



PLAN COMMISSION AGENDA
Monday, March 25, 2024 at 6:00 p.m.
Caledonia Village Hall – 5043 Chester Lane

1. Meeting Called to Order

2. Roll Call

3. Approval of Minutes

A. Meeting Minutes – February 26, 2024

4. Public Comment: Provides citizens a two-minute opportunity to voice their opinions to the Plan Commission. The Plan Commission is unable to respond as any discussion may conflict with open meeting requirements.

5. Public Hearing and Possible Action on Items set for Public Hearing

A. CREATION OF TAX INCREMENTAL DISTRICT 6 – Review the proposed creation of Tax Incremental District No. 6, the proposed boundaries of the district, and the proposed Project Plan for the District and consider Plan Commission Resolution PC2024-01 adopting the proposed boundaries and project plan for Tax Incremental District No. 6.

More information at Caledonia ZoningHub: <https://s.zoninghub.com/9RMKO9K7W1>

6. New Business

A. BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a proposed building, site, and operations plan for the construction of a ±109,636 square-foot addition to the existing industrial building located at 12725 4 Mile Road submitted by Curtis Schroeder, Applicant, Central Storage & Warehouse LLC, Owner. (Parcel ID No. 104-04-22-30-015-201)

More information at Caledonia ZoningHub: <https://s.zoninghub.com/7TUPIQSDWN>

B. FINAL CONDOMINIUM PLAT – Review a final condominium plat for Phase 1 of the Water's Edge Place Condominiums creating 10 units and a clubhouse facility located at 5915, 5919, 5945 Erie Street (now Water's Edge Drive) submitted by Aaron Koch, Applicant, CCM-Caledonia LLC, Owner. (Parcel ID Nos. 104-04-23-21-003-010, 104-04-23-21-003-020, 104-04-23-21-003-030)

More information at Caledonia ZoningHub: <https://s.zoninghub.com/VSD5ZHEMWA>

C. CERTIFIED SURVEY MAP – Review a proposed certified survey map creating four lots for the parcel located at 7840 W. River Road submitted by Mark Madsen, Applicant, Charles & Valerie Michna, Owners. (Parcel ID No. 104-04-22-10-001-000)

More information at Caledonia ZoningHub: <https://s.zoninghub.com/WHBHEFK2YG>

- D. CERTIFIED SURVEY MAP – Review a proposed certified survey map creating two lots for the parcel located directly west and south of 4321 Carol Road submitted by Jason Lueders, Applicant, TI Investors of Caledonia LLC, Owner. (Parcel ID No. 104-04-22-30-38-030)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/ACK77NBF5F>
- E. BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a proposed building, site, and operation plan for the construction and utilization of a ±310,561 square-foot industrial building located south of 4321 Carol Road submitted by Jason Lueders, Applicant, TI Investors of Caledonia LLC, Owner. (Parcel ID No. 104-04-22-30-38-030)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/59LLLRf84Q>
- F. MASTER SIGN PLAN - Review a master sign plan for the Franksville Market building located at 10616 Northwestern Avenue submitted by Rajwinder Singh, Applicant, Franksville Market LLC, Owner. (Parcel ID No. 104-04-22-32-029-000)
More information at Caledonia ZoningHub: <https://s.zoninghub.com/TRRGNTNAF3>

7. Adjournment

Dated March 21, 2024

Jennifer Olsen
Caledonia Village Clerk

Only Commission members are expected to attend. However, attendance by all Board members (including non-members of the Plan Commission) is permitted. If additional (non-commission) Board members attend, three or more Board members may be in attendance. Section 19.82(2), Wisconsin Statutes, states as follows: If one-half or more of the members of a governmental body are present, the meeting is rebuttably presumed to be for the purposes of exercising the responsibilities, authority, power or duties delegated to or vested in the body. To the extent that three or more members of the Caledonia Village Board actually attend, this meeting may be rebuttably presumed to be a “meeting” within the meaning of Wisconsin’s open meeting law. Nevertheless, only the commission’s agenda will be discussed. Only commission members will vote. Board members who attend the commission meeting do so for the purpose of gathering information and possible discussion regarding the agenda. No votes or other action will be taken by the Village Board at this meeting.

1. **Meeting called to order**

President Weatherston called the meeting to order at 6:00 pm at the Village Hall, 5043 Chester Lane, Racine, WI.

2. **Roll Call/Introductions**

PRESENT: 6 – Joe Kiriaki, Michael Moore, Ami May, Ron Bocciardi, Trustee Nancy Pierce, Tom Knitter, and President Tom Weatherston.

ABSENT: 0

STAFF: Development Director Peter Wagner, Planner/Zoning Administrator Todd Roehl, Director of Public Services Tony Bunkelman, and Village Clerk Jennifer Olsen.

3. **Approval of Minutes January 29, 2024**

Motion by Pierce to approve the corrected minutes from January 29, 2024. Seconded by Kiriaki. Motion carried unanimously.

4. **Public Comment**

The following people appeared to speak before the commission:
None

5. **Public Hearing and Possible Action on Items set for Public Hearing**

A. CONDITIONAL USE REVIEW – Review a request for a conditional use to construct and operate a twenty-five-acre private solar generation utility facility for the property located 11049 Adams Road submitted by Peter Murphy, Applicant, Cooper Power Systems Inc., Owner. (Parcel ID No. 104-04-22-29-029-010).

Applicant Peter Murphy presented on the item. He answered questions from the commission clarifying that they will be responsible for weed control and that WE Energies will be the long-time owners of the project, and responsible for decommissioning.

Public Hearing opened at 6:26PM

President Weatherston asked three times if anyone wanted to speak in favor of this proposal.

In Favor:

None

President Weatherston asked three times if anyone wanted to speak against this proposal.

Against:

None

Public Hearing closed at 6:27PM

Motion by Kiriaki to recommend approval to the Village Board that a conditional use allowing the operation of a 25-acre, solar, private utility with conditions outlined in Exhibit A, located at 11049 Adams Road be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the conditional use review process.
2. The proposed use is consistent with the 2035 Land Use Plan designating manufacturing use for the parcel.

Seconded by Pierce.

Motion carried unanimously.

6. New Business

A. BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction and utilization of a twenty-five-acre private solar utility located at 11049 Adams Road submitted by Peter Murphy, Applicant, Cooper Power Inc., Owner. (Parcel ID No. 104-04-22-29-029-010).

Motion by Kiriaki to recommend approval to the Village Board that the building, site, and operation plan for the constructions of a ±25-acre solar power generation facility located at 11049 Adams Road be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site, and operation plan review process.
2. The proposed use complies with the approved conditional use conditions and restrictions for a private, solar generation utility.

Seconded by Knitter.

Motion carried unanimously.

B. BUILDING, SITE, AND OPERATION PLAN REVIEW – Review a proposed building, site, and operations plan for the construction of a ±191 square-foot gazebo located at 3920 N. Green Bay Road submitted by Mirsad Aslani, Applicant, St. Monica Senior Citizen, Owner. (Parcel ID No. 104-04-23-31-020-000).

Staff presented a summary of the report submitted with the Plan Commission packet.

Motion by Pierce to recommend approval to the Village Board that the building, site, and operational plan for the construction of a ±191 square-foot gazebo located at 3920 N. Green Bay Road be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed use is compatible with the existing use of the property.

Seconded by Knitter.

Motion carried unanimously.

C. BUILDING, SITE, AND OPERATION PLAN REVIEW - Review a building, site, and operation plan for the relocation of two cabins and the construction of two new cabins on site located at 8425 STH 38 submitted by Scott Bender, Applicant, Bear Country Holdings LLC, Owner. (Parcel ID No. 104-04-22-04-017-000).

Staff presented a summary of the report submitted with the Plan Commission packet.

Motion by Bocciardi to recommend to the Village Board that the building, site, and operational plan for the construction of two new cabins and the relocation of two cabins on the site located at 8425 STH 38 be approved with conditions outlined in Exhibit A for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed use is consistent with the existing recreational uses on the property.

Seconded by Kiriaki.

Motion carried unanimously.

D. TEMPORARY USE REVIEW – Consider a request to utilize a 20’ x 20’ canopy tent and 8’ x 20’ cargo container for the sale of fireworks from June 7, 2024, through July 7, 2024 located at 7952 USH 41 submitted by Jacob Zamora, Applicant; Kidangayil, Inc., Owner (Parcel ID No. 104-04-22-07-076-000).

Staff presented a summary of the report submitted with the Plan Commission packet.

Motion by Kiriaki to recommend that the Village Board approve a temporary use with conditions listed in Exhibit A, for fireworks sales in a 20’ x 20’ canopy tent and the storage of fireworks in an 8’ x 20’ shipping container located on the property, as illustrated on the submitted site plan, at 7952 USH 41 for the following reasons:

1. The temporary use is allowed by underlying zoning.
2. The proposed temporary use is absent of detriment to the uses in the zoning district.
3. Based on review of Village records for temporary uses regarding sales of fireworks, this use has been conducted without complaints at various sites in the Village of Caledonia.

Seconded by Moore.

Motion carried unanimously.

E. BUILDING, SITE, & OPERATION PLAN REVIEW – Review a building, site, and operation plan for the construction of a ±1,000 square-foot addition to the existing commercial building located at 13600 7 Mile Road submitted by Nathan Remitz, Applicant, Rahul Singh, Owner. (Parcel ID No. 104-04-22-06-069-000).

Staff presented a summary of the report submitted with the Plan Commission packet.

Motion by Bocciardi to recommend that the Village Board that the Building, Site, and Operational Plan for the construction of a $\pm 1,000$ square-foot addition to the existing commercial building located at 13600 7 Mile Road be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the Building, Site & Operation Plan review process.
2. The proposed use is consistent with the existing use of the property & complies with the approved conditional use conditions and restrictions for a gas station with convenience store and drive through.

Seconded by Pierce.

Motion carried unanimously.

7. Adjournment

Meeting adjourned at 6:43PM

Respectfully submitted,

*Jennifer Olsen
Village Clerk*



Meeting Date: March 25, 2024

Item No. **5a**

PLAN COMMISSION REPORT

Proposal: Creation of Tax Incremental District (TID) No. 6

Description: Review the proposed creation of Tax Incremental District No. 6, the proposed boundaries of the district, and the proposed Project Plan for the District and consider Plan Commission Resolution PC2024-01 adopting the proposed boundaries and project plan for Tax Incremental District No. 6.

Applicant(s): Village of Caledonia

Address(es): n/a

Suggested Motion: That the Plan Commission adopts Resolution PC2024-01 approving the proposed TID boundary and project plan for the district as outlined in Exhibit A and recommends that the Village Board approve the creation of TID No. 6 as presented.

Background: Some time ago, the Village was presented with a concept plan to promote development and redevelopment of areas along STH 32 and vacant land around Olympia Brown School through the use of Tax Incremental Financing (TIF). Staff was directed to pursue the concept and determine if a Tax Incremental District (TID) would be feasible. Village staff worked with the financial consultant, Ehlers, to create the proposed boundary and project plan illustrating the feasibility of financing the TID. Details illustrating the district boundary and financial details are included with this report. The Village consultant, Ehlers, will present to the Plan Commission the proposed boundary and project plan and how the use of TIF will accomplish the goals for development and redevelopment of the specified areas within the Village.

As part of the creation process, the proposed TID No. 6 will be presented to the Village Joint Review Board (JRB) for consideration and approval. The JRB will meet on March 25th at 4pm.

If the Plan Commission is comfortable with the proposed TID, staff drafted a suggested motion that adopts Resolution PC2024-01 approving the district boundary and project plan for TID No. 6 and recommends that the Village Board approve TID No. 6 as presented.

Respectfully submitted:

A handwritten signature in black ink that reads "Peter Wagner". The signature is fluid and cursive, with the first name "Peter" and last name "Wagner" clearly distinguishable.

Peter Wagner, AICP
Development Director

RESOLUTION NO. PC2024-01

**RESOLUTION ESTABLISHING THE BOUNDARIES OF AND APPROVING THE PROJECT PLAN FOR
TAX INCREMENTAL DISTRICT NO. 6**

WHEREAS, the Village of Caledonia (the "Village") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the Village; and

WHEREAS, Tax Incremental District No. 6 (the "District") is proposed to be created by the Village in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and

WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and Village ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the Village;
- k. An opinion of the Village Attorney or of an attorney retained by the Village advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Racine County, the Racine Unified School District, and the Gateway Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on March 25, 2024 held a public hearing concerning the proposed creation of the District, its proposed boundaries and its proposed Project Plan, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Caledonia that:

1. It recommends to the Village Board that Tax Incremental District No. 6 be created with boundaries as designated in Exhibit A of this Resolution.
2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Village Board.

3. Creation of the District promotes orderly development in the Village.

Adopted this ____ day of _____, 2024.

Plan Commission Chair

Secretary of the Plan Commission

**TAX INCREMENTAL DISTRICT NO. 6
BOUNDARY MAP**

[INCLUDED IN PROJECT PLAN]

PROJECT PLAN

[DISTRIBUTED SEPARATELY]

EXHIBIT A

March 25, 2024

PROJECT PLAN

Village of Caledonia, Wisconsin

Tax Incremental District No. 6



Prepared by:

Ehlers

N19W24400 Riverwood Drive,

Suite 100

Waukesha, WI 53188

BUILDING COMMUNITIES. IT'S WHAT WE DO.

KEY DATES

Organizational Joint Review Board Meeting Held:	March 25, 2024
Public Hearing Held:	March 25, 2024
Approval by Plan Commission:	March 25, 2024
Adoption by Village Board:	Scheduled for April 9, 2024
Approval by the Joint Review Board:	TBD

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SECTION 1:

Executive Summary

DESCRIPTION OF DISTRICT

Tax Incremental District (“TID”) No. 6 (“District”) is a proposed Mixed Use District comprising approximately 614 acres (inclusive of 59 acres of wetlands) located in the eastern portion of the Village. The District will be created to pay the costs of infrastructure improvements and development incentives needed (“Project Costs”) to support mixed use development within the District to include residential subdivisions (the “Project”) to be developed by Bear Real Estate Group (the “Developer”). In addition to the incremental property value that will be created, the Village expects the Project will result in the creation of needed housing units, provision of necessary public infrastructure, opportunities for development of commercial property to include reinvestment in existing commercial properties along the Douglas Avenue corridor, and other general economic activity related to the construction and operation of the Project.

AUTHORITY

The Village is creating the District under the provisions of Wis. Stat. § 66.1105.

ESTIMATED TOTAL PROJECT COST EXPENDITURES

The Village is including expenditures of approximately \$43.9 million (“Project Costs”) to undertake the projects listed in this Project Plan (“Plan”). Such Project Costs are broken into three groups as detailed below:

1. **Priority Project Costs** – The Village intends to fund approximately \$375,000 for a recreation path from Crawford Park to 5 Mile Road. In addition, the Village intends to provide an approximately \$29.8 million Pay As You Go (“PAYGO”) development incentive to the Developer to assist with the development of a residential subdivision. The Developer will be responsible for the extension of 5 Mile Road at an estimated cost of \$1.2 million and such costs are intended to be reimbursed through the PAYGO incentive. The PAYGO incentives detailed within this Project Plan are included for purposes of establishing economic feasibility only. The amount of any incentive to be provided will be established in applicable development agreements and may vary from the estimates.
2. **Contingent Project Costs** – The Village is including a variety of Project Costs within this Project Plan that will only be expended contingent on sufficient tax increment revenues being available in the District. Contingent Project Costs include approximately \$3.0 million for Douglas Avenue streetscape medians, \$2.2 million for 5 ½ Mile Road

improvements, \$425,000 for 5 Mile Road improvements, \$1.0 million for future Campus Drive improvements, \$4.6 million for 4 Mile Road and Green Bay Road improvements, \$500,000 for commercial development incentives, and \$500,000 for reinvestment in commercial properties through loans or other methods.

3. Ongoing Project Costs – The Village estimates incurring approximately \$300,000 for the ongoing planning and administration of the District. Though not expressly modelled in the financial schedules included in this Project Plan, the Village may also incur costs associated with issuing debt such as interest costs and financing costs.

INCREMENTAL VALUATION

The Village projects that new land and improvements value of approximately \$122.9 million will result from the Project. Creation of this additional value will be made possible by the Project Costs made within the District. A table detailing assumptions as to the development timing and associated values is included in the Economic Feasibility Study located within this Plan.

EXPECTED TERMINATION OF DISTRICT

Based on the Economic Feasibility Study located within Section 9 of this Plan, the Village anticipates that the District will generate sufficient tax increment to pay all Project Costs within 19 out its allowable 20 years.

SUMMARY OF FINDINGS

As required by Wis. Stat. § 66.1105, and as documented in this Plan and the exhibits contained and referenced herein, the following findings are made:

1. That “but for” the creation of this District, the development projected to occur as detailed in this Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the Village. In reaching this determination, the Village has considered the following:

The Village is undergoing a review of the Project’s sources and uses, and cash flow proforma in order to determine the amount of incentive necessary to make the Project economically feasible. The Project’s projected return on investment is expected to be below market rate without TIF assistance but a further analysis is still in progress. The Developer has requested that the Village provide incentive payments on a PAYGO basis based on the actual increment collections created by the Project. Based on Ehlers review, provision of PAYGO incentives may be necessary to provide an acceptable return on investment and that “but for” the incentives, the project would not likely proceed.

Further, there is a substantial investment needed to provide the public infrastructure necessary to allow for additional development within the District. Absent the use of tax incremental financing, the Village is unable to fully fund this program of infrastructure improvements.

2. The economic benefits of the District, as measured by increased employment, business and personal income, and property value, are sufficient to compensate for the cost of the improvements. In making this determination, the Village has considered that in addition to the incremental property value that will be created, the Village expects the Project will provide increased opportunities for employment, personal income and business income related to the construction and operation of the Project, and provision of housing opportunities for Village residents.
3. The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. As required by Wis. Stat. § 66.1105(4)(i)4., a calculation of the share of projected tax increments estimated to be paid by the owners of property in the overlying taxing jurisdictions has been prepared and can be found in this Plan. However, because the Project would not occur without the use of tax incremental financing, these tax increments would not be paid but for creation of the District. Accordingly, the Village finds that the benefits expected to be realized as set forth in this Plan outweigh the value of the tax increments to be invested in the Project.
4. Not less than 50% by area of the real property within the District is suitable for mixed use development as defined by Wis. Stat. § 66.1105(2)(cm). Lands proposed for newly-platted residential development comprise no more than 35% of the real property area within the District. Costs related to newly-platted residential development may be incurred based on the proposed development having a density of at least three (3) units per acre as defined in Wis. Stat. § 66.1105(2)(f)3.a.
5. Based on the foregoing finding, the District is designated as a mixed-use district.
6. The Project Costs relate directly to promoting mixed use development in the District, consistent with the purpose for which the District is created.
7. Improvements to be made in the District are likely to significantly enhance the value of substantially all of the other real property in the District.
8. The equalized value of taxable property in the District, plus the incremental value of all existing tax incremental districts within the Village does not

exceed 12% of the total equalized value of taxable property within the Village.

9. The Village estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wis. Stat. § 66.1105(5)(b).
10. That there are no parcels to be included within the District that were annexed by the Village within the preceding three-year period.
11. The Plan for the District is feasible and is in conformity with the Master Plan of the Village.

DRAFT

SECTION 2:

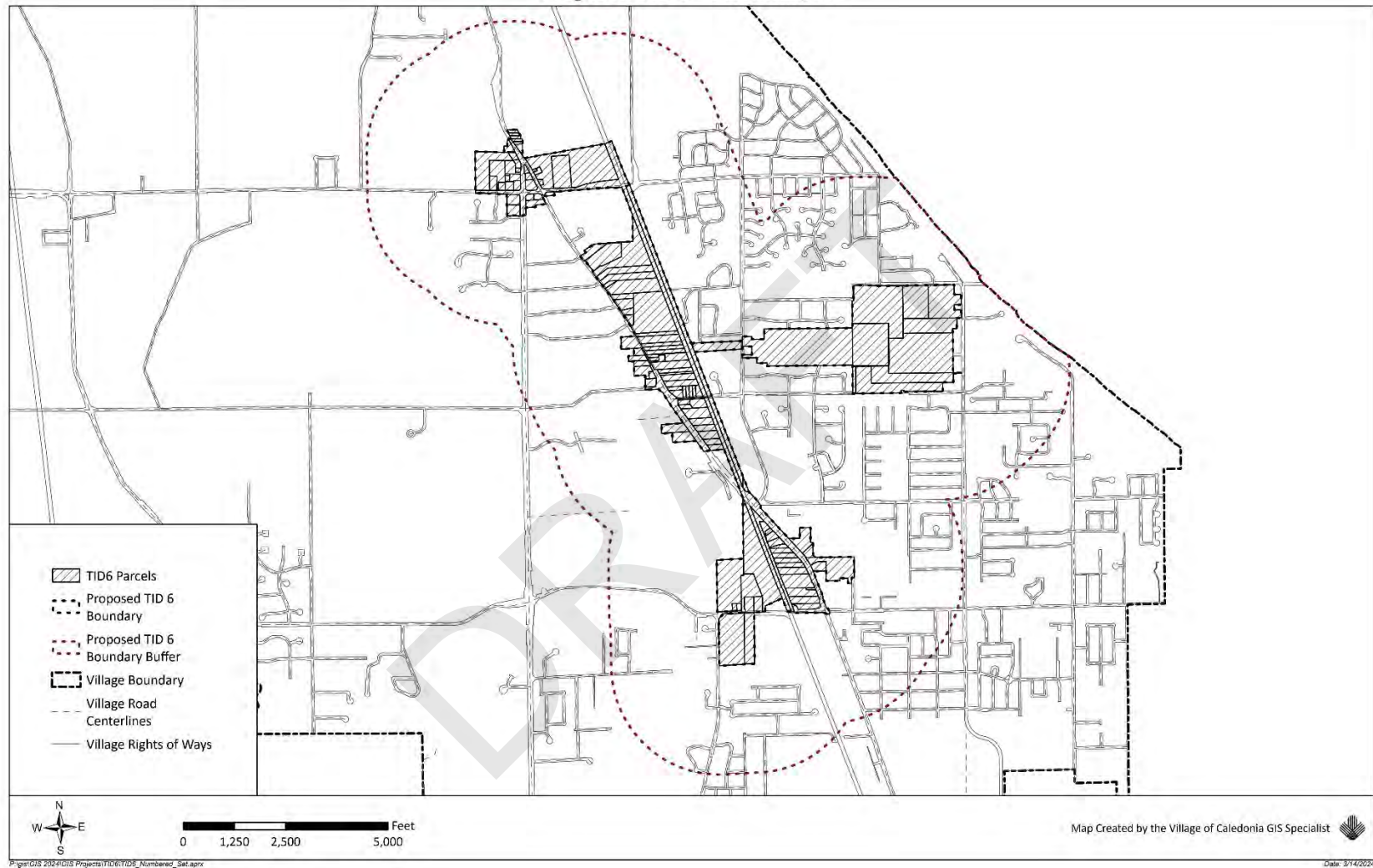
Preliminary Map of Proposed District Boundary

Maps found on following pages.

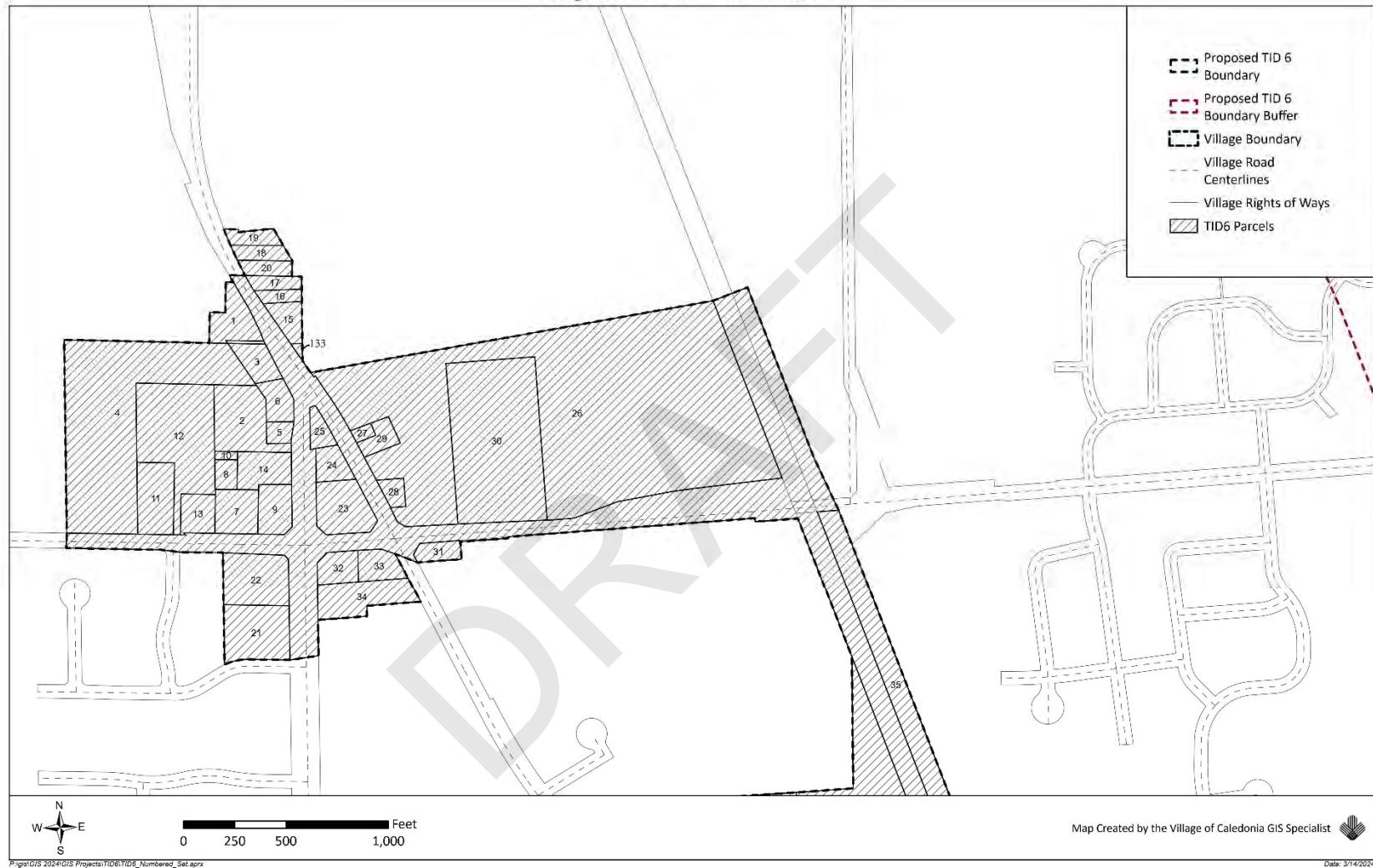
To the extent District boundaries include wetlands identified on a map prepared under Wis. Stat. § 23.32, the wetlands are excluded from the District.

DRAFT

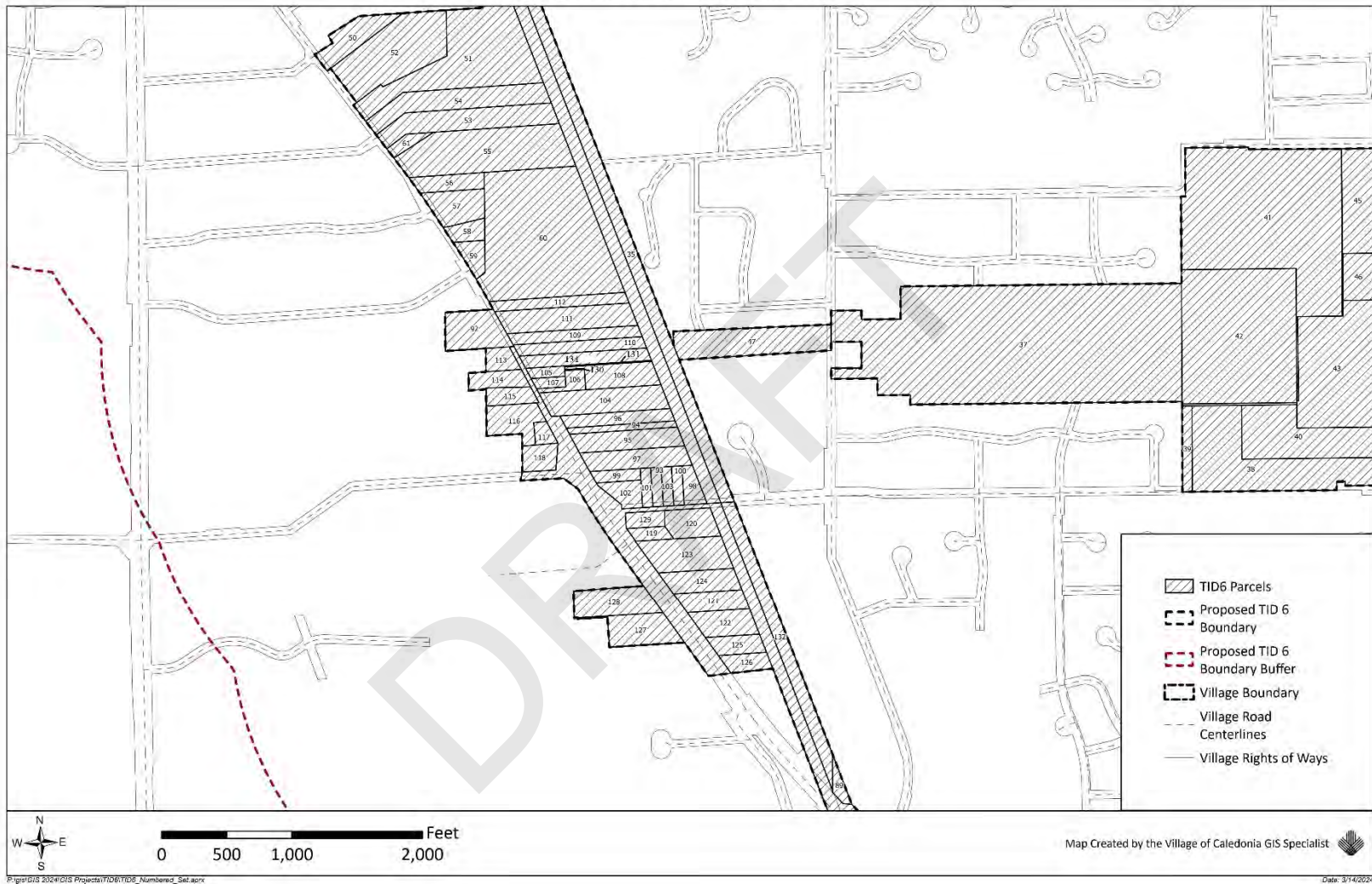
Proposed TID 6 - Caledonia, WI



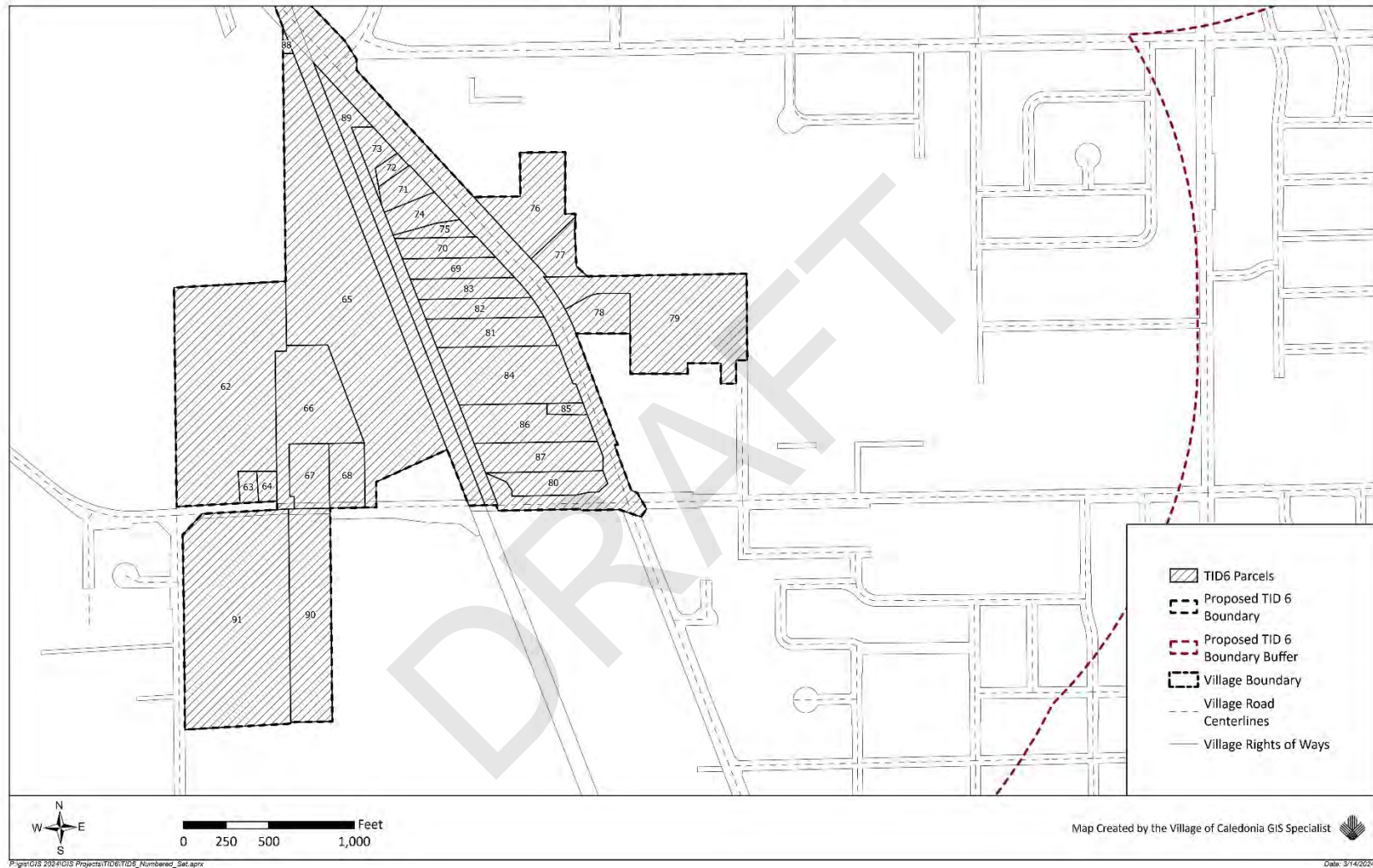
Proposed TID 6 - Caledonia, WI



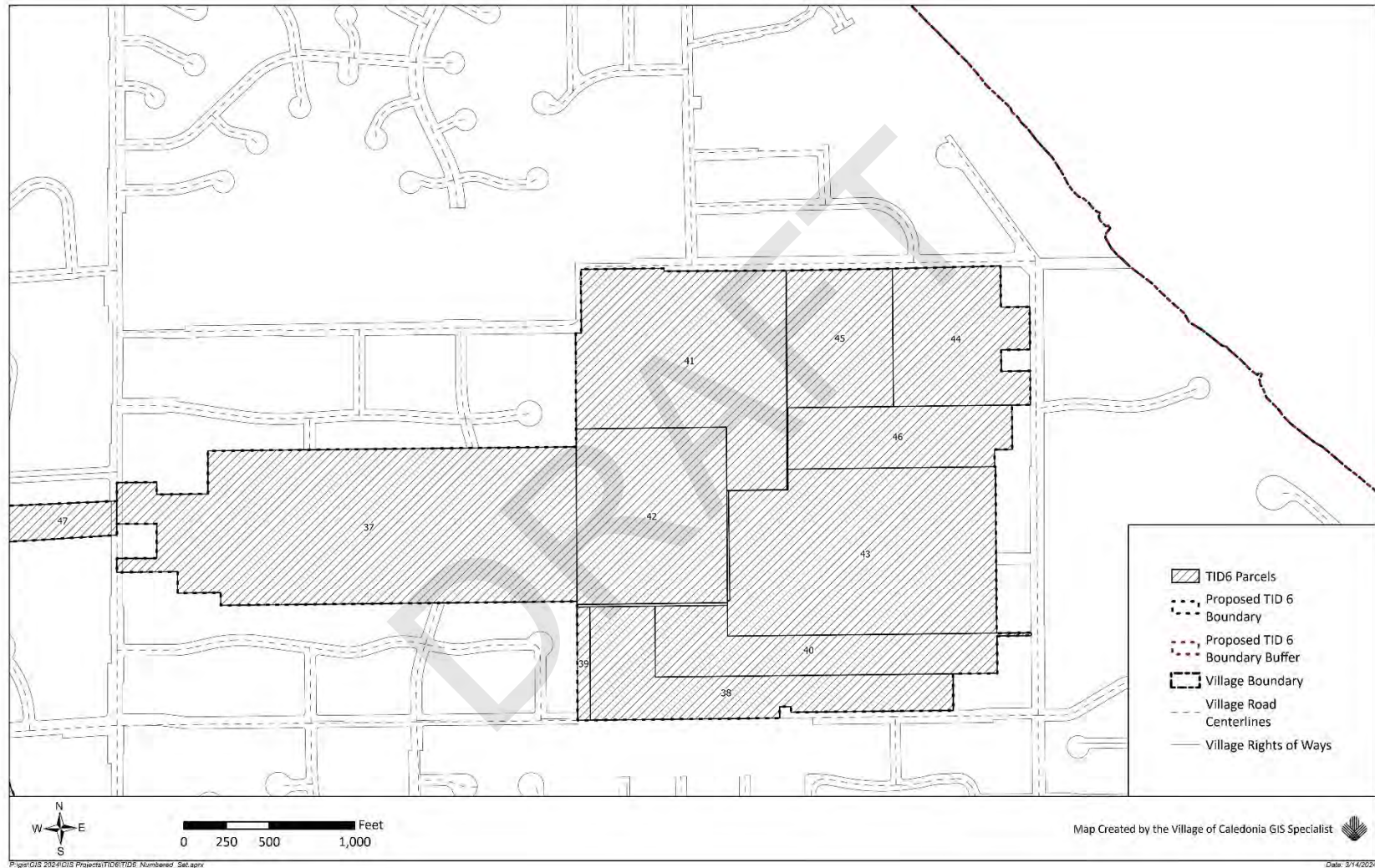
Proposed TID 6 - Caledonia, WI



Proposed TID 6 - Caledonia, WI



Proposed TID 6 - Caledonia, WI



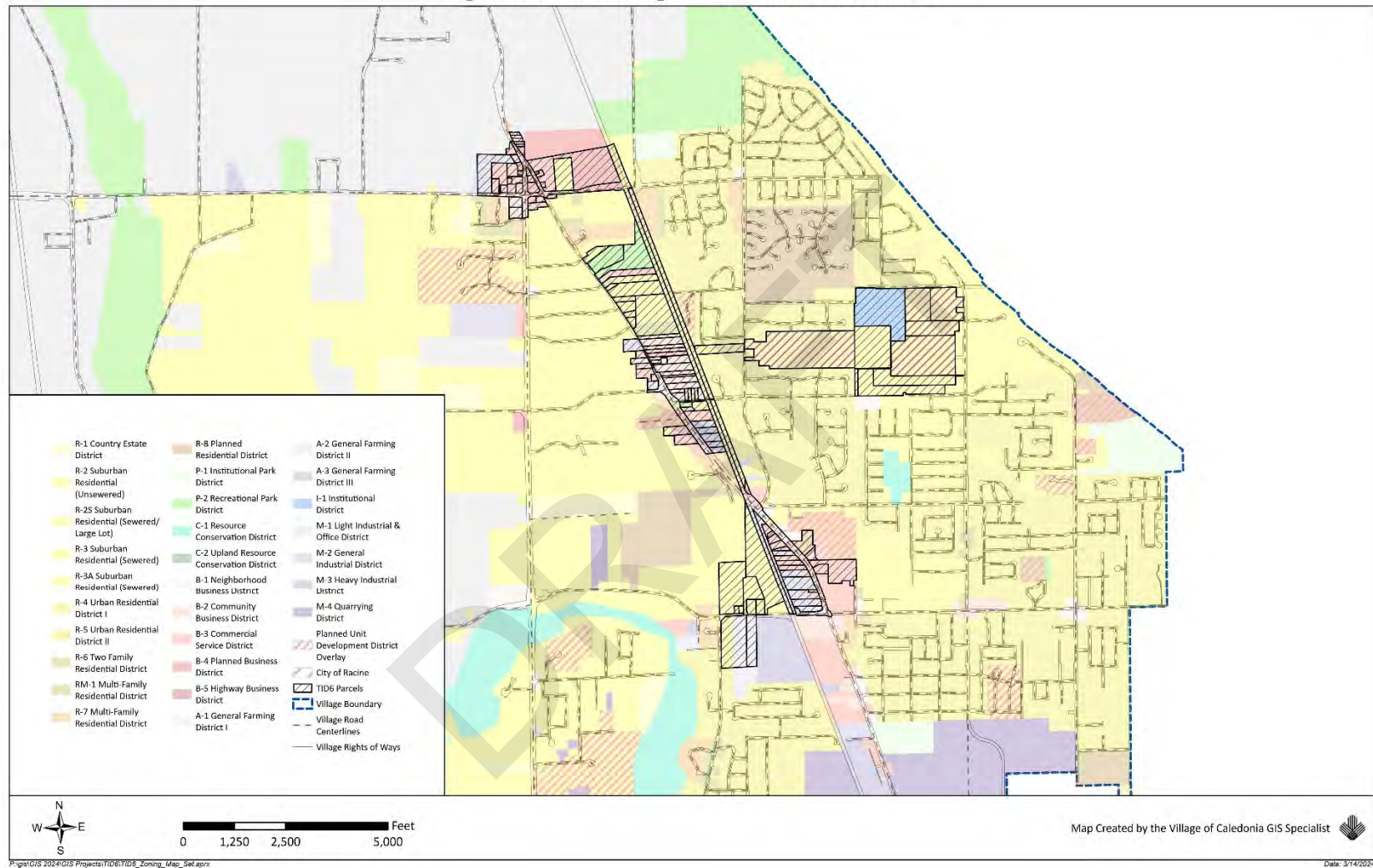
SECTION 3:

Map Showing Existing Uses and Conditions

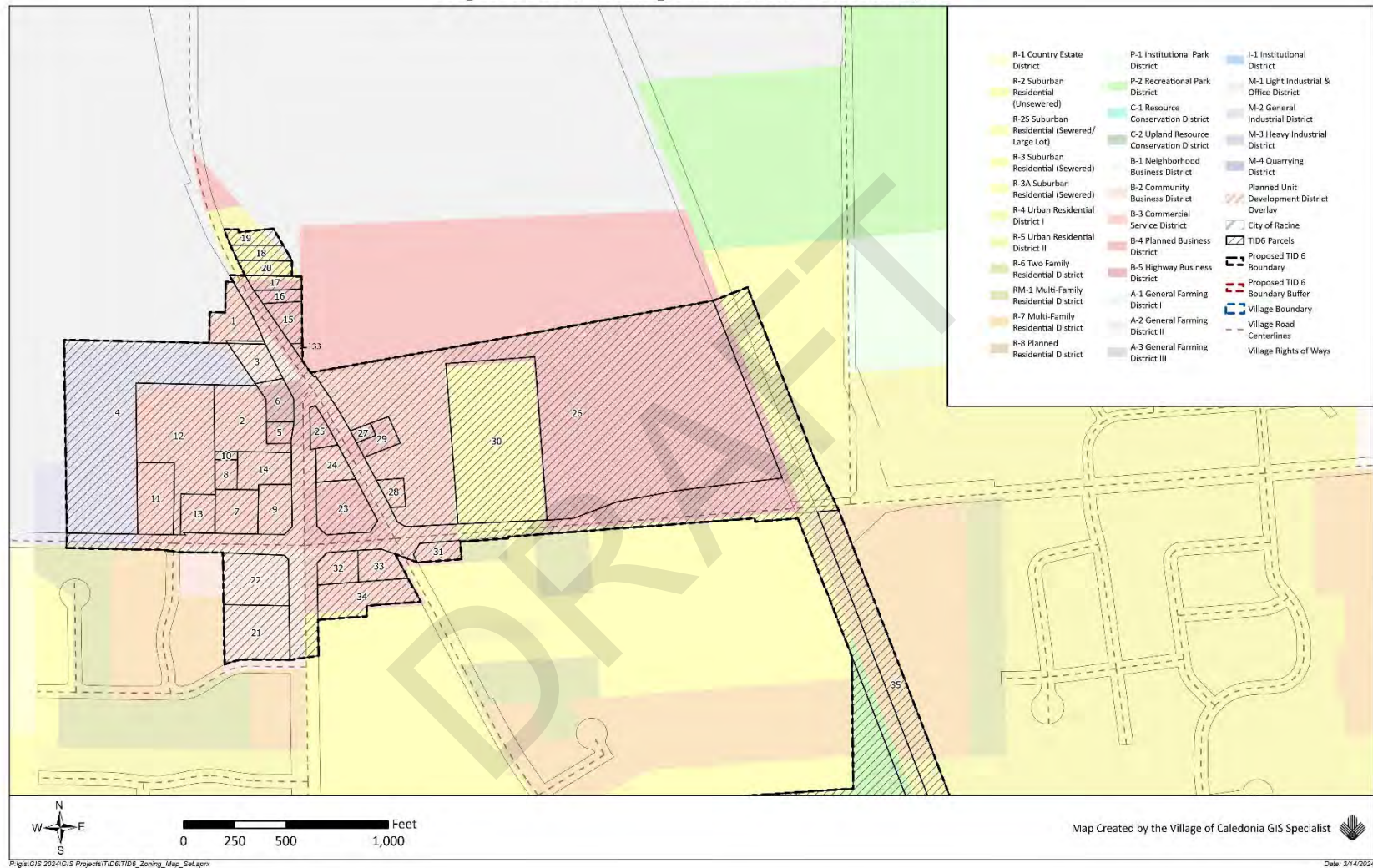
Maps found on following pages.

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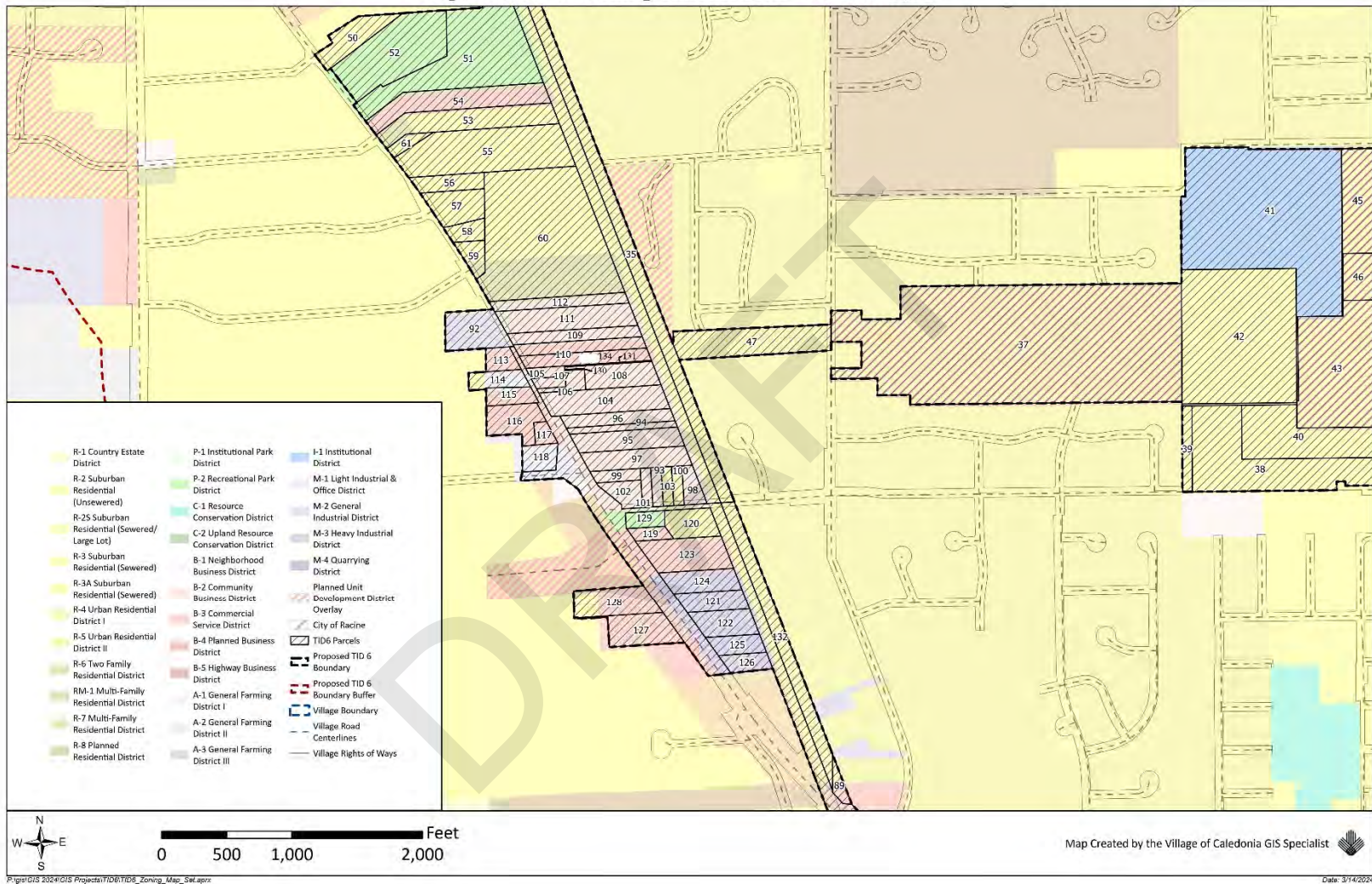
Proposed TID 6 - Zoning Classification - Caledonia, WI



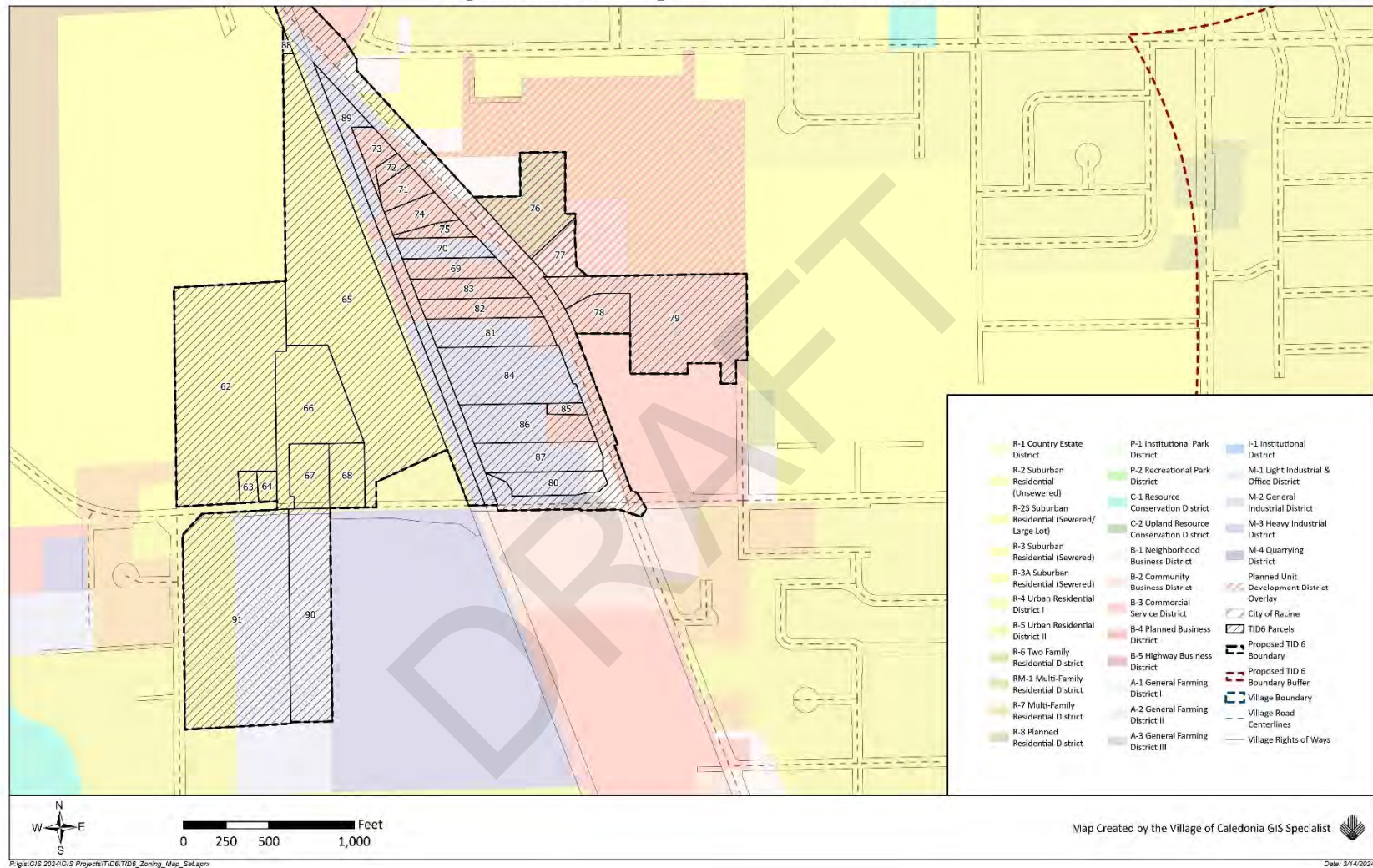
Proposed TID 6 - Zoning Classification - Caledonia, WI



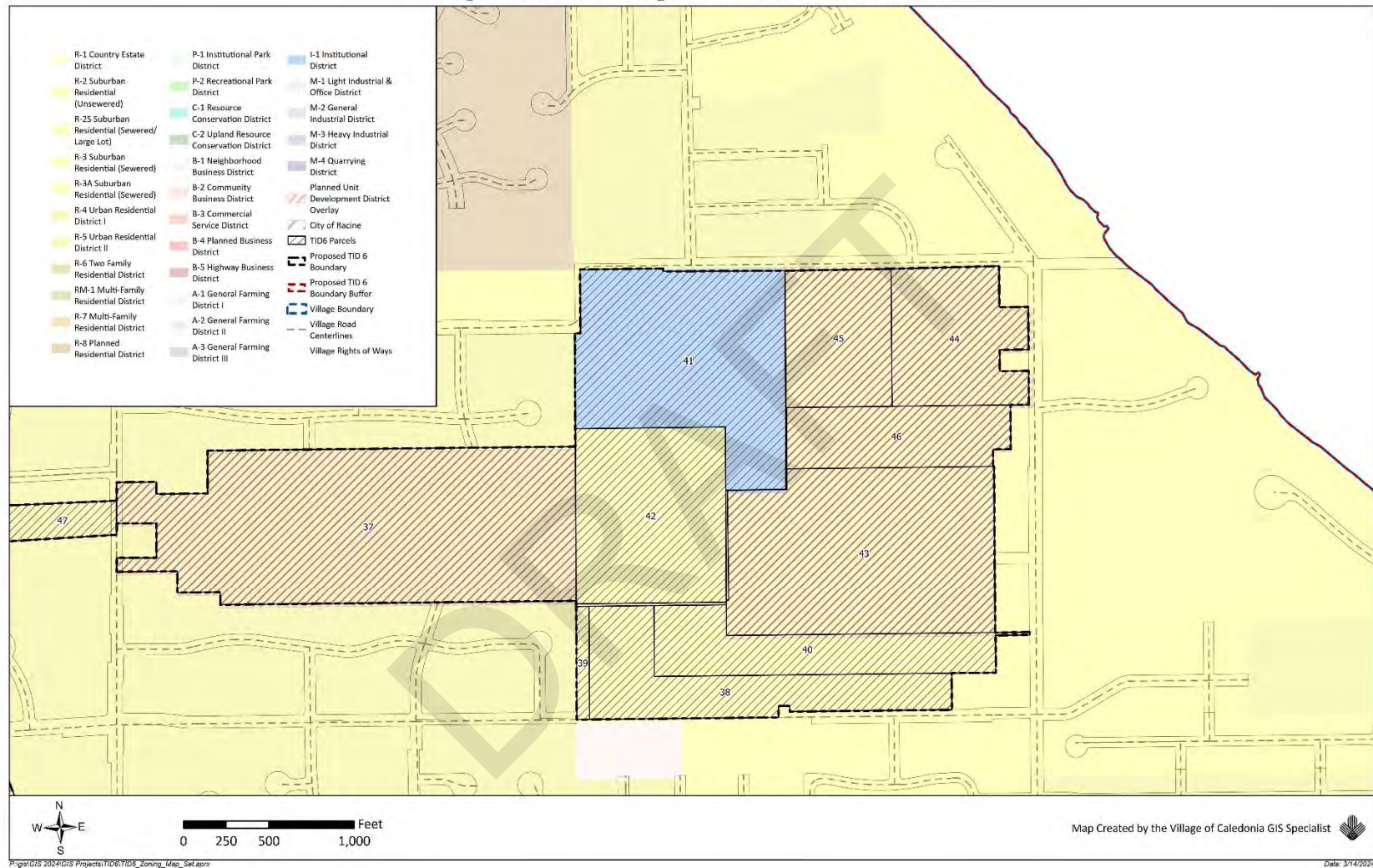
Proposed TID 6 - Zoning Classification - Caledonia, WI



Proposed TID 6 - Zoning Classification - Caledonia, WI



Proposed TID 6 - Zoning Classification - Caledonia, WI



SECTION 4:

Preliminary Parcel List and Analysis

The District will include the parcels identified in the tables included below:

Map Reference Number	Parcel Number	Acres	Suitable Acres			
			Commercial/ Business	Previously- Platted Residential	Newly-Platted Residential	Industrial
1	104042212108010	1.04				
2	104042212112000	0.95	0.95			
3	104042212113001	0.69	0.69			
4	104042212115000	6.59	6.59			
5	104042212116000	0.30	0.30			
6	104042212119000	0.64	0.64			
7	104042212120010	1.04	1.04			
8	104042212120020	0.36	0.36			
9	104042212120030	0.90	0.90			
10	104042212121000	0.10	0.10			
11	104042212121002	1.44	1.44			
12	104042212121005	3.87	3.87			
13	104042212121010	0.73	0.73			
14	104042212121020	1.02	1.02			
15	104042212123000	0.58	0.58			
16	104042212124000	0.30	0.30			
17	104042212125000	0.40	0.40			
18	104042212127020	0.45	0.45			
19	104042212127030	0.43	0.43			
20	104042212127050	0.43	0.43			
21	104042213004004	1.96	1.96			
22	104042213051150	1.86	1.86			
23	104042307015000	1.30	1.30			
24	104042307016000	0.59	0.59			
25	104042307017000	0.40	0.40			
26	104042307018010	26.97	26.97			
27	104042307019000	0.15	0.15			
28	104042307021001	0.33	0.33			
29	104042307023000	0.49	0.49			
30	104042307023002	7.92				
31	104042318021030	0.46	0.46			
32	104042318042000	0.68	0.68			
33	104042318043000	0.70	0.70			
34	104042318044000	1.55	1.55			
35	104042318209010	12.03				
36	OVERLAP	0.06	0.06			
37	104042317072000	31.35			22.94	
38	104042317077000	14.83			8.75	
39	104042317077001	1.14				
40	104042317081000	12.57			9.01	

Map Reference Number	Parcel Number	Acres	Suitable Acres			
			Commercial/ Business	Previously- Platted Residential	Newly-Platted Residential	Industrial
41	104042317082000	28.72				
42	104042317082001	1.40				
43	104042317083000	29.05			19.07	
44	104042317084000	13.26			8.26	
45	104042317085000	10.71			6.10	
46	104042317086005	8.63			8.63	
47	104042318204000	5.78		5.78		
48	GAP	0.31				
49	GAP	0.17				
50	104042318008000	2.48	2.48			
51	104042318008000	12.04			12.04	
52	104042318008010	7.77	7.77			
53	104042318009000	5.04		1.49	3.55	
54	104042318010000	4.99			4.99	
55	104042318012000	9.41		1.86		
56	104042318097000	1.51		1.51		
57	104042318098000	2.14		2.14		
58	104042318099000	0.88		0.88		
59	104042318100000	0.98	0.98			
60	104042318192000	19.63		2.00	17.63	
61	104042318011000	0.62		0.62		
62	104042319082010	17.05		7.00	10.05	
63	104042319082020	0.46		0.46		
64	104042319082030	0.46		0.46		
65	104042320067000	22.99			22.99	
66	104042320067010	5.30		5.30		
67	104042320068000	1.85		1.85		
68	104042320068001	1.81		1.81		
69	104042320096000	1.60	1.60			
70	104042320097000	1.43	1.43			
71	104042320098000	1.10	1.10			
72	104042320099000	0.43	0.43			
73	104042320100000	0.97	0.97			
74	104042320101010	1.35	1.35			
75	104042320101020	0.70	0.70			
76	104042320102131	4.29	1.81		2.47	
77	104042320102132	1.29	1.29			
78	104042320103120	1.77	1.77			
79	104042320103160	10.17	10.17			
80	104042320112000	1.81	1.81			
81	104042320113000	2.71	2.71			
82	104042320114000	1.81	1.81			
83	104042320115000	1.75	1.75			
84	104042320116000	5.57	5.57			
85	104042320117050	0.34	0.34			
86	104042320119000	3.43	3.43			
87	104042320120000	2.84	2.84			
88	104042320152000	0.11				
89	104042320152100	5.26				
90	104042329172000	7.00		1.50	5.50	

Map Reference Number	Parcel Number	Acres	Suitable Acres			
			Commercial/ Business	Previously- Platted Residential	Newly-Platted Residential	Industrial
91	104042330001000	17.78			9.04	8.74
92	104042318168000	2.74				2.74
93	104042318171000	0.55		0.55		
94	104042318172000	0.93		0.93		
95	104042318173000	2.79		2.79		
96	104042318174000	1.88		1.88		
97	104042318175000	2.74	2.74			
98	104042318176000	0.88		0.88		
99	104042318177000	0.76	0.76			
100	104042318178000	0.55		0.55		
101	104042318180000	0.55		0.55		
102	104042318181000	1.16	1.16			
103	104042318182000	0.55		0.55		
104	104042318183000	3.97	3.97			
105	104042318184000	0.52		0.52		
106	104042318185000	0.71		0.71		
107	104042318186000	0.45		0.45		
108	104042318187000	2.40	2.40			
109	104042318188000	2.02		2.02		
110	104042318189000	2.02		2.02		
111	104042318190000	4.13	4.13			
112	104042318191000	1.96	1.96			
113	104042318300180	0.84	0.84			
114	104042318300190	1.19	1.19			
115	104042318300200	1.06				1.06
116	104042318300210	1.93				1.93
117	104042318300220	0.54	0.54			
118	104042318300230	1.23				
119	104042319008001	0.60	0.60			
120	104042319008010	1.83		1.83		
121	104042319009000	1.76				1.76
122	104042319010000	2.05	2.05			
123	104042319011000	3.61	3.61			
124	104042319012000	2.15				2.15
125	104042319015010	1.29	1.29			
126	104042319015020	1.08	1.08			
127	104042319023000	2.81	2.81			
128	104042319024000	3.00	3.00			
129	104042319086000	0.83				
130	GAP	0.02				
131	GAP	0.12				
132	104042319087000	5.10				
133	104042212122000	0.06	0.06			
134	104042318187000	2.15	2.15			
TOTALS		555.11	149.15	50.87	171.01	18.38

Percentage of TID Area Suitable for Mixed Use Development (at least 50%)

70%

Percentage of TID Area Not Suitable for Development

30%

Total Area

100%

Percentage of TID Area Suitable for Newly Platted Residential Development
(no more than 35%)

31%

Wetland Acreage Removed from District Boundaries

59.20

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Calculation of Estimated Base Value¹

Parcel	Assessed Value			Equalized Value ²		
	Land	Improvement	Total	Land	Improvement	Total
104042212108010	47,500	62,600	110,100	48,600	64,100	112,700
104042212112000	6,700	0	6,700	6,900	0	6,900
104042212113001	25,600	0	25,600	26,200	0	26,200
104042212115000	118,900	0	118,900	121,700	0	121,700
104042212116000	34,000	145,700	179,700	34,800	149,100	183,900
104042212119000	51,400	120,500	171,900	52,600	123,300	175,900
104042212120010	142,200	600,200	742,400	145,500	614,300	759,800
104042212120020	1,500	0	1,500	1,500	0	1,500
104042212120030	135,400	214,600	350,000	138,600	219,700	358,300
104042212121000	100	0	100	100	0	100
104042212121002	156,900	654,700	811,600	160,600	670,100	830,700
104042212121005	71,400	0	71,400	73,100	0	73,100
104042212121010	99,900	213,200	313,100	102,300	218,200	320,500
104042212121020	125,600	54,500	180,100	128,600	55,800	184,400
104042212123000	0	0	0	0	0	0
104042212124000	33,300	112,100	145,400	34,100	114,700	148,800
104042212125000	40,800	111,900	152,700	41,800	114,500	156,300
104042212127020	42,800	142,000	184,800	43,800	145,300	189,100
104042212127030	40,800	155,400	196,200	41,800	159,100	200,900
104042212127050	41,300	149,800	191,100	42,300	153,300	195,600
104042213004004	155,800	761,600	917,400	159,500	779,500	939,000
104042213051150	144,900	0	144,900	148,300	0	148,300
104042307015000	70,400	163,600	234,000	72,100	167,500	239,600
104042307016000	48,500	0	48,500	49,600	0	49,600
104042307017000	75,500	315,600	391,100	77,300	323,000	400,300
104042307018010	251,200	0	251,200	257,100	0	257,100
104042307019000	29,800	136,200	166,000	30,500	139,400	169,900
104042307021001	28,200	0	28,200	28,900	0	28,900
104042307023000	49,500	118,200	167,700	50,700	121,000	171,700
104042307023002	0	0	0	0	0	0
104042318021030	69,200	166,000	235,200	70,800	169,900	240,700
104042318042000	103,800	389,300	493,100	106,200	398,500	504,700
104042318043000	105,300	5,000	110,300	107,800	5,100	112,900
104042318044000	159,300	0	159,300	163,100	0	163,100
104042318209010	0	0	0	0	0	0
104042317072000	31,100	0	31,100	31,800	0	31,800
104042317077000	4,000	0	4,000	4,100	0	4,100
104042317077001	0	0	0	0	0	0
104042317081000	3,700	0	3,700	3,800	0	3,800
104042317082000	0	0	0	0	0	0
104042317082001	0	0	0	0	0	0
104042317083000	12,900	0	12,900	13,200	0	13,200
104042317084000	3,200	0	3,200	3,300	0	3,300
104042317085000	2,800	0	2,800	2,900	0	2,900
104042317086005	2,600	0	2,600	2,700	0	2,700

Parcel	Assessed Value			Equalized Value ²		
	Land	Improvement	Total	Land	Improvement	Total
104042318204000	80,100	150,800	230,900	82,000	154,300	236,300
104042318008000	14,900	0	14,900	15,300	0	15,300
104042318008010	178,600	540,400	719,000	182,800	553,100	735,900
104042318009000	83,500	125,200	208,700	85,500	128,100	213,600
104042318010000	3,500	0	3,500	3,600	0	3,600
104042318012000	114,000	163,800	277,800	116,700	167,700	284,400
104042318097000	62,600	215,000	277,600	64,100	220,100	284,200
104042318098000	68,600	206,300	274,900	70,200	211,200	281,400
104042318099000	57,300	192,100	249,400	58,600	196,600	255,200
104042318100000	69,100	102,200	171,300	70,700	104,600	175,300
104042318192000	57,200	163,900	221,100	58,500	167,800	226,300
104042318011000	47,100	112,400	159,500	48,200	115,000	163,200
104042319082010	60,500	351,700	412,200	61,900	360,000	421,900
104042319082020	48,900	154,600	203,500	50,100	158,200	208,300
104042319082030	48,800	286,100	334,900	49,900	292,800	342,700
104042320067000	8,400	0	8,400	8,600	0	8,600
104042320067010	90,400	253,700	344,100	92,500	259,700	352,200
104042320068000	64,900	272,500	337,400	66,400	278,900	345,300
104042320068001	63,900	258,400	322,300	65,400	264,500	329,900
104042320096000	64,000	121,100	185,100	65,500	124,000	189,500
104042320097000	63,700	151,100	214,800	65,200	154,700	219,900
104042320098000	61,700	8,100	69,800	63,200	8,300	71,500
104042320099000	43,900	84,200	128,100	44,900	86,200	131,100
104042320100000	84,500	240,200	324,700	86,500	245,900	332,400
104042320101010	88,500	909,400	997,900	90,600	930,800	1,021,400
104042320101020	65,100	124,200	189,300	66,600	127,100	193,700
104042320102131	0	0	0	0	0	0
104042320102132	400	0	400	400	0	400
104042320103120	388,100	164,700	552,800	397,200	168,600	565,800
104042320103160	906,800	685,300	1,592,100	928,100	701,400	1,629,500
104042320112000	191,700	0	191,700	196,200	0	196,200
104042320113000	162,100	209,000	371,100	165,900	213,900	379,800
104042320114000	98,400	0	98,400	100,700	0	100,700
104042320115000	115,500	258,000	373,500	118,200	264,100	382,300
104042320116000	0	0	0	0	0	0
104042320117050	49,400	143,800	193,200	50,600	147,200	197,800
104042320119000	172,300	355,600	527,900	176,400	364,000	540,400
104042320120000	0	0	0	0	0	0
104042320152000	0	0	0	0	0	0
104042320152100	0	0	0	0	0	0
104042329172000	47,300	118,700	166,000	48,400	121,500	169,900
104042330001000	3,200	0	3,200	3,300	0	3,300
104042318168000	226,300	328,200	554,500	231,600	335,900	567,500
104042318171000	45,400	147,800	193,200	46,500	151,300	197,800
104042318172000	46,400	130,100	176,500	47,500	133,200	180,700
104042318173000	70,200	233,800	304,000	71,900	239,300	311,200
104042318174000	74,800	205,200	280,000	76,600	210,000	286,600

Parcel	Assessed Value			Equalized Value ²		
	Land	Improvement	Total	Land	Improvement	Total
104042318175000	100,200	417,100	517,300	102,600	426,900	529,500
104042318176000	40,000	49,600	89,600	40,900	50,800	91,700
104042318177000	37,900	2,900	40,800	38,800	3,000	41,800
104042318178000	45,400	155,200	200,600	46,500	158,900	205,400
104042318180000	45,400	121,200	166,600	46,500	124,100	170,600
104042318181000	69,700	3,400	73,100	71,300	3,500	74,800
104042318182000	45,400	90,600	136,000	46,500	92,700	139,200
104042318183000	78,000	164,500	242,500	79,800	168,400	248,200
104042318184000	36,000	172,100	208,100	36,800	176,200	213,000
104042318185000	50,000	135,700	185,700	51,200	138,900	190,100
104042318186000	40,100	215,900	256,000	41,000	221,000	262,000
104042318187000	76,200	291,400	367,600	78,000	298,300	376,300
104042318188000	65,600	138,600	204,200	67,100	141,900	209,000
104042318189000	66,000	170,300	236,300	67,600	174,300	241,900
104042318190000	78,800	116,400	195,200	80,700	119,100	199,800
104042318191000	56,600	123,100	179,700	57,900	126,000	183,900
104042318300180	68,100	284,000	352,100	69,700	290,700	360,400
104042318300190	0	0	0	0	0	0
104042318300200	87,100	272,600	359,700	89,200	279,000	368,200
104042318300210	114,100	1,356,100	1,470,200	116,800	1,388,000	1,504,800
104042318300220	45,900	194,100	240,000	47,000	198,700	245,700
104042318300230	0	0	0	0	0	0
104042319008001	53,900	0	53,900	55,200	0	55,200
104042319008010	65,500	180,300	245,800	67,000	184,500	251,500
104042319009000	70,700	0	70,700	72,400	0	72,400
104042319010000	87,100	217,100	304,200	89,200	222,200	311,400
104042319011000	155,000	385,000	540,000	158,600	394,100	552,700
104042319012000	87,900	236,100	324,000	90,000	241,700	331,700
104042319015010	78,300	476,900	555,200	80,100	488,100	568,200
104042319015020	71,100	352,000	423,100	72,800	360,300	433,100
104042319023000	125,400	347,100	472,500	128,400	355,300	483,700
104042319024000	142,500	340,100	482,600	145,900	348,100	494,000
104042319086000	0	0	0	0	0	0
104042319087000	0	0	0	0	0	0
104042212122000	27,800	0	27,800	56,900	0	56,900
104042318187000	75,100	337,300	412,400	76,900	345,200	422,100
TOTALS	9,146,600	20,307,000	29,453,600	9,390,900	20,785,300	30,176,200

- 1) Valuations listed reflect January 1, 2023 values. Actual District base value will be certified using January 1, 2024 valuations which are not yet available. Any increases in valuation occurring after January 1, 2024 will generate incremental value.
- 2) Represents assessed values converted to equalized value using the January 1, 2023 aggregate ratios published by the Wisconsin Department of Revenue for the Village (97.70%).

