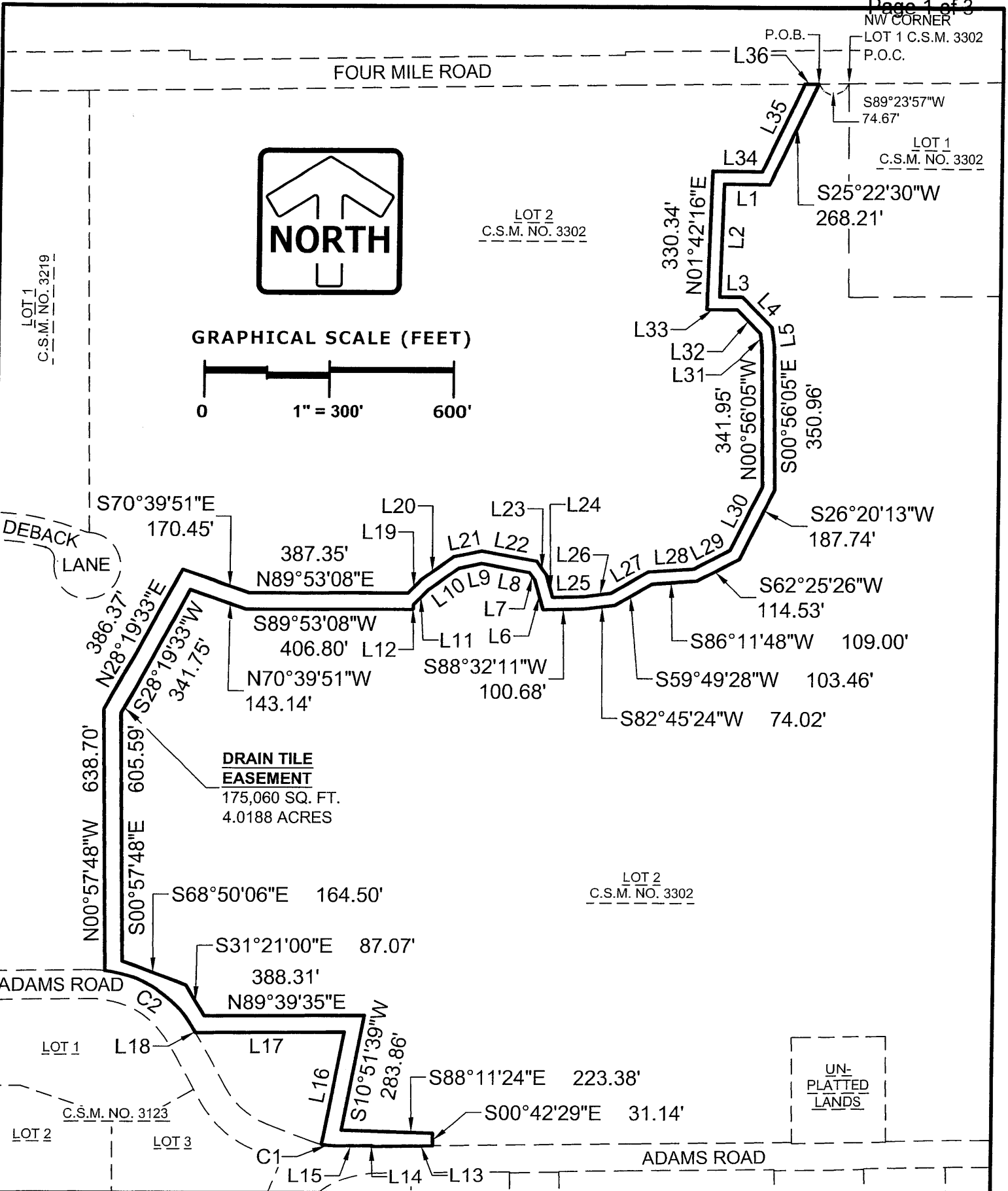


JUNE 28, 2018

PEG JOB#390.10
SHEET 12 OF 12

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461



CURVE TABLE				
CURVE NO.	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	36.31'	165.00'	N84°24'07"W	36.24'
C2	267.29'	285.00'	N55°59'22"W	257.60'

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	N89°31'46"W	108.99'
L2	S01°42'16"W	270.21'
L3	S89°44'43"E	54.58'
L4	S45°13'00"E	102.19'
L5	S07°32'23"E	44.41'
L6	N15°57'03"W	73.75'
L7	N35°13'16"W	23.92'
L8	N79°38'07"W	117.37'
L9	S78°28'37"W	56.59'
L10	S54°29'23"W	88.80'
L11	S45°13'41"W	52.36'
L12	S06°40'23"W	11.72'
L13	S89°17'31"W	149.61'
L14	N00°42'25"W	2.00'
L15	S89°17'35"W	85.52'
L16	N10°51'39"E	279.04'
L17	S89°39'35"W	361.03'
L18	N29°07'17"W	7.40'

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L19	N45°13'41"E	44.80'
L20	N54°29'23"E	97.60'
L21	N78°28'37"E	68.77'
L22	S79°38'07"E	135.42'
L23	S35°13'16"E	41.26'
L24	S15°57'03"E	55.60'
L25	N88°32'11"E	75.93'
L26	N82°45'24"E	66.42'
L27	N59°49'28"E	104.41'
L28	N86°11'48"E	109.71'
L29	N62°25'26"E	98.45'
L30	N26°20'13"E	170.69'
L31	N07°32'23"W	32.44'
L32	N45°13'00"W	79.67'
L33	N89°44'43"W	73.07'
L34	S89°31'46"E	119.20'
L35	N25°22'30"E	234.45'
L36	N89°23'57"E	33.37'

LEGAL DESCRIPTION:

Being a part of Lot 2 of Certified Survey Map No. 3302, as recorded in the Register of Deeds office for Racine County as Document No. 2498467, located in the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

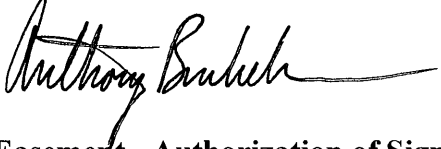
Commencing at the northwest corner of Lot 1 of Certified Survey Map No. 3302; thence South 89°23'57" West along the north line of Lot 2 of said Certified Survey Map No. 3302, 74.67 feet to the Point of Beginning;

Thence South 25°22'30" West, 268.21 feet; thence North 89°31'46" West, 108.99 feet; thence South 01°42'16" West, 270.21 feet; thence South 89°44'43" East, 54.58 feet; thence South 45°13'00" East, 102.19 feet; thence South 07°32'23" East, 44.41 feet; thence South 00°56'05" East, 350.96 feet; thence South 26°20'13" West, 187.74 feet; thence South 62°25'26" West, 114.53 feet; thence South 86°11'48" West, 109.00 feet; thence South 59°49'28" West, 103.46 feet; thence South 82°45'24" West, 74.02 feet; thence South 88°32'11" West, 100.68 feet; thence North 15°57'03" West, 73.75 feet; thence North 35°13'16" West, 23.92 feet; thence North 79°38'07" West, 117.37 feet; thence South 78°28'37" West, 56.59 feet; thence South 54°29'23" West, 88.80 feet; thence South 45°13'41" West, 52.36 feet; thence South 06°40'23" West, 11.72 feet; thence South 89°53'08" West, 406.80 feet; thence North 70°39'51" West, 143.14 feet; thence South 28°19'33" West, 341.75 feet; thence South 00°57'48" East, 605.59 feet; thence South 68°50'06" East, 164.50 feet; thence South 31°21'00" East, 87.07 feet; thence North 89°39'35" East, 388.31 feet; thence South 10°51'39" West, 283.86 feet; thence South 88°11'24" East, 223.38 feet; thence South 00°42'29" East, 31.14 feet to the north right of way line of Adams Road; thence South 89°17'31" West along said north right of way line, 149.61 feet; thence North 00°42'25" West along said north right of way line, 2.00 feet; thence South 89°17'35" West along said north right of way line, 85.52 feet to a point of curvature; thence northwesterly 36.31 feet along the arc of said curve to the right and said north right of way line, whose radius is 165.00 feet and whose chord bears North 84°24'07" West, 36.24 feet; thence North 10°51'39" East, 279.04 feet; thence South 89°39'35" West, 361.03 feet to the northerly right of way line of the aforesaid Adams Road; thence North 29°07'17" West along said northerly right of way line, 7.40 feet to a point of curvature; thence northwesterly 267.29 feet along the arc of said curve to the left and said northerly right of way line, whose radius is 285.00 feet and whose chord bears North 55°59'22" West, 257.60 feet; thence North 00°57'48" West, 638.70 feet; thence North 28°19'33" East, 386.37 feet; thence South 70°39'51" East, 170.45 feet; thence North 89°53'08" East, 387.35 feet; thence North 45°13'41" East, 44.80 feet; thence North 54°29'23" East, 97.60 feet; thence North 78°28'37" East, 68.77 feet; thence South 79°38'07" East, 135.42 feet; thence South 35°13'16" East, 41.26 feet; thence South 15°57'03" East, 55.60 feet; thence North 88°32'11" East, 75.93 feet; thence North 82°45'24" East, 66.42 feet; thence North 59°49'28" East, 104.41 feet; thence North 86°11'48" East, 109.71 feet; thence North 62°25'26" East, 98.45 feet; thence North 26°20'13" East, 170.69 feet; thence North 00°56'05" West, 341.95 feet; thence North 07°32'23" West, 32.44 feet; thence North 45°13'00" West, 79.67 feet; thence North 89°44'43" West, 73.07 feet; thence North 01°42'16" East, 330.34 feet; thence South 89°31'46" East, 119.20 feet; thence North 25°22'30" East, 234.45 feet; thence North 89°23'57" East, 33.37 feet to the Point of Beginning.

MEMORANDUM

DATE: Monday, March 29, 2021

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E.
Utility Director 

RE: DeBack Farms Stormwater Easement - Authorization of Signatures

BACKGROUND INFORMATION

As a condition of approval of the Storm Water Management Plan and Site Grading Plan for the DeBack Farms Business Park Phases I, II and III, 7 Storm Water Easements were required to ensure that the 7 Stormwater Ponds are maintained and operating as designed.

Attached is the Storm Water Easement that has been executed by the owner, and Village. The closing for the Scannell Development required that this document be recorded prior to the meeting to avoid a change in the property owner.

As an after the fact approval, it is recommended that the signatures of the President & Secretary of the Utility District are authorized.

RECOMMENDATION

Move to authorize the President and Secretary of the Caledonia Utility District to execute the Stormwater Easement with WisPark LLC for the DeBack Farms Business Park.

Karie Y. Pope

KARIE POPE
RACINE COUNTY
REGISTER OF DEEDS
Fee Amount: \$30.00

**The above recording information verifies
this document has been electronically recorded**
Returned to Quarles & Brady LLP
Pages: 35

Document Number

**Stormwater Easement
Agreement: Part of Lot 2,
of CSM No. 3302**

Name and Return Address

**Mr. Anthony A. Bunkelman P.E.
Village of Caledonia
Engineering Department
5043 Chester Lane
Racine, Wisconsin 53402**

51-104-04-22-30-015-202
Parcel Identification Number (PIN)

The real property (the "Property") affected by, and encumbered by, this Stormwater Easement Agreement are the "Utility Easement Areas" (as defined herein) on Lot 2 of the Certified Survey Map No. 3302, attached hereto as Exhibit A, and recorded in the Office of the Register of Deeds, for Racine County, Wisconsin, as Document No. 2498467, on the date of July 13, 2018 ("CSM 3302"). The Utility Easement Areas are shown on Exhibits B and D.

STORMWATER EASEMENT AGREEMENT

This Stormwater Easement Agreement ("Agreement") is made the 24th day of March, 2021, by and between **WISPARK LLC**, a Wisconsin limited liability company with offices located at 231 West Michigan Street, Milwaukee, Wisconsin 53203, referred to in this Agreement as the "Owner", and the **VILLAGE OF CALEDONIA**, Racine County, Wisconsin, and **VILLAGE OF CALEDONIA UTILITY DISTRICT**, a utility district of the Village of Caledonia, Racine County, Wisconsin. The Village of Caledonia and Village of Caledonia Utility District are collectively referred to in this Agreement as the "Grantees".

RECITALS

A. The Owner is the fee simple holder of certain real property in the Village of Caledonia, Racine County, State of Wisconsin, described as Lot 2, in Certified Survey Map No. 3302, of record in the Office of the Register of Deeds for Racine County, Wisconsin, as Document No. 2498467, and having Tax Parcel Number 51-104-04-22-30-015-202 ("CSM 3302"). Said real property is referred to in this Agreement as the "Property". A copy of the Certified Survey Map No. 3302 is attached hereto as Exhibit A.

B. As a part of the approval by the Grantees of a development of the Property, the Grantees have required the Owner to construct, at Owner's own cost and expense, a storm water drainage plan for the Property as described and depicted on Exhibit B attached hereto and incorporated herein (the "Plan"). Said Plan includes, in part, the Seven (7) Stormwater Retention/Detention Ponds (collectively, the "Pond", in the singular tense) described therein and herein, and is referred to in this Agreement as the "Plan". The Grantees have further required as part of said approval that the Owner enter into this Agreement with Grantees, setting forth the Owner's responsibility to maintain the Plan and provide Grantees with access to the below-described easement areas.

C. The Grantees have requested that the Owner grant a permanent easement (referred to in this Agreement as the "Stormwater Drainage Easement") over that portion of the Property described in attached Exhibit C, all such areas of the Property hereinafter collectively referred to, in the singular tense, as the "Stormwater Drainage Easement Area". The location of the Stormwater Drainage Easement Area with respect to the Property is as shown and described in Exhibit C.

D. The Grantees have requested that the Owner grant a permanent access easement (referred to in this Agreement as the "Ingress/Egress Easement") over the portion of the Property shown and depicted in attached Exhibit D, being a 60-foot wide strip of land labeled the "Ingress/Egress Easement Area", which will grant to the Grantees, and their employees, officials, commissioners, contractors, consultants, and agents, pedestrian and/or vehicular ingress and egress to and from the Stormwater Drainage Easement Area. The Ingress/Egress Easement Area is the same area in which the Grantees have a Sanitary Sewer Easement and Watermain Easement under other recorded documents.

E. The Stormwater Drainage Easement Area and the Ingress/Egress Easement Area are collectively referred to in this Agreement as the "Utility Easement Area".

F. As used in this Agreement, the term "Drainage Facilities" shall mean the Plan (including the Pond), the Stormwater Drainage Easement Area, the Ingress/Egress Easement Area, the drainage swales, drainage ditches, pipelines, laterals, culverts, storm sewers and any other structures or improvements that are constructed or installed upon the Utility Easement Area from time to time by the Owner or Grantees, or any other person or entity, or their contractors, successors and assigns, for the conveyance of surface and storm water over as identified herein.

G. This Agreement, and the Plan described herein, only affects and encumbers (i) the Stormwater Drainage Easement Area, and (ii) the Ingress/Egress Easement Area, all as referenced above, and in Exhibits C and D, respectively. This Agreement DOES NOT affect or encumber any portion of the Property other than the portion in which these two said easement areas are located. (The inclusion of such other non-affected portions of the Property contained in the Exhibits of this Agreement are so included in those Exhibits for the sole purpose of providing clarity as to the location of the said affected/encumbered easement areas on the said Property.) Additionally, for the sake of clarity, the grading plans and related Plan documents contained in the exhibits to this Agreement do not encumber any portion of the Property other than the Utility Easement Areas. All such grading, topography, and elevations pertaining to the future construction of buildings on the Property shall be established through future agreements and/or permits (as may be helpful and/or required) regarding such future development of the Property.

AGREEMENT

For \$1.00 and other good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, the parties agree as follows:

1. Construction, Use, Operation, Cleaning, Maintenance, Altering, Repairs and Replacements of the Drainage Facilities. The Owner agrees to construct, use, operate, clean, maintain, alter, repair and replace the Drainage Facilities, and including, without limitation, mowing, control of weed and algae growth, and repair of erosion, and the removal of trees, brush, vegetation and silt, and all other obstacles to the flow of surface water to and from the Drainage Facilities, in the Stormwater Drainage Easement Area, so that the Drainage Facilities function properly and to their design capacity for the conveyance of storm water and so that there are no obstructions interfering with the location, construction, use, operation, cleaning, maintenance, alteration, repair and replacement of the Drainage Facilities. Said obligations shall include the obligation to construct, use, operate, clean, maintain, alter, repair and replace the Drainage Facilities both during the construction thereof and thereafter and in conformity with this Agreement and the Ordinances of the Village of Caledonia and any recorded restrictive covenants applicable to the Property. The Owner shall prevent the Drainage Facilities from becoming a nuisance.

2. Failure to Construct, Clean, Maintain, Alter, Repair and Replace the Pond and Drainage Facilities. The Grantees shall have the right, but not the responsibility, to enter upon the Utility Easement Area in order to perform on the Stormwater Drainage Easement Area, construction, cleaning, maintenance, alterations, repairs and replacements of the Drainage Facilities if the Owner fails to do so after receiving a written request from the Grantees. The Owner shall be given at least ten business days after the date of said written request to perform whatever construction, cleaning, maintenance, alterations, repairs and replacements are deemed reasonable and necessary by the Grantees as stated in said notice. Provided, however, that in the event the Grantees determine that emergency action should be performed, then the Grantees may enter upon the Utility Easement Area immediately and perform said emergency action. The Owner shall reimburse Grantees for all reasonable costs incurred by the Grantees in performing said

construction, cleaning, maintenance, alterations, repairs, replacements and emergency action, including, without limitation, any construction, engineering, legal and administrative costs with respect to the same, upon receiving an invoice for said costs. If Owner fails to pay said costs, then said costs may be assessed upon the parcels of property in the Property, containing the affected Stormwater Drainage Easement Area by the Grantees as a special charge as provided in Wisconsin Statutes Sections 66.0627 and 66.0703, and Owner consents to said assessments and waives notice and hearing with respect to the levying of said assessments in accordance with Wisconsin Statutes Section 66.0703.

3. Alteration or Changes of the Pond or Drainage Facilities. The Owner shall not make or construct any alteration or change of the Drainage Facilities, in the Stormwater Drainage Easement Area, including, without limitation, any alteration or change in the size, shape, capacity, rate of inflow or rate of outflow of the Drainage Facilities, unless the Grantees approve the alteration or change in writing prior to the making or construction of said alteration or change (such approval not to be unreasonably withheld, conditioned, or delayed).

4. Indemnification.

(a) By the Owner. Owner shall, and hereby does, indemnify and hold harmless the Grantees, and their successors and assigns, and their employees, officials, commissioners, contractors, consultants, and agents (collectively, the "Grantee Indemnified Parties") from and against any claims, actions, judgments, damages, costs and expenses (including, but not limited to, reasonable actual attorney fees), and/or liability of any nature whatsoever (collectively, the "Claims"), that may arise, directly or indirectly, as a result of (i) the existence, construction, use, operation, cleaning, maintaining, alteration, repair, and/or replacement of the Drainage Facilities, and/or (ii) any property damage and/or bodily injury (including death) that may arise or occur as a result of, or pertaining to, any of the foregoing; excepting, however, to the extent any such Claims arise out of the errors of omission and/or commission on the part of any of the Grantee Indemnified Parties.

(b) By the Grantees. The Grantees shall, and hereby do, indemnify and hold harmless the Owner, and/or its successors and/or assigns, and its employees, officers, directors, shareholders, members, partners, contractors, consultants, and agents (collectively, the "Owner Indemnified Parties"), from and against any claims, actions, judgments, damages, costs and expenses (including, but not limited to, reasonable actual attorney fees), and/or liability of any nature whatsoever (collectively, the "Claims"), that may arise, directly and/or indirectly, as a result of, or pertaining to, the Grantees exercising their easement rights granted to them under this Agreement; excepting, however, to the extent any such Claims arise out of the errors of omission and/or commission of any of the Owner Indemnified Parties.

5. Insurance. Owner shall, at Owner's own cost and expense, and prior to the construction of the Drainage Facilities, obtain and maintain a policy of general liability insurance, from a Wisconsin-licensed insurance carrier, that (i) has coverage and policy limits satisfactory to the Grantees, and (ii) has the Grantees named as additional insureds, to insure Grantees and the Grantee Indemnified Parties against the liability stated in paragraph 4(a) above. Such insurance shall be kept and maintained by the Owner throughout the entire term of this Agreement.

6. Grant of Easement. The Owner hereby grants to the Grantees, and to the Grantees' employees, officials, commissioners, contractors, consultants, agents, successors, and assigns, the easement rights described herein, over, across, under, and through the Utility

Easement Area, for the purposes of (i) performing its duties, responsibilities, and easement rights imposed upon and/or granted to the Grantees under this Agreement, and/or (ii) inspecting, monitoring, and/or testing the Drainage Facilities and/or the Utility Easement Area, and (iii) for conveying and/or storing surface and storm waters in, over, across, under, and/or through the Stormwater Drainage Easement Area and the Drainage Facilities.

7. Removal of Obstructions. The Owner hereby grants to the Grantees, and to Grantees' employees, officials, commissioners, contractors, consultants, and agents the right to:

(a) Cut down and remove or trim all trees, bushes or other vegetation existing within the Stormwater Drainage Easement Area, and to cut down and remove or trim all trees, bushes and other vegetation located in the Ingress/Egress Easement Area that interfere with (i) the construction, use, operation, cleaning, maintenance, alteration, repair and replacement of the Drainage Facilities within the Stormwater Drainage Easement Area, or (ii) ingress and egress through the Ingress/Egress Easement Area.

(b) Remove any fences, structures or improvements located within the Stormwater Drainage Easement Area to the extent necessary to (i) carry out the construction, use, operation, cleaning, maintenance, alteration, repair and replacement of the Drainage Facilities within the Stormwater Drainage Easement Area, or (ii) maintain ingress and egress through the Ingress/Egress Easement Area.