SECTION 5:
Equalized Value Test

The following calculations demonstrate that the Village expects to be in compliance with Wis. Stat. § 66.1105(4)(gm)4.c., which requires that the equalized value of the taxable property in the proposed District, plus the value increment of all existing tax incremental districts, does not exceed 12% of the total equalized value of taxable property within the Village.

Calculation of Village Equalized Value Limit

Village TID IN Equalized Value (Jan. 1, 2023)	\$	3,476,127,000
TID Valuation Limit @ 12% of Above Value	\$	417,135,240

Calculation of Value Subject to Limit

Estimated Base Value of Territory to be Included in District	\$	30,176,200
Incremental Value of Existing Districts (Jan. 1, 2023)	\$	120,963,300
Total Value Subject to 12% Valuation Limit	\$	151,139,500
Total Percentage of TID IN Equalized Value		4.35%
Residual Value Capacity of TID IN Equalized Value	\$	265,995,740

The equalized value of the increment of existing tax incremental districts within the Village, plus the value of the territory proposed to be added to the District, totals \$151,139,500, which is 4.35% of the Village’s total equalized value. This value is less than the maximum of \$417,135,240 (12%) in equalized value that is permitted for the Village. Following creation of the District, its base value is no longer counted towards the 12% limit, however, any incremental increase in value will be included in the calculation for creation of subsequent districts, or where territory is being added to an existing district.

SECTION 6:

Statement Listing the Kind, Number and Location of All Proposed Public Works or Improvements Within the District

Project Costs are any expenditure made, estimated to be made, or monetary obligations incurred or estimated to be incurred as outlined in this Plan. Project Costs will be diminished by any income, special assessments or other revenues, including user fees or charges, other than tax increments, received or reasonably expected to be received in connection with the implementation of the Plan. If Project Costs incurred benefit territory outside the District, a proportionate share of the cost is not a Project Cost. Costs identified in this Plan are preliminary estimates made prior to design considerations and are subject to change after planning, design and construction is completed.

With all Project Costs, the costs of engineering, design, survey, inspection, materials, construction, restoring property to its original condition, apparatus necessary for public works, legal and other consultant fees, testing, environmental studies, permits, updating Village ordinances and plans, judgments or claims for damages and other expenses are included as Project Costs.

The following is a list of public works and other tax incremental financing eligible Project Costs that the Village expects to make, or may need to make, in conjunction with the implementation of the District's Plan. The map found in Section 7 of this Plan along with the Detailed List of Project Costs found in Section 8 provide additional information as to the kind, number and location of potential Project Costs.

Property, Right-of-Way and Easement Acquisition

Property Acquisition for Development

To promote and facilitate development the Village may acquire property within the District. The cost of property acquired, and any costs associated with the transaction, are eligible Project Costs. Following acquisition, other Project Costs within the categories detailed in this Section may be incurred to make the property suitable for development. Any revenue received by the Village from the sale of property acquired pursuant to the execution of this Plan will be used to reduce the total project costs of the District. If total Project Costs incurred by the Village to acquire property and make it suitable for development exceed the revenues or other consideration received from the sale or lease of that property, the net amount shall be considered "real property

assembly costs” as defined in Wis. Stat. § 66.1105(2)(f)1.c., and subject to recovery as an eligible Project Cost.

Property Acquisition for Conservancy

To promote the objectives of this Plan, the Village may acquire property within the District that it will designate for conservancy. These conservancy objectives include: preserving historic resources or sensitive natural features; protection of scenic and historic views; maintaining habitat for wildlife; maintaining adequate open space; reduction of erosion and sedimentation by preserving existing vegetation; and providing adequate areas for management of stormwater. The cost of property acquired for conservancy, and any costs associated with the transaction, are eligible Project Costs.

Acquisition of Rights-of-Way

The Village may need to acquire property to allow for installation of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the Village to identify, negotiate and acquire rights-of-way are eligible Project Costs.

Acquisition of Easements

The Village may need to acquire temporary or permanent easements to allow for installation and maintenance of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the Village to identify, negotiate and acquire easement rights are eligible Project Costs.

Relocation Costs

If relocation expenses are incurred in conjunction with the acquisition of property, those expenses are eligible Project Costs. These costs may include, but are not limited to: preparation of a relocation plan; allocations of staff time; legal fees; publication of notices; obtaining appraisals; and payment of relocation benefits as required by Wis. Stat. Chapter 32 and Wis. Admin. Code ADM 92.

Site Preparation Activities

Environmental Audits and Remediation

If it becomes necessary to evaluate any land or improvement within the District, any cost incurred by the Village related to environmental audits, testing, and remediation are eligible Project Costs.

Demolition

To make sites suitable for development, the Village may incur costs related to demolition and removal of structures or other land improvements, to include abandonment of wells or other existing utility services.

Site Grading

Land within the District may require grading to make it suitable for development, to provide access, and to control stormwater runoff. The Village may need to remove and dispose of excess material, or bring in fill material to provide for proper site elevations. Expenses incurred by the Village for site grading are eligible Project Costs.

Utilities

Sanitary Sewer System Improvements

To allow development to occur, the Village may need to construct, alter, rebuild or expand sanitary sewer infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: collection mains; manholes and cleanouts; service laterals; force mains; interceptor sewers; pumping stations; lift stations; wastewater treatment facilities; and all related appurtenances. To the extent sanitary sewer projects undertaken within the District provide direct benefit to land outside of the District, the Village will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the Village construct, alter, rebuild or expand sanitary sewer infrastructure located outside of the District. That portion of the costs of sanitary sewer system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Water System Improvements

To allow development to occur, the Village may need to construct, alter, rebuild or expand water system infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: distribution mains; manholes and valves; hydrants; service laterals; pumping stations; wells; water treatment facilities; storage tanks and reservoirs; and all related appurtenances. To the extent water system projects undertaken within the District provide direct benefit to land outside of the District, the Village will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the

implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the Village construct, alter, rebuild or expand water system infrastructure located outside of the District. That portion of the costs of water system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Stormwater Management System Improvements

Development within the District will cause stormwater runoff. To manage this stormwater runoff, the Village may need to construct, alter, rebuild or expand stormwater management infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: stormwater collection mains; inlets, manholes and valves; service laterals; ditches; culvert pipes; box culverts; bridges; stabilization of stream and river banks; and infiltration, filtration and detention Best Management Practices (BMP's). To the extent stormwater management system projects undertaken within the District provide direct benefit to land outside of the District, the Village will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the Village construct, alter, rebuild or expand stormwater management infrastructure located outside of the District. That portion of the costs of stormwater management system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Electric Service

To create sites suitable for development, the Village may incur costs to provide, relocate or upgrade electric services. Relocation may require abandonment and removal of existing poles or towers, installation of new poles or towers, or burying of overhead electric lines. Costs incurred by the Village to undertake this work are eligible Project Costs.

Gas Service

To create sites suitable for development, the Village may incur costs to provide, relocate or upgrade gas mains and services. Costs incurred by the Village to undertake this work are eligible Project Costs.

Communications Infrastructure

To create sites suitable for development, the Village may incur costs to provide, relocate or upgrade infrastructure required for voice and data communications, including, but not limited to: telephone lines, cable lines and fiber optic cable. Costs incurred by the Village to undertake this work are eligible Project Costs.

Streets and Streetscape

Street Improvements

To allow development to occur, the Village may need to construct or reconstruct streets, highways, alleys, access drives and parking areas. Eligible Project Costs include, but are not limited to: excavation; removal or placement of fill; construction of road base; asphalt or concrete paving or repaving; installation of curb and gutter; installation of sidewalks and bicycle lanes; installation of culverts, box culverts and bridges; rail crossings and signals; utility relocation, to include burying overhead utility lines; street lighting; installation of traffic control signage and traffic signals; pavement marking; right-of-way restoration; installation of retaining walls; and installation of fences, berms, and landscaping.

Streetscaping and Landscaping

To attract development consistent with the objectives of this Plan, the Village may install amenities to enhance development sites, rights-of-way and other public spaces. These amenities include, but are not limited to: landscaping; lighting of streets, sidewalks, parking areas and public areas; installation of planters, benches, clocks, tree rings, trash receptacles and similar items; and installation of brick or other decorative walks, terraces and street crossings. These and any other similar amenities installed by the Village are eligible Project Costs.

Community Development

Cash Grants (Development Incentives)

The Village may enter into agreements with property owners, lessees, or developers of land located within the District for sharing costs to encourage the desired kind of improvements and assure tax base is generated sufficient to recover Project Costs. No cash grants will be provided until the Village executes a developer agreement with the recipient of the cash grant. Any payments of cash grants made by the Village are eligible Project Costs.

Contribution to Community Development Authority (CDA)

As provided for in Wis. Stat. § 66.1105(2)(f)1.h and Wis. Stat. § 66.1333(13), the Village may provide funds to its CDA to be used for administration, planning operations, and capital costs, including but not limited to real property acquisition, related to the purposes for which it was established in furtherance of any redevelopment or urban renewal project. Funds provided to the CDA for this purpose are eligible Project Costs.

Revolving Loan Program (Development Incentives)

To encourage private development consistent with the objectives of this Plan, the Village, through its CDA, may provide loans to eligible property owners in the District. Eligible improvements will be those that are likely to improve the value of the property, enhance the visual appearance of the property and surrounding area, correct safety deficiencies, or as otherwise specified by the CDA in the program manual. Any funds returned to the CDA from the repayment of loans made are not considered revenues to the District, and will not be used to offset District Project Costs. Instead, these funds may be placed into a revolving fund and will continue to be used for the program purposes stated above. Any funds provided to the CDA for purposes of implementing this program are considered eligible Project Costs.

Miscellaneous

Rail Spur

To allow for development, the Village may incur costs for installation of a rail spur or other railway improvements to serve development sites located within the District.

Projects Outside the Tax Increment District

Pursuant to Wis. Stat. § 66.1105(2)(f)1.n, the Village may undertake projects within territory located within one-half mile of the boundary of the District provided that: 1) the project area is located within the Village's corporate boundaries; and 2) the projects are approved by the Joint Review Board. The cost of projects completed outside the District pursuant to this section are eligible project costs, and may include any project cost that would otherwise be eligible if undertaken within the District. The Village intends to make the following project cost expenditures outside the District:

- \$375,000 for a recreation path from Crawford Park to 5 Mile Road
- \$1.00 million for the Douglas Avenue Streetscape Medians (represents estimated cost of the project within the ½ mile surrounding the District based on a GIS measurement)

Professional Service and Organizational Costs

The costs of professional services rendered, and other costs incurred, in relation to the creation, administration and termination of the District, and the undertaking of the projects contained within this Plan, are eligible Project Costs. Professional services include but are not limited to: architectural; environmental; planning; engineering; legal; audit; financial; and the costs of informing the public with respect to the creation of the District and the implementation of the Plan.

Administrative Costs

The Village may charge to the District as eligible Project Costs reasonable allocations of administrative costs, including, but not limited to, employee salaries. Costs allocated will bear a direct connection to the time spent by Village employees relating to the implementation of the Plan.

Financing Costs

Interest expense, debt issuance expenses, redemption premiums, and any other fees and costs incurred in conjunction with obtaining financing for projects undertaken under this Plan are eligible Project Costs.

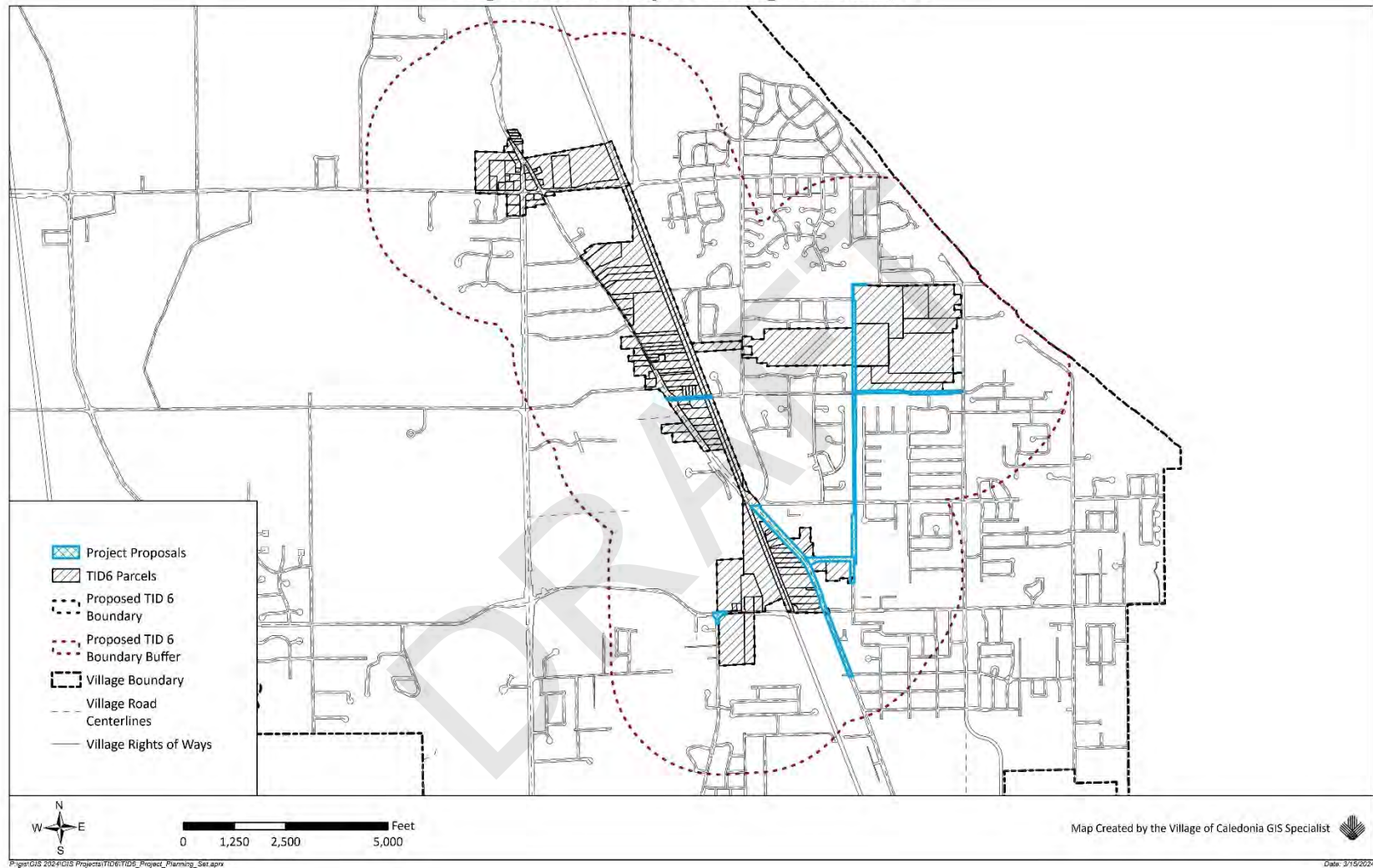
SECTION 7:

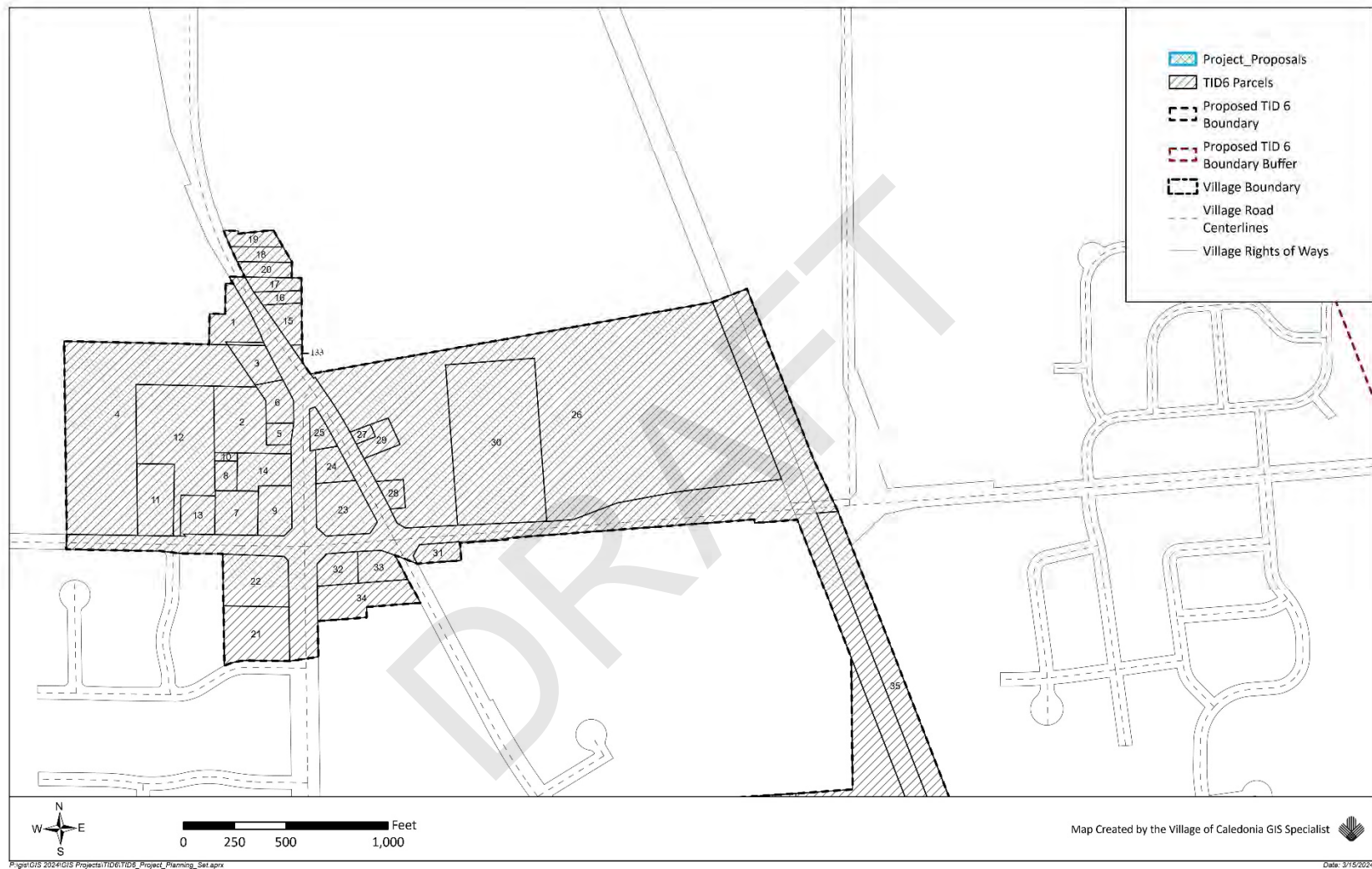
Map Showing Proposed Improvements and Uses

Maps found on following pages.

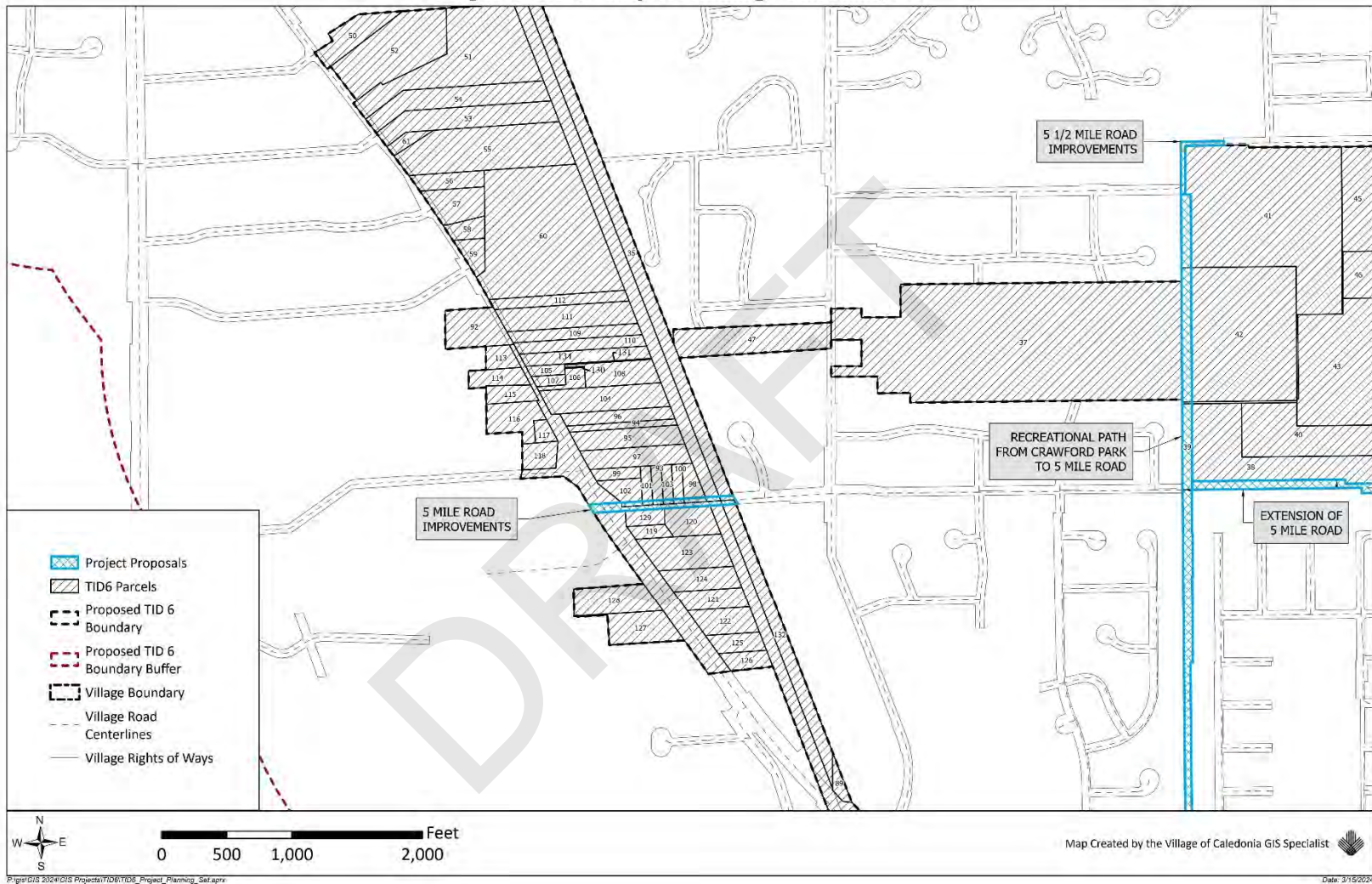
DRAFT

Proposed TID 6 - Project Planning - Caledonia, WI

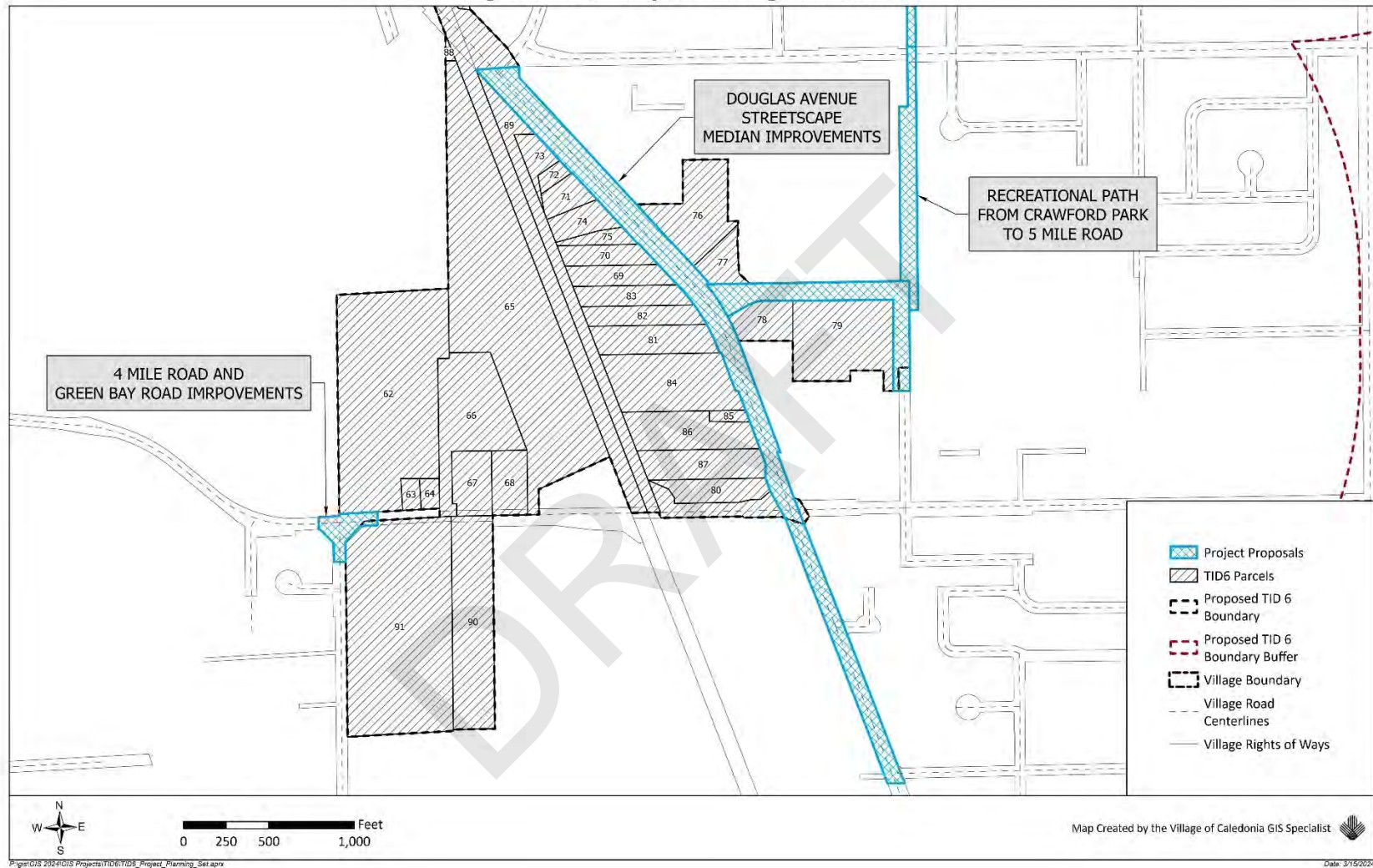




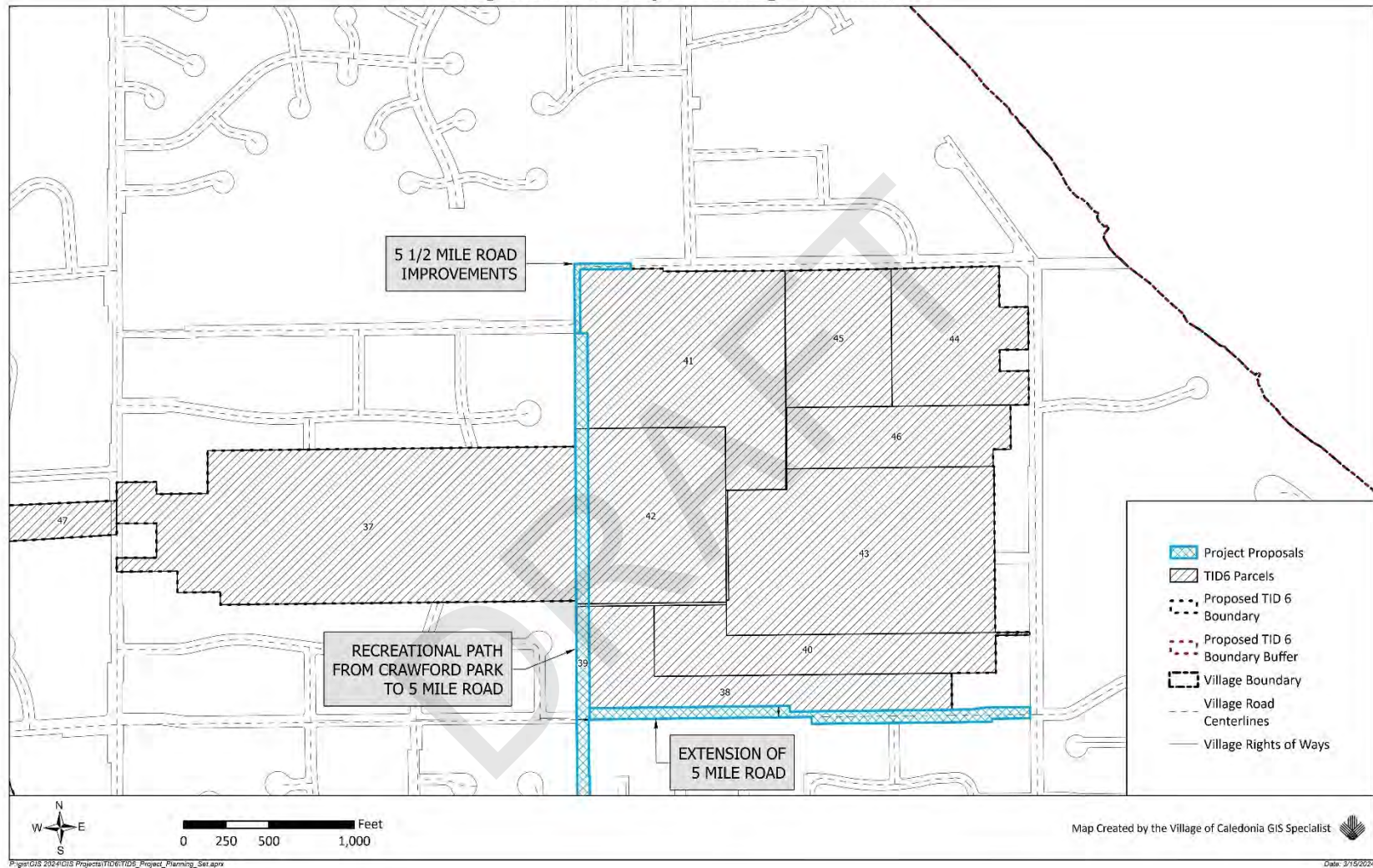
Proposed TID 6 - Project Planning - Caledonia, WI



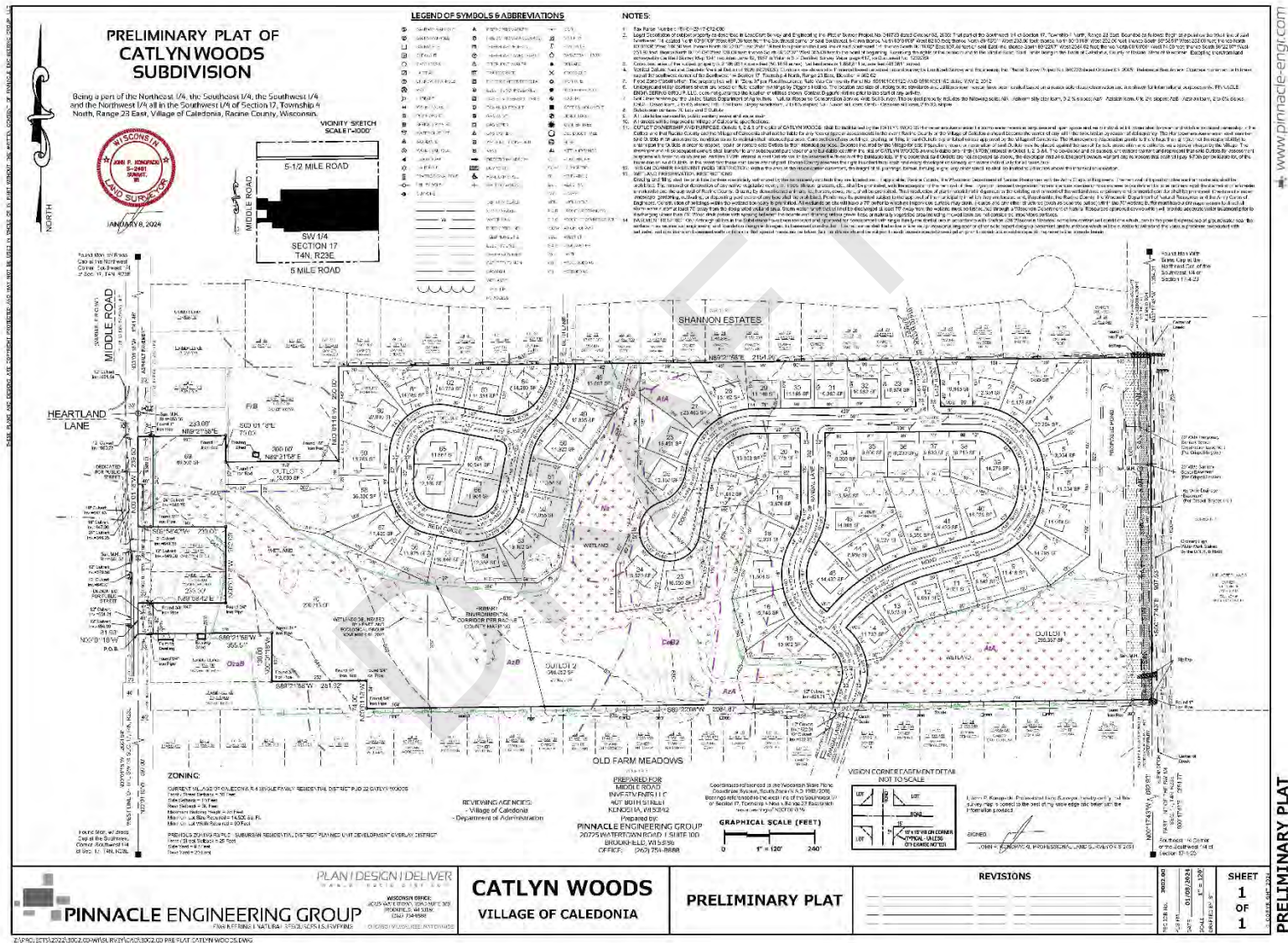
Proposed TID 6 - Project Planning - Caledonia, WI



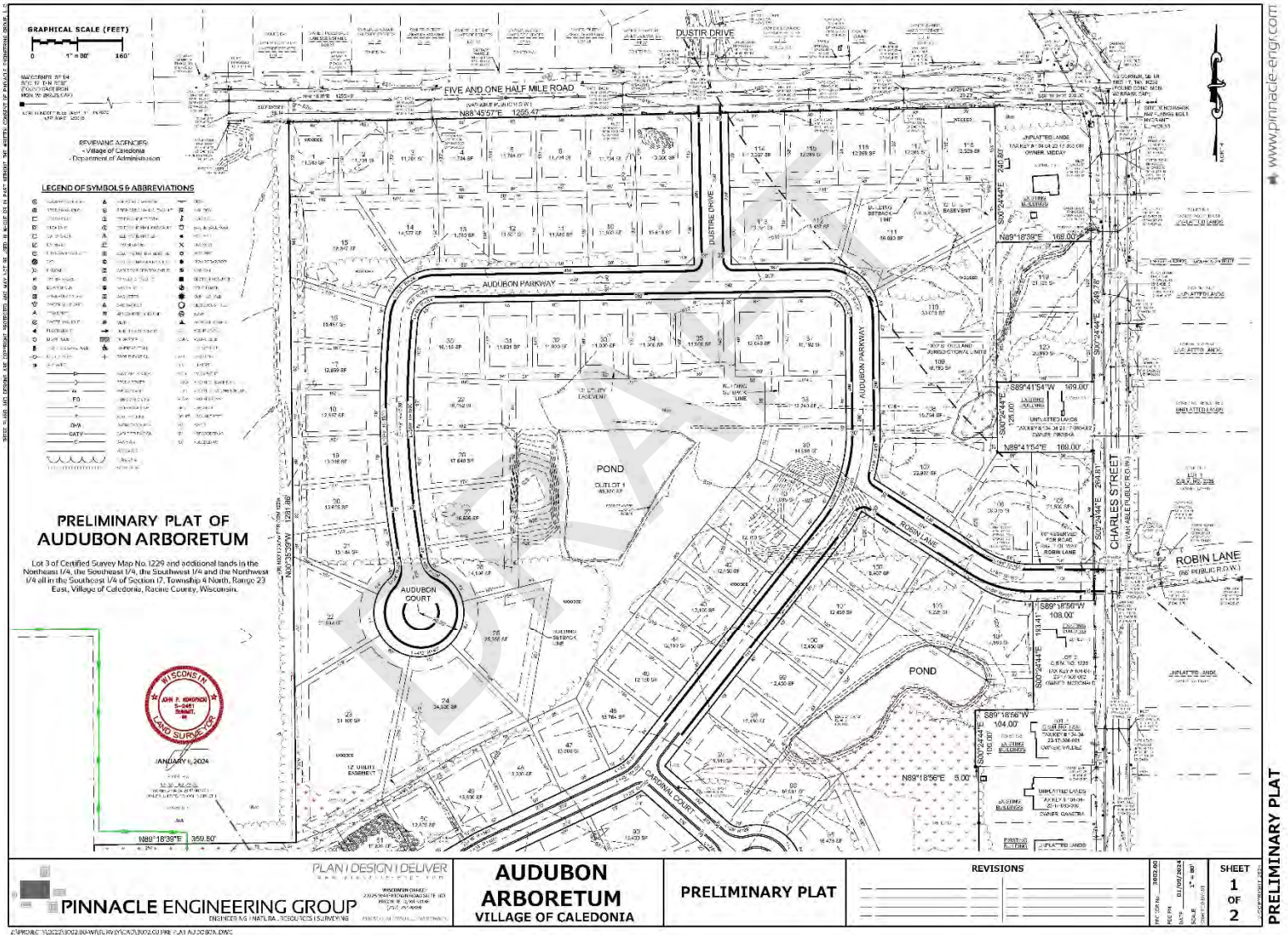
Proposed TID 6 - Project Planning - Caledonia, WI



Preliminary Platting - Catlyn Woods



Preliminary Platting - Audubon Arboretum





Preliminary Platting - Thomas Farm



THOMAS FARM
PINNACLE ENGINEERING GROUP

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005 | WWW.PINNACLE-ENGR.COM |

PLAN | DESIGN | DELIVER

01/18/2024
PEGJOB# 957.00

Preliminary Platting - Density Calculations

	Development:			Total
	Thomas Farm	Audubon Arboretum	Catlyn Woods	
Right of Way Acreage	3.56	9.61	6.82	20.00
Outlot Acreage	6.08	17.97	20.35	44.41
Lot Acreage	17.58	42.44	22.94	82.96
Total Acreage	27.22	70.03	50.11	147.36
Units	64	120	70	254
Density - Lot Acreage	3.64	2.83	3.05	3.06

The above calculations are for the proposed Project by the Developer only. The Project is the only newly platted residential development currently proposed in the District and should future projects in the District be supported by tax increment revenues, such projects will meet one of the below findings:

- Density of the residential housing is at least three units per acre;
- Residential housing is located in a conservation subdivision, as defined in sec. 66.1027(1)(a), Wis. Stats.
- Residential housing is located in a traditional neighborhood development, as defined in sec. 66.1027(1)(c), Wis. Stats.

SECTION 8:

Detailed List of Estimated Project Costs

The list on the following page identifies the Project Costs that the Village currently expects to incur in implementing the District's Plan. All projects identified and related costs reflect the best estimates available as of the date of preparation of this Plan. All costs are preliminary estimates and may increase or decrease. Certain Project Costs listed may become unnecessary, and other Project Costs not currently identified may need to be made. (Section 6 details the general categories of eligible Project Costs). Changes in Project Cost totals or the types of Project Costs to be incurred will not require that this Plan be amended. This Plan is not meant to be a budget nor an appropriation of funds for specific Project Costs, but a framework within which to manage Project Costs.

DRAFT

Project ID	Project Name/Type	Priority	Est. Cost		Totals	1/2 Mile	Est. Timing
			Contingent ¹	Ongoing			
1	Recreation Path - Crawford to 5 Mile	375,000			375,000	375,000	2031
2	Douglas Avenue Streetscape Medians		3,000,000		3,000,000	1,000,000	TBD
3	5-1/2 Mile Road - S Curve (Olympia Brown)		2,200,000		2,200,000		TBD
4	5 Mile Road - STH 31 to Middle		425,000		425,000		TBD
5	Campus Drive Road		1,000,000		1,000,000		TBD
6	4 Mile Road & Green Bay Road		4,600,000		4,600,000		TBD
7	Commercial Development Incentives		500,000		500,000		TBD
8	Reinvestment in Commercial Properties		500,000		500,000		TBD
9	Residential Development Incentive ²						
9a	5 Mile Road - Charles to a point 1300' west	1,200,000			1,200,000		2024-2045
9b	Development Incentive	29,756,843			29,756,843		2024-2045
10	Ongoing Planning & Administrative Costs			301,300	301,300		2024-2045
Total Projects		31,331,843	12,225,000	301,300	43,858,143	1,375,000	

Notes:

- 1) The identified projects will only be funded contingent on sufficient tax increment revenues being available in the District. Such projects are not included in the cash flow model for the District.
- 2) Incentive amounts shown are included for purposes of establishing economic feasibility only. The amount of any incentive to be provided will be established in applicable development agreements and may vary from the estimates.

SECTION 9:

Economic Feasibility Study, Description of the Methods of Financing Estimated Project Costs and the Time When Related Costs or Monetary Obligations are to be Incurred

This Section includes a forecast of the valuation increases expected within the District, the associated tax increment collections, a summary of how Project Costs would be financed, and a projected cash flow demonstrating that the District is economically feasible.

Key Assumptions

The Project Costs the Village plans to make are expected to create approximately \$128 million in incremental value by January 1, 2033 (inclusive of economic appreciation of the base value). Estimated valuations and timing for construction of the Project are included in **Table 1**. Assuming the Village's current equalized TID Interim tax rate of \$17.55 per thousand of equalized value, and 4.00% of economic appreciation on the base value of the District for the first four years, the Project would generate \$34.2 million in incremental tax revenue over the 20-year term of the District as shown in **Table 2**.

Table 1 - Development Assumptions

Construction Year		Bear Development ¹								Annual Total	Construction Year
		Thomas Farm - Unit Style 1		Thomas Farm - Unit Style 2		Audubon Arboretum		Catlyn Woods			
		Units	Total Value	Units	Total Value	Units	Total Value	Sq. Ft.	Total Value		
Estimated Value per		\$400,000		\$450,000		\$500,000		\$500,000			
1	2024									0	2024 1
2	2025	6	2,400,000	6	2,700,000					5,100,000	2025 2
3	2026	12	4,800,000	21	9,450,000					14,250,000	2026 3
4	2027			19	8,550,000			12	6,000,000	14,550,000	2027 4
5	2028							42	21,000,000	21,000,000	2028 5
6	2029					12	6,000,000	16	8,000,000	14,000,000	2029 6
7	2030					42	21,000,000			21,000,000	2030 7
8	2031					40	20,000,000			20,000,000	2031 8
9	2032					26	13,000,000			13,000,000	2032 9
10	2033									0	2033 10
11	2034									0	2034 11
12	2035									0	2035 12
13	2036									0	2036 13
14	2037									0	2037 14
15	2038									0	2038 15
16	2039									0	2039 16
17	2040									0	2040 17
18	2041									0	2041 18
19	2042									0	2042 19
20	2043									0	2043 20
Totals		18	7,200,000	46	20,700,000	120	60,000,000	70	35,000,000	122,900,000	

Notes:
1) Per the Developer pro forma dated February 26, 2024.

Table 2 – Tax Increment Projection Worksheet

Type of District	Mixed Use	Base Value	30,176,200
District Creation Date	April 9, 2024	Economic Change Factor	0.00%
Valuation Date	Jan 1, 2024	Apply to Base Value	
Max Life (Years)	20	Base Tax Rate	\$17.55
Expenditure Period/Termination	15 4/9/2039	Rate Adjustment Factor	0.00%
Revenue Periods/Final Year	20 2045		
Extension Eligibility/Years	Yes 3		
Eligible Recipient District	No		

	Construction Year	Valuation Value Added	Valuation Year	Economic Change ¹	Total Increment	Revenue Year	Tax Rate ²	Tax Increment
1	2024	0	2025	1,207,000	1,207,000	2026	\$17.55	21,183
2	2025	5,100,000	2026	1,255,300	7,562,300	2027	\$17.55	132,719
3	2026	14,250,000	2027	1,305,500	23,117,800	2028	\$17.55	405,720
4	2027	14,550,000	2028	1,357,800	39,025,600	2029	\$17.55	684,903
5	2028	21,000,000	2029	0	60,025,600	2030	\$17.55	1,053,455
6	2029	14,000,000	2030	0	74,025,600	2031	\$17.55	1,299,157
7	2030	21,000,000	2031	0	95,025,600	2032	\$17.55	1,667,709
8	2031	20,000,000	2032	0	115,025,600	2033	\$17.55	2,018,711
9	2032	13,000,000	2033	0	128,025,600	2034	\$17.55	2,246,862
10	2033	0	2034	0	128,025,600	2035	\$17.55	2,246,862
11	2034	0	2035	0	128,025,600	2036	\$17.55	2,246,862
12	2035	0	2036	0	128,025,600	2037	\$17.55	2,246,862
13	2036	0	2037	0	128,025,600	2038	\$17.55	2,246,862
14	2037	0	2038	0	128,025,600	2039	\$17.55	2,246,862
15	2038	0	2039	0	128,025,600	2040	\$17.55	2,246,862
16	2039	0	2040	0	128,025,600	2041	\$17.55	2,246,862
17	2040	0	2041	0	128,025,600	2042	\$17.55	2,246,862
18	2041	0	2042	0	128,025,600	2043	\$17.55	2,246,862
19	2042	0	2043	0	128,025,600	2044	\$17.55	2,246,862
20	2043	0	2044	0	128,025,600	2045	\$17.55	2,246,862
Totals		122,900,000		5,125,600		Future Value of Increment		34,245,903

Notes:

1) Assumes 4.00% economic appreciation of the base value in the first four years.

2) Tax rate shown is actual 2023/2024 rate per DOR Form PC-202 (Tax Increment Collection Worksheet).

Financing and Implementation

Implementation of the Plan will require significant build out of public infrastructure within the District itself and minor costs within the half-mile surrounding the District boundaries.

Development incentives will be made on a “pay as you go” basis from tax increment generated by the Developer’s project. The Village’s obligation to make payments is solely limited to the available tax increment and will not constitute debt of the Village. To the extent incremental revenues are less than projected, the full amount of the development incentive may not ultimately be paid. Further details will be negotiated in a development agreement between the Village and Developer and the parameters included in this Project Plan are for establishing economic feasibility only.

The Village may finance a portion of the Project Costs through the issuance of tax-exempt General Obligation Bonds with debt service to be paid from the tax increment generated by the District. Cost of issuance will be paid from bond proceeds, and any interest due prior to availability of tax increment may be capitalized. The Village intends to only finance Project Costs that the incremental collections of the District will support and has identified a list of contingent projects should incremental collections exceed those modelled in this Plan. The cash flow exhibit included in this Project Plan (**Table 3**) only includes the cash funding of the Village portion of the priority project costs.

Based on the Project Cost expenditures as included within the cash flow exhibit (**Table 3**), the District is projected to accumulate sufficient funds by the year 2044 to pay off all Project Cost liabilities and obligations. The projected closure is based on the various assumptions noted in this Plan and will vary dependent on actual Project Costs incurred and the actual amount of tax increments collected.

Table 3 - Cash Flow

Year	Projected Revenues		Projected Expenditures				Balances			Year
	Tax Increments	Total Revenues	MRO #1 2024 Bear ¹ \$30,956,843	Capital Projects ²	Ongoing Planning & Administration	Total Expenditures	Annual	Cumulative	Liabilities Outstanding	
2024		0			30,000	30,000	(30,000)	(30,000)	30,956,843	2024
2025		0			10,000	10,000	(10,000)	(40,000)	30,956,843	2025
2026	21,183	21,183	0		10,200	10,200	10,983	(29,017)	30,956,843	2026
2027	132,719	132,719	85,030		10,500	95,530	37,189	8,172	30,871,812	2027
2028	405,720	405,720	322,615		10,800	333,415	72,305	80,477	30,549,198	2028
2029	684,903	684,903	565,201		11,100	576,301	108,602	189,079	29,983,997	2029
2030	1,053,455	1,053,455	915,326		11,400	926,726	126,730	315,809	29,068,671	2030
2031	1,299,157	1,299,157	1,148,742	375,000	11,700	1,535,442	(236,285)	79,524	27,919,929	2031
2032	1,667,709	1,667,709	1,498,866		12,000	1,510,866	156,843	236,366	26,421,063	2032
2033	2,018,711	2,018,711	1,832,318		12,300	1,844,618	174,093	410,459	24,588,745	2033
2034	2,246,862	2,246,862	2,049,062		12,600	2,061,662	185,200	595,659	22,539,682	2034
2035	2,246,862	2,246,862	2,049,062		12,900	2,061,962	184,900	780,559	20,490,620	2035
2036	2,246,862	2,246,862	2,049,062		13,200	2,062,262	184,600	965,159	18,441,558	2036
2037	2,246,862	2,246,862	2,049,062		13,500	2,062,562	184,300	1,149,460	16,392,496	2037
2038	2,246,862	2,246,862	2,049,062		13,800	2,062,862	184,000	1,333,460	14,343,434	2038
2039	2,246,862	2,246,862	2,049,062		14,100	2,063,162	183,700	1,517,160	12,294,372	2039
2040	2,246,862	2,246,862	2,049,062		14,400	2,063,462	183,400	1,700,560	10,245,310	2040
2041	2,246,862	2,246,862	2,049,062		14,700	2,063,762	183,100	1,883,660	8,196,248	2041
2042	2,246,862	2,246,862	2,049,062		15,000	2,064,062	182,800	2,066,460	6,147,186	2042
2043	2,246,862	2,246,862	2,049,062		15,300	2,064,362	182,500	2,248,961	4,098,124	2043
2044	2,246,862	2,246,862	2,049,062		15,700	2,064,762	182,100	2,431,061	2,049,062	2044
2045	2,246,862	2,246,862	2,049,062		16,100	2,065,162	181,700	2,612,761	0	2045
Totals (2024 - 2045)	34,245,903	34,245,903	30,956,843	375,000	301,300	31,633,143				Totals (2024 - 2045)

Notes:

1) Assumes 95% of the Developer Project tax increment revenues are available for reimbursement. The amount of any incentive to be provided will be established in applicable development agreements and may vary from the estimates.

2) Assumes the Village cash funds the \$375,000 for the Bike Path - Crawford to 5 Mile project.

PROJECTED CLOSURE YEAR

LEGEND:

CALLABLE MATURITIES

END OF EXP. PERIOD

SECTION 10:

Annexed Property

A tax incremental district cannot include annexed territory unless at least three years have elapsed since the annexation, or certain other requirements are met. None of the property within the proposed District boundary was annexed during the past three years.

SECTION 11:

Estimate of Property to Be Devoted to Retail Business

Pursuant to Wis. Stat. § 66.1105(5)(b), the Village estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period.

SECTION 12:

Proposed Changes of Zoning Ordinances, Master Plan, Map, Building Codes and Village Ordinances

Zoning Ordinances

The proposed Plan is in general conformance with the Village's current zoning ordinances. Individual properties may require rezoning at the time of development.

Master (Comprehensive) Plan and Map

The proposed Plan is in general conformance with the Village's Comprehensive Plan identifying the area as appropriate for low to high density residential, mixed-use, commercial, and industrial development.

Building Codes and Ordinances

Development within the District will be required to conform to State Building Codes and will be subject to the Village's permitting and inspection procedures. The proposed Plan conforms to all relevant State and local ordinances, plans, and codes. No changes to the existing regulations are proposed or needed.

SECTION 13:

Statement of the Proposed Method for the Relocation of any Persons to be Displaced

Should implementation of this Plan require relocation of individuals or business operations, relocations will be handled in compliance with Wis. Stat. Chapter 32 and Wis. Admin. Code ADM 92.

SECTION 14:

How Creation of the Tax Incremental District Promotes the Orderly Development of the Village

Creation of the District and the implementation of the projects in its Plan will promote the orderly development of the Village by creating opportunities for mixed use development, providing necessary public infrastructure improvements, and providing appropriate financial incentives for private development projects. Through use of tax increment financing, the Village can attract new investment that results in increased tax base. Development will occur in an orderly fashion in accordance with approved plans so that the Projects will be compatible with adjacent land uses. Development of new uses in the District will add to the tax base and will generate positive secondary impacts in the community such as the creation of needed housing units, provision of necessary public infrastructure, opportunities for development of commercial property to include reinvestment in existing commercial properties along the Douglas Avenue corridor, and other general economic activity related to the construction and operation of the Project.

SECTION 15:

List of Estimated Non-Project Costs

Non-project costs are public works projects which only partly benefit the District. Costs incurred that do not benefit the District may not be paid with tax increments. Examples of non-project costs are:

- A public improvement made within the District that also benefits property outside the District. That portion of the total Project Costs allocable to properties outside of the District would be a non-project cost.
- A public improvement made outside the District that only partially benefits property within the District. That portion of the total Project Costs allocable to properties outside of the District would be a non-project cost.
- Projects undertaken within the District as part of the implementation of this Project Plan, the costs of which are paid fully or in part by impact fees, grants, special assessments, or revenues other than tax increments.

No improvements to be made within the District will benefit property outside the District. Furthermore, there will be no improvements made outside the District that will only partially benefit the District.

SECTION 16:
Legal Opinion Advising Whether the Plan is Complete
and Complies with Wis. Stat. § 66.1105(4)(f)

Legal Opinion Found on Following Page.

DRAFT

Insert Signed Legal Opinion

SAMPLE

Village President
Village of Caledonia
5043 Chester Lane
Racine, Wisconsin 53402

RE: Project Plan for Tax Incremental District No. 6

Dear Village President :

Wisconsin Statute 66.1105(4)(f) requires that a project plan for a tax incremental financing district include an opinion provided by the Village Attorney advising as to whether the plan is complete and complies with Wisconsin Statute 66.1105.

As Village Attorney for the Village of Caledonia, I have been asked to review the above-referenced project plan for compliance with the applicable statutory requirements. Based upon my review, in my opinion, the Project Plan for the Village of Caledonia Tax Incremental District No. 6 is complete and complies with the provisions of Wisconsin Statute 66.1105.

Sincerely,

Village Attorney

SECTION 17:

Calculation of the Share of Projected Tax Increments Estimated to be Paid by the Owners of Property in the Overlying Taxing Jurisdictions

The following projection is provided to meet the requirements of Wis. Stat. § 66.1105(4)(i)4. Allocation of future tax increments is based on the projections included in this Plan and assumes the same proportions as the actual breakdown of tax collections for the 2023/24 levy year.

Revenue Year	Racine County	Village of Caledonia	School District of Racine	Gateway Technical College	Total	Revenue Year
2026	3,563	6,982	9,923	714	21,183	2026
2027	22,325	43,747	62,174	4,473	132,719	2027
2028	68,248	133,733	190,064	13,675	405,720	2028
2029	115,211	225,757	320,851	23,085	684,903	2029
2030	177,206	347,239	493,503	35,507	1,053,455	2030
2031	218,537	428,226	608,605	43,788	1,299,157	2031
2032	280,533	549,708	781,258	56,211	1,667,709	2032
2033	339,576	665,405	945,689	68,041	2,018,711	2033
2034	377,955	740,608	1,052,569	75,731	2,246,862	2034
2035	377,955	740,608	1,052,569	75,731	2,246,862	2035
2036	377,955	740,608	1,052,569	75,731	2,246,862	2036
2037	377,955	740,608	1,052,569	75,731	2,246,862	2037
2038	377,955	740,608	1,052,569	75,731	2,246,862	2038
2039	377,955	740,608	1,052,569	75,731	2,246,862	2039
2040	377,955	740,608	1,052,569	75,731	2,246,862	2040
2041	377,955	740,608	1,052,569	75,731	2,246,862	2041
2042	377,955	740,608	1,052,569	75,731	2,246,862	2042
2043	377,955	740,608	1,052,569	75,731	2,246,862	2043
2044	377,955	740,608	1,052,569	75,731	2,246,862	2044
2045	377,955	740,608	1,052,569	75,731	2,246,862	2045
Totals	5,760,654	11,288,089	16,042,892	1,154,269	34,245,903	



Meeting Date: March 25, 2024

Item No. **6A**

PLAN COMMISSION REPORT

Proposal: Building, Site & Operations Plan Review

Description: Review a request to approve a site plan for a ±109,636 square-foot addition to the existing building located at 12725 4 Mile Road.

Applicant(s): Judy Teale

Address(es): 12725 4 Mile Road

Suggested Motion: That the Plan Commission recommends to the Village Board that the building, site, and operational plan for the construction of a ±109,636 square-foot addition to the existing building located at 12725 4 Mile Road be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. The proposed use is consistent with the conditional use permit approved in 2018.
3. The proposed use is consistent with the existing use on the property.

Owner(s): Central Storage & Warehouse, LLC

Tax Key(s): 104-04-22-30-015-201

Lot Size(s): 21.59 acres

Current Zoning District(s): M-3, Heavy Industrial District

Overlay District(s): N/A

Wetlands: ☒ Yes ☐ No Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Industrial/Business Park

Background: In 2018, the Village granted a conditional use and approved the construction of a ±115,229 refrigerated warehouse building with loading docks. The Village has since approved the following additions: ±51,750 square feet in 2020 (never constructed), ±54,405 square feet in 2022, and ±42,300 square feet in 2023. The applicant is requesting approval of a building, site, and operation plan for the construction of a ±109,636 square-foot addition to the existing building to accommodate their growth in the refrigerated warehouse industry and 26 employees. The addition includes ±78,521 square feet of refrigerated food warehouse space, ±12,715 square feet of additional loading dock space, ±7,337 square feet of office space, and an ±11,063 square foot associated warehouse equipment support area. Additional details regarding the use of the proposed space is noted in the applicant's narrative.

The addition is to the south elevation of the existing building. The height of the addition will be 56 feet to the top of ridge, with a penthouse structure housing refrigeration equipment with an elevation of 66.25 feet. The height of the existing building is 43.83 feet in height. There will be 13 new semi-trailer loading docks on the east side of the building facing Smerchek Lane.

Zoning & Land Use: The proposed addition meets the intent and regulations (setbacks and height) of the M-3, Heavy Manufacturing District and the conditions of the conditional use permit granted in 2018. The land use is consistent with the Village's comprehensive plan.

Environmental: The northeast portion of the site contains a ±14,600 square foot area of wetlands (delineated 12/21/2022). The applicant proposes to fill and pave the area to site the new loading dock access area and parking lot. A Non-Federal Wetland Exemption has been submitted to the Wisconsin Department of Natural Resources for review and approval. A wetland permit will be required from the WDNR prior to any permits being issued by the Village. The greenspace on the site will total 26.19 percent.

Design: The addition will use similar exterior materials and colors used on the existing building, which are primarily insulated metal panels. The office addition will have exterior materials consisting of a brick beltline with metal architectural panels and glass that match the existing building materials and the materials used for the office space located on the west side of the building. As was required in the original conditions of approval, all mechanicals should be screened from public view.

Landscaping: The applicant is proposing to add street-edge landscaping to the site that will screen the proposed parking lot and 13 loading docks on the east side of the building facing Smerchek Lane. This includes shrubs located between Smerchek Lane and the proposed parking lot, along with a 2" caliber tree south of the entrance of the proposed access driveway from Smerchek Lane. Three 2' caliber trees are proposed in the parking lot landscape islands. Per the conditions of approval of the first phase of this development, trees must have a minimum height of seven feet. The proposed landscape plan meets Village requirements. The Plan Commission has the discretion to request additional landscaping around the addition or elsewhere on the site.

Parking: The current parking lot consists of 23 spaces. The applicant proposes the addition of a parking lot east of the loading dock area with 30 (10' x 18') spaces and 9 (9' x 20') spaces (2 of which are handicap spaces) are across from the office space. Per code, the minimum number of parking stalls for warehouse use is one stall for every two employees on a twelve-hour shift. The proposed dimension and number of parking spaces meets the Village requirements. Concrete and heavy-duty asphalt will be used for the paved areas on the site and will include curb and gutter as required as part of the conditional use permit approved in 2018.

Lighting: All lighting at the site must be full cut-off and may not glare onto the abutting properties or onto any public roadway. The Applicant provided a photometric plan showing the foot-candle extent of exterior

lighting. The plan illustrates that there will be no more than 0.1-foot candles at the property line. The proposed lighting meets Village guidelines.

Engineering: The existing public utility easement containing public watermain and storm sewer shall be modified according to the final Village approved plans. The modified Public Utility Easement documents shall be approved by Village Staff prior to recording. All public utility modifications will require as-built records to be provided to the Village for review and approval. Applicant to work with the Village of Caledonia Engineering Department and comply with all regulations and requirements.

Access: The applicant is proposing a new access driveway off Smerchek Lane with a 30-foot driveway to access the addition, including the 13 new semi-trailer loading docks, office space and associated parking. Daily traffic is estimated to be 26 cars and 40 trucks (20 inbound & 20 outbound) between the hours of 7:00 am and 6:00 pm (operations may expand to 24/7 at some point in the future).

Signage: No additional signage is proposed.

Fire Department: The Fire Department indicated no concerns regarding the proposed site plan; however, they will work with the applicant to ensure compliance with sprinkling requirements for this building type.


If the Plan Commission is comfortable with the proposed addition, staff has drafted a suggested motion recommending approval of the 109,636 square-foot addition located at 12725 4 Mile Road.

Prepared by:



Todd Roehl
Planner/Zoning Administrator

Respectfully submitted:



Peter Wagner, AICP
Development Director





March 19, 2024

Peter Wagner
Village of Caledonia
Development Director

Subject: Central Storage and Warehouse Phase 3.5 located at 12725 4 Mile Road, Caledonia, Wisconsin.

Dear Mr. Wagner,

CSW continues to experience solid growth in the refrigerated warehouse industry. This growth is causing the need for another addition at their Caledonia location.

Owner Contact: Hill Hamrick – CO-CEO; cell 704.562.1762
Sam Krieg-Co-CEO; Cell 262.302.0673
4309 Cottage Grove Road, Madison WI. 53716
hhamrick@csw-wi.com
skrieg@csw-wi.com

Agent: Curtis W. Schroeder -Architect
Consolidated Construction CO.
4300 N. Richmond Street
Appleton, WI 54313
Cell: 920.850.3640
Email: cschroeder@1call2build.com

Petitioner: Curtis W. Schroeder -Architect
Consolidated Construction CO.
4300 N. Richmond Street
Appleton, WI 54313
Cell: 920.850.3640
Email: cschroeder@1call2build.com

Mark Seidl, PE, Civil Engineer
Pinnacle Engineering Group
20725 Watertown Road Suite 100
Brookfield, WI 53186
Phone: 262.754.8792
Email: mseidl@pinnacle-engr.com



The outside footprint area of this addition totals 109,636 square feet footprint. It includes the following:

- 78,521 square feet of refrigerated (0 to -10 degrees) food warehouse.
- Thirteen (13) new semi-trailer dock positions are included in 12,715 square feet of additional loading dock space.
- 7,337 square feet of office space. This area includes eight (8) offices with supplementary open office space for additional workstations, a dispatch reception for truckers off of a dedicated trucker's entrance, (3) single use toilet rooms, (1) main conference room, (1) storage room, (1) I.T. server room, (1) Janitor's closet, and an employee break area that is complete with men and women multi-stall restrooms, a changing area with lockers and a dedicated employee entrance
- West of the office portion, the addition also contains one (1) shop office, a forklift maintenance area with dedicated battery charging space, an engine room that house the major refrigeration equipment, an electrical room, a dedicated room for housing the fire protection equipment, and a forklift aisle accessing all 11,063 square feet of this associated warehouse equipment support area.
- The un-occupied penthouses are located on the roof houses refrigeration equipment that serves the warehouse.
-

Existing and proposed zoning district: **M3 Heavy Industrial.**

Existing and proposed Land Use: **Industrial / Manufacturing.**

Total Site: 21.61 acres

Total Greenspace: 5.66 acres (26.19%)

Total Building: 7.24 acres (33.50%)

Land Use as depicted on the Comprehensive Plan: **Industrial / Manufacturing.**

Description of existing environmental features. Delineated wetland to the west property line on adjacent parcel. A small, delineated wetland in the proposed development footprint that is being permitted for impact. As of the Plan Commission submittal, Army Corp of Engineers has waived jurisdiction of the wetland and thus a Non Federal Wetland Exemption has been submitted to the WDNR for review and approval. Approval will be passed on once received.

Number of employees located in proposed addition: (6) office and (20) located in the warehouse.

Daily traffic: Cars (26). Trucks (20) inbound, (20) outbound = 40 trucks.



Hours of Operation:

CSW intends to initially operate between the hours of 7 a.m. and 6 p.m., Monday – Friday, but may expand to full 24/7 operations at some point in the future based on customer demand.

Building materials:

The proposed office materials will match the existing office that consists of brick, architectural aluminum composite wall panel, 7.2 horizontal wall panel, 7/8" horizontal corrugated panel, aluminum wood grain long board siding and aluminum storefront glazing.

The proposed warehouse materials will match the existing warehouse that consists of white and light grey insulated metal panel.

No fencing is proposed with this submittal.

A 145,000 +/- future expansion is shown on the civil drawings. The exact size of the future development is not know at this time.

Respectfully Submitted,


Curtis W. Schroeder, AIA, NCARB



NOTE: PICTURE OF EXISTING CSW LOADING DOCK AND OFFICE BUILDING FOR REFERENCE ONLY.



NOTE: THIS RENDERING OF THE PROPOSED ADDITION FOR CSW IS FOR ILLUSTRATIVE PURPOSES ONLY. IT IS AN ARTISTIC REPRESENTATION AND MAY NOT INDICATE EACH INCIDENTAL ITEM NECESSARY TO COMPLETE THE WORK.



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Bismarck, ND
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STAMPS

PROPOSED ADDITION FOR:

CSW - CALEDONIA (PHASE 3.5)

CALEDONIA, WISCONSIN

ISSUED FOR REVIEW:

03/11/2024

ISSUED FOR BID:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

ISSUED REVISIONS

Revision	Date	Rev. Description
----------	------	------------------

DRAWN BY:

jet

PROJECT #:

0166019

A900

SHEET TITLE
PHOTO OF EXISTING
AND 3D VIEW OF NEW
ADDITION

INITIAL SHEET DESIGNED AS 30x42 LAYOUT, ANY OTHER REPRODUCED SIZE IS NOT TO SCALE

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

REVIEWED: TOM

DESIGNED: AHN

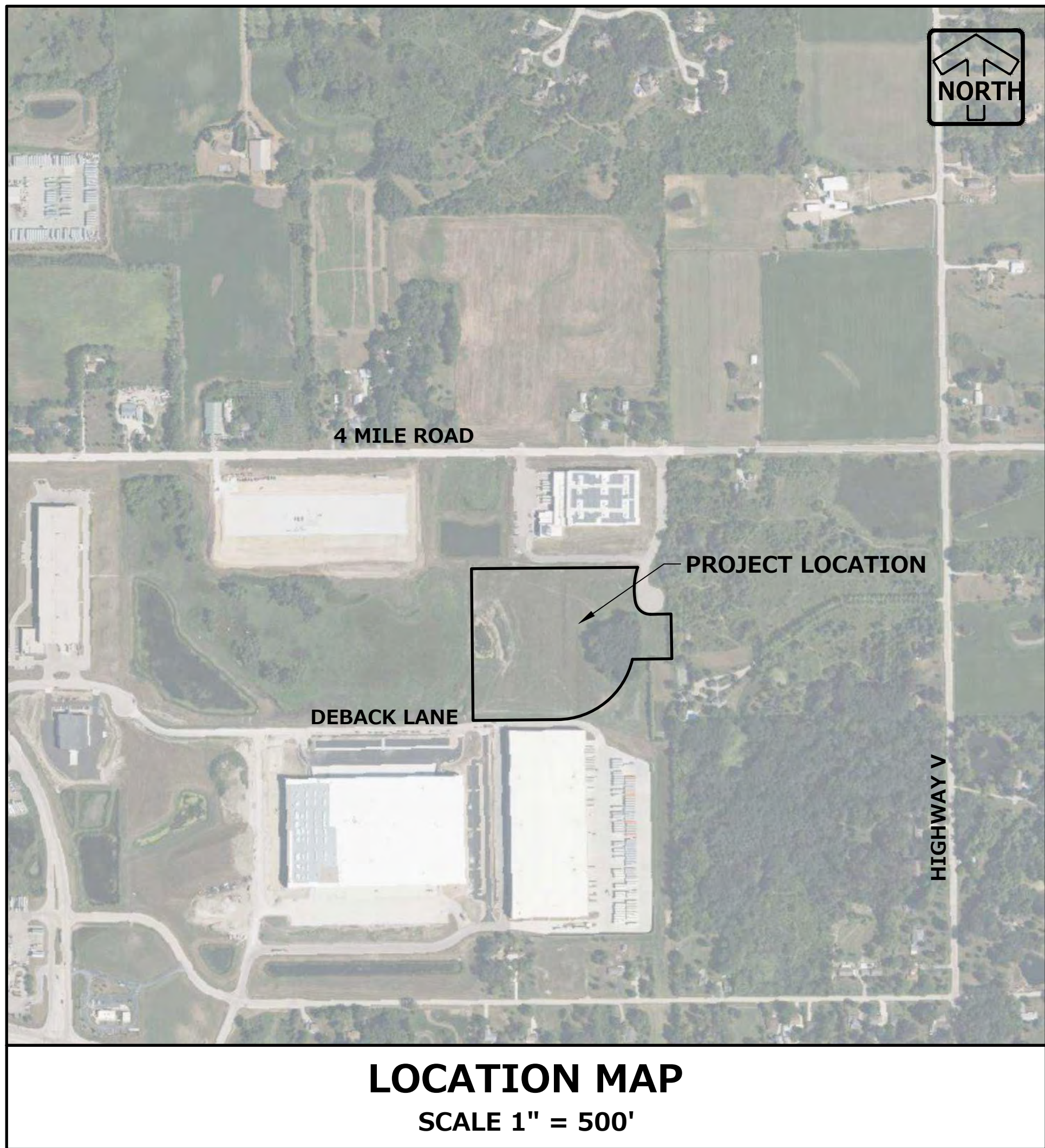
DRAFTED: AHN

ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS
FOR

CSW EXPANSION PHASE 3.5

CALEDONIA, WI 53126

PLANS PREPARED FOR
CENTRAL STORAGE & WAREHOUSE, LLC
4309 COTTAGE GROVE RD
MADISON, WI 53716



LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
CATCH BASIN	○	●
INLET	□	■
PRECAST FLARED END SECTION	△	▲
CONCRETE HEADWALL	∧	∧
VALVE VAULT	⊗	⊗
VALVE BOX	⊞	⊞
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊞	⊞
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
WATER MAIN	—	—
UTILITY CROSSING	—	—
GRANULAR TRENCH BACKFILL	—	—
LIGHTING	—	—
ELECTRICAL CABLE	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	—	—
POWER POLE	—	—
POWER POLE WITH LIGHT	—	—
GUY WIRE	—	—
STREET SIGN	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	749	749
SPOT ELEVATION	× (750.00)	× (750.00)
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
DIVERSION SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
TREE WITH TRUNK SIZE	—	—
SOIL BORING	—	—
TOPSOIL PROBE	—	—
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—
PROPERTY LINE	—	—

ABBREVIATIONS

BL	BASE LINE	NSI	NATIVE SOIL INTERFACE
C	LONG CHORD OF CURVE	NWL	NORMAL WATER LEVEL
C & G	CURB AND GUTTER	PC	POINT OF CURVATURE
CB	CATCH BASIN	PT	POINT OF TANGENCY
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
D	DEGREE OF CURVE	R	RADIUS
EP	EDGE OF PAVEMENT	ROW	RIGHT-OF-WAY
FF	FINISHED FLOOR	SAN	SANITARY SEWER
FG	FINISHED GRADE	ST	STORM SEWER
FL	FLOW LINE	T	TANGENCY OF CURVE
FP	FLOODPLAIN	TB	TOP OF BANK
FR	FRAME	TC	TOP OF CURB
FW	FLOODWAY	TF	TOP OF FOUNDATION
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE

BENCHMARKS



REFERENCE BENCHMARK

CONCRETE MONUMENT WITH BRASS CAP AT THE NORTH CORNER SECTION 30, TOWN 4N, RANGE 22E (WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE)
ELEVATION = 782.82 (NAD27)

GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- A GEOTECHNICAL REPORT FOR THIS SITE HAS NOT BEEN PREPARED. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT, OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE VILLAGE, VILLAGE ENGINEER, VILLAGE BUILDING INSPECTOR, OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING MUST BE HELD AT THE VILLAGE OFFICES. THE PRECONSTRUCTION MEETING SHALL BE SCHEDULED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.

INDEX OF SHEETS

C-1	COVER SHEET
C-2	GENERAL NOTES
C-3	EXISTING CONDITIONS & DEMO PLAN
C-4	SITE DIMENSIONAL & PAVING PLAN
C-5	GRADING PLAN
C-6	EROSION CONTROL PLAN
C-7	STORM SEWER PLAN
C-8	PUBLIC STORM SEWER PLAN & PROFILE
C-9	SANITARY & WATERMAIN PLAN
C-10	PUBLIC WATERMAIN PLAN & PROFILE
C-11	CONSTRUCTION DETAILS
C-12	CONSTRUCTION DETAILS
C-13	CONSTRUCTION DETAILS
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE GENERAL NOTES & DETAILS

REQUIRED SUBMITTALS FOR APPROVAL

- ASPHALT PAVEMENTS
- CONCRETE PAVEMENTS (EXTERIOR)
- STONE BASE COURSE
- TRENCH BACKFILL
- PIPE BEDDING
- TIE BARS
- DOWEL BARS
- DOWEL BAR BASKETS

REQUIRED SUBMITTALS FOR RECORDS

- WATER MAIN PIPE FITTINGS
- SANITARY SEWER
- STORM SEWER
- SUBGRADE STABILIZATION (IF APPLICABLE)

PROJECT TEAM CONTACTS

CIVIL ENGINEER: MARK SEIDL, P.E., PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888 mseidl@pinnacle-engr.com	ARCHITECT: CURTIS SCHROEDER, AIA, NCARB CONSOLIDATED CONSTRUCTION CO. INC 4300 N. RICHMOND STREET APPLETON, WI 54913 (920) 882-2518 cschroeder@1call2build.com
TODD MUELLER, P.E., PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888 Todd.Mueller@pinnacle-engr.com	APPLICANT: CURTIS SCHROEDER, AIA, NCARB CONSOLIDATED CONSTRUCTION CO. INC 4300 N. RICHMOND STREET APPLETON, WI 54913 (920) 882-2518 cschroeder@1call2build.com
SURVEYOR: JOHN KONOPACKI, P.L.S. PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888 John.Konopacki@pinnacle-engr.com	



Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

EXPIRATION DATE: JULY 31, 2024

PINNACLE ENGINEERING GROUP, LLC
ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

CSW EXPANSION PHASE 3.5

12725 4 MILE ROAD
CALEDONIA, WI 53126

COVER SHEET

REVISIONS

1	PRICING SET	01/11/24	—	—	—
2	BSO SUBMITTAL #1	03/11/24	—	—	—
—	—	—	—	—	—
—	—	—	—	—	—

REVISIONS

REG. NO.	5294.00
REG. DATE	01/11/24
SCALE	NTS

SHEET

C-1
OF
C-11



PINNACLE ENGINEERING GROUP

ENGINEERING | NATURAL RESOURCES | SURVEYING

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

WISCONSIN OFFICE:
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

GRADING NOTES

EROSION & SEDIMENT CONTROL NOTES

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ANY INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND ELEVATION OF ADJACENT UTILITIES ARE TO BE USED FOR PROPOSED UTILITY CONNECTIONS AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
3. UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE CALEDONIA UTILITY DISTRICT STANDARD SPECIFICATIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES SP5 382.
4. LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
5. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
6. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR INTERFERENCE PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
7. ALL NEW ON-SITE SANITARY AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
8. THE CONTRACTOR SHALL CONTACT THE CALEDONIA UTILITY DISTRICT 48-HOURS IN ADVANCE OF SANITARY AND WATER CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
9. ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNERS. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
11. FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
13. STORM SEWER SPECIFICATIONS -
- ALL STORM SEWER SHALL BE INSTALLED PER CALEDONIA UTILITY DISTRICT SPECIFICATIONS.
- PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
- | HEIGHT OF COVER (FEET): | 0-2 | 2-3 | 3-6 | 6-15 | 15-25 | 25+ |
|---------------------------------------|-----|-----|-----|------|-------|----------|
| MINIMUM CONCRETE PIPE CLASSIFICATION: | IV | III | II | III | IV | ENGINEER |
| TO SPECIFY | | | | | | |
- HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS. IT SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION N-294 TYPE 15, OR POLYVINYL CHLORIDE (PVC) - CLASS 546 MEETING AASHTO M278. AS NOTED, IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
- INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
- BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEFORE THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPE AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
- MANHOLE FRAMES AND COVERS - SEE STANDARD DETAILS ON SHEET C-20 FOR SPECIFICATIONS ON STORM SEWER FRAMES AND GRATES/COVERS.
- IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
14. THE EXISTING STORM SEWER AND UNDERDRAIN SYSTEMS SHALL BE FLAGGED SO THAT THEY ARE NOT DISTURBED DURING CONSTRUCTION.
15. WATER MAIN SPECIFICATIONS -

1. CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING THAT THE APPROPRIATE GOVERNMENTAL ENTITIES ARE NOTIFIED OF THE WORK AND NECESSARY PERMITS ARE OBTAINED.
2. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ITEMS/DEBRIS, CLASSIFICATION, AND PROPER DISPOSAL (E.G. - ARRANGE FOR ADEQUATE COLLECTION, AND TRANSPORTATION TO DELIVER THE RECOVERED MATERIALS TO THE APPROVED RECYCLING CENTER OR PROCESSING FACILITY). CONTRACTOR SHALL MAINTAIN RECORDS ACCESSIBLE TO THE OWNER AND GOVERNMENT ENTITIES.
3. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS IN MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
4. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES DESIGNATED TO REMAIN.
5. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED FOR SAFETY AND SECURITY.
6. PROVIDE BARRIERS AND APPROPRIATE SIGNS WHERE NECESSARY TO RESTRICT PEDESTRIANS FROM WANDERING INTO CONSTRUCTION AREAS. PROVIDE ACCEPTABLE TEMPORARY SECURITY BARRIERS WHERE PHYSICAL SECURITY OF BUILDINGS OR FENCES IS COMPROMISED DUE TO DEMOLITION WORK.
7. PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS OF EXISTING BUILDING.
8. ERECT TEMPORARY ENCLOSURES AS NECESSARY TO LIMIT DUST. USE WATER AS NECESSARY TO LAY DUST WHEN CHIPPING, CORING, OR SAWING CONCRETE, MASONRY OR SIMILAR MATERIALS. WATER MUST BE CONTROLLED INSIDE BUILDINGS BY DAMMING, OR OTHER CONTAINMENT METHOD.
9. PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURES AND ADJACENT FACILITIES THAT ARE NOT PART OF DEMOLITION.
10. PERFORM WORK IN SAFE AND SYSTEMATIC MANNER.
11. WEAR PROPER PERSONAL PROTECTIVE EQUIPMENT AT ALL TIMES.
12. COMPLETELY BACKFILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM UTILITY REMOVAL AND OTHER DEMOLITION WORK WITH CLOSE GRADED AGGREGATE OR COHESIVE STRUCTURAL FILL.
13. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED.

REVISIONS

PEG JOB No. 5294.00
 PEG PM TGM
 START DATE 01/11/24
 SCALE NTS

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LEGEND			
SANITARY MANHOLE		STORM SEWER	
STORM MANHOLE		WATER MAIN	
CATCH BASIN		LIGHTING	
INLET		ELECTRICAL CABLE	
PRECAST FLARED END SECTION		ELECTRICAL TRANSFORMER OR PEDESTAL	
CONCRETE HEADWALL		POWER POLE	
VALVE VAULT		POWER POLE WITH LIGHT	
VALVE BOX		GUY WIRE	
FIRE HYDRANT		STREET SIGN	
BUFFALO BOX		GAS MAIN	
CLEANOUT		TELEPHONE LINE	
SANITARY SEWER		CONTOUR	
FORCE MAIN		TREE	
CONCRETE SIDEWALK		EASEMENT LINE	

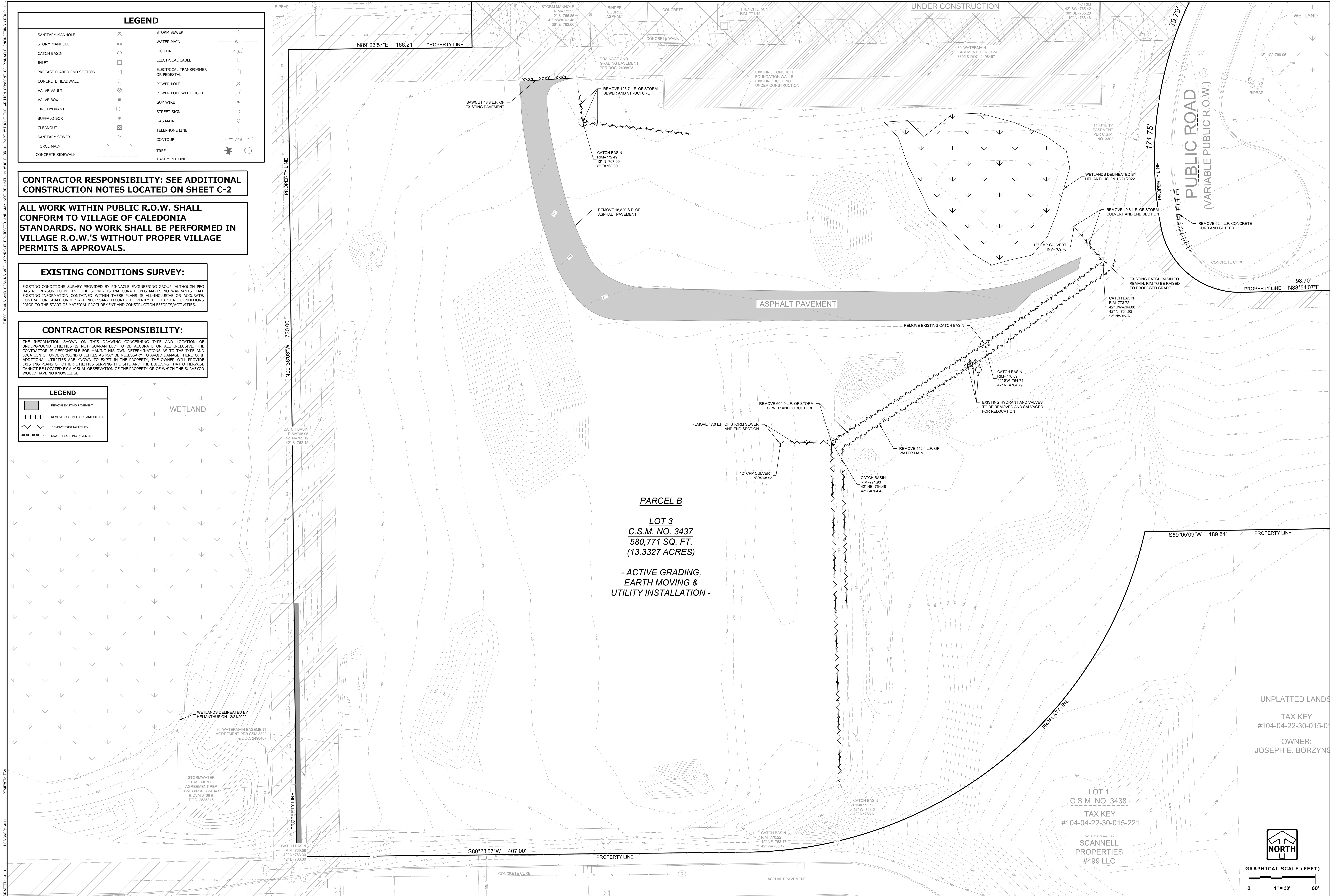
CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

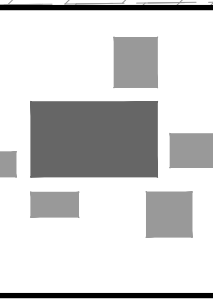
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EXISTING CONDITIONS SURVEY:
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CONTRACTOR RESPONSIBILITY:
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LEGEND	
	REMOVE EXISTING PAVEMENT
	REMOVE EXISTING CURB AND GUTTER
	REMOVE EXISTING UTILITY
	SAWCUT EXISTING PAVEMENT





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CALEDONIA, WI 53126

EXISTING CONDITIONS & DEMO PLAN

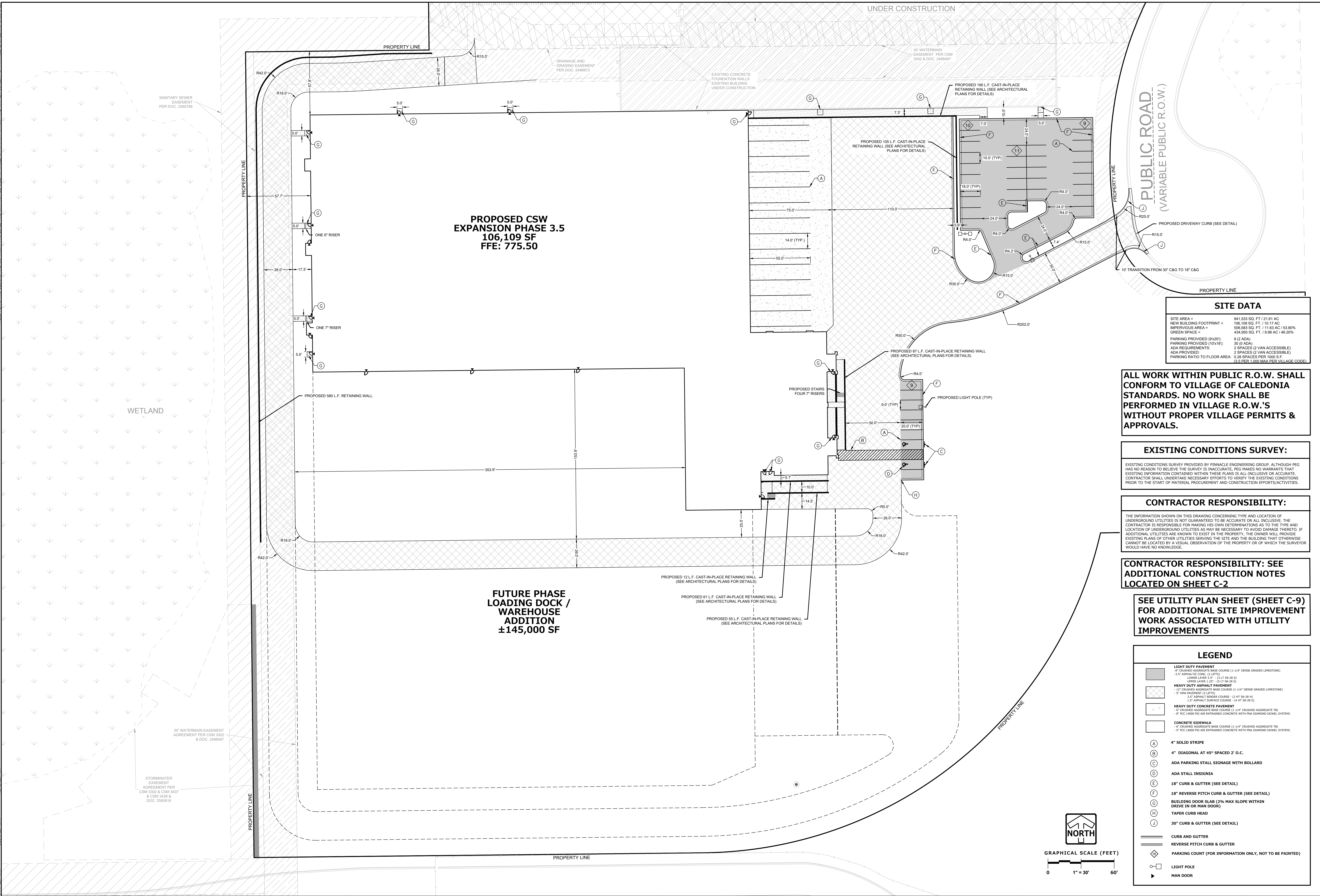
REVISIONS		SHEET
1	PRICING SET	
2	BSO SUBMITTAL #1	C-3
		C-11

PREC. DIB. NO. 5294.00
PREC. PM. TCM
START DATE 01/11/24
SCALE 1"=30'

DATE 03/11/24

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REVIEWED: TDM
DESIGNED: ATH
DRAFTED: ATH



SITE DATA		
SITE AREA =	941,533 SQ. FT. / 21.61 AC	
NEW BUILDING FOOTPRINT =	106,109 SQ. FT. / 10.17 AC	
IMPERVIOUS AREA =	506,583 SQ. FT. / 11.63 AC / 53.80%	
GREEN SPACE =	434,950 SQ. FT. / 9.98 AC / 46.20%	
PARKING PROVIDED (9'x20'):	9 (2 ADA)	
PARKING PROVIDED (10'x18'):	30 (0 ADA)	
ADA REQUIREMENTS:	2 SPACES (2 VAN ACCESSIBLE)	
ADA PROVIDED:	2 SPACES (2 VAN ACCESSIBLE)	
PARKING RATIO TO FLOOR AREA:	0.28 SPACES PER 1000 S.F.	
	(0.5 PER 1,000 MAX PER VILLAGE CODE)	

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CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

SEE UTILITY PLAN SHEET (SHEET C-9) FOR ADDITIONAL SITE IMPROVEMENT WORK ASSOCIATED WITH UTILITY IMPROVEMENTS

LEGEND	
	LIGHT DUTY PAVEMENT 1" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE) - 3/4" ASPHALTIC CONC. (2 LIFTS) LOWER LAYER: 1.25" (5 LT 58-28 S) UPPER LAYER: 1.25" (5 LT 58-28 S)
	HEAVY DUTY ASPHALT PAVEMENT 1 1/2" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE) - 5" HMA PAVEMENT (2 LIFTS) 1 1/2" ASPHALT BINDER COURSE (2 HT 58-28 H) 1 1/2" ASPHALT SURFACE COURSE (1-1/4" HT 58-28 S)
	HEAVY DUTY CONCRETE PAVEMENT - 8" CRUSHED AGGREGATE BASE COURSE (1-1/4" CRUSHED AGGREGATE TB) - 8" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH PMA DIAMOND DOWEL SYSTEM)
	CONCRETE SIDEWALK - 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" CRUSHED AGGREGATE TB) - 5" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH PMA DIAMOND DOWEL SYSTEM)
	4" SOLID STRIPE
	4" DIAGONAL AT 45° SPACED 2' O.C.
	ADA PARKING STALL SIGNAGE WITH BOLLARD
	ADA STALL INSIGNIA
	18" CURB & GUTTER (SEE DETAIL)
	18" REVERSE PITCH CURB & GUTTER (SEE DETAIL)
	BUILDING DOOR SLAB (2% MAX SLOPE WITHIN DRIVE IN OR MAN DOOR)
	TAPER CURB HEAD
	30" CURB & GUTTER (SEE DETAIL)
	CURB AND GUTTER
	REVERSE PITCH CURB & GUTTER
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	LIGHT POLE
	MAN DOOR

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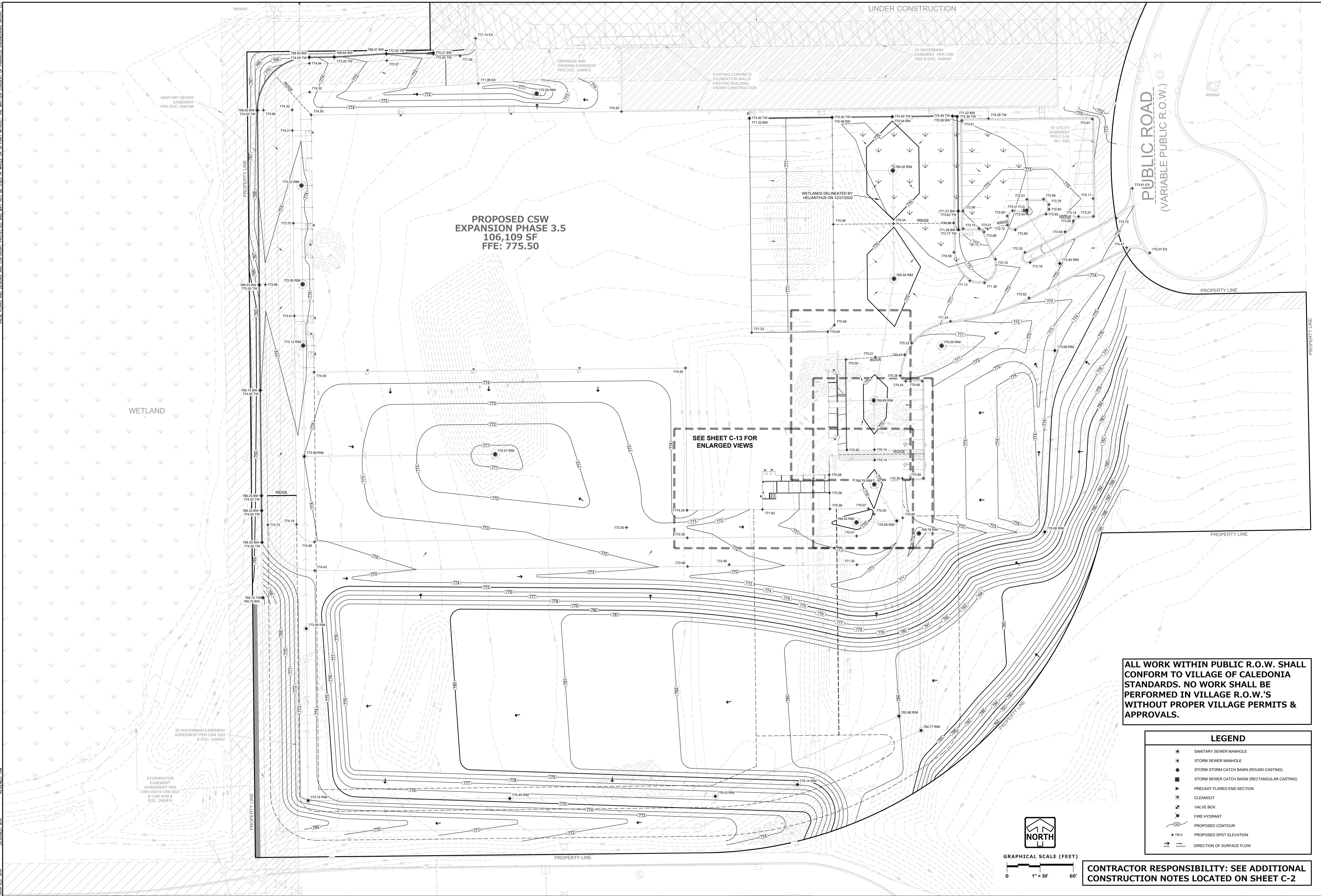
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SITE DIMENSIONAL & PAVING PLAN

REVISIONS		SHEET
1	PRICING SET	
2	BSO SUBMITTAL #1	C-4 of C-11
FIG. NO.	5294.00	
FIG. REV.	TDM	
START DATE	01/11/24	
SCALE	1"=30'	

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DESIGNED: ATH
DRAWN: ATH
REVIEWED: TDM



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LEGEND

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- ▢ PRECAST FLARED END SECTION
- ▢ CLEANOUT
- ▢ VALVE BOX
- FIRE HYDRANT
- PROPOSED CONTOUR
- + 750.0 PROPOSED SPOT ELEVATION
- DIRECTION OF SURFACE FLOW

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

CSW EXPANSION PHASE 3.5
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GRADING PLAN

REVISIONS

1	PRICING SET	01/11/24
2	BSO SUBMITTAL #1	03/11/24

REG. NO.	5294.00
REG. DATE	01/11/24
SCALE	1"=30'

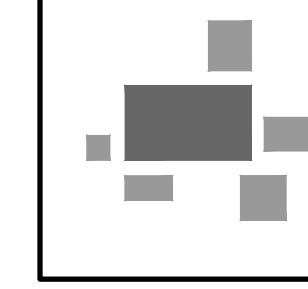
SHEET
C-5
C-11

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Z:\PROJECTS\2023\5294.00-W\CAD\SHEETS\5294.00 EROSION CONTROL PLAN.DWG

NOTE :
REMAINING DISTURBED AREAS OF
SLOPES 5:1 OR FLATTER TO BE
HYDROSEED


LEGEND




STORM SEWER MANHOLE




STORM SEWER INLET (ROUND CASTING)




STORM SEWER INLET (RECTANGULAR CASTING)




PRECAST FLARED END SECTION




PROPOSED CONTOUR




DIVERSION SWALE




DIVERSION DITCH




SILT FENCE




STRAW WATTLE DITCH CHECK




INLET PROTECTION



MEDIUM RIP RAP



CONSTRUCTION ENTRANCE



EROSION CONTROL BLANKET

CONSTRUCTION SITE SEQUENCING

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION, TEMPORARY CONSTRUCTION ENTRANCE AND ANY OTHER EROSION CONTROL MEASURES
2. DEMOLITION AND REMOVAL OF LANDSCAPING.
3. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
4. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAP/BASINS AS NEEDED. IF SEDIMENT BASINS (BIO RETENTION BASINS) ARE TO BE USED, BOTTOM OF BASIN SHALL BE LEFT A MINIMUM OF 1' ABOVE FINAL GRADE IN ORDER TO PRESERVE NATIVE SOIL INTERFACE. DO NOT EXCAVATE FINAL 1' UNTIL FINAL SITE STABILIZATION OCCURS.
5. CONSTRUCTION OF FOUNDATIONS AND BUILDING.
6. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
7. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
8. INSTALL TOPSOIL, AND LANDSCAPING. IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
9. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL
CONSTRUCTION NOTES LOCATED ON SHEET C-2**

CSW EXPANSION PHASE 3.5
12725 4 MILE ROAD
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EROSION CONTROL PLAN

1. PRICING SET

2. BSO SUBMITTAL #1

01/11/24

03/11/24

5294.00

5294.00

TDM

TDM

START DATE 01/11/24

SCALE 1"=50'

SHEET C-6

OF C-11

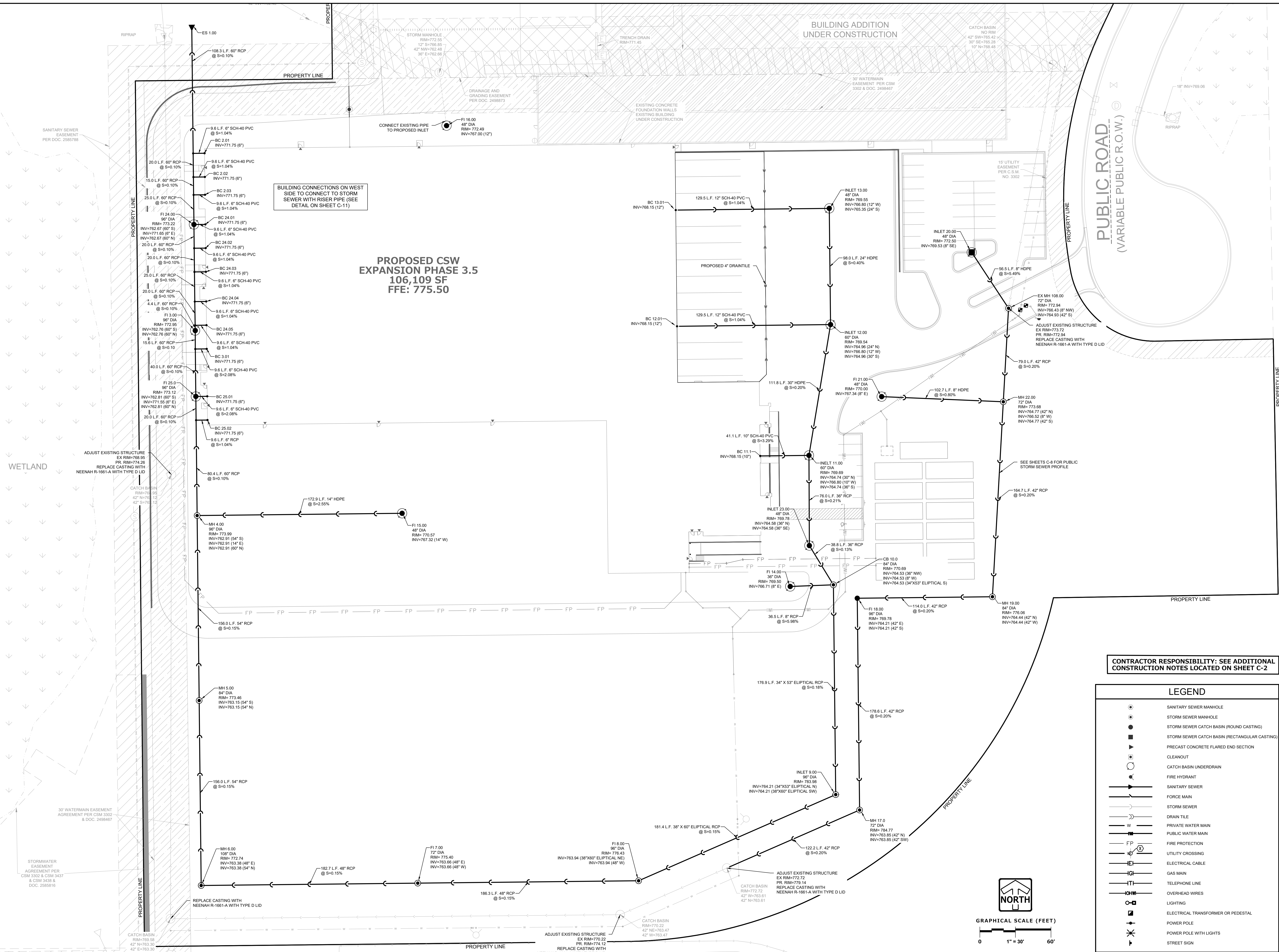
REVISIONS

20230607.002

EROSION CONTROL PLAN

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EROSION CONTROL PLAN

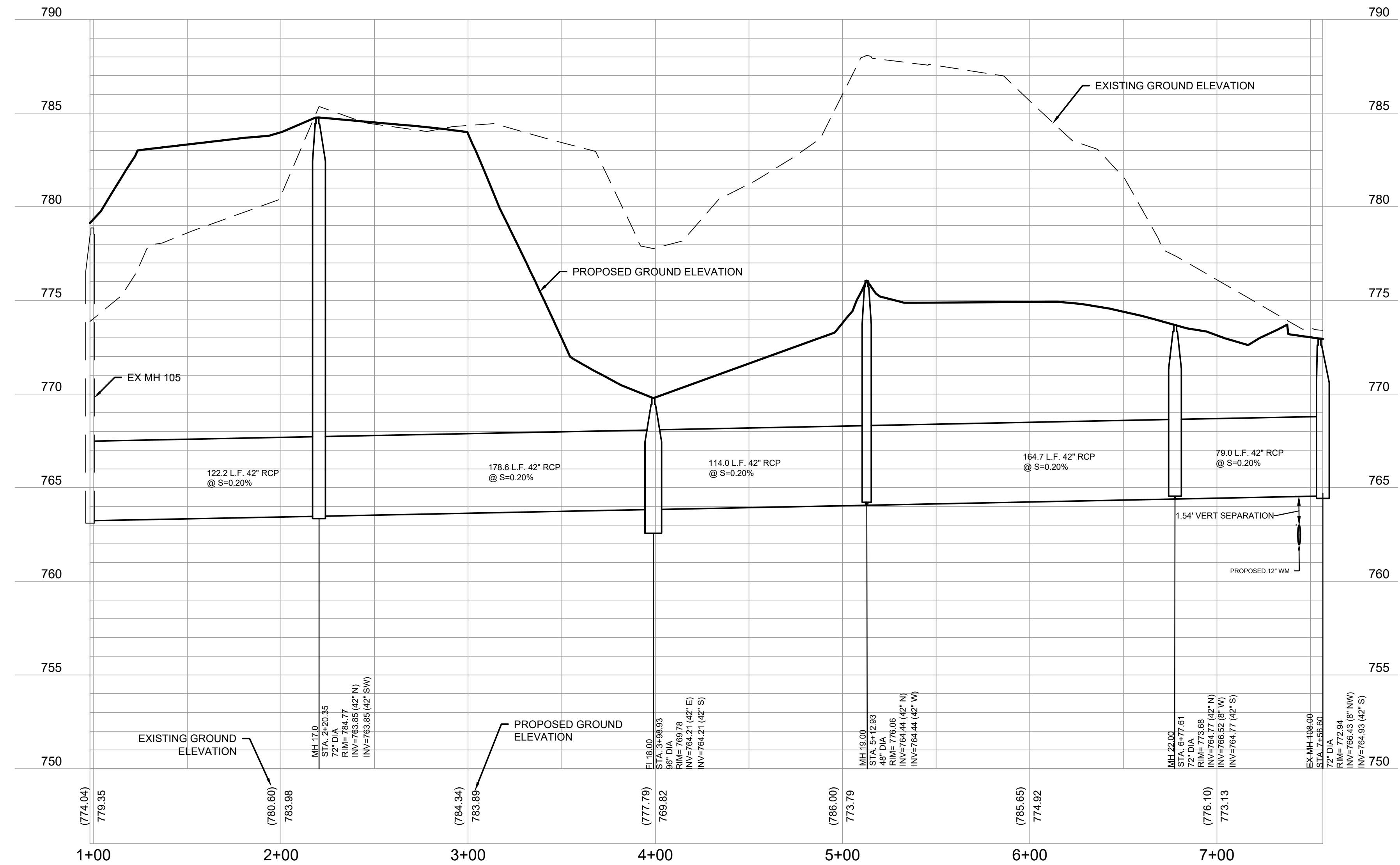
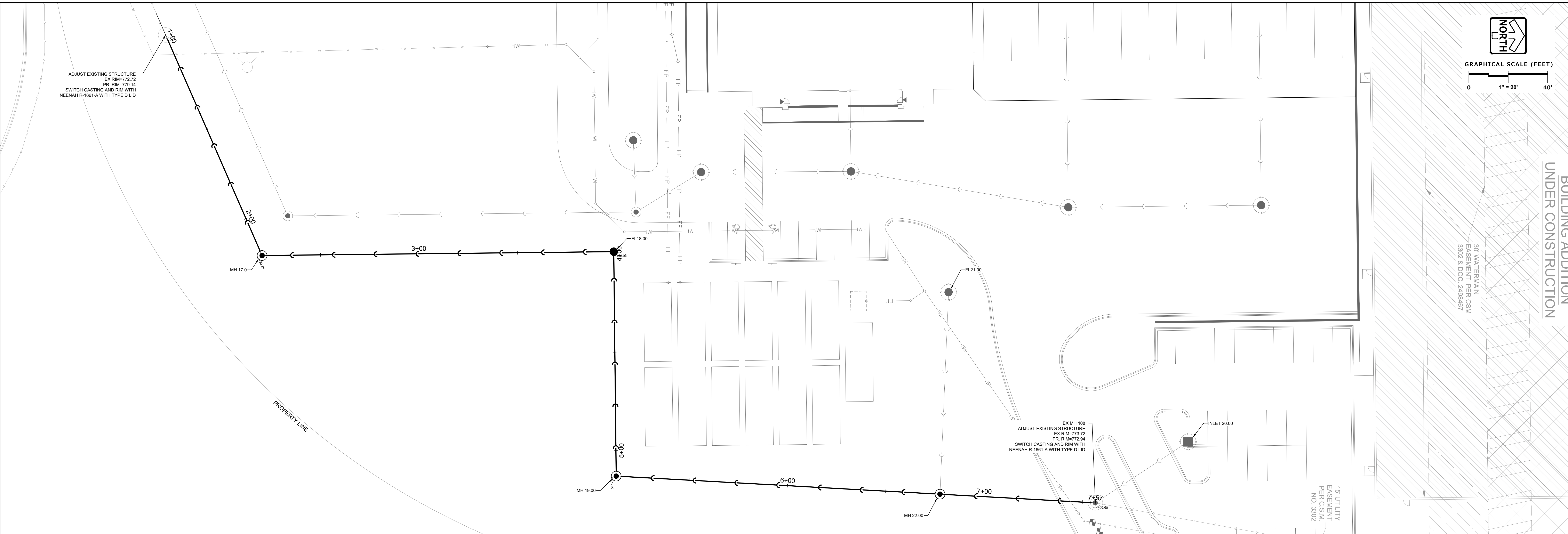


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CALEDONIA, WI 53126

STORM SEWER PLAN

REVISIONS			
1	PRICING SET	01/11/24	
2	BSO SUBMITTAL #1	03/11/24	

PEG JOB No. 5294.00 TGM
 PEG PM 01/11/20 START DATE 01/11/20 SCALE 1"=30'
 SHEET
C-7
 OF
C-11



CSW EXPANSION PHASE 3.5
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PUBLIC STORM SEWER PLAN & PROFILE

REVISIONS	
1. PRICING SET	01/11/24
2. BSO SUBMITTAL #1	03/11/24

PEG JOB No.	5294.00
PEG PM	TGM
START DATE	01/11/24
SCALE	1" = 30'

SHEET

C-8

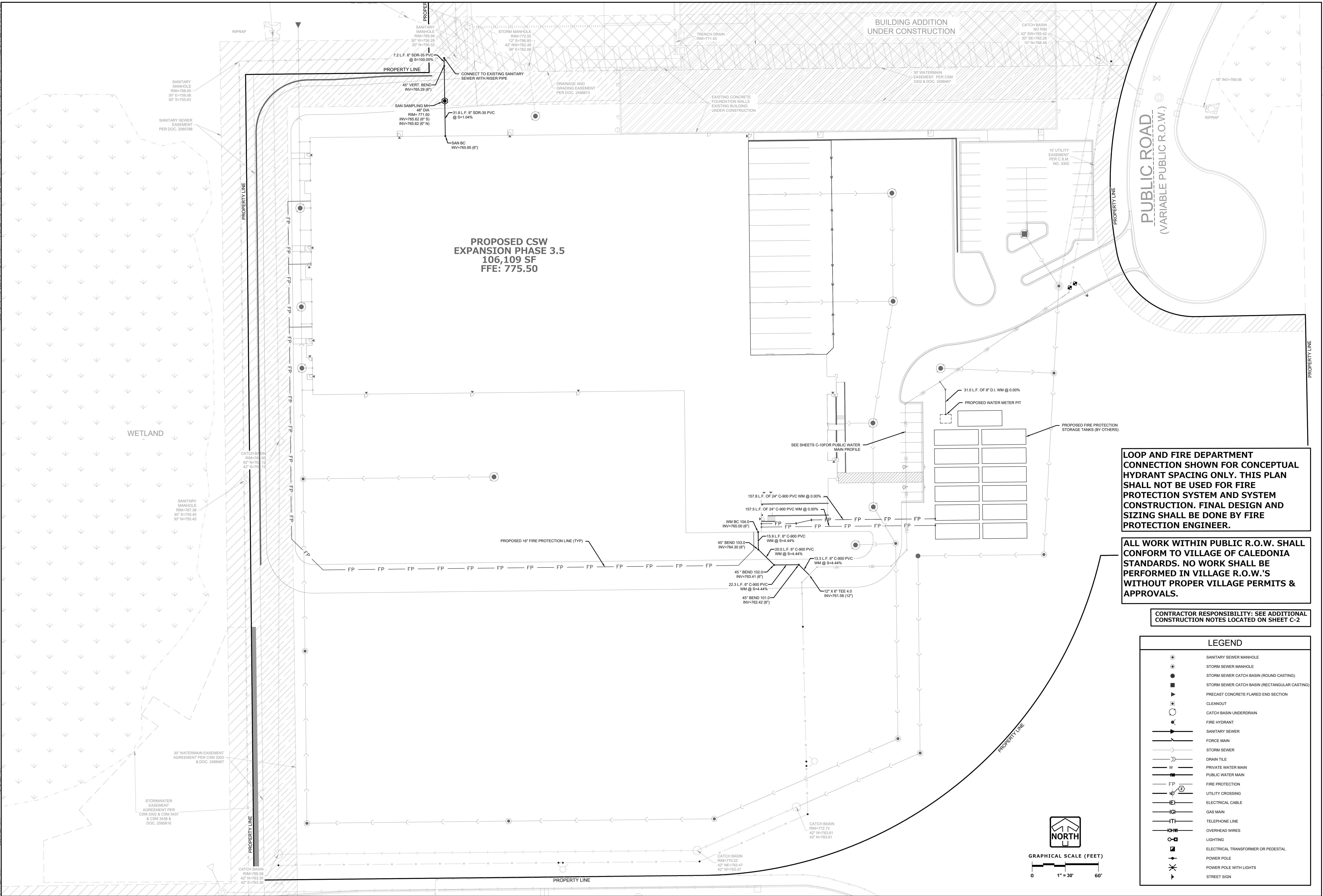
OF

C-11

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DESIGNED: ATN
DRAWN: ATN
REVIEWED: TDM

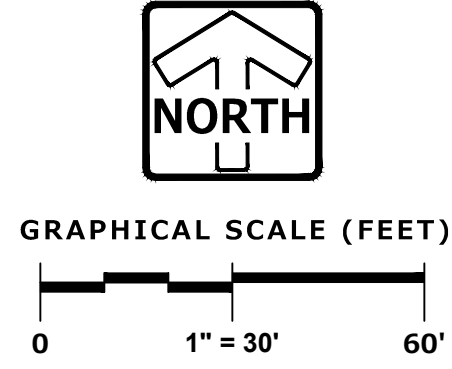


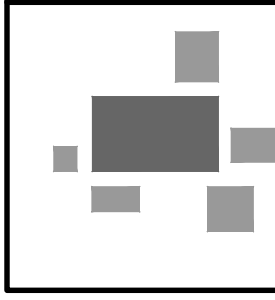
LOOP AND FIRE DEPARTMENT CONNECTION SHOWN FOR CONCEPTUAL HYDRANT SPACING ONLY. THIS PLAN SHALL NOT BE USED FOR FIRE PROTECTION SYSTEM AND SYSTEM CONSTRUCTION. FINAL DESIGN AND SIZING SHALL BE DONE BY FIRE PROTECTION ENGINEER.

ALL WORK WITHIN PUBLIC R.O.W. SHALL CONFORM TO VILLAGE OF CALEDONIA STANDARDS. NO WORK SHALL BE PERFORMED IN VILLAGE R.O.W.'S WITHOUT PROPER VILLAGE PERMITS & APPROVALS.

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	CATCH BASIN UNDERDRAIN
	FIRE HYDRANT
	SANITARY SEWER
	FORCE MAIN
	STORM SEWER
	PRIVATE WATER MAIN
	PUBLIC WATER MAIN
	FIRE PROTECTION
	UTILITY CROSSING
	ELECTRICAL CABLE
	GAS MAIN
	TELEPHONE LINE
	OVERHEAD WIRES
	LIGHTING
	ELECTRICAL TRANSFORMER OR PEDESTAL
	POWER POLE
	POWER POLE WITH LIGHTS
	STREET SIGN





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12725 4 MILE ROAD
CALEDONIA, WI 53126

SANITARY & WATERMAIN PLAN

REVISIONS		SHEET
1	PRICING SET	
2	BSO SUBMITTAL #1	C-9
		C-11

PROJECT No. 5294.00
TOM
START DATE 01/11/24
SCALE 1"=30'

DATE 03/11/24

DATE 01/11/24

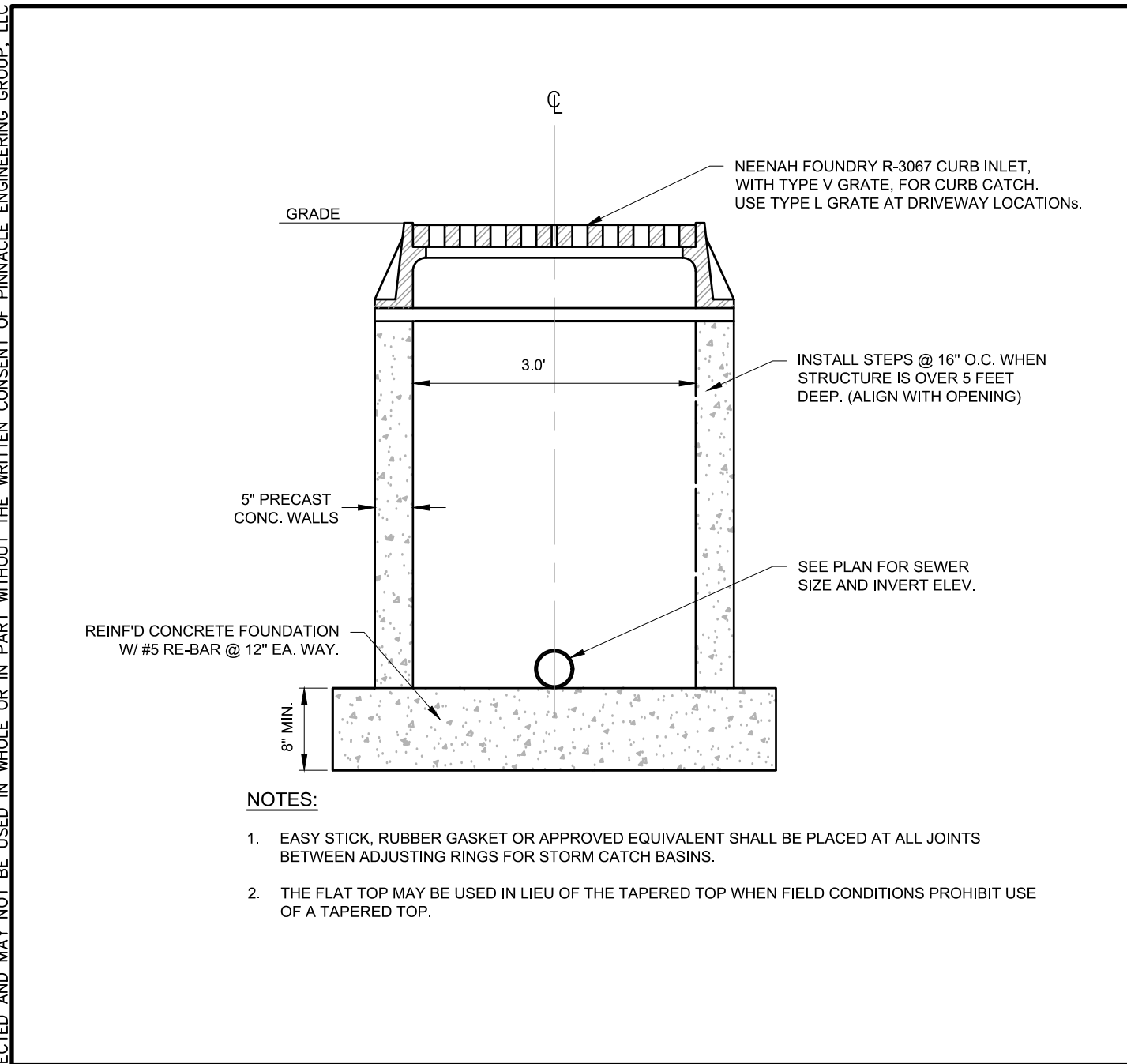
DATE 03/11/24

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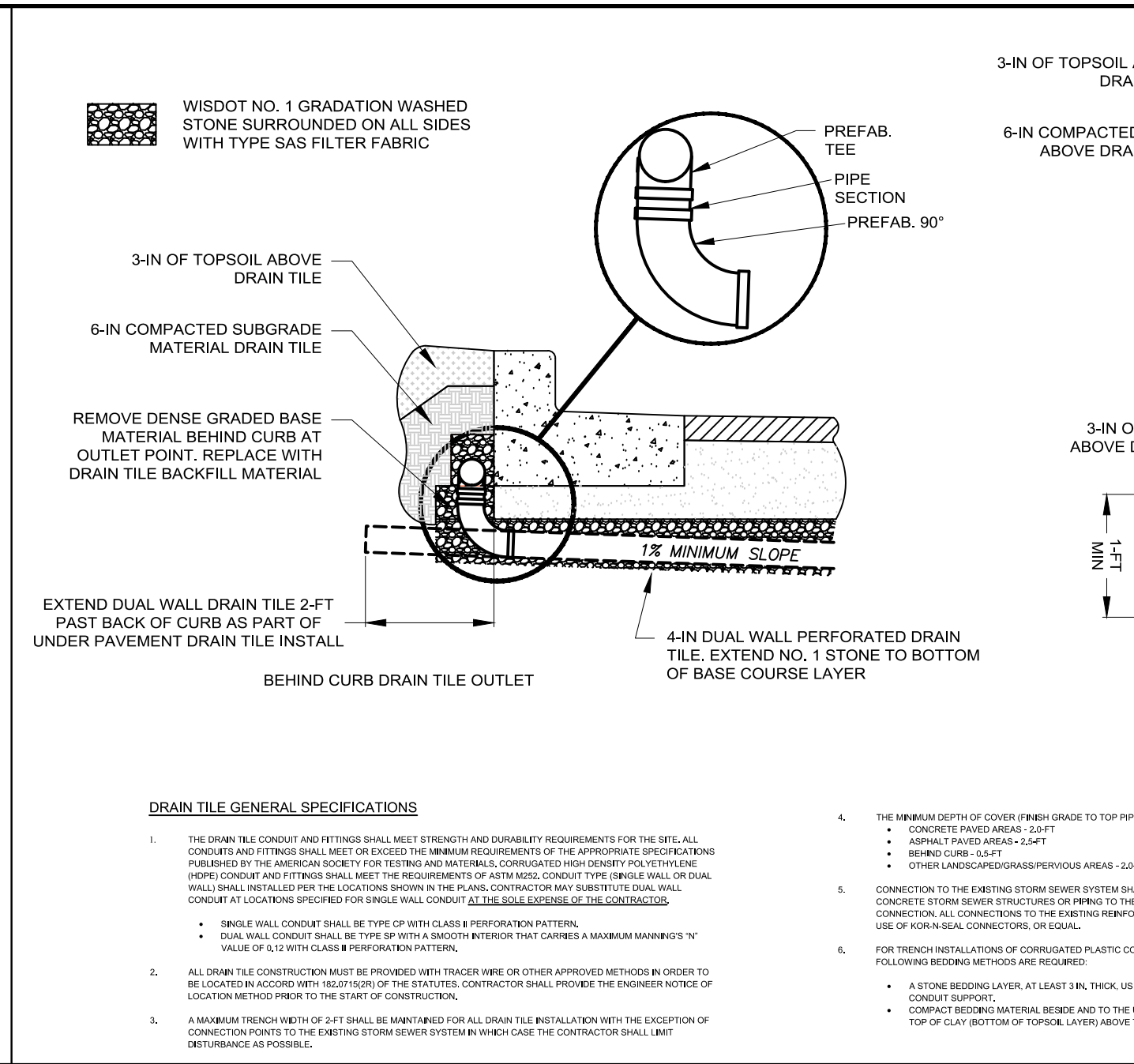
REVIEWED: TDM