8. Further Owner Requirements.

(a) No fences, structures or improvements will be erected, and no trees, bushes or other vegetation will be planted, within the Stormwater Drainage Easement Area without the written consent of the Grantees (which will not be unreasonably withheld, conditioned, or delayed); and

(b) The elevation of the existing ground surface within the Stormwater Drainage Easement Area will not be altered without the written consent of the Grantees (which will not be unreasonably withheld, conditioned, or delayed).

(c) The Owner shall construct and comply with the provisions and requirements of the Plan, being the Storm Water Management Plan for the Property, as approved by the Grantees, and prepared by the Pinnacle Engineering Group, having its offices located at 15850 West Bluemound Road, Suite 210, Brookfield, Wisconsin.

9. Repair and Restoration of the Property. The Grantees shall promptly repair any damage to the Property caused by the Grantees and restore the surface of the Property disturbed by the Grantees' (i) construction, use, operation, cleaning, maintenance, alteration, repair and replacement of the Drainage Facilities within the Stormwater Drainage Easement Area, or damage to the Ingress/Egress Easement Area. Said restoration shall be to the condition that existed prior to the Grantees' entry on the Property; provided, however that the Grantees shall only be required to (i) restore any disturbed areas of soil and/or vegetation with grass seed, and (ii) Grantees shall promptly restore any pedestrian pathways, driveways, parking lots and/or roadways (to its previously existing condition) that may be damaged by Grantees.

10. Non-Use. Non-use or limited use of the rights granted to the Grantees in this Agreement shall not prevent the Grantees from the later use of said rights to the fullest extent authorized in this Agreement.

11. Covenants Run With Land. All of the terms and conditions in this Agreement, including the benefits and burdens, shall run with the land that is the portions of the Property in which the Utility Easement Areas are located, and shall be binding upon, inure to the benefit of, and be enforceable by the Owner and the Grantees and their respective successors and assigns.

12. Warranty. The Owner does hereby warrant and covenant that the Owner owns the Property in fee simple and is lawfully seized and possessed of the Property; that the Owner has a good and lawful right to grant the rights granted to the Grantees hereunder; that the Property is free and clear of all liens and encumbrances, except for recorded easements and recorded covenants, that the persons executing this Agreement on behalf of the Owner are fully authorized to execute this Agreement on behalf of the Owner; and that this Agreement is the binding obligation of the Owner.

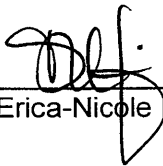
13. Term. The term of this Agreement shall continue indefinitely, in full force and effect, unless and until amended and/or terminated with the written approval of the Grantees.

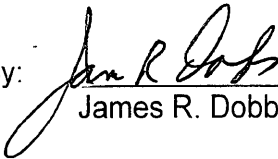
14. Other Owner and Utility Use. This easement shall be non-exclusive. Notwithstanding the limitations on use set forth herein, Owner (and/or his/her/its assignee, successor(s) in title, or tenant) may: (a) construct, install, and maintain pedestrian pathways, landscaping, driveways, parking lots, and/or roadways over the Ingress/Egress Easement Area, and over the underground connectors between Pond 1 and Pond 2/6, and between Pond 3 and Pond 4, as shown on Exhibit B, provided that such construction and use does not damage the Drainage Facilities located in the Ingress/Egress Easement Area, and (b) install in the Stormwater Drainage Easement Area and in the Ingress/Egress Easement Area utility facilities, including, without limitation, cable, internet, fiber optic, telephone, gas and electric facilities, after securing the approval of the Village as to the location of such facilities, both parallel installations and installations which cross the Drainage Facilities, to assure appropriate spacing of such utilities, and protection of the Drainage Facilities, which approval shall not be unreasonably withheld. If the Ingress/Egress Easement Area is encumbered by any restrictions, created by a written agreement to which the Village is a signatory party, that require all such facilities to be underground, they shall be underground or on the surface of the ground.

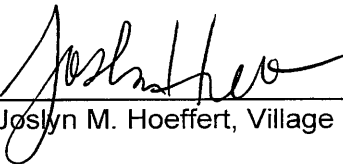
15. Termination and Release of Prior Stormwater Easements. The following easements, as described on Sheet 5 of 12 of CSM 3302, as defined above, are hereby terminated and released and shall be of no further force or effect: the easements labeled "Storm Water, Maintenance Access Easement Recorded via Separate Document."

OWNER:
Wispark, LLC

GRANTEES:
Village of Caledonia

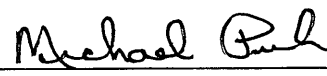
By: 
Erica-Nicole Harris, Vice President

By: 
James R. Dobbs, President

Attest: 
Joslyn M. Hoeffert, Village Clerk


Village of Caledonia Utility District

By: 
Howard Stacey, President

Attest: 
Michael Pirk, Secretary

AUTHENTICATION

Signatures of Erica-Nicole Harris, Vice President, respectively, of Developer; James R. Dobbs, Village President, and Joslyn M. Hoeffert, Village Clerk, of the Village of Caledonia; and Howard Stacey, President, and Michael Pirk, Secretary, of the Village of Caledonia Utility District, authenticated this 29th day of March, 2021.


John M. Bjelajac
Member: State Bar of Wisconsin
State Bar No. 1015325

This document drafted by:
Atty. John M. Bjelajac
State Bar No. 1015325
Post Office Box 38
Racine, Wisconsin 53401-0038
Attorney for the Village of Caledonia
and the Village of Caledonia Utility District

VOL 10 PAGE 918

CERTIFIED SURVEY MAP NO. 3302

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

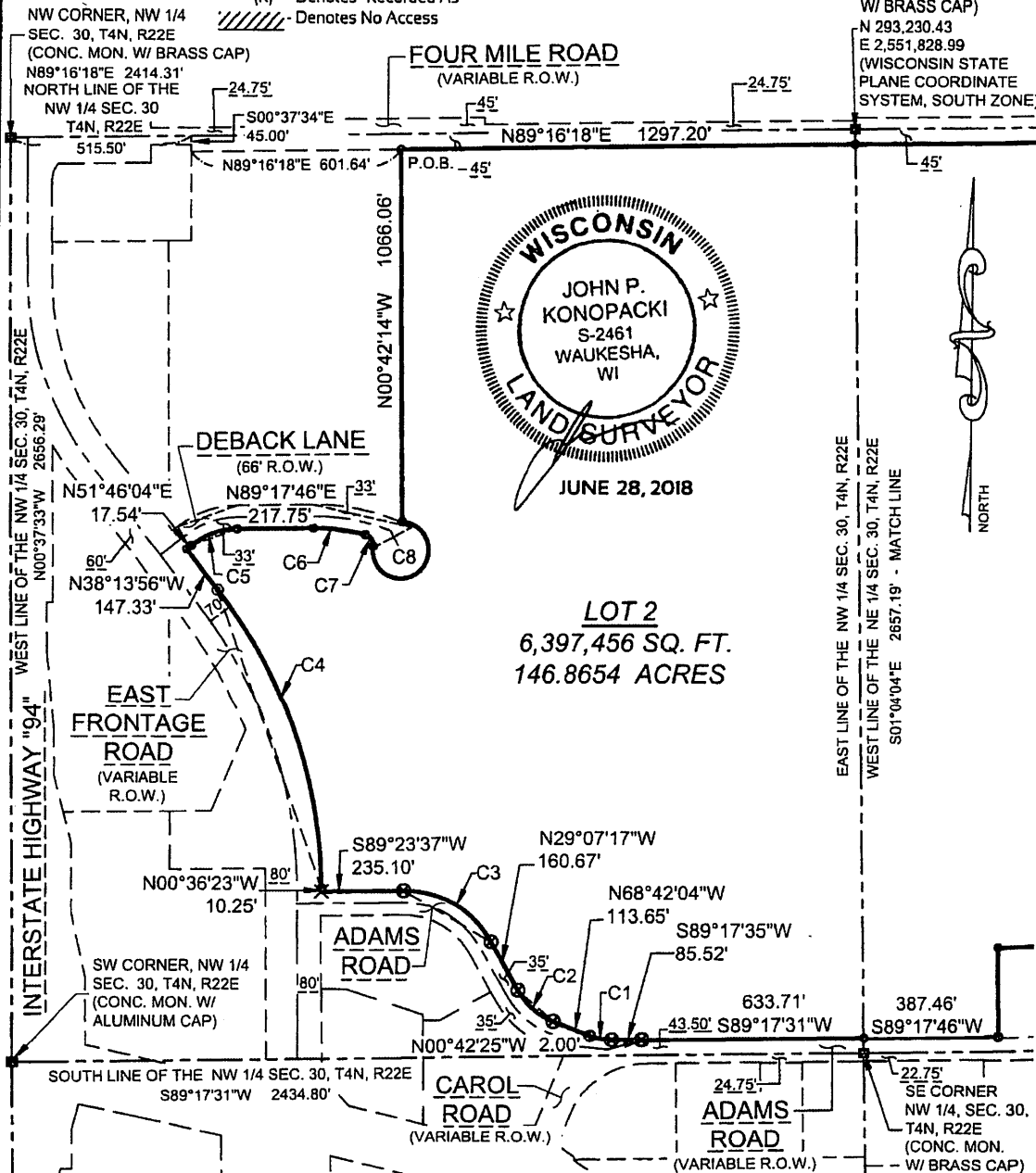
LEGEND:

- - Denotes Found 1" Iron Pipe
- ⊗ - Denotes Found 3/4" Iron Pipe
- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- ⊕ - Denotes Found 3/4" Iron Rebar
- ▲ - Denotes Set 3/4" X 18" Iron Rebar, 15 LBS./FT.
- ⊙ - Denotes Found Mag Nail
- ⊗ - Denotes Found Chiseled Cross
- ⊙ - Denotes Well
- (R) - Denotes "Recorded As"
- //// - Denotes No Access

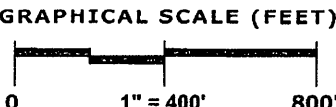
- SEE SHEET 7 FOR BOUNDARY
 CURVE & LINE TABLES
 - SEE SHEET 9 FOR NO ACCESS
 AND VISION CORNERS DETAIL

Subject Property Zoning:
 M-3: Heavy Industrial District
 Tax Key Number:
 #104-04-22-30-015-200

NE CORNER, NW 1/4
 SEC. 30, T4N, R22E
 (CONC. MON. W/ BRASS CAP)
 N 293.230.43
 E 2,551,828.99
 (WISCONSIN STATE
 PLANE COORDINATE
 SYSTEM, SOUTH ZONE)



Prepared By:
PINNACLE ENGINEERING GROUP
 15850 BLUEMOUND ROAD | SUITE 210
 BROOKFIELD, WI 53005
 OFFICE: (262) 754-8888



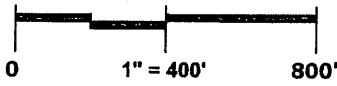
Prepared for:
 WISPARK LLC
 231 W. Michigan Street
 Milwaukee, WI 53203

VOL 10 PAGE 919

CERTIFIED SURVEY MAP NO. 3302

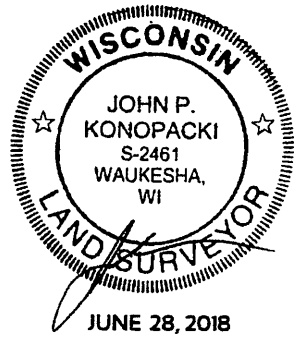
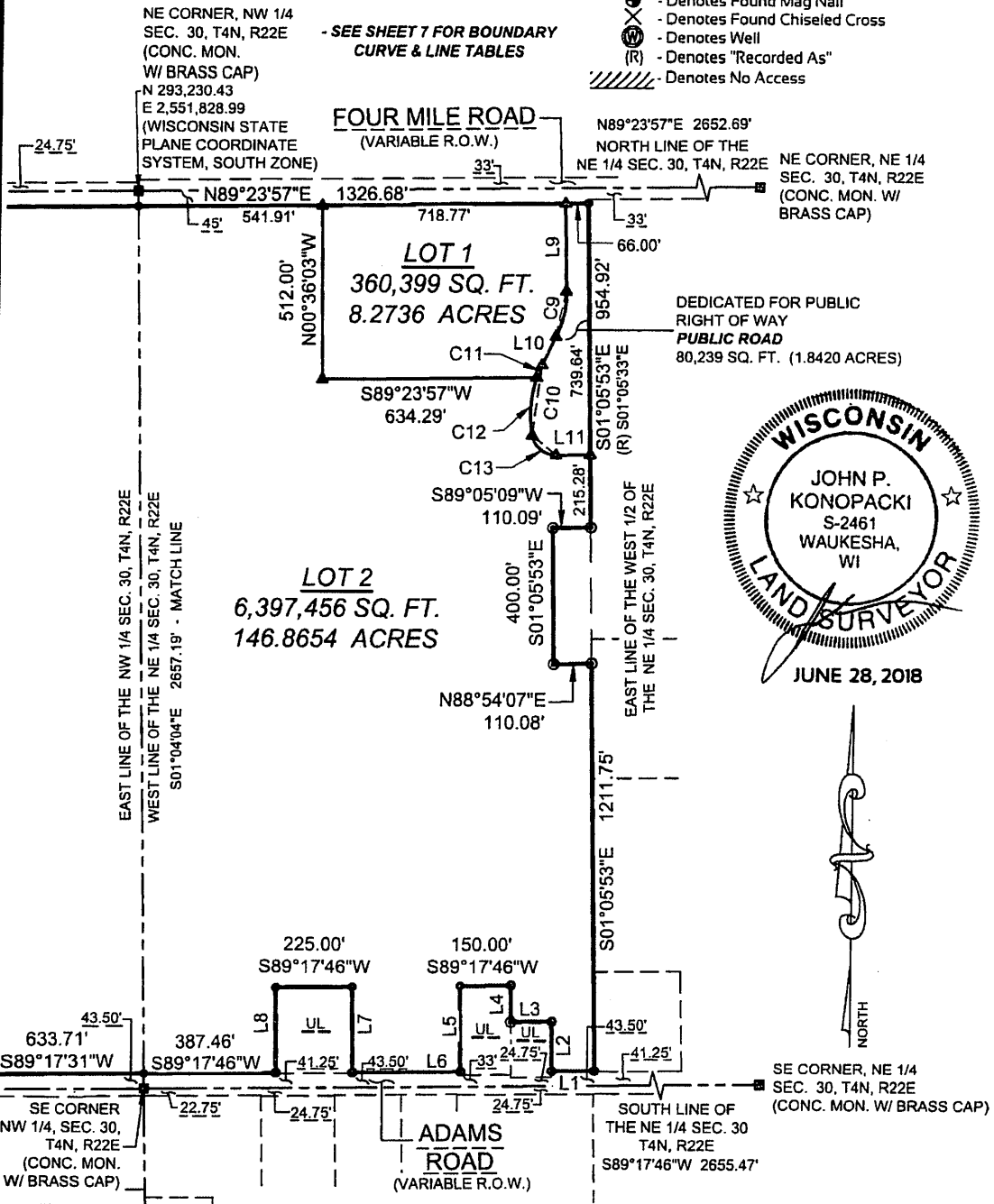
Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

GRAPHICAL SCALE (FEET)



LEGEND:

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- ⊕ - Denotes Found Mag Nail
- ⊗ - Denotes Found Chiseled Cross
- ⊙ - Denotes Well
- (R) - Denotes "Recorded As"
- /// - Denotes No Access



Prepared By:
PINNACLE ENGINEERING GROUP
 15850 BLUEMOUND ROAD | SUITE 210
 BROOKFIELD, WI 53005
 OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 2 OF 12

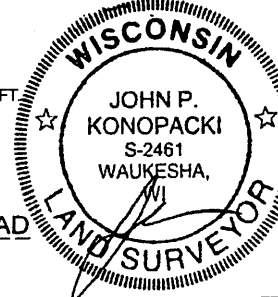
VOL 10 PAGE 920

CERTIFIED SURVEY MAP NO. 3302

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

LEGEND:

- - Denotes Found 1" Iron Pipe
- ⊗ - Denotes Found 3/4" Iron Pipe
- ⊙ - Denotes Found Capped 1/2" Iron Rebar
- - Denotes Found 3/4" Iron Rebar
- ▲ - Denotes Set 3/4" X 18" Iron Rebar, 15 LBS./FT.
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- ⊕ - Denotes Found Chiseled Cross
- ⊖ - Denotes Well
- (R) - Denotes "Recorded As"
- /// - Denotes No Access



JUNE 28, 2018

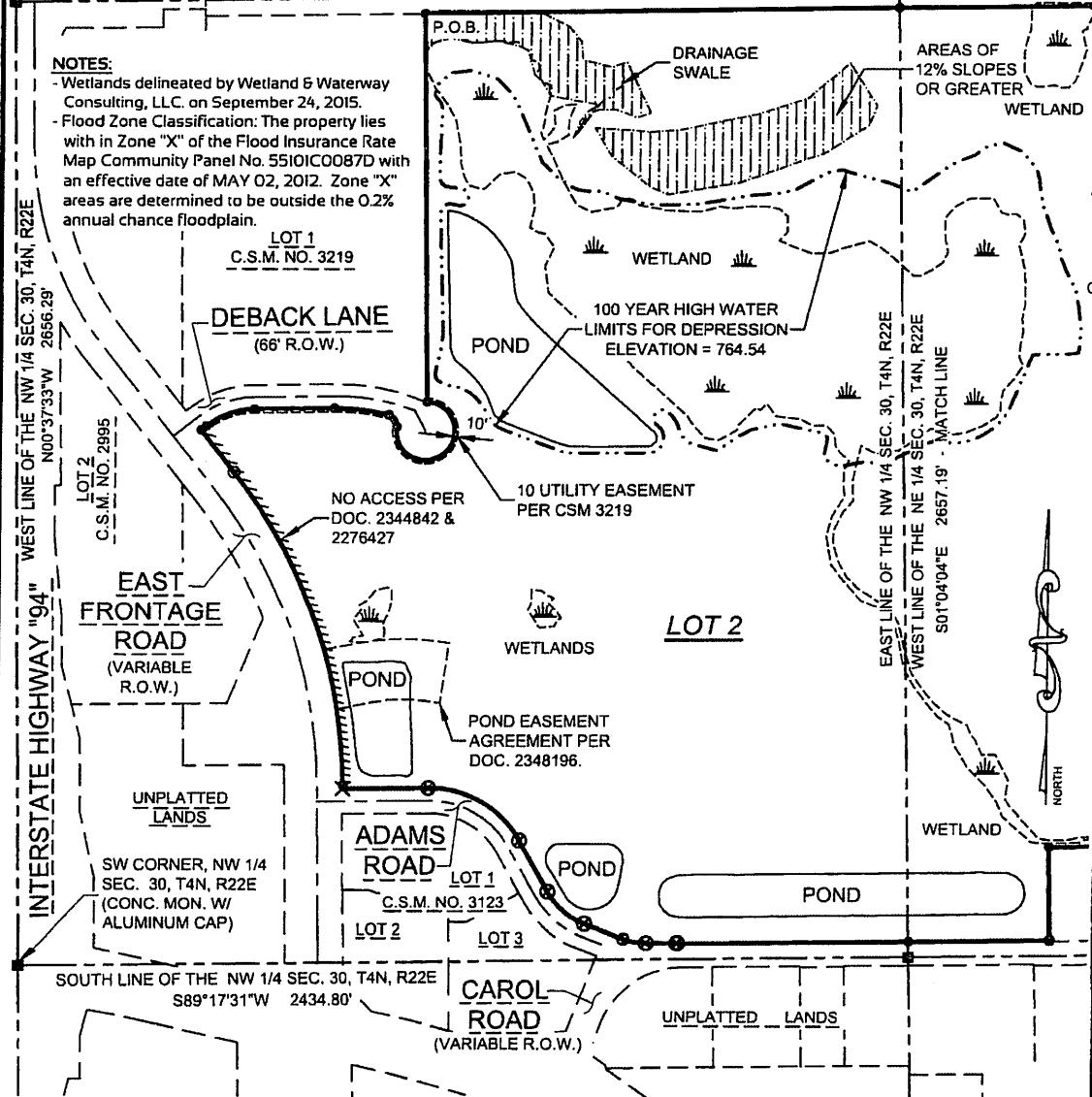
NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

FOUR MILE ROAD
(VARIABLE R.O.W.)

NOTES:

- Wetlands delineated by Wetland & Waterway Consulting, LLC. on September 24, 2015.
- Flood Zone Classification: The property lies with in Zone "X" of the Flood Insurance Rate Map Community Panel No. 5510IC0087D with an effective date of MAY 02, 2012. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.



WEST LINE OF THE NW 1/4 SEC. 30, T4N, R22E
N00°37'33"W 2656.29'

LOT 1
C.S.M. NO. 3219

DEBACK LANE
(66' R.O.W.)

EAST FRONTAGE ROAD
(VARIABLE R.O.W.)

UNPLATTED LANDS
SW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/
ALUMINUM CAP)

NO ACCESS PER
DOC. 2344842 &
2276427

10 UTILITY EASEMENT
PER CSM 3219

POND EASEMENT
AGREEMENT PER
DOC. 2348196.

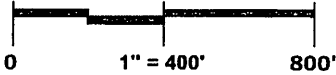
ADAMS ROAD
LOT 1
C.S.M. NO. 3123

EAST LINE OF THE NW 1/4 SEC. 30, T4N, R22E
WEST LINE OF THE NE 1/4 SEC. 30, T4N, R22E
S01°04'04"E 2657.19' MATCH LINE

SOUTH LINE OF THE NW 1/4 SEC. 30, T4N, R22E
S89°17'31"W 2434.80'

CAROL ROAD
(VARIABLE R.O.W.)

GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEGJOB#390.10
SHEET 3 OF 12

VOL 10 PAGE 921

CERTIFIED SURVEY MAP NO. 3307

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

NOTES:

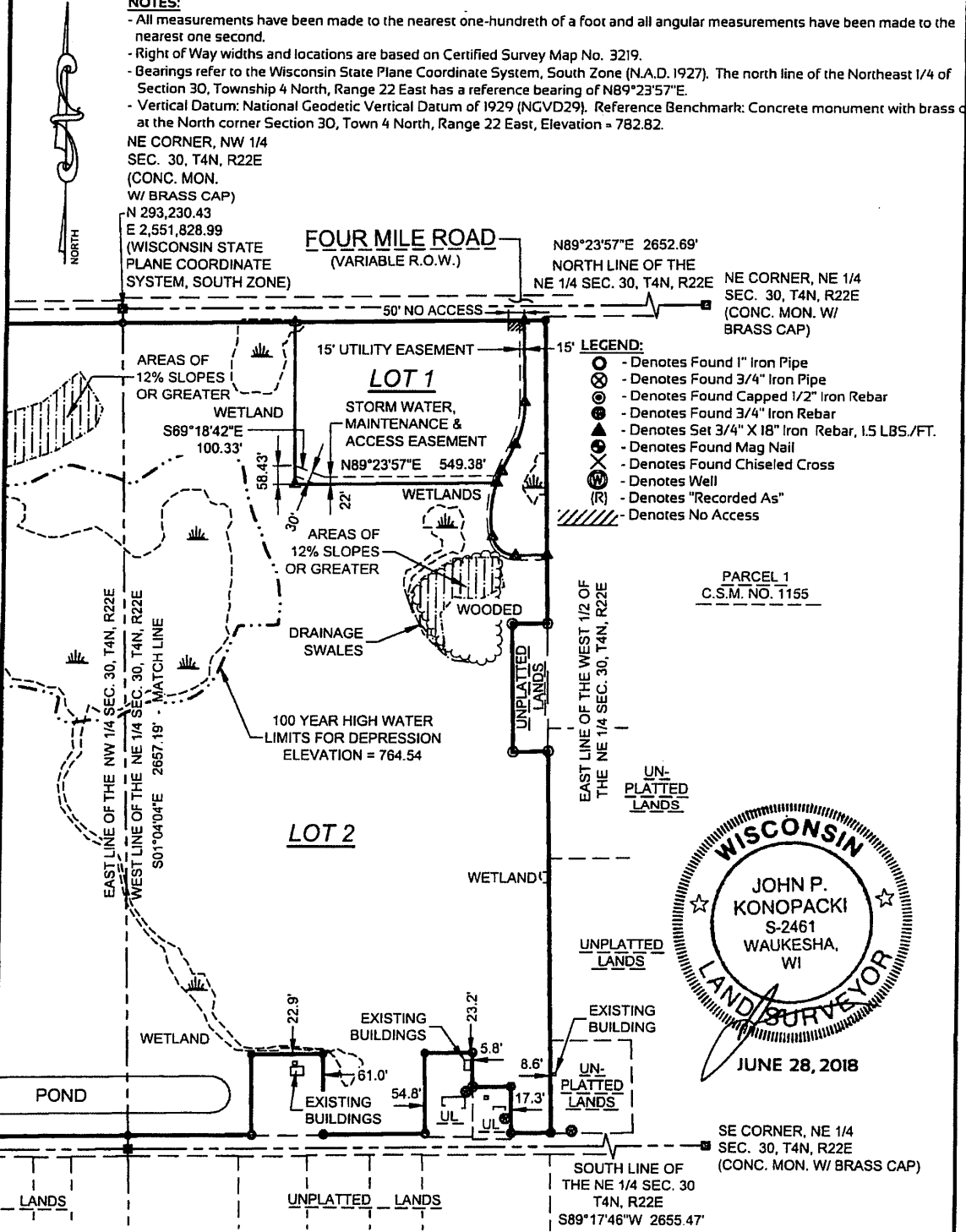
- All measurements have been made to the nearest one-hundredth of a foot and all angular measurements have been made to the nearest one second.
- Right of Way widths and locations are based on Certified Survey Map No. 3219.
- Bearings refer to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The north line of the Northeast 1/4 of Section 30, Township 4 North, Range 22 East has a reference bearing of N89°23'57"E.
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Reference Benchmark: Concrete monument with brass cap at the North corner Section 30, Town 4 North, Range 22 East, Elevation = 782.82.

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

FOUR MILE ROAD
(VARIABLE R.O.W.)

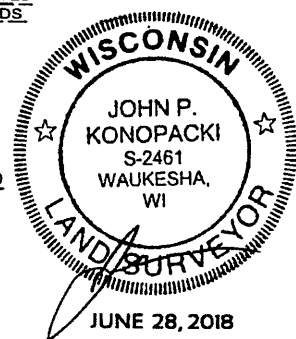
N89°23'57"E 2652.69'
NORTH LINE OF THE
NE 1/4 SEC. 30, T4N, R22E

NE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/
BRASS CAP)

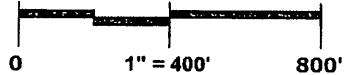


- LEGEND:**
- Denotes Found 1" Iron Pipe
 - Denotes Found 3/4" Iron Pipe
 - Denotes Found Capped 1/2" Iron Rebar
 - Denotes Found 3/4" Iron Rebar
 - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
 - Denotes Found Mag Nail
 - Denotes Found Chiseled Cross
 - Denotes Well
 - Denotes "Recorded As"
 - Denotes No Access

PARCEL 1
C.S.M. NO. T155



GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

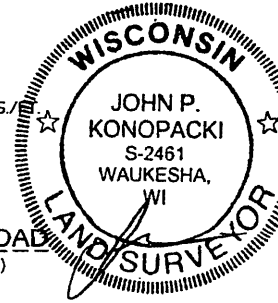
PEGJOB#390.10
SHEET 4 OF 12

CERTIFIED SURVEY MAP NO. 3308

Being a revision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

LEGEND:

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- ⊙ - Denotes Well
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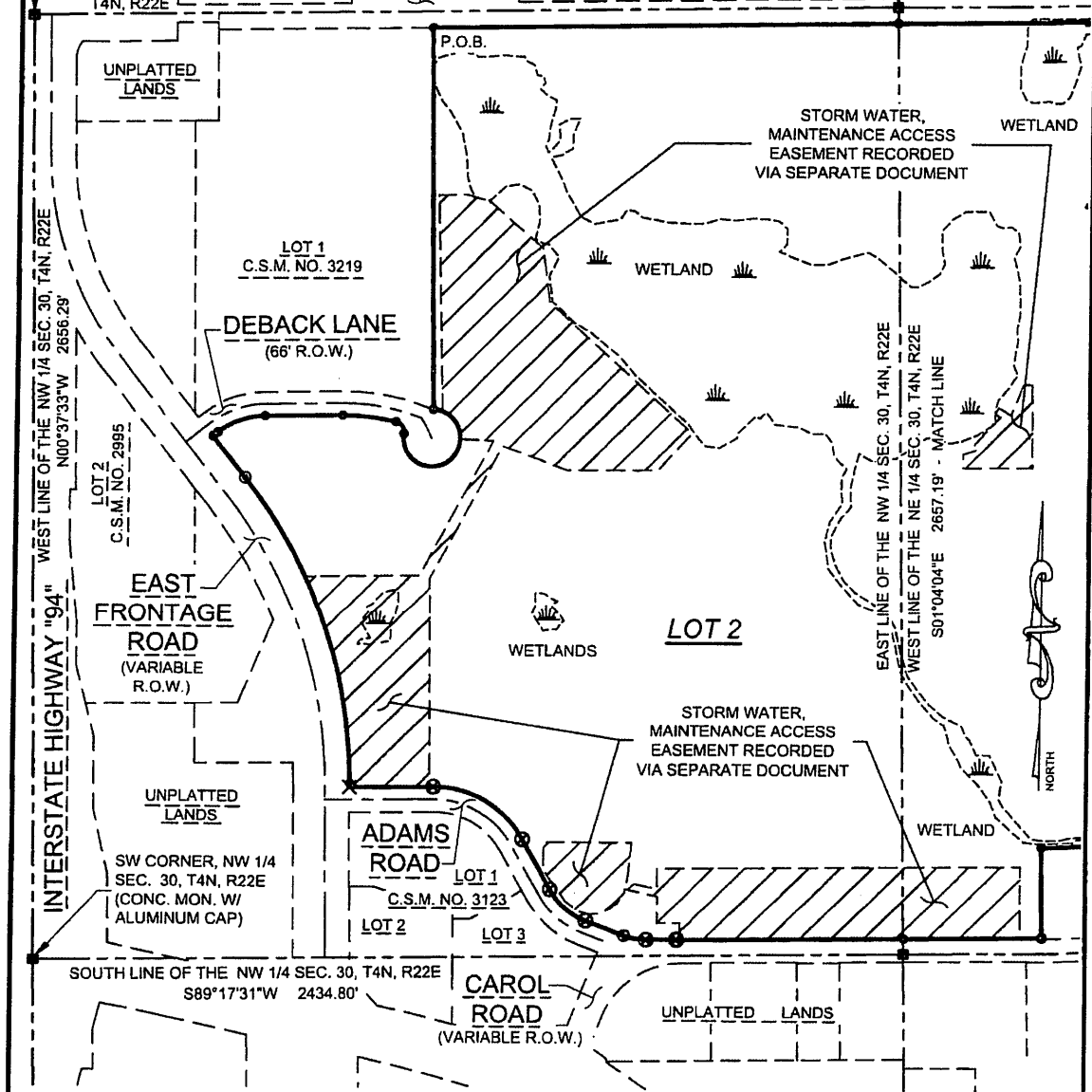


JUNE 28, 2018

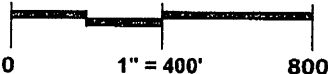
NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

FOUR MILE ROAD
(VARIABLE R.O.W.)

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)



GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 5 OF 12

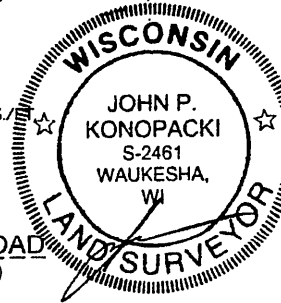
VOL 10 PAGE 923

CERTIFIED SURVEY MAP NO. 3208

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

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- ⊗ - Denotes Well
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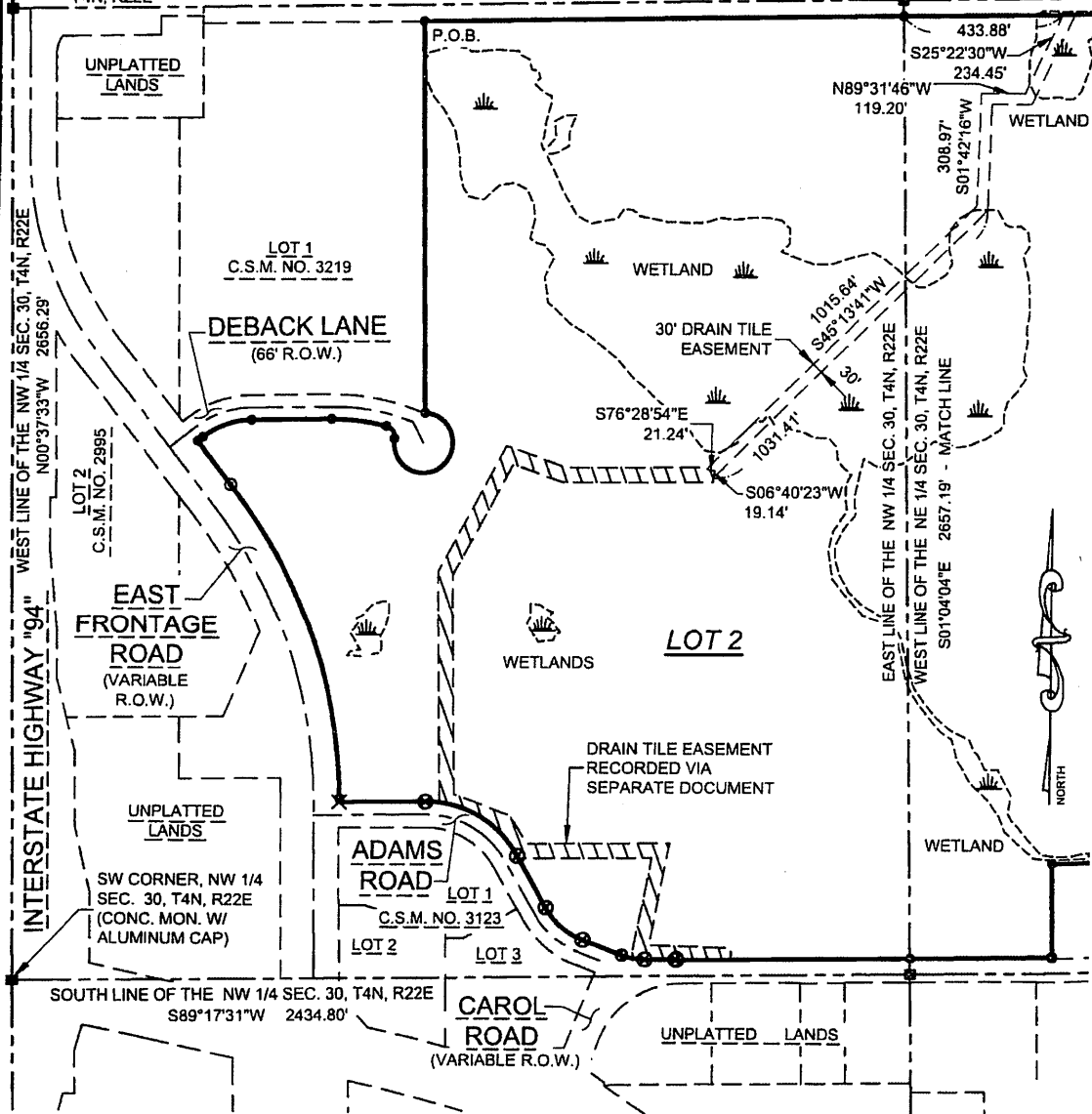


JUNE 28, 2018

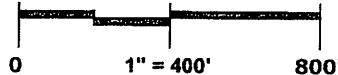
NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)
N89°16'18"E 2414.31'
NORTH LINE OF THE
NW 1/4 SEC. 30
T4N, R22E

FOUR MILE ROAD
(VARIABLE R.O.W.)

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)



GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEGJOB#390.10
SHEET 6 OF 12

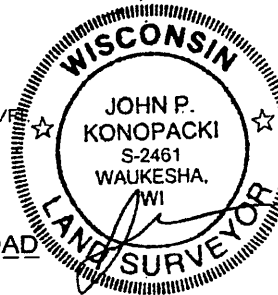
VOL 10 PAGE 924

CERTIFIED SURVEY MAP NO. 3308

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

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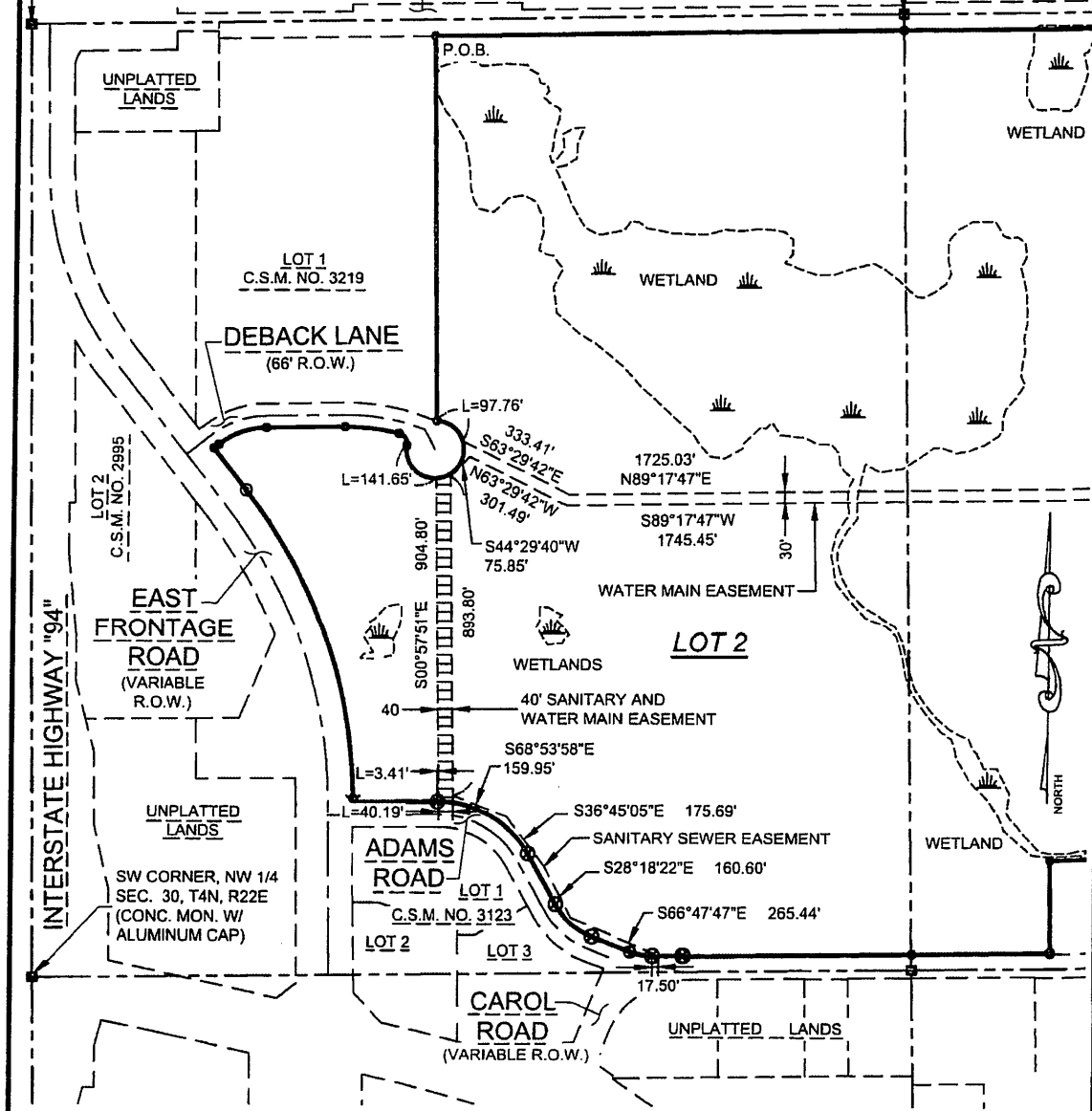


JUNE 28, 2018

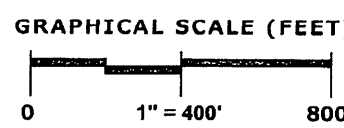
NW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ BRASS CAP)

FOUR MILE ROAD
(VARIABLE R.O.W.)

NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)



INTERSTATE HIGHWAY '94'
EAST FRONTAGE ROAD
(VARIABLE R.O.W.)
UNPLATTED LANDS
SW CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/ ALUMINUM CAP)



NOTE: STORM WATER,
SANITARY SEWER AND
WATER MAIN EASEMENTS
TO BE RECORDED VIA
SEPARATE DOCUMENT

Prepared By:
Pinnacle Engineering Group
15850 Bluemound Road | Suite 210
Brookfield, WI 53005
Office: (262) 754-8888

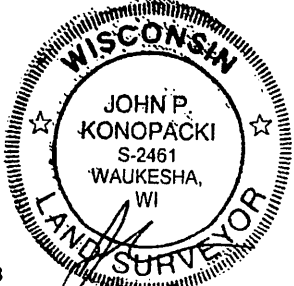
This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 7 OF 12

VOL 10 PAGE 925

CERTIFIED SURVEY MAP NO. 3300

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

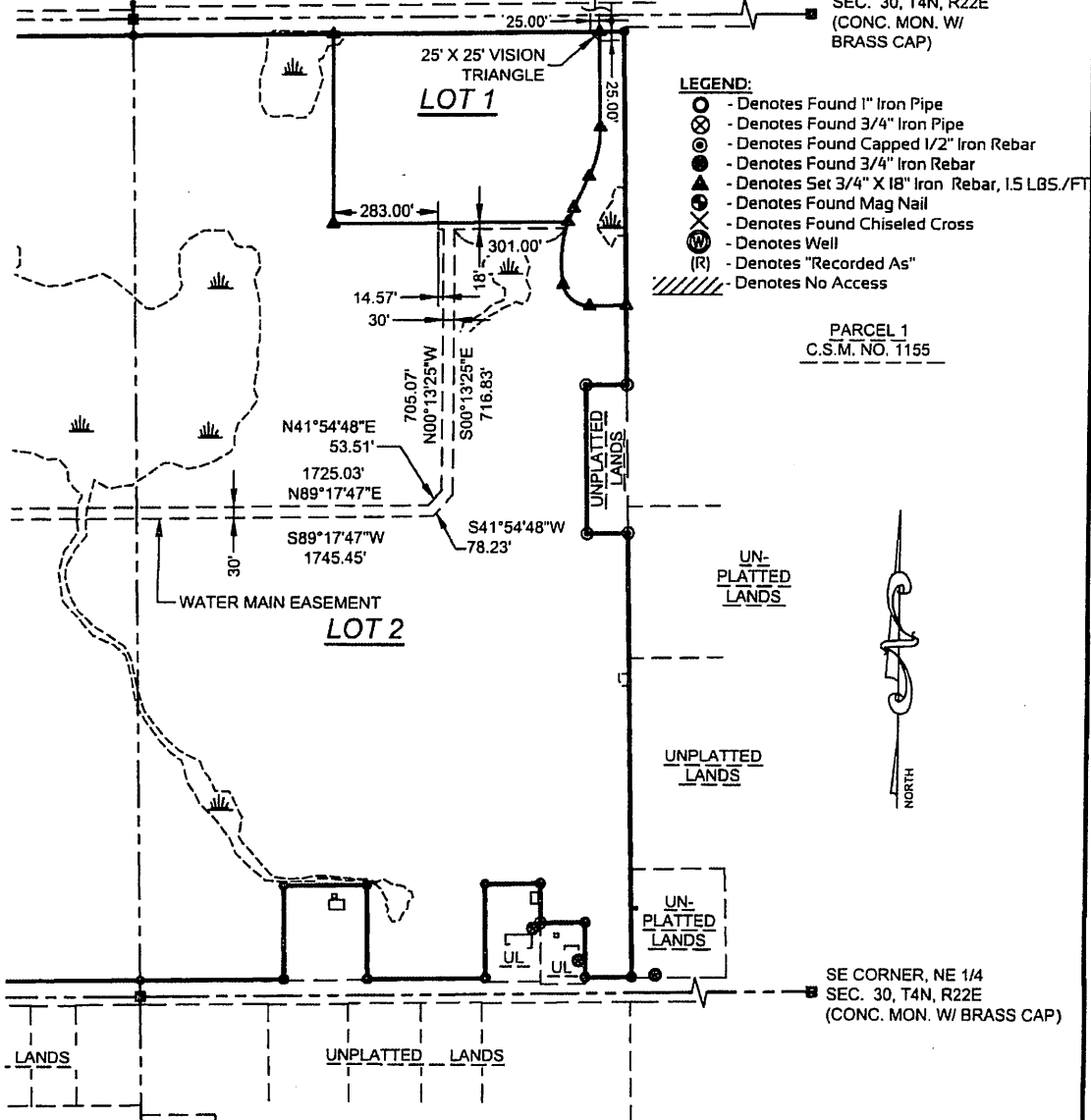


NE CORNER, NW 1/4
SEC. 30, T4N, R22E
(CONC. MON.
W/ BRASS CAP)
N 293,230.43
E 2,551,828.99
(WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE)

FOUR MILE ROAD
(VARIABLE R.O.W.)