DESIGNED: ATH

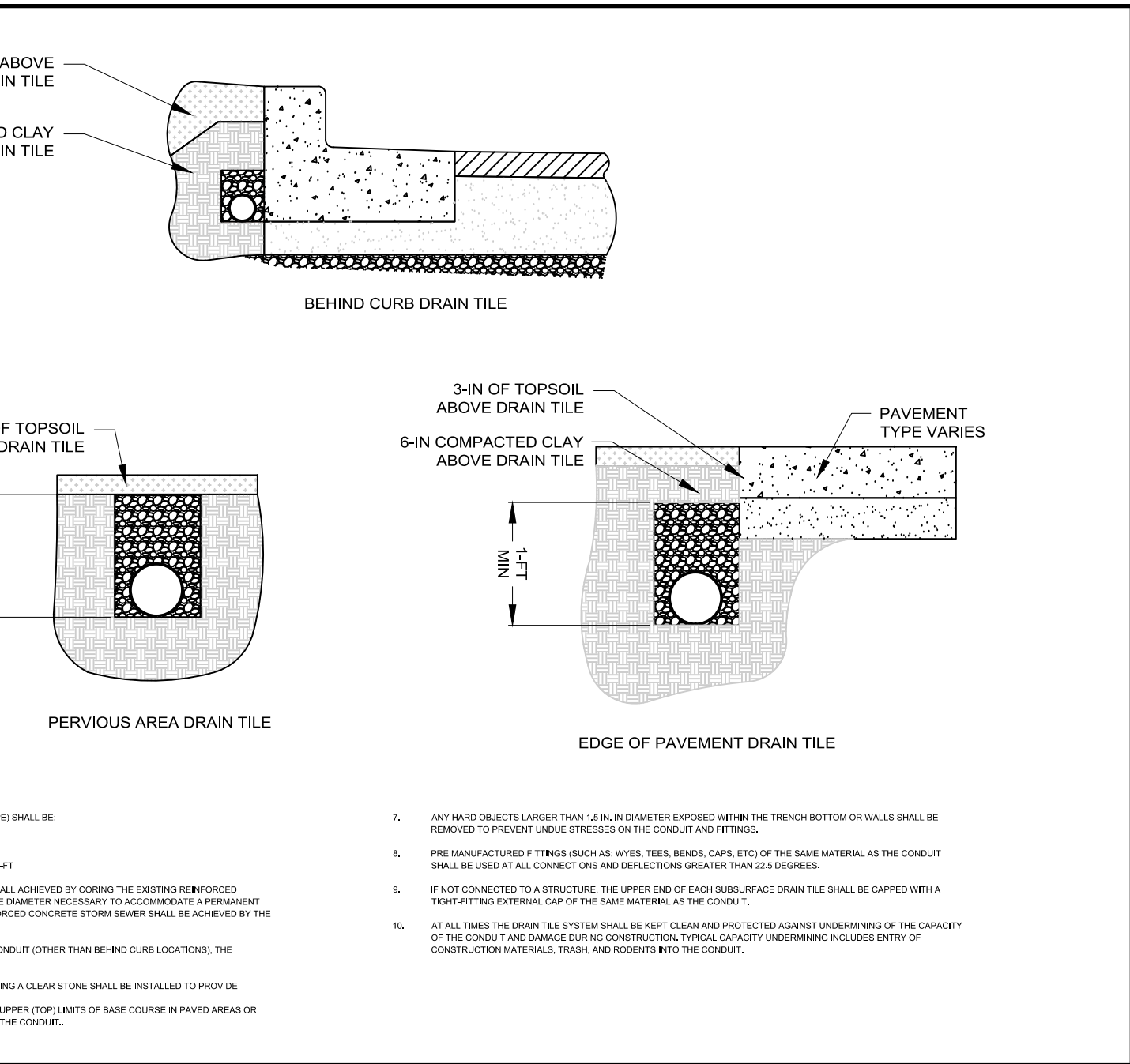
DRAWN: ATH



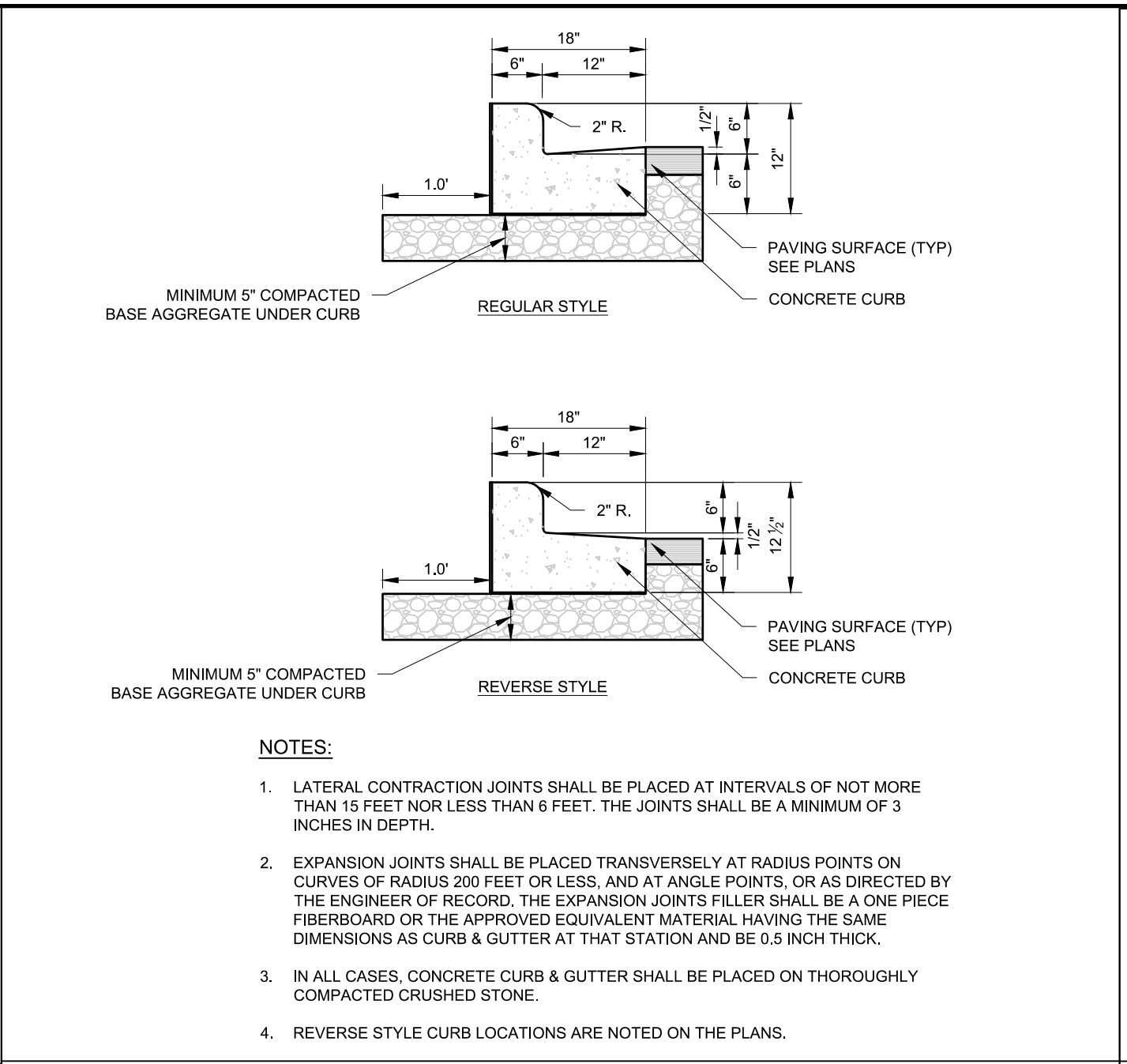
2' x 3' INLET



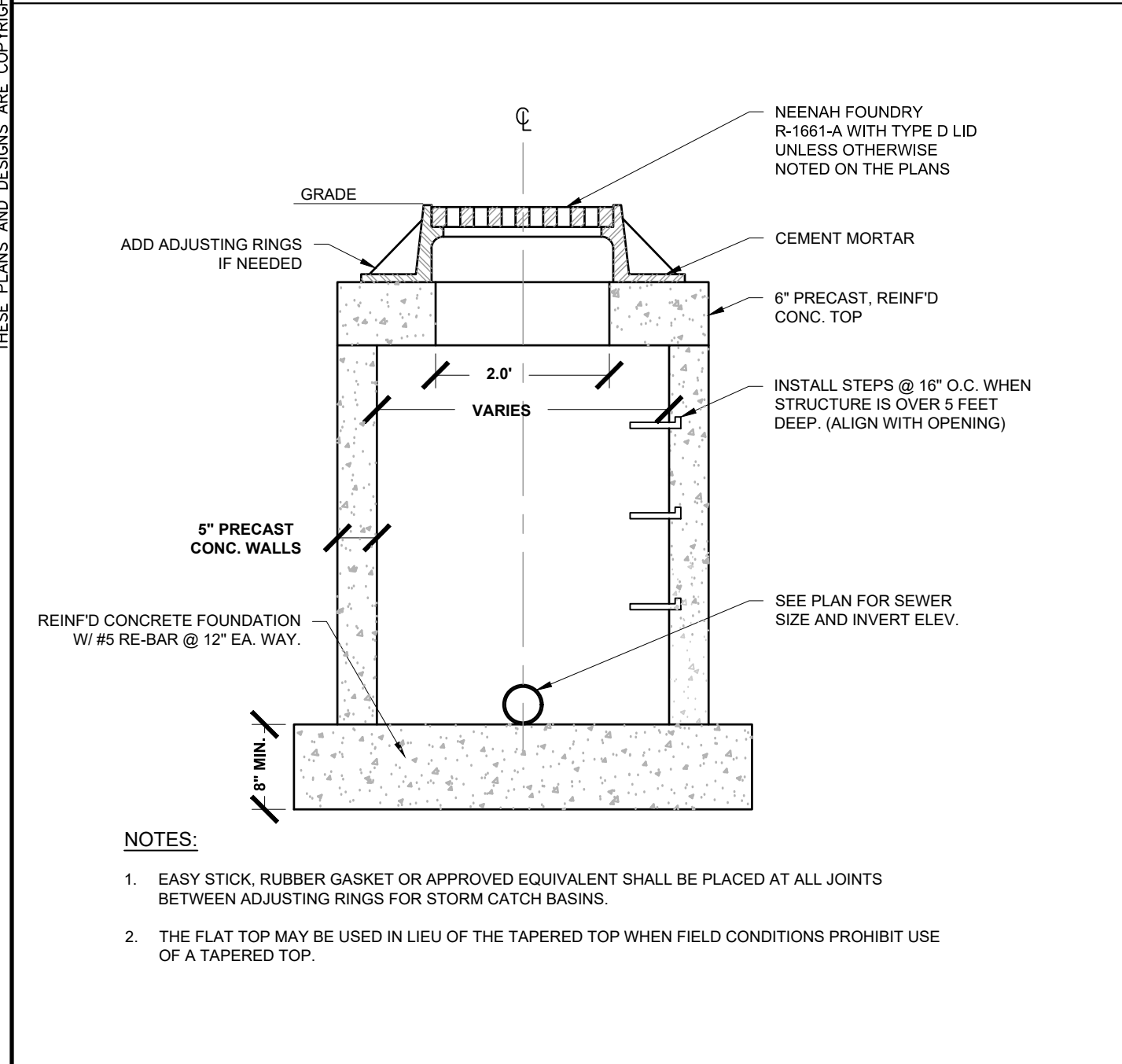
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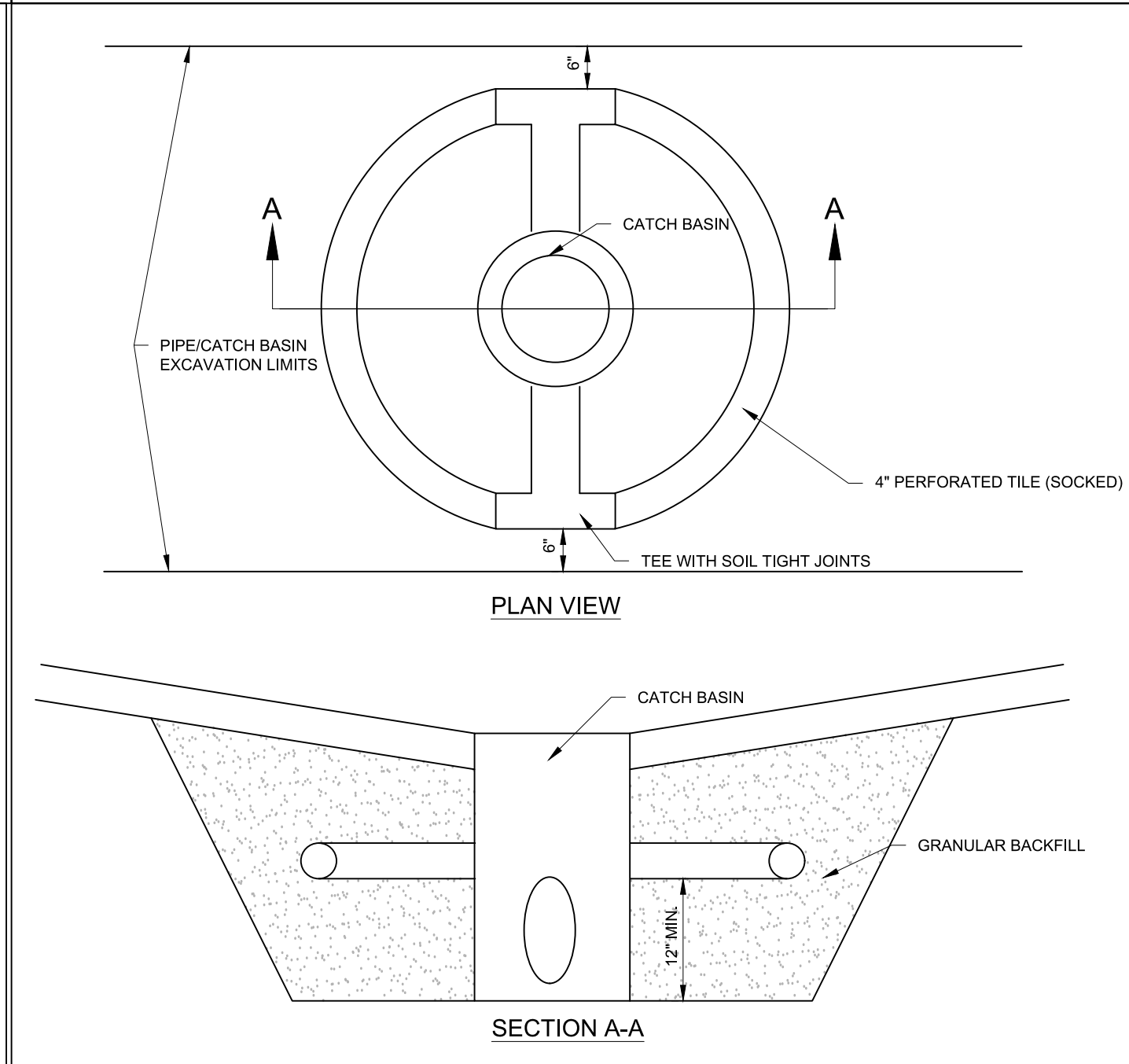
18" VERTICAL FACE CURB



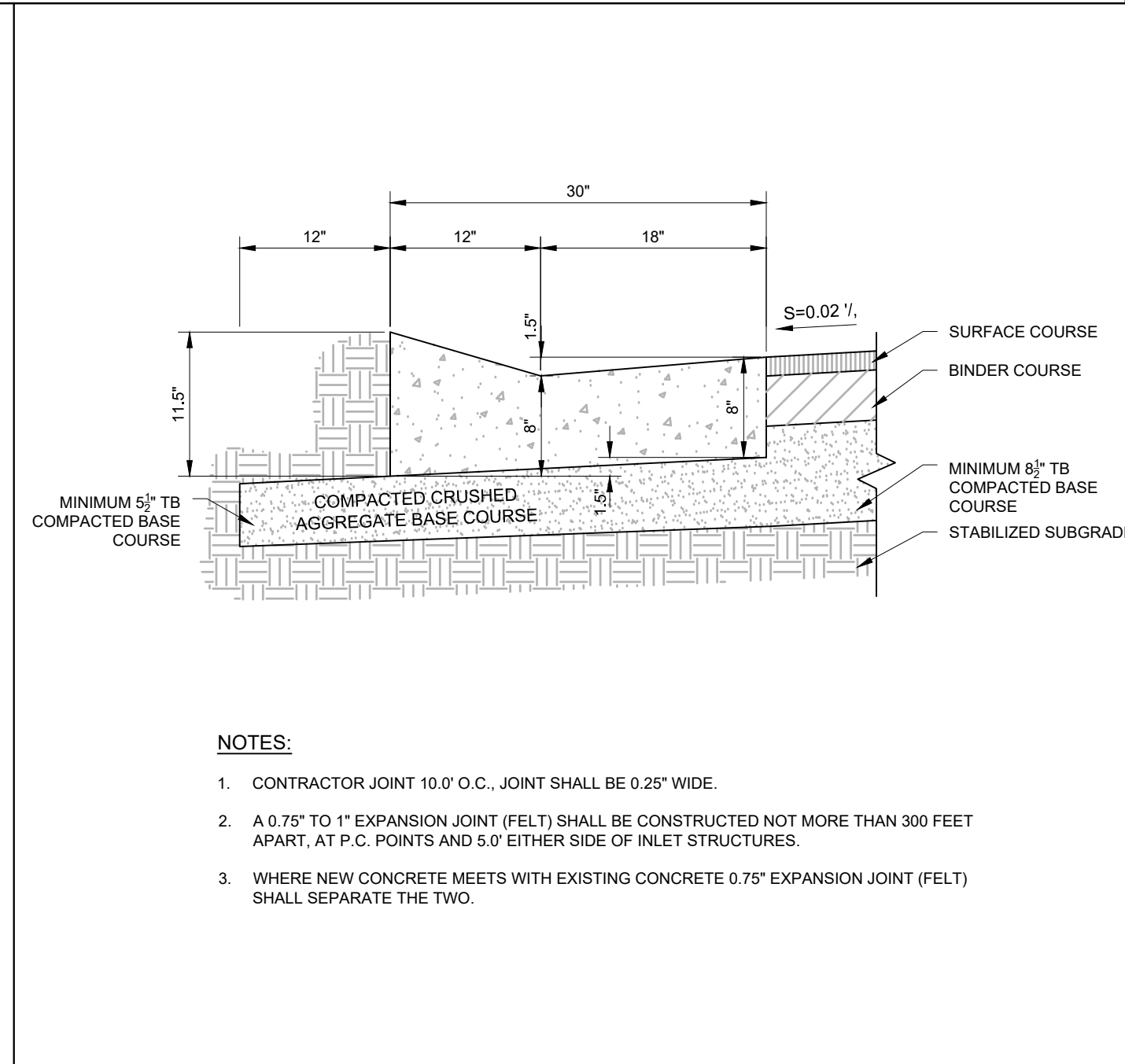
TYPICAL RISER FOR SERVICE LATERAL



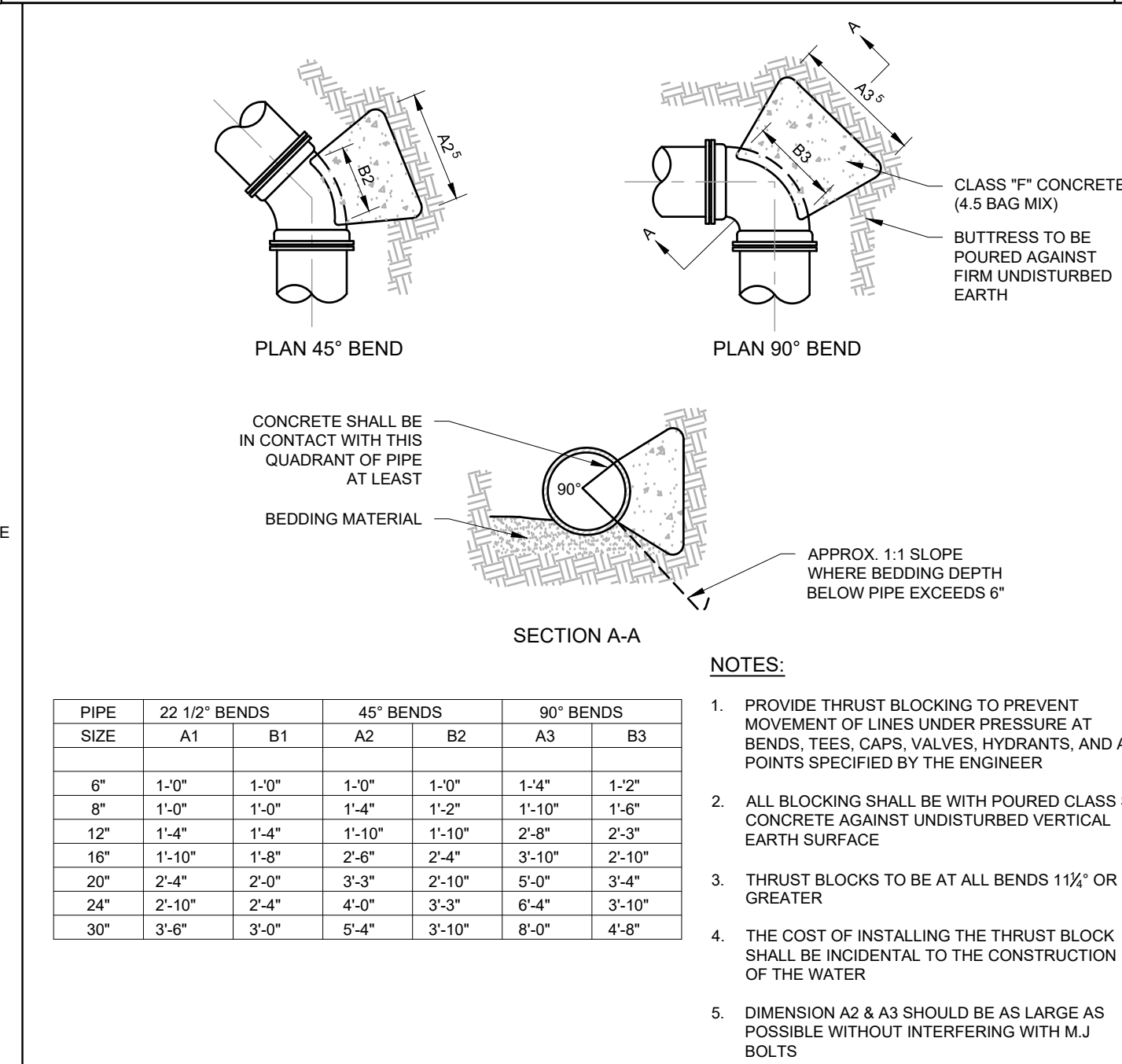
STORM SEWER MANHOLE



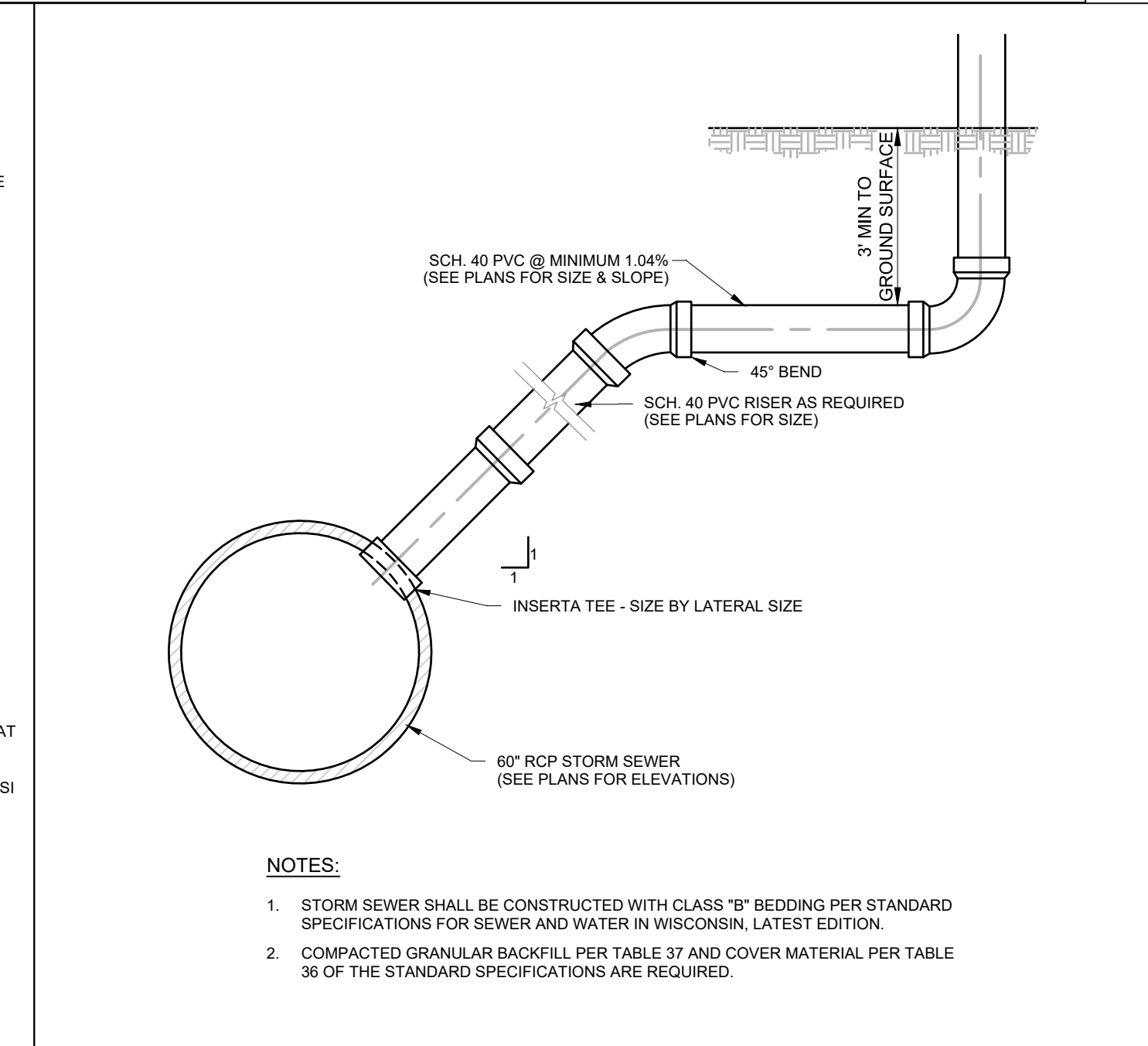
INLET - UNDERDRAIN



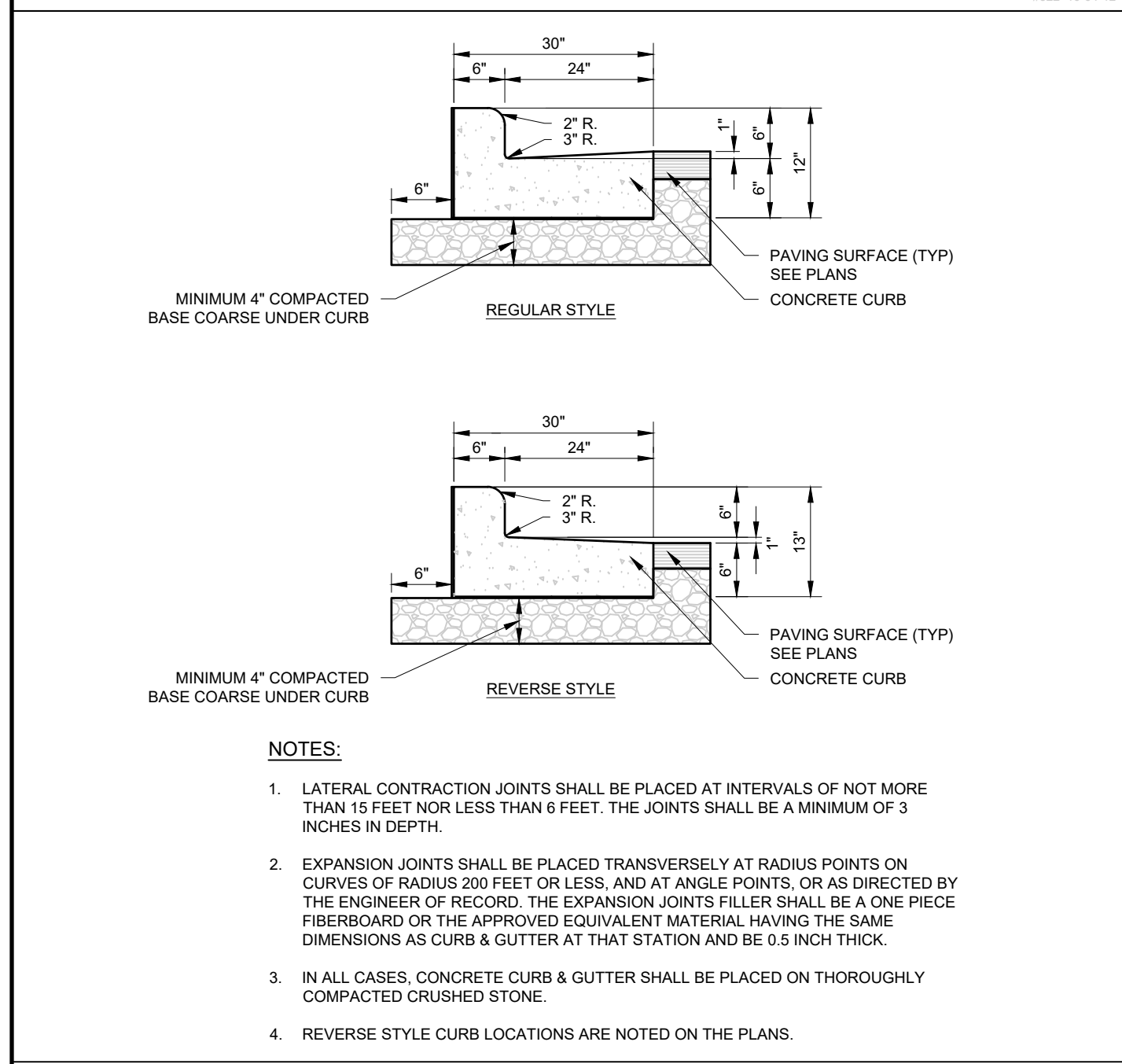
30" MOUNTABLE CURB & GUTTER



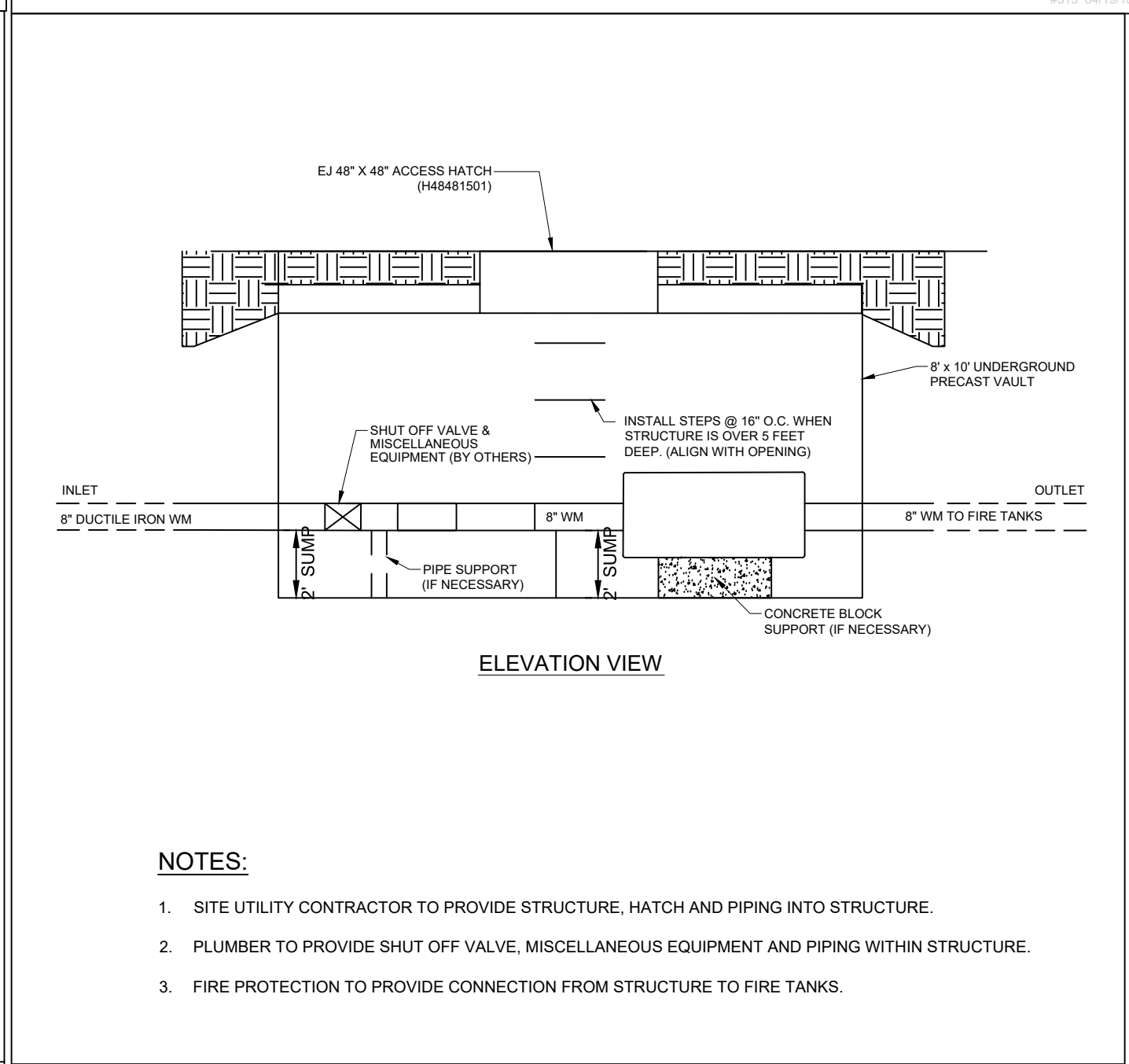
THRUST BLOCK



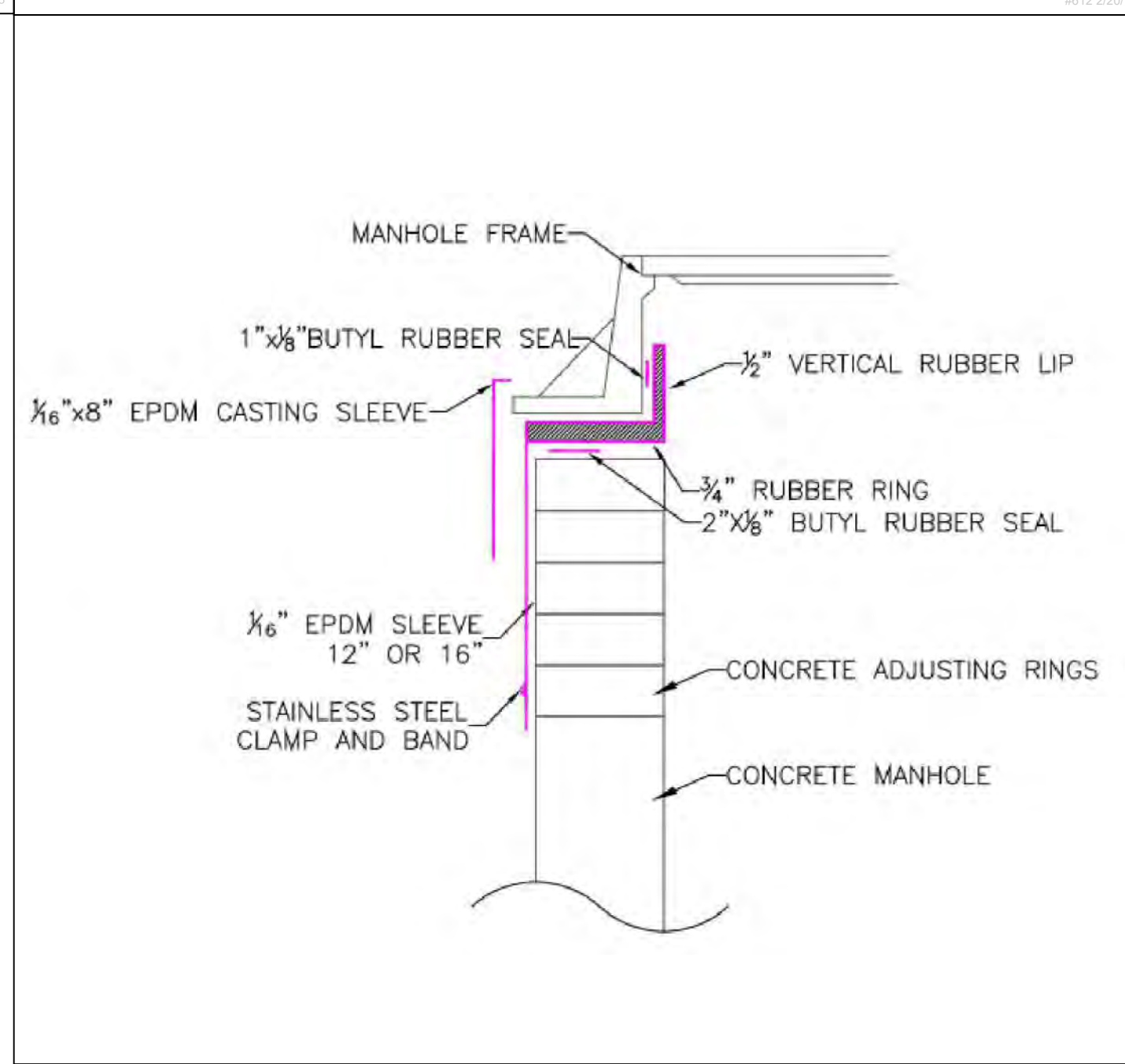
TYPICAL WEST ELEVATION ROOF DRAIN CONNECTION



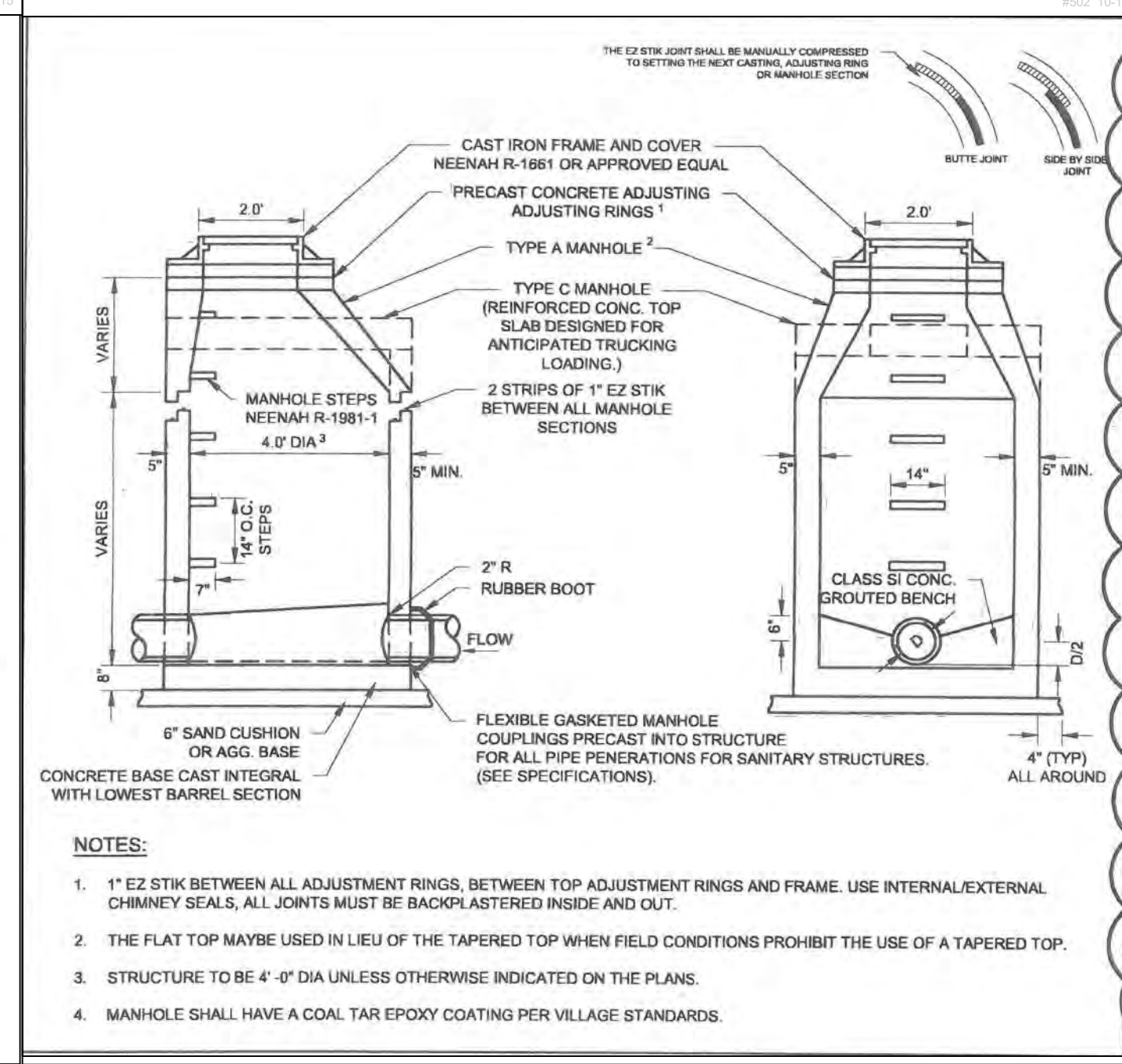
30" VERTICAL FACE CURB



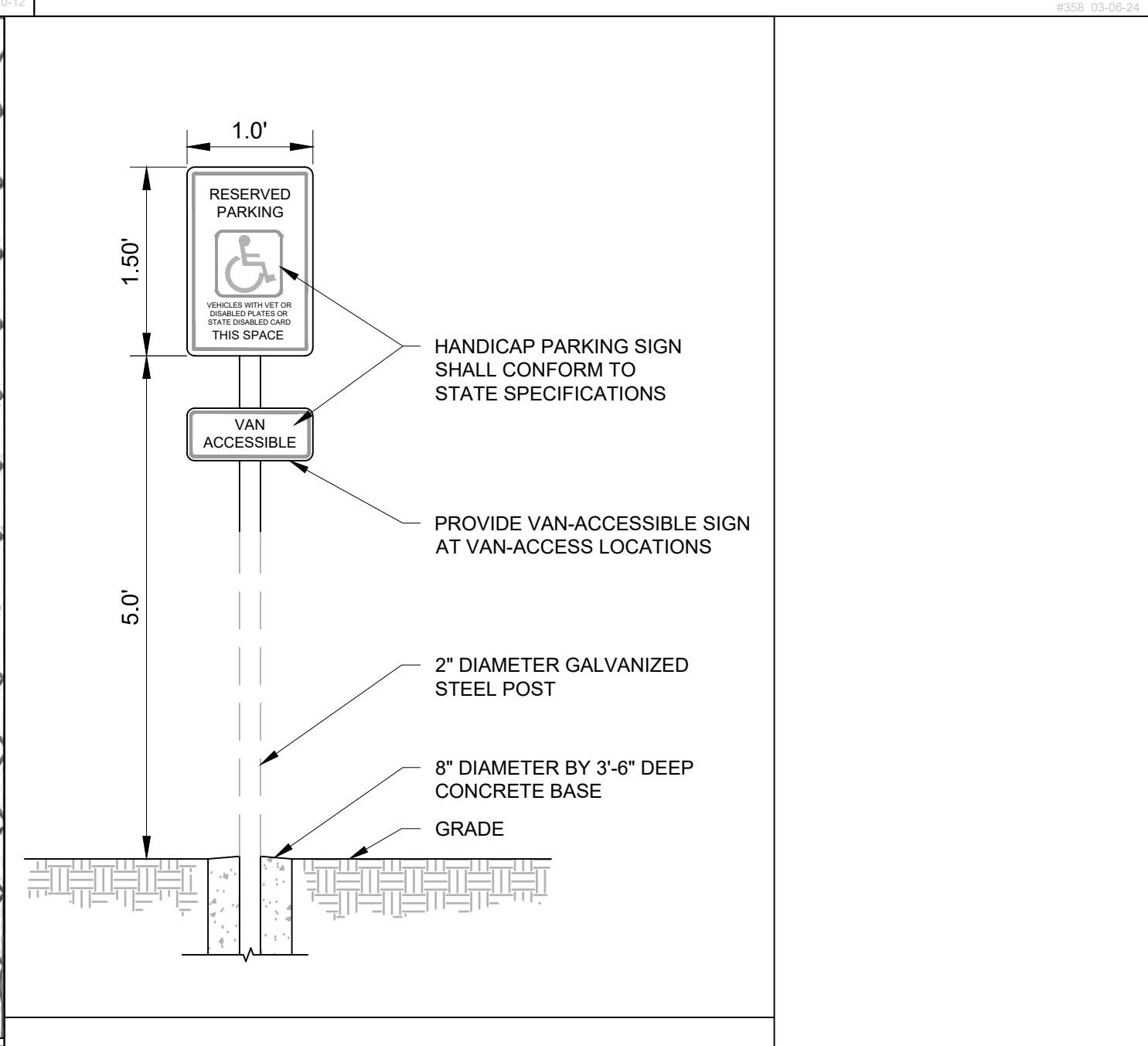
UNDERGROUND CONTROL VAULT



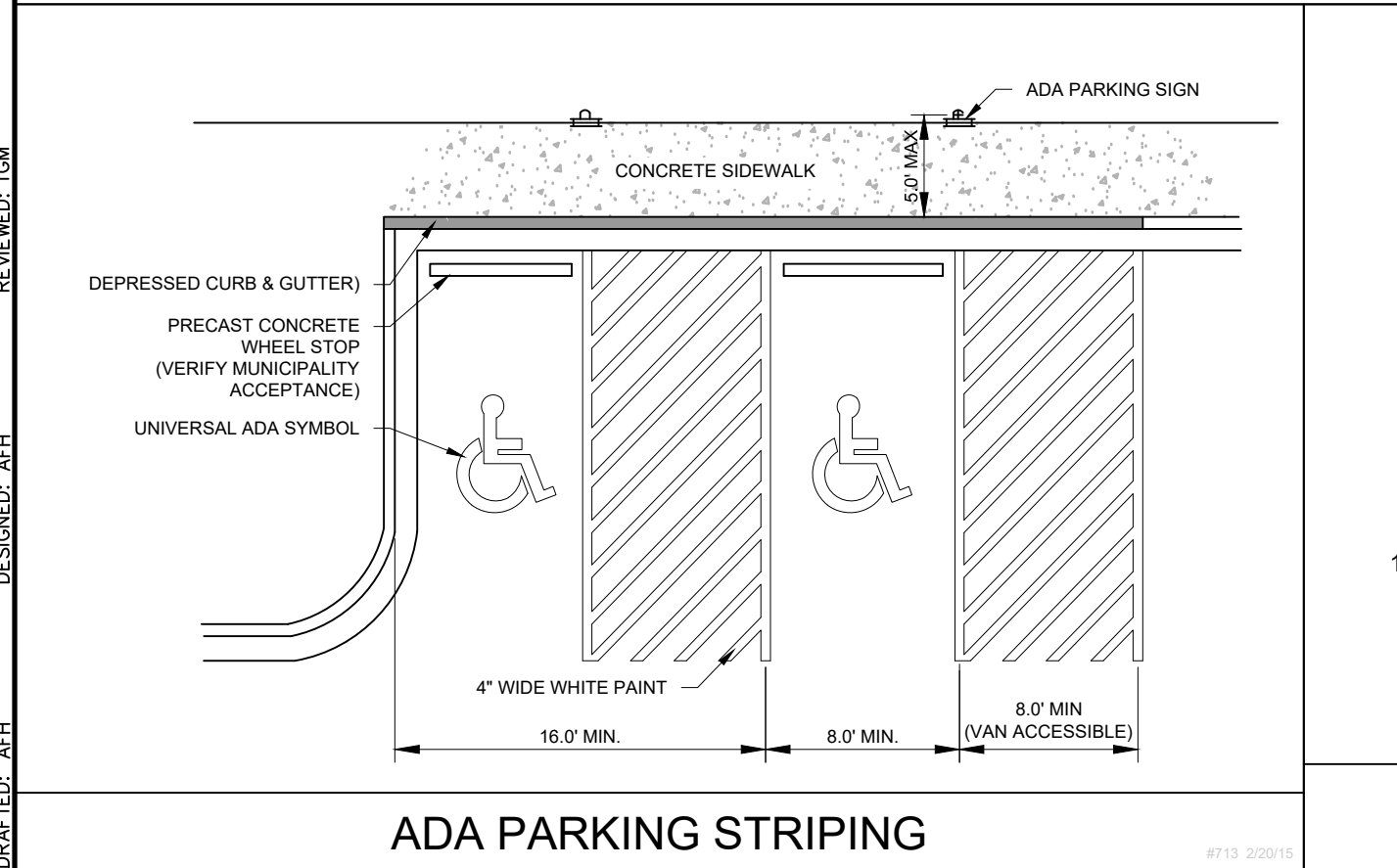
INTERNAL/EXTERNAL ADAPTOR SEAL



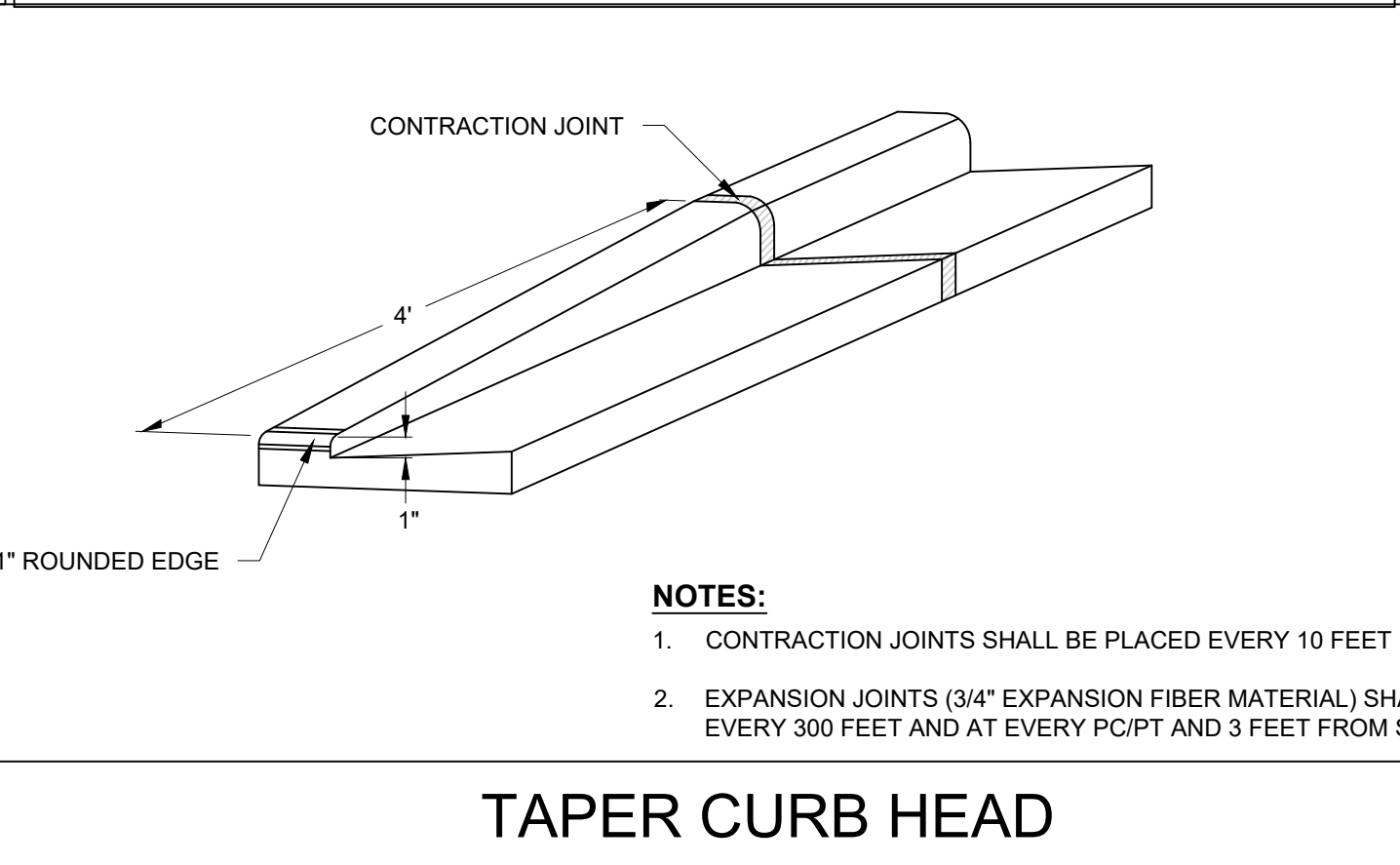
SAMPLING MANHOLE



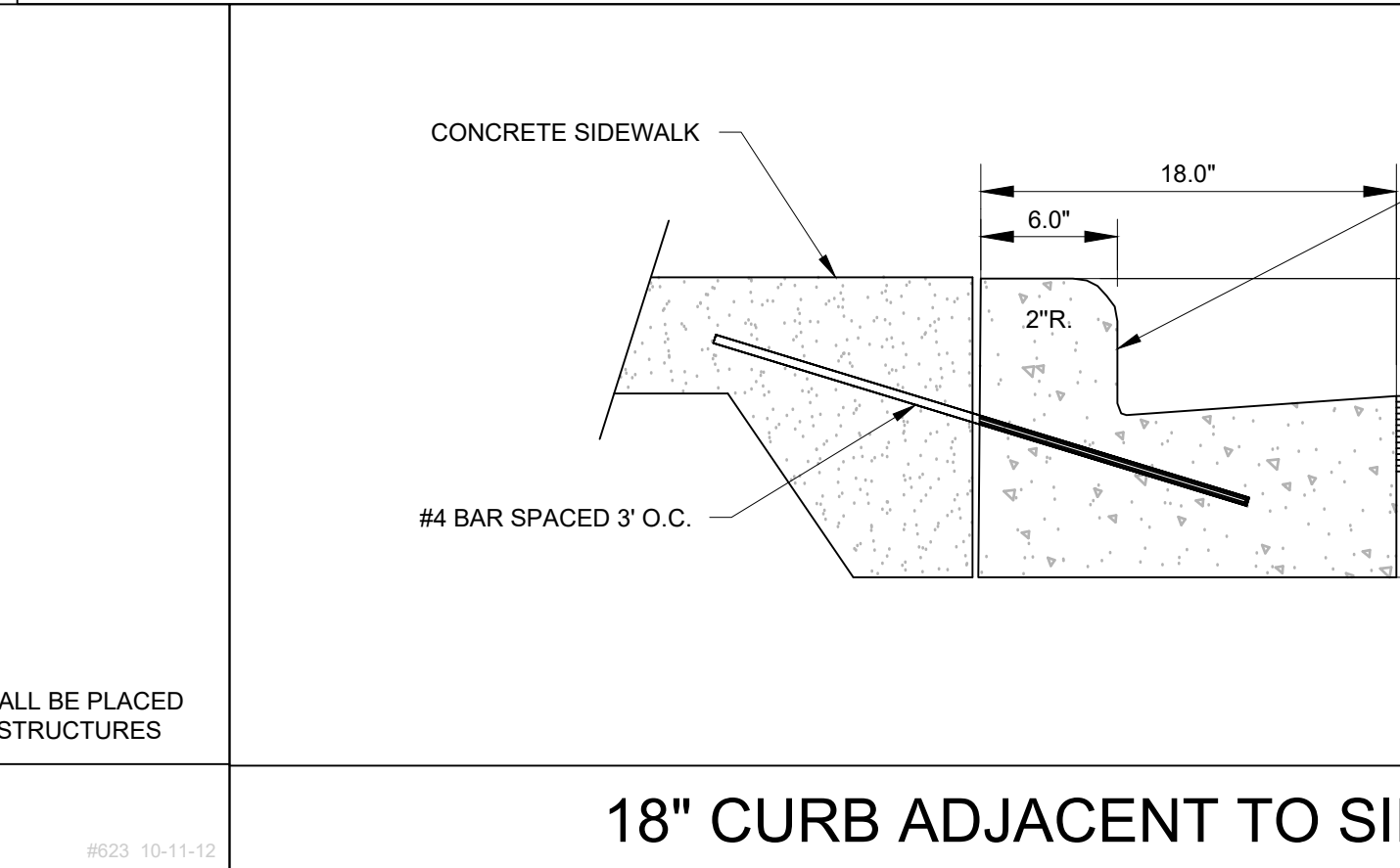
ADA SIGN



ADA PARKING STRIPING

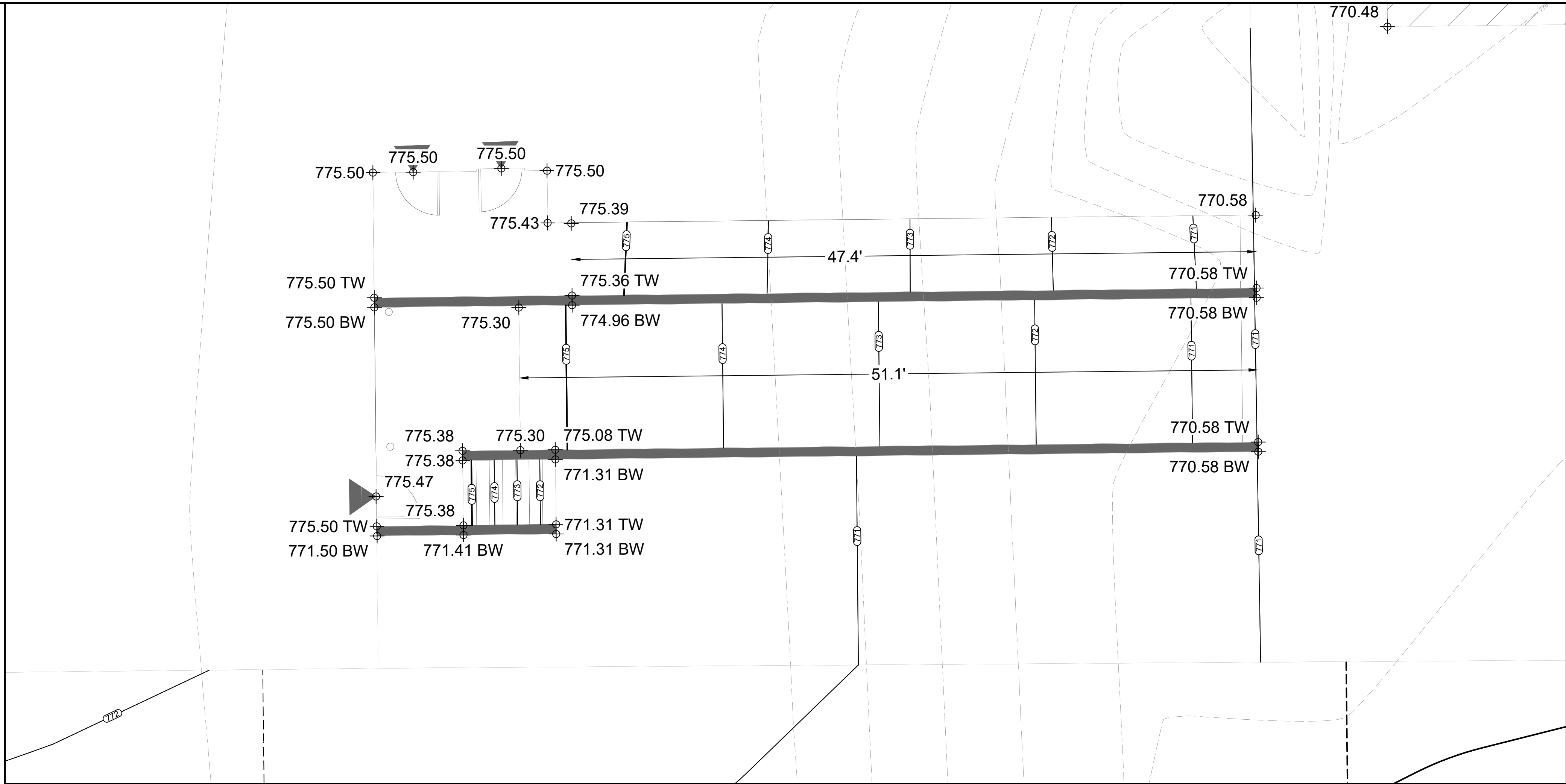


TAPER CURB HEAD



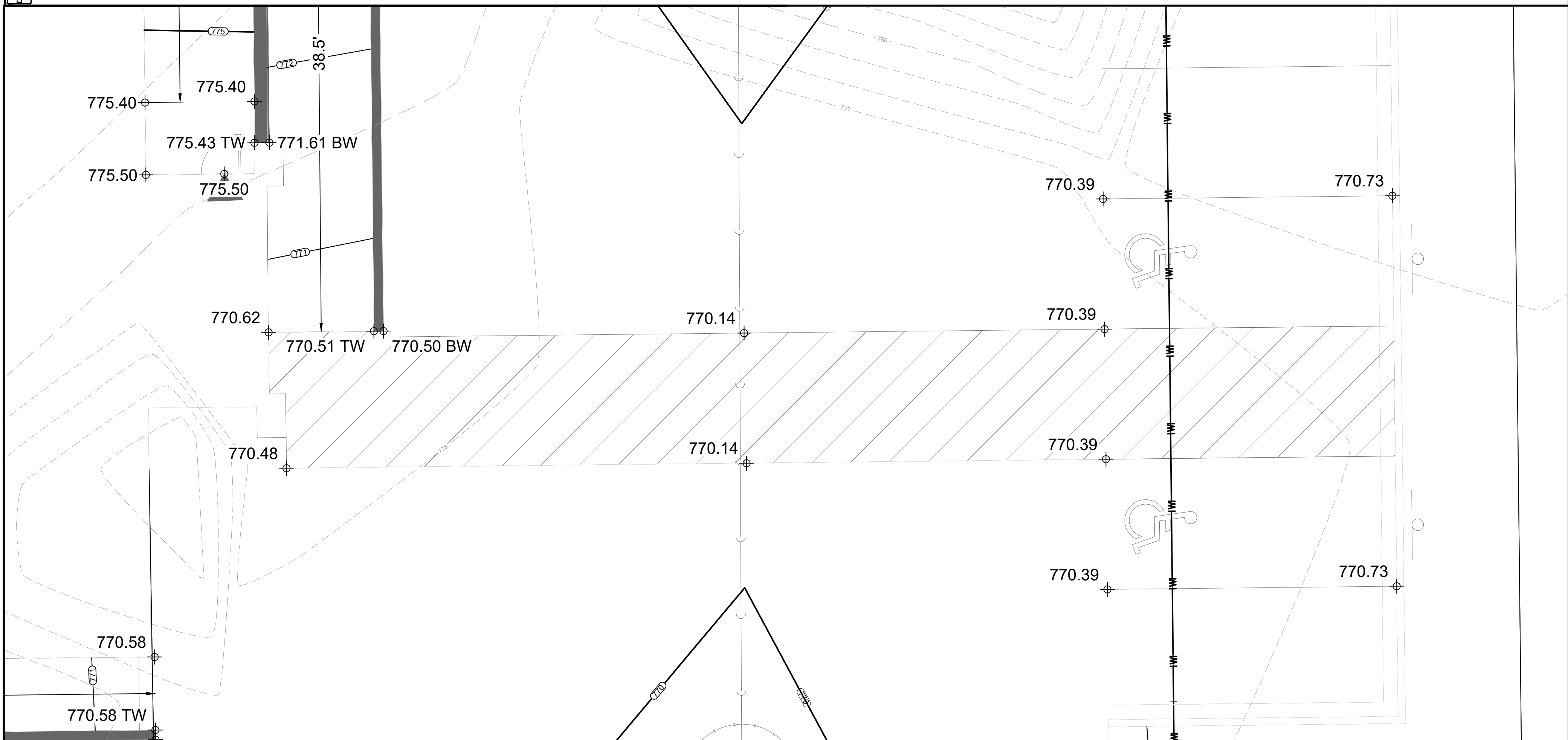
18" CURB ADJACENT TO SIDEWALK

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DESIGNED: ATH
DRAFTED: ATH
REVIEWED: TDM



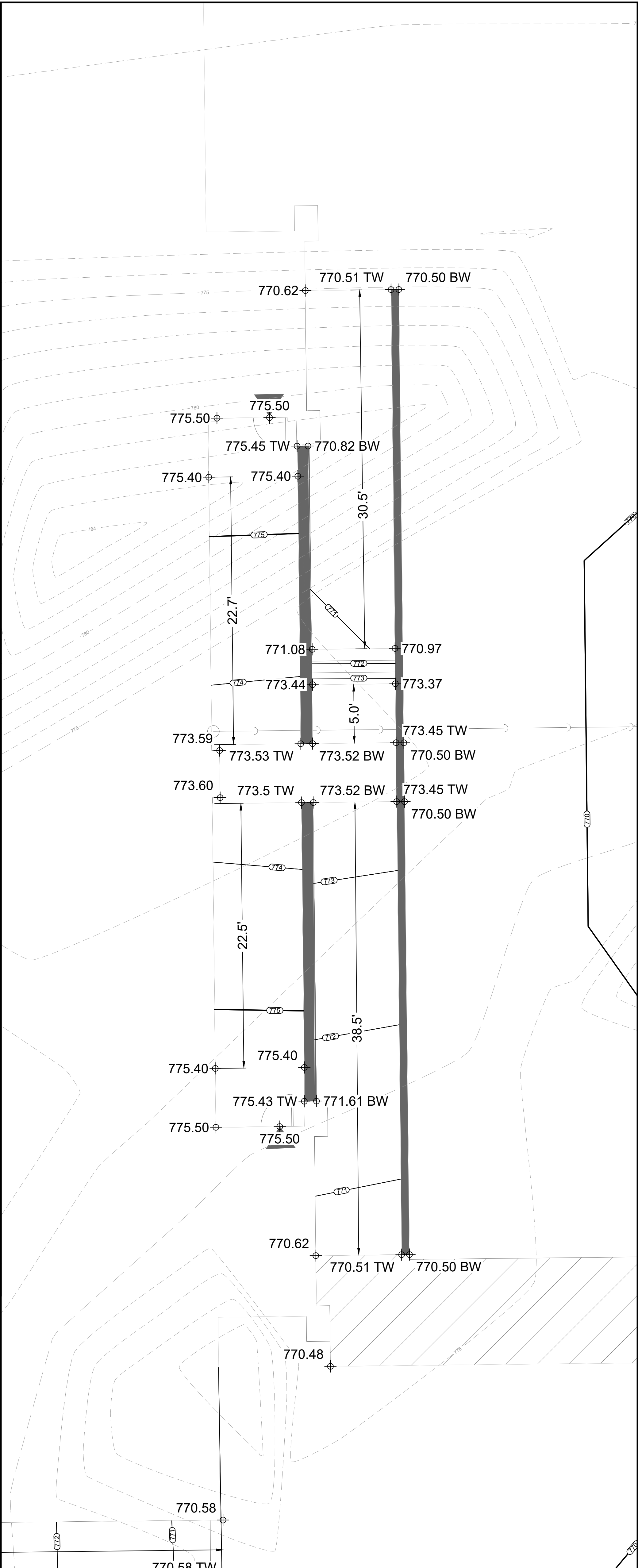
CSW EXPANSION PHASE 3.5 - ENLARGED GRADING

SCALE: 1" = 5'



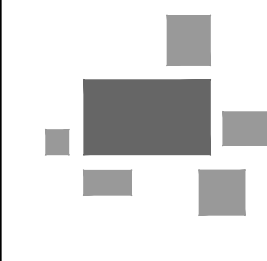
CSW EXPANSION PHASE 3.5 - ENLARGED ADA GRADING

SCALE: 1" = 5'



CSW EXPANSION PHASE 3.5 - ENLARGED GRADING

SCALE: 1" = 5'



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(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

CSW EXPANSION PHASE 3.5
12725 4 MILE ROAD
CALEDONIA, WI 53126

CONSTRUCTION DETAILS

REVISIONS			
1	PRICING SET	01/11/24	
2	BSO SUBMITTAL #1	03/11/24	

REG. JOB No. 5294.00

REG. PM. TDM

START DATE 01/11/24

SCALE 1"=50'

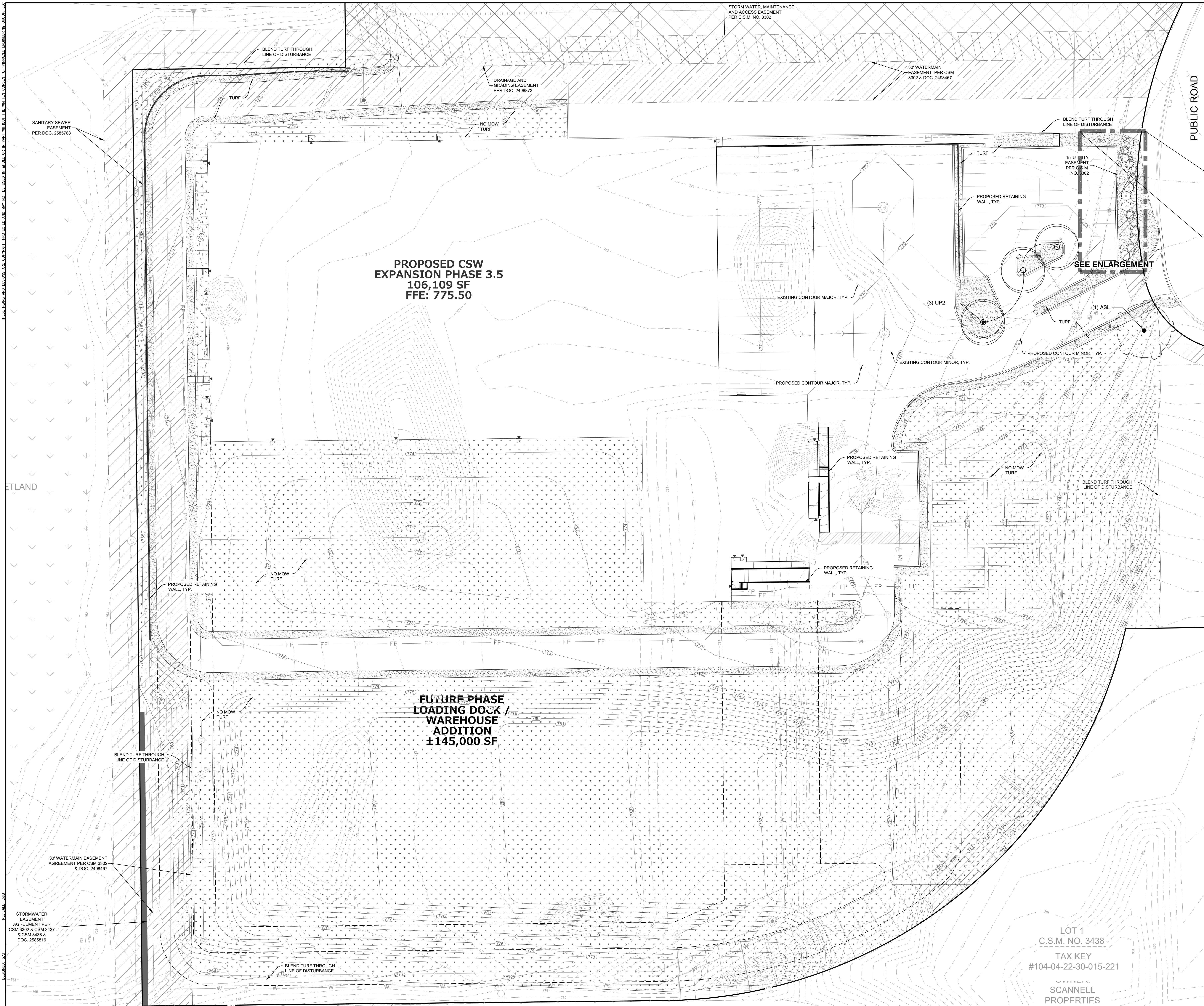
SHEET

C-13

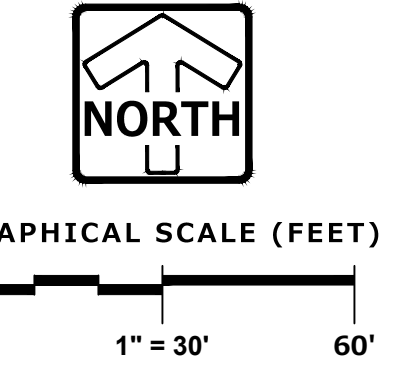
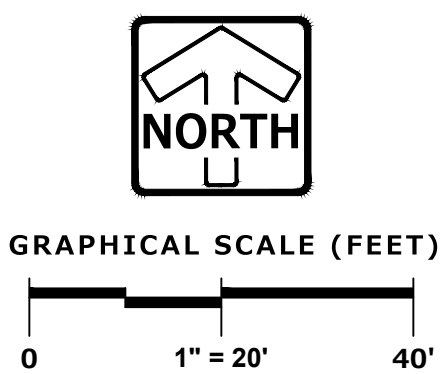
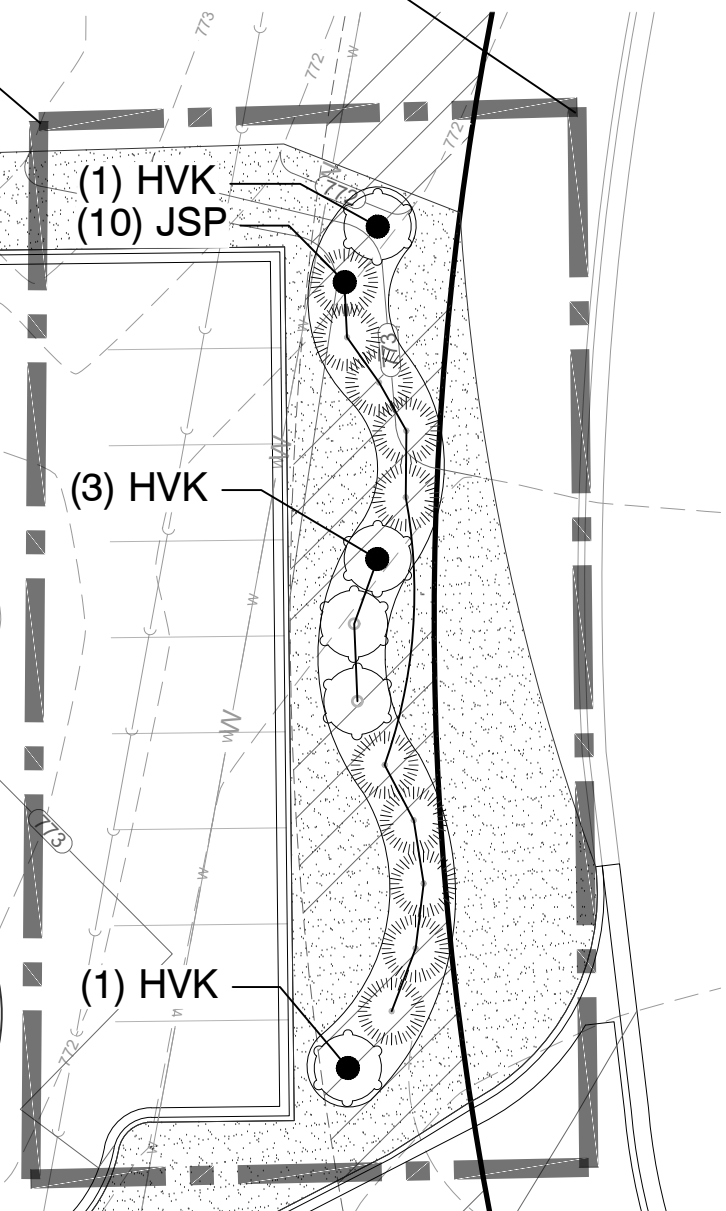
of

C-11

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PLANT SCHEDULE				
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
ASL	1	Acer saccharum 'Legacy'	Legacy Sugar Maple	2" Cal.
UP2	3	Ulmus x Morton Glossy	Triumph Elm	2" Cal.
SHRUBS				
HVK	5	Hamamelis vernalis 'Kohankie Red'	Kohankie Red Ozark Witchazel	24" Ht.
EVERGREEN SHRUBS				
JSP	10	Juniperus chinensis 'J.N. Select Blue'	Star Power Juniper	4" Ht.
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
GROUND COVERS				
	23,430 sf	Turf Hydroseed	Drought Tolerant Fescue Blend	
	270,506 sf	Turf Hydroseed Low Grow	Low Grow Mix	



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CSW EXPANSION PHASE 3.5

12725 4 MILE ROAD

CALEDONIA, WI 53126

LANDSCAPE PLAN

REVISIONS	
1	PRICING SET
2	BSO SUBMITTAL #1

REG. JOB NO.	5294.00
REG. PM.	TGM
START DATE	01/11/24
SCALE	VARIABLE

SHEET	L-1
of	L-2

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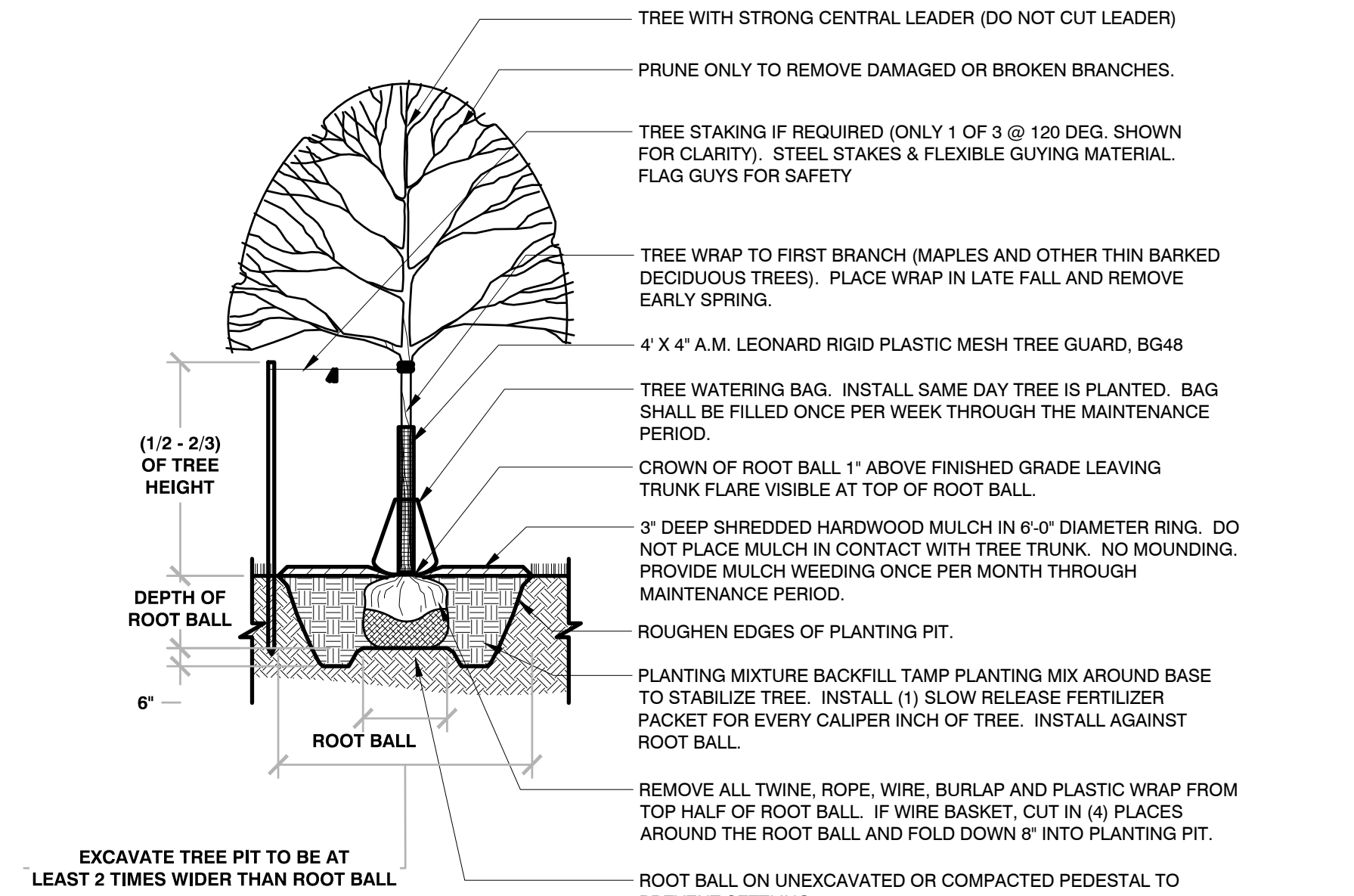
GENERAL PLANTING NOTES

- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL ¾ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEEDDED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION

- LINE, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 10 FEET FROM ANY FIRE HYDRANT
 - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE
 - THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
 - THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
 - THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
 - PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

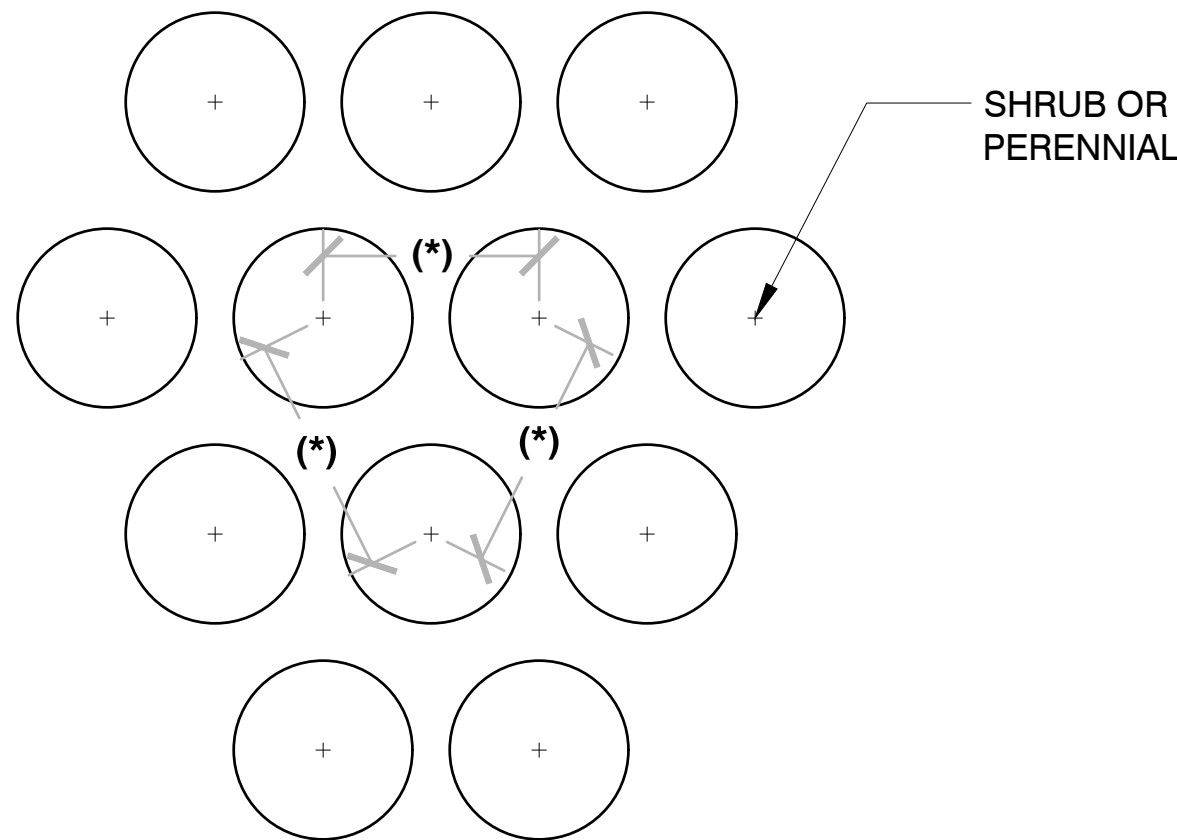
- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULT-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENEED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENEED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



1 TREE PLANTING

1/4" = 1'-0"

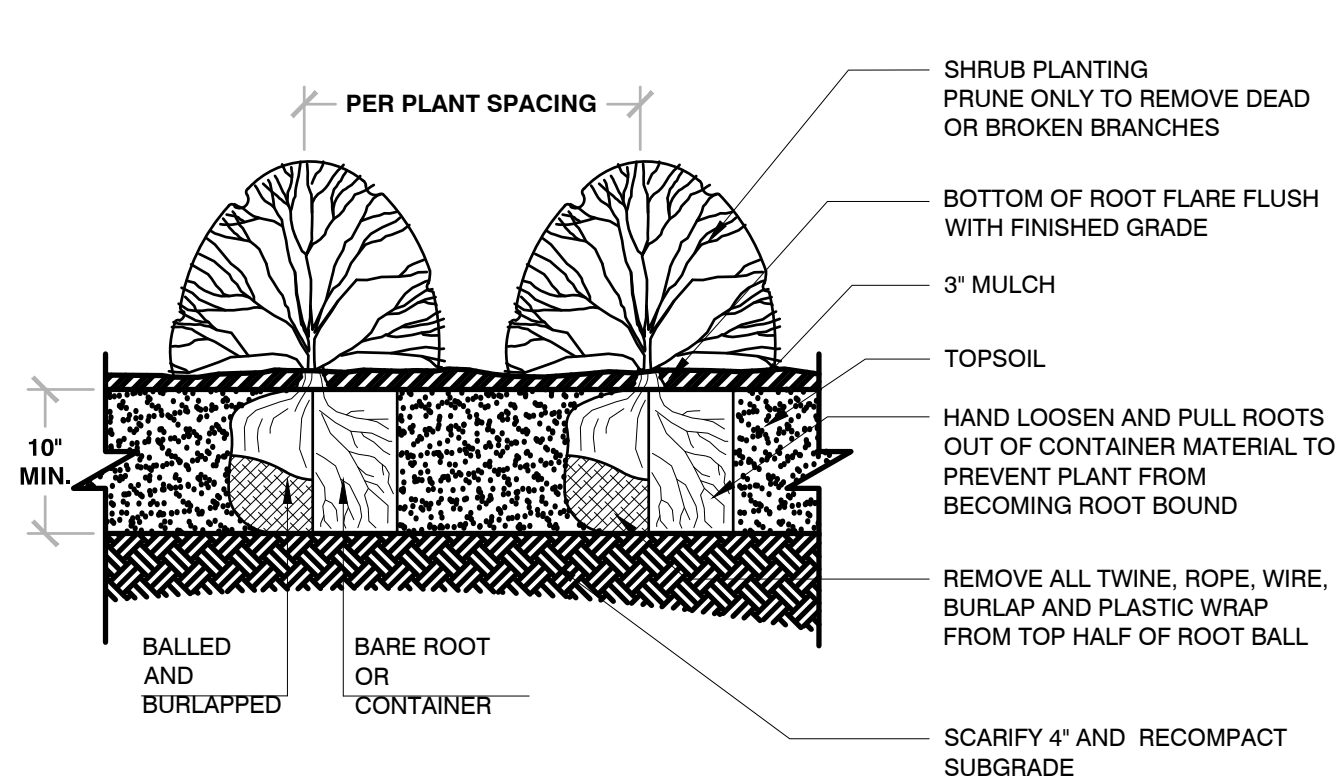
329343-01



5 PLANT SPACING

3/4" = 1'-0"

32933-02

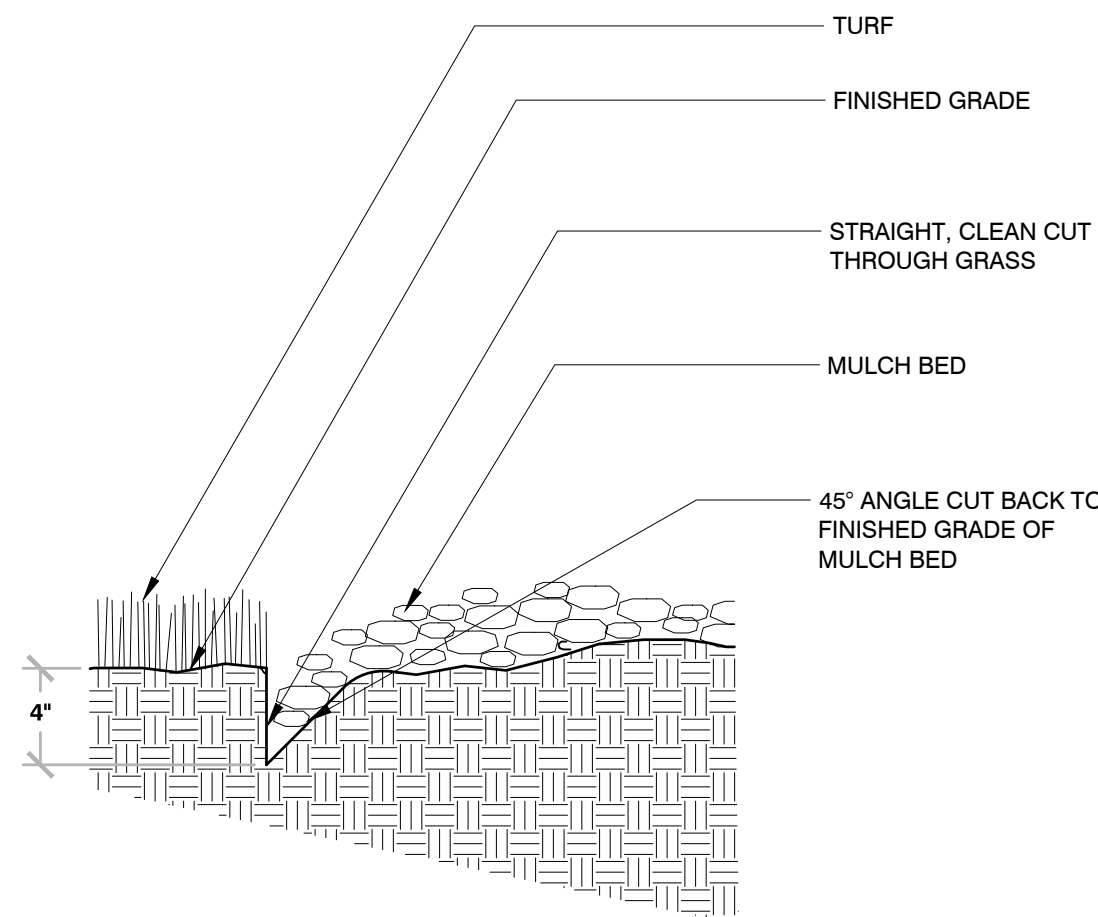


- BAREROOT PLANTING NOTES:
- SOAK ROOTS IN WATER FOR AT LEAST ONE HOUR BUT NOT MORE THAN 24 HOURS PRIOR TO PLANTING.
 - SCARIFY SIDES AND BOTTOMS OF HOLE.
 - PROCEED WITH CORRECTIVE PRUNING OF THE TOP AND BOTTOM ROOTS.
 - TRANSFER PLANT DIRECTLY FROM WATER TO HOLE. SET PLANT SO THE ROOT FLARE IS APPROXIMATELY AT THE FINISHED SOIL ELEVATION. SPREAD ROOTS OUT EVENLY. PLUMB AND IMMEDIATELY BACKFILL WITH PLANTING SOIL MIX.
 - WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
 - BACKFILL VOIDS AND WATER SECOND TIME.
 - PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

3 SHRUB PLANTING

1/2" = 1'-0"


329333-02



6 TRENCHED BED EDGE

3/4" = 1'-0"

32933-03



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CSW EXPANSION PHASE 3.5
12725 4 MILE ROAD
CALEDONIA, WI 53126

LANDSCAPE GENERAL NOTES & DETAILS

REVISIONS			
1.	PRICING SET	01/11/24	
2.	BSO SUBMITTAL #1	03/11/24	

REG JOB No.	5294.00	TOR
REG PN.		
START DATE	01/11/24	
SCALE	VARIABLE	
SHEET	L-2	
	of	
	L-2	

STAMPS

PROPOSED ADDITION FOR:

CSW - CALEDONIA (PHASE 3.5)

CALEDONIA, WISCONSIN

ISSUED FOR REVIEW: 3/11/2024

ISSUED FOR BID:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

ISSUED REVISIONS

Revision	Date	Rev. Description
A	n/a	drafting notes

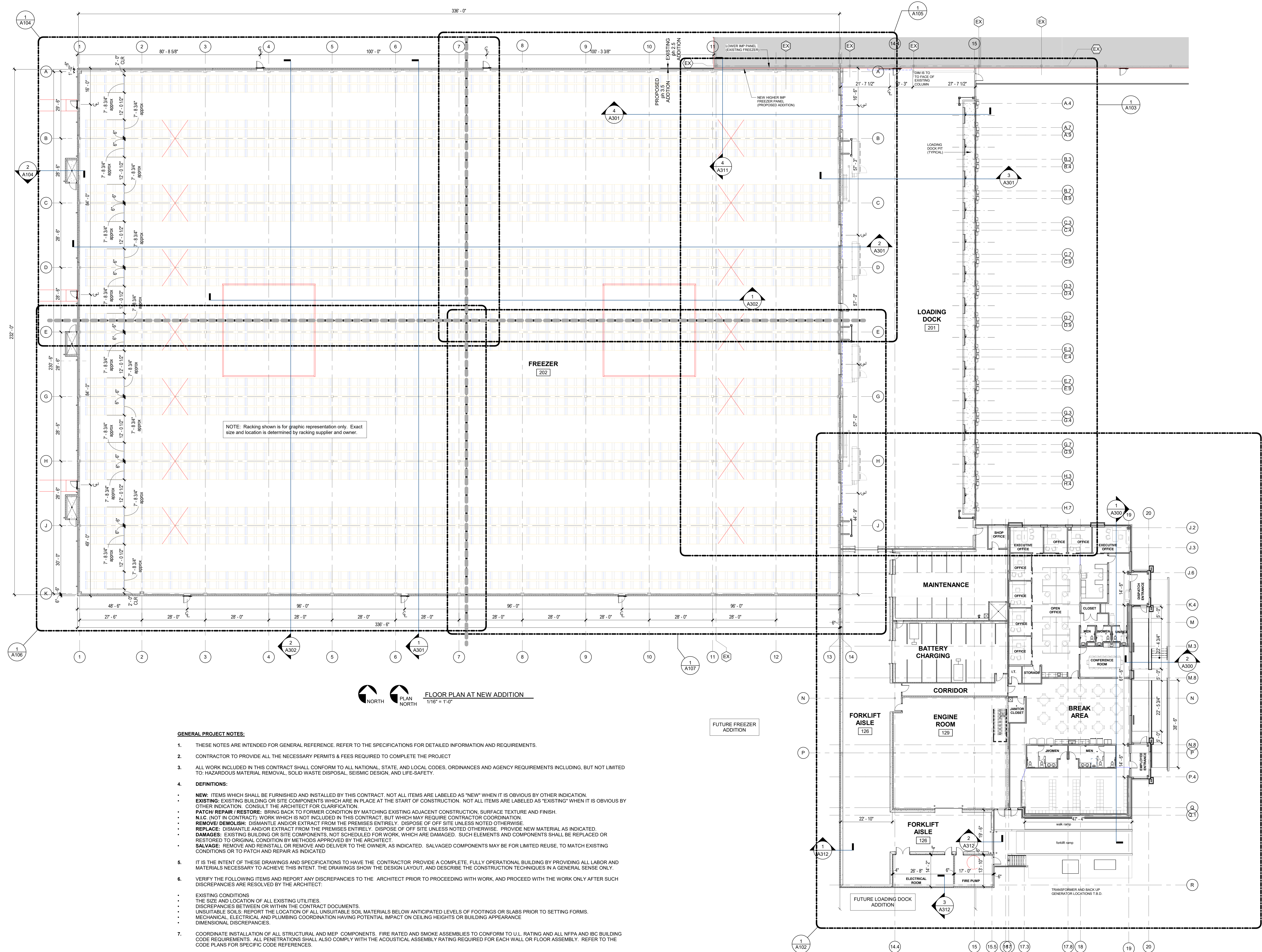
DRAWN BY: jet

PROJECT #: 0166019

A101

SHEET TITLE

FIRST FLOOR PLAN



GENERAL PROJECT NOTES:

- THESE NOTES ARE INTENDED FOR GENERAL REFERENCE. REFER TO THE SPECIFICATIONS FOR DETAILED INFORMATION AND REQUIREMENTS.
- CONTRACTOR TO PROVIDE ALL THE NECESSARY PERMITS & FEES REQUIRED TO COMPLETE THE PROJECT
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES, ORDINANCES AND AGENCY REQUIREMENTS INCLUDING, BUT NOT LIMITED TO: HAZARDOUS MATERIAL REMOVAL, SOLID WASTE DISPOSAL, SEISMIC DESIGN, AND LIFE-SAFETY.
- DEFINITIONS:**
 - NEW:** ITEMS WHICH SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACT. NOT ALL ITEMS ARE LABELED AS "NEW" WHEN IT IS OBVIOUS BY OTHER INDICATION.
 - EXISTING:** EXISTING BUILDING OR SITE COMPONENTS WHICH ARE IN PLACE AT THE START OF CONSTRUCTION. NOT ALL ITEMS ARE LABELED AS "EXISTING" WHEN IT IS OBVIOUS BY OTHER INDICATION. CONSULT THE ARCHITECT FOR CLARIFICATION.
 - PATCH REPAIR / RESTORE:** BRING BACK TO FORMER CONDITION BY MATCHING EXISTING ADJACENT CONSTRUCTION, SURFACE TEXTURE AND FINISH.
 - N.I.C. (NOT IN CONTRACT):** WORK WHICH IS NOT INCLUDED IN THIS CONTRACT, BUT WHICH MAY REQUIRE CONTRACTOR COORDINATION.
 - REMOVE/ DEMOLISH:** DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF SITE UNLESS NOTED OTHERWISE.
 - REPLACE:** DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF SITE UNLESS NOTED OTHERWISE. PROVIDE NEW MATERIAL AS INDICATED.
 - DAMAGES:** EXISTING BUILDING OR SITE COMPONENTS, NOT SCHEDULED FOR WORK, WHICH ARE DAMAGED. SUCH ELEMENTS AND COMPONENTS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION BY METHODS APPROVED BY THE ARCHITECT.
 - SALVAGE:** REMOVE AND REINSTALL OR REMOVE AND DELIVER TO THE OWNER, AS INDICATED. SALVAGED COMPONENTS MAY BE FOR LIMITED REUSE, TO MATCH EXISTING CONDITIONS OR TO PATCH AND REPAIR AS INDICATED.
- IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO HAVE THE CONTRACTOR PROVIDE A COMPLETE, FULLY OPERATIONAL BUILDING BY PROVIDING ALL LABOR AND MATERIALS NECESSARY TO ACHIEVE THIS INTENT. THE DRAWINGS SHOW THE DESIGN LAYOUT, AND DESCRIBE THE CONSTRUCTION TECHNIQUES IN A GENERAL SENSE ONLY. VERIFY THE FOLLOWING ITEMS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK, AND PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT:
 - EXISTING CONDITIONS
 - THE SIZE AND LOCATION OF ALL EXISTING UTILITIES
 - DISCREPANCIES BETWEEN OR WITHIN THE CONTRACT DOCUMENTS
 - UNSATURABLE SOILS: REPORT THE LOCATION OF ALL UNSATURABLE SOIL MATERIALS BELOW ANTICIPATED LEVELS OF FOOTINGS OR SLABS PRIOR TO SETTING FORMS.
 - MECHANICAL, ELECTRICAL AND PLUMBING COORDINATION HAVING POTENTIAL IMPACT ON CEILING HEIGHTS OR BUILDING APPEARANCE
 - DIMENSIONAL DISCREPANCIES
- COORDINATE INSTALLATION OF ALL STRUCTURAL AND MEP COMPONENTS. FIRE RATED AND SMOKE ASSEMBLIES TO CONFORM TO U.L. RATING AND ALL NFPA AND IBC BUILDING CODE REQUIREMENTS. ALL PENETRATIONS SHALL ALSO COMPLY WITH THE ACOUSTICAL ASSEMBLY RATING REQUIRED FOR EACH WALL OR FLOOR ASSEMBLY. REFER TO THE CODE PLANS FOR SPECIFIC CODE REFERENCES.
- DO NOT PENETRATE STRUCTURAL BEAMS, COLUMNS, OR SHEAR WALLS UNLESS SPECIFICALLY DETAILED OTHERWISE.
- COORDINATE THE WORK WITH ALL SUBCONTRACTORS.
- PROVIDE WORK HOLES AND ACCESS HOLES TO INSTALL NEW SYSTEMS IN CONCEALED SPACES, AS REQUIRED OR INDICATED.

PRELIMINARY
NOT FOR CONSTRUCTION

STAMPS

PROPOSED ADDITION FOR:
CSW - CALEDONIA (PHASE 3.5)
CALEDONIA, WISCONSIN

ISSUED FOR REVIEW: 03/11/2024

ISSUED FOR BID:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

ISSUED REVISIONS

Revision	Date	Rev. Description
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DRAWN BY: jet

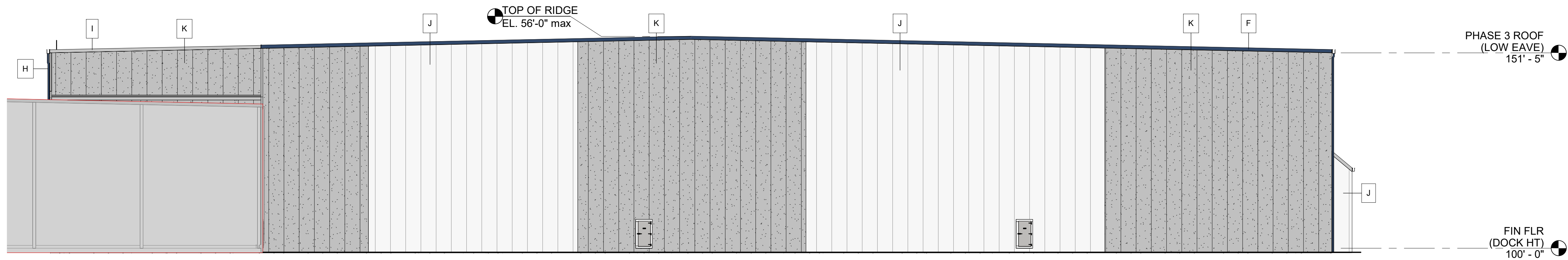
PROJECT #: 0166019

A200

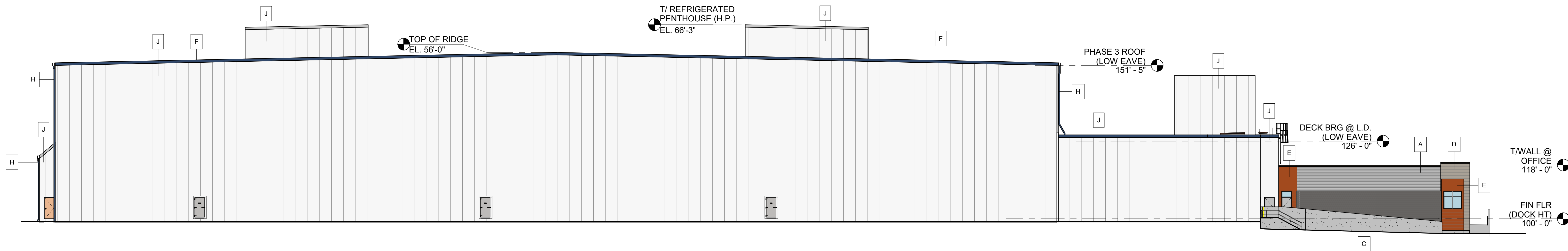
SHEET TITLE

EXTERIOR ELEVATIONS

EXTERIOR MATERIALS SCHEDULE	
A	CORRUGATED METAL PANEL
B	ARCHITECTURAL METAL PANELS - WHITE
C	BRICK VENEER
D	7.2 METAL PANEL DARK GRAY METALLIC
E	LONGBOARD ALUMINUM WALL PANEL
F	STANDING SEAM METAL ROOF
G	PRE-FINISHED METAL GUTTER
H	PRE-FINISHED METAL DOWNSPOUT
I	PRE-FINISHED METAL FASCIA
J	IMP WALL
K	IMP WALL ACCENT COLOR
L	ARCHITECTURAL METAL PANELS - BLUE



NORTH ELEVATION OF ADDITION
1/16" = 1'-0"



SOUTH ELEVATION OF ADDITION
1/16" = 1'-0"



WEST ELEVATION OF ADDITION
1/16" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

STAMPS

PROPOSED ADDITION FOR:

CSW - CALEDONIA (PHASE 3.5)

CALEDONIA, WISCONSIN

ISSUED FOR REVIEW: 03/11/2024

ISSUED FOR BID:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

ISSUED REVISIONS

Revision	Date	Rev. Description
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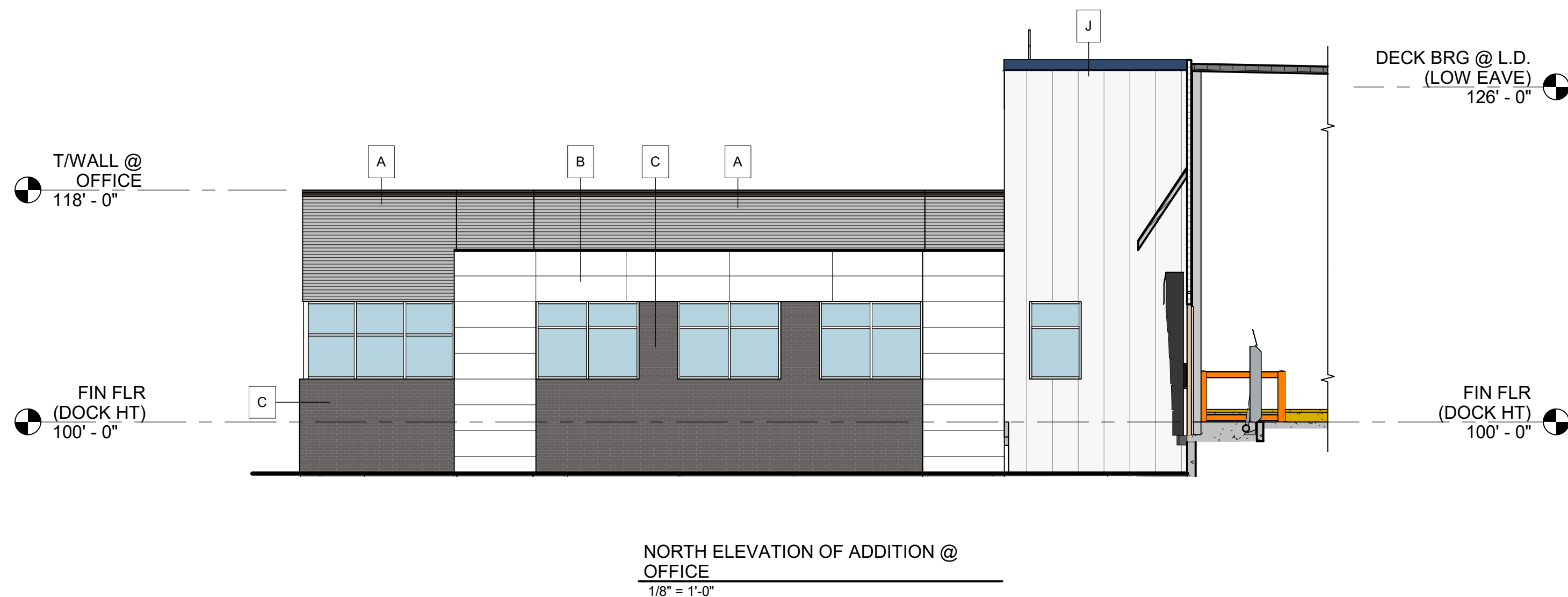
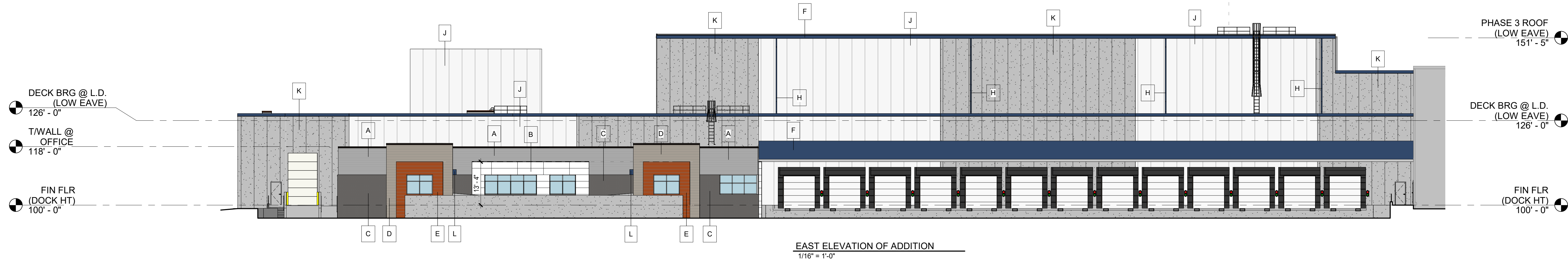
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PROJECT #: 0166019

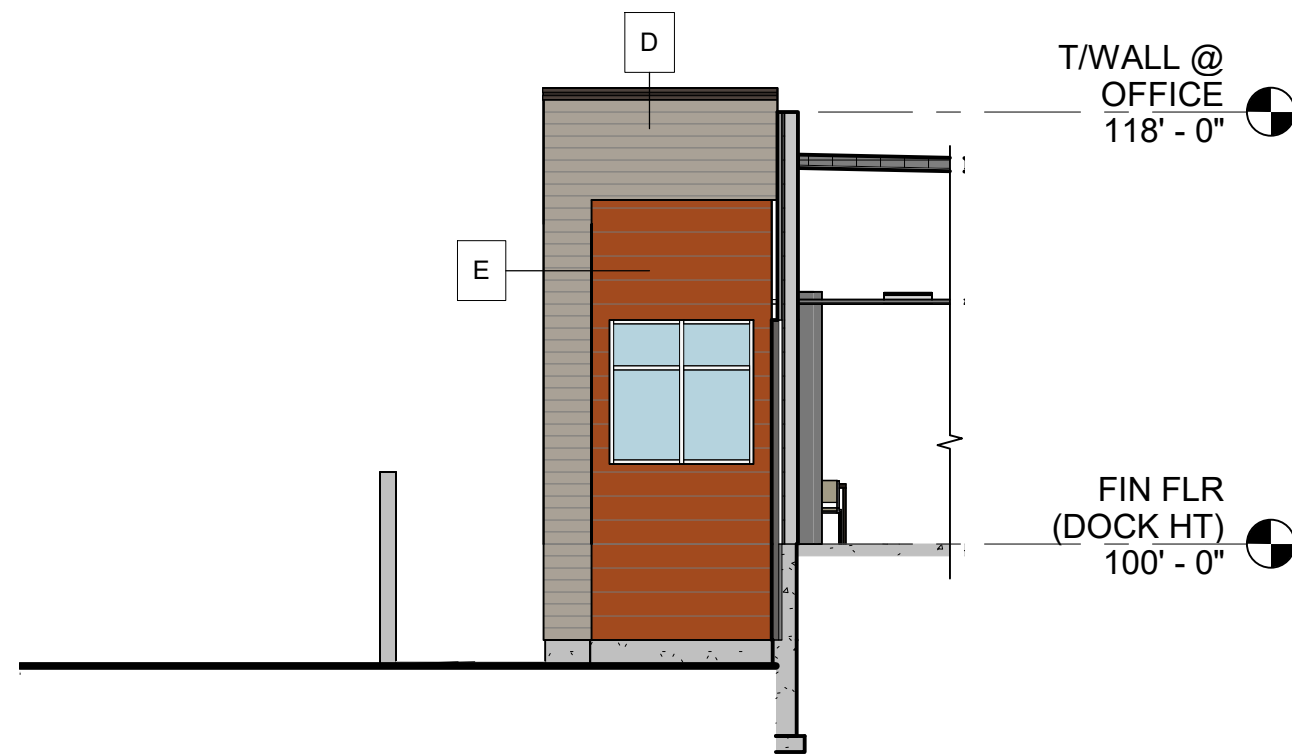
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SHEET TITLE

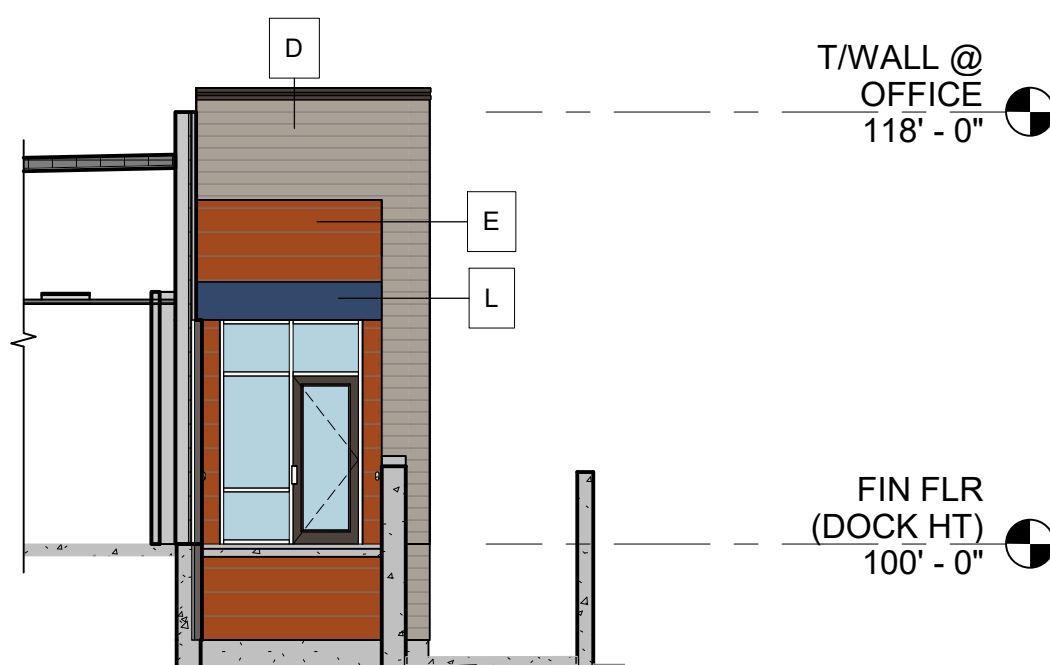
EXTERIOR ELEVATIONS



NORTH ELEVATION OF ADDITION @ OFFICE
1/8" = 1'-0"



NORTH ELEVATION OF NORTH ENTRANCE @ OFFICE
1/8" = 1'-0"



SOUTH ELEVATION OF NORTH ENTRANCE @ OFFICE
1/8" = 1'-0"



NOTE: PICTURE OF EXISTING CSW OFFICE BUILDING INCLUDED FOR EXTERIOR MATERIAL MATCH REFERENCE ONLY.

EXTERIOR MATERIALS SCHEDULE

A	CORRUGATED METAL PANEL
B	ARCHITECTURAL METAL PANELS - WHITE
C	BRICK VENEER
D	7.2 METAL PANEL DARK GRAY METALLIC
E	LONGBOARD ALUMINUM WALL PANEL
F	STANDING SEAM METAL ROOF
G	PRE-FINISHED METAL GUTTER
H	PRE-FINISHED METAL DOWNSPOUT
I	PRE-FINISHED METAL FASCIA
J	IMP WALL
K	IMP WALL ACCENT COLOR
L	ARCHITECTURAL METAL PANELS - BLUE



PRELIMINARY
NOT FOR CONSTRUCTION



To: Tony Bulkelman – Village of Caledonia
From: Todd G. Mueller
Date: March 11, 2024
Subject: CSW Expansion 3.5 Stormwater Memorandum

The following is a short summary detailing the CSW 3.5 Expansion site compliance with the approved overall Stormwater Management Plan for the DeBack Farms Business Park, dated 10/26/2016.

Stormwater Management

Phase 3.5 of this site has been designed to comply in its entirety with the approved Stormwater Management Plan for the DeBack Farms Business Park, dated 10/26/2016. The master plan for this campus was designed for an impervious (85%) to pervious (15%) ratio to allow for an overall curve number of 94 (refer to page 6 of the approved Stormwater Management Report).

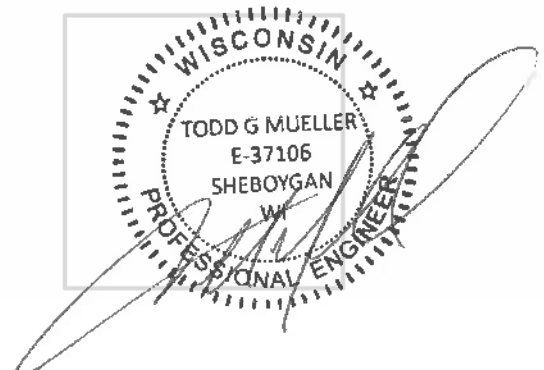
This site is designed to flow into Pond 7 which adheres to the overall park stormwater plan. Accommodations are being made to maintain the drainage patterns of the mass graded areas to adhere with the previous stormwater memo approved for DeBack Farms – Phase II dated 8/26/2021 as well. A drainage basin delineation and impervious area exhibit have been included with this memorandum.

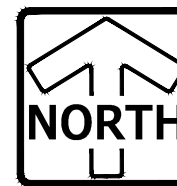
SITE AREAS

Area	Site Area (SF)	Approved Values	Remaining Amounts
Impervious	506,583	799,994	293,411
Pervious	434,586	141,175	-
Totals	941,169	941,169	-
Impervious Ratio	53.8%	85.0%	31.2%

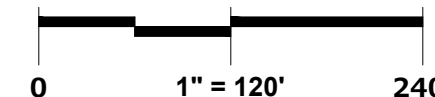
Attachments

- Drainage Basin Exhibit
- Impervious Area Exhibit





GRAPHICAL SCALE (FEET)



TAX KEY
#104-04-22-30-001-000

OWNER:
JOSEPH E. BORZYNSKI
NANCY A. BORZYNSKI

TAX KEY
#104-04-22-30-015-010
OWNER:
JOSEPH F BORZYNSKI

TAX KEY
#104-04-22-30-015-22
SCANNELL
PROPERTIES
#499 LLC

POND 7
NWL = 762.50

**PROPOSED CSW
EXPANSION PHASE 3.5
106,109 SF
FFE: 775.50**

TO POND 7
8.59 ACRES

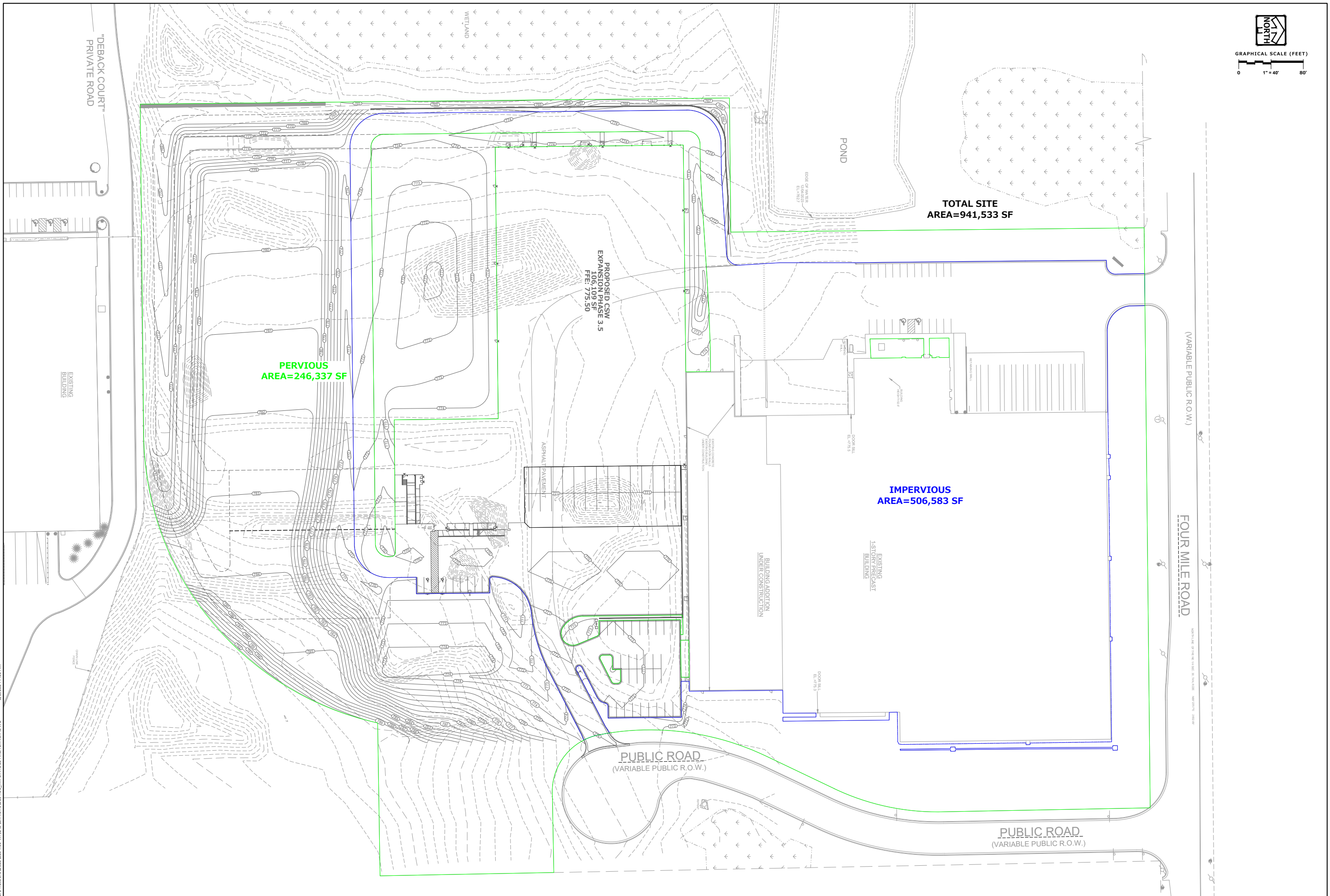
TO WETLAND
0.57 ACRES

TO POND 5
3.63 ACRES

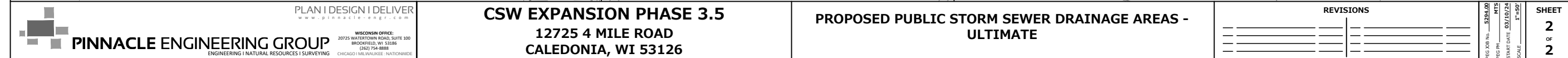
POND 5
NWL = 763.00

OWNER:
SCANNELL PROPERTIES #513, LLC

TAX KEY
#104-04-22-30-015-222



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CSW EXPANSION PHASE 3.5

VILLAGE OF CALEDONIA

PRIVATE STORM SEWER DESIGN CALCS (10-YR)

Designed By **AFH** Date **3/1/2024**
Checked By **TGM** Project # **5294.00**



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DESIGN DATA																		
County: Racine		Design Storm: 100 yr		Storm Duration: 5 min		DESIGN INTENSITY (I): 6.88 in/hr <i>Intensity calculated using SEWRPC IDF equations.</i>												
STRUCTURE DATA			DRAINAGE AREA AND FLOW DATA				PIPE DATA				PIPE CAPACITY INFORMATION					ELEVATIONS		
			Flow is determined by Rational Method Q = CIA								Pipe capacity is determined by Manning's Equation Q = 1.486/n AR ^{2/3} S ^{1/2}							
			Individual Acres A	Individual Coefficient C	Individual Flow Q (cfs)	Cumulative Flow (cfs)					Required Drop (ft)	Actual Drop (ft)	Percent Full (%)	Actual Velocity (fps)	Max. Capacity (cfs)			
Notes	Upstream Structure	Downstream Structure					Length (ft)	Diameter (in)	Slope (%)	Manning Coefficient						Rim/Toc Up	Invert Up	Invert Down
	13.01	13.00	0.58	0.90	3.56	3.56	129.5	12	1.04	0.011	0.93	1.35	74%	6.11	4.62	771.33	768.15	766.80
	12.01	12.00	0.60	0.90	3.72	3.72	129.5	12	1.04	0.011	1.01	1.35	77%	6.15	4.62	771.33	768.15	766.80
	11.01	11.00	0.42	0.90	2.62	2.62	41.1	10	1.04	0.011	0.42	0.43	87%	5.52	2.84	771.33	768.15	767.72
	25.02	25.12	0.05	0.90	0.28	0.28	9.6	6	1.04	0.011	0.02	0.10	43%	3.28	0.73	774.42	771.75	771.65
	25.01	25.00	0.13	0.90	0.79	0.79	9.6	6	2.08	0.011	0.14	0.20	74%	5.44	1.03	774.42	771.75	771.55
	3.01	3.11	0.12	0.90	0.72	0.72	9.6	6	2.08	0.011	0.11	0.20	96%	3.85	0.73	774.42	771.75	771.55
	24.05	24.15	0.08	0.90	0.48	0.48	9.6	6	1.04	0.011	0.05	0.10	66%	3.74	0.73	774.42	771.75	771.65
	24.04	24.14	0.09	0.90	0.54	0.54	9.6	6	1.04	0.011	0.06	0.10	72%	3.82	0.73	774.42	771.75	771.65
	24.03	24.13	0.09	0.90	0.54	0.54	9.6	6	1.04	0.011	0.06	0.10	72%	3.82	0.73	774.42	771.75	771.65
	24.02	24.12	0.08	0.90	0.48	0.48	9.6	6	1.04	0.011	0.05	0.10	66%	3.74	0.73	774.42	771.75	771.65
	24.01	24.00	0.09	0.90	0.54	0.54	9.6	6	1.04	0.011	0.06	0.10	72%	3.82	0.73	774.42	771.75	771.65
	2.03	2.13	0.08	0.90	0.48	0.48	9.6	6	1.04	0.011	0.05	0.10	66%	3.74	0.73	774.42	771.75	771.65
	2.02	2.12	0.07	0.90	0.42	0.42	9.6	6	1.04	0.011	0.04	0.10	59%	3.63	0.73	774.42	771.75	771.65
	2.01	2.11	0.05	0.90	0.33	0.33	9.6	6	1.04	0.011	0.02	0.10	50%	3.43	0.73	774.42	771.75	771.65



PRIVATE STORM SEWER DESIGN CALCS (100-YR)



PINNACLE
ENGINEERING GROUP

Checked By **TGM** Project # **5294.00**

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VILLAGE OF CALEDONIA

Designed By **AFH** Date **3/1/2024**

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VILLAGE OF CALEDONIA

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VILLAGE OF CALEDONIA

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STORM SEW



VILLAGE OF CALEDONIA

Designed By **AFH** Date **3/1/2024**

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ER



VILLAGE OF CALEDONIA

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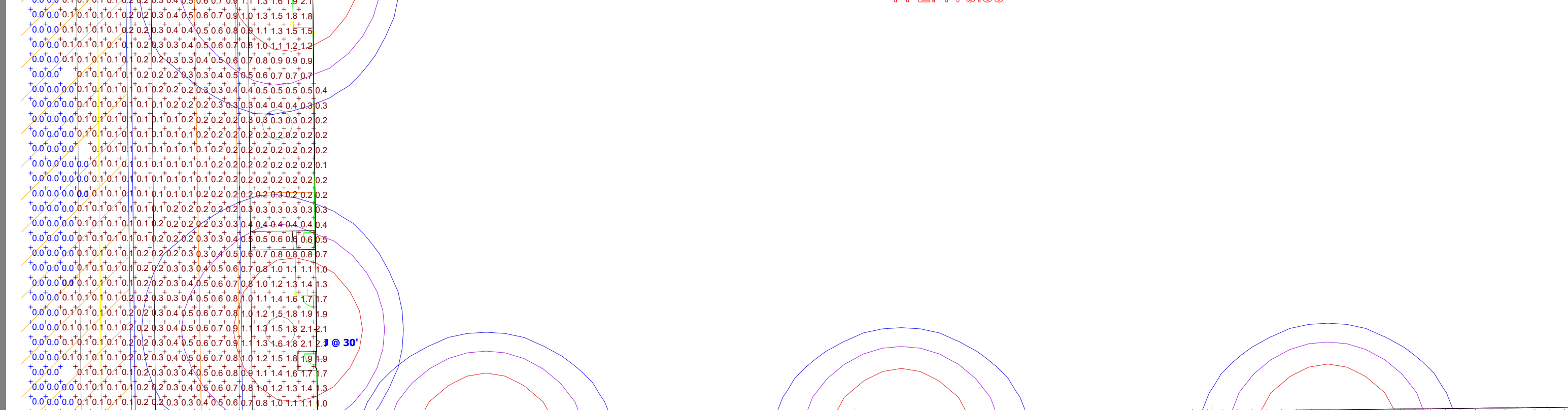
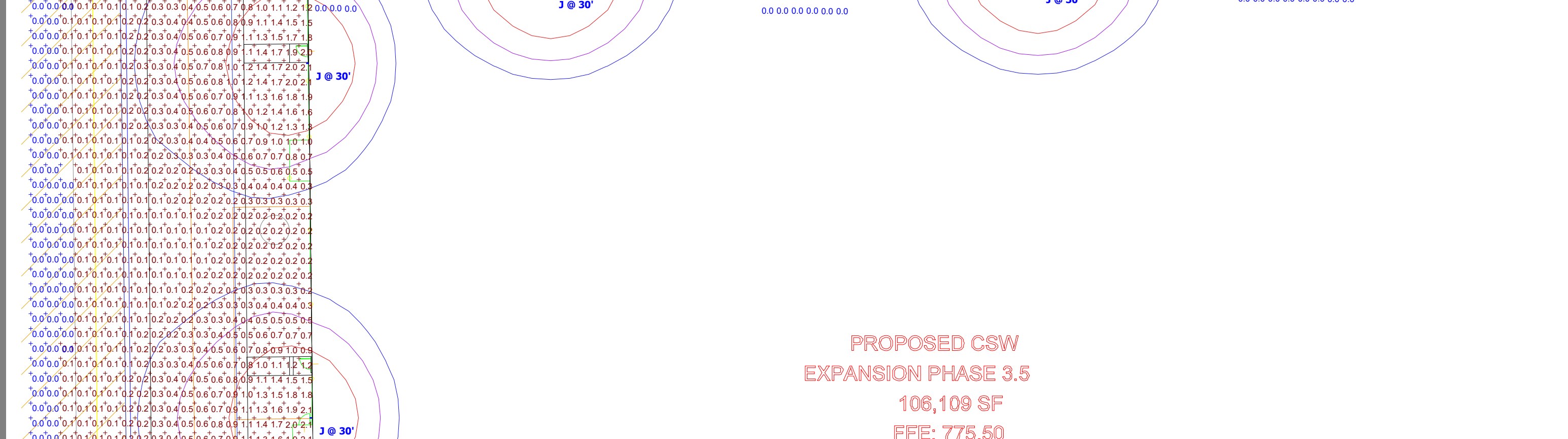
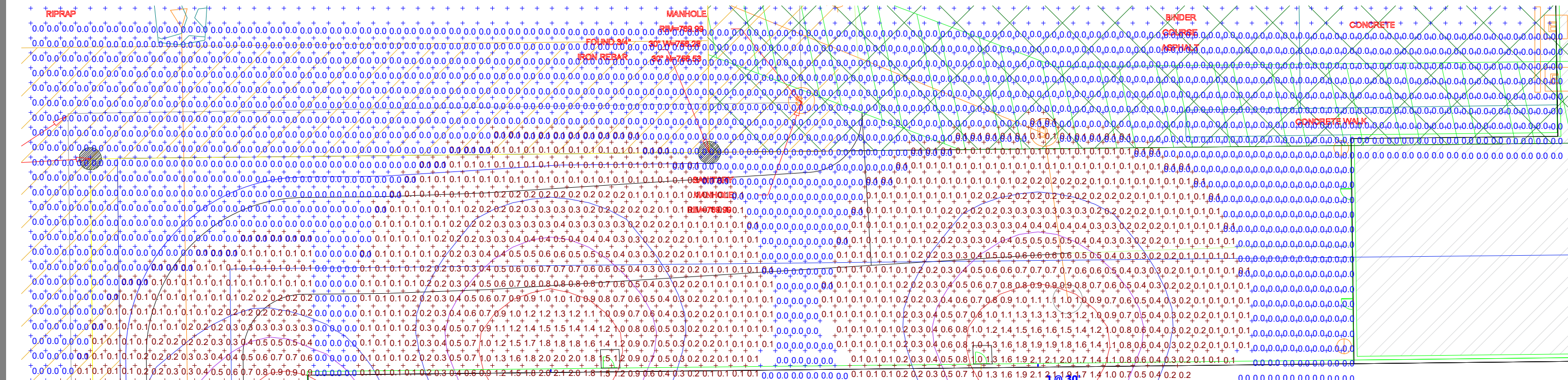


VILLAGE OF CALEDONIA

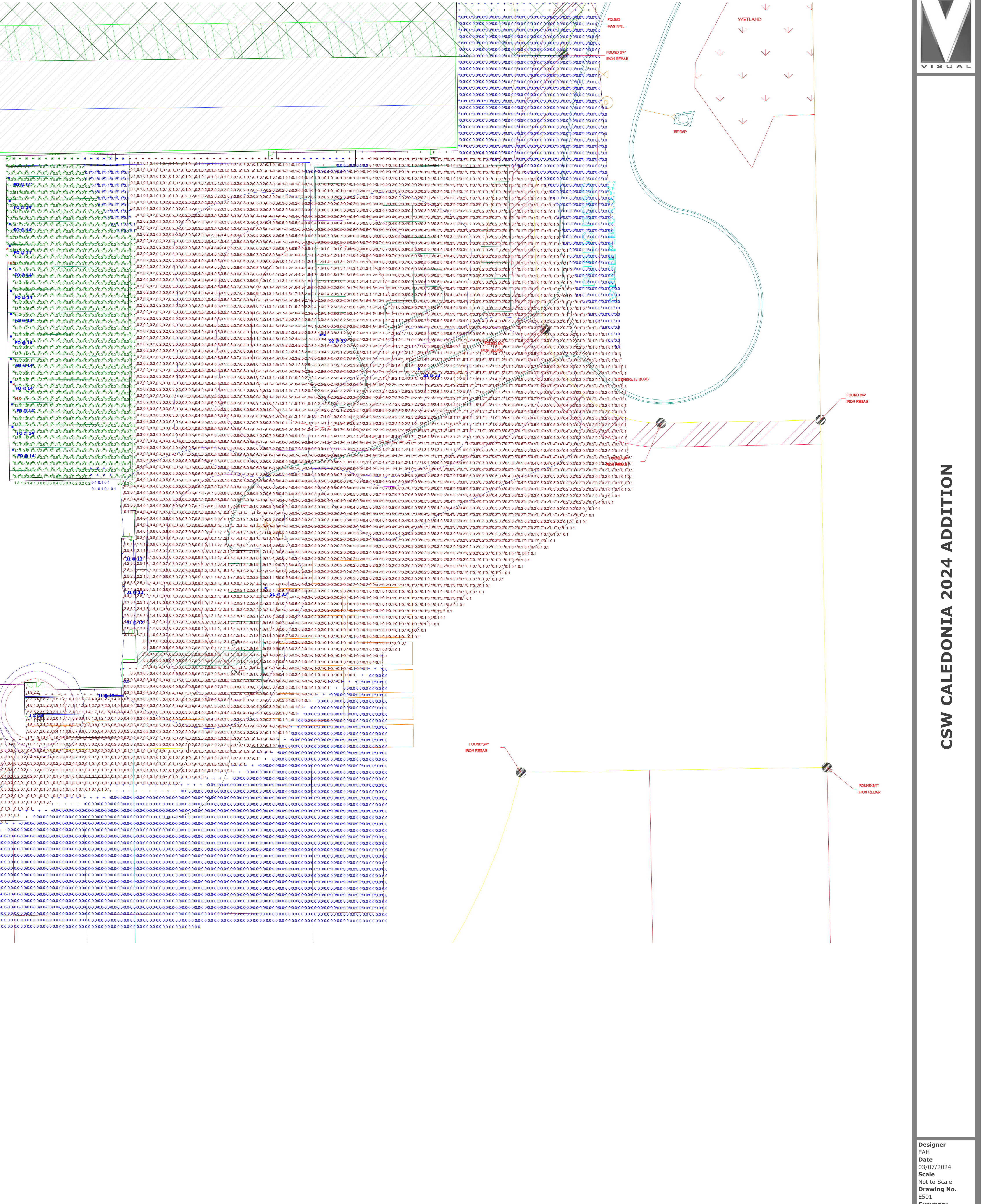
Designed By **AFH** Date **3/1/2024**

Checked By	TGM	Project #	5294.00
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Description									
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Lamp Output	Intensity Multiplier	LLF
FO	FO		13	TC		CPAS0150	4203	1	0.9
J	J		4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	XTOR4R-W	CROSSTOUR 38W WALL MOUNT LED	4203	1	0.9
J1	J1		4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	XTOR1R-W	CROSSTOUR 12W WALL MOUNT LED	1396	1	0.9
S1	S1		2	COOPER LIGHTING SOLUTIONS - MGRW-EDISON (FORMERLY EATON)	GALN-544A-740-U-S-64	GALLEON AREA AND ROADWAY LUMINAIRE (4' 70 CRI, 4000K, 115W LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS	276	1	0.9
S2	S2		1	COOPER LIGHTING SOLUTIONS - MGRW-EDISON (FORMERLY EATON)	GALN-544A-740-U-S-64	GALLEON AREA AND ROADWAY LUMINAIRE (4' 70 CRI, 4000K, 115W LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS	276	1	0.9



CSW CALEDONIA 2024 ADDITION

MEMORANDUM

Date: March 19, 2024

To: Plan Commission
Village Board

From: Ryan Schmidt, P.E.
Village Engineer



Re: **Condominium Plat – Waters Edge Place Condominiums
NE ¼ of Section 21, T4N, R23E; Village of Caledonia, Racine County, WI
Parcel ID's: 51-104-04-23-21-003-020, 51-104-04-23-21-003-010, 51-104-04-23-21-003-030**

Recommended Motion:

Move to recommend approval of the Final Condominium Plat for Water's Edge Place Condominiums subject to the 12 conditions listed in the Village Engineers Memo dated March 19, 2024.