JUNE 28, 2018

NE CORNER, NE 1/4
SEC. 30, T4N, R22E
(CONC. MON. W/
BRASS CAP)

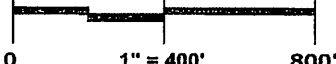


- LEGEND:**
- - Denotes Found 1" Iron Pipe
 - ⊗ - Denotes Found 3/4" Iron Pipe
 - ⊙ - Denotes Found Capped 1/2" Iron Rebar
 - - Denotes Found 3/4" Iron Rebar
 - ▲ - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT
 - ⊕ - Denotes Found Mag Nail
 - ⊗ - Denotes Found Chiseled Cross
 - ⊙ - Denotes Well
 - (R) - Denotes "Recorded As"
 - /// - Denotes No Access

PARCEL 1
C.S.M. NO. 1155



GRAPHICAL SCALE (FEET)



NOTE: STORM WATER,
SANITARY SEWER AND
WATER MAIN EASEMENTS
TO BE RECORDED VIA
SEPARATE DOCUMENT

Prepared By:
Pinnacle Engineering Group
15850 Bluemound Road | Suite 210
Brookfield, WI 53005
Office: (262) 754-8888

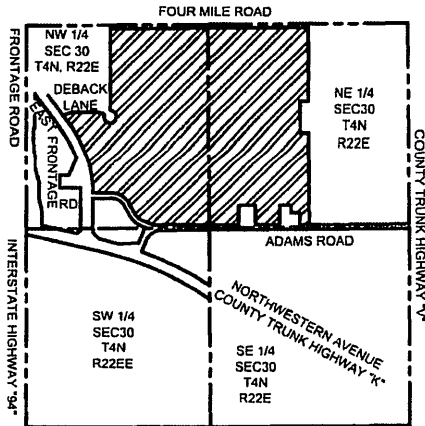
This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB # 390.10
SHEET 8 OF 12

CERTIFIED SURVEY MAP NO. 3308

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

VICINITY MAP
SCALE 1"=2000'



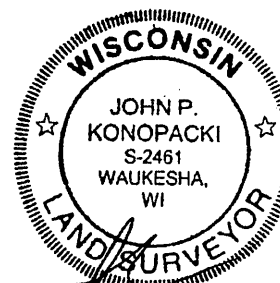
BOUNDARY LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	S89°17'46"W	124.96'
L2	N00°42'14"W	148.00'
L3	S89°17'46"W	120.00'
L4	N00°42'14"W	108.17'
L5	S00°42'14"E	256.17'
L6	S89°17'46"W	320.00'
L7	N00°42'14"W	256.17'
L8	S00°42'14"E	256.17'
L9	S01°05'53"E	258.41'
L10	S25°30'07"W	93.65'
L11	N88°54'07"E	98.70'

BOUNDARY CURVE TABLE

CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT IN	TANGENT OUT
C1	63.37'	165.00'	022°00'21"	N79°42'15"W	62.98'	N89°17'35"E	S68°42'04"E
C2	138.16'	200.00'	039°34'47"	N48°54'41"W	135.43'	S68°42'04"E	N29°07'17"W
C3	305.84'	285.00'	061°29'06"	N59°51'50"W	291.37'	N29°07'17"W	S89°23'37"W
C4	932.12'	1420.00'	037°36'36"	N19°25'38"W	915.47'	N00°37'19"W	N38°13'56"W
C5	142.13'	217.00'	037°31'42"	N70°31'55"E	139.61'	S89°17'46"W	S51°46'04"W
C6	151.13'	567.00'	015°16'18"	S83°04'05"E	150.68'	N75°25'56"W	S89°17'46"W
C7	43.64'	30.00'	83°20'42"	S33°45'35"E	39.89'	N07°54'47"E	N75°25'56"W
C8	384.45'	80.00'	275°20'23"	N50°14'35"E	107.74'	S87°25'36"E	N07°54'47"E
C9	137.42'	296.00'	026°36'00"	S12°12'07"W	136.19'	S01°05'53"E	S25°30'07"W
C10	211.54'	333.00'	036°23'54"	S7°18'10"W	208.01'	S25°30'07"W	S10°53'47"E
C11	39.79'	333.00'	006°50'50"	S22°04'42"W	39.77'		
C12	171.75'	333.00'	029°33'04"	S3°52'45"W	169.85'		
C13	100.78'	72.00'	080°12'06"	S50°59'50"E	92.76'	S10°53'47"E	N88°54'07"E

WETLAND RESTRICTIONS

- Grading and filling are prohibited, unless specifically authorized by the municipality in which this land is located and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
- The removal of topsoil or other earthen materials is prohibited.
- The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that dead, diseased or dying vegetation may be removed.
- Grazing by domesticated animals, i.e., horses, cows, etc., is prohibited.
- The introduction of plant material not indigenous to the existing environment of the Wetland area is prohibited.
- Ponds may be permitted subject to the approval of the municipality and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
- The construction of buildings is prohibited.



JUNE 28, 2018

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEGJOB#390.10
SHEET 9 OF 12

CERTIFIED SURVEY MAP NO. 3300

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and redivided all of Lot 2 of Certified Survey Map No. 3219, recorded in the Office of the Register of Deeds for Racine County on October 4, 2016 as Document No. 2446965, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, which is bounded and described as follows:

Commencing at the northwest corner of the Northwest 1/4 of said Section 30; thence North 89°16'18" East along the north line of said Northwest 1/4, 515.50 feet; thence South 00°37'34" East, 45.00 feet to the south right of way line of Four Mile Road; thence North 89°16'18" East along said south right of way line, 601.64 feet to the point of beginning:

Thence continuing North 89°16'18" East along said south right of way line, 1297.20 feet; thence North 89°23'57" East along said south right of way line, 1326.68 feet to the east line of the West 1/2 of said Northeast 1/4; thence South 01°05'53" East along said east line, 954.92 feet; thence South 89°05'09" West, 110.09 feet; thence South 01°05'53" East, 400.00 feet; thence North 88°54'07" East, 110.08 feet to the aforesaid east line; thence South 01°05'53" East along said east line, 1211.75 feet to the north right of way line of Adams Road; thence South 89°17'46" West along said north right of way line, 124.98 feet; thence North 00°42'14" West, 148.00 feet; thence South 89°17'46" West, 120.00 feet; thence North 00°42'14" West, 108.17 feet; thence South 89°17'46" West, 150.00 feet; thence South 00°42'14" East, 256.17 feet to the aforesaid north right of way line; thence South 89°17'46" West along said south line, 320.00 feet; thence North 00°42'14" West, 256.17 feet; thence South 89°17'46" West, 225.00 feet; thence South 00°42'14" East, 256.17 feet to the aforesaid north right of way line; thence the following courses along said north right of way line: South 89°17'46" West, 387.46 feet; South 89°17'31" West, 633.71 feet; North 00°42'25" West, 2.00 feet; South 89°17'35" West, 85.52 feet to a point of curvature; Northwesterly 63.37 feet along the arc of said curve to the right, whose radius is 165.00 feet and whose chord bears North 79°42'15" West, 62.98 feet; North 68°42'04" West, 113.65 feet to a point of curvature; Northwesterly 138.16 feet along the arc of said curve to the right, whose radius is 200.00 feet and whose chord bears North 48°54'41" West, 135.43 feet; North 29°07'17" West, 160.67 feet to a point of curvature; Northwesterly 305.84 feet along the arc of said curve to the left, whose radius is 285.00 feet and whose chord bears North 59°51'50" West, 291.37 feet; South 89°23'37" West, 235.10 feet to the east right of way line of East Frontage Road; thence North 00°36'23" West along said east right of way line, 10.25 feet to a point of curvature; thence Northwesterly 932.12 feet along the arc of said curve to the left and said east right of way line, whose radius is 1420.00 feet and whose chord bears North 19°25'38" West, 915.47 feet; thence North 38°13'56" West along said east right of way line, 147.33 feet to south right of way line of Deback Lane; thence the following courses along the south and then north right of way line of said Deback Lane: North 51°46'04" East, 17.54 feet to a point of curvature; Northeasterly 142.13 feet along the arc of said curve to the right, whose radius is 217.00 feet and whose chord bears North 70°31'55" East, 139.61 feet to point of tangency; North 89°17'46" East, 217.75 feet to a point of curvature; Southeasterly 151.13 feet along the arc said curve to the right, whose radius is 567.00 feet and whose chord bears South 83°04'05" East, 150.68 to a point of compound curvature; Southeasterly 43.64 feet along the arc of said curve to the right, whose radius is 30.00 feet and whose chord bears South 33°45'35" East, 39.89 feet of reverse curve; Northeasterly 384.45 feet along the arc of said curve to the left, whose radius is 80.00 feet and whose chord bears North 50°14'35" East, 107.74 feet; thence North 00°42'14" West along the west line of said Certified Survey Map No. 3219, 1066.06 feet to the Point of Beginning.

Containing 6,838,094 square feet (156.9810 acres) of land, more or less.

That I have made such survey, land division and map by the direction of WISPARK, LLC, owner of said land.

That such plat is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of s.236.34 of the Wisconsin State Statutes and the Village of Caledonia Land Division Ordinance in surveying, mapping and dividing the same.

Date: JUNE 28, 2018




John P. Konopacki
Professional Land Surveyor S-2461

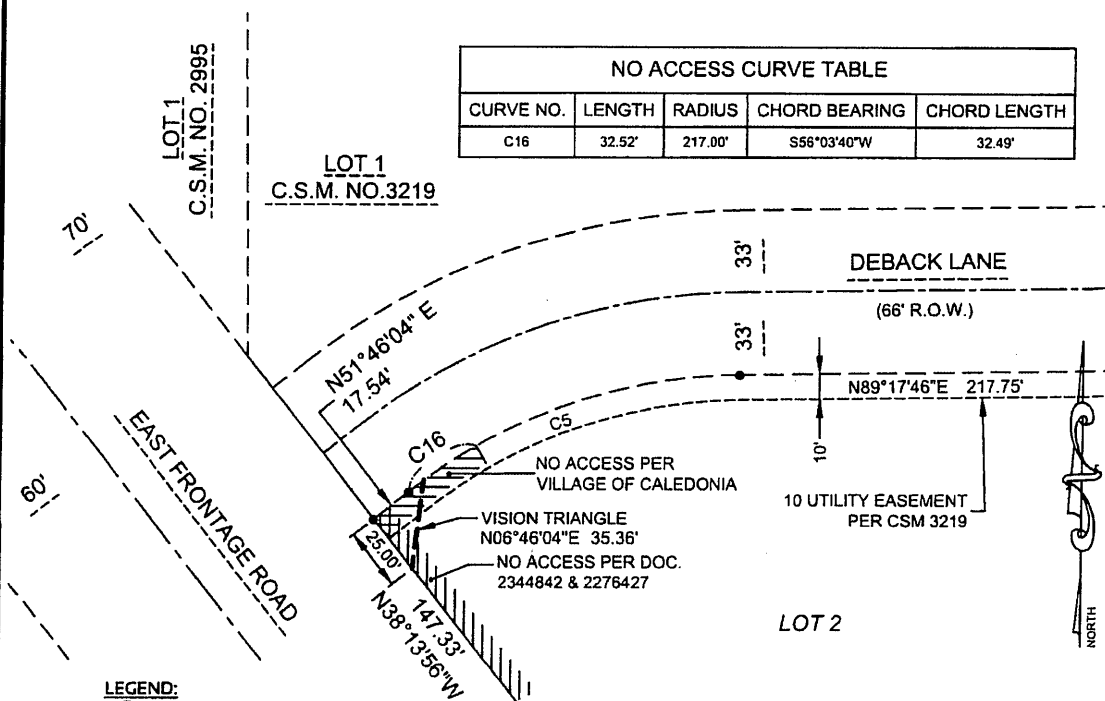
CERTIFIED SURVEY MAP NO. 3308

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

NO ACCESS AND VISION CORNER EASEMENT DETAIL

SCALE=1"=60'

NO ACCESS CURVE TABLE				
CURVE NO.	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C16	32.52'	217.00'	S56°03'40"W	32.49'



LEGEND:

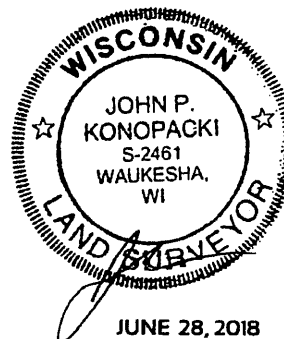
- - Denotes Found 1" Iron Pipe
- - Denotes Found 3/4" Rod
- (R) - Denotes "Recorded As"
- //// - Denotes No Access

NO ACCESS NOTE:

WISPARK, LLC, as owner, hereby restricts all lots in that no owner possessor, user, nor licensee, nor other person shall have any right of direct vehicular ingress or egress with East Frontage Road, as shown on this certified survey map; it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to s.236.293 of the Wisconsin State Statutes, and shall be enforceable by the Department of Transportation.

VISION CORNER EASEMENT RESTRICTIONS:

No structure or improvements of any kind is permitted within the vision corner.
No vegetation within the vision corner may exceed 30 inches in height.



JUNE 28, 2018

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. 5-2461

PEG JOB#390.10
SHEET 11 OF 12

VOL 10 PAGE 929

CERTIFIED SURVEY MAP NO. 3307

Being a redivision of all of Lot 2, Certified Survey Map No. 3219, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin

OWNER'S CERTIFICATE OF DEDICATION

WISPARK, LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this certified survey map to be surveyed, divided, mapped and dedicated as represented on this certified survey map.

I also certify that this certified survey map is required by s.236.10 or s.236.12 of the Wisconsin State Statutes to be submitted to the following for approval or objection:

1. Village of Caledonia

IN WITNESS WHEREOF, the said WISPARK, LLC has caused these presents to be signed by (name) Erica Nicole Harris, (title) vice president, at Milwaukee Milwaukee County, Wisconsin, on this 10th day of July, 2018.

In the presence of: WISPARK, LLC

signature [Signature]
ERICA NICOLE HARRIS,
VICE PRESIDENT

STATE OF WISCONSIN)
Milwaukee COUNTY) SS

Personally came before me this 10 day of July, 2018 (name) Erica-Nicole Harris (title) Vice President, to me known to be the person who executed the foregoing instrument and acknowledged the same.

[Signature]
Notary Public
Name: Susan L. Warzala
State of Wisconsin
My Commission Expires: 2/2/2021



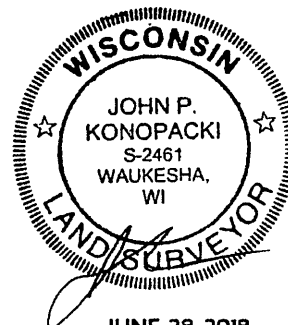
VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Caledonia on this 2nd day of July, 2018.

7/11/2018
Date

[Signature]
Karie Torkilsen, Village Clerk

FROM ALL OF:
104-04-22-30-015-200
TO:
LOT 1: 104-04-22-30-015-201
LOT 2: 104-04-22-30-015-202



JUNE 28, 2018

Prepared By:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#390.10
SHEET 12 OF 12

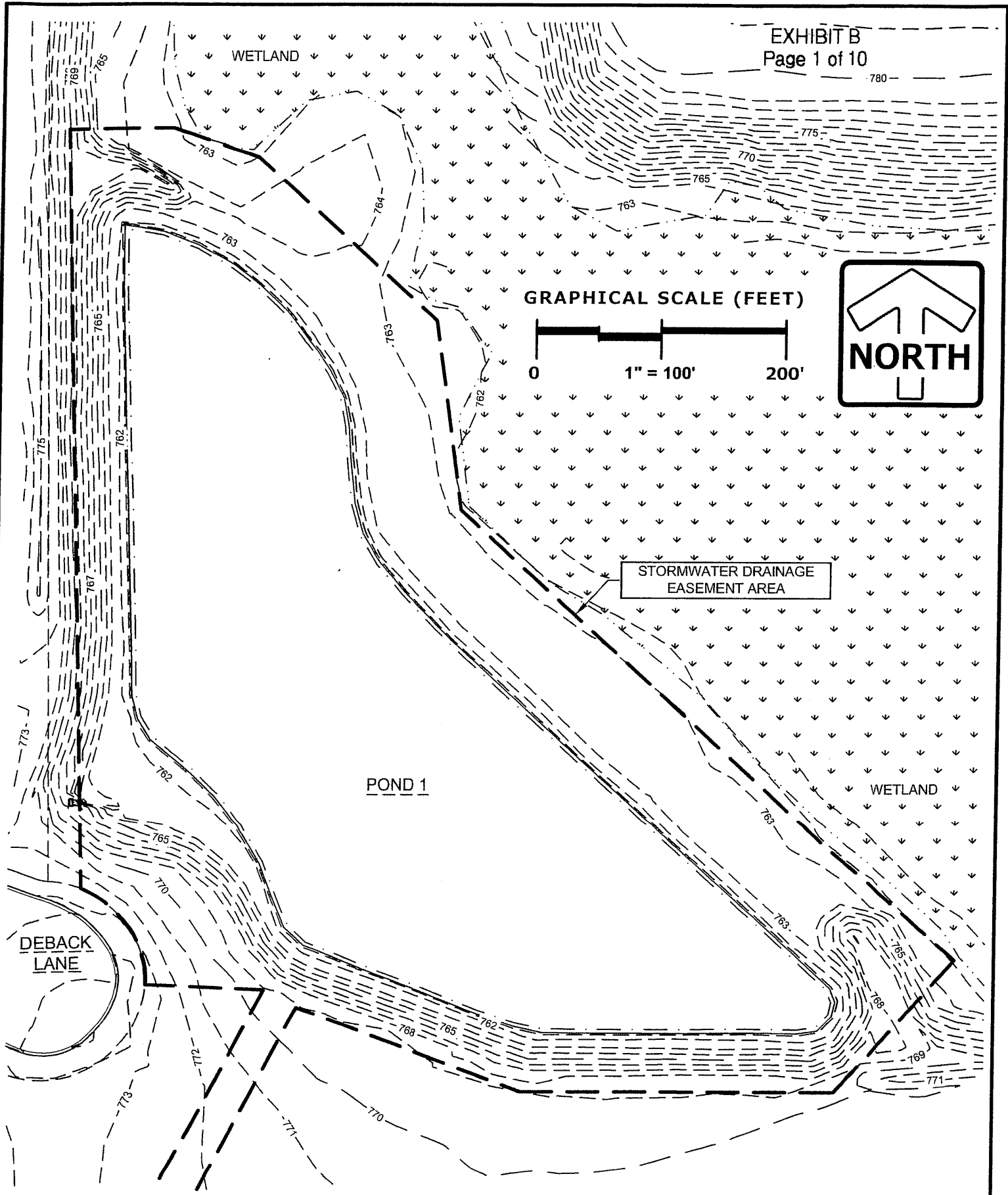


EXHIBIT - POND 1

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

WWW.PINNACLE-ENGR.COM

03/15/21

PLAN | DESIGN | DELIVER

PEG JOB#390.OOC



GRAPHICAL
SCALE (FEET)