BACKGROUND

The Planning and Engineering Department have received a Final Condominium Plat for Water's Edge Place Condominiums from Cardinal Capital Management, Inc. The property is owned by CCM-Caledonia, LLC. The proposed condominium is located along Waters Edge Drive (where Erie Street ends) just south of the new 5 Mile Road and north of the Siena Center along the east side of the road. The property is currently in 3 parcels per CSM 3464 (5915, 5959, and 5945 Erie Street). The proposed Condominium Plat has been included as **Exhibit A**.

Water's Edge Place Condominiums propose a total of 93 units and a clubhouse on a parcel 17.79 acres (to the meander line) in size. The Final Condominium Plat as presented proposes the first 10 units and Clubhouse. Civil Engineering construction plans and a SWMP have been submitted and approved by Village Staff for the overall site and utility installations. Some portions of the site plan will be required to be submitted again for final approval prior to the issuance of permits and future Condominium Plat approval of additional phases, which have been labeled as Expansion Lands. Individual site grading plans will be required for each unit to be reviewed and approved for Building Permits.

The Developer is required to allow public access to the trail around the condo development per the Development Agreement. This has been shown on the Final Condo Plat and a separate exhibit has been provided for review. Additional sanitary sewer easements will be required and a condition of approval for future plat approvals at each

phase. A CSM combining the 3 parcels has been approved by the Village Board and Plan Commission and is in the process of being reviewed by staff for final recording.

Access for the Sister's of St Dominic has been shown and shall be provided upon completion of the project and as part of the Development Agreement. A temporary access easement and road is in place now to handle the traffic, however, upon future phases of development, the temporary access will transfer to the private road system constructed by the developer. A dedicated exhibit has been provided for Village Staff to review.

A wetland delineation was performed as part of CSM 3464 and was completed in 2020. The wetlands appear to conform with the Wisconsin DNR Surface Water Data Viewer. The Developer shall acquire any permits from the DNR or Army Corps of Engineers for work with the wetlands and the Lake Michigan Bluff.

The applicant shall submit for review and approval by the Village all organizational documents for the condominium and its association(s), including but not limited to the Declaration of Condominium, Declaration of Condominium Restrictive Covenants, Condominium Association Bylaws, and other operational documents.

Conditions of approval for the Condominium Plat shall continue the obligation of Cardinal Capital Management to reimburse the Village for continuing costs per the Development Agreement, Resolution No. 2020-19, and Resolution No. 2023-82. Per Item 20 of Resolution 2023-12 and the Planned Unit Development Conditions and Restrictions, the "applicant shall reimburse the Village all costs incurred by the Village for review of this rezoning and PUD Planned Unit Development Overlay District approval including but not limited to engineering, legal, and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements."

A Modification Waiver waiving the need for Conservation Easements on the property were approved with the Preliminary Condominium Plat Approval at the January Plan Commission Meeting and February 13, 2024, Village Board Meeting. A stewardship plan is still required to be submitted for review and approval by Village Staff as the Common Open Space was determined to be over 40%.

Village Staff have reviewed the Condominium Plat for Water Edge Place Condominiums and recommend approval subject to the conditions listed below.

RECOMMENDATION

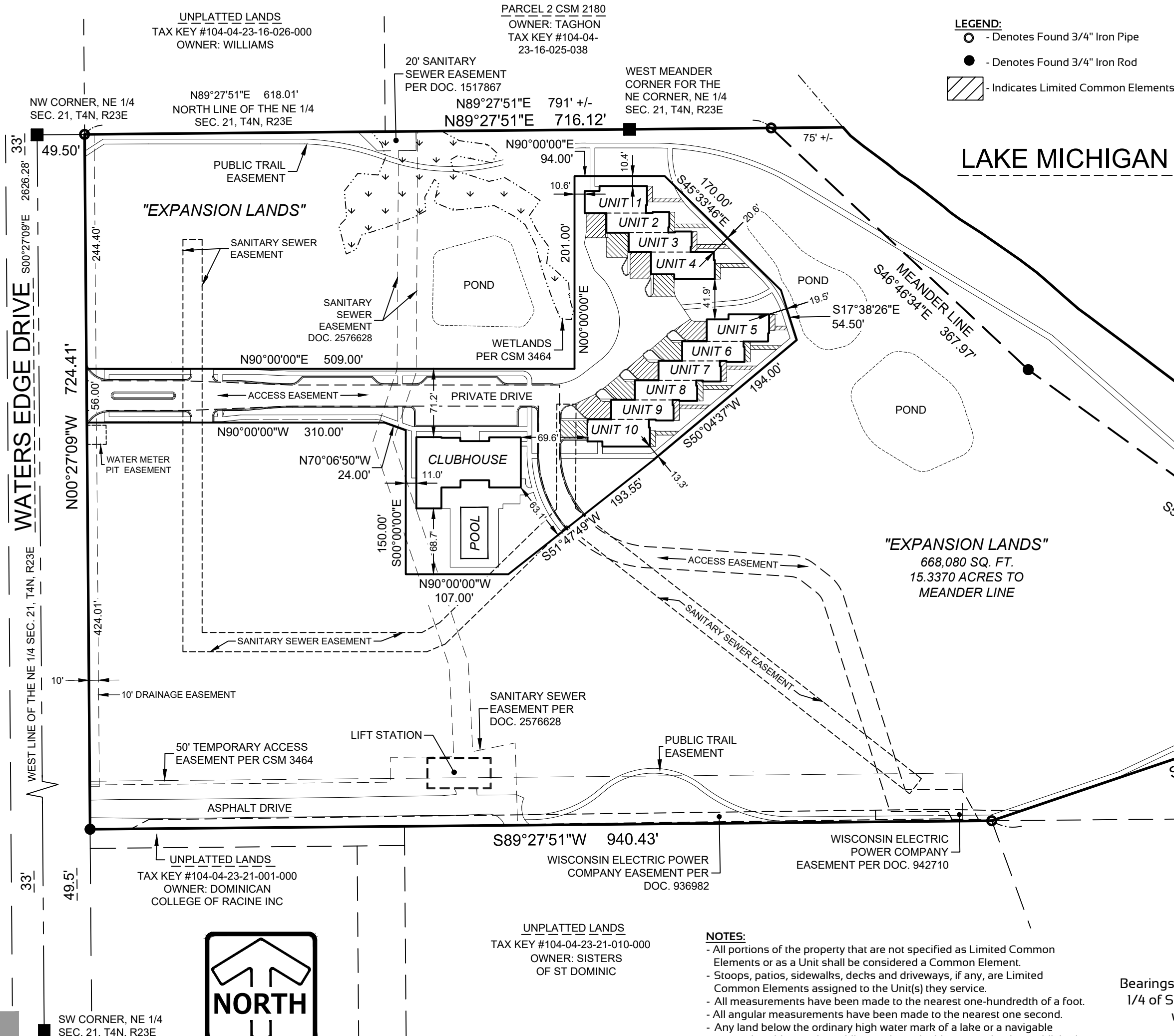
Move to recommend approval of the Condominium Plat for Waters Edge Place Condominiums subject to the following conditions:

- 1. CCM, Inc. shall reimburse the Village for all continuing costs and comply with all requirements of the Development Agreement, Resolution No. 2020-19, Resolution 2023-12 and Resolution No. 2023-82.**
- 2. Submit for review and approval by the Village all organizational documents for the condominium and its association(s), including but not limited to the**

Declaration of Condominium, Restrictive Covenants, Bylaws, and other operational documents.

- 3. Submit for review and approval by the Village a Stewardship Plan for Open Space Areas.**
- 4. Final Plat shall be submitted, approved, and recorded prior to the issuance of building permits.**
- 5. Construction Plan Details for the retaining wall and boardwalk shall be submitted for approval by the Village prior to the construction of those phases in the development.**
- 6. Stormwater Pond Easements shall be recorded as separate documents and the developer shall provide exhibits and legal descriptions.**
- 7. All sewer and water extensions shall be reviewed and approved by the necessary agencies (DNR, Caledonia Utility District, Racine Wastewater).**
- 8. Public Access is granted to for the trail system around the development and labeled on the CSM and the Final Condominium Plat. The Property Owner, its successors and assigns including the Condominium Association to be created, shall be required to maintain the trail system in perpetuity.**
- 9. Prior to the construction of any infrastructure or earthmoving activities, the Developer shall obtain (or extend) a Land Disturbance Permit from the Village of Caledonia and any other Federal, State or County permits as required (i.e DNR NOI, Army Corps, etc).**
- 10. All Village Owned infrastructure shall be inspected during installation by Village/Utility District inspectors/observers.**
- 11. Final As-builts for all infrastructure shall be prepared, submitted, reviewed, and approved prior to the release of any building permits.**
- 12. The proposed Condominium Plat must conform to all Ordinances in Title 9, 14, and 18 as necessary.**





LEGEND:
○ - Denotes Found 3/4" Iron Pipe
● - Denotes Found 3/4" Iron Rod
▨ - Indicates Limited Common Elements


CONDOMINIUM PLAT OF WATERS EDGE PLACE

Being a part of the Northwest 1/4 of the Fractional
Northeast 1/4 of Section 21, Township 4 North, Range
23 East, Village of Caledonia, Racine County, Wisconsin

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify that I have
surveyed and mapped the lands shown and described hereon and that this is a
true and correct representation of WATERS EDGE PLACE, a condominium and
that the identification and location of each unit and the common elements can be
determined from this plat.

SIGNED  **MARCH 6, 2024**
JOHN P. KONOPACKI, PROFESSIONAL LAND SURVEYOR S-2461



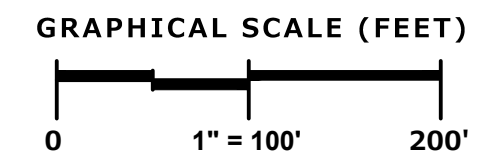
Prepared for:
CCM-CALEDONIA LLC
901 S 70TH STREET
WEST ALLIS, WI 53214

Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD I SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

REGISTER OF DEEDS

NOTES:
- All portions of the property that are not specified as Limited Common
Elements or as a Unit shall be considered a Common Element.
- Stoops, patios, sidewalks, decks and driveways, if any, are Limited
Common Elements assigned to the Unit(s) they service.
- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- Any land below the ordinary high water mark of a lake or a navigable
stream is subject to the public trust in navigable waters that is established
under article IX, section 1, of the state constitution.
- The Condominium Plat of Waters Edge Place shall have a total of 93 Units.
- Units filled greater than 3 feet may require additional courses in the
foundations to reach suitable soil. Will need to provide a soil compaction
certification for the areas of greater than 3 feet of fill.

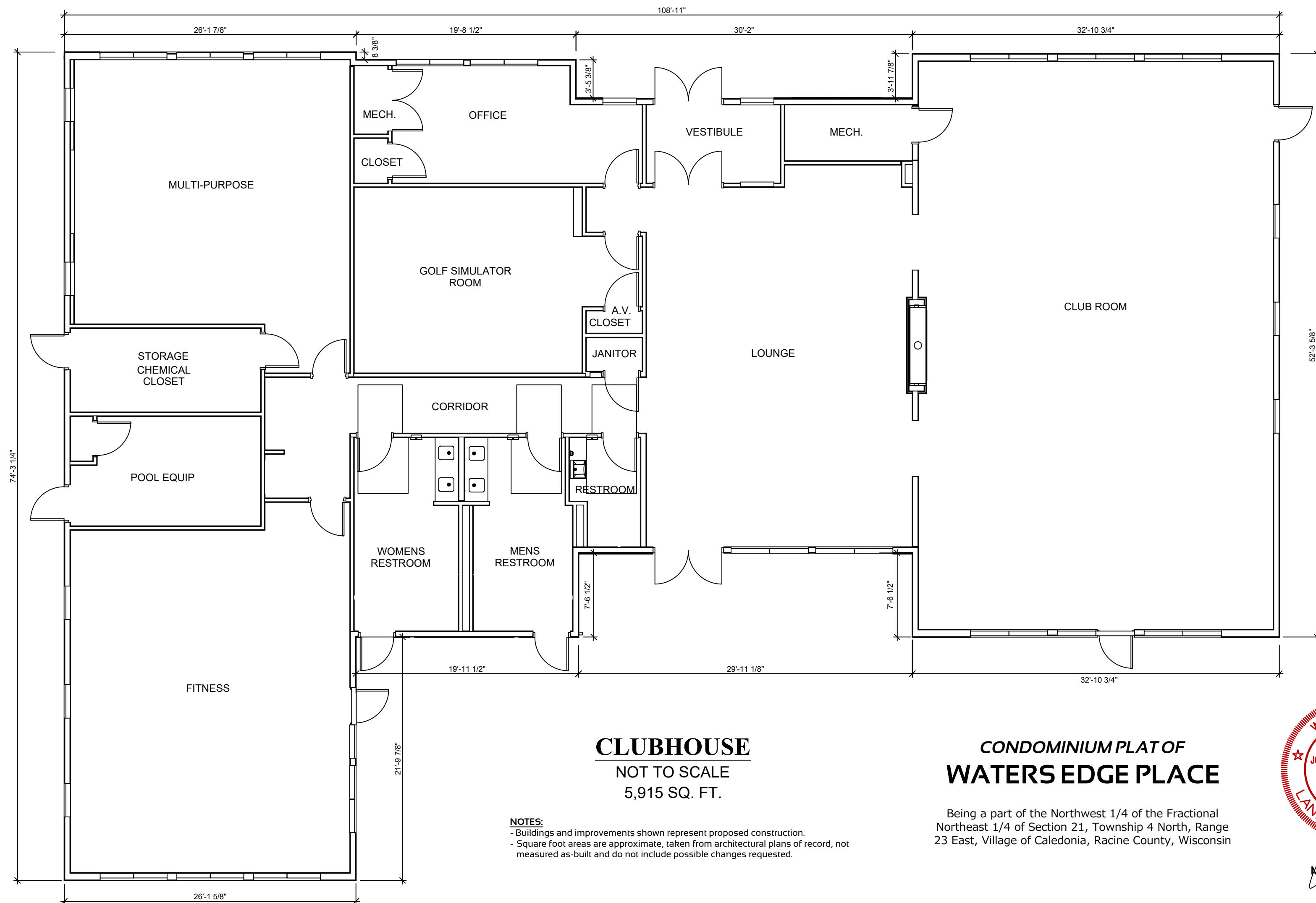
Bearings referenced to the west line of the Northeast
1/4 of Section 21, Township 4 North, Range 23 East
which has a bearing of S00°27'09"E



DRAFTED BY: ST
PEG JOB#2145.00
SHEET 1 OF 8

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461
PINNACLE ENGINEERING GROUP

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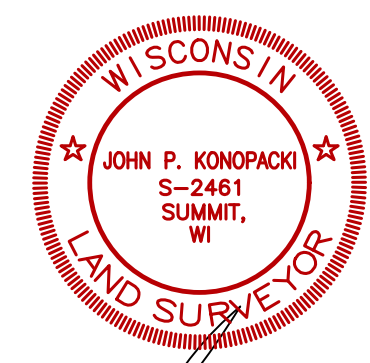


CLUBHOUSE
NOT TO SCALE
5,915 SQ. FT.

NOTES:
- Buildings and improvements shown represent proposed construction.
- Square foot areas are approximate, taken from architectural plans of record, not measured as-built and do not include possible changes requested.

**CONDOMINIUM PLAT OF
WATERS EDGE PLACE**

Being a part of the Northwest 1/4 of the Fractional
Northeast 1/4 of Section 21, Township 4 North, Range
23 East, Village of Caledonia, Racine County, Wisconsin

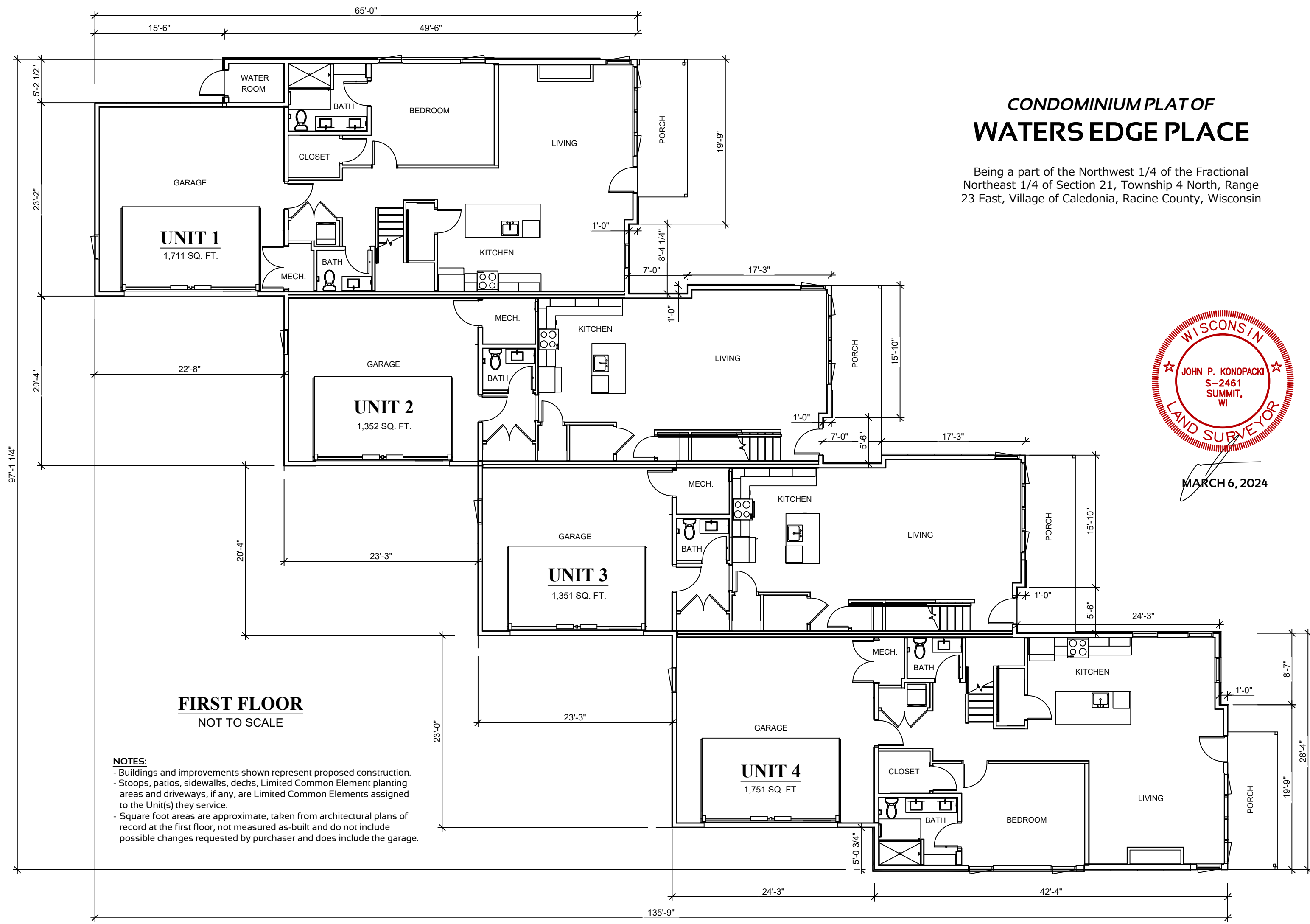


MARCH 6, 2024



PINNACLE ENGINEERING GROUP

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**CONDOMINIUM PLAT OF
WATERS EDGE PLACE**

Being a part of the Northwest 1/4 of the Fractional
Northeast 1/4 of Section 21, Township 4 North, Range
23 East, Village of Caledonia, Racine County, Wisconsin



MARCH 6, 2024

**FIRST FLOOR
NOT TO SCALE**

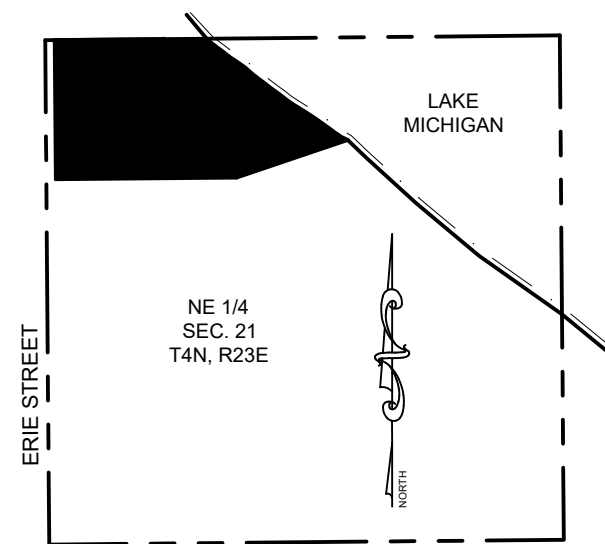
NOTES:
- Buildings and improvements shown represent proposed construction.
- Stoops, patios, sidewalks, decks, Limited Common Element planting areas and driveways, if any, are Limited Common Elements assigned to the Unit(s) they service.
- Square foot areas are approximate, taken from architectural plans of record at the first floor, not measured as-built and do not include possible changes requested by purchaser and does include the garage.



PINNACLE ENGINEERING GROUP

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PEG JOB#2145.00
SHEET 3 OF 8



VICINITY SKETCH
SCALE 1"=1000'

CLUBHOUSE:	5931	Waters Edge Drive, Racine, WI
UNIT 1:	5953 - 01	Waters Edge Drive, Racine, WI
UNIT 2:	5953 - 02	Waters Edge Drive, Racine, WI
UNIT 3:	5953 - 03	Waters Edge Drive, Racine, WI
UNIT 4:	5953 - 04	Waters Edge Drive, Racine, WI
UNIT 5:	5951 - 05	Waters Edge Drive, Racine, WI
UNIT 6:	5951 - 06	Waters Edge Drive, Racine, WI
UNIT 7:	5951 - 07	Waters Edge Drive, Racine, WI
UNIT 8:	5951 - 08	Waters Edge Drive, Racine, WI
UNIT 9:	5951 - 09	Waters Edge Drive, Racine, WI
UNIT 10:	5951 - 10	Waters Edge Drive, Racine, WI

LEGAL DESCRIPTION

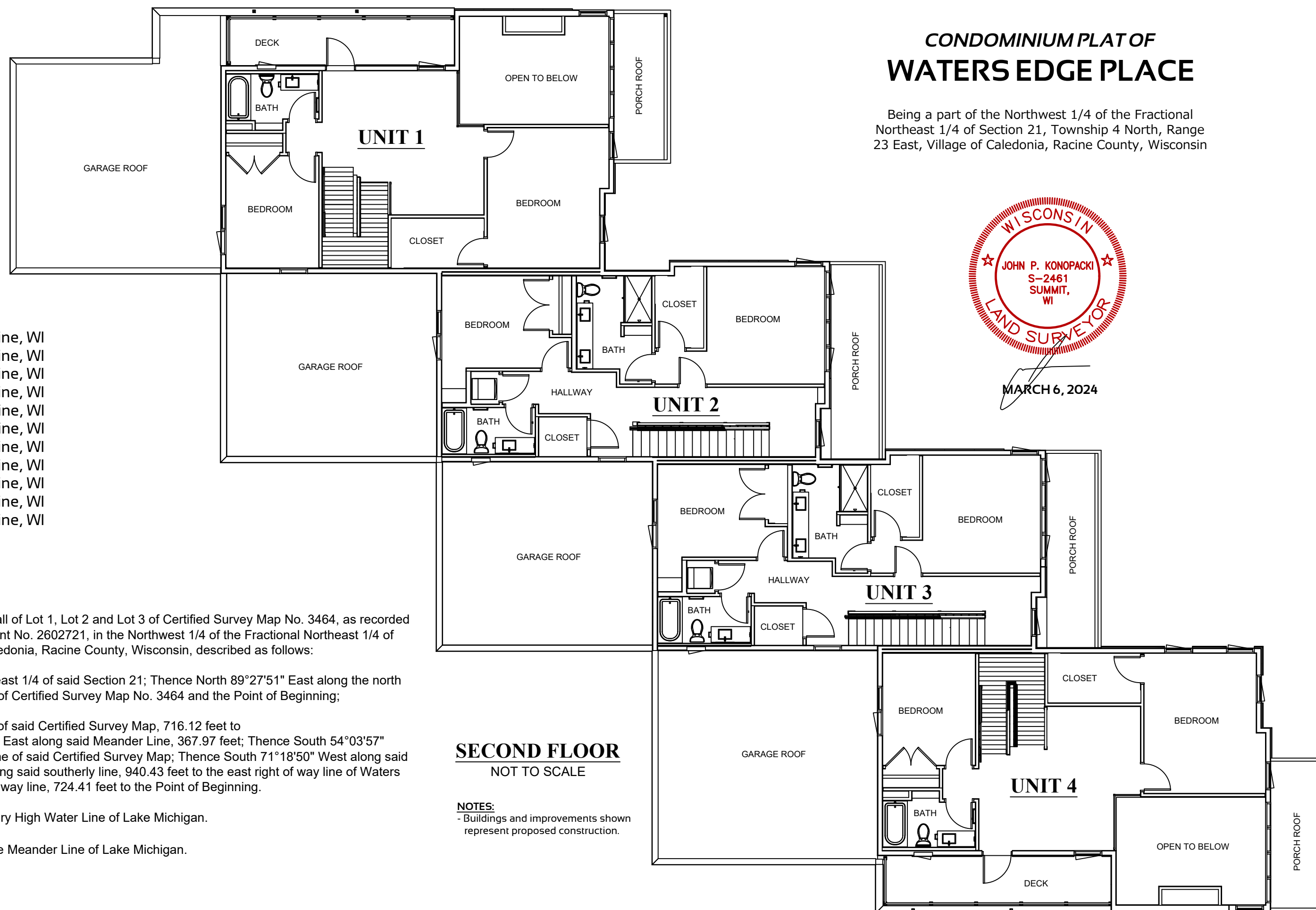
Lot 1 of Certified Survey Map No. _____, being all of Lot 1, Lot 2 and Lot 3 of Certified Survey Map No. 3464, as recorded in the Register of Deeds office for Racine County as Document No. 2602721, in the Northwest 1/4 of the Fractional Northeast 1/4 of Section 21, Township 4 North, Range 23 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

Commencing at the northwest corner of the Fractional Northeast 1/4 of said Section 21; Thence North 89°27'51" East along the north line of said Northeast 1/4, 49.50 feet to the northwest corner of Certified Survey Map No. 3464 and the Point of Beginning;

Thence continuing North 89°27'51" East along the north line of said Certified Survey Map, 716.12 feet to the Meander Line of Lake Michigan; Thence South 46°46'34" East along said Meander Line, 367.97 feet; Thence South 54°03'57" East along said Meander Line, 531.42 feet to the southerly line of said Certified Survey Map; Thence South 71°18'50" West along said southerly line, 494.46 feet; Thence South 89°27'51" West along said southerly line, 940.43 feet to the east right of way line of Waters Edge Drive; Thence North 00°27'09" West along said right of way line, 724.41 feet to the Point of Beginning.

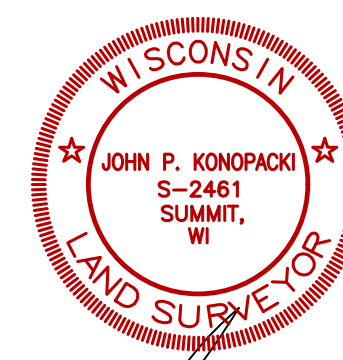
Including that land between the Meander Line and the Ordinary High Water Line of Lake Michigan.

Containing 774,982 square feet (17.7911 acres) of land to the Meander Line of Lake Michigan.



CONDOMINIUM PLAT OF WATERS EDGE PLACE

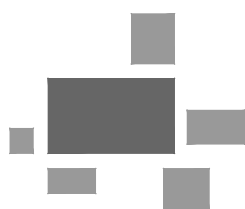
Being a part of the Northwest 1/4 of the Fractional
Northeast 1/4 of Section 21, Township 4 North, Range
23 East, Village of Caledonia, Racine County, Wisconsin



MARCH 6, 2024

SECOND FLOOR NOT TO SCALE

NOTES:
- Buildings and improvements shown
represent proposed construction.



PINNACLE ENGINEERING GROUP

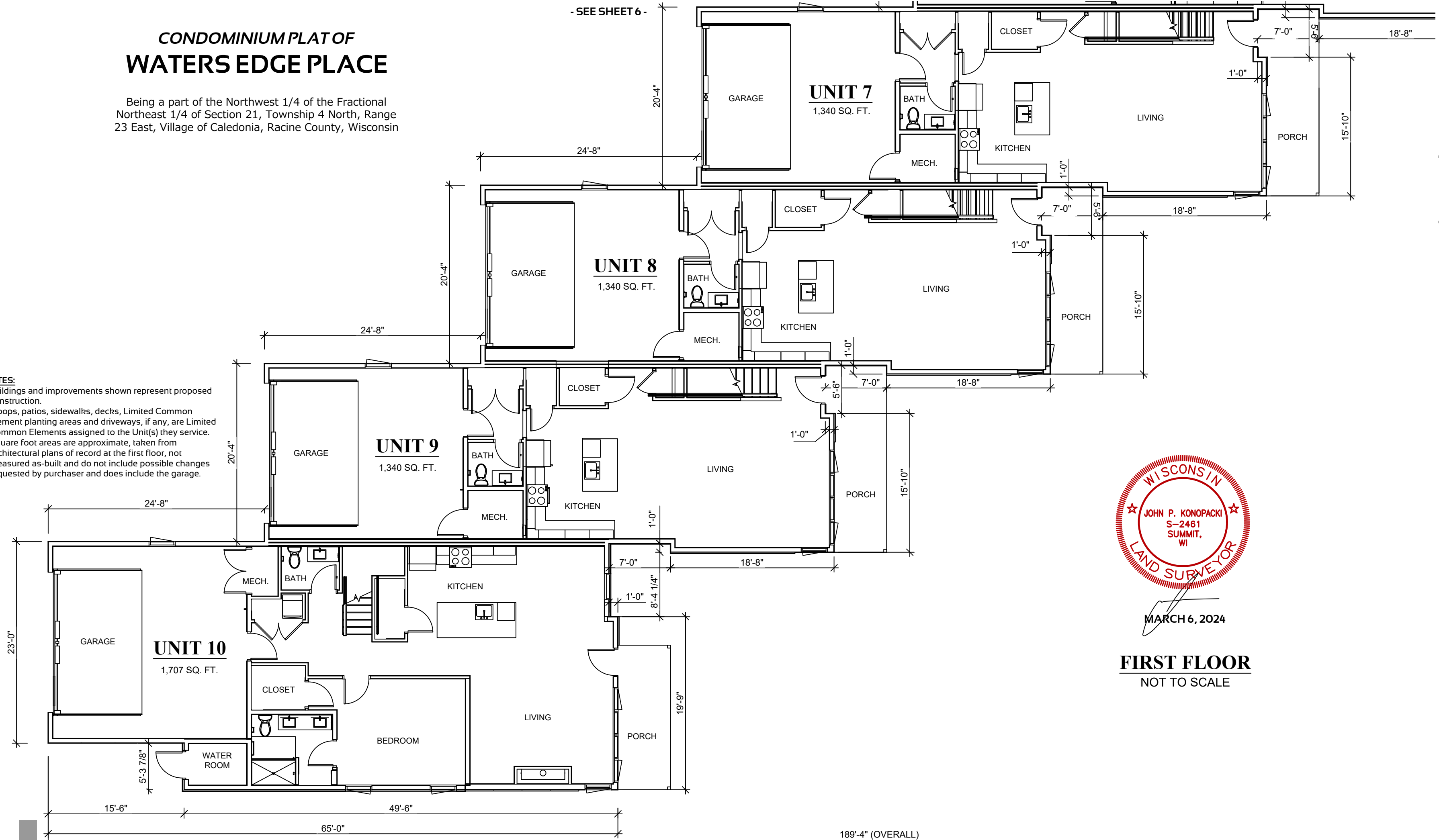
This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

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SHEET 4 OF 8

**CONDOMINIUM PLAT OF
WATERS EDGE PLACE**

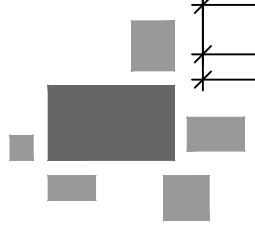
Being a part of the Northwest 1/4 of the Fractional
Northeast 1/4 of Section 21, Township 4 North, Range
23 East, Village of Caledonia, Racine County, Wisconsin

- NOTES:**
- Buildings and improvements shown represent proposed construction.
 - Stoops, patios, sidewalks, decks, Limited Common Element planting areas and driveways, if any, are Limited Common Elements assigned to the Unit(s) they service.
 - Square foot areas are approximate, taken from architectural plans of record at the first floor, not measured as-built and do not include possible changes requested by purchaser and does include the garage.



MARCH 6, 2024

FIRST FLOOR
NOT TO SCALE



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SHEET 5 OF 8

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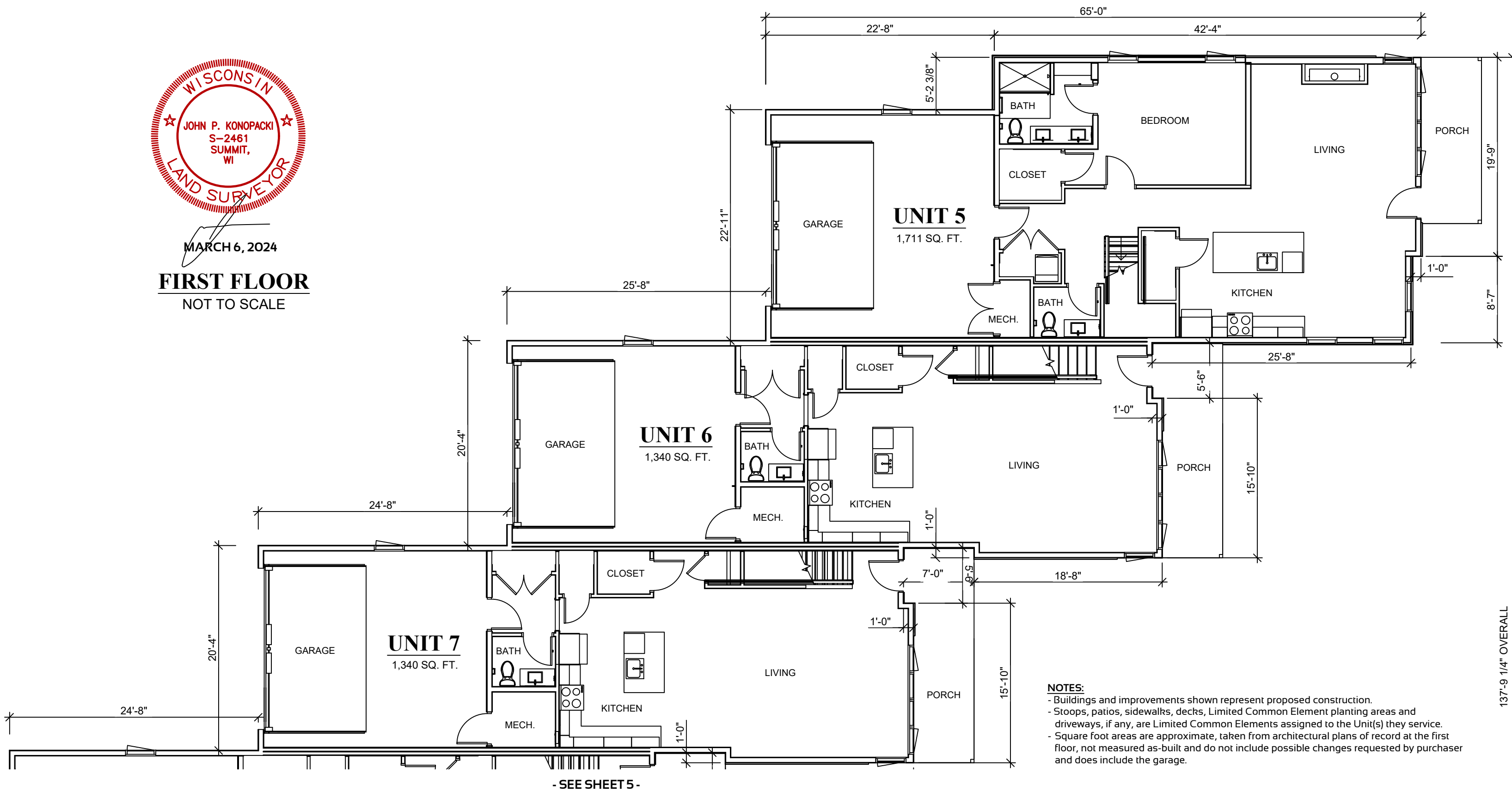
CONDOMINIUM PLAT OF
WATERS EDGE PLACE

Being a part of the Northwest 1/4 of the Fractional
Northeast 1/4 of Section 21, Township 4 North, Range
23 East, Village of Caledonia, Racine County, Wisconsin



MARCH 6, 2024

FIRST FLOOR
NOT TO SCALE



NOTES:
- Buildings and improvements shown represent proposed construction.
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- SEE SHEET 5 -



PINNACLE ENGINEERING GROUP

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

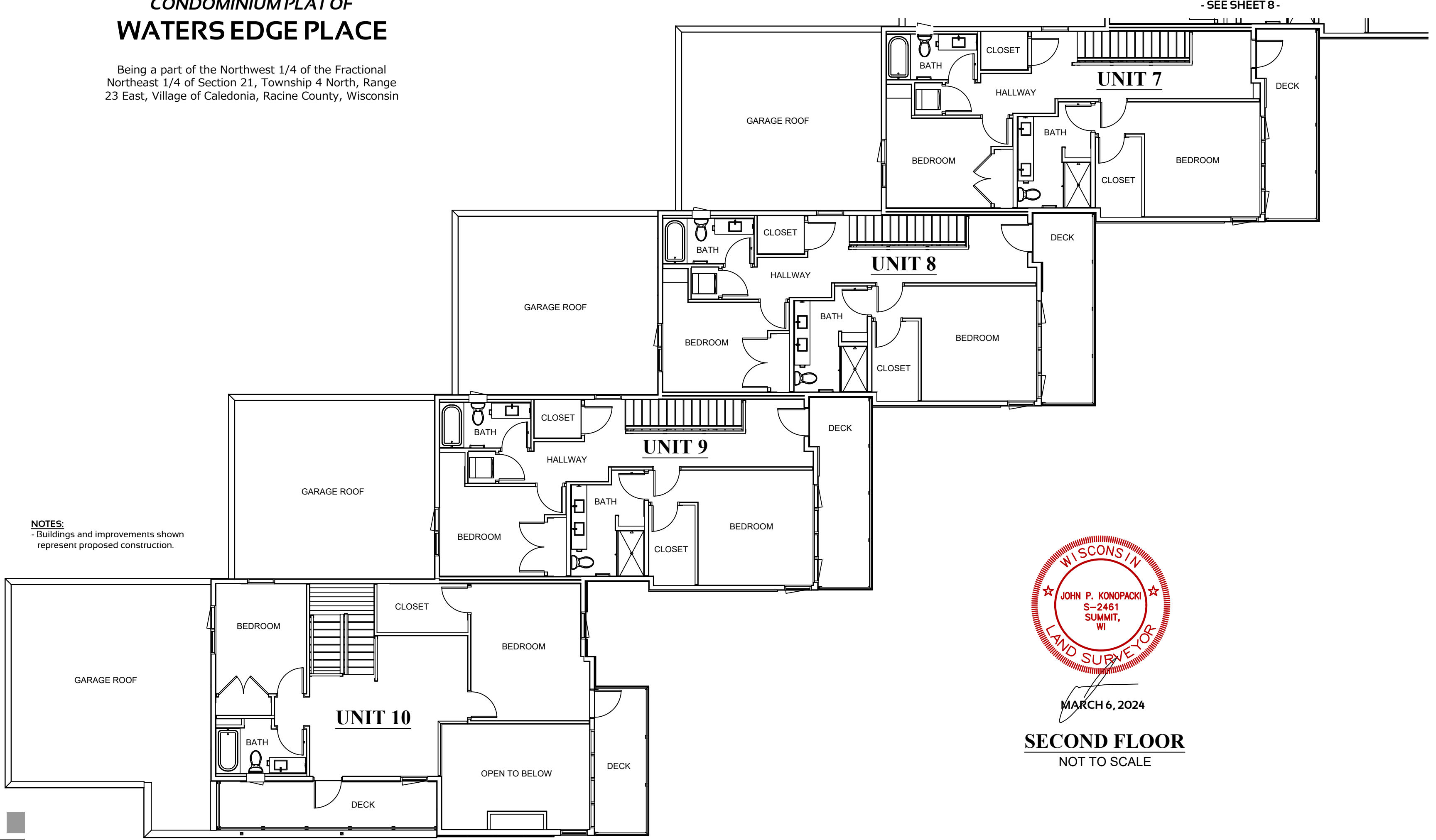
PEG JOB# 2145.00
SHEET 6 OF 8

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**CONDOMINIUM PLAT OF
WATERS EDGE PLACE**

Being a part of the Northwest 1/4 of the Fractional
Northeast 1/4 of Section 21, Township 4 North, Range
23 East, Village of Caledonia, Racine County, Wisconsin

NOTES:
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represent proposed construction.



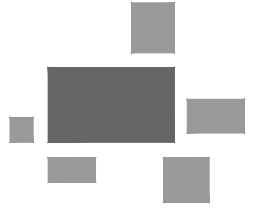
- SEE SHEET 8 -



MARCH 6, 2024

SECOND FLOOR
NOT TO SCALE

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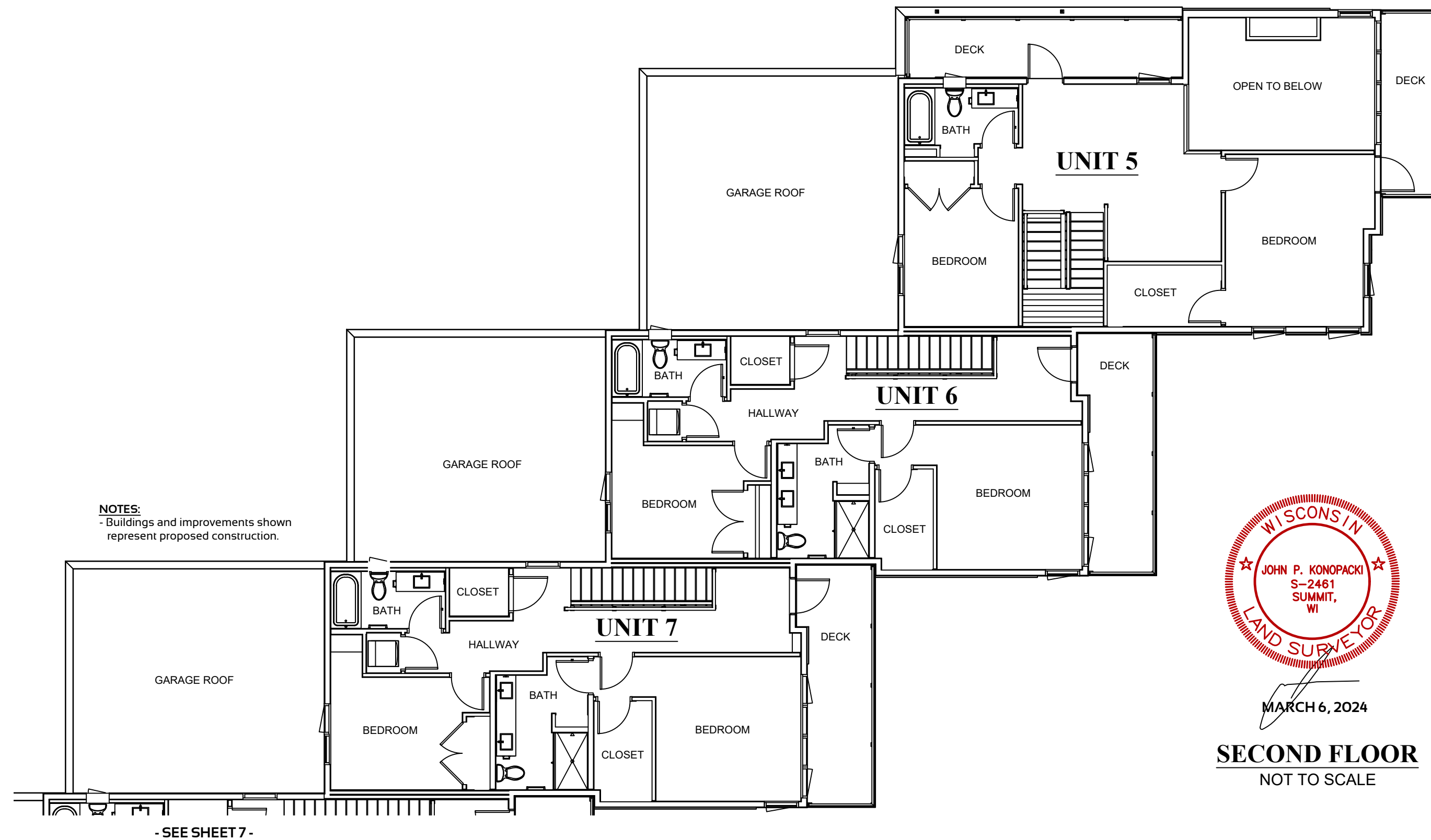
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This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PEG JOB#2145.00
SHEET 7 OF 8

Being a part of the Northwest 1/4 of the Fractional
Northeast 1/4 of Section 21, Township 4 North, Range
23 East, Village of Caledonia, Racine County, Wisconsin

NOTES:
- Buildings and improvements shown represent proposed construction.



A circular red ink seal for a Wisconsin Land Surveyor. The outer ring contains the text "WISCONSIN" at the top and "LAND SURVEYOR" at the bottom, separated by two five-pointed stars. The inner circle contains the text "JOHN P. KONOPACKI", "S-2461", "SUMMIT,", and "WI" in a stacked format. A handwritten signature is visible at the bottom of the seal.

~~MARCH 6, 2024~~

SECOND FLOOR
NOT TO SCALE



PINNACLE ENGINEERING GROUP

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PEG JOB#2145.00
SHEET 8 OF 8

MEMORANDUM



Date: March 13, 2024

To: Plan Commission
Village Board

From: Ryan Schmidt, P.E.
Village Engineer

A handwritten signature in blue ink, appearing to read "Ryan Schmidt".

Re: **Certified Survey Map – 7840 West River Road**
Parcel ID 51-104-04-22-10-001-000
Applicant – Mark Madsen (NMB) Owner – Charles & Valerie Michna

Recommended Motion:

Move to recommend denial of the Certified Survey Map for 7840 West River Road for the following:

- 1. Lots 1-3 do not meet the 5-acre minimum requirements by code.**
- 2. The proposed land division does not meet the minimum zoning requirements of 0.2 dwelling units per acre.**
- 3. The proposed land division does not meet the 2035 Land Use Plan density requiring 0.2 dwelling units per acre.**

Background

The Engineering Department has received a Certified Survey Map (CSM) for 7840 West River Road (Parcel ID 104-04-22-10-001-000) from Mark Madsen P.E., R.L.S. of Nielsen, Madsen, and Barber S.C. on behalf of the Owners Charles & Valerie Michna. The CSM as submitted proposes to divide the 18.839 acre parcel up into 4 lots.

A Concept CSM was initially brought forward in February of 2019. At that time the Concept CSM showed the creation of 4 parcels (3 – 5-acre parcels and 1 – 3.839-acre parcel). The Owner had applied for a Modification Waiver to the 5-acre minimum parcel size because the initial parcel (as claimed when purchased by the Owner) was 20.54 acres in size. Approximately 1.7 acres of the parcel was purchased by / dedicated to Racine County for the Root River Parkway. This Modification Waiver was approved by the Plan Commission on February 11, 2019. The Owner has since adjusted the layout of the lots to provide the requested Right of Way along West River Road and 7 Mile Road. A 45' Right-of-Way is required along 7 Mile Road, as it is considered a principal thoroughfare, and 33' for West River Road. The 33' for West River Road should be modified to provide 33' from the center of the road as constructed to date. The road was not built on-center and is aligned along the East side of the Right of Way. As a result, this 33' should be provided from the center of the paved roadway to allow for an appropriate cross section per Title 18 of the Village Code of Ordinances. The adjusted layout as shown with the required Right of Way leaves the

following: Lot 1 – 4.266 acres, Lot 2 – 4.727 acres, Lot 3 – 4.73 acres, & Lot 4 – 3.639 acres. The West River Road Right of Way may still require adjustment to the lot sizes.

The Plan Commission needs to determine the appropriate lot distribution for this property to recommend to the Village Board. Only 1 lot was authorized to go below the 5-acre minimum requirements and the newly proposed CSM shows all 4 lots going below the threshold.

It is recommended that the Plan Commission review the Modification Waiver as 5 years have lapsed since the approval and to ensure that Lot 4 is still acceptable.

As stated above, the CSM proposes to create 4 lots. The parcel is currently vacant, used for agricultural farming with a drainage way that bisects the parcel. The proposed lots would be improved for 4 single family homes and 2 storm water basins.

The property is located at the Southeast Corner of 7 Mile Road and West River Road. The property's entire eastern border fronts the Root River. The property is zoned A-2 and P-2. The P-2 zoning is for the +/- 2.5 acres along the Root River. The A-2 zoning is for the remainder of the parcel and requires 150' of frontage and 0.2 dwelling units per acre density. The proposed lots do not exceed the minimum zoning requirements unless the Modification Waiver is upheld.

The 2035 Land Use Plan shows that the property is Agricultural, Rural Residential, and Open Land. This Land Use Category is to have a Density of 0.2 dwelling units per acres. The proposed land division does not meet this requirement unless the Modification Waiver is upheld.

The property is located outside of the sewer and water service area. As a result, the proposed lots must meet be served by private on-site sewer (POWTS) and wells. Soil tests shall be shown and provided to the Village to ensure that the lots pass for the private systems on each proposed lot. The locations of the tests shall be shown on the CSM.

The drainage of the property, according to the Master Drainage Plan, shows a 31.9-acre watershed (R-119) with a channel cutting through the lot and ultimately into the Root River. A 30' wide Drainage Easement is required on the lots over the primary drainage channel as laid out on the Master Drainage Plan and shown on the CSM. The proposed site grading plan and SWMP shows 2 storm water basins. Storm Water Drainage Easements will need to be granted over the storm water basins and along the Root River. These shall be granted by separate documents and the CSM. These Storm Water Drainage Easements may need to be modified if the Staff review of the plan requires changes and shall be shown on the Final CSM prior to recording.

Storm Water Management thresholds are required to be met for the newly created parcels. A SWMP and site grading plan has been submitted for the entire property and will be reviewed by Village Staff. Individual site grading plans will still need to be supplied with

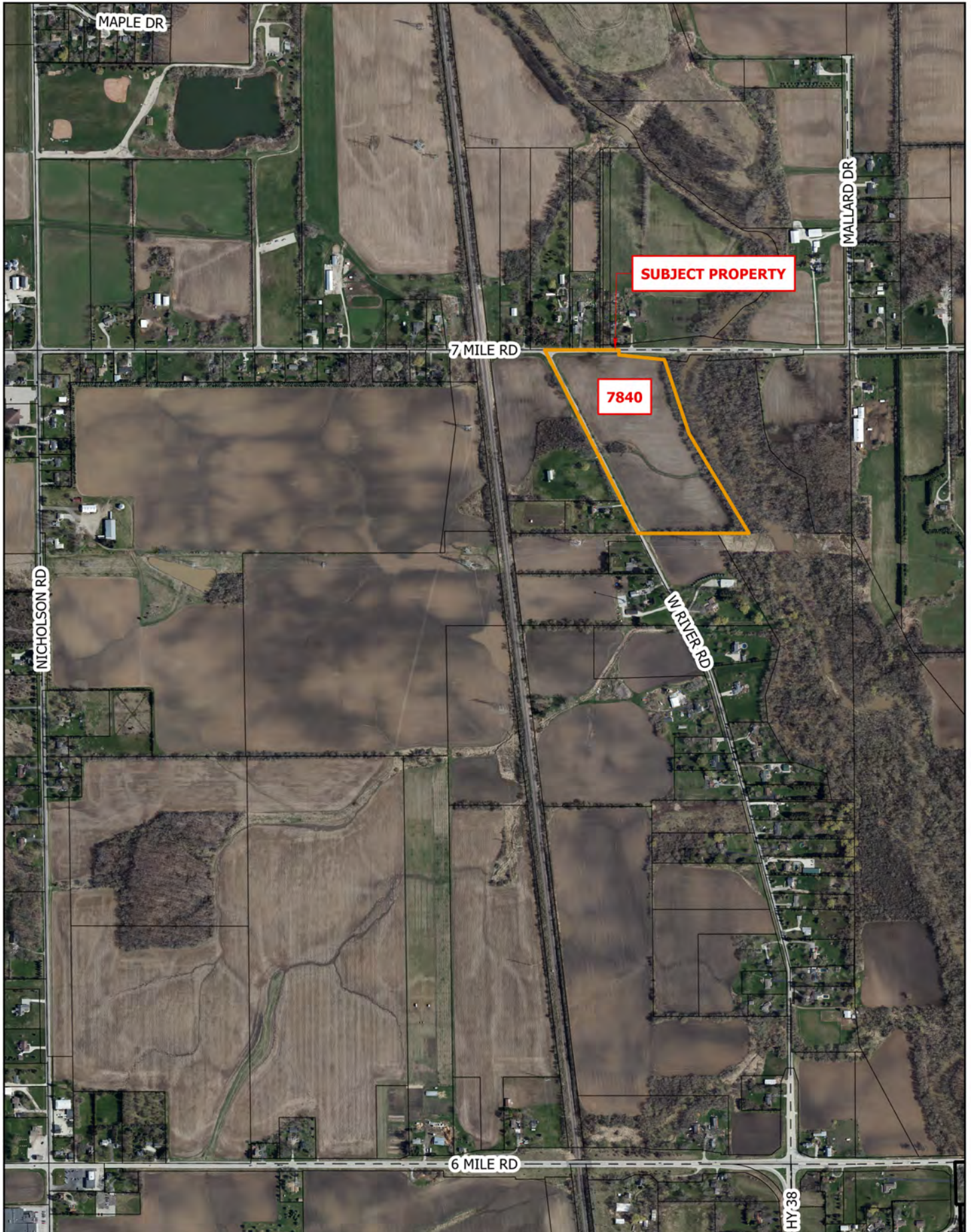
each new home meeting the approved site plan. The entire property needs to be developed per the provided site grading plans prior to individual lots being developed to meet the SWMP design. A wetland delineation has been shown and shall be provided to the Village. The FEMA floodplain extends onto this property and the floodplain elevation number shall be provided on the CSM.

As presented graphically on the CSM, there is a small buildable footprint on Lot 3 and 4. The Applicant and Owners shall ensure there is a reasonable building footprint for the development of these lots and modify the SWMP, Civil/Site Plans, and Final CSM accordingly. The Final Plans should set a FYG for each buildable lot that works for the site and meets Village Standards.

Staff has reviewed the CSM, Site Grading Plans, and SWMP and recommends denial of the CSM at this time unless changes are made to meet the Village Standards.

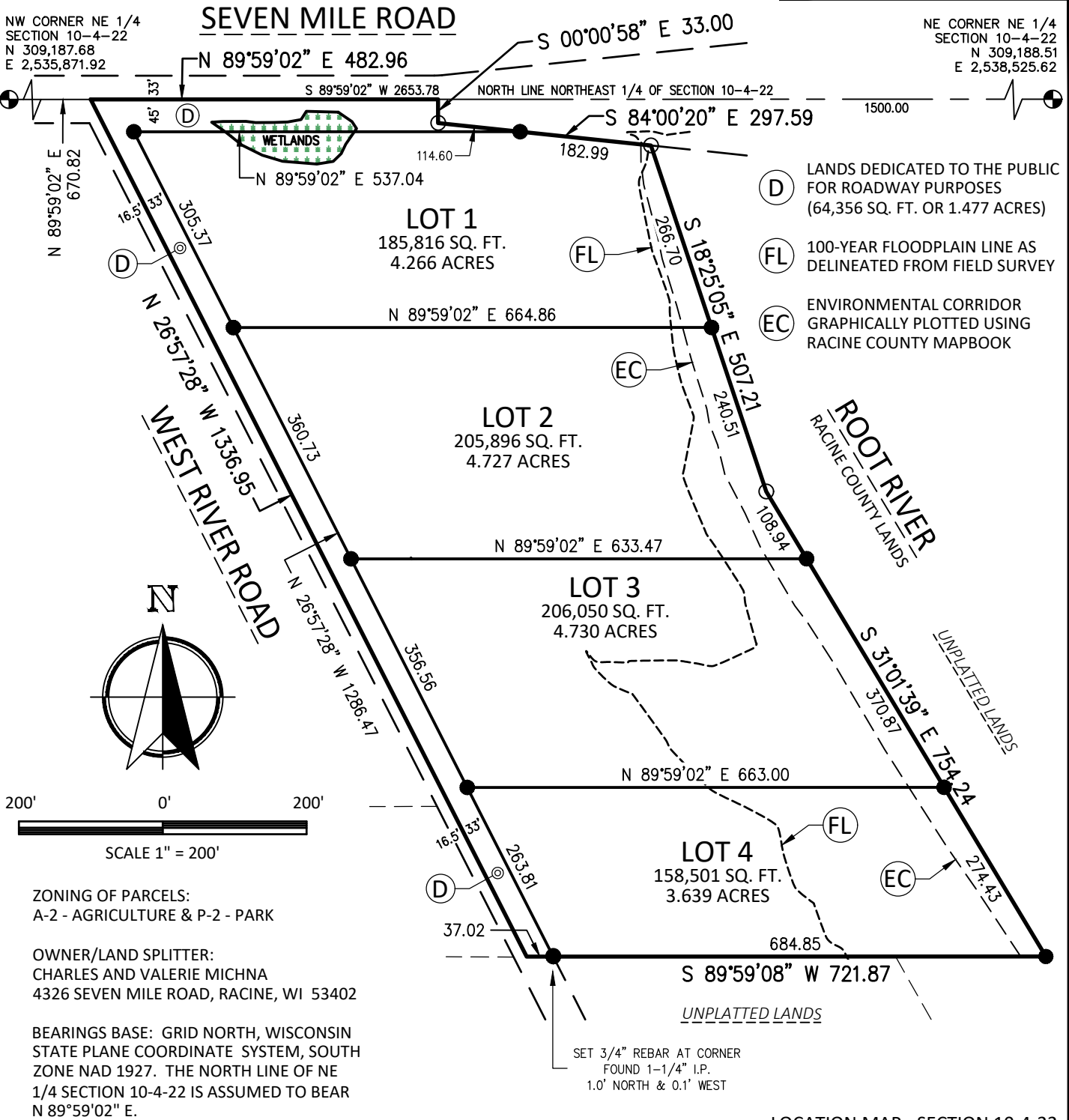
Move to recommend denial of the Certified Survey Map for 7840 West River Road for the following:

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- 3. The proposed land division does not meet the 2035 Land Use Plan density requiring 0.2 dwelling units per acre.**

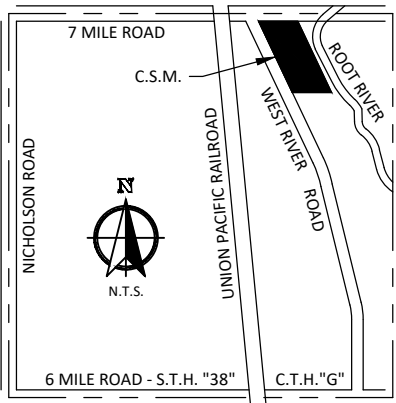


CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 10, TOWNSHIP 4 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.



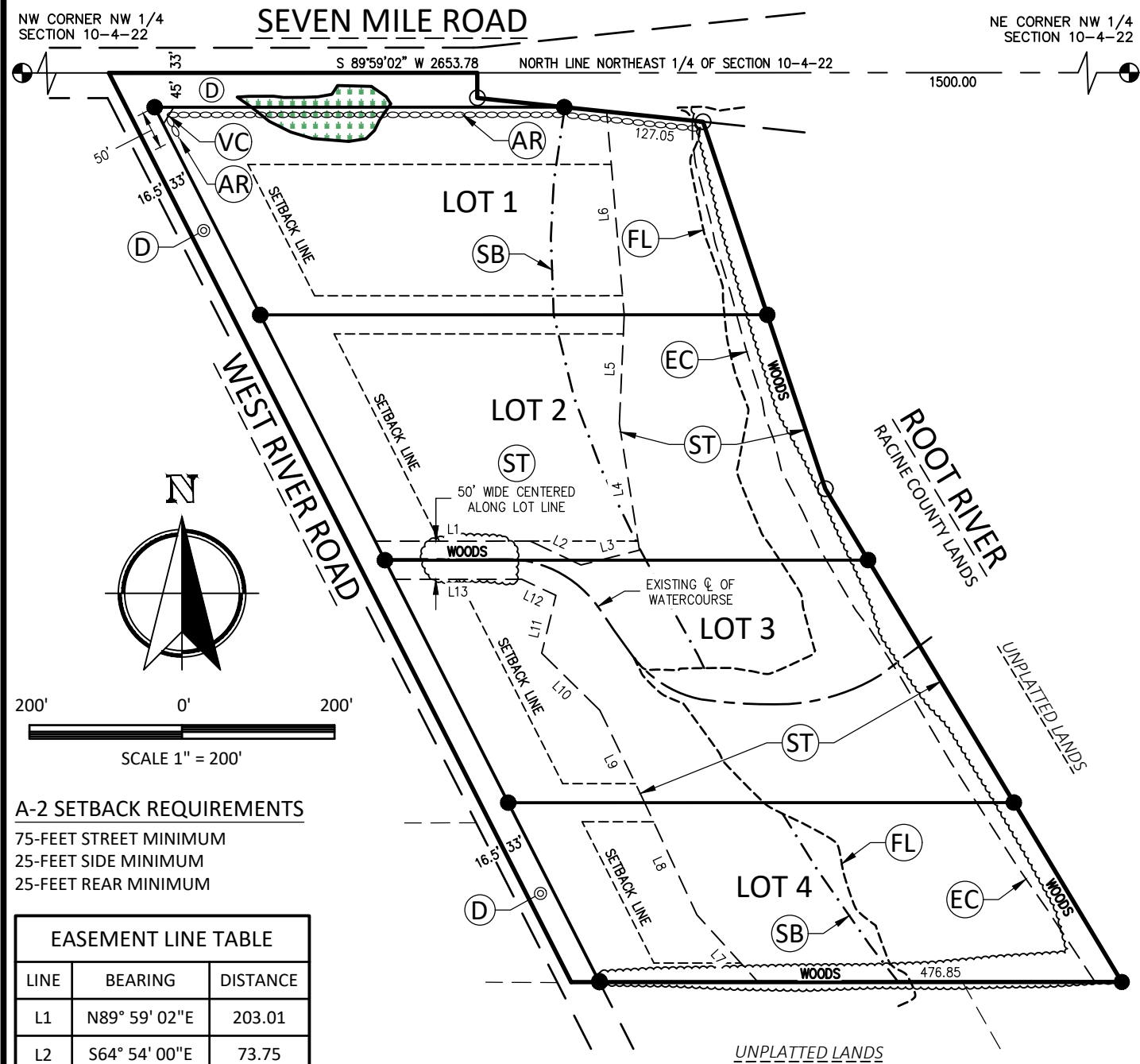
LOCATION MAP - SECTION 10-4-22



CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 10, TOWNSHIP 4 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

EASEMENTS, SETBACKS & ACCESS RESTRICTIONS



A-2 SETBACK REQUIREMENTS
75-FEET STREET MINIMUM
25-FEET SIDE MINIMUM
25-FEET REAR MINIMUM

EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
L1	N89° 59' 02"E	203.01
L2	S64° 54' 00"E	73.75
L3	N75° 44' 00"E	79.10
L4	N09° 04' 54"W	167.40
L5	N02° 33' 01"E	143.25
L6	N04° 55' 49"W	267.35
L7	N42° 18' 08"W	119.18
L8	N24° 57' 55"W	162.15
L9	N25° 56' 39"W	134.60
L10	N45° 30' 37"W	106.80
L11	N13° 51' 38"E	78.11
L12	N64° 54' 00"W	49.76
L13	S89° 59' 02"W	166.46

- (D) LANDS DEDICATED TO THE PUBLIC FOR ROADWAY PURPOSES (64,356 SQ. FT. OR 1.477 ACRES)
- (FL) 100-YEAR FLOODPLAIN LINE AS DELINEATED FROM FIELD SURVEY
- (EC) ENVIRONMENTAL CORRIDOR GRAPHICALLY PLOTTED USING RACINE COUNTY MAPBOOK
- (SB) APPROXIMATE 300' SHORELAND BOUNDARY LINE AS GRAPHICALLY PLOTTED
- (VC) 25'x25' VISION CORNER EASEMENT HEREBY DEDICATED
- (AR) ACCESS HEREBY RESTRICTED (NO ACCESS TO SEVEN MILE RD. & NORTH 50' OF WEST RIVER RD.)
- (ST) STORM WATER DRAINAGE AND MAINTENANCE EASEMENT HEREBY GRANTED TO THE VILLAGE OF CALEDONIA

VISION CORNER NOTE

No structure or improvement of any kind is permitted within the vision corner.
No vegetation within the vision corner may exceed 30 inches in height.

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 10, TOWNSHIP 4 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Mark R. Madsen, Professional Land Surveyor, hereby certify:

THAT I have prepared this Certified Survey Map at the direction of Charles and Valerie Michna, Owners;

THAT I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and Title 14, Subdivision Regulations, of the Village of Caledonia Municipal Code of Ordinances;

THAT such map is a true representation of all exterior boundaries of the land surveyed and the land division thereof made, described as:

That part of the Northwest 1/4 and the Northeast 1/4 of the Northeast 1/4 of Section 10, Township 4 North, Range 22 East of the Fourth Principal Meridian, in the Village of Caledonia, County of Racine, State of Wisconsin, being more particularly bounded and described as follows: Beginning at a point on the North line of the Northeast 1/4 of said Section 10 located North 89°59'02" East, 670.82 feet from the Northwest corner of said Northeast 1/4; run thence North 89°59'02" East, 482.96 feet along the North line of the Northeast 1/4 of said Section 10; thence South 00°00'58" East, 33.00 feet perpendicular to the North line of the Northeast 1/4 of said Section 10 to the South line of Seven Mile Road; thence South 84°00'20" East, 297.59 feet along the South line of Seven Mile Road; thence South 18°25'05" East, 507.21 feet; thence South 31°01'39" East, 754.24 feet; thence South 89°59'08" West, 721.87 feet to the center line of West River Road; thence North 26°57'28" West, 1336.95 feet along said center line to the point of beginning.

Containing 820,619 square feet or 18.839 acres (756,263 square feet or 17.361 acres when excluding lands to be dedicated to the public therefrom).

February 21, 2024

Mark R. Madsen
Nielsen Madsen & Barber, S.C.
1458 Horizon Blvd, Suite 200, Racine WI 53406
(262) 634-5588

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF
SECTION 10, TOWNSHIP 4 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN,
IN THE VILLAGE OF CALEDONIA, COUNTY OF RACINE, STATE OF WISCONSIN.

OWNER'S CERTIFICATE

We, Charles and Valerie Michna, Owners, do hereby certify that we have caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map. We further certify that this Certified Survey Map is required to be submitted to the following for approval: The Village Board of the Village of Caledonia.

Dated on this _____ day of _____, 2024.

Charles Michna

Valerie Michna

STATE OF WISCONSIN }
COUNTY OF _____ } S.S.

Personally came before me this _____ day of _____, 2024, Charles and Valerie Michna, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Signature: _____

Notary Public, _____, Wisconsin

My Commission Expires: _____

SEAL

VILLAGE OF CALEDONIA CERTIFICATE

Resolved that this Certified Survey Map has been submitted to and approved by the Village Board and hereby
APPROVED by the Village on this _____ day of _____, 2024.


Jennifer Olsen, Village Clerk

MEMORANDUM



Date: March 18, 2024

To: Plan Commission
Village Board

From: Ryan Schmidt, P.E.
Village Engineer 

Re: **Certified Survey Map – Lot 3 of CSM 3552**
Parcel ID 51-104-04-22-30-038-030
Applicant & Owner – TI Investors of Caledonia, LLC

Recommended Motion:

Move to recommend approval of the Certified Survey Map for Lot 3 of CSM 3552 subject to the 9 Conditions listed in the Village Engineers Memo dated 3-18-2024.

Background

The Engineering Department has received a Certified Survey Map (CSM) for the further redivision of Caledonia Corporate Park, more specifically, Lot 3 of CSM 3552 (Parcel ID 104-04-22-30-038-030). The CSM was submitted by owner and applicant TI Investors of Caledonia, LLC. The CSM as submitted proposes to redivide the 70.07-acre parcel known as Lot 3 of CSM 3552 into a 16.57-acre Lot 4 and leave the remaining 53.50 acres for Lot 5.

The property is located south of CTH K (Northwestern Avenue) and east of E. Frontage Road where Carol Road has been extended with Carly Avenue and Baxter Court. This area is known as the Caledonia Corporate Park. The property is zoned M-3 Heavy Manufacturing. The zoning requires a minimum of 200' of frontage and 1 acre lot sizing. The proposal meets and exceeds both requirements. The property is also located within TIF District #4. The 2035 Land Use Plan shows that the property is recommended for industrial/business park and the CSM is consistent with the proposed use.

The property is part of the Sewer and Water Service Area and will have frontage on the brand-new Baxter Court with Water available. With the location of the water lateral for this lot and the amount of private watermain proposed for the site, the site will require a Master Meter and Vault. A Water Meter Vault Easement shall be granted to the Utility District. The Easement shall be shown on the CSM and an exhibit for the Water Meter Vault Easement will need to be supplied so a separate agreement can be created for recording shortly after the recording of the CSM. Sanitary Sewer service will be provided by the Village for Lot 4 through the neighboring parcels to the south and east. Future Development of Lot 5 (or more) will require the extension of Sanitary Sewer by the Developer. The Sanitary Sewer shall be extended to the West property line of Lot 4 as part of the construction of the proposed building. A separate set of plans and approvals are needed for this Sanitary

Sewer extension. The CSM will need to show the proposed Sanitary Sewer Easement for the TID #4 Phase 4 Sanitary Extension Project and a proposed Sanitary Sewer Easement on Lot 4 that shows how Sanitary Sewer will extend onto Lot 5. The Sanitary Sewer Easements will also need to be recorded as separate documents shortly after the recording of the CSM. The layout of the Easement shall match the final Civil/Site and Utility Plans.

Regional storm water management facilities were installed with the Caledonia Corporate Park Mass Grading Project and staff will review the plans to ensure conformance with those standards. As a result, no additional SWMP is required. Per the current plan set, a large 42" RCP storm sewer appears to head onto Lot 5 from Lot 4 near the south lot line. A Storm Sewer Easement will be required for that work on another property and shall have a separate exhibit provided for execution.

A wetland delineation has been shown and was provided to the Village as part of the mass grading efforts of the overall Corporate Park. No further work is needed.

Civil/Site Plans including Utility Sheets have been provided for review and approval by Village Staff and the Caledonia Utility District for Lot 4 prior to issuing building permits.

If the Plan Commission **is willing** to support the CSM the following motion is recommended.

Move to approve the Modification Waiver & CSM subject to the following:

- 1. The Owner agrees to execute any and all agreements and make the necessary deposits for the approval of the CSM.**
- 2. The Final CSM is subject to the Land Division per Lot fee.**
- 3. The Final CSM is submitted and recorded within 1 year of approval by the Village Board.**
- 4. Civil/Site Grading Plans are reviewed and approved by Village Staff & the Caledonia Utility District prior to Building Permits being issued.**
- 5. Display the Sanitary Sewer Easement (for the Village's TID #4 Phase 4 Project) on Lot 4 of the CSM and provide a dedicated legal description & exhibit for a separate Easement document to be executed.**
- 6. Display the Sanitary Sewer Easement extension to Lot 5 to provide sewer service to the remainder of the property in conjunction with the Civil/Site and Utility Plans. Will need to provide a dedicated legal description and exhibit for a separate Easement document to be executed.**
- 7. Display a storm sewer easement on Lot 5 for the Storm Water System as currently designed for Lot 4. A separate Easement exhibit shall be provided and executed once final designs have been determined.**
- 8. Sheet 5 of 5 is updated with Jennifer Olsen as the Village Clerk.**
- 9. The legal description is corrected for the east lot line of the proposed Lot 4, to be 1,034.00 or 1,334.00. The CSM shall be updated prior to recording.**



CERTIFIED SURVEY
MAP NO. _____

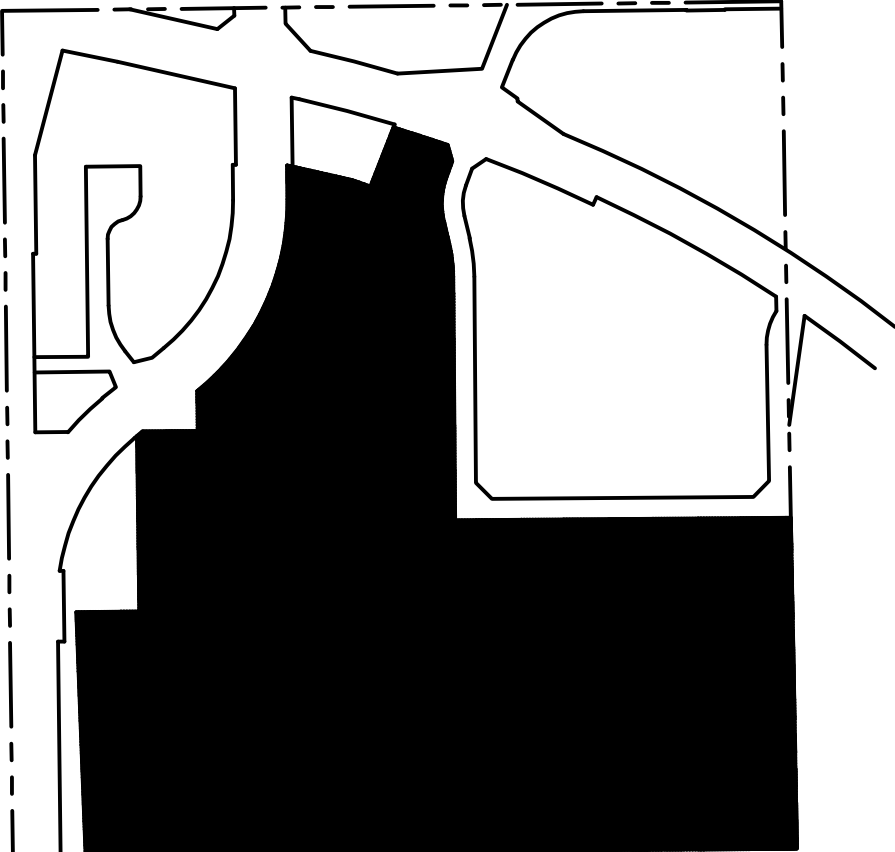
All of Lot 3 of Certified Survey Map No. 3552, being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.

NORTHWESTERN AVENUE
COUNTY TRUNK HIGHWAY "K"

VICINITY MAP
SCALE 1":600'
ADAMS ROAD



INTERSTATE HIGHWAY "94"



Subject Property
Zoning: M-3
Tax Key Number:
104-04-22-30-038-030

SW 1/4 SEC. 30, T4N, R22E

NOTES:

- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1983/2011). The south line of the Southwest 1/4 of Section 30, Township 4 North, Range 22 East has a bearing of S89°35'06"W.
- Flood Zone Classification: The property lies with in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55101C0089D with an effective date of MAY 2, 2012. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.
- Wetlands delineated by Heartland Ecological Group Inc, October 2020. In addition to the wetland shown, there was a wetland in the center of Lot 4, which was labeled as W-5 in the wetland delineation report. This wetland was shown on CSM No. 3552. This wetland received a nonfederal wetland exemption determination by the Wisconsin DNR on July 29, 2022, per Doc. EXE-SE-2022-52-02445. Therefore the wetland is no longer shown.
- Temporary Road Easement to terminate upon the extension of the Baxter Court.



DATE: MARCH 7, 2024



Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

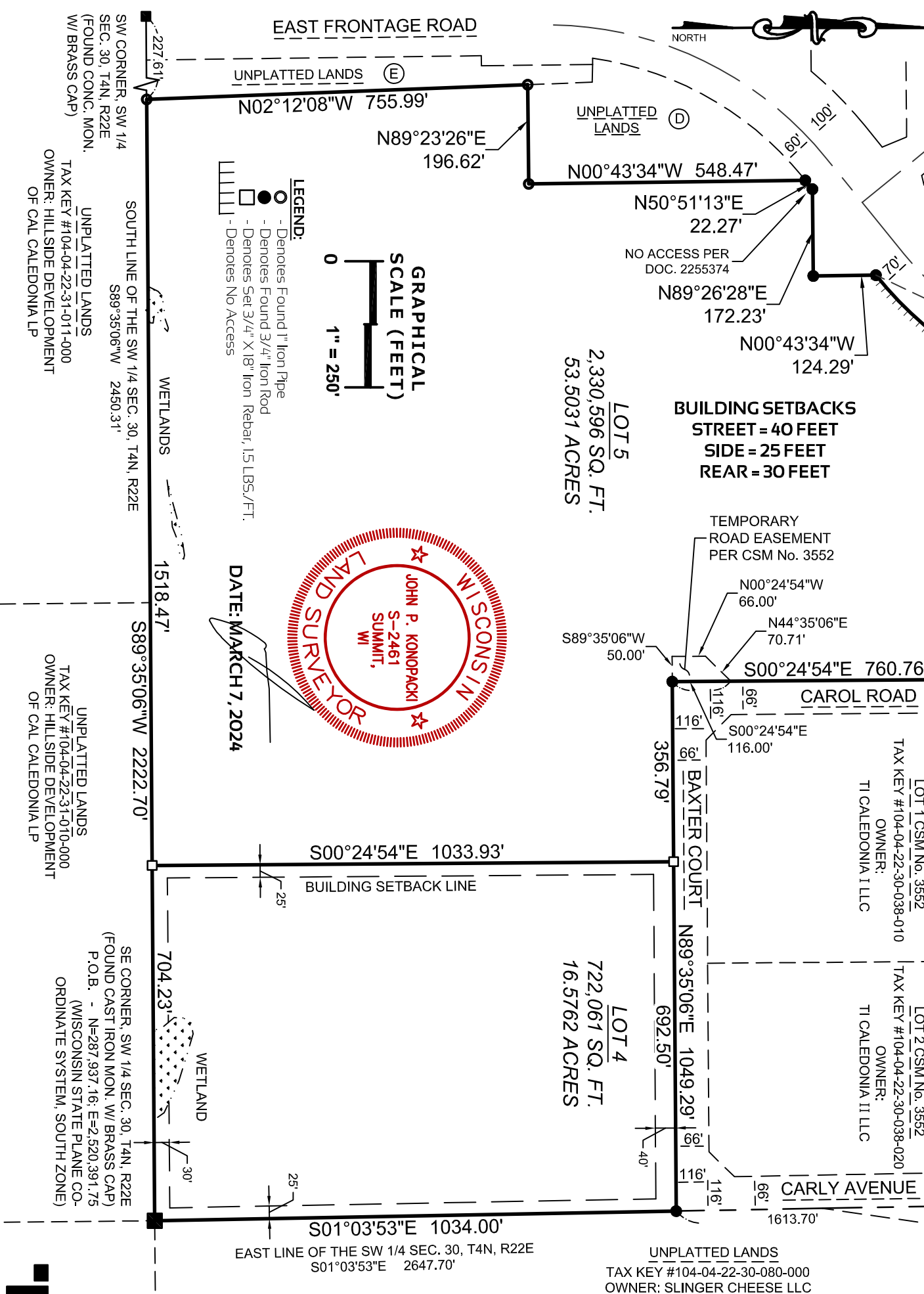
Prepared for:
TI INVESTORS OF CALEDONIA LLC
710 N. Plankinton Avenue, Suite 1200
Milwaukee, WI 53203

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#1912.00
SHEET 1 OF 5

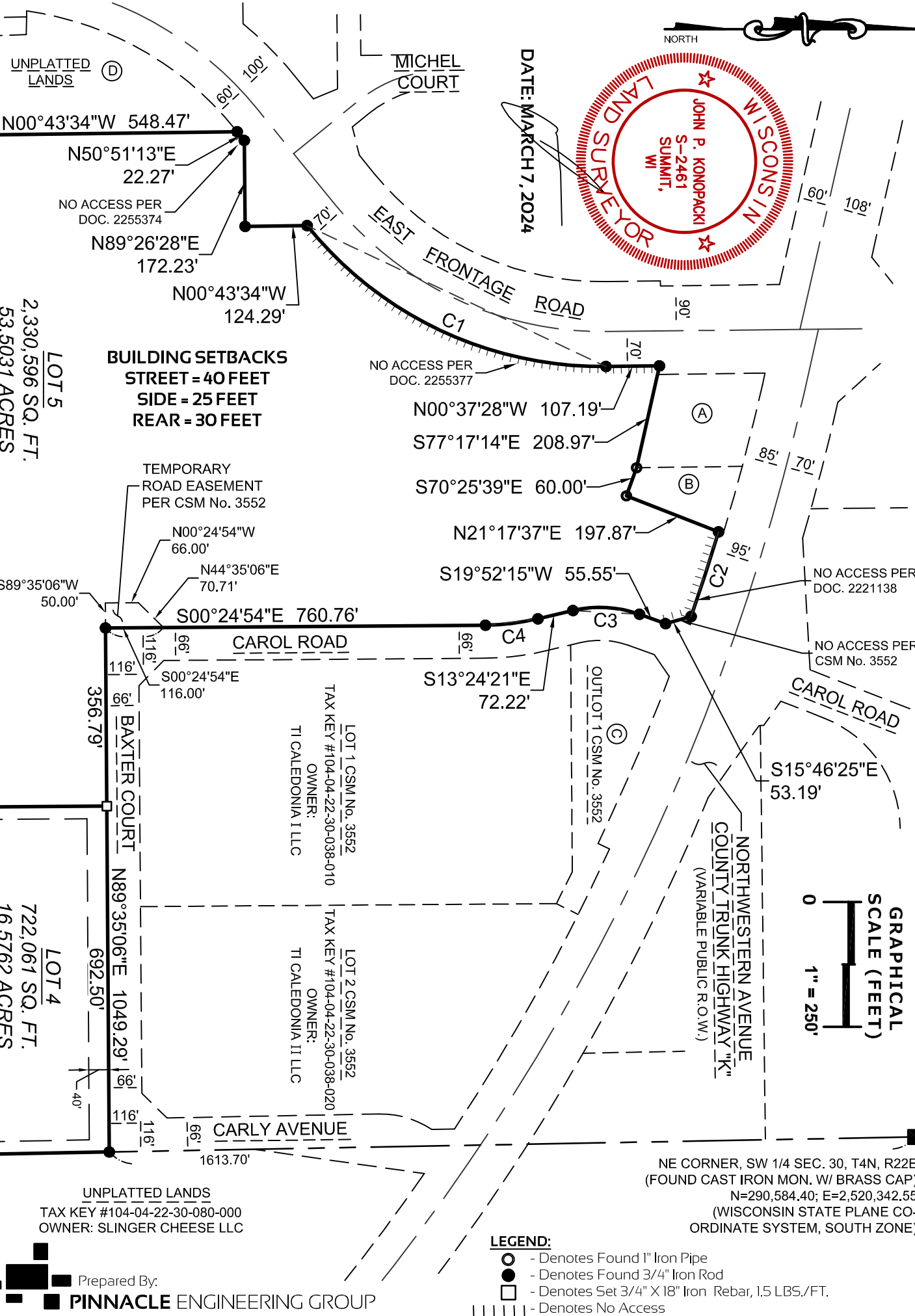
CERTIFIED SURVEY MAP NO. _____

All of Lot 3 of Certified Survey Map No. 3552, being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.



CERTIFIED SURVEY MAP NO. _____

All of Lot 3 of Certified Survey Map No. 3552, being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.



Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#1912.00
SHEET 3 OF 5

CERTIFIED SURVEY MAP NO. _____

All of Lot 3 of Certified Survey Map No. 3552, being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.

SURVEYOR’S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and divided all of Lot 3 Certified Survey Map No. 3552, as recorded in the Register of Deeds office for Racine County as Document No. 2653548, being part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin, described as follows:

Beginning at the southeast corner of the Southwest 1/4 of said Section 30;
Thence South 89°35'06" West along the south line of said Southwest 1/4, 2222.70 feet;
Thence North 02°12'08" West, 755.99 feet;
Thence North 89°23'26" East, 196.62 feet;
Thence North 00°43'34" West, 548.47 feet to the southeasterly right of way line of East Frontage Road;
Thence the following courses along said southeasterly right of way line:

North 50°51'13" East, 22.27 feet; North 89°26'28" East, 172.23 feet; North 00°43'34" West, 124.29 feet to a point on a curve;
Northeasterly 684.45 feet along the arc of said curve to the left, whose radius is 758.00 feet and whose chord bears North 25°14'37" East, 661.43 feet; North 00°37'28" West, 107.19 feet;

Thence South 77°17'14" East along said southeasterly right of way line and then continuing, 208.97 feet;
Thence South 70°25'39" East, 60.00 feet;
Thence North 21°17'37" East, 197.87 feet to the southerly right of way line of Northwestern Avenue - County Trunk Highway "K" and a point on a curve;
Thence southeasterly 178.14 feet along said southerly right of way line and the arc of said curve to the right, whose radius is 4378.00 feet and whose chord bears South 72°04'11" East, 178.12 feet to the westerly right of way line of Carol Road;
Thence the following courses along said westerly right of way line:

South 15°46'25" East, 53.19 feet; South 19°52'15" West, 55.55 feet to a point on a curve; Southerly 135.32 feet along the arc of said curve to the left, whose radius is 233.00 feet and whose chord bears South 03°13'57" West, 133.43 feet; South 13°24'21" East, 72.22 feet to a point on a curve; Southerly 105.88 feet along the arc of said curve to the right, whose radius is 467.00 feet and whose chord bears South 06°54'38" East, 105.66 feet; South 00°24'54" East, 760.76 feet to the southerly right of way line of Baxter Road;

Thence North 89°36'06" East along said southerly right of way line, 1049.29 feet to the east line of the aforesaid Southwest 1/4 of Section 30;
Thence South 01°03'53" East along said east line, 1334.00 feet to the Point of Beginning.

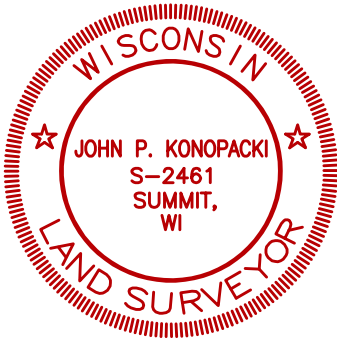
Containing 3,052,657 square feet (70.0794 acres) of land Net more or less.

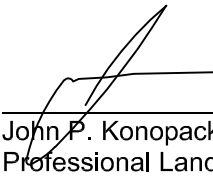
That I have made such survey, land division and map by the direction of TI INVESTORS OF CALEDONIA LLC, owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of s.236.34 of the Wisconsin State Statutes and the Village of Caledonia Land Division Ordinance in surveying, mapping and dividing the same..

Date: MARCH 7, 2024




John P. Konopacki
Professional Land Surveyor S-2461

CURVE TABLE							
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT	TANGENT
C1	684.45'	758.00'	051°44'09"	N25°14'37"E	661.43'	N51°06'41"E	N00°37'28"W
C2	178.14'	4378.00'	002°19'53"	S72°04'11"E	178.12'	S70°54'14"E	S73°14'07"E
C3	135.32'	233.00'	033°16'36"	S03°13'57"W	133.43'	S19°52'15"W	S13°24'21"E
C4	105.88'	467.00'	012°59'27"	S06°54'38"E	105.66'	S00°24'54"E	S13°24'21"E

CERTIFIED SURVEY MAP NO. _____

All of Lot 3 of Certified Survey Map No. 3552, being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.

OWNER'S CERTIFICATE OF DEDICATION

TI INVESTORS OF CALEDONIA LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this certified survey map to be surveyed, divided, mapped and dedicated as represented on this certified survey map.

TI INVESTORS OF CALEDONIA LLC as owner, does further certify that this certified survey map is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval:

- 1. Village of Caledonia

IN WITNESS WHEREOF, the said TI INVESTORS OF CALEDONIA LLC has caused these presents to be signed by _____, of TOWNE REALTY, INC, manager of TI INVESTORS OF CALEDONIA LLC at Milwaukee, Milwaukee County, Wisconsin, on this _____ day of _____, 2024.

In the presence of: TI INVESTORS OF CALEDONIA LLC,
By: TOWNE REALTY, INC, Manager

Name (signature) - Title

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 2024, _____, (title) _____, of TOWNE REALTY, INC, manager of the above named limited liability company, to me known to be the person who executed the foregoing instrument, and to me known to be such _____ (title) of said TOWNE REALTY, INC, and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited liability company, by its authority.

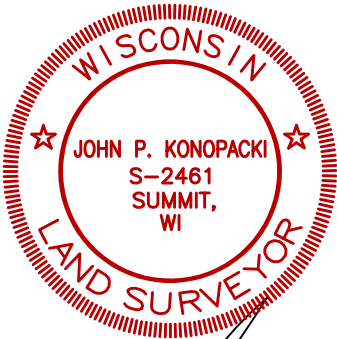
Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____

VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Caledonia on this _____ day of _____, 2024.

Date

Joslyn M. Hoeffert, Village Clerk



ADJACENT OWNERS

- A - TAX KEY #104-04-22-30-042-000, UNPLATTED LANDS, OWNER: HRIBAR.
- B - TAX KEY #104-04-22-30-044-000, UNPLATTED LANDS, OWNER: RGM PARTNERS LLC.
- C - TAX KEY #104-04-22-30-038-011, OUTLOT 1 CSM No 3552, OWNER: TI INVESTORS OF CALEDONIA, LLC.
- D - TAX KEY #104-04-22-30-049-000, UNPLATTED LANDS, OWNER: FORNES.
- E - TAX KEY #104-04-22-30-048-000, UNPLATTED LANDS, OWNER: SOLFEST TRUST.

DATE: MARCH 7, 2024



Meeting Date: March 25, 2024

Item No. **6e**

PLAN COMMISSION REPORT

Proposal: Building, Site & Operations Plan Review

Description: Review a proposed building, site, and operation plan for the construction and utilization of a ±310,561 square-foot industrial building located south of 4321 Carol Road

Applicant(s): Jason Lueders

Address(es): Northwestern Avenue (Future Baxter Court)

Suggested Motion: That the Plan Commission recommends to the Village Board that the building, site, and operational plan for the construction of a ±310,561 square-foot cold storage industrial building located on Northwestern Avenue, south of 4321 Carol Road, be approved with conditions in Exhibit A for the following reasons:

1. The proposed use is allowed by underlying zoning through the building, site & operation plan review process.
2. This use is consistent with the 2035 Comprehensive Land Use Plan designation of Industrial/Business Park.

Owner(s): TI Investors of Caledonia LLC

Tax Key(s): 104-04-22-30-38-030

Lot Size(s): 70.1 acres

Current Zoning District(s): M-3, Heavy Industrial District

Overlay District(s): N/A

Wetlands: ☒ Yes ☐ No **Floodplain:** ☐ Yes ☒ No

Comprehensive Plan: Industrial/Business Park

Background: The applicant is requesting approval of a site, building, and operation plan for the construction and utilization of a ±310,561 square-foot cold storage, industrial building located on Northwestern Avenue, south of 4321 Carol Road. This will be a build-to-suit industrial building for the storage and distribution of dairy products. The current parcel consists of ±70 acres, but the building will be sited on a ±16.5-acre portion of the site. This ±16.5-acre portion of the current parcel will become an individual lot located on Baxter Court through the certified survey map process, which the Plan Commission will be reviewing this evening.

Building Design

The building will consist of a combination of pre-cast concrete walls, insulated metal panels, glass, and aluminum trim. Due to the specific purpose of the building as a cold-storage facility, the building exterior requires the use of insulated metal panels. Due to the use of the building, there are no proposed clerestory windows or other means of natural light into the cold storage areas of the building. This building will be like the Central Storage Warehouse building, which is also a cold storage facility located in DeBack Business Park. Insulated metal panels are not an approved primary exterior material. However, the zoning code does provide flexibility based on the situation and that the Plan Commission recommends approval with a ¾ majority.

The pre-cast concrete walls will be concentrated in the area of the building that will contain office space and provide a focal point for the building entrance. Village building design standards state that a building should incorporate a design that gives the impression of a top, middle, and bottom of the building. This is accomplished on the street facing elevation of the building using various colors and glass windows as illustrated in the drawings in this report. The remaining elevations of the building will be white, which is intended to help provide a more energy efficient building.

The proposed building complies with zoning regulations for industrial buildings in the M-3 District.

Parking

The parking lot consists of 106 parking stalls, including the necessary number of handicapped stalls for the proposed building. The proposed stalls meet the minimum 180 square-foot size requirement. Per design guidelines, parking lots should incorporate landscape islands. The proposed parking lot provides this feature every twelve stalls for customer and employee parking. This is not required for truck parking.

In addition to the employee/customer parking area, there will be 79 truck trailer stalls and 25 dock doors and two overhead doors facing the east, which do face a public road. The truck parking and loading will be fenced, and access limited by gates on the east and west ends of the building. The parking areas on the site will consist of both light and heavy-duty asphalt, and concrete in the loading dock areas. Use of crushed gravel will be for access road shoulders only. The proposed parking lot complies with Chapter 12 off-street parking regulations.

Waste Site Facilities

The proposed site plan does not show any exterior dumpster locations. If in the future, a tenant wishing to locate dumpsters outside will need to resubmit a building, site, and operation plan showing where the dumpsters will be located and the design of the dumpster enclosure. Cyclone fencing with privacy slats is not an acceptable enclosure design.

Landscaping

The proposed landscaping meets the minimum requirements per code. The plan combines the use of deciduous and evergreen trees and shrubs throughout the site. In addition, the plan includes the use of ornamental grasses and perennial plants in landscape beds along the building and parking areas. A row of shrubs will be installed along the northern edge of the parking lot in compliance with parking stall

screening requirements. The plan meets the requirement that a tree is planted a minimum of 50' of one another along a public right-of-way. A stand of evergreens will be installed on the west edge of the site to help break up the long expanse of the building. The applicant is also proposing shrubs and ornamental grasses along the west and north foundations of the building.

Signage

All signs must comply with Title 16, Chapter 11 sign regulations and submit the necessary sign permit applications prior to installation. The applicant has indicated a 340 square-foot wall sign on the north elevation of the building. This does not comply with the Village sign code. The Plan Commission has the discretion to modify condition 12 of this proposal by including language that approves the installation of one 340 square-foot wall sign on the north elevation of the building. Without sign details, staff is concerned that the actual sign may conflict with other sign regulations and may create future problems. Staff suggests that the applicant submit a master sign plan for the parcel including all intended signs and sign designs for the development to the Plan Commission in the future.

Lighting

The submitted photometric plan complies with the Village code lighting requirements. Condition 10 outlines requirements for lighting of the development.

Engineering/Fire Department

Prior to any building permits being issued, the applicant will need to get approvals for stormwater management, erosion control, and grading plans from Water Utility Department and Engineering Department. The Fire Department indicated no concerns regarding the proposed site plan; however, they will work with the applicant to ensure compliance with sprinkling requirements for this building type. These requirements are outlined in Conditions 5-8.

The proposed development complies with the Village zoning code regulating the M-3 District. Staff recommends approval of the proposed development subject to conditions included in **Exhibit A**.

If the Plan Commission is comfortable with the proposed addition, staff has drafted a suggested motion recommending approval of the proposed industrial building located along Northwestern Avenue south of 4321 Carol Road.

EXHIBIT A - CONDITIONS **Zilber Building #3** **Northwestern Avenue (Future Baxter Court)**

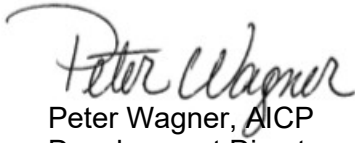
1. **Building Permit.** The applicant must obtain a building permit card from the Village after paying all building and zoning fees. This card must be displayed in a prominent location at the project site, and a copy of these conditions must be kept at the project site at all times until the project has been completed.
2. **Compliance.** Failure to comply with the terms and conditions stated herein could result in the issuance of citation(s) and/or revocation of this permit.
3. **Binding Effect.** These conditions bind and are applicable to the Property Owner, Agent, and any other users of the Property Owner with respect to the uses on the Property.

-
4. Plans. The proposed ±310,561 square-foot industrial building located on Northwestern Avenue, south of 4321 Carol Road shall be located, constructed, and utilized in accordance with the plans and documents received by the Village Planning Department on March 11, 2024.
 5. Stormwater. The property owner or designated agent must contact the Village of Caledonia Stormwater Utility District regarding Stormwater regulations for this site. Compliance with all regulations and requirements, as determined by the Village of Caledonia Stormwater Utility District is required. Stormwater management plans shall be submitted for approval and be in compliance with all Village requirements, as determined by the Village Engineer before permits are issued.
 6. Fire Department Approval. Owner shall obtain approval from the Village of Caledonia Fire Department and meet applicable codes.
 7. Caledonia Sewer and Water Utility Districts. The property owner or designated agent must contact the Caledonia Sewer and Water Utility Districts regarding Utility District regulations for this site. Compliance with all regulations and requirements, as determined by the Caledonia Sewer and Water Utility Districts is required.
 8. Engineering Department. The property owner or designated agent must contact the Village of Caledonia Engineering Department and must comply with all regulations and requirements of the Village of Caledonia Engineering Department.
 9. Parking. Parking at the site must be in compliance with the submitted plans. All employee and visitor parking must be conducted in the proposed parking lot as outlined on the submitted site plan. Each parking space shall be a minimum of nine feet wide and 180 square feet in area exclusive of the space required for ingress and egress. Handicapped spaces shall be provided in accordance with State requirements. All parking spaces shall be clearly marked. The driveway and all parking areas must be maintained in an all-weather, dust-controlled condition.
 10. Lighting. Lighting must comply with the approved lighting plan dated March 11, 2024. All lighting at the site must be full cut-off lights that may not glare onto abutting properties or onto any public roadway. Following installation, owner shall contact Village for an inspection to ensure that lighting was properly installed.
 11. Parcel Creation. The applicant must record a certified survey map with the Racine County Register of Deeds to create the legal parcel for this site plan prior to building permits being submitted.
 12. Signage. The Village's signage requirements are set forth in Title 16 of the Village's Code of Ordinances. The Village may require a Master Sign Plan for the entire new business park where this use is locating and signage at the site may, at the Village's option, be required to comply with the Master Sign Plan in accordance with Title 16 of the Village's Code of Ordinances. Any proposed advertising sign at the site will require a separate sign permit prior to installation. Banners, balloons, flashing, or animated signs are prohibited.

-
13. No Accumulation of Refuse and Debris. Any fence, wall, hedge, yard, space, or landscaped area must be kept free of any accumulation of refuse or debris. Plant materials must be kept in a healthy growing condition and structures must be maintained in a sound manner.
 14. Property Maintenance Required. A complete and thorough maintenance program must be established to insure attractiveness. The continued positive appearance of buildings and property is dependent upon proper maintenance attitudes and procedures. Maintenance programs must be established that include watering, maintaining, and pruning all landscape planting areas including removal and replacement of dead or diseased landscaping; cleaning up litter; sweeping, cleaning, and repairing paved surfaces; and cleaning, painting, and repairing windows and building façade. All drives shall be paved with asphalt. Parking areas shall be paved or have placed upon them compacted recycled asphalt. All drives and parking areas shall be maintained in a dust free condition.
 15. Performance Standards. The applicant must comply with the provisions of Title 16, Chapter 10, Section 4 of the Municipal Code, as adopted by the Village of Caledonia.
 16. Expiration. This approval will expire twelve (12) months from the date of the Village's final approval unless substantial work has commenced following such grant. If this office determines that no substantial work has commenced, the project may not occur and will require the applicant to resubmit their plans for approval and incur all costs associated with the review.
 17. Access. The applicant must allow any Village employee full and unlimited access to the project site at a reasonable time to investigate the project's construction, operation, or maintenance.
 18. Compliance with Law. The applicant is responsible for obtaining all necessary federal, state, and local permits, approvals, and licenses. The applicant is required to comply with all applicable local, state, and federal regulations, including Titles 9, 14, 16 and 18 of the Village of Caledonia Code of Ordinances.
 19. Reimburse Village Costs. Applicant shall reimburse the Village all costs incurred by the Village for review of this conditional use including but not limited to engineering, legal and planning review that occurred prior to permit issuance and during the implementation of the plans and construction of the improvements.
 20. Amendments to Building, Site & Operations Plan. No additions, deletions, or changes may be made to the project, site plan, or these conditions without the Village of Caledonia's prior approval. All addition, deletion, and/or change requests must be submitted to the Village of Caledonia in writing. A minor change to the conditions of this permit, as deemed by the Village Development Director, may be made at a staff level, if authorized by the Village Development Director.
 21. Agreement. Your accepting the site plan approval and beginning the project means that you have read, understand, and agree to follow all conditions of this approval. Therefore, Jason Lueders, TI Investors of Caledonia LLC, and their heirs, successors, and assigns, including tenants, are responsible for full compliance with the above conditions.

-
22. Subsequent Owners. It is the property owner's responsibility to inform any subsequent owner or operator of these conditions.
-

Respectfully submitted:

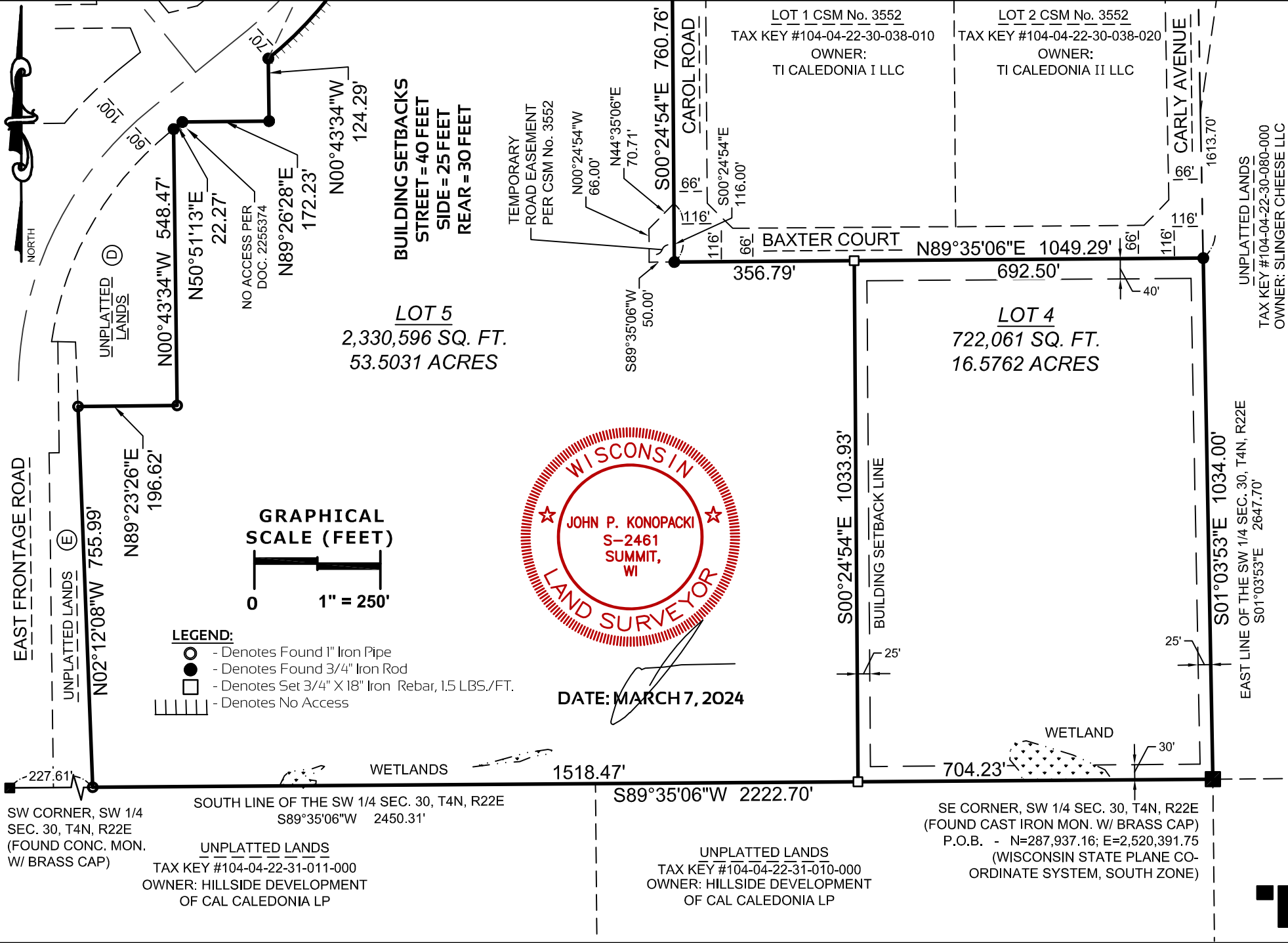
A handwritten signature in dark ink, appearing to read "Peter Wagner", is written over a light blue horizontal line.

Peter Wagner, AICP
Development Director



CERTIFIED SURVEY MAP NO. _____

All of Lot 3 of Certified Survey Map No. 3552, being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 30, Township 4 North, Range 22 East, Village of Caledonia, Racine County, Wisconsin.



DATE: MARCH 7, 2024

Prepared By:

PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD 1 SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461



COLD STORAGE BUILD TO SUIT

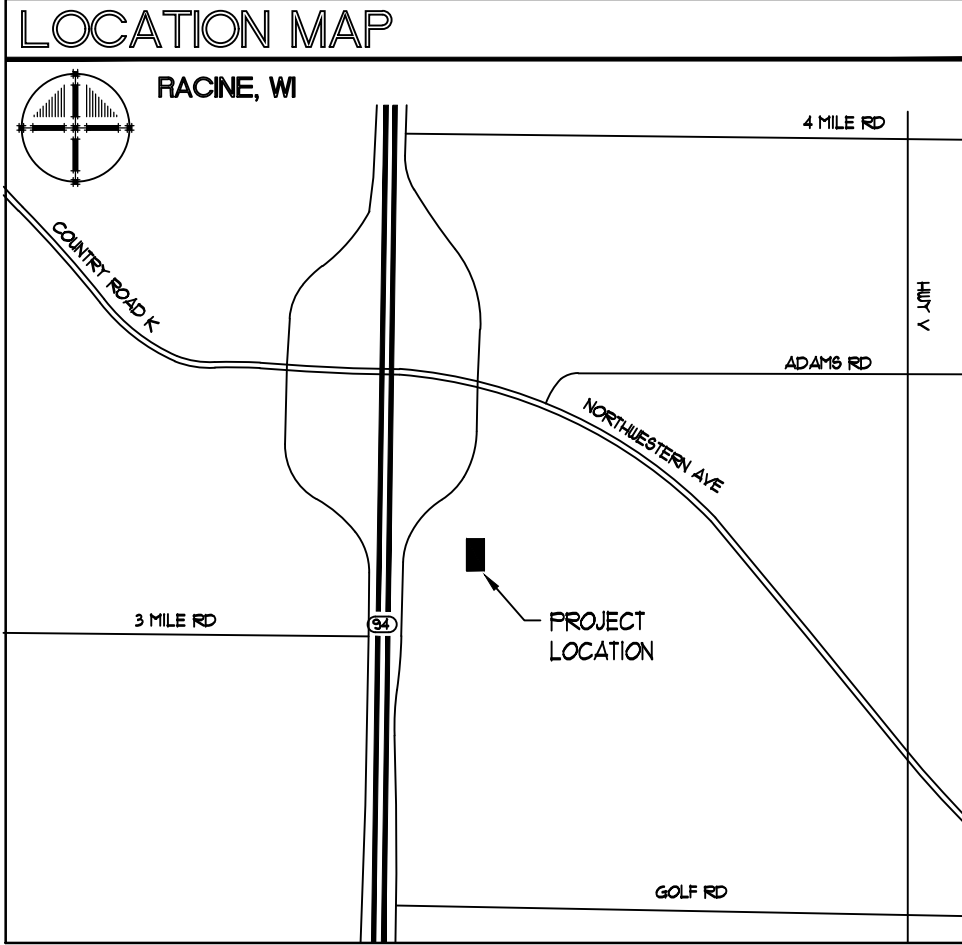
CALEDONIA CORPORATE PARK
CALEDONIA, WISCONSIN

PROJECT DATA
APPLICABLE CODES: INTERNATIONAL BUILDING CODE - 2015 AS MODIFIED BY THE WISCONSIN ENROLLED COMMERCIAL BUILDING CODE IN CHAPTER SPS 362.
BUILDING USE AND OCCUPANCY CLASSIFICATION: STORAGE: S-2 (LOW HAZARD STORAGE)
CONSTRUCTION CLASSIFICATION: TYPE IIB - UNPROTECTED, NON-COMBUSTIBLE
BUILDING AREA: 310,730 SF

GENERAL NOTES
1. DO NOT SCALE DRAWINGS. 2. CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS AND DIMENSIONS. 3. EACH CONTRACTOR SHALL REVIEW COMPLETE PLANS FOR RELATED WORK. 4. ALL WORK SHALL BE IN COMPLIANCE WITH STATE AND LOCAL CODES FOR RESPECTIVE TRADES.

ABBREVIATIONS			
ALT	ALTERNATE	HDUR	HARDWARE
ALF	ARCHITECT/ENGINEER	HM	HOLLOW METAL
AF	ABOVE FINISH FLOOR	HT	HEIGHT
ALUM	ALUMINUM	HW	HOT WATER
BD	BOARD	INT	INTERIOR
B/O	BOTTOM OF	INSUL	INSULATION
CPT	CARPET	JT	JOINT
CL	CENTER LINE	LAV	LAVATORY
CLG	CEILING	MFR	MANUFACTURER
CJ	CONTROL JOINT	MIN	MINIMUM
CMU	CONCRETE MASONRY UNIT	MO	MASONRY OPENING
CONC	CONCRETE	MTL	METAL
CONT	CONTINUOUS	NIC	NOT IN CONTRACT
CO	CLEAN OUT	NTS	NOT TO SCALE
CW	COLD WATER	OC	ON CENTER
CT	CERAMIC TILE	OFCI	OWNER FURNISHED, CONTRACTOR TO INSTALL
DBL	DOUBLE	OPF	OPPOSITE
DF	DRINKING FOUNTAIN	PLYD	PLYWOOD
DIA	DIAMETER	PL	PLASTIC LAMINATE
DM	DIMENSION	PL	PLATE
DN	DOWN	PT	PORCELAIN TILE
DR	DOOR	QT	QUARRY TILE
DS	DOWNSPOUT	REQ'D	REQUIRED
DTL	DETAIL	RO	ROUGH OPENING
DWG	DRAWING	SHT	SHEET
EA	EACH	SV	SHEET VINYL
EFS	EXTERIOR INSULATION AND FINISH SYSTEM	SM	SIMILAR
EL	ELEVATION	SS	SOLID SURFACE
EJ	EXPANSION JOINT	SST	STAINLESS STEEL
EQ	EQUAL	STD	STANDARD
EQUIP	EQUIPMENT	SAT	SUSPENDED ACOUSTIC TILE
EXST	EXISTING		
EXT	EXTERIOR		
EWC	ELECTRIC WATER COOLER	TBD	TO BE DETERMINED
FEC	FIRE EXTINGUISHER CABINET	TEMP	TEMPORARY
FN	FINISH	T/O	TOP OF
FD	FLOOR DRAIN	T&G	TONGUE AND GROOVE
TYP	TYPICAL		
FLR	FLOOR	UNO	UNLESS NOTED OTHERWISE
FRP	FIBERGLASS REINFORCED PLASTIC	VCT	VINYL COMPOSITION TILE
		VB	VINYL BASE
GA	GAUGE	VF	VERIFY IN FIELD
GALV	GALVANIZED	WD	WOOD
GYP BD	GYP BOARD	WUF	WELDED WIRE FABRIC

SHEET INDEX	
II	TITLE SHEET
ARCHITECTURAL	
A32	BUILDING FLOOR PLAN
A41	EXTERIOR ELEVATIONS
A42	EXTERIOR ELEVATIONS
A51	ROOF PLAN



ZILBER
PROPERTY GROUP

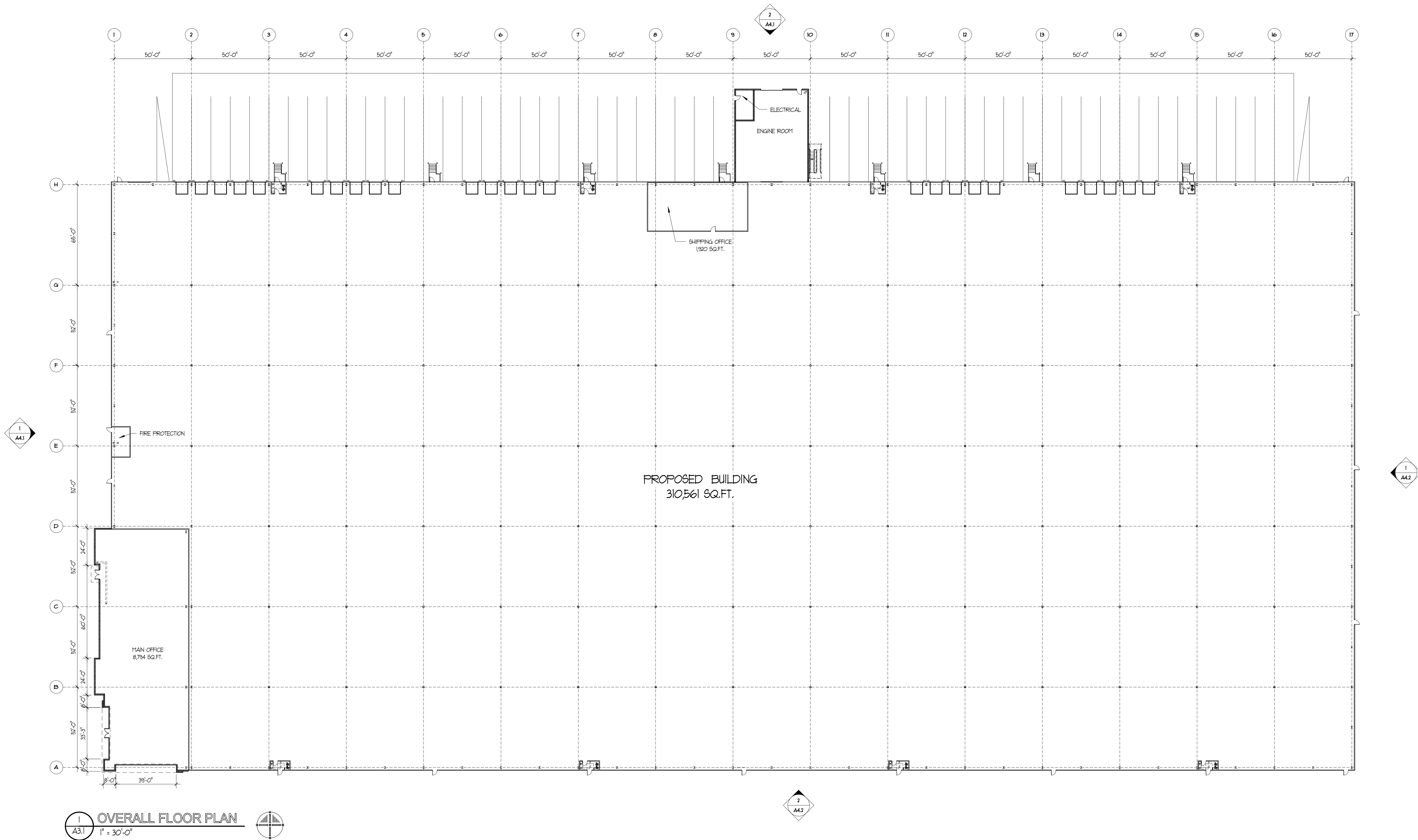
CLIENT:
ZILBER PROPERTY GROUP
110 N. PLANKINTON AVENUE
MILWAUKEE, WISCONSIN 53203
PHONE: 262.274.2600
ATTN: JASON LUEDERS

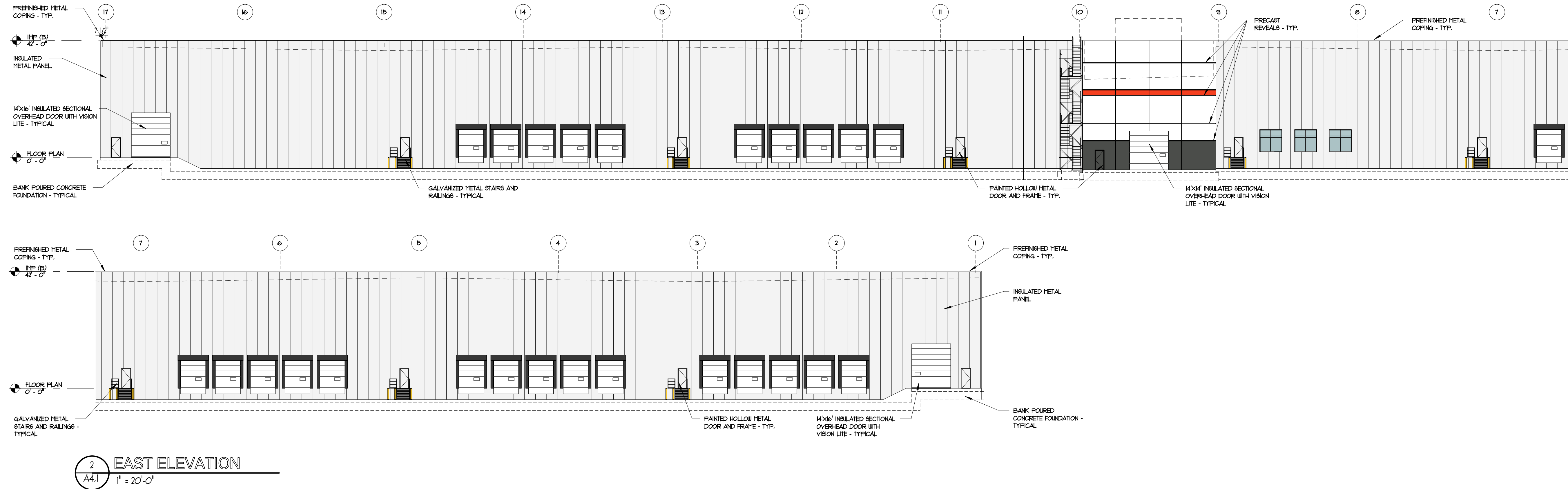
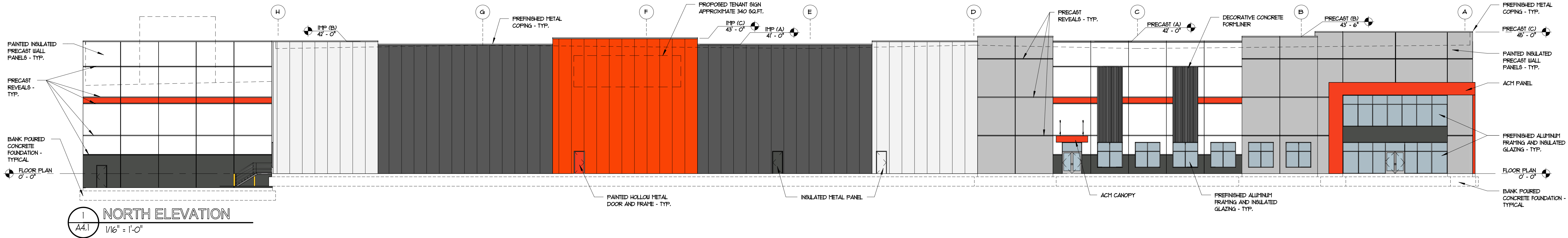
PartnersinDesign
ARCHITECTS

ARCHITECT:
PARTNERS IN DESIGN ARCHITECTS
2610 LAKE COOK ROAD, SUITE 280
RIVERWOODS, IL 60015
PHONE: 847.540.0300
ATTN: YAROSLAV SOLTY'S
OR WERNER BRISKE, AIA

PartnersinDesign
ARCHITECTS

COLD STORAGE
BUILD TO SUIT
PROJECT NUMBER: 522.24.014
BUILDING SITE AND
OPERATION PLAN
SUBMITTAL #1
ISSUE DATE: 03.11.24





REVISIONS:
A 03.11.24 Building Site and Operation Plan Submittal #1

COLD STORAGE BUILD TO SUIT
Caledonia Corporate Park

EXTERIOR ELEVATIONS

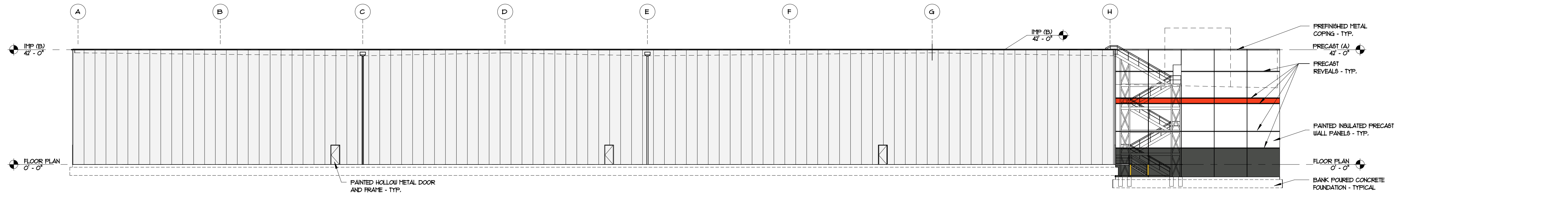
600 Fifty-Second Street
Suite 220
Kenosha, Wisconsin 53140
Ph.: (262)652-2800

Partners in Design
ARCHITECTS

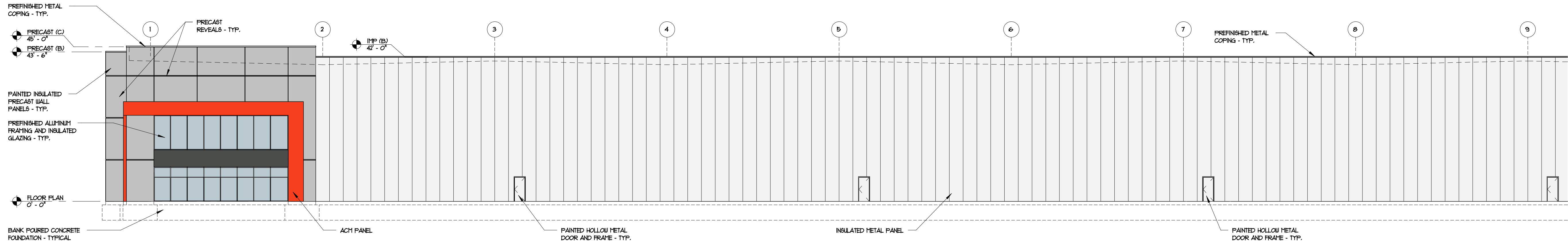


PROJECT NO.:
522.24.014
DRAWN BY: YTB CHECKED BY: WTB
DATE: 03.11.24
SHEET NO.:

A4.1



1 SOUTH ELEVATION
1" = 20'-0"



2 WEST ELEVATION
1/16" = 1'-0"

COLD STORAGE BUILD TO SUIT
Caledonia Corporate Park
EXTERIOR ELEVATIONS

600 Fifty-Second Street
Suite 220
Kenosha, Wisconsin 53140
Ph: (262) 652-2800

Partners in Design
ARCHITECTS



PROJECT NO.:
522.24.014
DRAWN BY: YMB CHECKED BY: WMB
DATE: 03.11.24
SHEET NO.:

A4.2

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC. DESIGNED: AEA
CHECKED: JAS
DRAFTED: EP

CIVIL ENGINEERING INFRASTRUCTURE PLANS
FOR
COLD STORAGE BUILD TO SUIT
VILLAGE OF CALEDONIA, WI

PLANS PREPARED
FOR

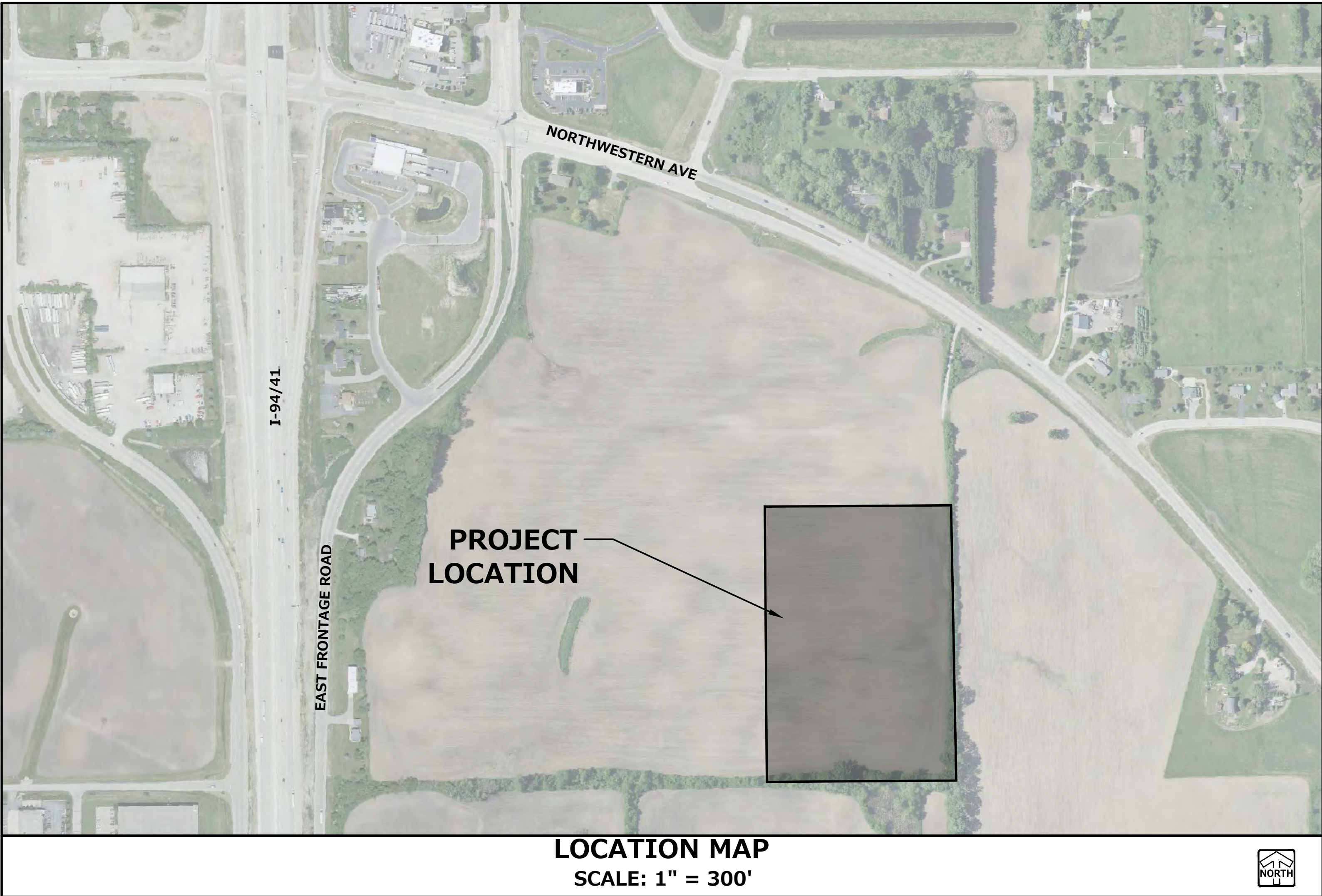
ZILBER
PROPERTY GROUPSM

LEGEND

	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER CATCH BASIN (ROUND CASTING)	⊙	●
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	□	■
PRECAST FLARED END SECTION	△	▶
CONCRETE HEADWALL	∩	∩
VALVE BOX	⋈	⋈
FIRE HYDRANT	⋈	⋈
CLEANOUT	⊕	⊕
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
FIRE PROTECTION	—	—
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
UTILITY CROSSING	—	—
CAUTION EXISTING UTILITIES NEARBY		⚠
GRANULAR TRENCH BACKFILL		▨
LIGHTING	⋈	⋈
ELECTRICAL TRANSFORMER OR PEDESTAL	⊕	⊕
POWER POLE	⋈	⋈
POWER POLE WITH LIGHT	⋈	⋈
GUY WIRE	⋈	⋈
STREET SIGN	⋈	⋈
CONTOUR	—	—
SPOT ELEVATION	× (750.00)	± 750.00
WETLANDS	▨	▨
PRIMARY ENVIRONMENTAL CORRIDOR	▨	▨
FLOODWAY	▨	▨
FLOODPLAIN	▨	▨
HIGH WATER LEVEL (HWL)	▨	▨
NORMAL WATER LEVEL (NWL)	▨	▨
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	→	→
DIVERSION SWALE	→	→
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⋈	⋈
SOIL BORING	⋈	⋈
TOPSOIL PROBE	⋈	⋈
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK CURB AND GUTTER	▨	▨
DEPRESSED CURB	▨	▨
REVERSE PITCH CURB & GUTTER	▨	▨
EASEMENT LINE	▨	▨

ABBREVIATIONS

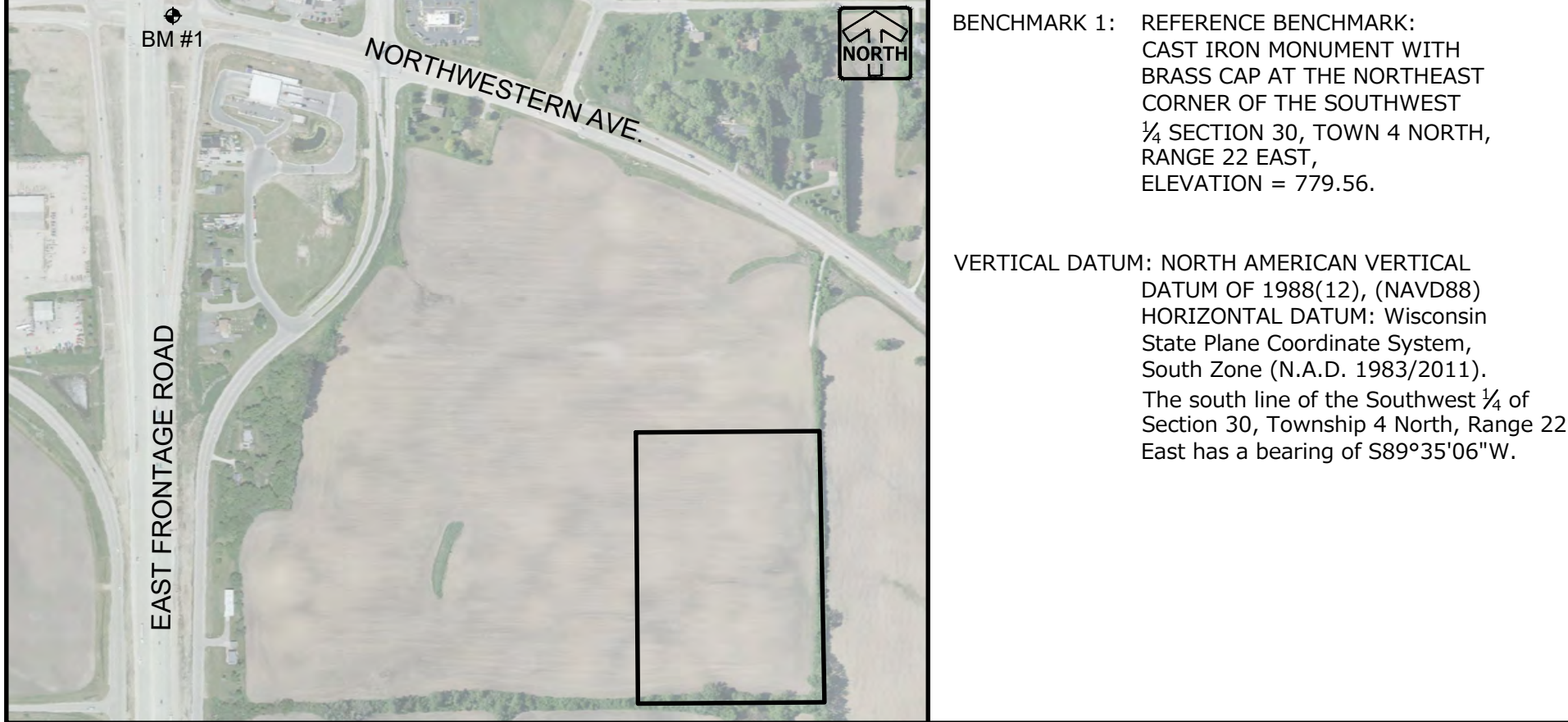
BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TF	TOP OF FOUNDATION
FP	FLOODPLAIN	TP	TOP OF PIPE
FR	FRAME	TS	TOP OF SIDEWALK
FW	FLOODWAY	TW	TOP OF WALK
HWL	HIGH WATER LEVEL	WM	WATER MAIN
INV	INVERT	Δ	INTERSECTION ANGLE
L	LENGTH OF CURVE		
MH	MANHOLE		



GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- A DRAFT GEOTECHNICAL REPORT HAS BEEN PREPARED BY ECS ON 12/21/2021. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

BENCHMARKS



BENCHMARK 1: REFERENCE BENCHMARK:
CAST IRON MONUMENT WITH
BRASS CAP AT THE NORTHEAST
CORNER OF THE SOUTHWEST
1/4 SECTION 30, TOWN 4 NORTH,
RANGE 22 EAST,
ELEVATION = 779.56.