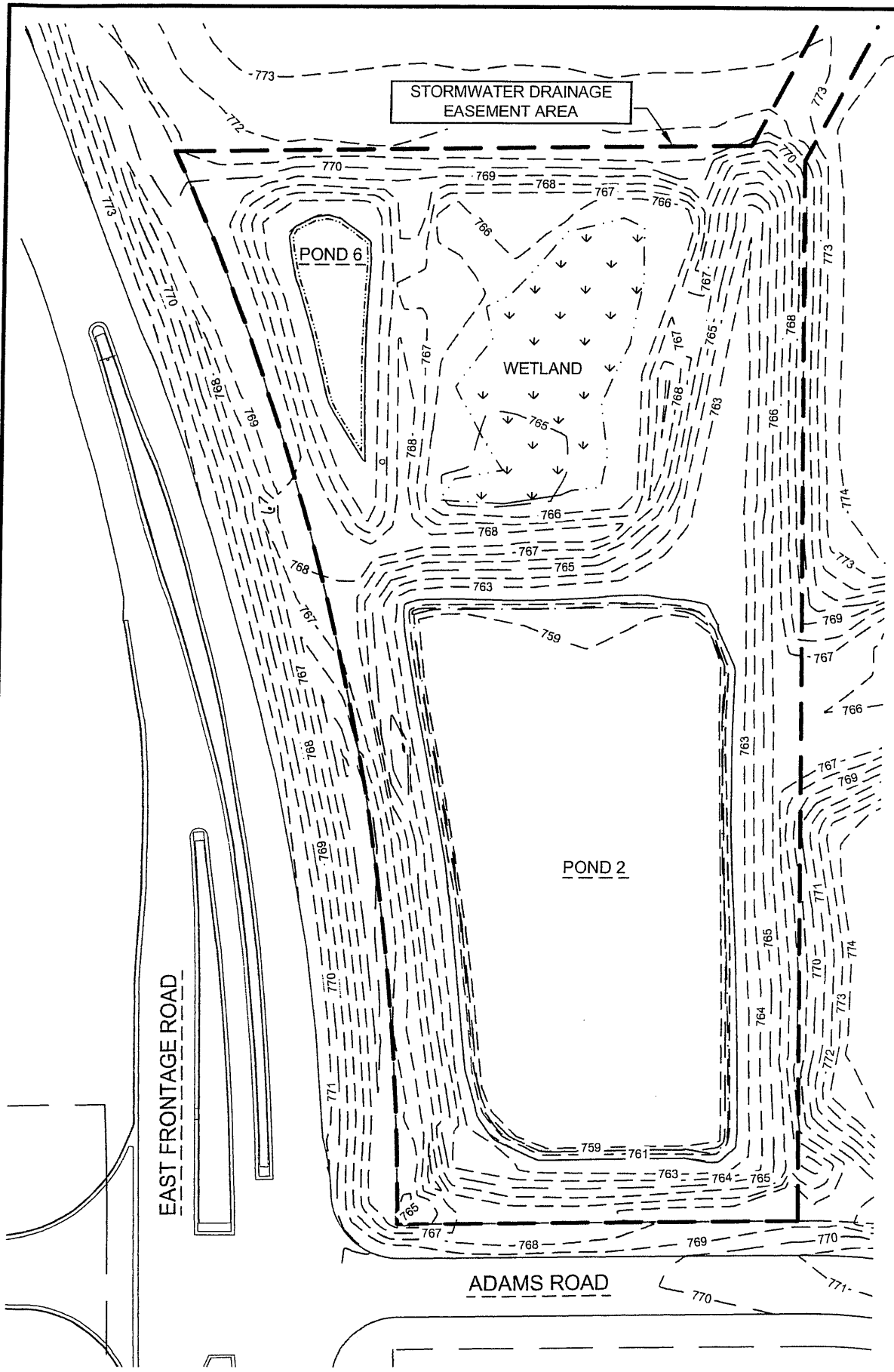
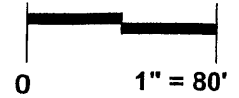


EXHIBIT - POND 2 AND POND 6

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

WWW.PINNACLE-ENGR.COM

03/15/21

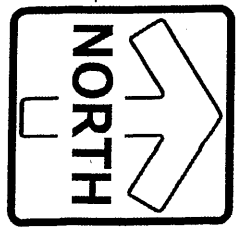
PLAN | DESIGN | DELIVER

PEG JOB#390.OOC

ADAMS ROAD

STORMWATER DRAINAGE
EASEMENT AREA

POND 3



GRAPHICAL
SCALE (FEET)

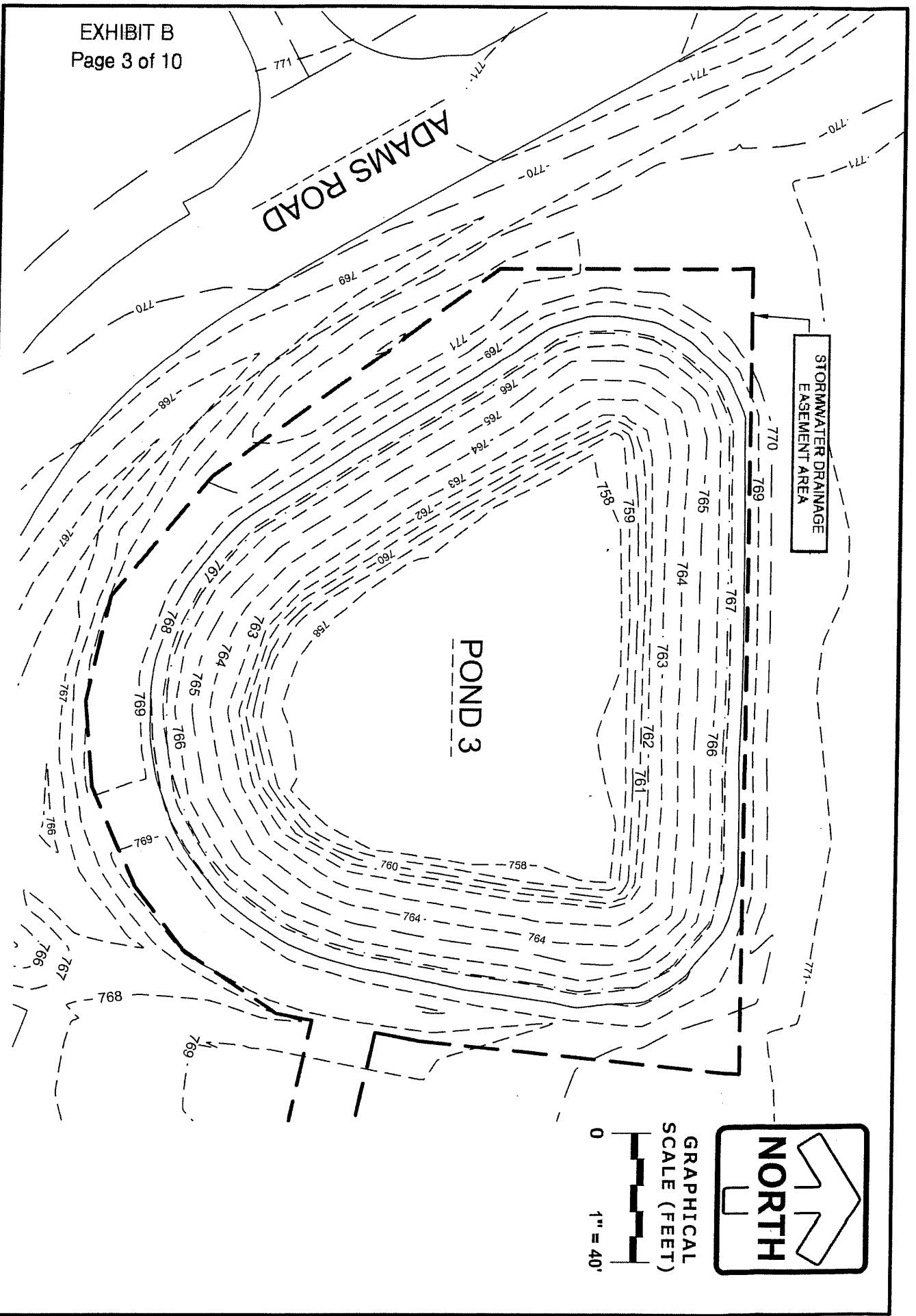
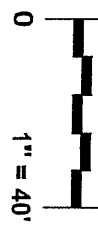


EXHIBIT - POND 3

PINNACLE ENGINEERING GROUP

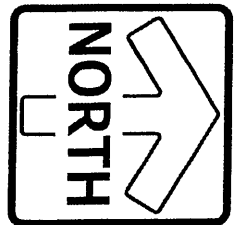
20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

03/15/2021

PLAN | DESIGN | DELIVER

WWW.PINNACLE-ENGR.COM

PEGJOB#390.00C



GRAPHICAL SCALE (FEET)

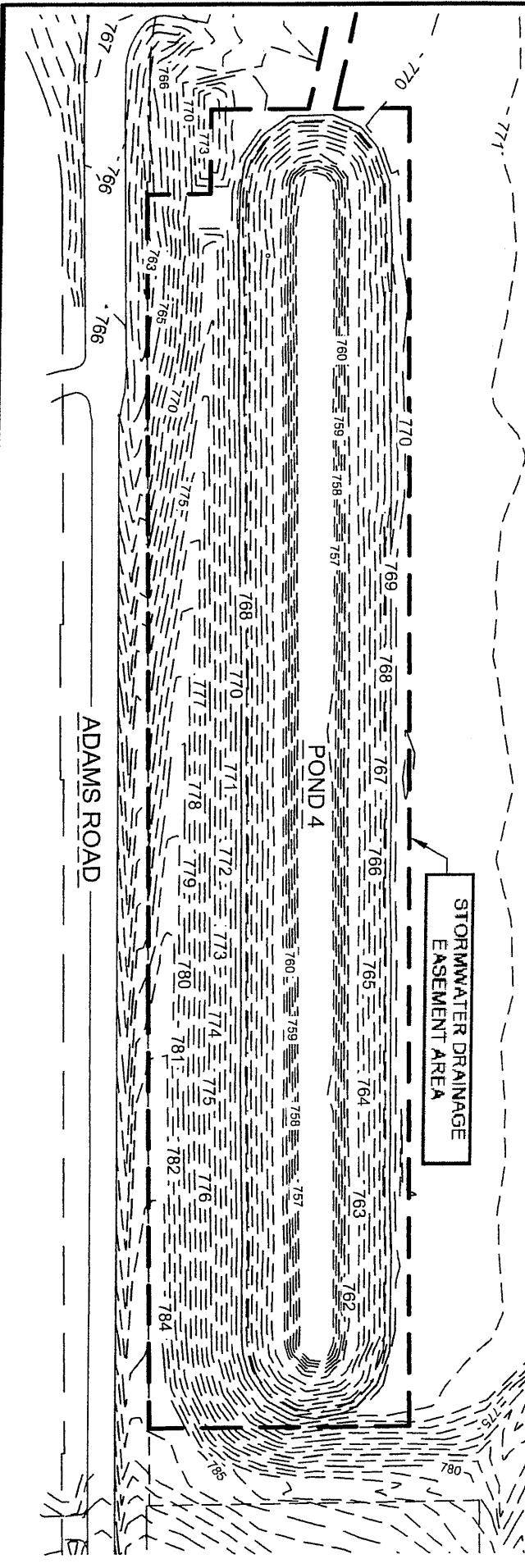
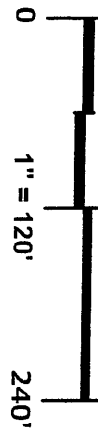


EXHIBIT - POND 4

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

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PLAN | DESIGN | DELIVER

03/15/2021

PEGJOB#390.00C



GRAPHICAL SCALE (FEET)

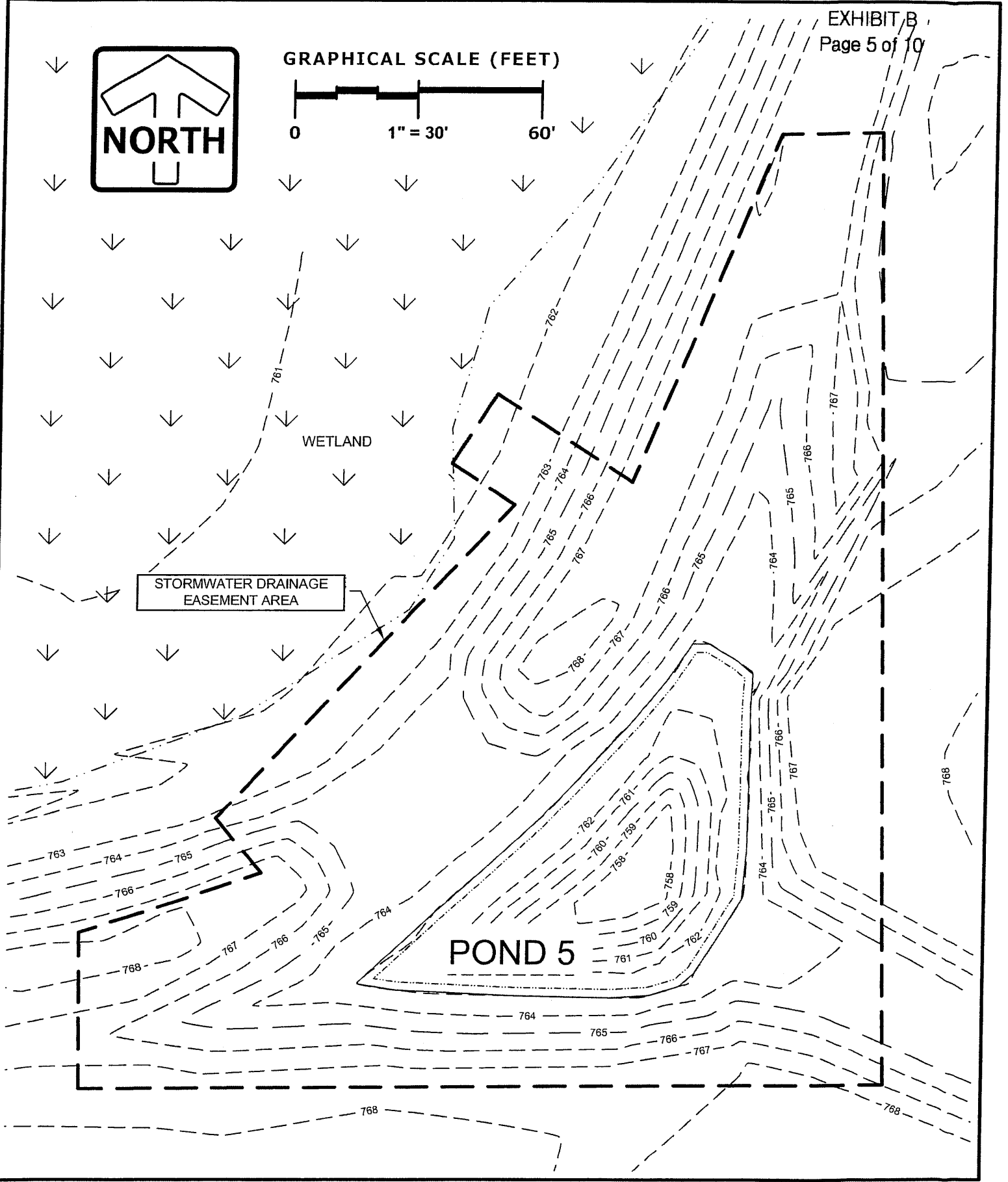
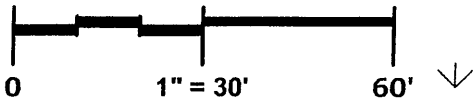
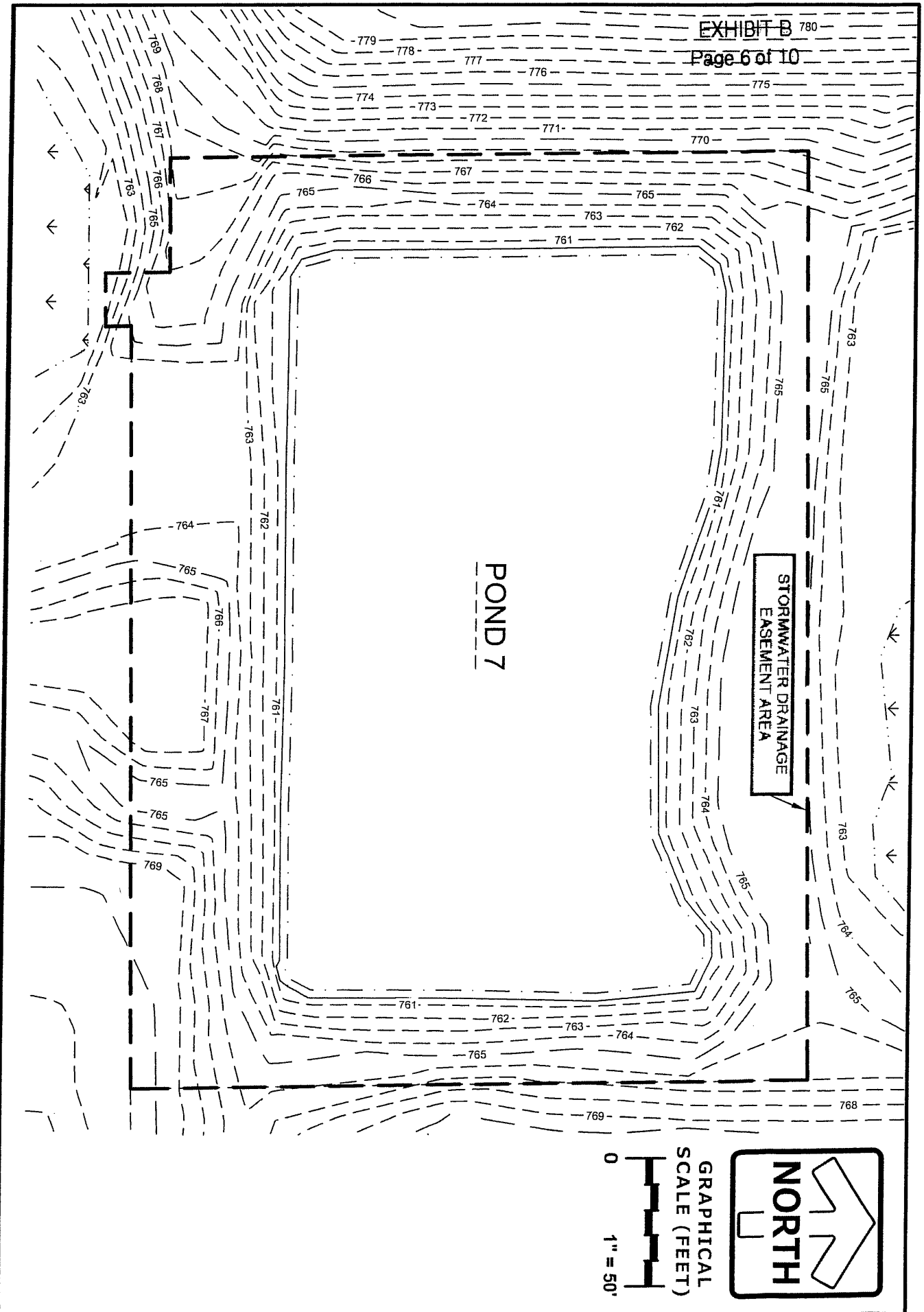


EXHIBIT - POND 5

PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

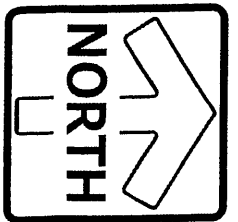
WWW.PINNACLE-ENGR.COM

03/15/21
PLAN | DESIGN | DELIVER
PEG JOB#390.00C



STORMWATER DRAINAGE
EASEMENT AREA

POND 7



GRAPHICAL
SCALE (FEET)
0 1" = 50'

EXHIBIT - POND 7

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

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PEGJOB#390.00C

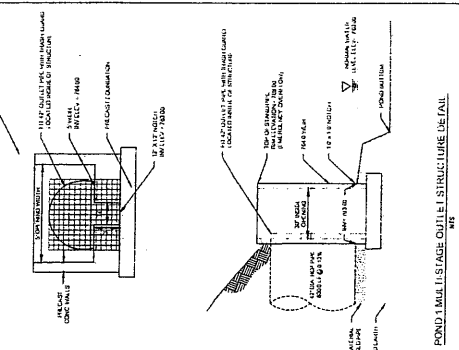
03/15/2021

REVISIONS	
NO.	DESCRIPTION

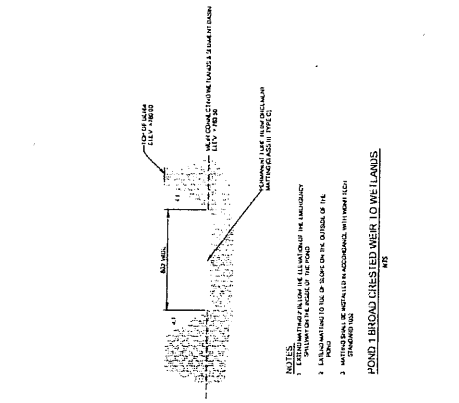
CONSTRUCTION DETAILS

DEBACK FARMS BUSINESS PARK
CALEDONIA, WI

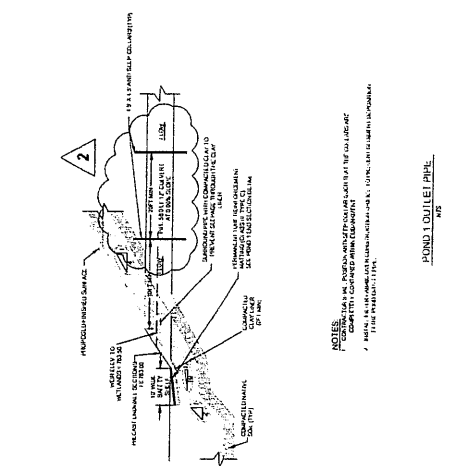
Pinnacle Engineering Group
INCORPORATED IN ILLINOIS, LICENSED PROFESSIONAL ENGINEERS
11111 W. 151ST STREET, SUITE 100, BLOOMINGTON, IL 61710
TEL: 312.231.1111 FAX: 312.231.1112
WWW.PINNACLE-ENGINEERING.COM



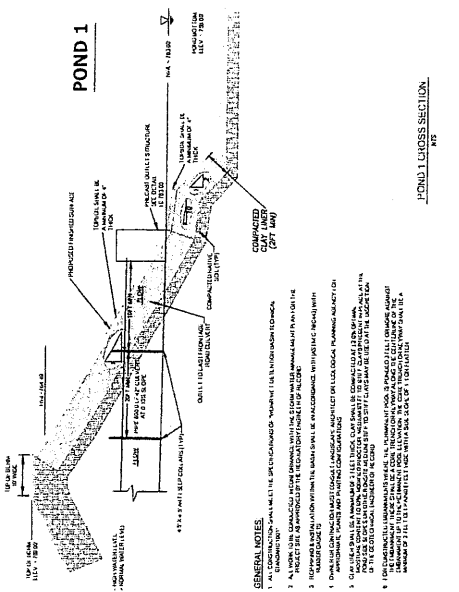
POND 1 MULTI-STAGE OUTLET STRUCTURE DETAIL



POND 1 BROAD CRESTED WEIR TO WETLANDS

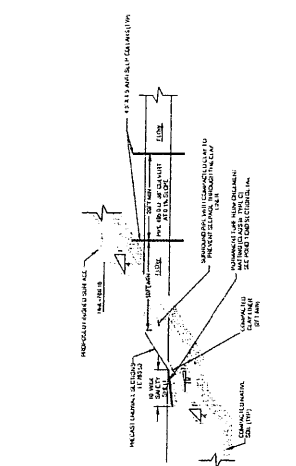


POND 1 CROSS SECTION

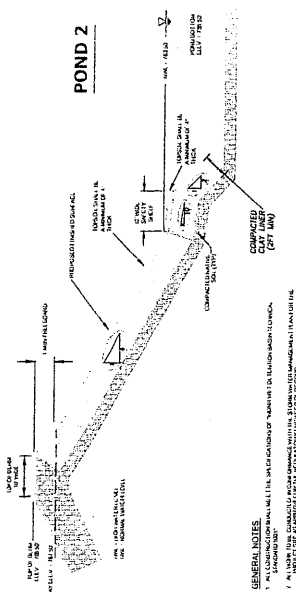


POND 1 CROSS SECTION

STORMWATER POND 1 CROSS SECTION

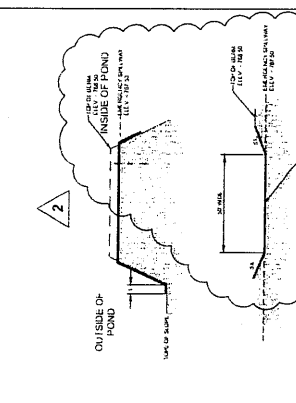


POND 1 OUTLET PIPE



POND 2 CROSS SECTION

STORMWATER POND 2 CROSS SECTION



POND 2 EMERGENCY SHALLOWS DETAIL

- GENERAL NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS TO THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, WITH THE FOLLOWING MODIFICATIONS:
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED ELEVATIONS AND SLOPES THROUGHOUT CONSTRUCTION.
 5. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED ELEVATIONS AND SLOPES THROUGHOUT CONSTRUCTION.
 6. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED ELEVATIONS AND SLOPES THROUGHOUT CONSTRUCTION.
 7. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED ELEVATIONS AND SLOPES THROUGHOUT CONSTRUCTION.
 8. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED ELEVATIONS AND SLOPES THROUGHOUT CONSTRUCTION.

- NOTES:**
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- GENERAL NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS TO THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, WITH THE FOLLOWING MODIFICATIONS:
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED ELEVATIONS AND SLOPES THROUGHOUT CONSTRUCTION.
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SHEET NO. 18-C-19
DATE: 08/11/10

NO.	REVISIONS

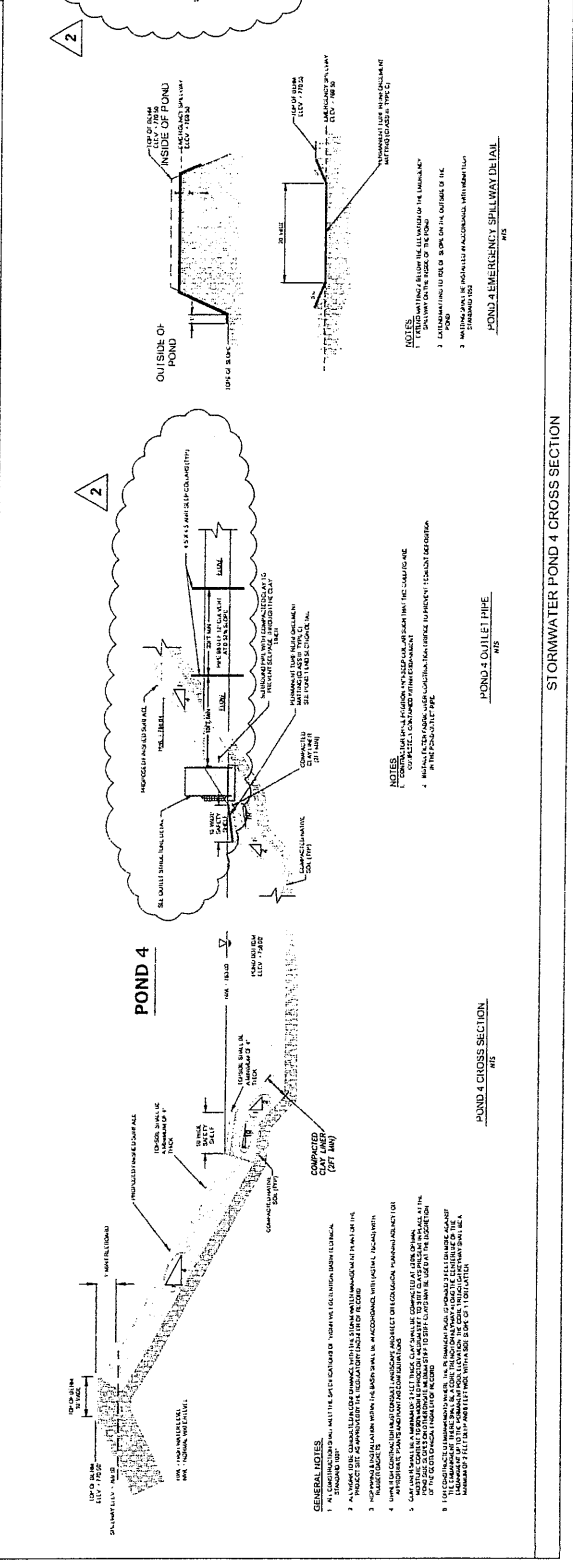
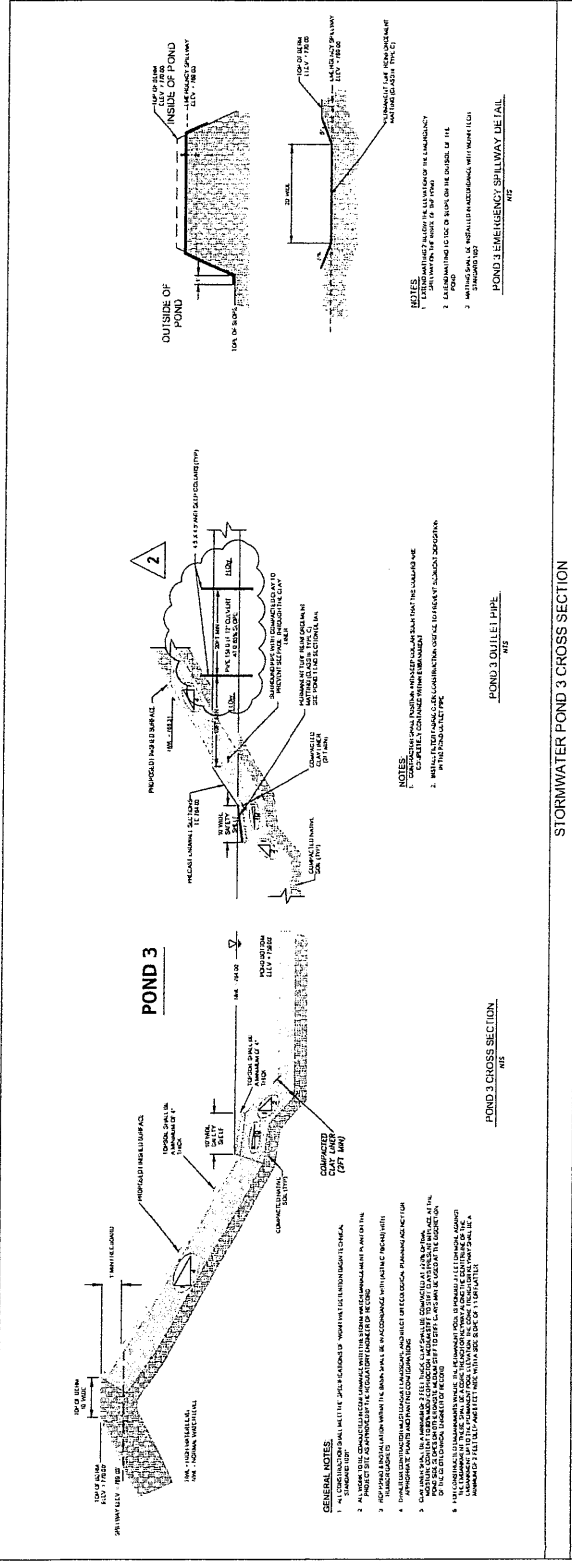
CONSTRUCTION DETAILS

DEBACK FARMS BUSINESS PARK
CALEDONIA, WI

PINACLE ENGINEERING GROUP
1000 W. WISCONSIN ST., SUITE 100, WAUKESHA, WI 53186
TEL: 262.781.1111 FAX: 262.781.1112
WWW.PINACLE-ENG.COM

CONSTRUCTION DETAILS

FOR CONSTRUCTION

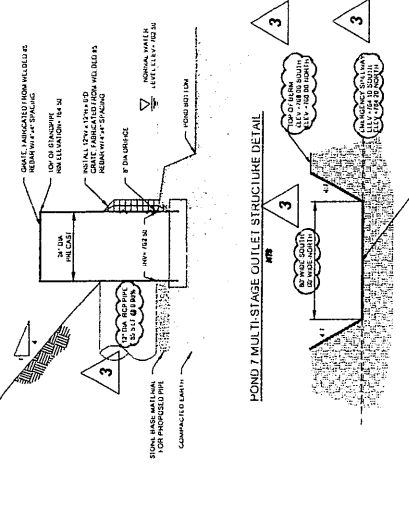


STORMWATER POND 4 CROSS SECTION

FOR CONSTRUCTION

CONSTRUCTION DETAILS

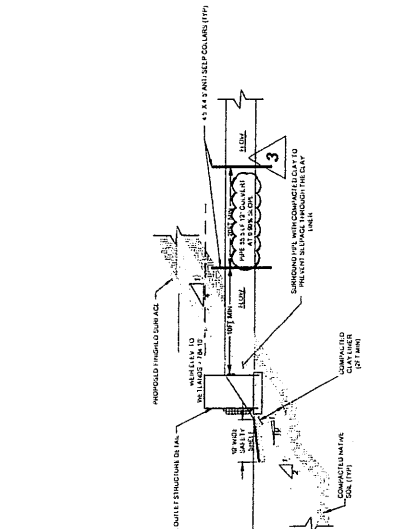
<p>PINNACLE ENGINEERING GROUP INCORPORATED 1000 WISCONSIN STREET, SUITE 200 MILWAUKEE, WI 53233 TEL: 414-224-2200 WWW.PINNACLE-ENG.COM</p>	<p>DEBACK FARMS BUSINESS PARK PHASE III CALEDONIA, WI</p>	<p>CONSTRUCTION DETAILS</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>01/15/2018</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>2</td> <td>02/01/2018</td> <td>ISSUED FOR CONSTRUCTION</td> </tr> <tr> <td>3</td> <td>02/01/2018</td> <td>ISSUED FOR CONSTRUCTION</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	01/15/2018	ISSUED FOR PERMITS	2	02/01/2018	ISSUED FOR CONSTRUCTION	3	02/01/2018	ISSUED FOR CONSTRUCTION	<p>SHEET C-34 C-39</p>
			NO.	DATE	DESCRIPTION											
1	01/15/2018	ISSUED FOR PERMITS														
2	02/01/2018	ISSUED FOR CONSTRUCTION														
3	02/01/2018	ISSUED FOR CONSTRUCTION														



NOTES

1. STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. MATERIALS SHALL BE APPROVED BY THE ENGINEER.
3. FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

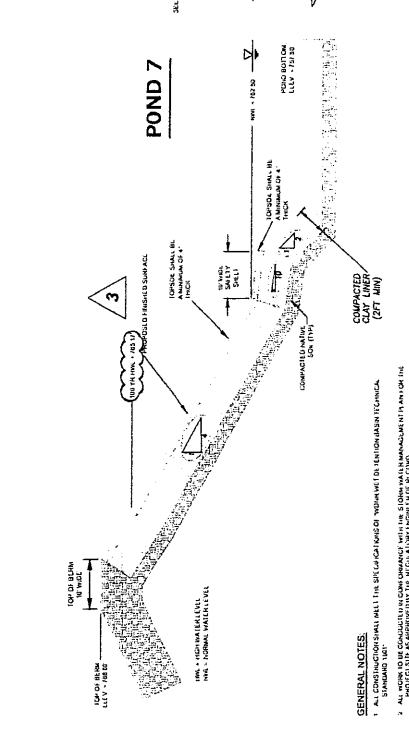
POND 7 / BROAD CRESTED WEIR TO WETLANDS



NOTES

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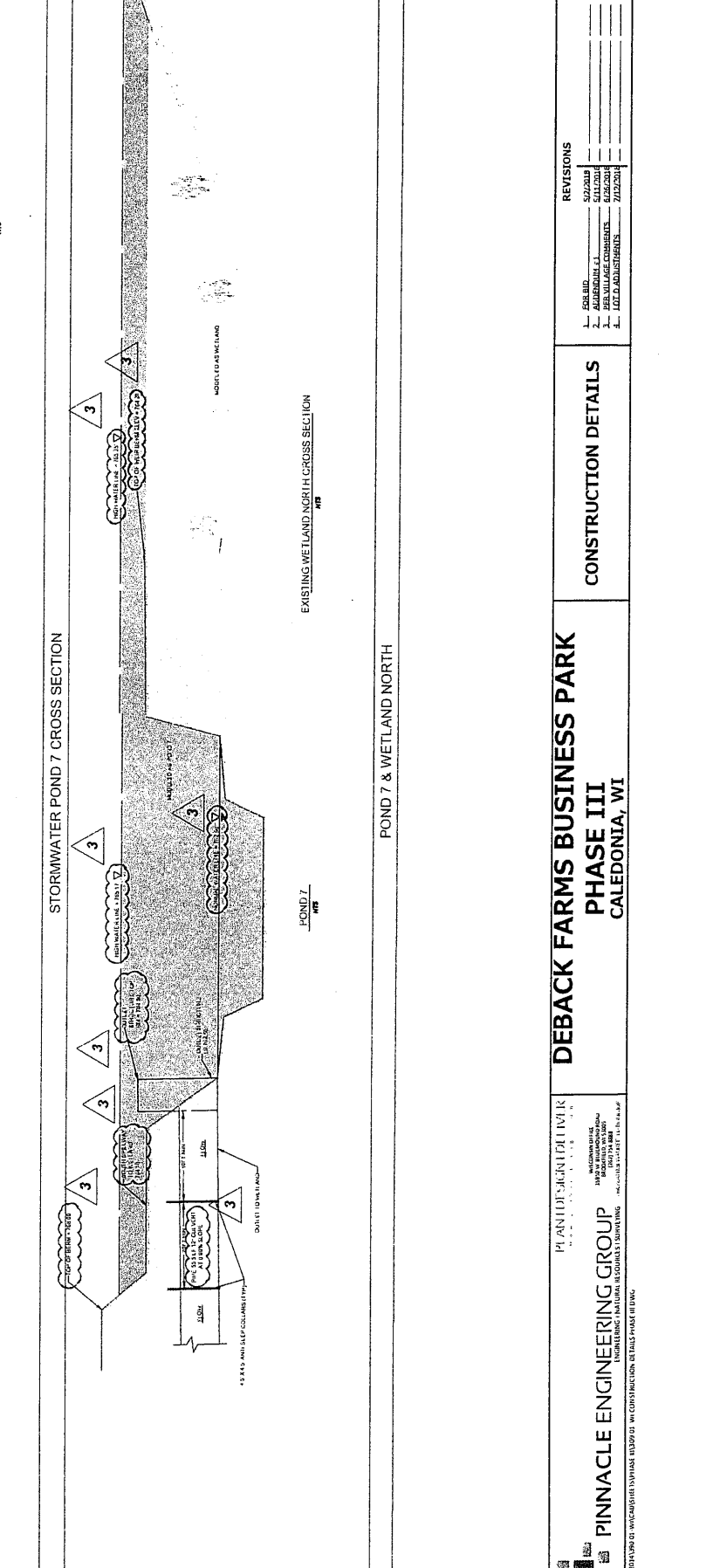
POND 7 OUTLET PIPE



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. MATERIALS SHALL BE APPROVED BY THE ENGINEER.
3. FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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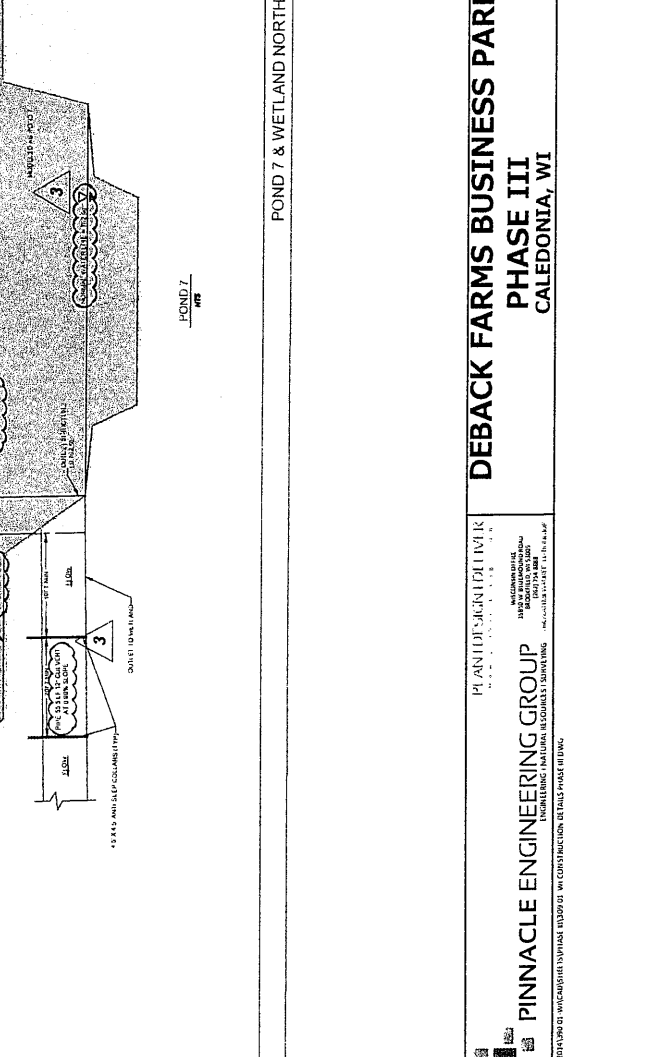
POND 7 CROSS SECTION



NOTES

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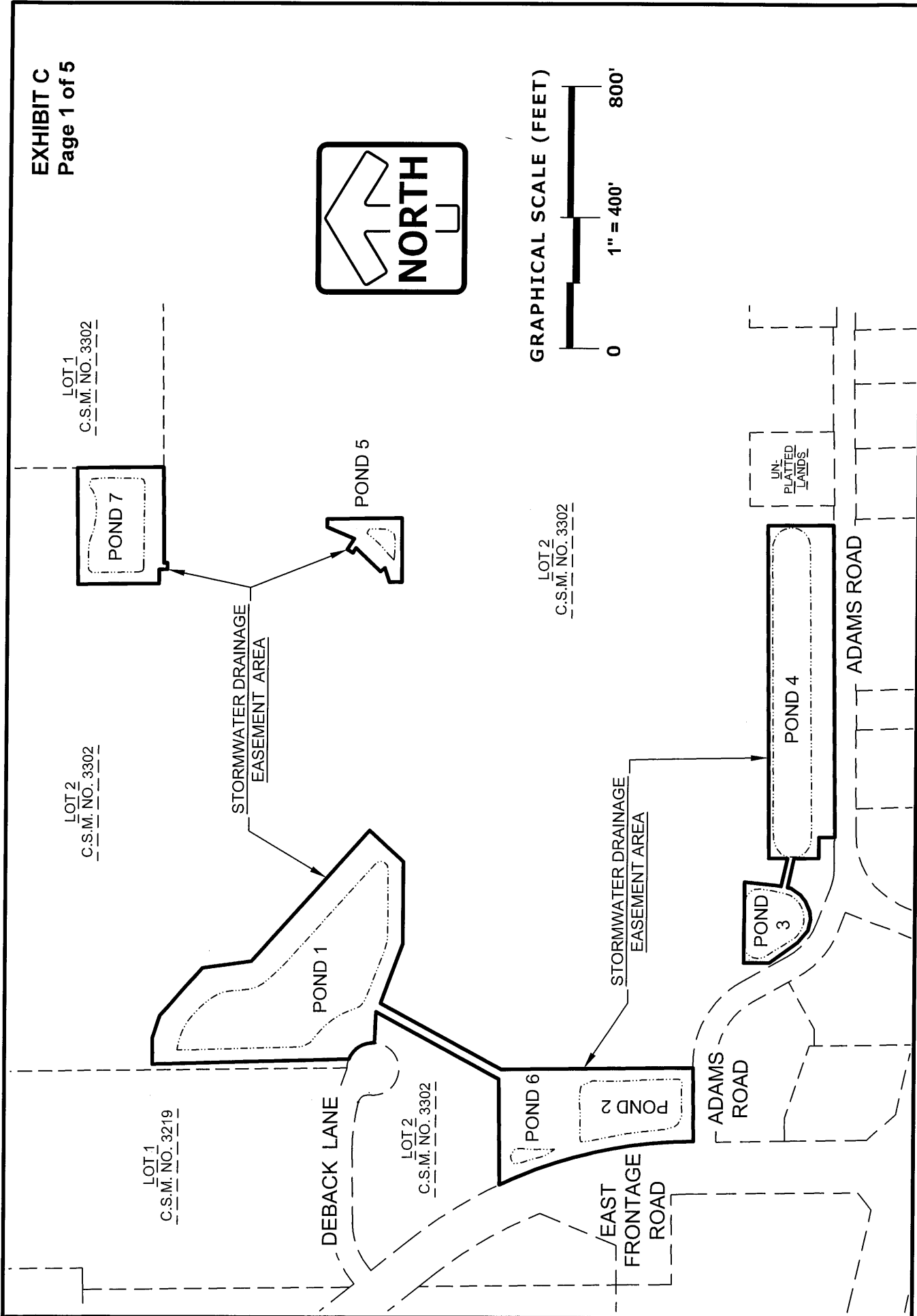
EXISTING WETLAND NORTH CROSS SECTION