VERTICAL DATUM: NORTH AMERICAN VERTICAL
DATUM OF 1988(12), (NAVD88)
HORIZONTAL DATUM: Wisconsin
State Plane Coordinate System,
South Zone (N.A.D. 1983/2011).
The south line of the Southwest 1/4 of
Section 30, Township 4 North, Range 22
East has a bearing of S89°32'06"W.

PROJECT TEAM CONTACTS

CIVIL ENGINEER: ANDREW SHOAF, P.E. PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD BROOKFIELD, WI 53186 MAIN: (262) 754-8888 E-MAIL: andrew.shoaf@pinnacle-engr.com	ARCHITECT: WERNER BRISKE PARTNERS IN DESIGN, INC. 2610 LAKE COOK RD., SUITE 280 RIVERWOODS, IL 60015 (847) 940-0300
SURVEYOR: JOHN KONOPACKI, P.L.S. PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD BROOKFIELD, WI 53186 MAIN: (262) 754-8888 E-MAIL: john.konopacki@pinnacle-engr.com	APPLICANT: JASON LUEDERS ZILBER PROPERTY GROUP 710 N. PLANKINGTON AVENUE MILWAUKEE, WI 53202 (414) 274-2625

INDEX OF SHEETS

C-1	COVER SHEET
C-2	GENERAL NOTES
C-3	EXISTING CONDITIONS
C-5	SITE DIMENSIONAL & PAVING PLAN
C-6	GRADING PLAN
C-7	UTILITY PLAN
C-8	SITE STABILIZATION PLAN
C-9 - C-11	CONSTRUCTION DETAILS
L-1 - L-3	LANDSCAPE PLAN

REQUIRED SUBMITTALS FOR APPROVAL

- ASPHALT PAVEMENTS
- CONCRETE PAVEMENTS (EXTERIOR)
- STONE BASE COURSE
- TRENCH BACKFILL
- PIPE BEDDING

REQUIRED SUBMITTALS FOR RECORDS

- WATER MAIN PIPE FITTINGS
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND UTILITY RECORD DRAWINGS
- CHEMICAL SOIL STABILIZATION MIX DESIGN (IF APPLICABLE)



EXPIRATION DATE: JULY 31, 2024

PINNACLE ENGINEERING GROUP, LLC
ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC. DESIGNED: JAS REVIEWED: ASA DATED: EP



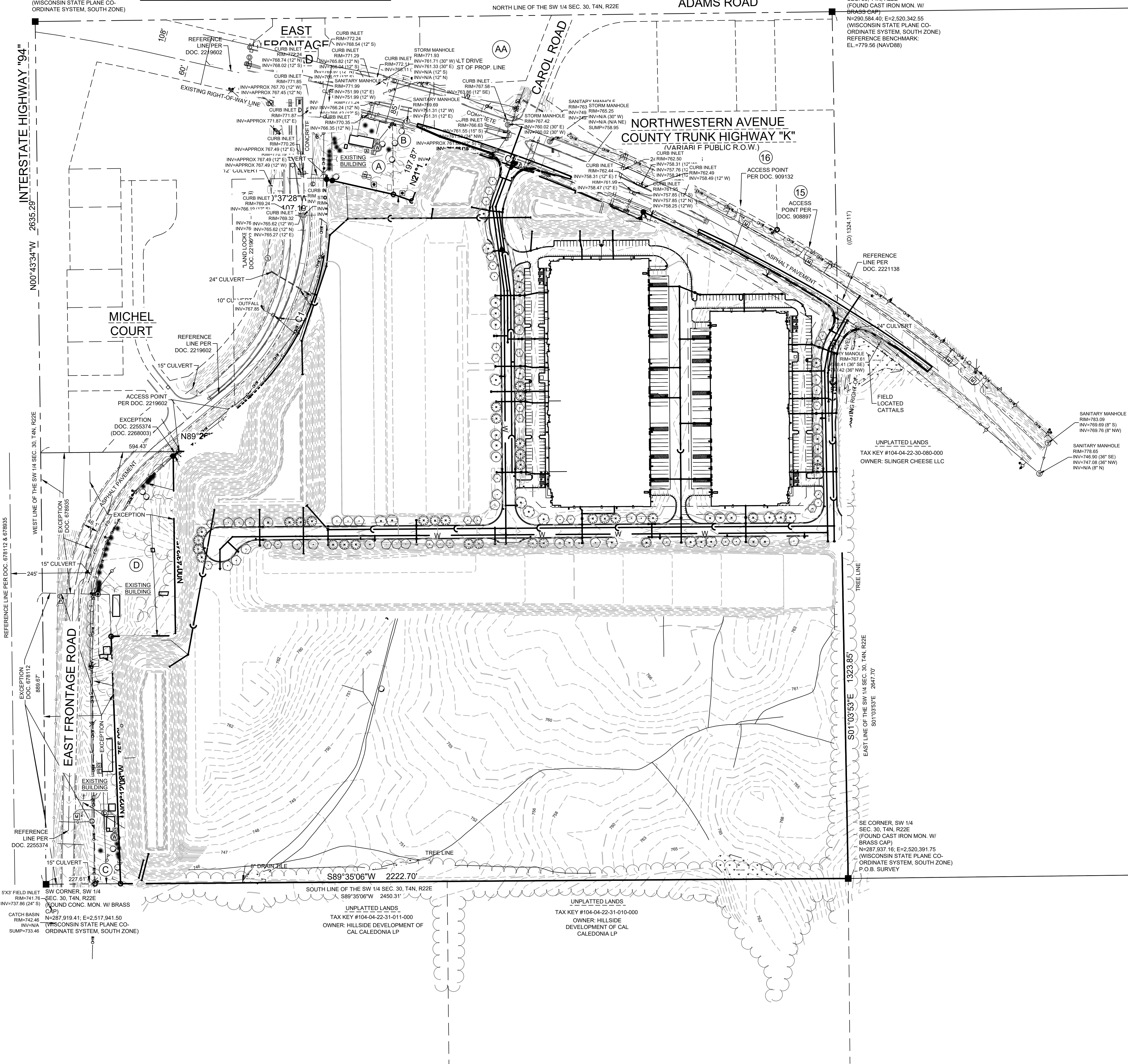
GRAPHICAL SCALE (FEET)

0 1" = 150' 300'

CURVE TABLE				
CURVE NO.	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	684.45'	758.00'	N25°14'37"E	661.43'
C2	669.68'	4378.00'	S68°51'11"E	669.02'
C3	641.75'	4227.18'	S61°01'02"E	641.13'

NE CORNER, SW 1/4
SEC. 30, T4N, R22E
(FOUND MON. W/ BRASS CAP)
N=290,554.49; E=2,517,908.11
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE)

NE CORNER, SW 1/4
SEC. 30, T4N, R22E
(FOUND CAST IRON MON. W/
BRASS CAP)
N=290,584.40; E=2,520,342.55
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE)
REFERENCE BENCHMARK:
EL. +775.56 (NAVD83)



SW CORNER, SW 1/4
SEC. 30, T4N, R22E
(FOUND MON. W/ BRASS CAP)
N=290,554.49; E=2,517,908.11
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE)

SOUTH LINE OF THE SW 1/4 SEC. 30, T4N, R22E
S89°35'06"W 2450.31'
UNPLATTED LANDS
TAX KEY #104-04-22-31-011-000
OWNER: HILLSIDE DEVELOPMENT OF CAL CALEDONIA LP

UNPLATTED LANDS
TAX KEY #104-04-22-31-010-000
OWNER: HILLSIDE DEVELOPMENT OF CAL CALEDONIA LP

SE CORNER, SW 1/4
SEC. 30, T4N, R22E
(FOUND CAST IRON MON. W/
BRASS CAP)
N=290,507.16; E=2,520,391.75
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE)
P.O.B. SURVEY

1	MUNICIPAL SUBMITTAL	03/11/24

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REVIEWED: ARA

DESIGNED: AJS

DRAWN: EP

ALL WORK WITHIN PUBLIC R.O.W.
SHALL CONFORM TO VILLAGE OF
CALEDONIA STANDARDS.

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

WETLAND

REMOVE EXISTING
DRAIN TILE
PREVIOUSLY
APPROVED IN MASS
GRADING PLAN

REMOVE EXISTING TREE
REMOVE & SALVAGE
EXISTING STREET LIGHT
REMOVE EXISTING TREE

REMOVE 110 LF
EXISTING CURB
AND GUTTER

REMOVE EXISTING CAP

BAXTER CT.

REMOVE EXISTING CAP

REMOVE EXISTING TREE,
SALVAGE, AND RE-PLANT
PER LANDSCAPE PLANS

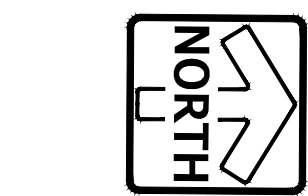
REMOVE 64 LF
EXISTING CURB
AND GUTTER

REMOVE 146 LF
EXISTING CURB
AND GUTTER

REMOVE 845 SF
EXISTING PAVEMENT

REMOVE EXISTING CAP

CLEAR & GRUB
EXISTING TREES




GRAPHICAL SCALE (FEET)

0 1" = 30' 60'

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FOR REVIEW

DEMOLITION PLAN



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**COLD STORAGE
BUILD TO SUIT
VILLAGE OF CALEDONIA, WI**

DEMOLITION PLAN

REVISIONS	
1. MUNICIPAL SUBMITTAL	03/11/24

REG. JOB NO. 1912.30-WI
REG. NO. ARA
START DATE 12/19/23
SCALE 1" = 30'

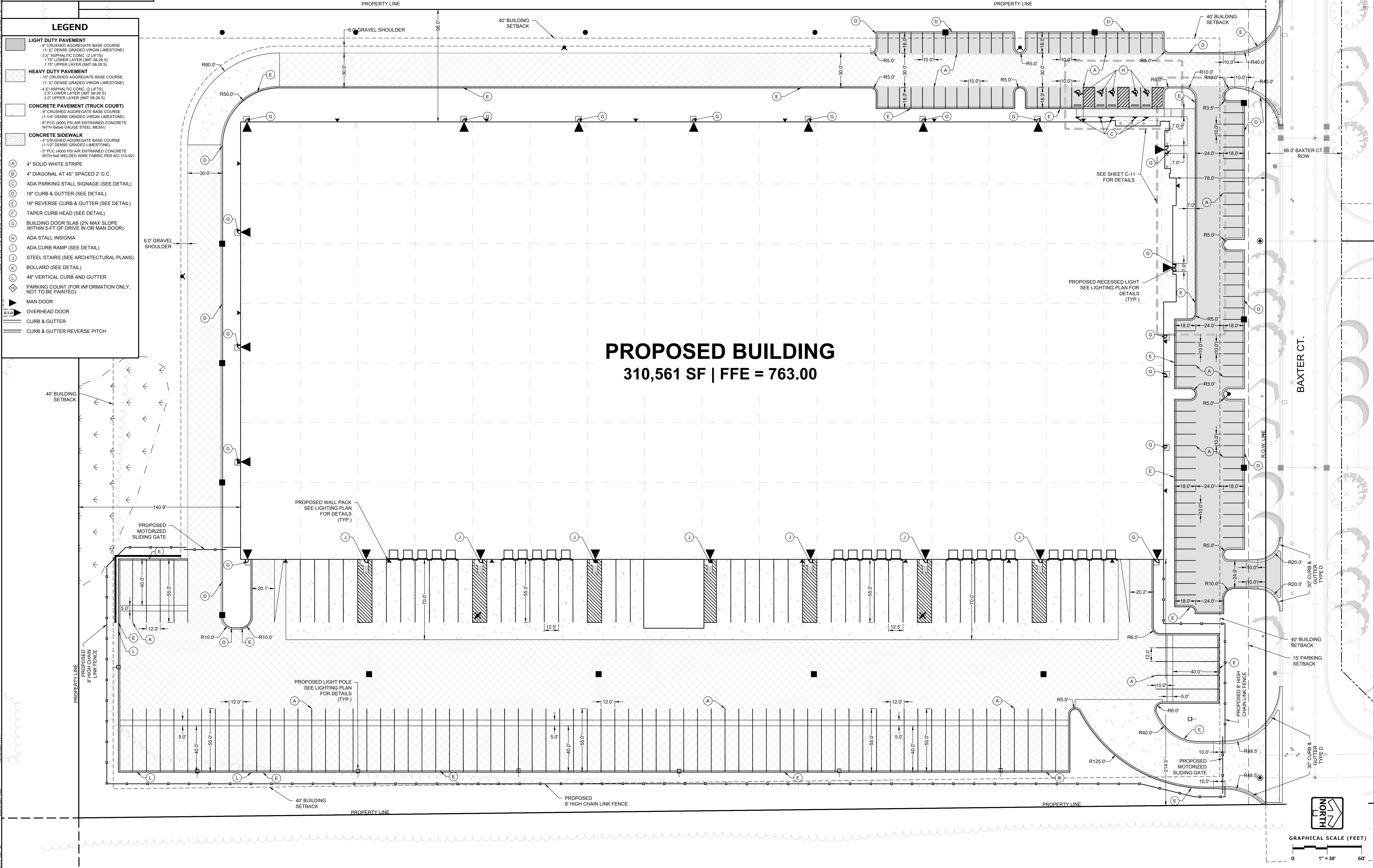
SHEET
C-4
of
C-11

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REVIEWED: AEA
DESIGNED: JAS
DRAFTED: EP

SITE DATA	
SITE AREA:	722.062 S.F./16.58 AC
ZONING CLASSIFICATION:	M1
BUILDING FOOTPRINT AREA:	310,561 S.F./7.13 AC/43.00%
PAVING AREA:	200,918 S.F./5.99 AC/36.13%
GREEN SPACE:	150,583 S.F./3.46 AC/20.85%
PARKING PROVIDED (10'x18')	106 (5 ADA)

ALL WORK WITHIN PUBLIC R.O.W.
SHALL CONFORM TO VILLAGE OF
CALEDONIA STANDARDS.

LEGEND	
	LIGHT DUTY PAVEMENT - 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED VIRGIN LIMESTONE) - 3/4" ASPHALTIC CONC. (2 LIFTS) 1.75" LOWER LAYER (SMT 56-28 S) 1.75" UPPER LAYER (SMT 56-28 S)
	HEAVY DUTY PAVEMENT - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED VIRGIN LIMESTONE) - 4/2" ASPHALTIC CONC. (2 LIFTS) 2.3" LOWER LAYER (SMT 56-28 S) 2.0" UPPER LAYER (SMT 56-28 S)
	CONCRETE PAVEMENT (TRUCK COURT) - 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED VIRGIN LIMESTONE) - 6" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH 6x6 GAUGE STEEL MESH)
	CONCRETE SIDEWALK - 4" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 5" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH 6x6 WELDED WIRE FABRIC PER ACI 315-92)
	4" SOLID WHITE STRIPE
	4" DIAGONAL AT 45° SPACED 2" O.C.
	ADA PARKING STALL SIGNAGE (SEE DETAIL)
	18" CURB & GUTTER (SEE DETAIL)
	18" REVERSE CURB & GUTTER (SEE DETAIL)
	TAPER CURB HEAD (SEE DETAIL)
	BUILDING DOOR SLAB (2% MAX SLOPE WITHIN 5-FT OF DRIVE IN OR MAN DOOR)
	ADA STALL INSIGNIA
	ADA CURB RAMP (SEE DETAIL)
	STEEL STAIRS (SEE ARCHITECTURAL PLANS)
	BOLLARD (SEE DETAIL)
	48" VERTICAL CURB AND GUTTER
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	MAN DOOR
	OVERHEAD DOOR
	CURB & GUTTER
	CURB & GUTTER REVERSE PITCH



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**COLD STORAGE
BUILD TO SUIT
VILLAGE OF CALEDONIA, WI**

SITE DIMENSIONAL & PAVING PLAN

REVISIONS	
1. MUNICIPAL SUBMITTAL	03/11/24


REG. JOB NO. 1912.30-WT	AREA	SHEET
START DATE: 12/19/23	SCALE: 1" = 30'	C-5 of C-11
DATE: 03/11/24		

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REVIEWED: AEA

DESIGNED: AJS

DRAWN: EP



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**COLD STORAGE
BUILD TO SUIT
VILLAGE OF CALEDONIA, WI**

GRADING PLAN

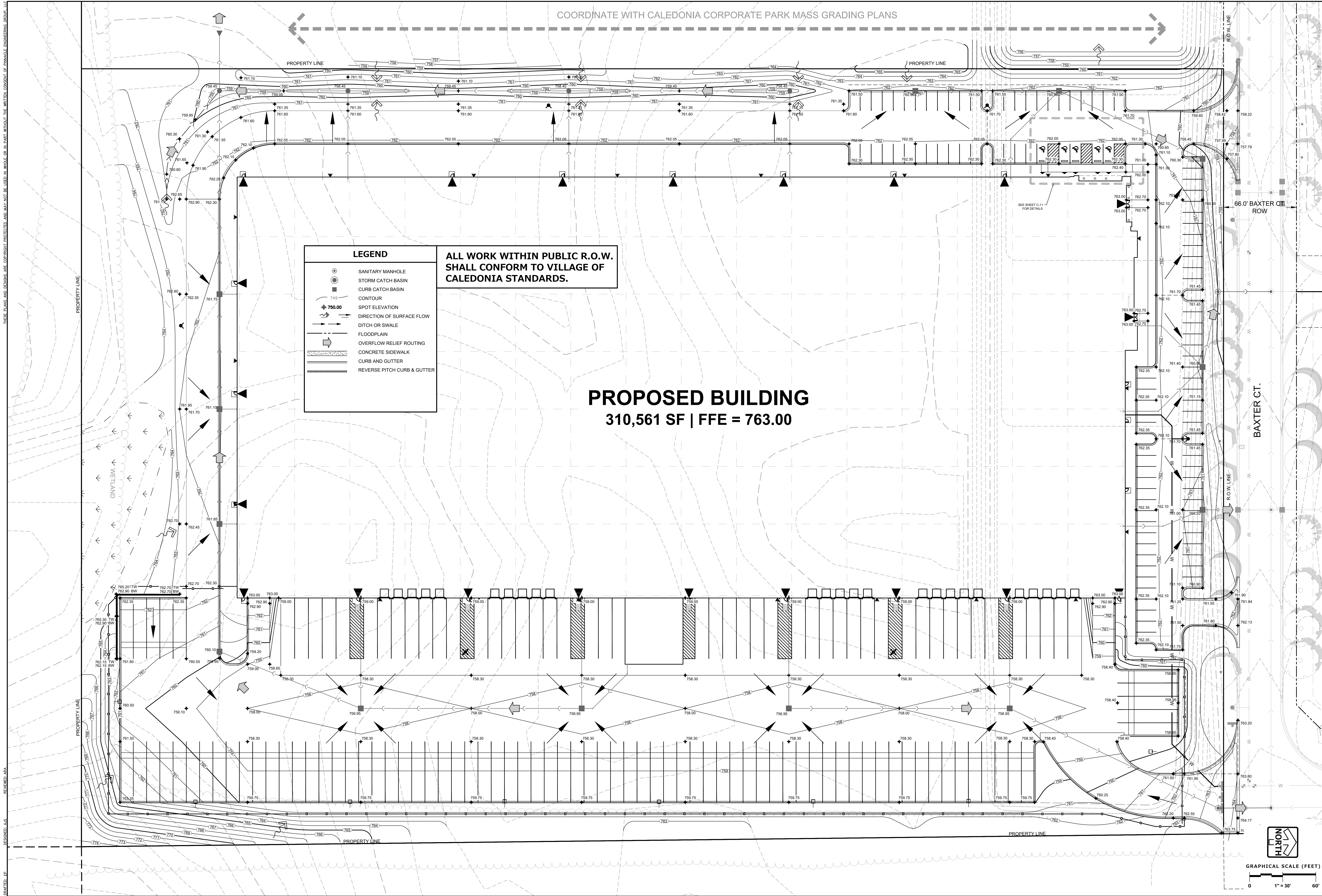
REVISIONS	
1. MUNICIPAL SUBMITTAL	03/11/24

REG. JOB NO. 1912.30-WI	AREA	SHEET
REG. P.A.	START DATE: 12/19/23	C-6
SCALE: 1" = 30'	DATE: 03/11/24	C-11

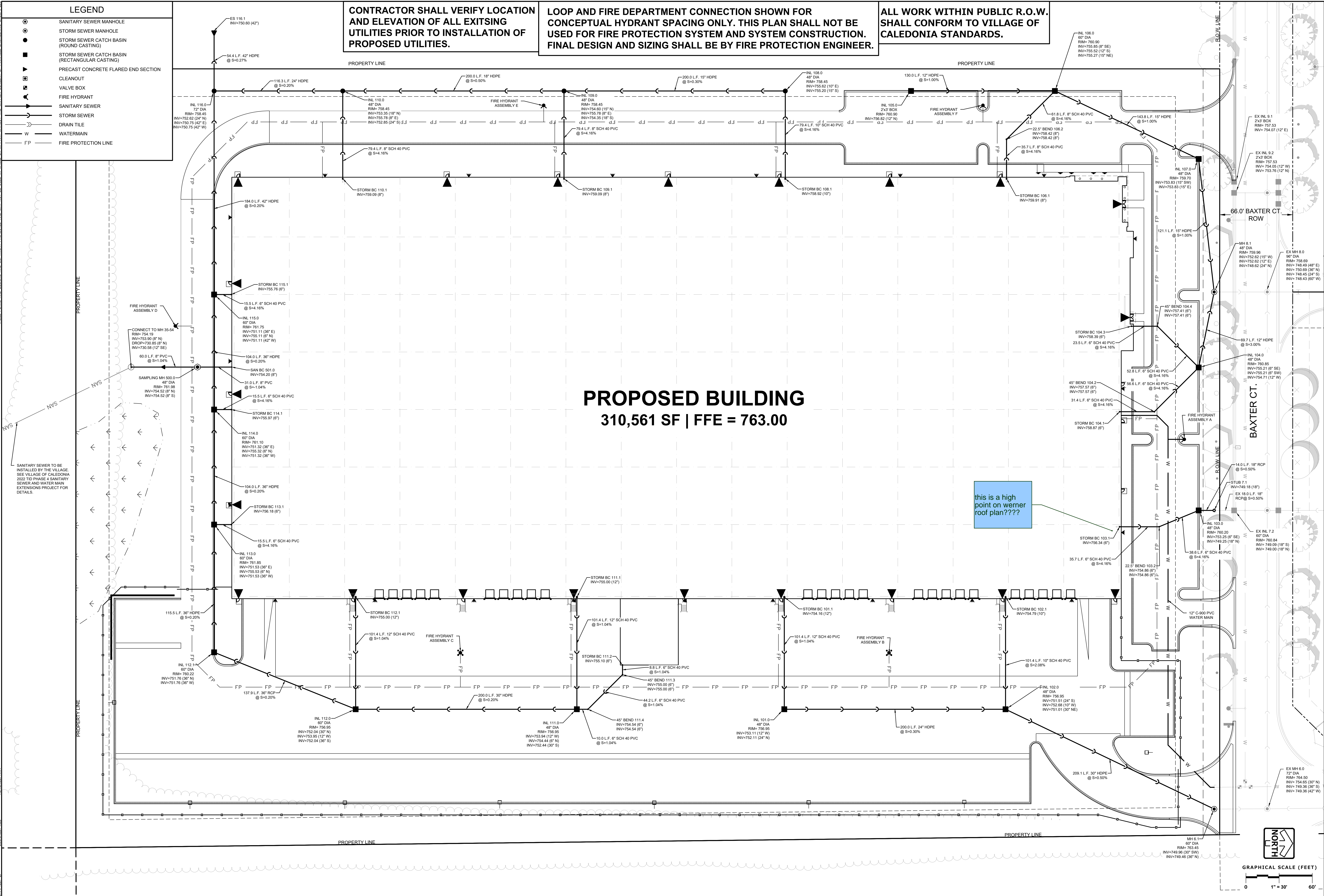
GRADING PLAN

FOR REVIEW

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REVIEWED: AEA
DESIGNED: JAS
DRAFTED: EP



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**COLD STORAGE
BUILD TO SUIT
VILLAGE OF CALEDONIA, WI**

UTILITY PLAN

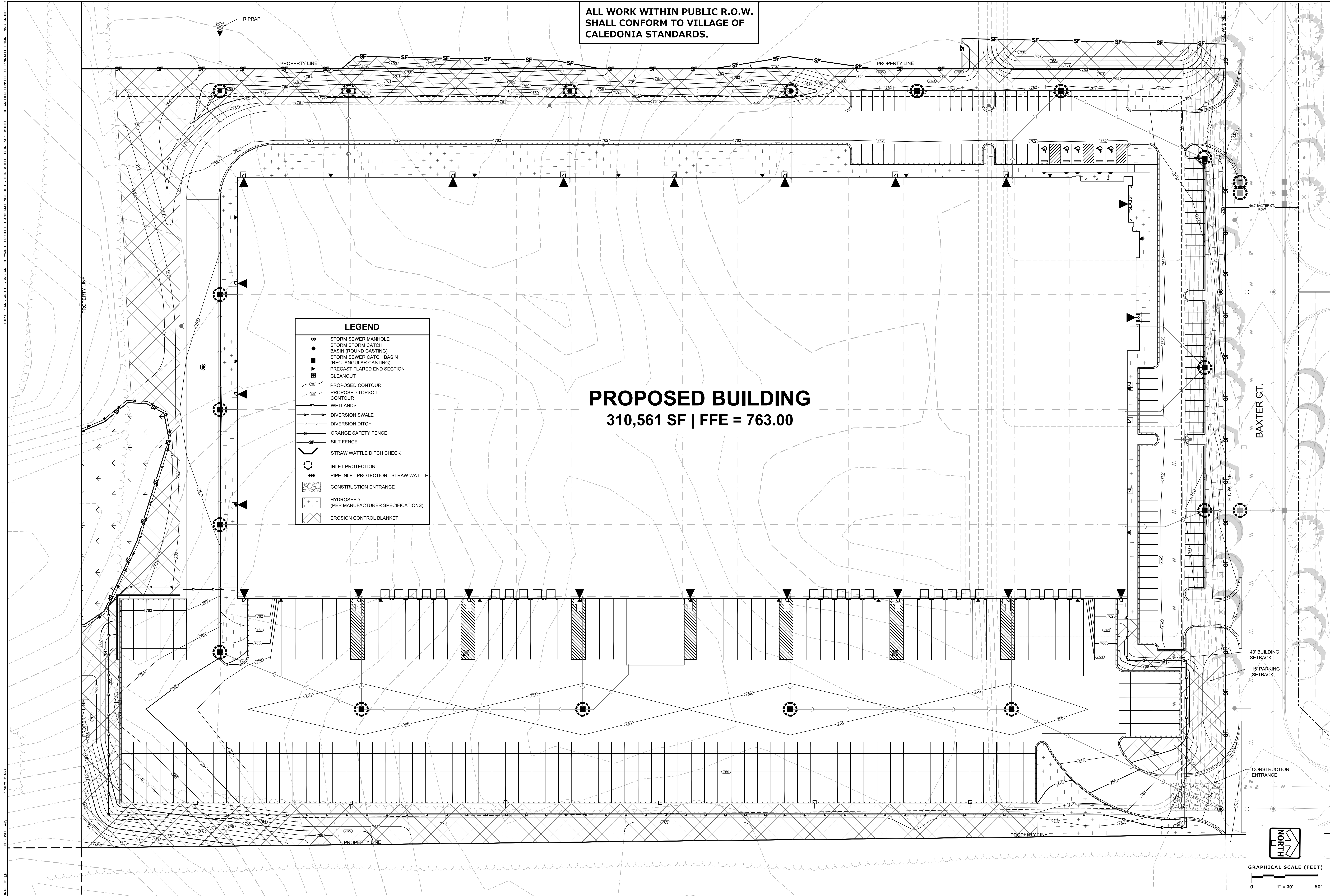
REVISIONS	
1. MUNICIPAL SUBMITTAL	03/11/24

REC'D BY	DATE	SCALE
REC'D BY	DATE	SCALE

SHEET
C-7
of
C-11

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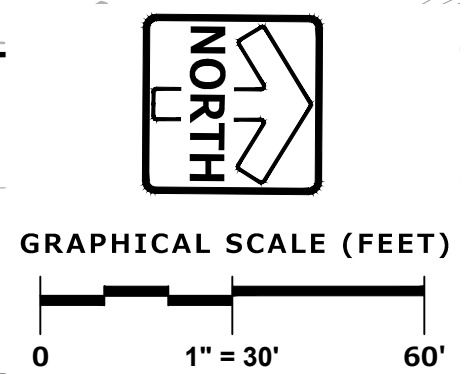
DESIGNED: JAS
CHECKED: JAS
DRAWN: JAS
DATE: 12/19/23



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SHALL CONFORM TO VILLAGE OF
CALEDONIA STANDARDS.

PROPOSED BUILDING
310,561 SF | FFE = 763.00

- LEGEND**
- STORM SEWER MANHOLE
 - STORM STORM CATCH BASIN (ROUND CASTING)
 - STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
 - ▲ PRECAST FLARED END SECTION CLEANOUT
 - PROPOSED CONTOUR
 - PROPOSED TOPSOIL CONTOUR
 - WETLANDS
 - DIVERSION SWALE
 - DIVERSION DITCH
 - ORANGE SAFETY FENCE
 - SILT FENCE
 - STRAW WATTLE DITCH CHECK
 - INLET PROTECTION
 - PIPE INLET PROTECTION - STRAW WATTLE
 - CONSTRUCTION ENTRANCE
 - ++ HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
 - EROSION CONTROL BLANKET



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**COLD STORAGE
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VILLAGE OF CALEDONIA, WI**

SITE STABILIZATION PLAN

REVISIONS	
1. MUNICIPAL SUBMITTAL	03/11/24

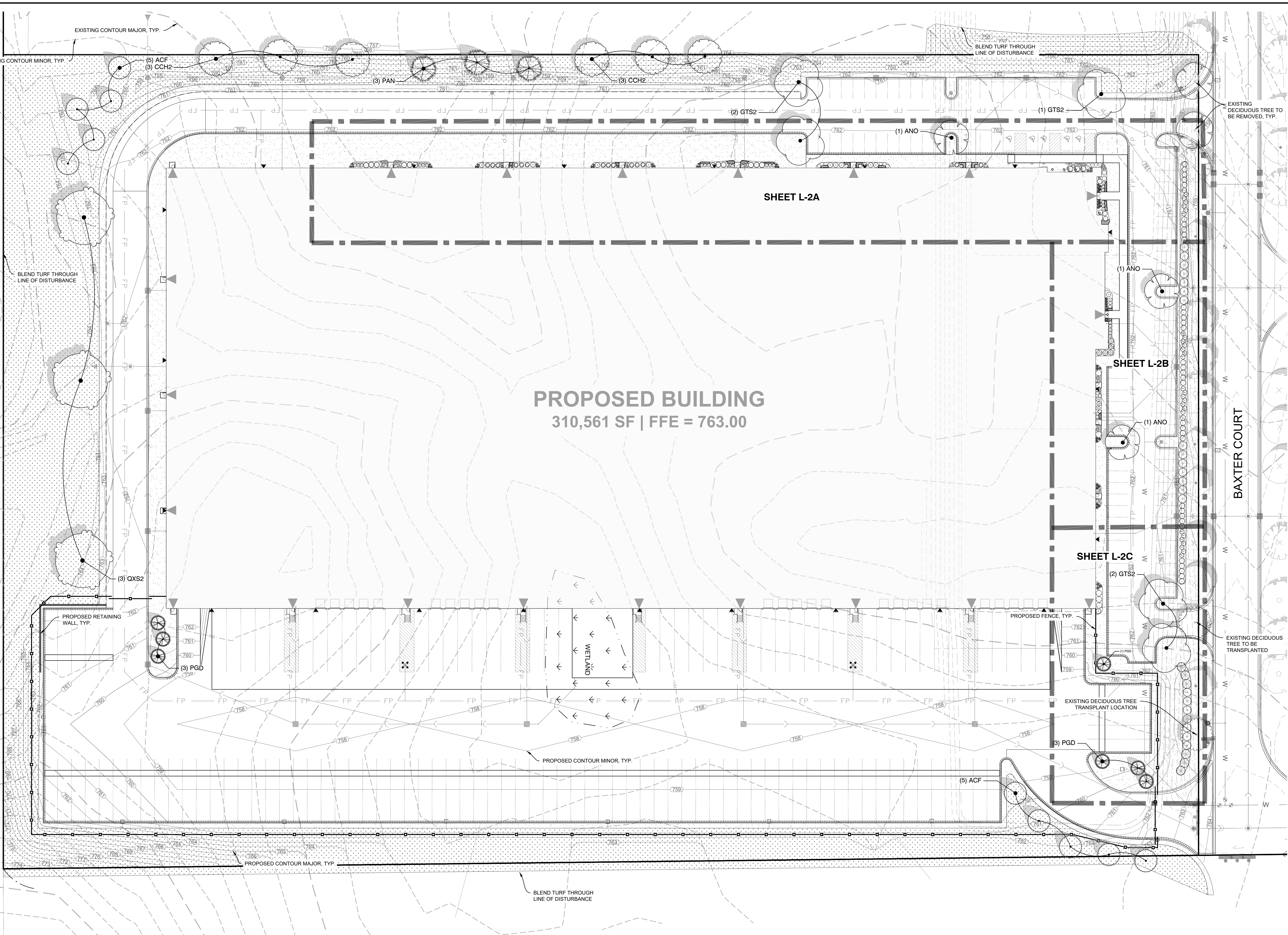
REG. JOB NO. 1912.30-WI	AREA
REG. NO.	START DATE 12/19/23
SCALE 1" = 30'	SHEET C-8 of C-11

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PRINTED: SAT

DESIGNED: SAT

REVIEWED: DUB



PLANT SCHEDULE

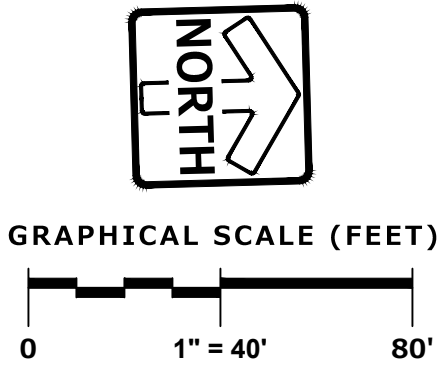
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS TREES					
ANO	3	Acer rubrum 'Northwood'	Northwood Maple	1.5" Cal	50' T x 95' W
CCH2	6	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry	1.5" Cal	50' T x 40' W
GTS2	5	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Locust	1.5" Cal	60' T x 50' W
QXS2	3	Quercus x schuetii	Swamp Bur Oak	1.5" Cal	70' T x 65' W
EVERGREEN TREES					
ACF	10	Abies concolor	White Fir	5' Ht.	40' T x 23' W
PAN	3	Picea abies	Norway Spruce	5' Ht.	60' T x 25' W
PGD	7	Picea glauca 'Densata'	Black Hills Spruce	5' Ht.	30' T x 15' W
SHRUBS					
CAF	25	Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood	2 gal.	3' T x 3' W
HAA	5	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	2 gal.	5' T x 5' W
HIS	9	Hydrangea arborescens 'NCHA1'	Invincible Spirit Hydrangea	2 gal.	4' T x 3' W
HVS	3	Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	3 gal.	6' T x 5' W
HBO	4	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	2 gal.	3' T x 4' W
IWJ	1	Pinus mugo 'Slowmound'	Slowmound Mugo Pine	2 gal.	3' T x 3' W
IVR	3	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	3 gal.	5' T x 5' W
RPP	14	Rosa rugosa 'Purple Pavement'	Purple Pavement Rugosa Rose	2 gal.	5' T x 4' W
RCC	11	Rosa x 'Coral Cove'	Coral Cove Rose	2 gal.	3' T x 3' W
SO3	2	Syringa x 'SMNJRP1' TM	Bloomerang Dwarf Pink Lilac	2 gal.	4' T x 3' W
EVERGREEN SHRUBS					
JSP	21	Juniperus chinensis 'J.N. Select Blue'	Star Power Juniper	4' Ht.	16' T x 8' W
JCS	35	Juniperus chinensis 'Sea Green'	Sea Green Juniper	3 gal.	5' T x 5' W
JGO	12	Juniperus virginiana 'Grey Owl'	Eastern Redcedar Juniper	3 gal.	3' T x 5' W
PN2	11	Picea abies 'Nidiformis'	Nest Spruce	2 gal.	3' T x 5' W
PMS	3	Pinus mugo 'Slowmound'	Slowmound Mugo Pine	2 gal.	3' T x 3' W
TME	6	Taxus x media 'Everlow'	Everlow Yew	3 gal.	2' T x 5' W
TMT	5	Taxus x media 'Tauntoni'	Tauntoni Yew	3 gal.	4' T x 5' W
TG	2	Taxus x media 'SMNTHDB'	Stonehenge Dark Druid® Yew	3 gal.	4' T x 3' W
THH	28	Thuja occidentalis 'Holmstrup'	Holmstrup Cedar	4' Ht.	14' T x 4' W
TFC	2	Thuja occidentalis 'Congabe'	Fire Chief Arborvitae	2 gal.	2' T x 3' W
TS	6	Thuja occidentalis 'Sunkist'	Sunkist Arborvitae	4' Ht.	16' T x 10' W

ORNAMENTAL GRASSES

AGD	6	Andropogon gerardii 'Dancing Wind'	Dancing Wind Big Blue Stem	1 gal.	36" T x 30" W
CKF	7	Calamagrostis x a 'Karl Foerster'	Karl Foerster Reed Grass	1 gal.	36" T x 24" W
CFO	24	Calamagrostis x a 'Overdam'	Overdam Reed Grass	1 gal.	24" T x 24" W
DS2	28	Deschampsia cespitosa 'Schottland'	Schottland Tufted Hair Grass	1 gal.	48" T x 30" W
MSO	3	Miscanthus sinensis 'Oktoberfest'	Oktoberfest Miscanthus	1 gal.	48" T x 36" W
STD	12	Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 gal.	15" T x 20" W

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
PERENNIALS						
BJF	22	Brunnera macrophylla 'Jack Frost'	Jack Frost Brunnera	4.5" Cont.	15" o.c.	18" T x 18" W
EMS	7	Echinacea purpurea 'Magnus Superior'	Magnus Superior Coneflower	4.5" Cont.	16" o.c.	28" T x 16" W
HPP	24	Heuchera m 'Palace Purple'	Palace Purple Coral Bells	4.5" Cont.	18" o.c.	18" T x 18" W
HGS	3	Hosta x 'Gold Standard'	Gold Standard Hosta	4.5" cont.	40" o.c.	20" T x 50" W
HW	6	Hosta x 'Wheeler'	Shadowland® Wheel Hosta	1 gal.	28" o.c.	24" T x 30" W
LWD	26	Leucanthemum x 'Woops-a-Daisy'	Woops-a-Daisy Shasta	4.5" Cont.	18" o.c.	15" T x 20" W
NPB	25	Nepeta x faassenii 'Purrsian Blue'	Purrsian Blue Catmint	4.5" cont.	24" o.c.	14" T x 24" W
PLS	10	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	4.5" cont.	20" o.c.	28" T x 24" W
RVS	44	Rudbeckia l 'Viette' s Little Suzy'	Viette s Little Suzy Showy Coneflower	4.5" Cont.	12" o.c.	10" T x 12" W
SAJ	14	Sedum 'Autumn Joy'	Autumn Joy Sedum	4.5" Cont.	18" o.c.	15" T x 24" W

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
GROUND COVERS				
	61,335 sf	Turf Hydroseed	Reinders - Cadet 70/30 Fescue/Blue Mix	
	112,754 sf	Turf Hydroseed Low Grow	Reinders No Mow/Low Grow Mix	

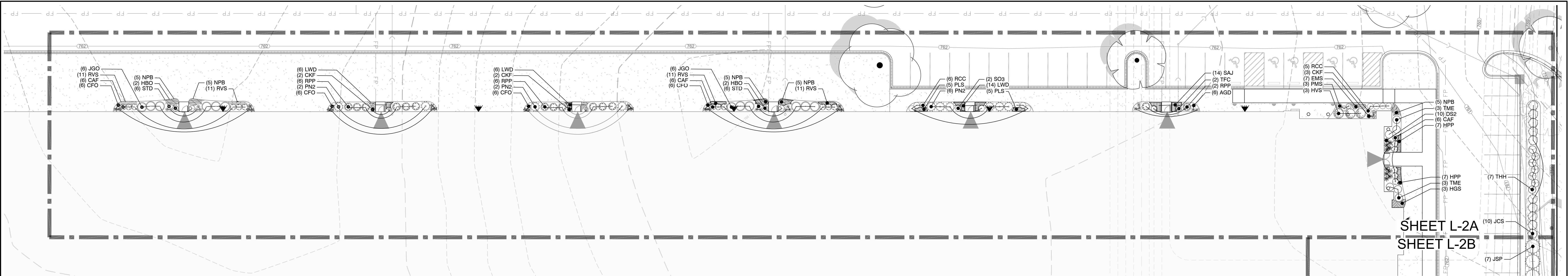


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REVIEWED: DUB

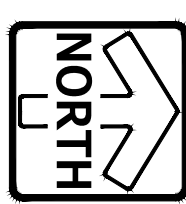
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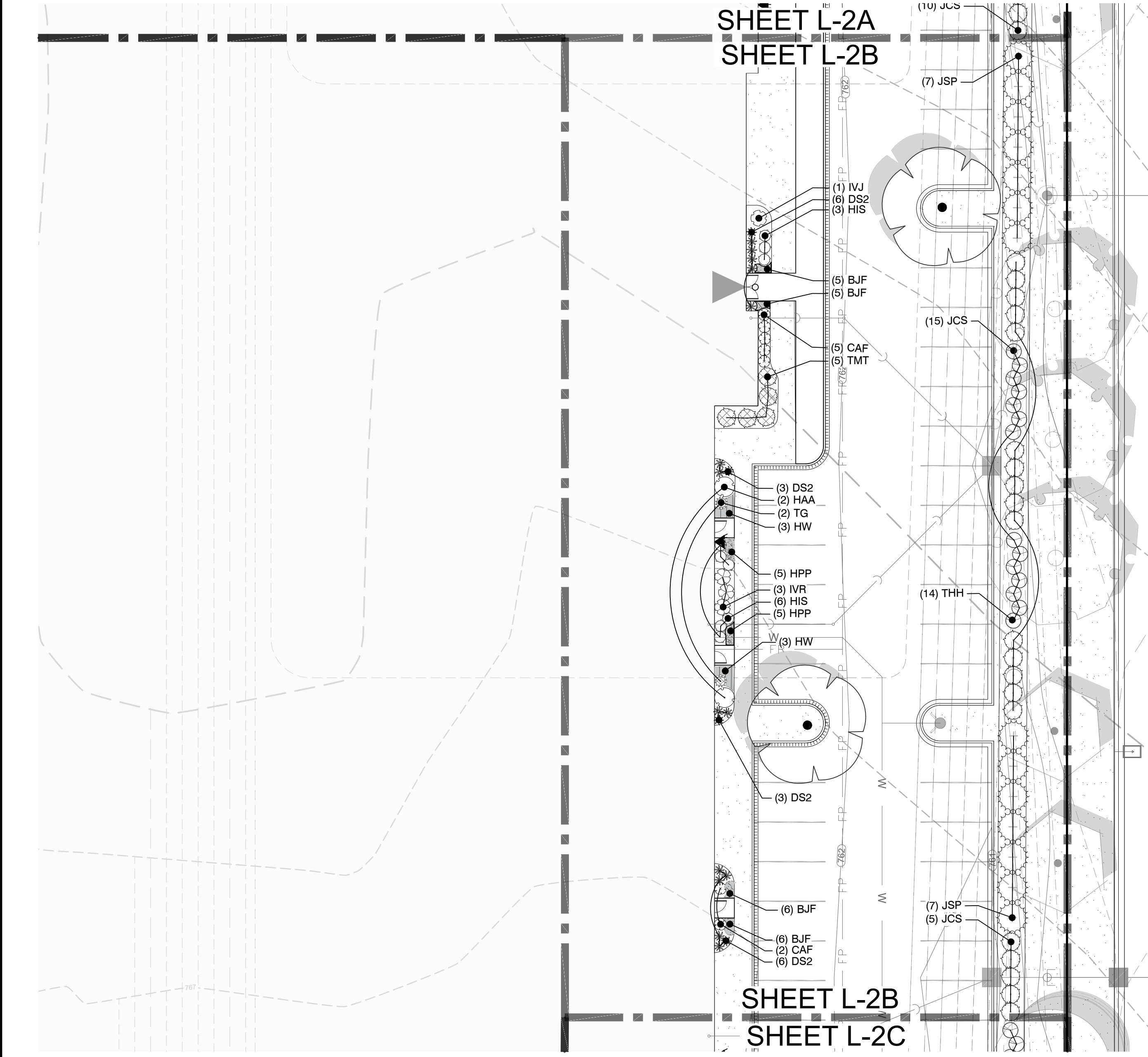
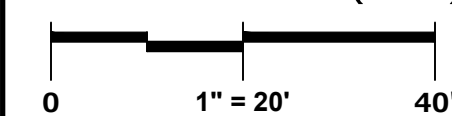


ENLARGEMENT L-2A

SCALE: 1"=20'



GRAPHICAL SCALE (FEET)

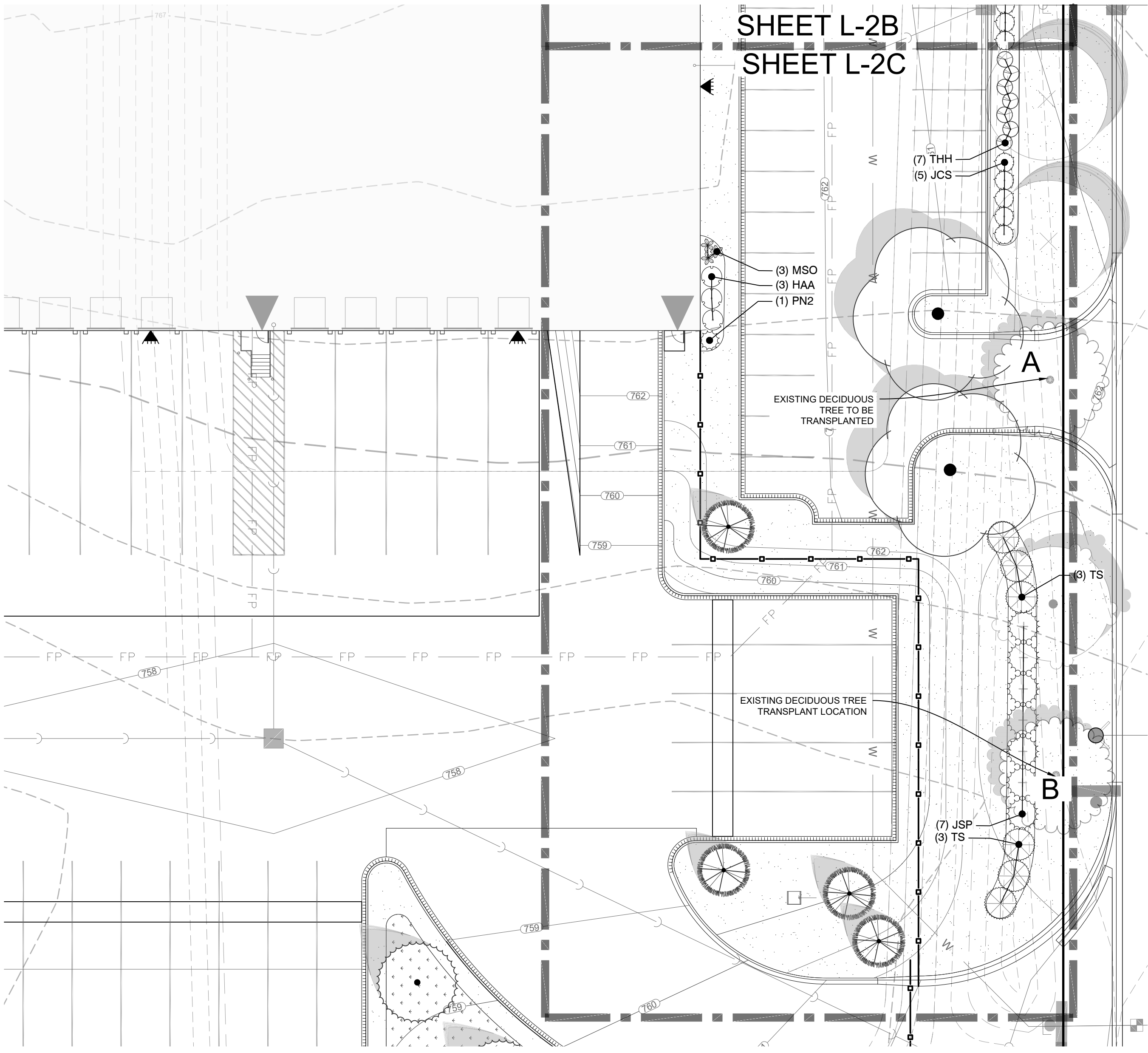
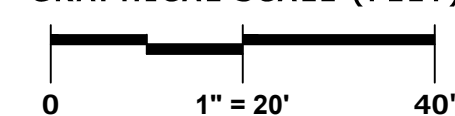


ENLARGEMENT L-2B

SCALE: 1"=20'



GRAPHICAL SCALE (FEET)

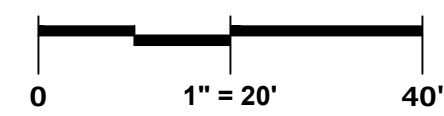


ENLARGEMENT L-2B

SCALE: 1"=20'



GRAPHICAL SCALE (FEET)

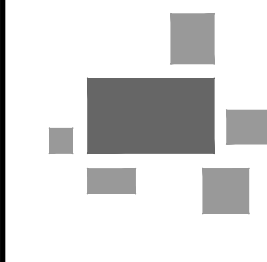


NOTES

- EXISTING DECIDUOUS TREE TO BE TRANSPLANTED FROM LOCATION "A" TO LOCATION "B" AS SHOWN IN ENLARGEMENT

PLANT KEY

CODE	QTY	BOTANICAL NAME	COMMON NAME
DECIDUOUS TREES			
ANO	5	Acer rubrum 'Northwood'	Northwood Maple
CCH2	6	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry
GTS2	6	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Locust
OXS2	3	Quercus x schuetti	Swamp Bur Oak
EVERGREEN TREES			
ACF	10	Abies concolor	White Fir
PAN	3	Picea abies	Norway Spruce
PGD	7	Picea glauca 'Densata'	Black Hills Spruce
SHRUBS			
CAF		Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood
HAA		Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea
HIS		Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea
HVS		Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea
HBO		Hydrangea paniculata 'Bobo'	Bobo Hydrangea
IVJ		Ilex verticillata 'Jim Dandy'	Red Sprite Winterberry
IVR		Ilex verticillata 'Red Sprite'	Red Sprite Winterberry
RPP		Rosa rugosa 'Purple Pavement'	Purple Pavement Rugosa Rose
RCC		Rosa x 'Coral Cove'	Coral Cove Rose
SOS		Syringa x 'SMNJRP1' TM	Blooming Dwarf Pink Lilac
EVERGREEN SHRUBS			
JSP		Juniperus chinensis 'J.N. Select Blue'	Star Power Juniper
JCS		Juniperus chinensis 'Sea Green'	Sea Green Juniper
JGO		Juniperus virginiana 'Grey Owl'	Eastern Redcedar Juniper
PN2		Picea abies 'Nidiformis'	Nest Spruce
PMS		Pinus mugo 'Slowmound'	Slowmound Mugo Pine
TME		Taxus x media 'Everlow'	Everlow Yew
TMT		Taxus x media 'Tauntoril'	Tauntoril Yew
TG		Taxus x media 'SMNTHDB'	Stonehenge Dark Druid® Yew
THH		Thuja occidentalis 'Holmstrup'	Holmstrup Cedar
TFC		Thuja occidentalis 'Congabe'	Fire Chief Arborvitae
TS		Thuja occidentalis 'Sunkist'	Sunkist Arborvitae
ORNAMENTAL GRASSES			
AGD		Andropogon gerardii 'Dancing Wind'	Dancing Wind Big Blue Stem
CKF		Calamagrostis x a 'Karl Foerster'	Karl Foerster Reed Grass
CFO		Calamagrostis x a 'Overdam'	Overdam Reed Grass
DS2		Deschampsia cespitosa 'Schottland'	Schottland Tufted Hair Grass
MSO		Miscanthus sinensis 'Oktoberfest'	Oktoberfest Miscanthus
STD		Sporobolus heterolepis 'Tara'	Prairie Dropseed
PERENNIALS			
BJF		Brunnera macrophylla 'Jack Frost'	Jack Frost Brunnera
EMS		Echinacea purpurea 'Magnus Superior'	Magnus Superior Coneflower
HPP		Heuchera m 'Palace Purple'	Palace Purple Coral Bells
HGS		Hosta x 'Gold Standard'	Gold Standard Hosta
HW		Hosta x 'Wheeler'	Shadowland® Wheel® Hosta
LWD		Leucanthemum x 'Woops-a-Daisy'	Woops-a-Daisy Shasta
NPB		Nepeta x 'faassenii' 'Purrsian Blue'	Purrsian Blue Catmint
PLS		Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage
RVS		Rudbeckia f 'Viette's Little Suzy'	Viette's Little Suzy Showy Coneflower
SAJ		Sedum 'Autumn Joy'	Autumn Joy Sedum
GROUND COVERS			
		SYMBOL	BOTANICAL NAME
		COMMON NAME	
		GROUND COVERS	
		Turf Hydroseed	Reinders - Cadet 70/30 Fescue/Blue Mix
		Turf Hydroseed Low Grow	Reinders No Mow/Low Grow Mix



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BUILD TO SUIT
VILLAGE OF CALEDONIA, WI**

LANDSCAPE ENLARGEMENT

REVISIONS	
1. MUNICIPAL SUBMITTAL	03/11/24

REG JOB NO. 1912-30-WI	AREA
REG PM	START DATE 12/19/23
SCALE 1" = 20'	SHEET L-2 of L-3

[illegible][illegible]

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Presumed Property Line	illumiance	Fc	0.19	0.53	0.01	19.00	53.00
Drive	illumiance	Fc	1.02	2.3	0.4	2.55	5.75
Trailer Parking	illumiance	Fc	0.88	3.5	0.3	2.93	11.67
Truck Dock	illumiance	Fc	1.76	3.0	1.0	1.76	3.00
Vehicle Parking 1	illumiance	Fc	1.02	2.8	0.4	2.55	7.00
Vehicle Parking 2	illumiance	Fc	1.04	2.6	0.4	2.60	6.50

311ksf COLD STORAGE

CALEDONIA CORPORATE PARK

CALEDONIA, WISCONSIN

SITE LIGHTING LAYOUT

REVISIONS				
#	DATE			

COMMENTS

PROPOSED BUILDING
310,561 SF | FFE = 763.00



Meeting Date: March 25, 2024

Item No. **6f**

PLAN COMMISSION REPORT

Proposal: Master Sign Plan Review

Description: Review a master sign plan for the Franksville Market building located at 10616 Northwestern Avenue that would allow for a total of two pole signs and six wall signs.

Applicant(s): Rajwinder Singh

Address(es): 10616 Northwestern Avenue

Suggested Motion: That the Plan Commission recommends to the Village Board that the master sign plan for the total display of eight signs for the commercial development located at 10616 Northwestern Avenue be approved for the following reasons:

1. The proposed number, height and size of signs are permissible through the sign plan review process.
2. The proposed signs do not result in an undue concentration of signage, making it difficult or confusing to read.

Owner(s): Franksville Market LLC

Tax Key(s): 104-04-22-32-029-000

Lot Size(s): 2.275 acres

Current Zoning District(s): B-3, Highway Business District

Overlay District(s): N/A

Wetlands: ☐ Yes ☒ No Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Industrial/Business Park

Background: The applicant is requesting approval of a master sign plan for the commercial development located at 10616 Northwestern Avenue which would allow the applicant to install a greater number of signs than is allowed. Per code, only two signs per street frontage are permitted. The code allows flexibility when it comes to size, number, height, and location if recommended by the Plan Commission and approved by the Village Board.

The applicant is proposing to install an additional four wall signs on the site. Currently there exists two pole signs and two wall signs. One pole sign is the gasoline “pricer” board and the other is for a tenant space located on the southwestern portion of the site. The existing wall signs are located on the gasoline canopy in the center of the site. There are no permanent wall signs currently on the convenience store building.

As part of the master sign plan, the applicant is proposing to install four new wall signs. The design of these signs is the same. Black individual letters attached to a raceway that will be back-lit at night. Illustrations of what the signs will look like are included with your packet. Each of these signs are under 32 square-feet in area, complying with sign code size regulations. The locations of these signs are indicated on the submitted site plan. One sign will be located on the south elevation of the building, a second wall sign will be located on the west elevation of the building, a third sign will be located on the car wash building located internally on the site, and a fourth sign will be located on a screen wall next to the propane exchange area on the site which is located in the eastern part of the site facing internally.

Staff believes the proposed location of the new signs on the site do not create a cluttered or confusing collection of signs and are correctly sized in proportion to the size of the building.

If the Plan Commission is comfortable with the proposed sign plan, staff has drafted a suggested motion recommending approval of the proposed master sign plan for the property located at 10616 Northwestern Avenue. Any additional permanent signs on the site will require the applicant to amend the master sign plan and get approval by the Village prior to submitting sign permit applications. Any temporary signs will require a temporary sign permit and comply with temporary sign regulations. Signs advertising incidental products for sale located at the gasoline pumps and are not readable from the road do not require permits or limited in number.

Respectfully submitted:



Peter Wagner, AICP
Development Director



10616 Northwestern Avenue

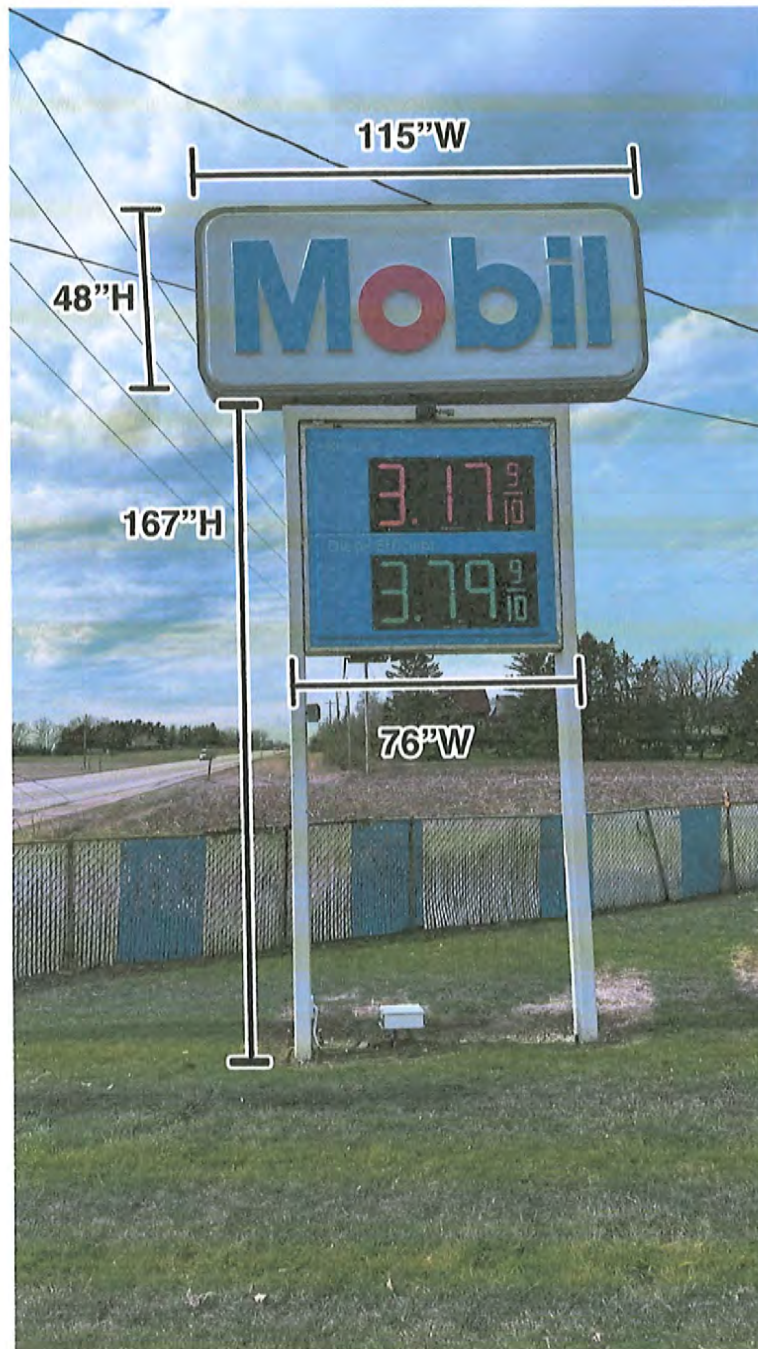
0 100 200 400 Feet



For Members of planning commission of village of Caledonia.

1. I purchased this property located at 10616 Northwestern Ave, Franksville in April 2023. This property was not well maintained and gave a very old look. This being the first business property entering Franksville did not look welcoming to traffic. I made it my first priority to renovate and make this property look appealing to passerby.
2. This property has two existing Mobil signs. Copies of pictures are attached.
3. I am requesting the board for permission to add four additional signs on three different buildings to enhance the appearance of the property. Color copies of the signs are attached. The signs are black in color with a diffused led backlight giving a very beautiful look during both day and night.

Existing Sign





72"W

18"H

72"W

18"H

Mobil

5

Thank you.
Drive safely.

Synergy
Mobil

2

1

Thank you.
Drive safely.

Synergy
Mobil