NOTES

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3. FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

POND 7 & WETLAND NORTH



EXHIBIT

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

SHEET 1 OF 5

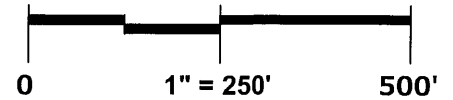
03/23/2021

PLAN | DESIGN | DELIVER

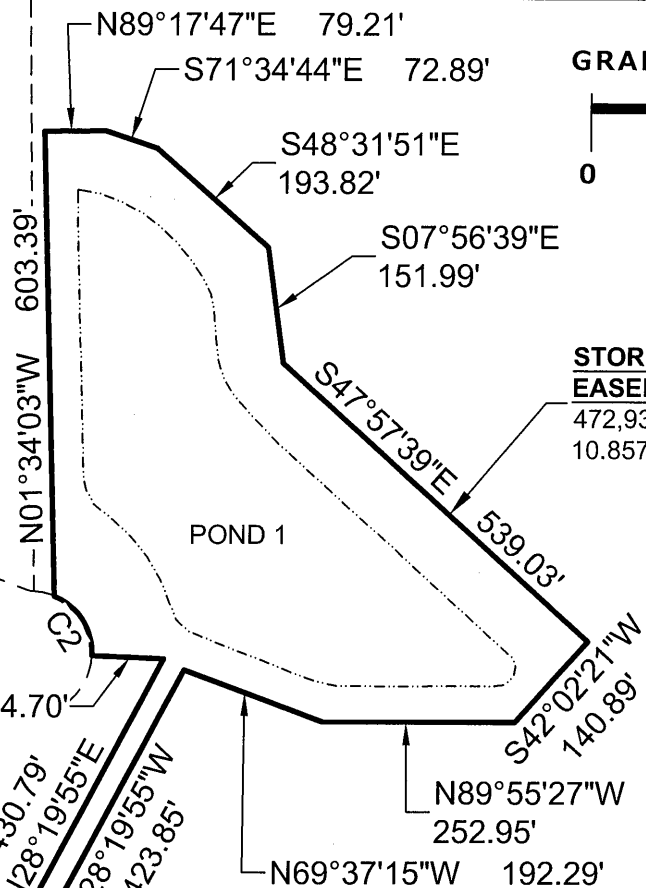
WWW.PINNACLE-ENGR.COM

PEGJOB#390.00C

GRAPHICAL SCALE (FEET)



LOT 1
C.S.M. NO. 3219



STORMWATER DRAINAGE EASEMENT AREA

472,939 SQ. FT.
10.8572 ACRES

LOT 2
C.S.M. NO. 3302

POND 1, POND 2 AND POND 6

LEGAL DESCRIPTION:

Being a part of Lot 2 of Certified Survey Map No. 3302, as recorded in the Register of Deeds office for Racine County as Document No. 2498467, located in the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

Beginning at the southwest corner of Lot 2 of said Certified Survey Map No. 3302; thence North 00°36'23" West along the west line of said Lot 2, 10.25 feet to a point of curvature; thence northwesterly 605.53 feet along the arc of said curve to the left and said west line, whose radius is 1420.00 feet and whose chord bears North 12°50'18" West, 600.96 feet; thence North 89°17'46" East, 322.10 feet; thence North 28°19'55" East, 430.79 feet; thence North 87°28'25" West, 94.70 feet to the right of way line of Deback Lane and a point on a curve; thence northwesterly 98.37 feet along the arc of said curve to the left and said right of way line, whose radius is 80.00 feet and whose chord bears North 32°41'55" West, 92.29 feet; thence North 01°34'03" West, 603.39 feet; thence North 89°17'47" East, 79.21 feet; thence South 71°34'44" East, 72.89 feet; thence South 48°31'51" East, 193.82 feet; thence South 07°56'39" East, 151.99 feet; thence South 47°57'39" East, 539.03 feet; thence South 42°02'21" West, 140.89 feet; thence North 89°55'27" West, 252.95 feet; thence North 69°37'15" West, 192.29 feet; thence South 28°19'55" West, 423.85 feet; thence South 00°36'23" East, 589.67 feet to the north right of way line of Adams Road; thence South 89°23'37" West, 224.38 feet to the Point of Beginning.

CURVE TABLE

CURVE NO.	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	605.53'	1420.00'	N12°50'18"W	600.96'
C2	98.37'	80.00'	N32°41'55"W	92.29'

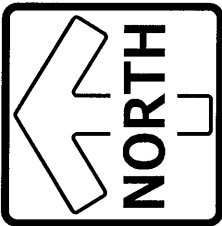
POND 3 AND POND 4

LEGAL DESCRIPTION:

Being a part of Lot 2 of Certified Survey Map No. 3302, as recorded in the Register of Deeds office for Racine County as Document No. 2498467, located in the Southwest 1/4 of the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

Commencing at the southeast corner of Lot 2 of said Certified Survey Map No. 3302; thence South 89°17'46" West, 1001.21 feet to the Point of Beginning;

Thence continuing South 89°17'46" West, 326.23 feet; thence South 89°17'31" West, 623.92 feet; thence North 00°43'24" West, 48.78 feet; thence North 89°59'02" West, 64.34 feet; thence North 00°14'04" West, 74.96 feet; thence North 77°28'53" West, 91.26 feet; thence South 10°59'31" West, 11.57 feet; thence South 34°03'43" West, 35.02 feet; thence South 52°20'27" West, 24.45 feet; thence South 66°00'20" West, 34.07 feet; thence South 84°51'37" West, 26.26 feet; thence North 76°38'11" West, 32.80 feet; thence North 50°19'53" West, 47.91 feet; thence North 35°40'00" West, 108.10 feet; thence North 00°14'34" West, 77.94 feet; thence South 89°52'44" East, 247.15 feet; thence South 05°51'14" West, 99.32 feet; thence South 10°59'31" West, 13.69 feet; thence South 77°28'53" East, 87.27 feet; thence North 00°13'21" West, 57.70 feet; thence North 89°21'03" East, 1014.38 feet; thence South 00°22'44" East, 201.74 feet to the Point of Beginning.



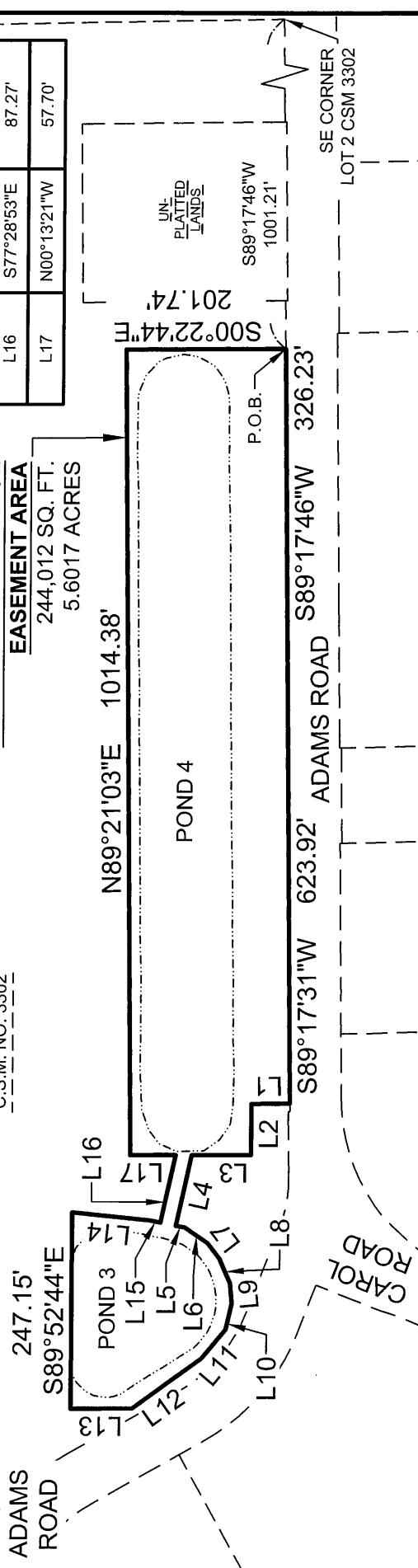
GRAPHICAL SCALE (FEET)



LOT 2
C.S.M. NO. 3302

**STORMWATER DRAINAGE
EASEMENT AREA**
244,012 SQ. FT.
5.6017 ACRES

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	N00°43'24"W	48.78'
L2	N89°59'02"W	64.34'
L3	N00°14'04"W	74.96'
L4	N77°28'53"W	91.26'
L5	S10°59'31"W	11.57'
L6	S34°03'43"W	35.02'
L7	S52°20'27"W	24.45'
L8	S66°00'20"W	34.07'
L9	S84°51'37"W	26.26'
L10	N76°38'11"W	32.80'
L11	N50°19'53"W	47.91'
L12	N35°40'00"W	108.10'
L13	N00°14'34"W	77.94'
L14	S05°51'14"W	99.32'
L15	S10°59'31"W	13.69'
L16	S77°28'53"E	87.27'
L17	N00°13'21"W	57.70'



EXHIBIT

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

SHEET 3 OF 5

03/23/2021

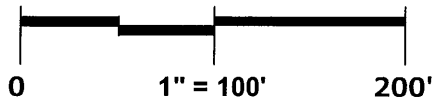
PLAN | DESIGN | DELIVER

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PEG JOB #390.00C



GRAPHICAL SCALE (FEET)



LOT 1
C.S.M. NO. 3302

163.52'
S89°23'57"W

SW CORNER
LOT 1 CSM 3302
P.O.C.

POND 5

LEGAL DESCRIPTION:

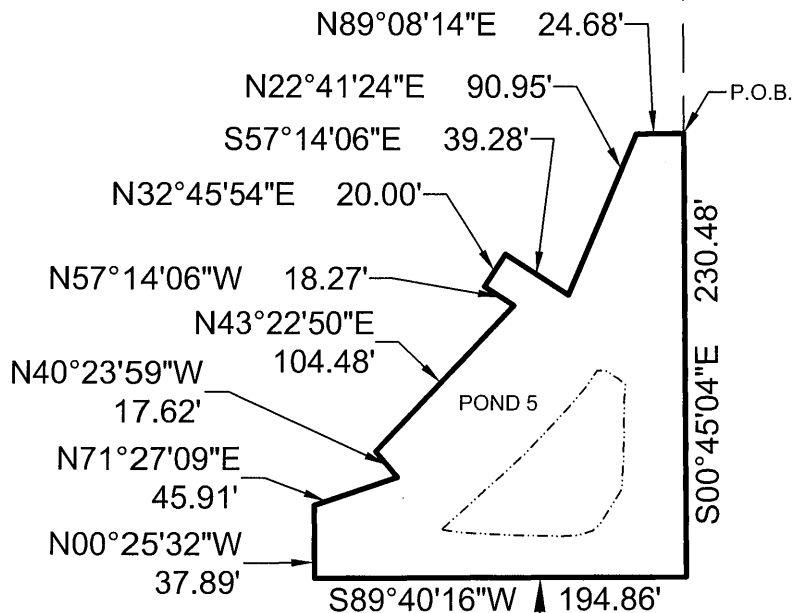
Being a part of Lot 2 of Certified Survey Map No. 3302, as recorded in the Register of Deeds office for Racine County as Document No. 2498467, located in the Northwest 1/4 of the Northeast 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

Commencing at the southwest corner of Lot 1 of Certified Survey Map No. 3302; thence South 89°23'57" West, 163.52 feet; thence South 00°45'04" East, 500.68 feet to the Point of Beginning;

Thence continuing South 00°45'04" East, 230.48 feet; thence South 89°40'16" West, 194.86 feet; thence North 00°25'32" West, 37.89 feet; thence North 71°27'09" East, 45.91 feet; thence North 40°23'59" West, 17.62 feet; thence North 43°22'50" East, 104.48 feet; thence North 57°14'06" West, 18.27 feet; thence North 32°45'54" East, 20.00 feet; thence South 57°14'06" East, 39.28 feet; thence North 22°41'24" East, 90.95 feet; thence North 89°08'14" East, 24.68 feet to the Point of Beginning.

LOT 2
C.S.M. NO. 3302

500.68'
S00°45'04"E



230.48'
S00°45'04"E

**STORMWATER DRAINAGE
EASEMENT AREA**

26,026 SQ. FT.
0.5975 ACRES

LOT 2
C.S.M. NO. 3302



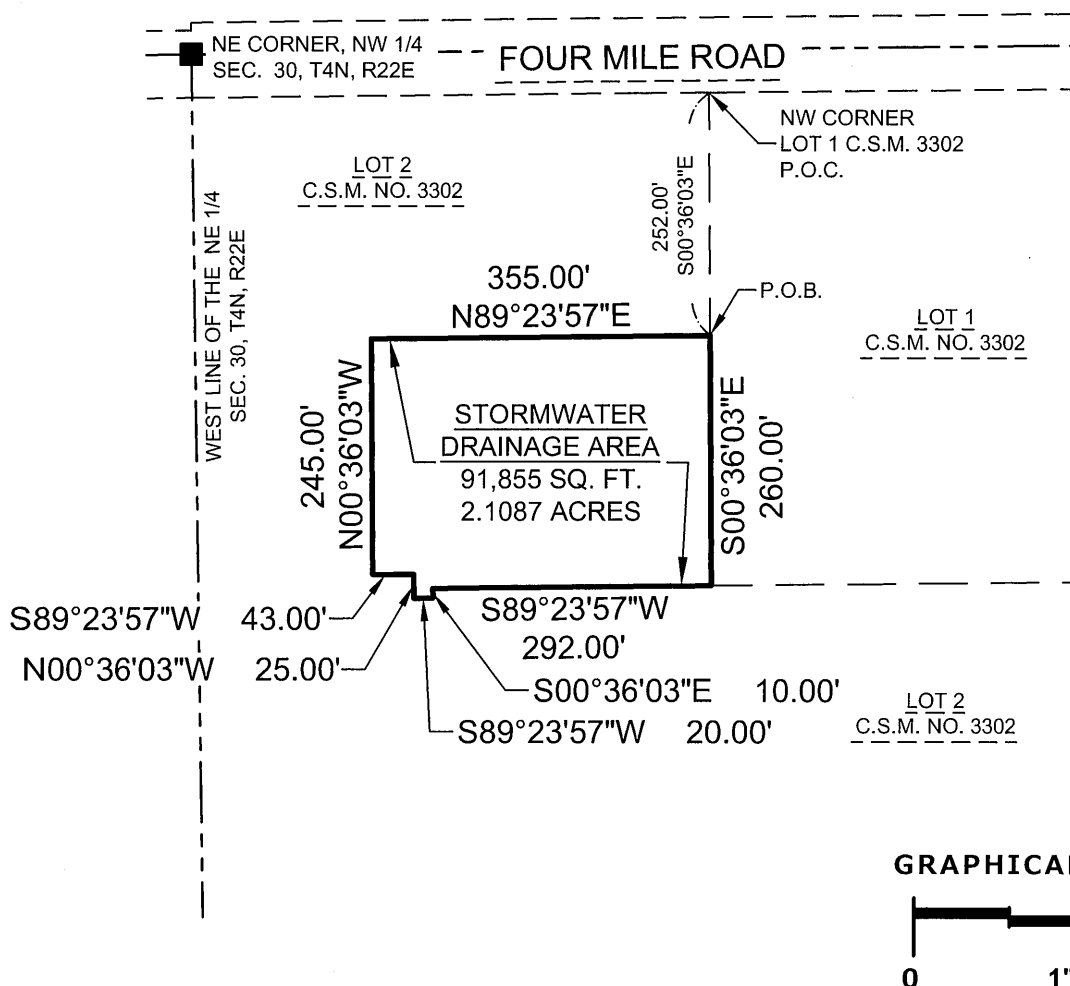
POND 7

LEGAL DESCRIPTION:

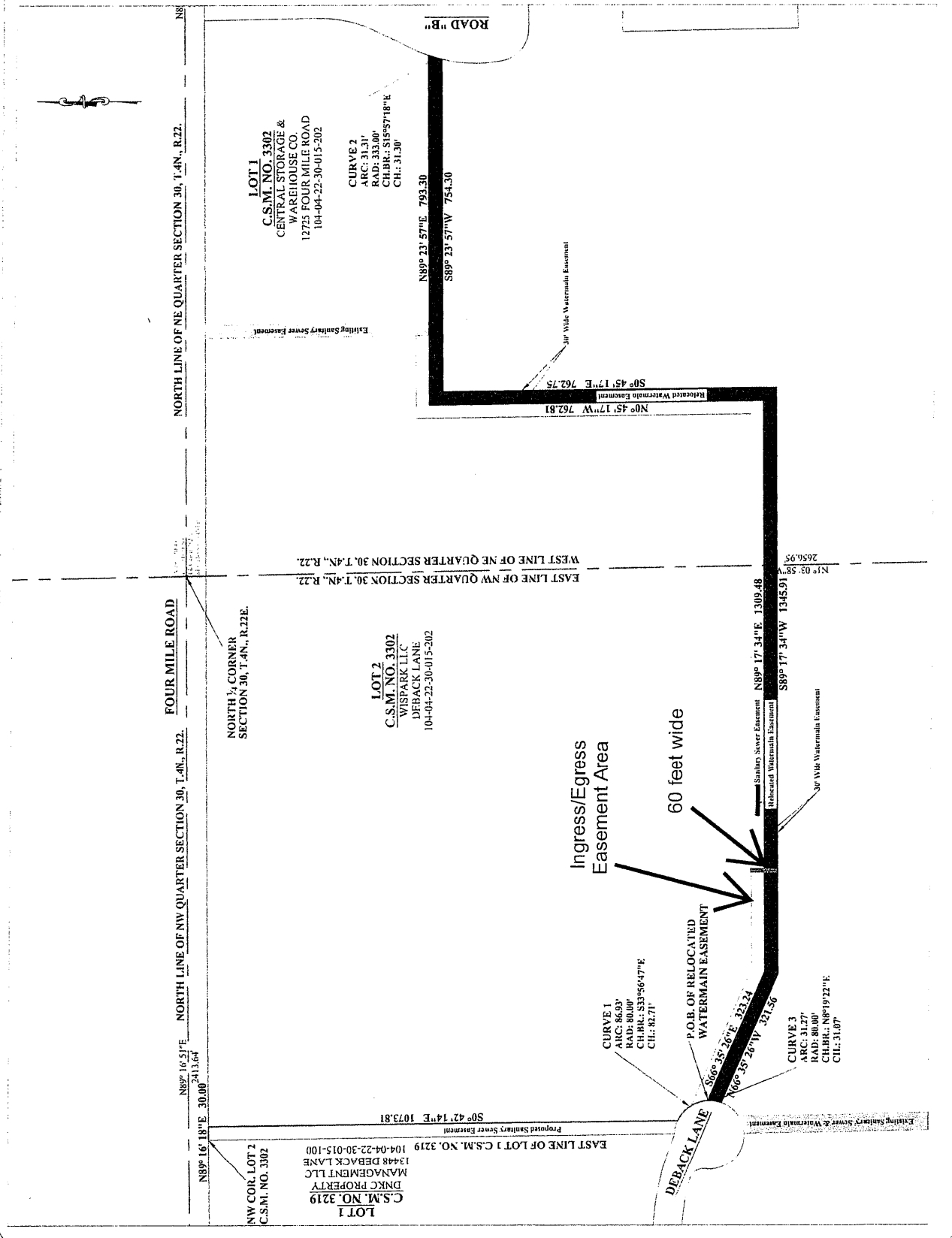
Being a part of Lot 2 of Certified Survey Map No. 3302, as recorded in the Register of Deeds office for Racine County as Document No. 2498467, located in the Northwest 1/4 of the Northeast 1/4 Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

Commencing at the northwest corner of Lot 1 of Certified Survey Map No. 3302; thence South 00°36'03" East along the west line of Lot 2 of said Certified Survey Map No. 3302; 252.00 feet to the the Point of Beginning;

Thence continuing South 00°36'03" East along said west line, 260.00 feet; thence South 89°23'57" West, 292.00 feet; thence South 00°36'03" East, 10.00 feet; thence South 89°23'57" West, 20.00 feet; thence North 00°36'03" West, 25.00 feet; thence South 89°23'57" West, 43.00 feet; thence North 00°36'03" West, 245.00 feet; thence North 89°23'57" East, 355.00 feet to the Point of Beginning.



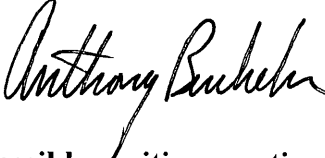
<p>General Notes</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">Revision/Issue</td> <td style="width: 50%; text-align: center;">Date</td> </tr> <tr> <td style="text-align: center;"> </td> <td style="text-align: center;"> </td> </tr> </table>	Revision/Issue	Date			<p style="text-align: center;">1 of 2</p> <p style="text-align: center;">Sheet</p>
Revision/Issue	Date					
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%; text-align: center;"> <p style="font-size: small;">Project</p> <p style="font-size: small;">Date</p> <p style="font-size: small;">Scale</p> </td> <td style="width: 70%; text-align: center;"> <p>Village of Caledonia Engineering Department 5043 Chester Lane Racine, WI 53402</p> <p style="font-size: x-small;">Project Name and Address</p> <p style="font-size: x-small;">DeBack Farms Business Park Watermain Easement Relocation</p> </td> </tr> <tr> <td style="text-align: center;"> <p>10/6/2020</p> <p>1" = 100'</p> </td> <td></td> </tr> </table>			<p style="font-size: small;">Project</p> <p style="font-size: small;">Date</p> <p style="font-size: small;">Scale</p>	<p>Village of Caledonia Engineering Department 5043 Chester Lane Racine, WI 53402</p> <p style="font-size: x-small;">Project Name and Address</p> <p style="font-size: x-small;">DeBack Farms Business Park Watermain Easement Relocation</p>	<p>10/6/2020</p> <p>1" = 100'</p>	
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<p>10/6/2020</p> <p>1" = 100'</p>						



MEMORANDUM

DATE: Wednesday, January 27, 2021

TO: Caledonia Utility District

FROM: Anthony A. Bunkelman P.E. 
Utility Director

RE: Consultant Fee Review for possible position creation

BACKGROUND INFORMATION

The Commission has been tracking consultant fees for a few years and it has been discussed on several occasions to potentially hire additional staff to offset and save on some of the consultant fees.

At the January District meeting, the Commission asked to have the consultant invoices from 2019 and 2020 reviewed to determine what tasks on those invoices could be done by staff and how much could be saved if an in-house staff person were to do these tasks.

The analysis provided on the attached sheets is for the Storm Water District and the Sanitary Sewer District. I determined that anything related to the Water District would not be relevant at this time. It also needs to be understood that not every sanitary sewer project would be relevant going forward. Complicated projects such as Lift Station rehabs could not be done by this new position, as those projects rely heavily on the Scada Integrator position.

The items that are included in these hours are inspection hours on storm sewer projects and sanitary sewer projects with typical depths. I also included half of the Construction Administration for each invoice as that coordination, pay requests and change order information would be done by the staff.

For the attached analysis the following information is pertinent.

Sanitary Sewer

2019 Invoices Total (tracked)	\$1,028,897.88
Hours that could be done by Staff	3,342.85
Consultant Charges for hours	\$406,850.25
In House Charges for hours	\$150,428.25
Potential Savings 2019	\$256,422.00

Sanitary Sewer

2020 Invoices Total (tracked)	\$550,043.28
Hours that could be done by Staff	958.75
Consultant Charges for hours	\$112,719.08
In House Charges for hours	\$43,143.75
Potential Savings 2020	\$69,575.33

Storm Water

2019 Invoices Total (tracked)	\$105,830.85
Hours that could be done by Staff	0
Consultant Charges for hours	\$0
In House Charges for hours	\$0
Potential Savings 2019	\$0

Storm Water

2020 Invoices Total (tracked)	\$217,530.81
Hours that could be done by Staff	109.95
Consultant Charges for hours	\$14,664.25
In House Charges for hours	\$4,947.75
Potential Savings 2020	\$9,716.50
Savings Realized by Wind Point West & Wind Dale Projects	\$46,786.50

Total Consultant Fees Reviewed	\$1,902,302.82
Total Hours could be done by Staff	4,411.55
Total Charges for Hours	\$534,233.58
In house Charge for Hours	\$198,519.75
Potential Savings	\$335,713.83
Savings Already Realized	\$46,786.50

RECOMMENDATION

2019 FOTH INVOICES

SANITARY SEWER

	Riverbend Safety Site	Sewer Modeling	Lighthouse Drive Lift Station	Caddy Vista Lift Station	South Lane Sanitary Sewer Relay	District Engineering	GIS Mapping	Wind Point Sewer Rehab	Annual Televising	Jellystone Park
1/21/2019	\$ 105.00 0 60275			\$ 29,069.04 0 60301				\$ 2,123.76 15.2 60279		\$ 9,634.76 0 60277
2/28/2019	\$ 80.00 0 60770			\$ 87,506.23 0 60792			\$ 2,889.25 0 60780	\$ 8,676.34 44.75 60781		\$ 14,466.82 0 60778
3/18/2019	\$ 14,139.35 0 61103			\$ 28,722.76 0 61113			\$ 4,859.45 0 61106	\$ 9,966.08 45.75 61107		\$ 23,103.94 0 61105
4/18/2019	\$ 5,072.89 0 61516		\$ 272.00 0 61529	\$ 8,366.09 0 61527			\$ 4,290.45 0 61521	\$ 10,546.46 46.25 61522		\$ 14,849.00 0 61520
5/23/2019	\$ 2,224.01 0 62021		\$ 160.00 0 62050	\$ 37,075.24 24.5 62044	\$ 224.00 0 62050		\$ 2,474.50 0 62031	\$ 13,932.18 91.5 62033		\$ 17,339.08 0 62023
6/27/2019	\$ 4,052.50 0 62687			\$ 48,917.66 154 62711			\$ 1,356.25 0 62697	\$ 23,284.89 233.8 62701		\$ 898.70 0 62692
7/23/2019	\$ 8,176.00 0 63054			\$ 35,266.24 152.5 63080			\$ 1,598.00 0 63057	\$ 27,624.88 245.85 63058		\$ 1,763.88 0 63056
8/21/2019	\$ 1,388.00 0 63452	\$ 2,123.76 0 63458&63475	\$ 7,237.50 0 63461	\$ 54,859.20 219.75 63468		\$ 3,127.75 0 63472	\$ 3,757.00 0 63455	\$ 34,487.94 294.5 63457	\$ 707.00 0 63480	\$ 90.00 0 63454
9/27/2019	\$ 1,708.50 0 64360&63961	\$ 1,301.00 0 63966&63980	\$ 10,293.00 0 63968	\$ 39,970.66 192.25 63973		\$ 549.35 0 63977	\$ 83.00 0 63963	\$ 22,705.44 185.25 63964		\$ 396.50 0 64365
10/24/2019	\$ 1,309.50 0 64360		\$ 8,741.66 0 64368	\$ 41,818.12 168 64375				\$ 20,694.90 175.75 64366		
10/25/2019		\$ 980.96 0 64389				\$ 116.25 0 64385				
11/26/2019		\$ 596.54 0 64812	\$ 21,900.16 0 64793	\$ 61,285.50 203.75 64800	\$ 10,645.76 0 64817	\$ 2,438.25 0 64808	\$ 229.00 0 64787	\$ 29,626.06 251.75 64790	\$ 842.50 0 64818	\$ 61.00 0 64785
12/26/2019	\$ 3,166.56 0 65322	\$ 1,278.94 0 65347	\$ 12,681.56 0 65328	\$ 23,352.23 80.75 65336	\$ 6,764.61 0 65353	\$ 1,955.80 0 65340	\$ 1,609.50 0 65330	\$ 26,009.92 224 65332	\$ 4,750.50 0 65354	\$ 32.00 0 65326
	Foth Charges \$ 41,372.31	Foth Charges \$ 6,285.88	Foth Charges \$ 61,285.88	Foth Charges \$ 496,208.97	Foth Charges \$ 17,634.37	Foth Charges \$ 8,187.40	Foth Charges \$ 23,146.40	Foth Charges \$ 229,678.85	Foth Charges \$ 6,300.00	Foth Charges \$ 82,635.68
	Hours by Staff \$ 0	Hours by Staff \$ 0	Hours by Staff \$ 0	Hours by Staff \$ 1195.5 173,617.50	Hours by Staff \$ 0	Hours by Staff \$ 0	Hours by Staff \$ 0	Hours by Staff \$ 1854.35 196,787.75	Hours by Staff \$ 0	Time Billed to Jellystone
	Potenital Savings \$ -	Potenital Savings \$ -	Potenital Savings \$ -	Potenital Savings \$ 119,820.00	Potenital Savings \$ -	Potenital Savings \$ -	Potenital Savings \$ -	Potenital Savings \$ 113,342.00	Potenital Savings \$ -	

2019 FOTH INVOICES

SANITARY SEWER

Highway 32 Utility	Highway 32 DOT	Stonebridge
\$ 270.00 60276 0		\$ 41,202.56
\$ 580.00 60777 0		\$ 114,198.64
\$ 1,206.00 61104 0		\$ 81,997.58
\$ 567.00 61517 0		\$ 43,963.89
\$ 1,283.20 62026&62050 0		\$ 74,712.21
\$ 1,791.60 62689 2		\$ 80,301.60
\$ 310.00		
\$ 332.38 63055 0		\$ 74,761.38
\$ 850.00 63472&63453 0		\$ 108,563.83

\$ 2,707.14 63962
12
\$ 1,565.50

\$ 14,213.52 64364
81.5
\$ 10,339.00

\$ 167,589.50

\$ 21,834.04 64784
146
\$ 17,705.00

\$ 241,606.69

\$ 8,484.76 65324
51.5
\$ 6,525.50

\$ 2,061.50 65351
0

\$ 1,028,897.88

Foth Charges
\$ 6,861.18

Foth Charges
\$ 47,239.46

Foth Charges
\$ 2,061.50

\$ 1,028,897.88

Hours by Staff
2
\$ 310.00

Hours by Staff
291
\$ 36,135.00

Hours by Staff
0
\$ -

\$ 406,850.25

\$ 90.00

\$ 13,095.00

\$ -

\$ 3342.85
150,428.25

Potenital Savings
\$ 220.00

Potenital Savings
\$ 23,040.00

Potenital Savings
\$ -

\$ 256,422.00

2020 FOTH INVOICES

SANITARY SEWER

Date of Invoice	Hoods Creek Attenuation Basin	Riverbend Safety Site	Sewer Modeling	Lighthouse Drive Lift Station	Caddy Vista Lift Station	South Lane Sanitary Sewer Relay	District Engineering	GIS Mapping	Wind Point Sewer Rehab	MMSD CMOM	CMOM
1/30/2020		\$ 322.00 65742 0			\$ 9,050.37 65750 & 657 6 930.00 Used Half Construction Admin	\$ 3,075.50 65756 0		\$ 1,145.25 65745 0	\$ 16,839.18 65746 125 13,727.50		
2/28/2020		\$ 384.00 66076 0		\$ 3,111.56 66081 0	\$ 6,468.02 66084 6.75 1,046.25 Used Half Construction Admin	\$ 8,456.18 66092 0	\$ 10,391.25 66093 0	\$ 803.75 66079 0	\$ 10,609.21 66080 56.75 7,638.50		
3/29/2020		\$ 402.00 66567 0	\$ 2,382.85 66571 0	\$ 10,858.62 66572 0	\$ 12,024.29 66569 & 665 3.75 581.25 Used Half Construction Admin	\$ 5,691.50 66581 0	\$ 4,886.00 66582 0		\$ 4,202.50 66570 8 1,240.00		
4/28/2020		\$ 122.00 67032 0	\$ 3,269.00 67040 & 67 0	\$ 1,901.00 67041 0	\$ 5,509.80 67044 4.5 697.50 Used Half Construction Admin	\$ 16,456.80 67049 0	\$ 2,944.00 67050 0		\$ 5,272.30 67039 3 465.00		
4/29/2020								\$ 5,449.21 67063 0			
4/30/2020											
6/3/2020		\$ 336.60 67487 0	\$ 3,778.50 67491 & 67 0	\$ 12,473.53 67492 28 4,340.00 Used half inspection & construction admin	\$ 8,542.19 67493 9.8 1,366.75 Used half inspection & construction admin	\$ 4,285.43 67502 0	\$ 7,324.74 67504 15 1,962.50	\$ 9,102.67 67508 0	\$ 6,830.06 67490 5.2 762.50		
6/22/2020											
6/23/2020											
6/24/2020											
7/30/2020											
8/27/2020											
8/28/2020											
9/24/2020											
9/28/2020											
10/28/2020											
11/30/2020											
12/17/2020											
Foth Charges	\$ 43,505.16	\$ 30,752.30	\$ 53,609.40	\$ 52,057.50	\$ 65,588.12	\$ 97,018.53	\$ 46,221.41	\$ 29,332.81	\$ 62,612.64	\$ 202.00	\$ 18,454.20
Hours by Staff	0	0	0	83.2 12,874.25	203.1 18,291.03	352.2 42,239.80	15 1,962.50	0	220.75 27,077.50	0	0
Potenital Savings				83.2 3,744.00	203.1 9,139.50	352.2 15,849.00	15 675.00		220.75 9,933.75		
	\$ -	\$ -	\$ -	\$ 9,130.25	\$ 9,151.53	\$ 26,390.80	\$ 1,287.50	\$ -	\$ 17,143.75	\$ -	\$ -

2020 FOTH INVOICES

SANITARY SEWER

Sewer Connection Fee

Annual Televising

Jellystone Park

Highway 32 Utility

Highway 32 DOT

Rio Vista Water & Sewer

\$ 434.00 65757 \$ 1,777.24 65744 \$ 6,115.22 65743
0 26.25
\$ 3,371.25

\$ 7,313.80 66095 \$ 4,595.00 66078 \$ 3,300.80 66077 \$ 634.20 66090 Paid March 2020 \$ 94,826.53
0 22.5
\$ 2,893.00

\$ 2,900.80 66585 \$ 470.00 66568 Paid April 2020 \$ 99,278.66
0 3

\$ 1,082.00 67053 \$ 545.78 67035 \$ 199.35 67034 Paid May 2020 \$ 44,191.24
0 8.5
\$ 423.25 \$ 199.35

\$ 1,440.00 67077
0

\$ 2,208.00 67514 \$ 690.50 67511 \$ 1,813.12 67488 \$ 1,356.90 67489 \$ 3,986.00 67500 Paid June 2020 \$ 62,728.24
0 12.25
\$ 1,637.75 \$ 10.5
\$ 1,356.90

\$ 67710 Paid July 2020

\$ 67765
0

\$ 1,680.00 68271 \$ 1,845.00 68275 Paid September 2020 \$ 60,274.88
0

\$ 68634
0

\$ 69048
0

\$ 988.00 69089 Paid October 2020 \$ 86,065.44
0

Foth Charges \$ 11,496.00 Foth Charges \$ 14,349.10 Foth Charges \$ 8,781.64 Foth Charges \$ 6,115.22 Foth Charges \$ 5,327.05 Foth Charges \$ 4,620.20 Foth Charges \$ 550,043.28

Hours by Staff \$ 0 Hours by Staff \$ 0 Hours by Staff \$ 20.75 Hours by Staff \$ 26.25 Hours by Staff \$ 37.5 Hours by Staff \$ 0 Hours by Staff \$ 958.75
\$ 2,061.00 \$ 3,371.25 \$ 4,841.75 \$ 1,181.25 \$ 1,687.50 \$ 112,719.08

Potenital Savings \$ 1,127.25 Potenital Savings \$ 2,190.00 Potenital Savings \$ 3,154.25 Potenital Savings \$ 43,143.75

Potenital Savings \$ 69,575.33

2019 FOTH INVOICES

STORM WATER

Date of Invoice	HWY 32 Stream Restoration	Wind Dale Improv	Wind Point West	Storm Water GIS	Illicit Discharge Strand		
1/21/2019		\$ 698.50 60272 0	\$ 2,525.20 60273 0		\$ 2,989.35 0	Paid February 2019	\$ 6,213.05
2/28/2019	\$ 4,181.18 0		\$ 2,900.00 60809 0			Paid March 2019	\$ 7,081.18
3/18/2019	\$ 4,622.64 0	\$ 1,574.47 61099 0	\$ 10,288.00 61101 0		\$ 1,795.22 0	Paid April 2019	\$ 18,280.88
4/18/2019	\$ 3,958.00 0	\$ 1,479.00 61513 0	\$ 12,504.95 61514 0		\$ 1,027.52 0	Paid May 2019	\$ 18,969.47
5/23/2019	\$ 2,024.50 0		\$ 4,726.05 62065 0			Paid June 2019	\$ 6,750.55
6/27/2019	\$ 357.50 0		\$ 9,165.46 62680 0		\$ 327.38 0	Paid July 2019	
7/23/2019	\$ 4,838.38 0	\$ 555.50 63051 0	\$ 4,029.42 63052 0			Paid August 2019	\$ 9,423.90
8/21/2019	\$ 959.50 0		\$ 2,765.50 63449 0		\$ 2,211.52 0	Paid September 2019	\$ 5,936.52
9/27/2019	\$ 3,580.56 0	\$ 1,385.50 63988 0	\$ 1,735.00 63989 0		\$ 2,428.48 0	Paid October 2019	\$ 2,428.48
10/25/2019	\$ 2,637.37 0		\$ 792.00 64402 0	\$ 70.00 0	\$ 1,361.21 0	Paid November 2019	\$ 11,561.64
11/27/2019		\$ 6,784.00 64826 0	\$ 1,369.60 64827 0			Paid January 2020	\$ 9,625.99
12/26/2019			\$ 653.20 65313 0		\$ 819.19 0		

\$ 105,830.85

Foth Charges	Foth Charges	Foth Charges	Foth Charges	Strand Charges	Consultant Charges
\$ 27,159.63	\$ 12,476.97	\$ 53,454.38	\$ 70.00	\$ 12,669.87	\$ 105,830.85
Hours by Staff	Hours by Staff	Hours By Staff	Hours By Staff	Hours By Staff	
\$ -	\$ -	\$ -	\$ -	\$ -	
Potenital Savings	Potenital Savings	Potenital Savings	Potenital Savings	Potenital Savings	Potenital Savings
\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

2020 FOTH INVOICES

STORM WATER

Date of Invoice	HWY 32 Stream Restoration	Wind Dale Improv	Wind Point West	Storm Water GIS	Illicit Discharge Strand		
1/9/2020					\$ 1,556.69	0	Paid February 2020 \$ 1,556.69
2/28/2020	\$ 1,200.00 66075 0	\$ 1,493.20 66073 0	\$ 2,895.00 66074 0				Paid March 2020 \$ 5,588.20
3/29/2020	\$ 1,017.28 66562 0		\$ 2,287.80 66561 0				Paid April 2020 \$ 2,804.88
4/27/2020	\$ 4,654.50 67029 0	\$ 12,722.20 67027 0	\$ 11,008.70 67028 0				Paid May 2020 \$ 28,385.40
6/3/2020	\$ 7,615.55 67486 0	\$ 4,118.30 67483 0	\$ 1,104.00 67484 0				Paid June 2020 \$ 12,837.85
6/22/2020	\$ 0 67705 0	\$ 2,325.00 67703 15	\$ 0 67704 0				Paid July 2020 \$ 0
7/30/2020	\$ 4,082.50 68259 0	\$ 6,074.41 68257 0	\$ 6,981.42 68258 0				Paid September 2020 \$ 14,138.35
8/13/2020					\$ 2,948.23 0		
8/27/2020	\$ 6,194.00 68624 0	\$ 16,246.17 68622 75.25	\$ 9,451.40 68623 0				
9/14/2020		\$ 9,759.75			\$ 791.95 0		
9/28/2020	\$ 10,054.75 69074 0	\$ 5,386.40 69072 4.65	\$ 12,651.67 69073 0				Paid October 2020 \$ 28,092.82
10/8/2020		\$ 691.75			\$ 2,333.54 0		
10/28/2020	\$ 21,468.56 69553 0	\$ 1,821.94 69551 3.55	\$ 521.46 69552 0				Paid December 2020 \$ 26,144.90
11/11/2020		\$ 506.75			\$ 1,016.86 0		
11/30/2020	\$ 18,933.10 69961 0	\$ 882.00 69959 0	\$ 1,497.12 69960 0	\$ 11,589.00 69963 0			Paid January 2021 \$ 46,525.17
12/8/2020					\$ 819.19 0		
12/17/2020	\$ 5,344.90 70261 0	\$ 1,935.00 70260 10.5		\$ 4,508.00 70262 0			\$ 217,530.81
Foth Charges	\$ 99,471.59	\$ 51,797.22	\$ 40,798.54	\$ 16,097.00	\$ 9,366.46		Consultant Charges \$ 217,530.81
Hours by Staff	\$ 0	\$ 109.95 14,664.25	\$ 0	\$ 0	\$ 0		Hours By Staff \$ 109.95 14,664.25
Potential Savings	\$ 0	\$ 109.95 4,947.75	\$ 0	\$ 0	\$ 0		\$ 4,947.75
Potential Savings	\$ 0	\$ 9,716.50	\$ 0	\$ 0	\$ 0		Potential Additional Savings \$ 9,716.50
Billable Time							
Wind Point West	\$ 28,372.50	570.5 hours (450.50 at \$45 and 120 at \$67.50)	\$ 71,883.00	\$ 43,510.50			
Wind Dale	\$ 1,890.00	41 hours (39 at \$45 and 2 at \$67.50)	\$ 5,166.00	\$ 3,276.00			
Savings Realized	\$ 46,786.50						\$ 56,503.00